

DEVELOPMENT PLAN

PROSPECT VILLAGE - A Tiny House Community

3103 North Prospect Street, City of Colorado Springs

PROJECT DESCRIPTION

THIS PROJECT INVOLVES THE DEVELOPMENT OF A TINY HOUSE COMMUNITY COMPRISING EIGHTEEN (18) INDIVIDUAL TINY HOUSES, A COMMUNITY BUILDING, OFF-STREET PARKING, STREET FRONTAGE, ON-SITE LANDSCAPING, AND PRIVATE GREEN AND AMENITY SPACES. THE COMMUNITY IS DESIGNED TO ALIGN WITH THE MISSION OF WE FORTIFY, SUPPORTING EIGHTEEN RESIDENTS BY PROVIDING ACCESS TO LIVING-WAGE JOB OPPORTUNITIES, MENTAL HEALTH SERVICES, AND STABLE HOUSING. EACH RESIDENT WILL ACTIVELY PARTICIPATE IN THE PROGRAM AND PAY RENT TO WE FORTIFY, THE PROPERTY OWNER.

FLOODPLAIN STATEMENT

ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP PANEL 08041C0518F WITH AN EFFECTIVE DATE OF MARCH 17, 1997, THE SUBJECT PROPERTY IS LOCATED IN ZONE X (AN AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN).

SITE DATA

Address: 3103 N Prospect St.
Master Plan: Not Applicable
Current Zoning: R-5
Proposed Zoning: R-Flex-High
Existing Land Area: 34,067 Sq. Ft.
Dedicated ROW: 1,950 Sq. Ft.
Proposed Land Area: 32,117 Sq. Ft.

Tax Schedule Numbers: 6332216038
Development Schedule: Spring 2025
Drainage Basin: Midland Basin

Existing Use Type: Detached Single-Family
Proposed Use Type: Tiny House Community

See "Tiny House Community Standards" for Setbacks, Heights, and Other.

TINY HOUSE COMMUNITY STANDARDS

	Required	Proposed
Min. Community Area	20,000 Sq. Ft.	34,067 Sq. Ft.
Min. Defined Area per Home	1,000 Sq. Ft.	*693 Sq. Ft.
Max. Density (Units/ Acre)	25 DU/Ac.	24 DU/Ac.
Green Space (10%)	3,277 Sq. Ft.	10,852 Sq. Ft.
Min. Distance from Res. Use	10-Feet	*5-Feet
Min. Distance from ROW	20-Feet	*10-Feet
Min. Distance Between Homes	10-Feet	*6-Feet
Max. Building Height	20-Feet	20-Feet

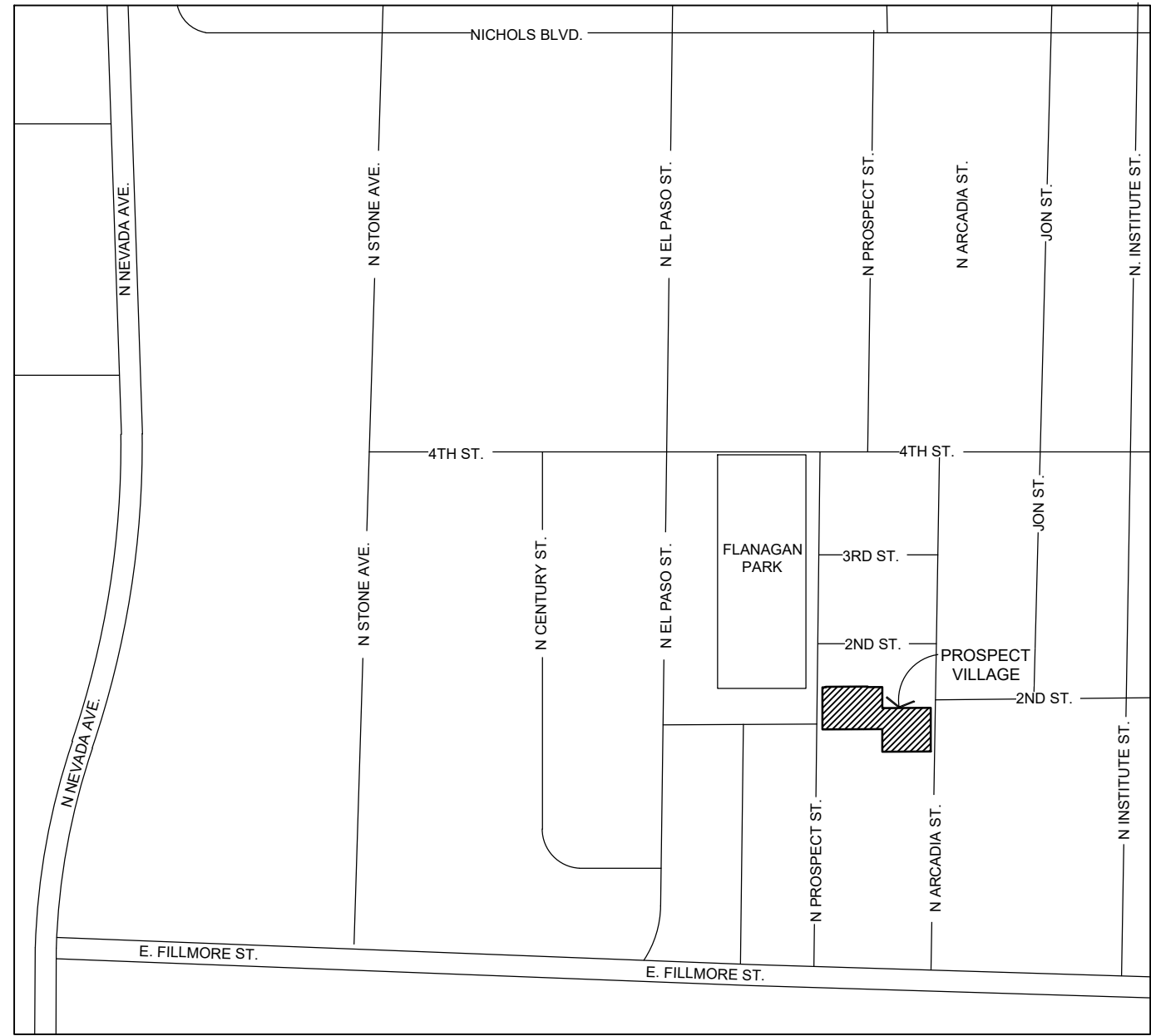
* See Notes 12-16 under GENERAL NOTES for Development Standards Adjustments.

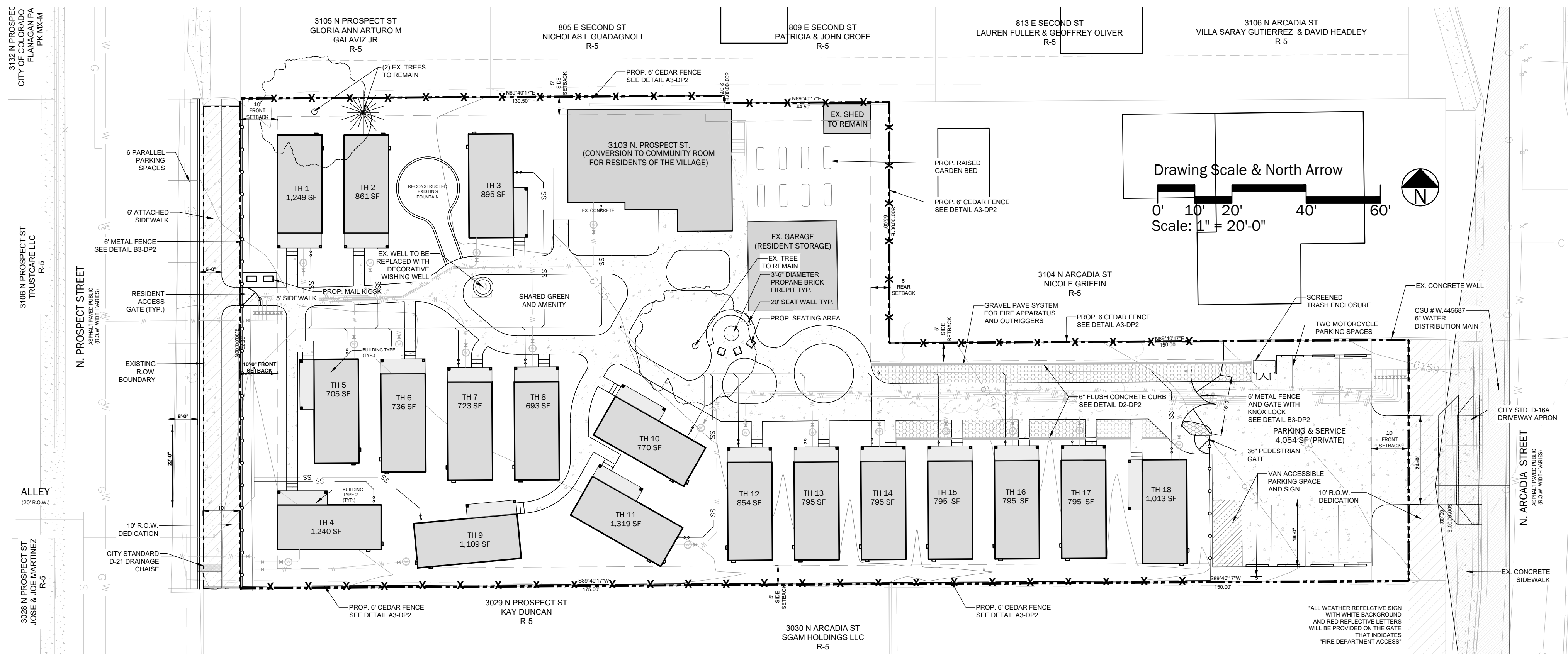
PARKING SUMMARY

Type: Tiny House Community
Dwelling Units: 18
Requirements: 1 Parking Space Per Tiny Home
DVSA-24-0006 Request ½ Parking Spaces Per Tiny Home
Adjusted Parking Required: 9 Spaces (½ per Tiny Home)

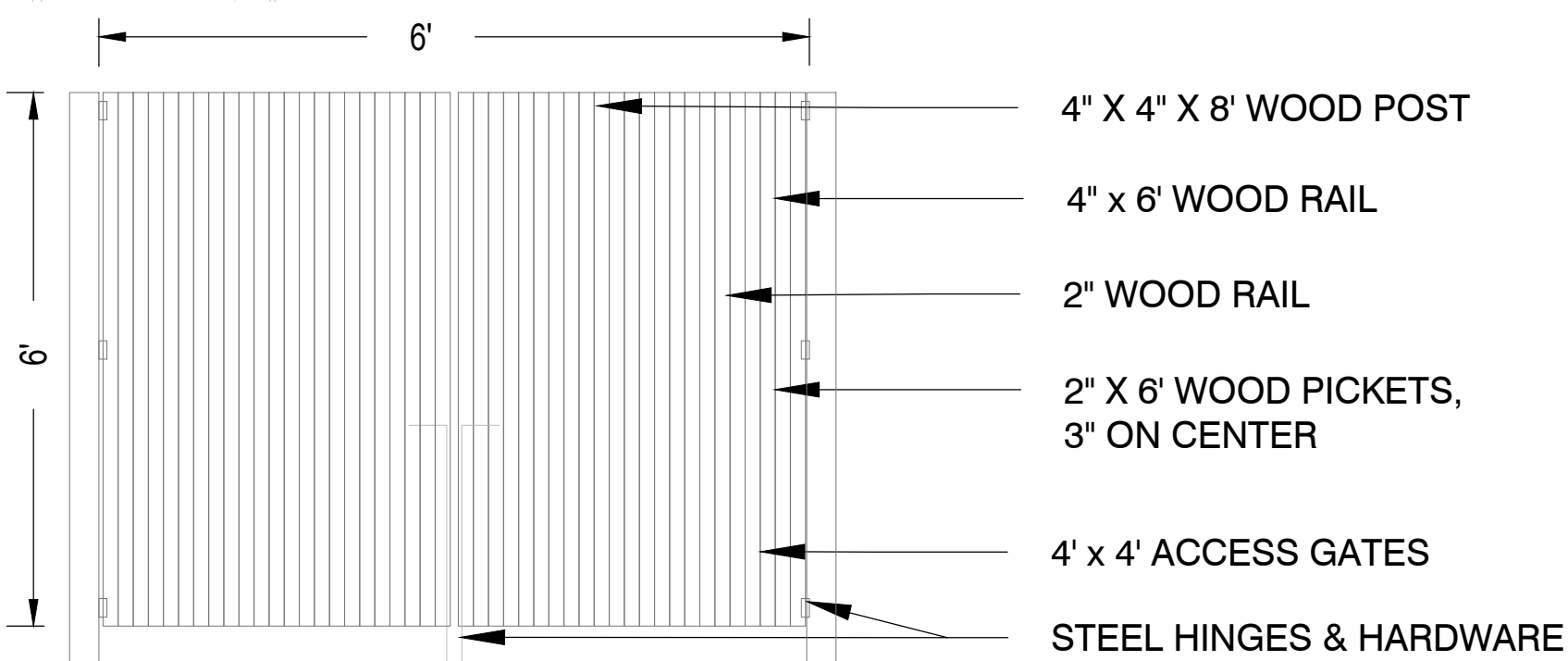
Off-Street Parking Provided: 6 Off-Street Spaces (1 Van Accessible)
On-Street Parking Provided: 6 Parallel Spaces
Total Spaces Provided: 12 Parking Spaces

VICINITY MAP

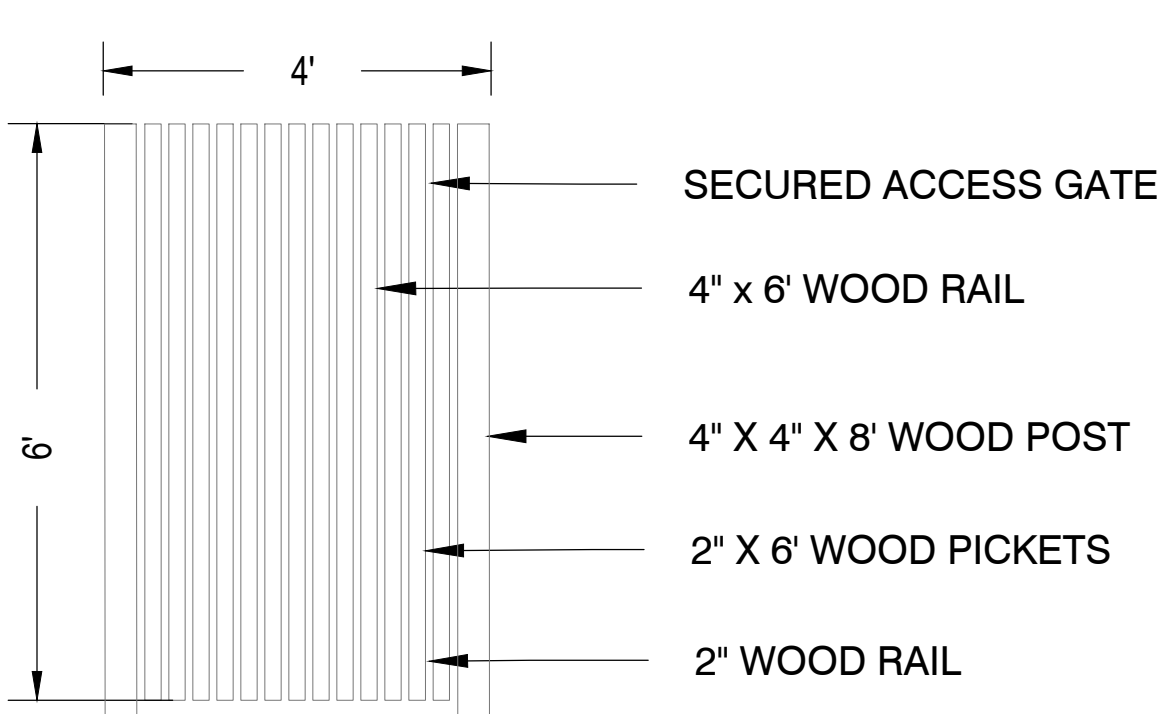




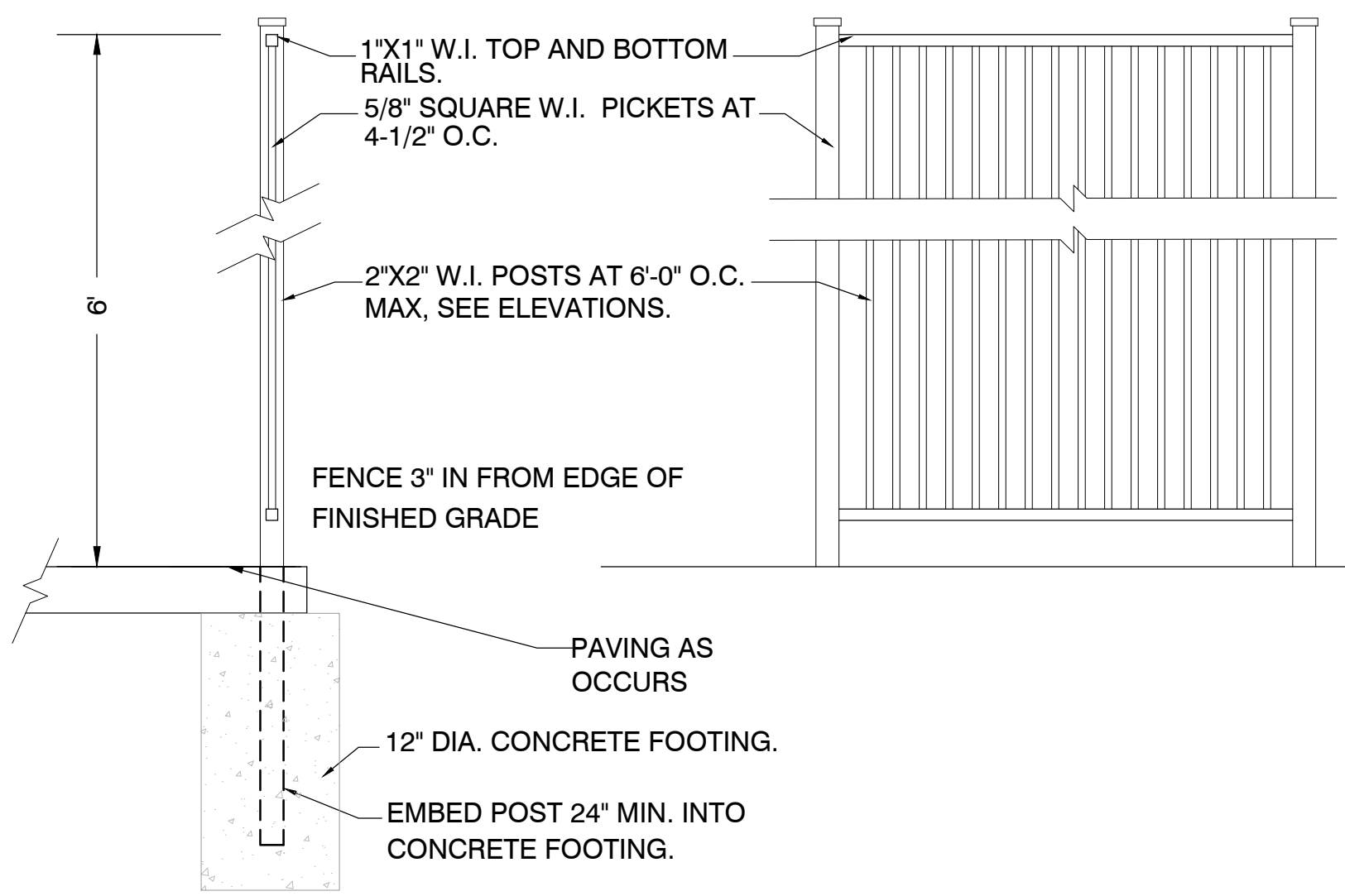
Drawing Scale & North Arrow
0' 10' 20' 40' 60'
Scale: 1" = 20'-0"



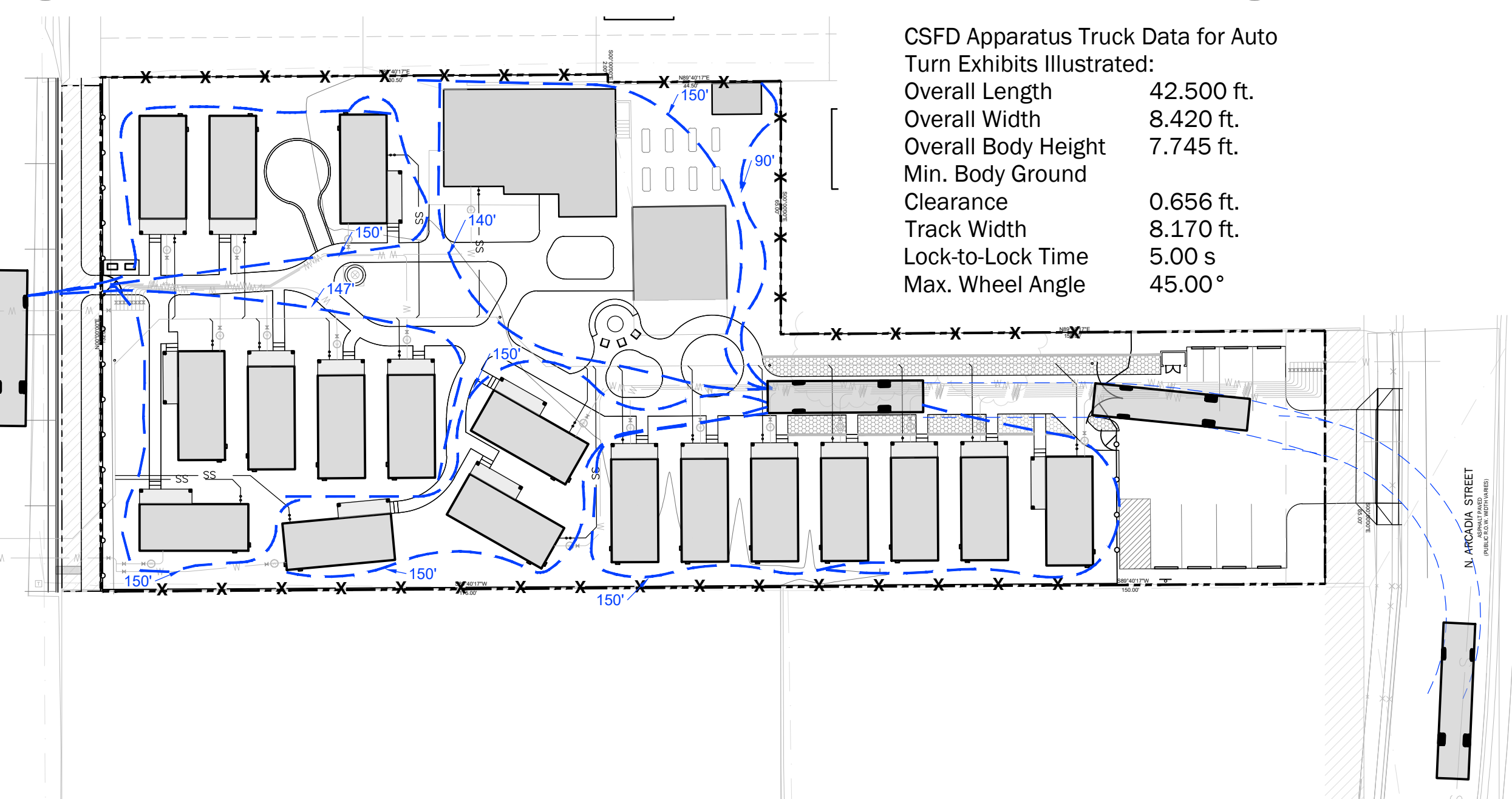
B1 TRASH ENCLOSURE - FRONT ELEVATION
DP2 NOT TO SCALE



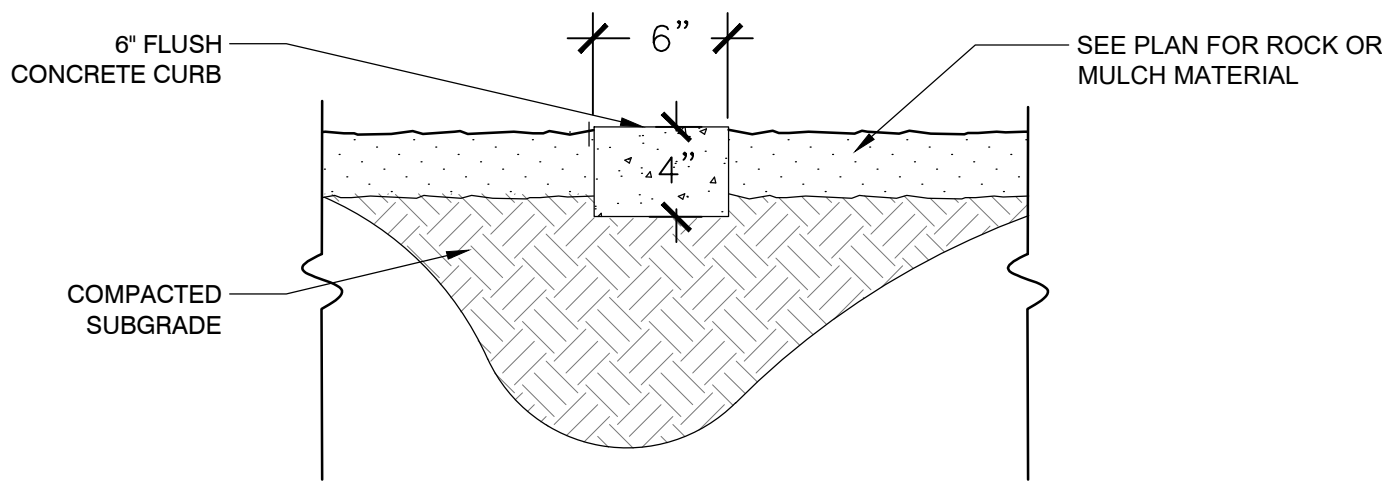
B2 TRASH ENCLOSURE - SIDE ELEVATION
DP2 NOT TO SCALE



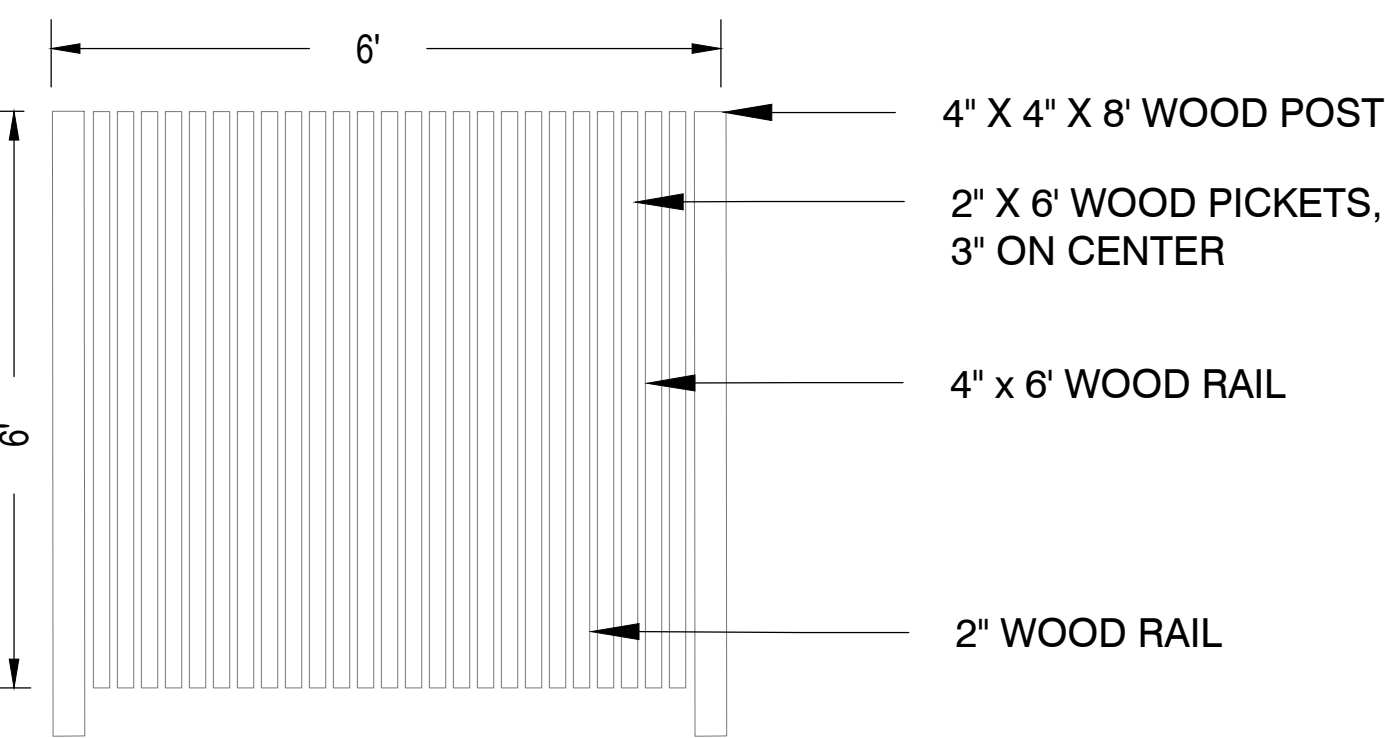
B3 METAL PICKET FENCE
DP2 NOT TO SCALE



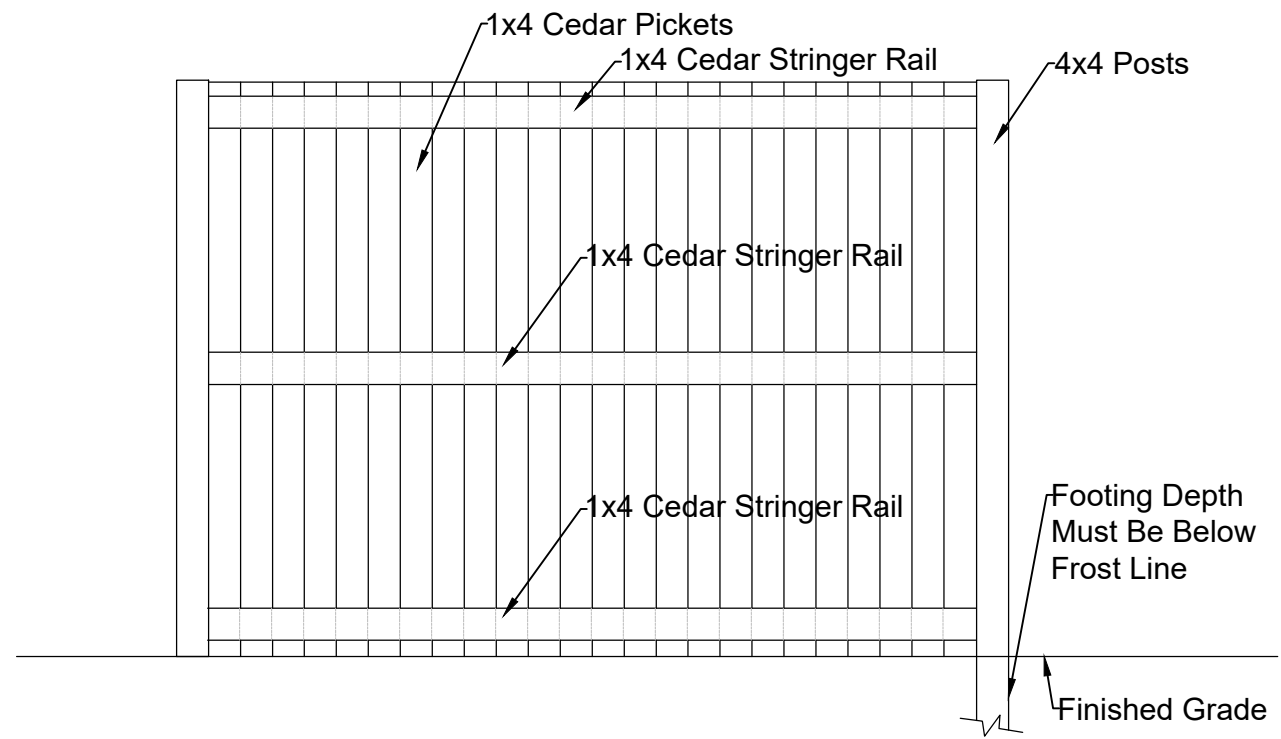
D1 FIRE APPARATUS DIAGRAM
DP2 1" = 30'-0"



D2 6" CONCRETE EDGING
DP2 NOT TO SCALE



D3 TRASH ENCLOSURE - REAR ELEVATION
DP2 NOT TO SCALE



A3 6' CEDAR FENCE
DP2 NOT TO SCALE

APPROVAL STAMP



PROSPECT VILLAGE

A Tiny House Community

3103 N PROSPECT ST.
Colorado Springs,
Colorado

DEVELOPMENT PLAN
Date Submitted: Oct. 2, 2024
Resubmitted: Nov. 13, 2024
Resubmitted: Jan. 22, 2025

DP2

SITE PLAN
SHEET 2 OF 6

Not For Construction
Colorado Springs Land Use Review
File Number(s): DEPN-24-0123

NOT A CONSTRUCTION DOCUMENT

THIS PLAN SHALL NOT BE USED FOR CONSTRUCTION PURPOSES. IT IS PREPARED FOR THE CITY OF COLORADO SPRINGS DEVELOPMENT PLAN APPROVAL PROCESS ONLY. IT IS REQUIRED THAT ANY SUBSEQUENT CONSTRUCTION PLANS ADHERE TO THE APPROVED DEVELOPMENT PLAN.

NOTES

1. THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.
2. ALL EXISTING CURB, GUTTER AND SIDEWALK POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATION OR NOT MEETING CURRENT CITY ENGINEERING STANDARDS ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED PRIOR TO ISSUING THE CERTIFICATE OF OCCUPANCY (C.O.). AN ON-SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW INSPECTOR TO DETERMINE WHAT, IF ANY, IMPROVEMENTS ARE REQUIRED. THE INSPECTOR CAN BE REACHED AT 719-385-5977.

MAP NOTES

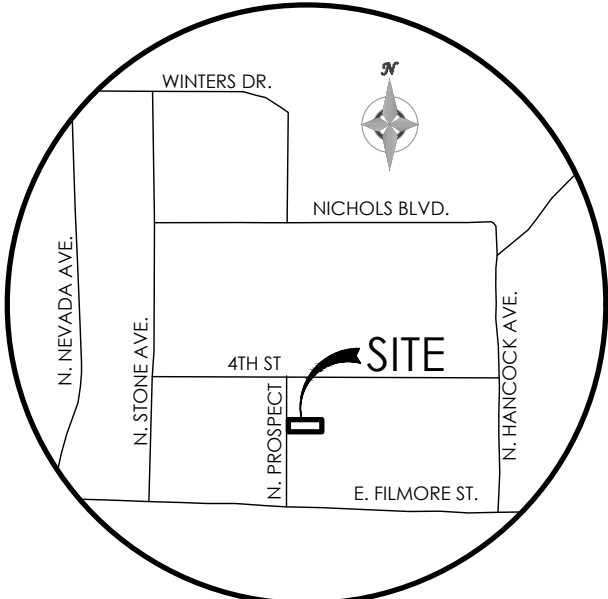
1. THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED BY LAND DEVELOPMENT CONSULTANTS, INC.
2. ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE FROM UTILITY MAIN RECORD MAPS AND UTILITY SERVICE LOCATION MAPS OBTAINED FROM COLORADO SPRINGS UTILITIES. THE LOCATION OF UTILITIES AS SHOWN ARE APPROXIMATE. ALL UTILITIES MAY NOT BE SHOWN OR MAY NOT HAVE BEEN LOCATED. BELOW GROUND UTILITY LOCATIONS WERE NOT PERFORMED.

FLOODPLAIN STATEMENT

THE CURRENT FLOOD INSURANCE STUDY OF THE REGION INCLUDES A FLOOD INSURANCE RATE MAP (FIRM), EFFECTIVE ON MARCH 17, 1997. THE PROPOSED SUBDIVISION IS INCLUDED IN COMMUNITY PANEL NUMBER 08041 C0518 F OF THE FLOOD INSURANCE RATE MAPS FOR EL PASO COUNTY AND INCORPORATED AREAS. NO PORTION OF THE SITE LIES WITHIN FEMA DESIGNATED SPECIAL FLOOD HAZARD AREAS (SFHA'S).

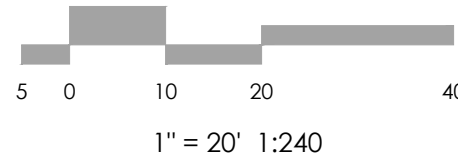
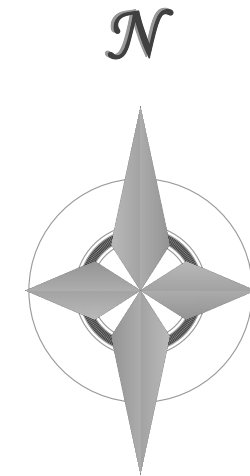
LEGEND

EXISTING	PROPOSED
INDEX CONTOUR	INDEX CONTOUR
INTERMEDIATE CONTOUR	INTERMEDIATE CONTOUR
CONCRETE AREA	CONCRETE AREA
ASPHALT AREA	ASPHALT AREA
CURB AND GUTTER	CURB AND GUTTER
BUILDING/ BUILDING OVERHANG	BUILDING/ BUILDING OVERHANG
DECK	DECK
RETAINING WALL - SOLID/ ROCK	RETAINING WALL - SOLID ROCK
SIGN	SIGN
BOLLARD	BOLLARD
WOOD FENCE	WOOD FENCE
CHAIN LINK FENCE	CHAIN LINK FENCE
BARBED WIRE FENCE	BARBED WIRE FENCE
TREE (EVERGREEN/DECIDUOUS)	TREE (EVERGREEN/DECIDUOUS)
SHRUB	SHRUB
ROCK	ROCK
	SPOT ELEVATION FF = 5986.00 FL = FLOWLINE TSW = TOP OF SIDEWALK FINISHED FLOOR ELEVATION



VICINITY MAP
NOT TO SCALE

BENCHMARK



REVISIONS

DESIGNED BY _____
DRAWN BY _____
CHECKED BY _____
AS-BUILT BY _____
CHECKED BY _____

PROSPECT VILLAGE

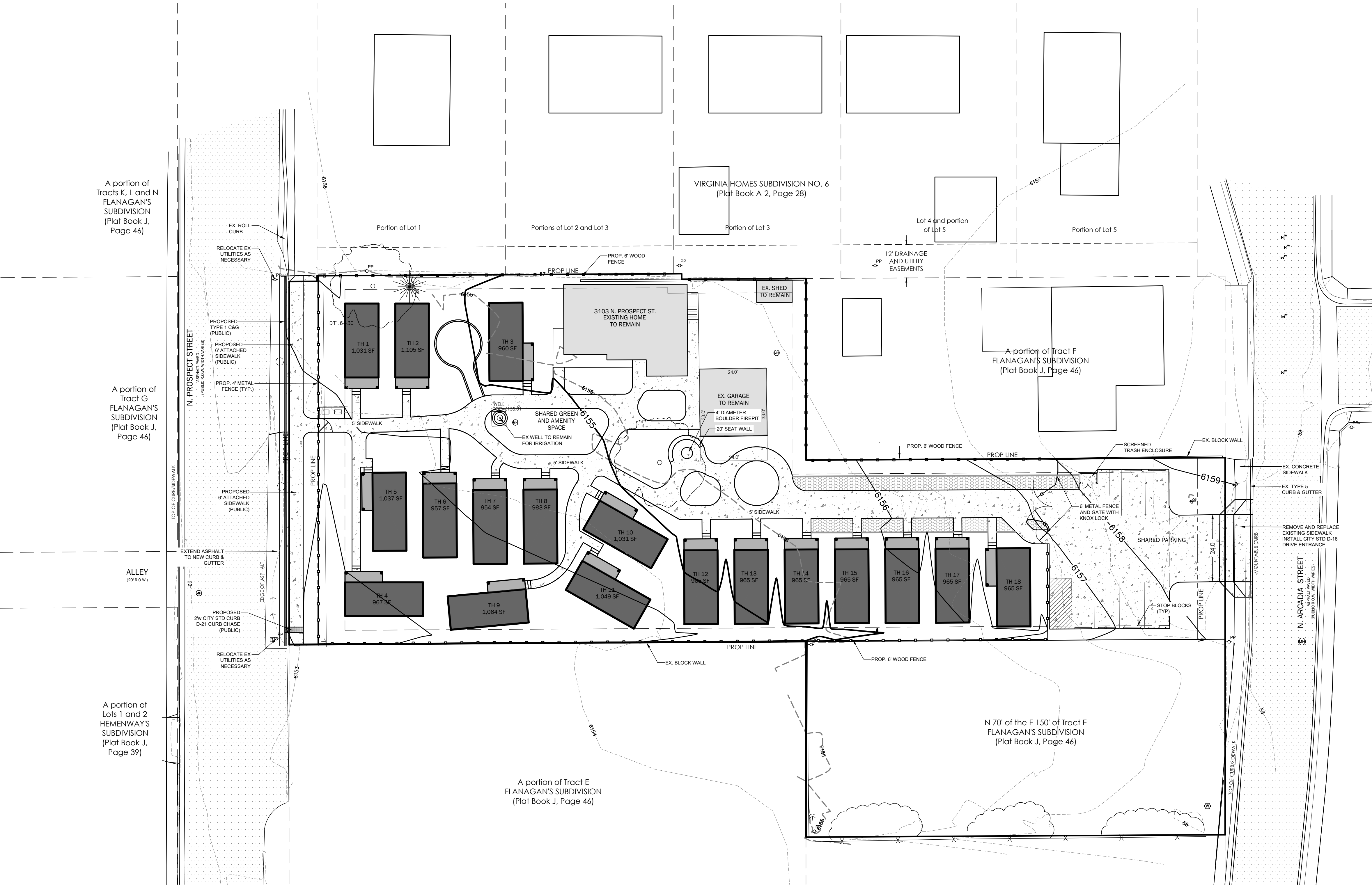
3103 N PROSPECT ST

PRELIMINARY GRADING
PLAN

MVE PROJECT 51553
MVE DRAWING

JANUARY 22, 2025
SHEET 3 OF 6

DEPN-24-0123



PROPERTY OWNER(S) ACKNOWLEDGE AND AGREE TO THE FOLLOWING UPON APPROVAL OF PRELIMINARY UTILITY PLAN:

PROPERTY OWNER(S) ACKNOWLEDGE AND AGREE TO THE FOLLOWING UPON APPROVAL OF PRELIMINARY UTILITY PLAN:

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- This is a detailed site plan for Tract F, Flanagan's Subdivision. The plan shows 18 lots, each with a specific area and structure details. Lot 1 (TH 1, 1,031 SF) and Lot 2 (TH 2, 1,105 SF) are at the top left. Lot 3 (TH 3, 900 SF) is to the right of Lot 2. Lot 4 (TH 4, 967 SF) is below Lot 1. Lot 5 (TH 5, 1,037 SF) is below Lot 2. Lot 6 (TH 6, 957 SF) is below Lot 5. Lot 7 (TH 7, 954 SF) is below Lot 6. Lot 8 (TH 8, 983 SF) is below Lot 7. Lot 9 (TH 9, 1,064 SF) is below Lot 8. Lot 10 (TH 10, 1,031 SF) is below Lot 9. Lot 11 (TH 11, 1,049 SF) is below Lot 10. Lot 12 (TH 12, 965 SF) is below Lot 11. Lot 13 (TH 13, 965 SF) is below Lot 12. Lot 14 (TH 14, 965 SF) is below Lot 13. Lot 15 (TH 15, 965 SF) is below Lot 14. Lot 16 (TH 16, 965 SF) is below Lot 15. Lot 17 (TH 17, 965 SF) is below Lot 16. Lot 18 (TH 18, 965 SF) is below Lot 17. The plan includes various structures such as sheds, garages, and fences. It also shows utility lines, including water, sewer, and gas. The plan is surrounded by other tracts: Tracts K, L, and N to the north; Tract G to the west; Tract E to the south; and Tract F to the east. The streets shown are Prospect Street to the north and Arcadia Street to the east. The plan is dated 2020 and is for a residential subdivision.

1. WHEN CONTACT UTILITIES DEVELOPMENT SERVICES (UDS) AT 719-668-8111 FOR AN ESTIMATE OF DEVELOPMENT CHARGES, FEES, RECOVERY AGREEMENT CHARGES OR OTHER UTILITY RELATED COSTS THAT MAY APPLY TO THIS DEVELOPMENT, ON INSTANCES WHERE METERED WATER AND/OR WASTEWATER CONNECTIONS EXISTED ON THE PROPERTY, PLEASE CONTACT UDS TO DISCUSS DISTRIBUTION OF WATER AND/OR WASTEWATER DEVELOPMENT CHARGES TO ELIGIBLE LOTS.

2. WHEN NEW WATER METERS ARE PROPOSED TO SERVICE THE PROJECT OR ADDITIONAL DEMAND ADDED TO EXISTING WATER METERS, A COMMERCIAL WATER METER SIZING FORM WILL BE REQUIRED TO BE SUBMITTED TO CSU PRIOR TO SERVICE CONTRACT ISSUANCE AND PLAN SET APPROVAL.

3. CSU REQUIRES AN APPLICATION FOR GAS AND ELECTRIC LINE EXTENSION TO BE SUBMITTED ALONG WITH A LOAD DATA FORM OR AN APPLICATION FOR GAS SERVICE LINE APPROVAL AND/OR APPLICATION FOR ELEVATED PRESSURE APPROVAL PRIOR TO ELECTRIC AND NATURAL GAS SYSTEM DESIGN FOR SERVICE TO THE PROJECT. REFER TO THE CSU LINE EXTENSION AND SERVICE STANDARDS OR CONTACT FIELD ENGINEERS AT 719-668-4985.

4. CSU MAY REQUIRE AN EXTENSION CONTRACT AND PAYMENT OF CONTRIBUTIONS-IN-AID OF CONSTRUCTION (OR A REVENUE GUARANTEE CONTRACT) FOR THE EXTENSION OF ELECTRIC FACILITIES NEEDED TO SERVICE THE DEVELOPMENT, WITH REGARD TO NATURAL GAS EXTENSIONS, CSU MAY REQUIRE AN EXTENSION CONTRACT AND ADVANCE PAYMENT FOR THE ESTIMATED COSTS TO CONSTRUCT THE NECESSARY GAS EXTENSIONS.

5. IMPROVEMENTS, STRUCTURES AND TREES MUST NOT BE LOCATED DIRECTLY OVER OR WITHIN 6 FEET OF ANY UNDERGROUND GAS OR ELECTRIC DISTRIBUTION FACILITIES AND SHALL NOT VIOLATE ANY PROVISION OF THE NATIONAL ELECTRIC SAFETY CODE (NEC) OR ANY APPLICABLE NATURAL GAS REGULATIONS OR CSU POLICIES.

6. IMPROVEMENTS, STRUCTURES AND TREES SHALL NOT BE LOCATED UNDER ANY OVERHEAD UTILITY FACILITY. SHALL NOT VIOLATE NESC CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.

7. LANDSCAPING SHALL BE DESIGNED TO PROVIDE THE REQUIRED CLEARANCES FOR UTILITY FACILITIES, TO ALLOW CONTINUOUS ACCESS FOR UTILITY EQUIPMENT, AND TO MINIMIZE CONFLICTS WITH SUCH FACILITIES.

8. CSU REQUIRES WASTEWATER AND WATER CONNECTION DRAWINGS WHEN NEW WASTEWATER AND WATER FACILITIES ARE PROPOSED. PLANS CAN BE SUBMITTED ELECTRONICALLY TO UDS VIA WWW.CSU.ORG.

A MINIMUM OF 3-FOOT CLEARANCE AROUND THE CIRCUMFERENCE OF ALL FIRE HYDRANTS WILL BE KEPT CLEAR OF ANY PHYSICAL OR VISUAL OBSTRUCTIONS TO THE HYDRANT.

CSU FIELD ENGINEER TO DETERMINE FINAL GAS/ELECTRIC METER, TRANSFORMER AND SERVICE LINE LOCATIONS. CONTACT FIELD ENGINEERING AT 719-668-4985 (GAS) OR 719-668-5564 (ELECTRIC) WITH ANY QUESTIONS.

ADD NOTE FENCING SHALL NOT STOP ACCESS TO UTILITY LINES OR CONFLICT WITH UTILITY EQUIPMENT.

EXISTING	PROPOSED
INDEX CONTOUR	INDEX CONTOUR
INTERMEDIATE CONTOUR	INTERMEDIATE CONTOUR
CONCRETE AREA	CONCRETE AREA
ASPHALT AREA	ASPHALT AREA
CURB AND GUTTER	CURB AND GUTTER
BUILDING/ BUILDING OVERHANG	BUILDING/ BUILDING OVERHANG
DECK	DECK
RETAINING WALL - SOLID/ ROCK	RETAINING WALL - SOLID ROCK
SIGN	SIGN
BOLLARD	BOLLARD
WOOD FENCE	TOP OF WALL/GRADE AT BOTTOM OF WALL
CHAIN LINK FENCE	TOP OF CURB/FLOWLINE
BARBED WIRE	SPOT ELEVATION FL = FLOWLINE TSW = TOP OF SIDEWALK FINISHED FLOOR ELEVATION
TREE (EVERGREEN/DECIDUOUS)	FF = 5986.00
SHRUB	
ROCK	
WATER MAIN	
WATER SERVICE LINE	WATER SERVICE LINE
WATER VALVE	WATER VALVE
FIRE HYDRANT	FIRE HYDRANT
SANITARY SEWER MAIN	
SANITARY SEWER SERVICE LINE	SANITARY SEWER SERVICE LINE
SANITARY SEWER MANHOLE	SANITARY SEWER MANHOLE
SANITARY SEWER CLEANOUT	SANITARY SEWER CLEANOUT/ DOUBLE CLEANOUT
GAS MAIN	
OVERHEAD ELECTRIC LINE	OVERHEAD ELECTRIC LINE
UNDERGROUND ELECTRIC LINE/ MANHOLE	UNDERGROUND ELECTRIC LINE/ MANHOLE
UTILITY POLE/GUY WIRE	UTILITY POLE/GUY WIRE
WATER SHUTOFF VALVE/ SPRINKLER BOX	WATER SHUTOFF VALVE/ SPRINKLER BOX
ELECTRIC TRANSFORMER/VAULT	ELECTRIC TRANSFORMER/VAULT
TELEPHONE PEDESTAL	TELEPHONE PEDESTAL
LIGHT POLE	LIGHT POLE

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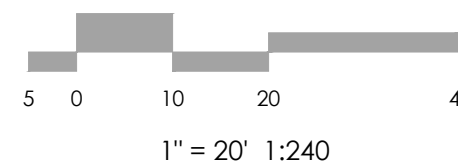
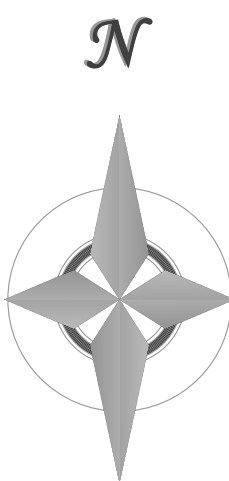
EXISTING RESIDENCE
GROSS BUILDING AREA = 2,090 SF NON SPRINKLED
IBC BUILDING CONSTRUCTION TYPE: V-B

FIRE FLOW REQUIREMENTS: (NON-REDUCED)

REQ.	FIRE FLOW = 1,500 GPM
REQ.	NO. OF HYDRANTS = 1
REQ.	AVG. HYDRANT SPACING = 500 FT
MAX.	HOSE LAY DISTANCE = 250 FT

VICINITY MAP
NOT TO SCALE

BENCHMARK



MVE, INC.
ENGINEERS SURVEYORS

1903 lelaray street, suite 200 colorado springs co 80909 719 635 5736

REVISIONS

DESIGNED BY _____
 DRAWN BY _____
 CHECKED BY _____
 AS-BUILTS BY _____
 CHECKED BY _____

PROSPECT VILLAGE

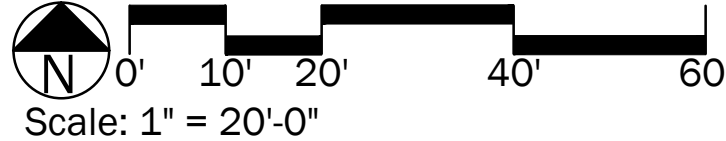
3103 N PROSPECT ST

PRELIMINARY UTILITIES AND PUBLIC FACILITIES PLAN

MVE PROJECT 51553
MVE DRAWING

JANUARY 22, 2025
SHEET 4 OF 6

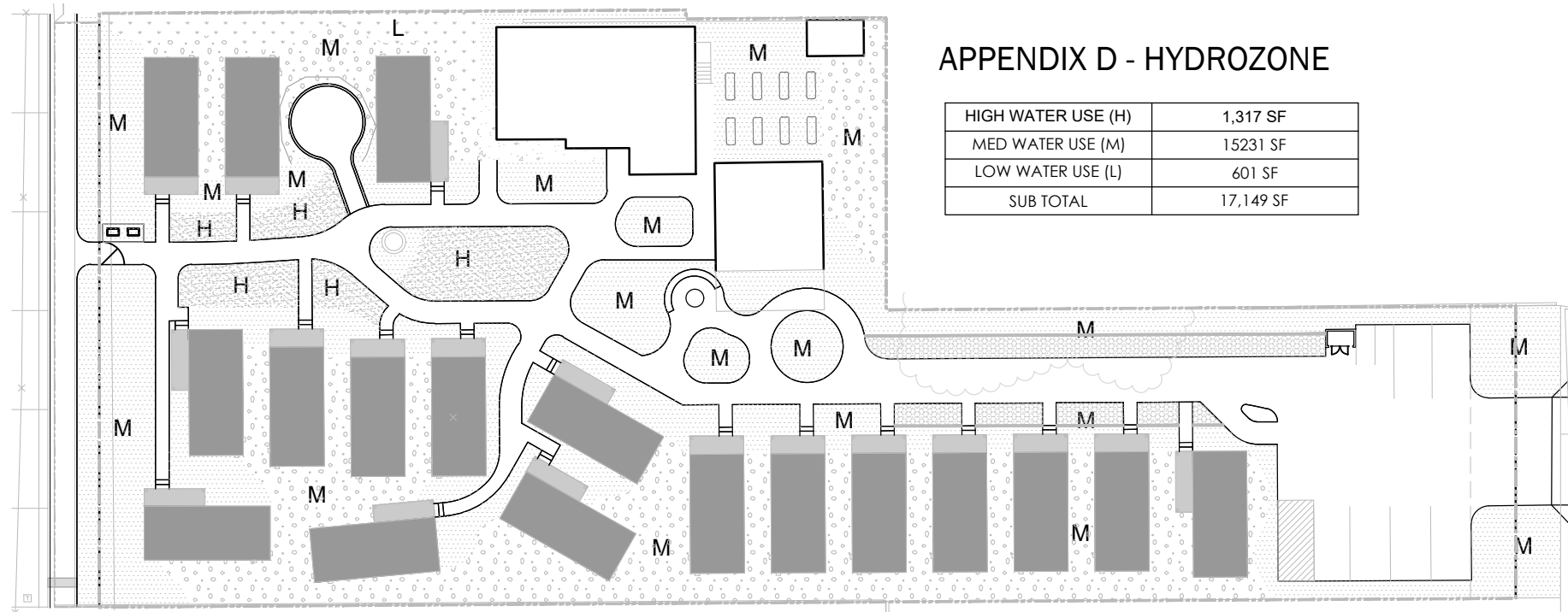
DEPN-24-0123



PLANT SCHEDULE PROSPECT						
CODE	QTY	BOTANICAL / COMMON NAME	SIZE	HEIGHT	WIDTH	CODE REQUIREMENTS
TREES						
AS	1	Acer grandidentatum 'Schmidt' Rocky Mountain Glow® Maple	2' Cal.	20-30 Ft.	15-25'	ROW
AG	3	Amelanchier x grandiflora 'Autumn Brilliance' Autumn Brilliance Serviceberry	2' Cal.	20-25 Ft.	15-25 Ft.	Buffer / Internal
CG	4	Crataegus crus-galli inermis Thornless Cockspur Hawthorn	2' Cal.	15-25 Ft.	15-25 Ft.	INTERNAL
MR	3	Malus x 'Red Barron' Red Barron Crabapple	2' Cal.	15-20 Ft.	15-20 Ft.	Buffer / Internal
MS	1	Malus x 'Spring Snow' Spring Snow Crabapple	2' Cal.	20-25 Ft.	20-25 Ft.	INTERNAL
PK	2	Prunus nigra 'Princess Kay' Princess Kay Plum	2' Cal.	20-25 Ft.	15-20 Ft.	ROW
TH	3	Tilia cordata 'Halika' TM Summer Sprite Littleleaf Linden	2' Cal.	15-20 Ft.	15-20 Ft.	ROW/ INTERNAL/ PARKING
EVERGREEN TREES						
JM	4	Juniperus scopulorum 'Medora' Medora Juniper	6' Ht.	15-20 Ft.	4-6 Ft.	BUFFER
PX	6	Pinus flexilis 'Vanderwolf's Pyramid' Vanderwolf's Pyramid Limber Pine	6' Ht.	40-50 Ft.	20-25 Ft.	BUFFER
PN	12	Pinus nigra 'Arnold Sentinel' Arnold Sentinel Austrian Pine	6' Ht.	20-25 Ft.	5-10 Ft.	BUFFER
UNDERSTORY TREES						
CC	2	Cercis canadensis Eastern Redbud	2' Cal.	235AD	15-25 Ft.	15-20 Ft.

GROUND PLANE SCHEDULE			
SYMBOL	QTY	BOTANICAL / COMMON NAME	ADD INFO
GROUND COVERS			
	5,689 sf	3/4" Cimarron Granite	3' Depth - Covering Weed Barrier Fabric
	9,542 sf	3/8" Cimarron Granite	3' Depth - Covering Weed Barrier Fabric
	601 sf	El Paso County All-Purpose Low Grow Mix	Seed
	1,317 sf	Poa pratensis 'Colorado Blue' Colorado Blue Kentucky Bluegrass	Sod

SHARED COMMUNITY GREEN SPACE (3,469 SQ.FT.)



1. STANDARD CITY OF COLORADO SPRINGS LANDSCAPE NOTES:
 - a. A FINAL LANDSCAPE AND IRRIGATION PLAN, WITH APPLICABLE SUPPORTING MATERIAL, SHALL BE SUBMITTED AT TIME OF BUILDING PERMIT APPLICATION AND SHALL BE APPROVED BEFORE ANY BUILDING PERMIT APPROVAL, ANY LANDSCAPE OR IRRIGATION CONSTRUCTION, AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 - b. ALL PROPOSED LANDSCAPING SHALL BE WATERED BY AN AUTOMATIC IRRIGATION SYSTEM WHICH WILL PROVIDE Drip IRRIGATION TO ALL SHRUB BEDS AND TREES WITHIN NATIVE SEED AREAS AND SPRAY IRRIGATION TO ALL HIGH-WATER USE TURF AND NATIVE SEED AREAS.
2. THE OWNER OR DEVELOPER IS REQUIRED TO PROVIDE INSPECTION AFFIDAVITS EXECUTED BY THE COLORADO LICENSED LANDSCAPE ARCHITECT OR CERTIFIED IRRIGATION DESIGNER OF RECORD FOR THE PROJECT WHICH CERTIFIES THAT THE PROJECT WAS INSTALLED AND IN COMPLIANCE WITH THE APPROVED FINAL LANDSCAPE AND IRRIGATION PLAN ON FILE IN CITY PLANNING. THIS SHOULD REQUIRE LIMITED CONSTRUCTION OBSERVATION VISITS TO ACCURATELY COMPLETE THE AFFIDAVITS. WHEN READY TO CALL FOR INSPECTION AND SUBMIT AFFIDAVITS, FIRST CONTACT THE CITY PLANNER OF RECORD FOR THE PROJECT (719-385-5905) AND AS NECESSARY OUR DRE OFFICE (719-385-5982).
3. COPIES OF RECEIPTS/DELIVERY TICKETS FOR SOIL AMENDMENTS INSTALLED ON THE PROJECT ARE REQUIRED AND MUST BE SUBMITTED WITH THE RESPECTIVE AFFIDAVIT.
4. IF SOIL IN THE PARKING LOT HAS BEEN COMPACTED BY GRADING OPERATIONS, THE SOIL WITHIN THE PLANTER SHALL BE TILLED, OR REMOVED TO A DEPTH OF THIRTY (30) INCHES AND REPLACED WITH AN ACCEPTABLE GROWING MEDIUM FOR THE SPECIES BEING INSTALLED.
5. TILLING OF THE EXISTING SOIL TO INCORPORATE AMENDMENTS AND COUNTING ANY COMPACTION OR SOIL CONSOLIDATION SHALL BE REQUIRED FOR ALL LANDSCAPE PLANTING AREAS.
6. ACCESSIBLE ROADS, SIDEWALKS AND CURB SIDEWALKS, WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PER CITY ENGINEER'S STANDARD DRAWINGS AND SPECIFICATIONS. ENGINEERING DEVELOPMENT REVIEW DIVISION STAFF WILL HAVE THE FINAL AUTHORITY ON ACCEPTING THE PUBLIC IMPROVEMENTS.

Landscape Setbacks (or Double Frontage Lot Streetscapes) See Code Section/ Policy 7.4.905.B														
Street Name or Zone Boundary	Street Classification	Width (In Feet)		Linear Footage	Feet Per Tree	No. of		Plant Abbrev.	Shrub Substitutes		Ornamental Grass		Percent Ground Plane	
		Req.	Prov.			Req.	Prov.		Req.	Prov.	Req.	Prov.	Req.	Prov.
N. Prospect St.	Non Arterial	10	10	130	30	5	4	PRO	10	*	o	*	75%	75%
N. Arcadia St.	Non Arterial	10	0	41	30	2	1	ARC	10	*	o	*	75%	75%
* WILL BE PROVIDED ON FINAL LANDSCAPE PLAN														
Motor Vehicle Lots See Code Section/ Policy 7.4.907														
Vehicle Lot Frontage	No. of Uncovered Vehicle Spaces Provided	Shade Trees (1/15 Spaces)		Length of Screening Wall	Length of Frontage	2/3 Length of Frontage	Plant Abbrev.	Percent Ground Plane		Min. 3' Screening Plants		Evergreen Plants (50% Min.)		
		Req.	Prov.					Req.	Prov.	Req.	Prov.	Req.	Prov.	
Total Shade Trees Required	8	1	1	N/A	N/A	N/A	PKG	75%	75%	N/A	N/A	N/A	N/A	
Internal Landscape See Code Section/ Policy 7.4.908														
Net Site Area (Sq. Ft.) (Less Public R.O.W.)	Percent Minimum Internal Area (%)	Internal Area (Sq Ft)		Internal Trees (1/500 Sq Ft)		Internal Shrubs (10 Shrubs/ Tree)		Plant Abbrev.	Percent Ground Plane Veg (Sq Ft)		Internal Ornamental Grass Sub.			
		Req.	Prov.	Req.	Prov.	Req.	Prov.		Req.	Prov.	Req.	Prov.		
	32767	10%	3277	23322	7	10	0	0	INT	75%	75%	0	0	
* Existing Trees are Included in Provided Count														

CONTRACT NOTES:

1. PRIOR TO BEGINNING ANY WORK ON THE SITE, THE CONTRACTOR SHALL CONTACT THE OFFICE OF THE OWNER'S REPRESENTATIVE FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING OF WORK.
2. CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, TOOLS AND SERVICE NECESSARY TO FURNISH AND INSTALL ALL WORK SPECIFIED AND AS SHOWN ON THESE PLANS.
3. NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT OWNER'S REPRESENTATIVE'S APPROVAL. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CANNOT BE OBTAINED. OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REVERSE LIST UP AS DEEMED NECESSARY.
4. THE SHOWN UTILITY LOCATIONS ARE APPROXIMATE. CONTRACTOR SHALL LOCATE ALL UTILITIES BEFORE WORK. LOCATE EXACT UTILITY LOCATIONS BY CONTACTING "CALL BEFORE YOU DIG" AT (800) 922-1987. THE CONTRACTOR IS RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE CAUSED TO UTILITIES.
5. AN EVENLY PLACED LAYER OF GRAVEL MULCH SHALL BE PLACED ON ALL AREAS DESIGNATED TO RECEIVE THE SPECIFIED MULCH. MINIMUM DEPTHS SHALL BE ACHIEVED IN ACCORDANCE TO THE SCHEDULE BY THE TYPE OF MULCH. WEED BARRIER FABRIC SHALL BE COMPLETELY COVERED AND PINNED.
6. AN EVENLY PLACED LAYER OF BREEZE SHALL BE PLACED ON ALL AREAS DESIGNATED TO RECEIVE ORGANIC MULCH. ORGANIC MULCH SHALL BE APPLIED DIRECTLY TO TILLED, SCARIFIED, AMENDED AND UNCOMPACTED SOIL.
7. THE LANDSCAPE CONTRACTOR SHALL SUPPLY OWNER'S REPRESENTATIVE WITH A SAMPLE OF ALL TYPES OF MULCH FOR APPROVAL PRIOR TO INSTALLATION.
8. POROUS WEED BARRIER FABRIC SHALL BE INSTALLED IN ALL PLANTING BEDS ONLY IN LOCATIONS WHERE BREEZE IS NOT PRESENT.
9. WEED BARRIER SHALL BE A WOVEN, POROUS MAT AS MANUFACTURED BY AMERICAN EXCELSIOR POLYSPUN XL, DUPONT TYPAR STYLE 3341 OR MIRAFI "MIRASCAPE". THE WEED BARRIER SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS. ALL WEED BARRIER SHALL BE COMPLETELY COVERED BY ROCK.
10. IF HEIGHT BY 3/16" WIDTH ROLL-TOPOIL-TOPOIL SHALL BE USED TO SEPARATE ALL PLANTING BEDS FROM VARYING TYPES OF TURF WHEREAS ILLUSTRATED, PLACE EDGING FLUSH WITH GRADE, AVOID BROKEN BACK CURVES AND LONG TANGENTS BETWEEN CURVES. OBTAIN OWNER'S REPRESENTATIVE'S APPROVAL PRIOR TO INSTALLATION.
11. ALL EXISTING TOPSOIL IS TO BE STRIPPED AND STOCKPILED FOR USE IN PROPOSED LANDSCAPE. TOPSOIL SHOULD BE LOCATED WHERE IDENTIFIED ON THE CIVIL ENGINEERING GRADING AND EROSION CONTROL PLAN.
12. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EXISTING EROSION CONTROL MEASURES AS PER THE CITY OF COLORADO SPRINGS SPECIFICATIONS DURING THE DURATION OF WORK ON-SITE.
13. CONTRACTOR SHALL PROVIDE 4" OF TOPSOIL AT ALL SOD AND PLANTING AREAS. GRADE SHALL BE ADJUSTED FOR SOD THICKNESS. LANDSCAPE CONTRACTOR SHALL PERFORM ALL FINISH GRADING.
14. FOR PROPOSED SITE GRADING, SEE GRADING PLAN.
15. CULTIVATE THE SUBSOIL ON ALL PLANTING BEDS AND SOD AREAS TO A DEPTH OF 12".
16. ALL PLANT MATERIALS SHALL HAVE BACKFILL CAREFULLY PLACED AROUND THE BASE AND SIDES OF BALL TO TWO-THIRDS (2/3) DEPTH OF THE BALL, THEN THOROUGHLY SOAK WITH WATER TO ALLOW SETTLEMENT. ALL WIRE, BURLAP FASTENERS AND LOOSE BURLAP AROUND BASE OF TRUNK SHALL BE REMOVED AT THIS TIME. REMAINDER OF PIT SHALL THEN BE BACKFILLED, ALLOWING FOR DEPTH OF MULCH, SAUCER AND SETTLEMENT OF BACKFILL. BACKFILL SHALL THEN BE THOROUGHLY WATERED AGAIN.
17. ALL SHRUBS AND TREES SHALL BE PLANTED A MINIMUM OF 12" INSIDE OF ALL EDGING AND AWAY FROM WALLS AND OTHER PERMANENT STRUCTURES.
18. ALL PLANT LOCATIONS ARE APPROXIMATE; ADJUST AS NECESSARY TO AVOID CONFLICTS. OBTAIN OWNER'S REPRESENTATIVE'S APPROVAL OF LOCATIONS PRIOR TO PLANTING TREES AND SHRUBS.
19. QUANTITIES OF MATERIALS SHOWN ON THE PLANTING PLAN TAKE PRECEDENCE OVER QUANTITIES SHOWN ON THE PLANT MATERIAL SCHEDULE. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES ON THE PLANTING PLAN. REPORT ANY DISCREPANCIES IN THE PLANTING PLAN IMMEDIATELY TO THE OWNER'S REPRESENTATIVE.
20. ALL PLANT MATERIAL SHALL BE WELL-FORMED AND DEVELOPED IN GOOD CONDITION, HEALTHY AND DISEASE-FREE, AND BE TYPICAL OF THE SPECIES. PLANTS SHALL COMPLY IN ALL APPLICABLE RESPECTS WITH ACCEPTABLE STANDARDS AS SET FORTH IN THE COLORADO NURSERY ACT OF 1965 - TITLE 35, ARTICLE 25, CRS 1974 (SEE LANDSCAPE THE NURSERY ACT). OWNER AND OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY AT ANY TIME OR PLACE PRIOR TO FINAL ACCEPTANCE OF WORK, ANY AND ALL PLANTS WHICH, IN THEIR OPINION, FAIL TO MEET THESE SPECIFICATION REQUIREMENTS.
21. PLANTS ARE TO BE SIZED AS SHOWN PER SPECIES ON THE PLANT SCHEDULE.
22. THE CONTRACTOR SHALL PROVIDE ALL WATER, WATERING DEVICES AND LABOR ENOUGH TO IRRIGATE PLANT MATERIALS UNTIL PROVISIONAL ACCEPTANCE OF THE PROJECT. THE CONTRACTOR SHALL SUPPLY ENOUGH WATER TO MAINTAIN THE PLANTS' HEALTHY CONDITION.
23. ALL PLANT MATERIALS SHALL BE PROTECTED FROM THE DRYING ACTION OF THE SUN AND WIND AFTER BEING DUG, WHILE BEING TRANSPORTED, AND WHILE AWAITING PLANTING. BALLS OF PLANTS THAT CANNOT BE PLANTED IMMEDIATELY SHALL BE PROTECTED FROM DRYING ACTION BY COVERING THEM WITH MOIST MULCH. PERIODICALLY, APPLY WATER TO MULCH-COVERED BALLS TO KEEP MOIST. IF PLANTING SHOULD OCCUR DURING GROWING SEASON, APPLY ANTI-DESICCANT TO LEAVES BEFORE TRANSPORT TO REDUCE LIKELIHOOD OF WINDBURN. REAPPLY ANTI-DESICCANT AFTER PLANTING TO REDUCE TRANSPIRATION.
24. WRAP ALL TREE TRUNKS SPIRALLY WITH APPROVED WRAPPING MATERIAL FROM GROUND TO THE FIRST BRANCH. SECURELY TIE WRAPPING AT THE TOP AND BOTTOM WITH MASKING TAPE. TREES SHALL BE SUPPORTED IMMEDIATELY AFTER PLANTING IN THE MANNER SHOWN ON THE PLANTING DETAILS.
25. AFTER PLANTING IS COMPLETE, REPAIR INJURIES TO ALL PLANTS AS REQUIRED. LIMIT AMOUNT OF PRUNING TO A MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS AND BRANCHES. PRUNE IN SUCH A MANNER AS NOT TO CHANGE NATURAL HABIT OR SHAPE OF PLANT. CENTRAL LEADERS SHALL NOT BE REMOVED.
26. FINE GRADE SOD AND SEED AREAS TO ELIMINATE IRREGULARITIES ON THE SURFACE. ROLL OR PERFORM ADDITIONAL FINE GRADING.
27. ROLL SOD AFTER INSTALLATION TO ENSURE ROOTS ARE IN CONTACT WITH THE SOIL SURFACE. IMMEDIATELY BEGIN WATERING OF SODDED AREAS.
28. CONTRACTOR TO REMOVE TREE STAKES, TREE WRAP, AND ALL DEAD WOOD ON TREES AND SHRUBS ONE YEAR AFTER THE COMMENCEMENT OF THE PLANTING INSTALLATION.
29. AT THE COMPLETION OF PLANTING OPERATIONS ALL PLANTS SHALL BE INSPECTED BY THE OWNER AND OWNER'S REPRESENTATIVE WITHIN A 15-DAY PERIOD. REPLACE IMMEDIATELY ANY PLANTS NOT IN HEALTHY AND VIGOROUS CONDITION AT THAT TIME AT NO EXPENSE TO THE OWNER, ANY PLANT NOT IN HEALTHY CONDITION DURING THE TWO-YEAR WARRANTY PERIOD SHALL BE REPLACED AS PER THE ORIGINAL SPECIFICATIONS, FREE OF CHARGE TO THE OWNER.
30. REMOVE ALL RUBBISH, EQUIPMENT AND MATERIAL AND LEAVE THE AREA IN A NEAT, CLEAN CONDITION EACH DAY. MAINTAIN PAVED AREAS UTILIZED FOR HAULING EQUIPMENT AND MATERIALS BY OTHER TRADES IN A CLEAN AND UNOBSTRUCTED CONDITION AT ALL TIMES.
31. THE FINISH GRADES AS SHOWN ON CIVIL CONSTRUCTION DRAWINGS SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM WALLS AND BUILDINGS.
32. THE TILLING OF PLANTING BEDS AND PLACEMENT OF BACKFILL IS TO OCCUR JUST PRIOR TO PLANTING; THEREAFTER, PROTECTION FROM COMPACTION AND CONSTRUCTION TRAFFIC SHOULD BE GIVEN.
33. 1" MINIMUM AND MAINTAIN A 1.5-FOOT MINIMUM SEPARATION FROM WATER AND WASTEWATER MAINS AND A 6-FOOT MINIMUM SEPARATION FROM ELECTRIC AND GAS DISTRIBUTION LINES.
34. 24 HOURS PRIOR TO PLANTING ALL PLANT MATERIAL, CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE TO INSPECT AND APPROVE THE PLANT LAYOUT LOCATIONS.
35. IRRIGATION WILL BE PROVIDED TO ALL SHRUBS AND PERENNIALS VIA DRIP IRRIGATION. IRRIGATION WILL BE PROVIDED TO ALL AREAS OF TURFGRASS VIA SPRAY IRRIGATION.
36. UPON REQUEST BY THE APPLICANT, AN IRRIGATION PLAN SHALL BE SUBMITTED WITHIN NINETY (90) DAYS SUBSEQUENT TO BUILDING PERMIT ISSUANCE AND APPROVED PRIOR TO THE INSTALLATION OF ANY IRRIGATION COMPONENTS AND PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
37. MITIGATION OF EXISTING TREES MAY OCCUR WITHIN THE FLOODPLAIN OF THE SITE FOR SAFETY REASONS. TO ENSURE THE REMAINING TREES ARE MAINTAINED, PLANT MATERIALS AND DEAD/DYING PLANTS MAY BE REMOVED.
38. ALL LANDSCAPE ADJACENT TO PROTECTED LANDSCAPE AREAS, NOTED AS "RE-ESTABLISHED AREA" IN THE GROUNDPLANE SCHEDULE, SHALL BE PROTECTED OR REPAIRED TO PRE-CONSTRUCTION CONDITIONS OR BETTER.
39. WALL, FENCE, AND OTHER ARCHITECTURAL DETAILS PROVIDED ON LANDSCAPE DRAWINGS ARE FOR DEVELOPMENT PLAN PURPOSES ONLY. SEE APPLICABLE ARCHITECTURAL CONSTRUCTION DRAWINGS FOR CONSTRUCTION.
40. ALL EXISTING DECIDUOUS TREES THAT WILL REMAIN ON THE PROPERTY SHALL BE PRUNED AND MAINTAINED ACCORDINGLY.

APPROVAL STAMP



MONUMENT VALLEY
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DESIGN REVOLUTION

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PROSPECT VILLAGE

A Tiny House
Community

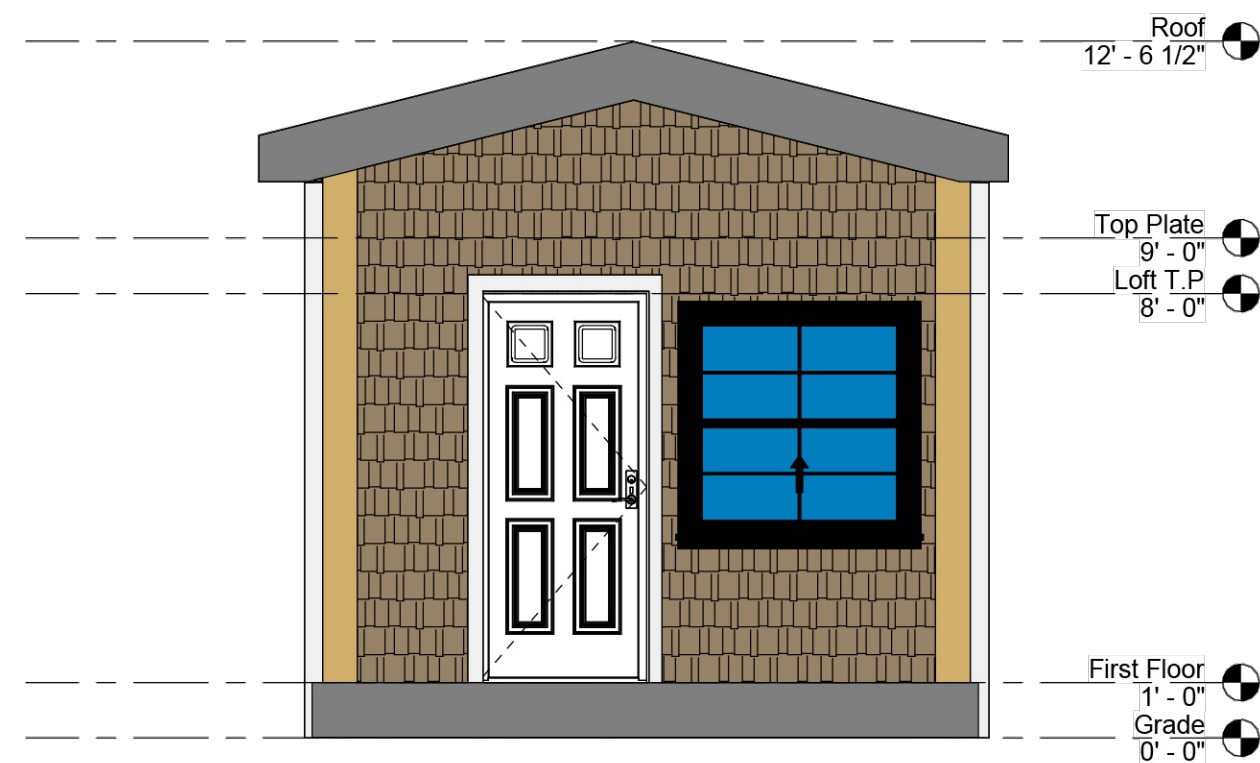
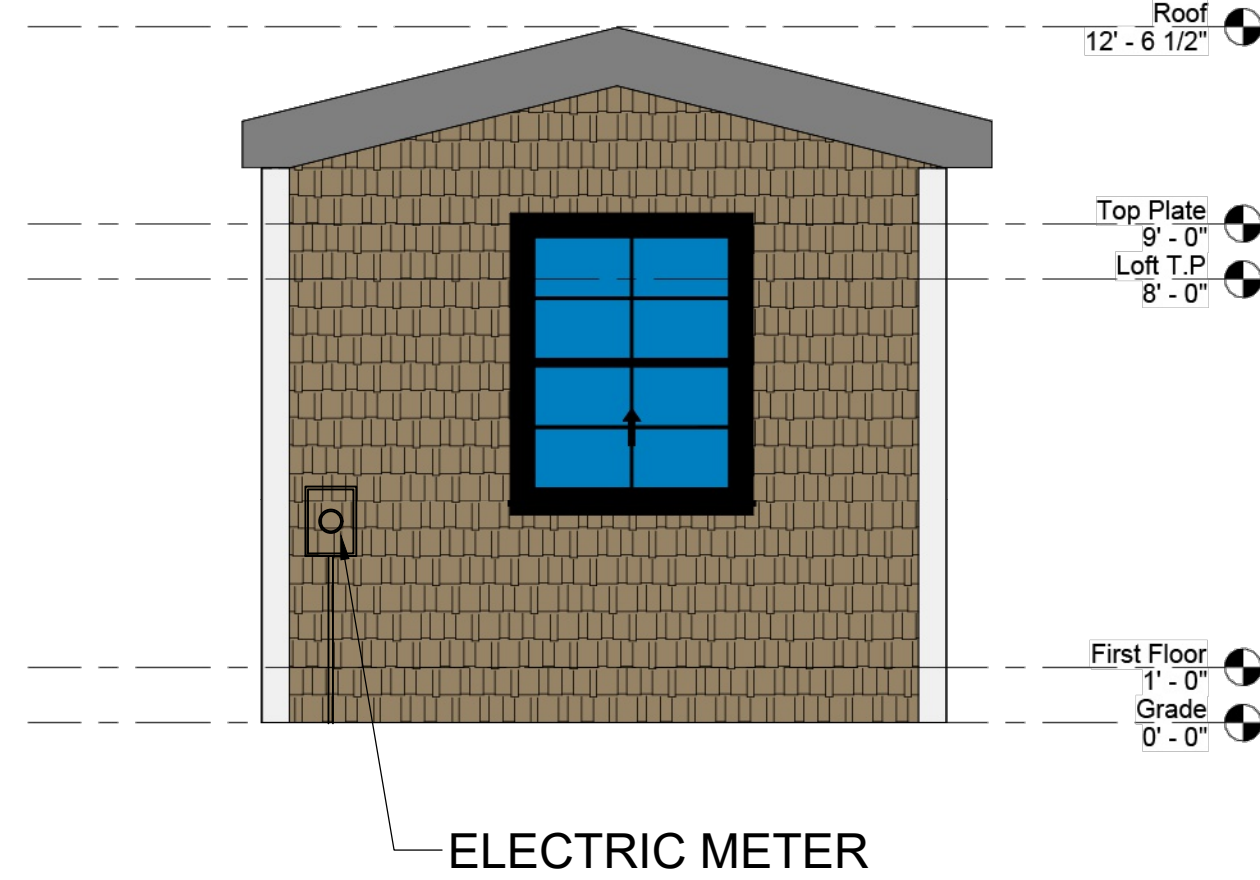
3103 N PROSPECT ST.
Colorado Springs,
Colorado

DEVELOPMENT PLAN

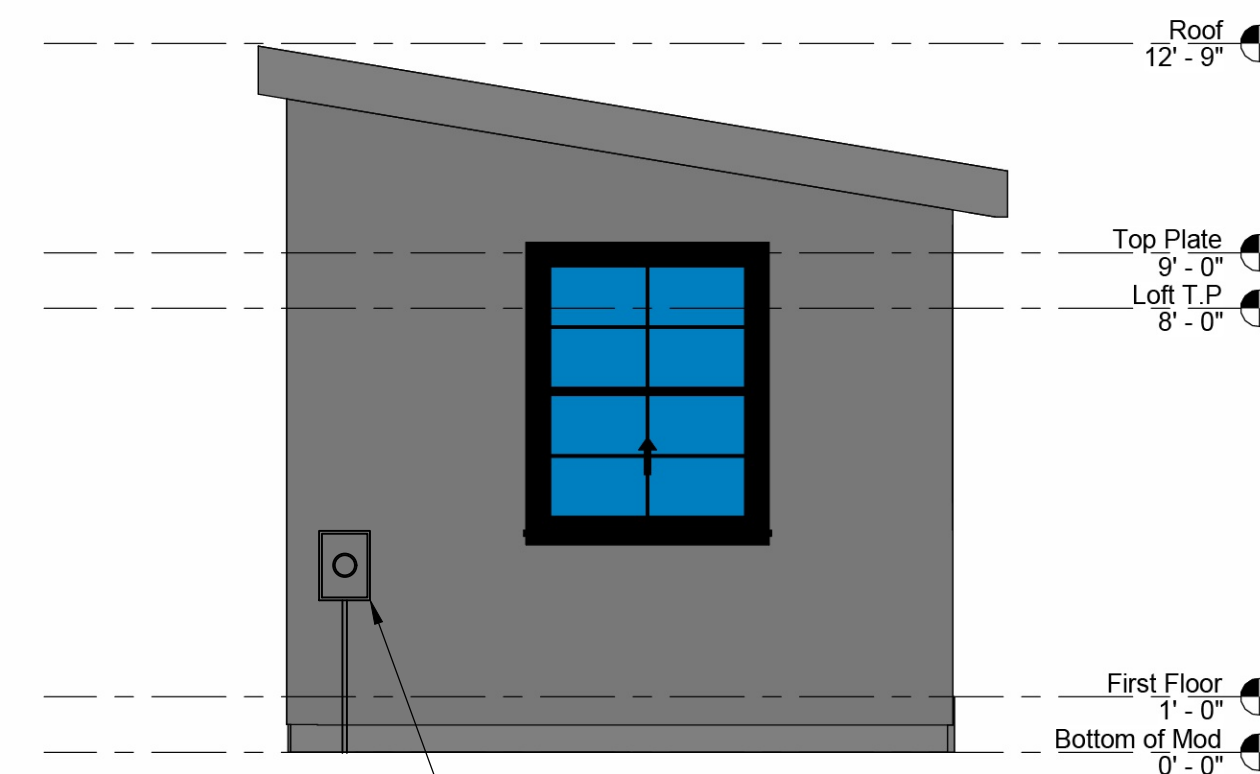
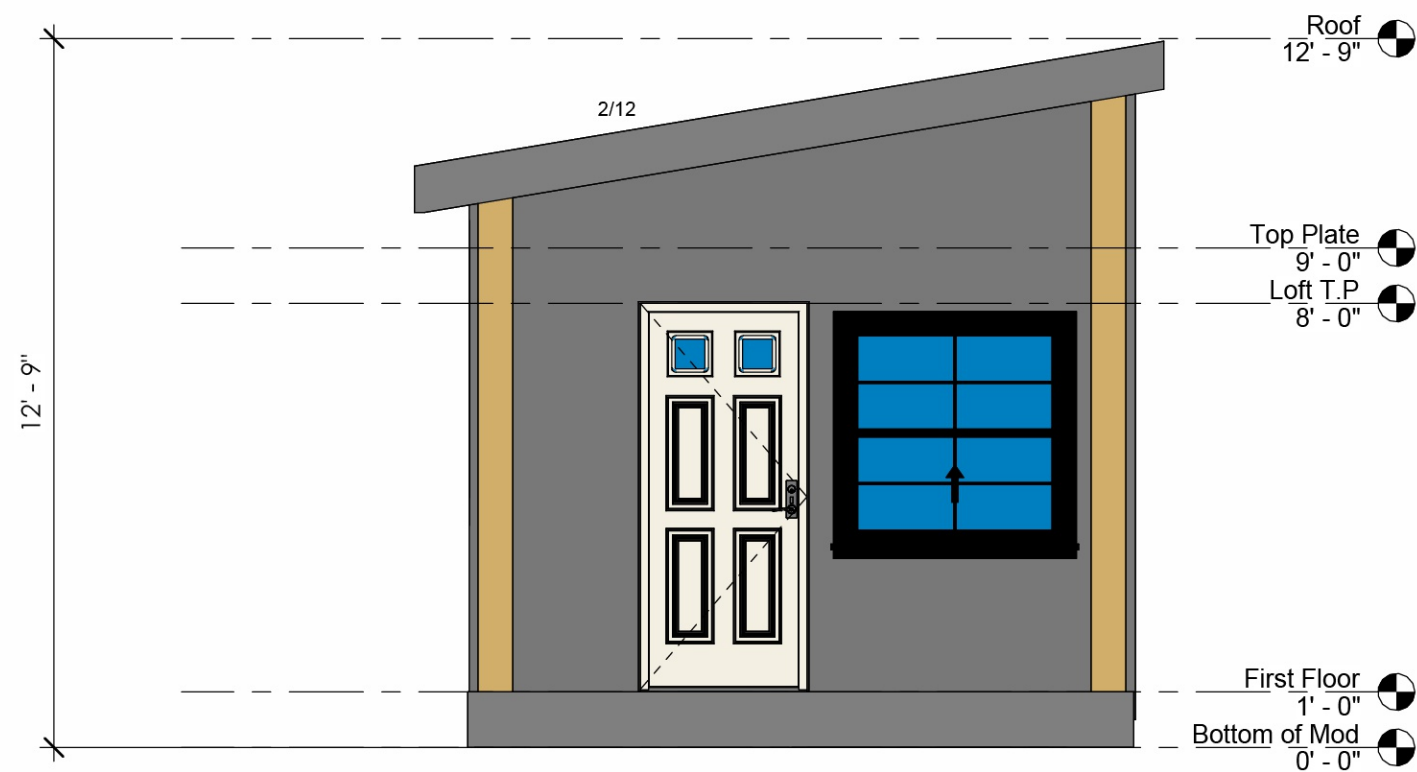
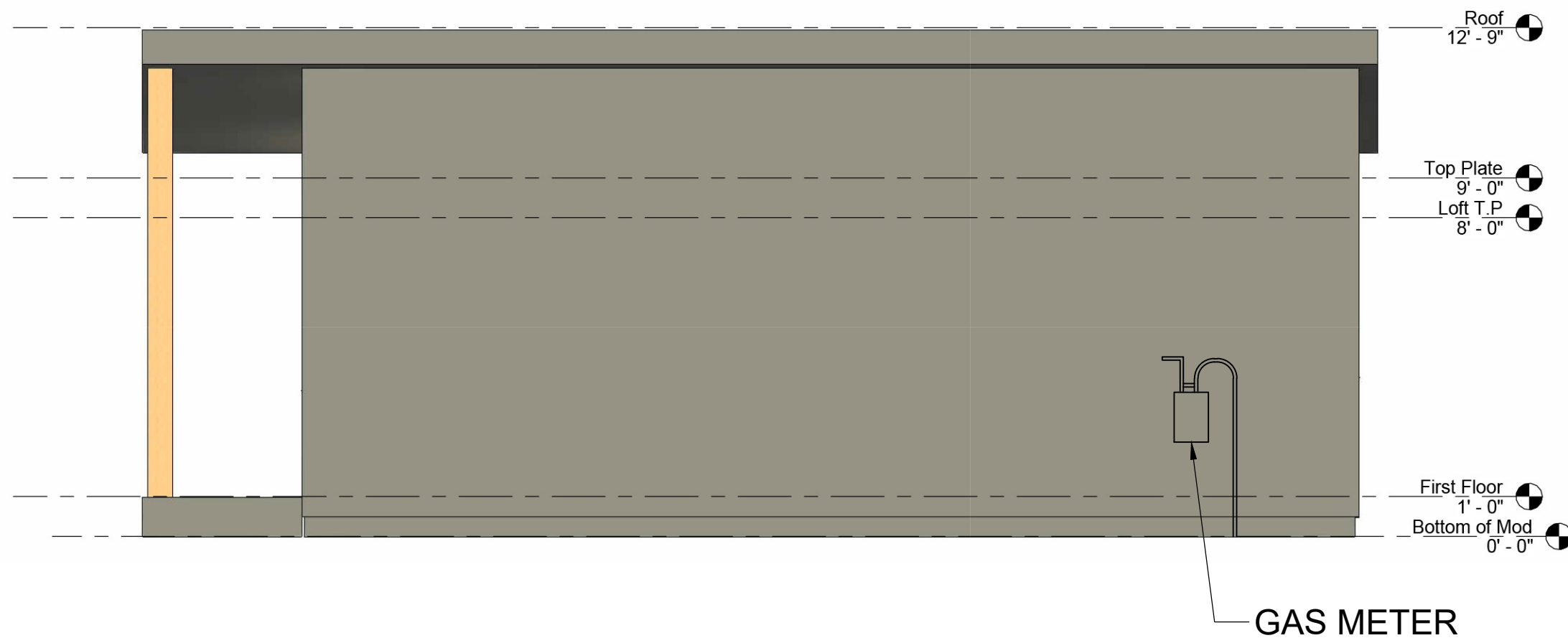
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Resubmitted: Jan. 22, 2025

DP5
PRELIM
LANDSCAPE PLAN
SHEET 5 OF 6

Not For Construction
Colorado Springs Land Use Review
File Number(s): DEPN-24-0123



PROSPECT VILLAGE - ALPHA



PROSPECT VILLAGE - OMEGA

ELECTRIC METER

APPROVAL STAMP



PROSPECT VILLAGE

A Tiny House Community

3103 N PROSPECT ST.
Colorado Springs,
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DP6

ARCHITECT
ELEVATIONS
SHEET 6 OF 6

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