

# DEVELOPMENT PLAN COTTAGE COURT on COSTILLA 745 E. Costilla Street, City of Colorado Springs

## PROJECT DESCRIPTION

A DEVELOPMENT PLAN FOR A 14-LOT, SINGLE-FAMILY ATTACHED DEVELOPMENT IN THE MX-L (MIXED-USE LARGE) ZONE DISTRICT.

## FLOODPLAIN STATEMENT

ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP PANEL 08041C0733G WITH AN EFFECTIVE DATE OF DECEMBER 17, 2018, THE SUBJECT PROPERTY IS LOCATED IN ZONE X (AN AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN).

## SITE DATA

Address(es): 404 & 410 S Prospect St. & 745 E. Costilla Street  
 Master Plan: Shooks Run Redevelopment Plan  
 Current Zoning: MX-L  
 Proposed Zoning: MX-L  
 Existing Use Type: Commercial & Detached Single-Family  
 Proposed Use Type: Attached Single-Family  
 Tax Schedule Numbers: 6417312001, 6417312002, 6417312003  
 Land Area (3 Lots): 22,230 Sq. Ft. (0.51 Acres)  
 Minimum Building Setbacks  
 Front: AS SET FORTH IN DEVELOPMENT PLAN  
 Side: AS SET FORTH IN DEVELOPMENT PLAN  
 Rear: AS SET FORTH IN DEVELOPMENT PLAN  
 Maximum Building Height: 65-Feet  
 Proposed Gross Density: 27.45 DU/ Acre  
 Development Schedule: Spring 2026  
 Drainage Basin: Shooks Run (Closed Basin)

## PARKING SUMMARY

Type: Single-Family Residential (Attached)  
 Dwelling Units: 14  
**DVSA Request (DVSA-26-0001)**  
 UDC 7.4.1005 Required Spaces: 2 Parking Spaces per Home  
 Standards Adjustment Request: 1.3 Parking Spaces per Home  
 Required Parking Spaces (with DVSA): **18 Parking Spaces**  
 Parking Minimum Adjustments:  
 On-Street Parking Credit (25%): Subtract 4.5 Spaces  
 Transit Proximity (10%): Subtract 1.8 Spaces  
 Bike Route Proximity (5%): Subtract 0.9 Spaces  
 Reduction Subtotal: 7 Parking Spaces  
 Required Off-Street Parking Spaces: **11 Parking Spaces**  
 Provided Off-Street Parking Spaces: 11 Parking Spaces  
 Provided On-Street Parking: 12 On-Street Spaces  
 Total Spaces Provided: 23 Parking Spaces

## LEGAL DESCRIPTION:

TO BE PLATTED AS COTTAGE COURT ON COSTILLA

745 E. COSTILLA STREET AND 404 AND 410 PROSPECT STREET

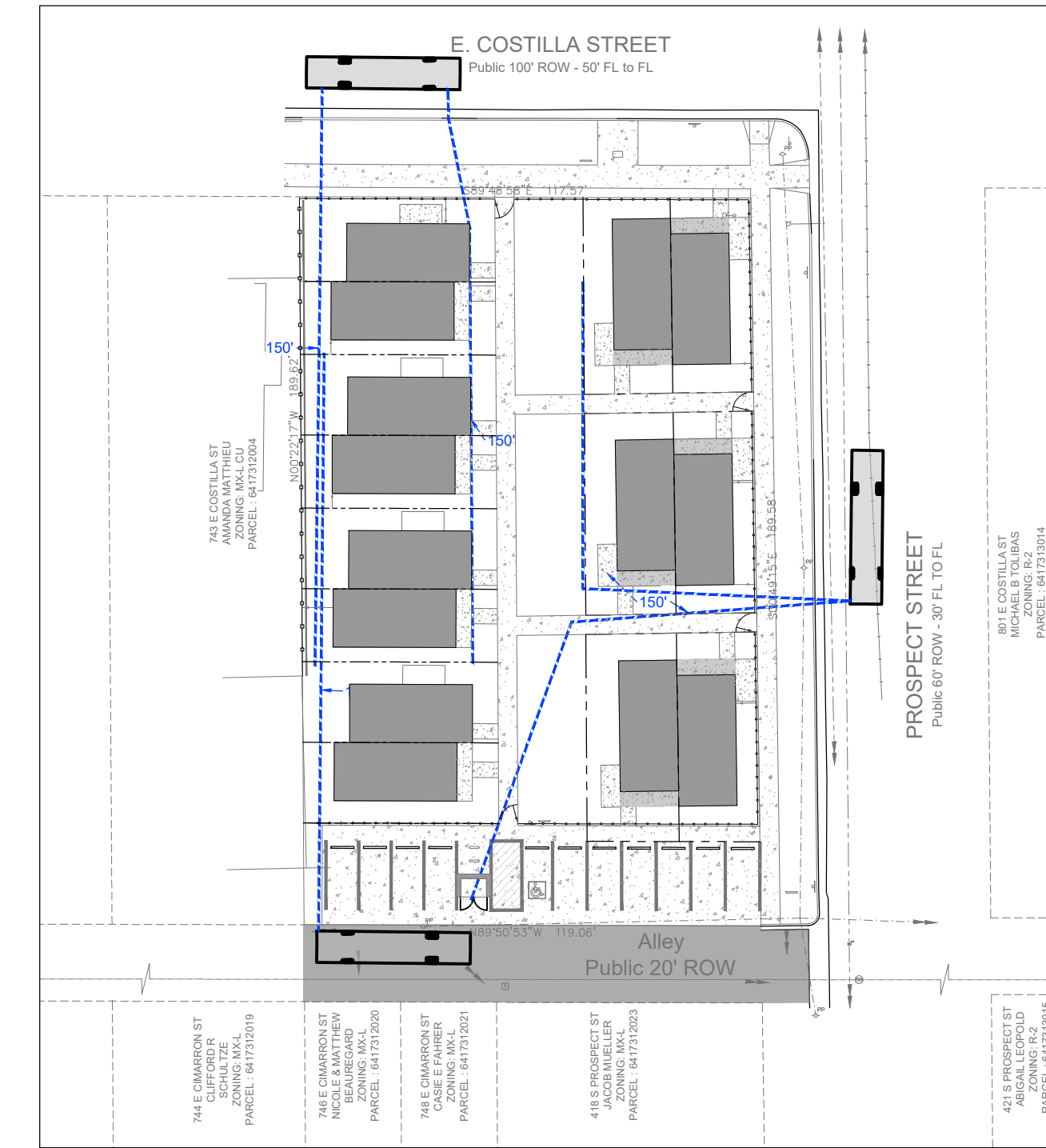
THAT PORTION OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 17, IN TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH P.M. AND THAT PORTION OF LOTS 12 AND 13, BLOCK 3 HILLSIDE ADDITION TO THE CITY OF COLORADO SPRINGS (PLAT BOOK D, PAGE 25, EL PASO COUNTY, COLORADO RECORDS), IN THE CITY OF COLORADO SPRINGS, EL PASO COUNTY COLORADO, CONTAINING 0.510 ACRES (22,230 SQUARE FEET), MORE OR LESS, TO BE PLATTED AS LOT 1, COTTAGE COURT ON COSTILLA.

## VICINITY MAP



(NOT TO SCALE)

## FIRE PROTECTION AND APPARATUS DIAGRAM



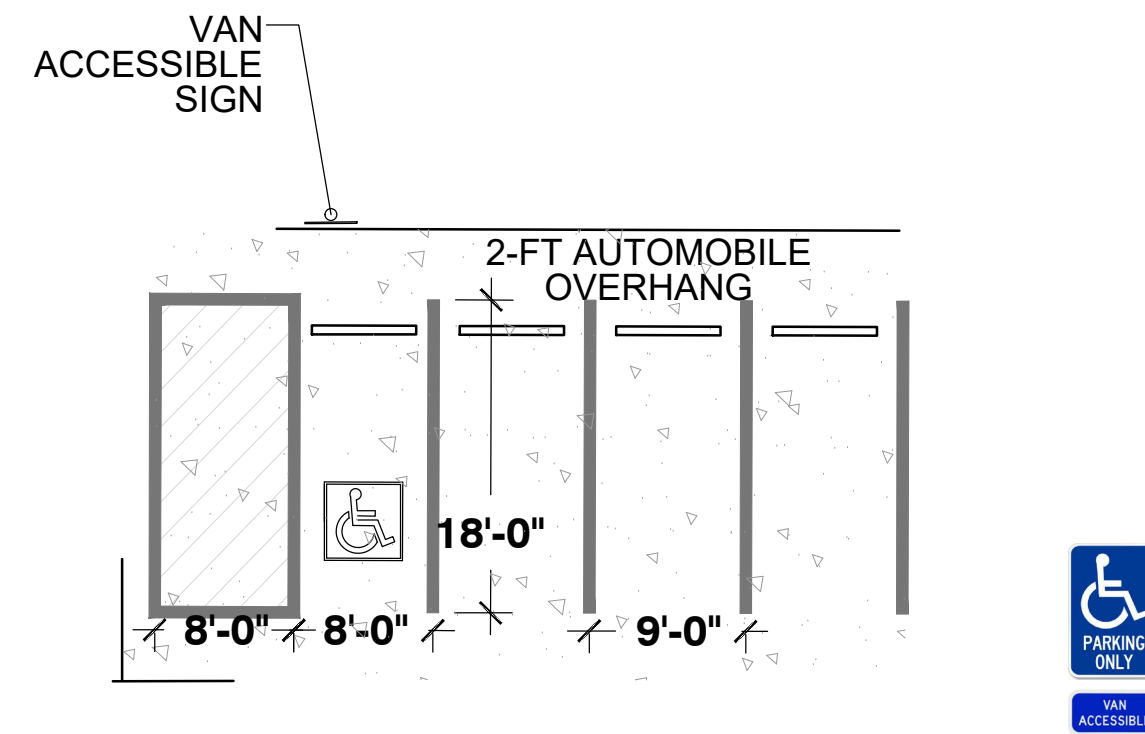
## DEVELOPMENT CONTACTS

**OWNER/DEVELOPER**  
 StreamHome Construction  
 c/o Lee Chapin  
 Lee@yourstreamhome.com  
 719.963.7595  
**PLANNER AND LANDSCAPE ARCHITECT**  
 Urban Landscapes LLC  
 c/o John Olson  
 John@UrbanLandscapes.design  
 719.600.8366  
**CIVIL ENGINEER**  
 FRONT RANGE CIVIL ENGINEERING  
 c/o Erich Dellinger  
 Erich@fronrangecivil.com  
 719.428.5557  
**LAND SURVEYOR**  
 Land Development Consultants, Inc.  
 c/o Dave Hostetler  
 dhostetler@ldc-inc.com  
 719.528.6133

## GENERAL NOTES

- THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.
- ALL LIGHTING FIXTURES, INCLUDING WALL PACKS, EXCEPT MOTION DETECTOR-ACTIVATED LIGHTING, SHALL BE FULLY SHIELDED SO THAT THE LIGHTING ELEMENT IS NOT VISIBLE TO AN OBSERVER AT ANY PROPERTY LINE, EXCEPT AS STATED IN CITY CODE SECTION 7.4.1203. AN AMENDMENT TO THIS PLAN MAY BE REQUIRED IF THE LIGHTING TYPE IS CHANGED. LIGHTING SPECIFICATIONS/ CUT SHEETS SHALL BE PROVIDED AT TIME OF BUILDING PERMIT FOR EACH LOT. SIGNAGE IS NOT APPROVED WITH THIS PLAN. A SEPARATE SIGN PERMIT IS REQUIRED. PLEASE CONTACT THE CITY'S DEVELOPMENT REVIEW ENTERPRISE AT 2880 INTERNATIONAL CIRCLE FOR A SIGN PERMIT APPLICATION.
- ALL LANDSCAPE AREAS, PARKING LOT AREAS, DRIVE AISLES AND ON-SITE DRAINAGE SYSTEMS WILL BE MAINTAINED BY THE HOME OWNER ASSOCIATION, OR THEIR ASSIGNS.
- ANY CHANGES TO THIS DEVELOPMENT PLAN WILL REQUIRE AN AMENDMENT TO THE DEVELOPMENT PLAN.
- TRACT A WILL BE CONVEYED TO AND OWNED BY COTTAGE COURT ON COSTILLA HOMEOWNERS ASSOCIATION FOR THE COMMON USE OF ALL LOT OWNERS FOR ACCESS, OPEN SPACE, RECREATIONAL PURPOSES, LANDSCAPING, VEHICLE AND BICYCLE PARKING, AND TRASH DISPOSAL.
- OUTSIDE STORAGE AREAS WILL BE PROHIBITED UNLESS SCREENED AND SHOWN ON THE DEVELOPMENT PLAN.
- ALL CURB, GUTTER, PEDESTRIAN RAMPS AND SIDEWALK POSING A SAFETY HAZARD, EXHIBITING EXCESSIVE DETERIORATION, DAMAGED OR DOES NOT MEET CURRENT CITY ENGINEERING STANDARDS ALONG PUBLIC STREETS ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY (CO). AN ON-SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW INSPECTOR TO DETERMINE WHAT, IF ANY IMPROVEMENTS ARE REQUIRED. THE INSPECTOR CAN BE REACHED AT 385-5977.
- A FIRE LANE INSPECTION WILL BE COMPLETED PRIOR TO THE FIRST CERTIFICATE OF OCCUPANCY FOR THIS DEVELOPMENT BY CALLING 719-385-5978.
- ACCESSIBLE ROUTES, INCLUDING RAMPS AND SIDEWALKS, WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PER THE CITY'S STANDARD DRAWINGS AND SPECIFICATIONS. CITY'S ENGINEERING DEVELOPMENT REVIEW INSPECTOR WILL HAVE THE FINAL AUTHORITY ON ACCEPTING THE PUBLIC IMPROVEMENTS.
- THE DEVELOPMENT HAS BEEN GRANTED AN ADJUSTMENT TO CODE SECTION 7.4.1003 ALLOWING A DECREASE OF PARKING FROM TWO PARKING SPACES PER UNIT TO 1.3 PARKING SPACES PER UNIT. (CITY FILE NUMBER DVSA-26-0001).
- THIS PROPERTY IS SUBJECT TO THE FINDINGS, SUMMARY AND CONCLUSIONS OF A GEOLOGIC HAZARD WAIVER PREPARED BY DATED FEBRUARY 24, 2026, WHICH IDENTIFIED SPECIFIC HAZARDS AS CITED IN THE REPORT. A COPY OF SAID REPORT HAS BEEN PLACED WITHIN FILE DEPN-25-0164, OR WITHIN THE SUBDIVISION FILE OF THE CITY OF COLORADO SPRINGS PLANNING AND DEVELOPMENT TEAM. CONTACT THE PLANNING AND DEVELOPMENT TEAM, 30 SOUTH NEVADA AVE., SUITE 701, COLORADO SPRINGS, CO, IF YOU WOULD LIKE TO REVIEW SAID WAIVER.
- ALL EXISTING CURBS, GUTTER, SIDEWALK, PEDESTRIAN RAMPS, CROSS-PANS, AND DRIVEWAY APRONS POSING A SAFETY HAZARD, DAMAGED, EXCESSIVELY DETERIORATED, OR NOT MEETING CURRENT CITY ENGINEERING STANDARDS ALONG PUBLIC STREETS ADJACENT TO THE SITE MUST BE REMOVED AND REPLACED PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY (C.O.). AN ON-SITE MEETING CAN BE ARRANGED WITH THE ENGINEERING DEVELOPMENT REVIEW INSPECTOR AT 719-385-5977 TO DETERMINE THE REQUIRED IMPROVEMENTS.
- THE VEGETATION ON THE SOUTH SIDE OF THE ALLEY WILL BE TRIMMED BACK AND UP TO THE ALLEY TO PROVIDE ADEQUATE CLEARANCE ADJACENT TO AND ABOVE THE ALLEY/FIRE LANE.
- SCHOOL AND PARK FEES SHALL BE PAID AT THE TIME OF BUILDING PERMIT ISSUANCE, IN LIEU OF LAND DEDICATION, FOR TWELVE (12) UNITS, ACCOUNTING FOR A OFFSET FOR THE TWO (2) PREVIOUSLY DEVELOPED UNITS ON THE PROPERTY.
- A PUBLIC UTILITY AND DRAINAGE EASEMENT IS RESERVED OVER TRACT A.
- PERPETUAL MAINTENANCE OF TRACT A SHALL BE THE RESPONSIBILITY OF COTTAGE COURT ON COSTILLA HOMEOWNERS ASSOCIATION.
- PERPETUAL MAINTENANCE OF TRACT A SHALL BE THE RESPONSIBILITY OF THE COTTAGE COURT OF COSTILLA HOMEOWNERS ASSOCIATION.

## OFF-STREET VAN ACCESSIBLE PARKING DETAIL



- NOTES:**
- Accessible parking spaces, access aisles, and signage shall meet all applicable city code requirements including:
    - Parking Spaces and access aisles shall be level with surface slopes not exceeding one to fifty (1:50) (2 percent) in all directions.
    - Accessible parking spaces shall be marked with four inch (4") lines.
    - Accessible aisles shall be outlined and diagonally striped at forty five degree (45°) angles in a contrasting color such as yellow, white, or blue. Each accessible parking space shall be designated as reserved by a sign showing the International Symbol of Accessibility. Van Accessible spaces shall have an additional sign containing the designation, "van accessible", mounted below the symbol of accessibility. Each accessible parking space sign shall be no smaller than eighteen inches (18") tall by twelve inches (12") wide. Each van accessible sign shall be no smaller than six inches (6") tall by twelve inches (12") wide. Signs shall be located at the head of the space with the bottom of the sign(s) between five feet (5') and seven feet (7') above the finish floor or ground surface.

### PLDO Calculations - Cottage Court on Costilla

	Total Units	Neighborhood Park Acreage Rate	Community Park Acreage Rate
PLDO Fees Per Unit	12	0.00646	0.01185



## SCHEMATIC ILLUSTRATION

APPROVAL STAMP

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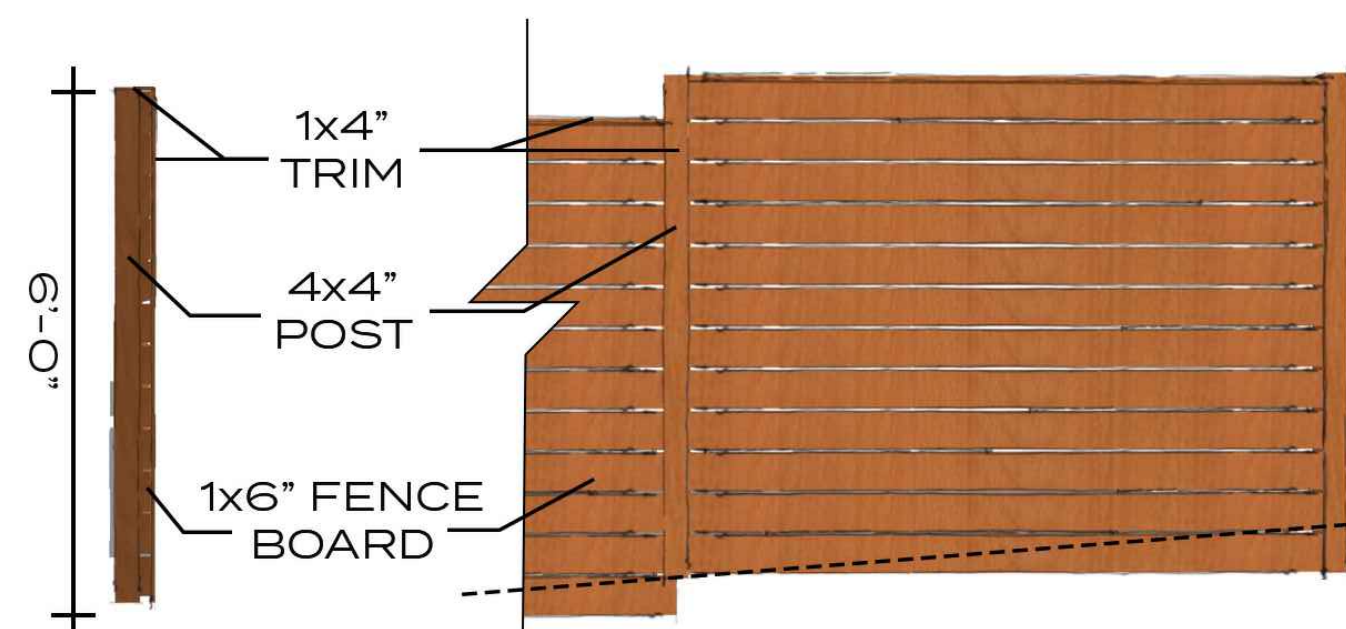
## COTTAGE COURT on COSTILLA

Colorado Springs, Colorado  
 DEVELOPMENT PLAN  
 Date Submitted: NOV. 18, 2025  
 Resubmitted: FEB. 11, 2026  
 Resubmitted: APR. 08, 2026  
 Resubmitted: MAY 13, 2026

## DP1

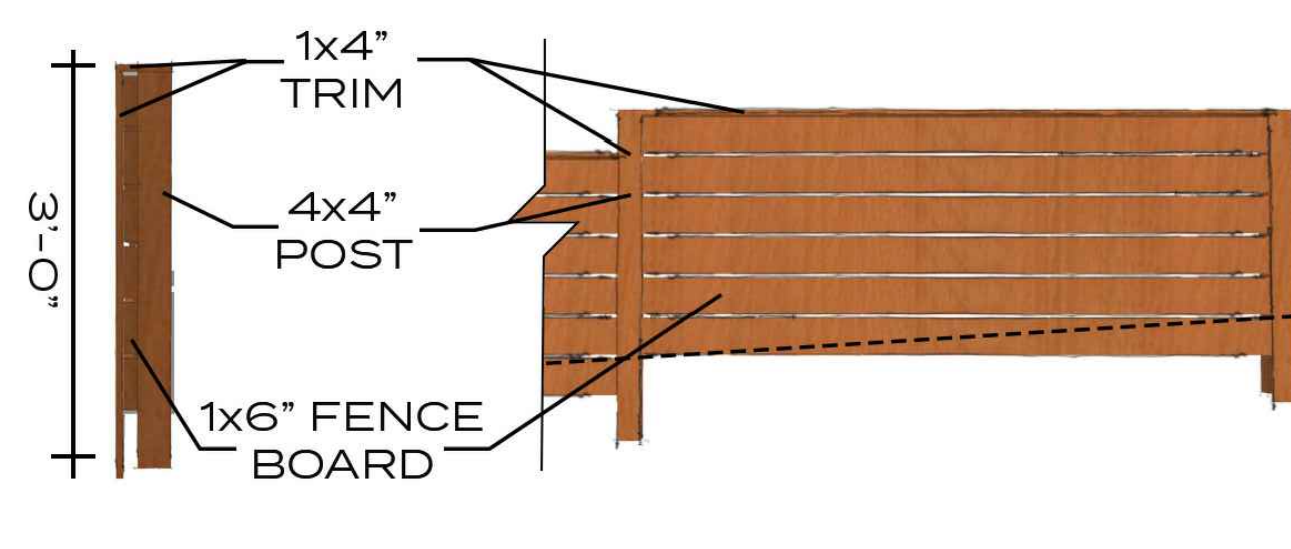
COVER SHEET  
 SHEET 1 OF 5

Not For Construction  
 Colorado Springs Land Use Review  
 File Number(s): DEPN-25-0164  
 DVSA-26-0001



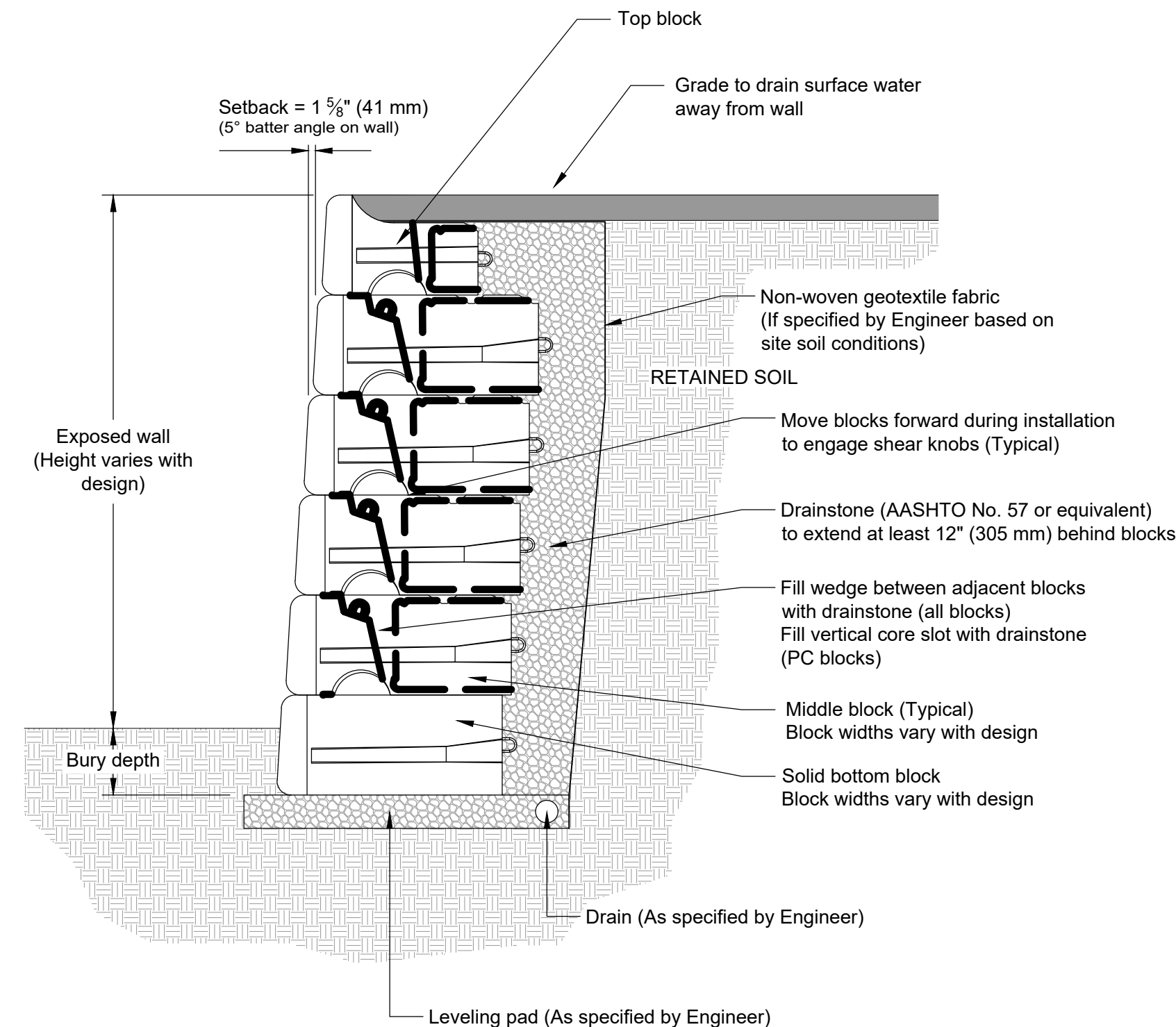
STEP DOWN WITH GRADE WITH OPPOSING BOARDS  
 4' - 8' SEPARATION OF POSTS

## 6' CEDAR FENCE DETAIL



STEP DOWN WITH GRADE WITH OPPOSING BOARDS  
 4' - 8' SEPARATION OF POSTS

## 3' HORIZONTAL FENCE



## STANDARD GRAVITY WALL DETAIL

## SHEET INDEX:

DRAWING #	DRAWING NAME	SHEET #
DP 1	COVER SHEET & NOTES	01 OF 05
DP 2	SITE PLAN & DETAILS	02 OF 05
DP 3	PRELIMINARY GRADING & DRAINAGE PLAN	03 OF 05
DP 4	PRELIMINARY UTILITY PUBLIC FACILITY PLAN	04 OF 05
DP 5	PRELIMINARY LANDSCAPE PLAN	05 OF 05

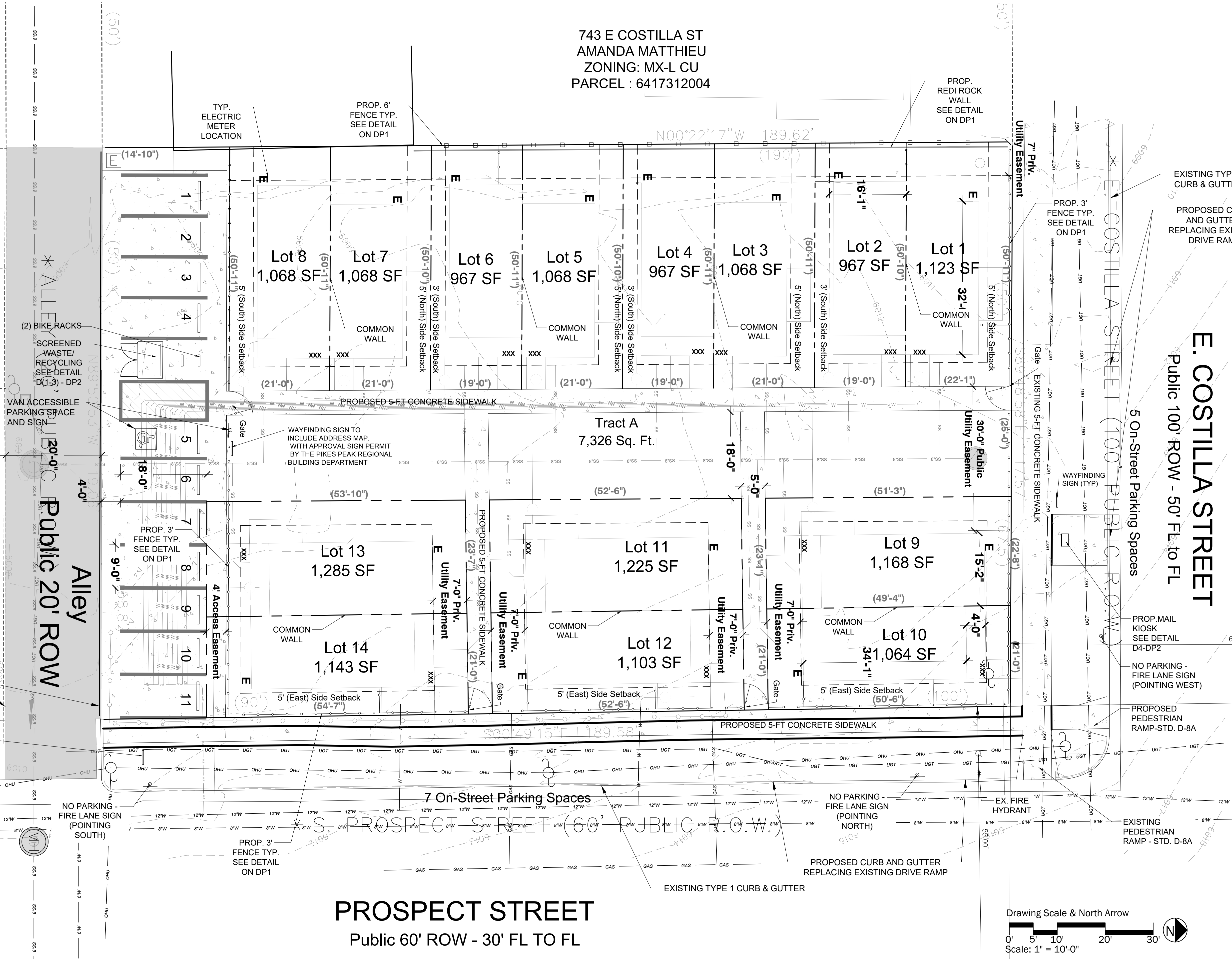
744 E CIMARRON ST  
CLIFFORD R  
SCHULTZE  
ZONING: MX-L  
PARCEL : 6417312019

746 E CIMARRON ST  
NICOLE & MATTHEW  
BEAUREGARD  
ZONING: MX-L  
PARCEL : 6417312020

748 E CIMARRON ST  
CASIE E FAHRER  
ZONING: MX-L  
PARCEL : 6417312021

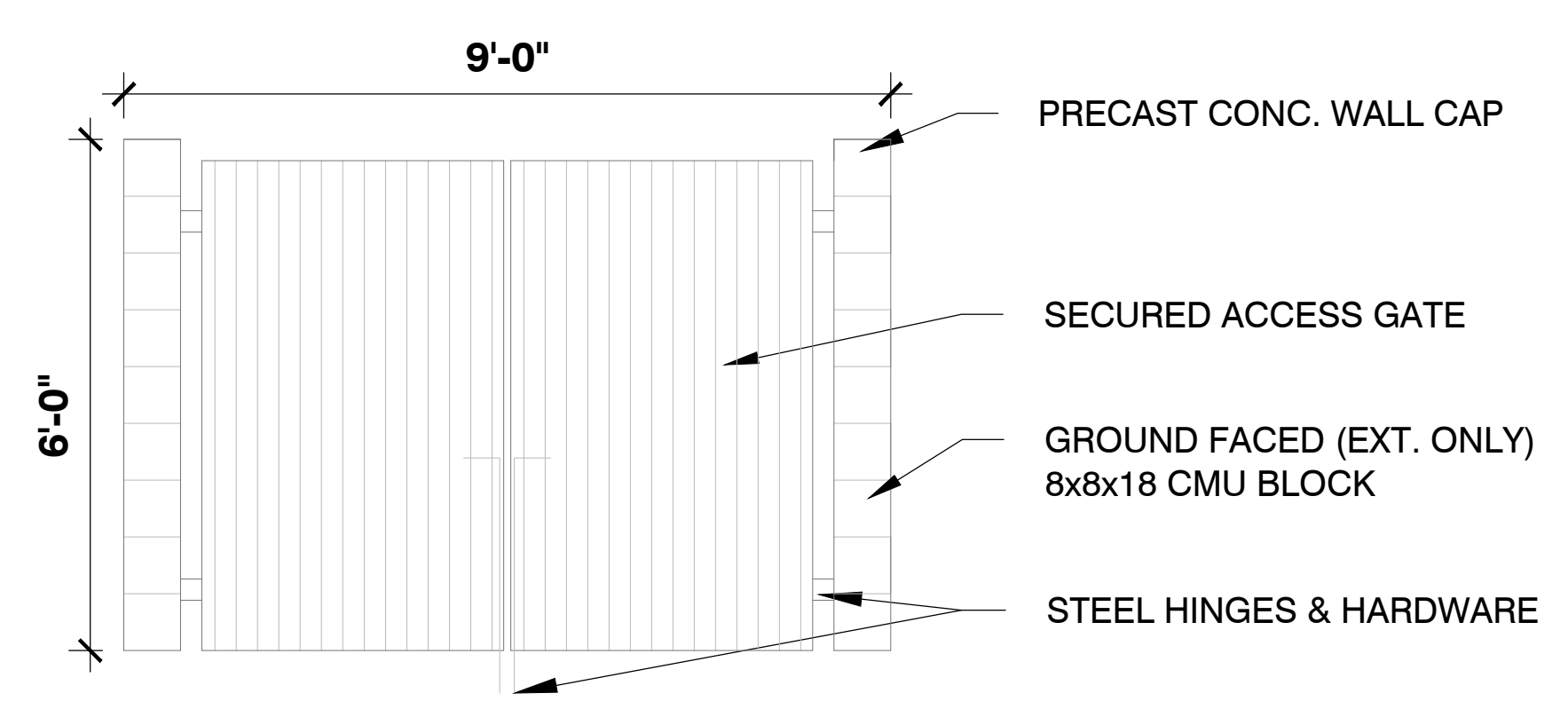
418 S PROSPECT ST  
JACOB MUELLER  
ZONING: MX-L  
PARCEL : 6417312023

743 E COSTILLA ST  
AMANDA MATTHIEU  
ZONING: MX-L CU  
PARCEL : 6417312004

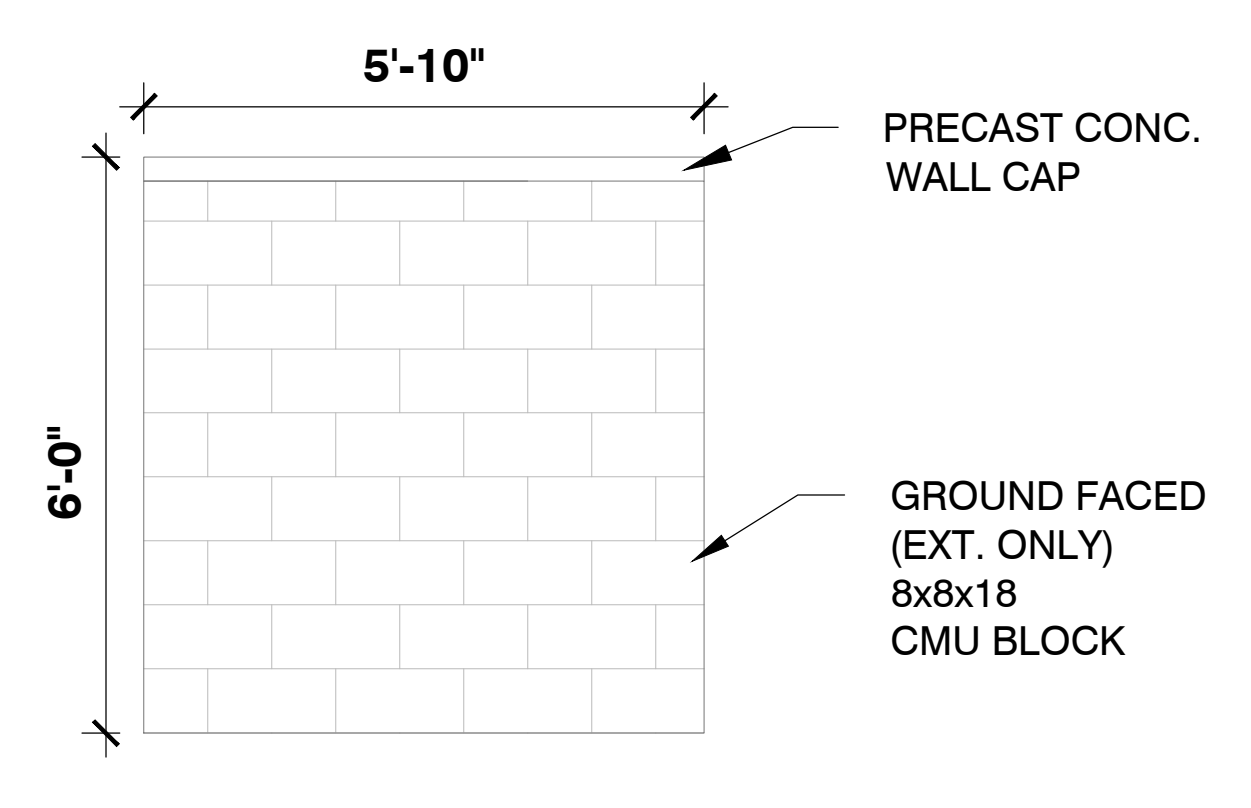


**GENERAL NOTES**  
BUILDING LAYOUTS SHOWN FOR CONCEPTUAL PURPOSES ONLY

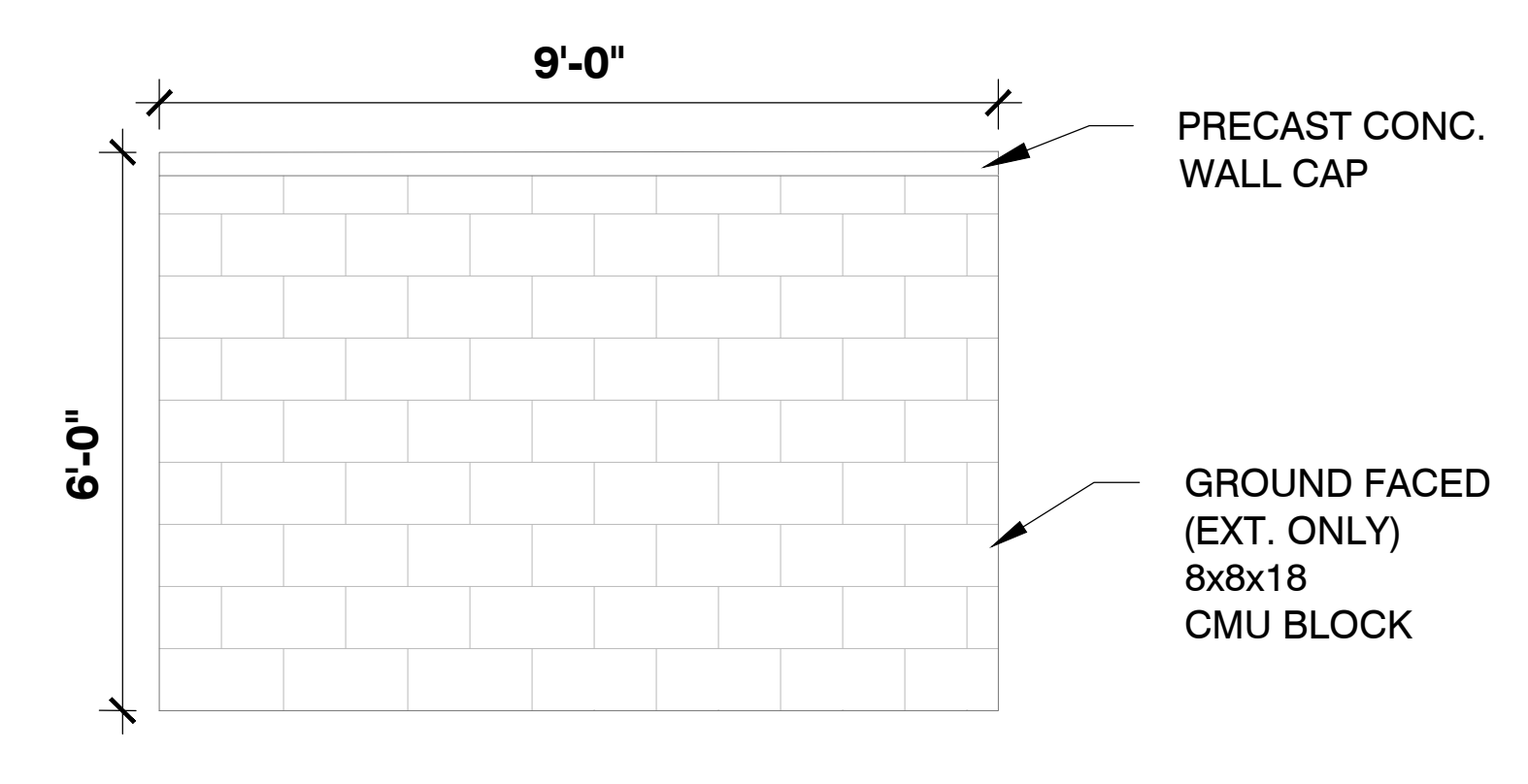
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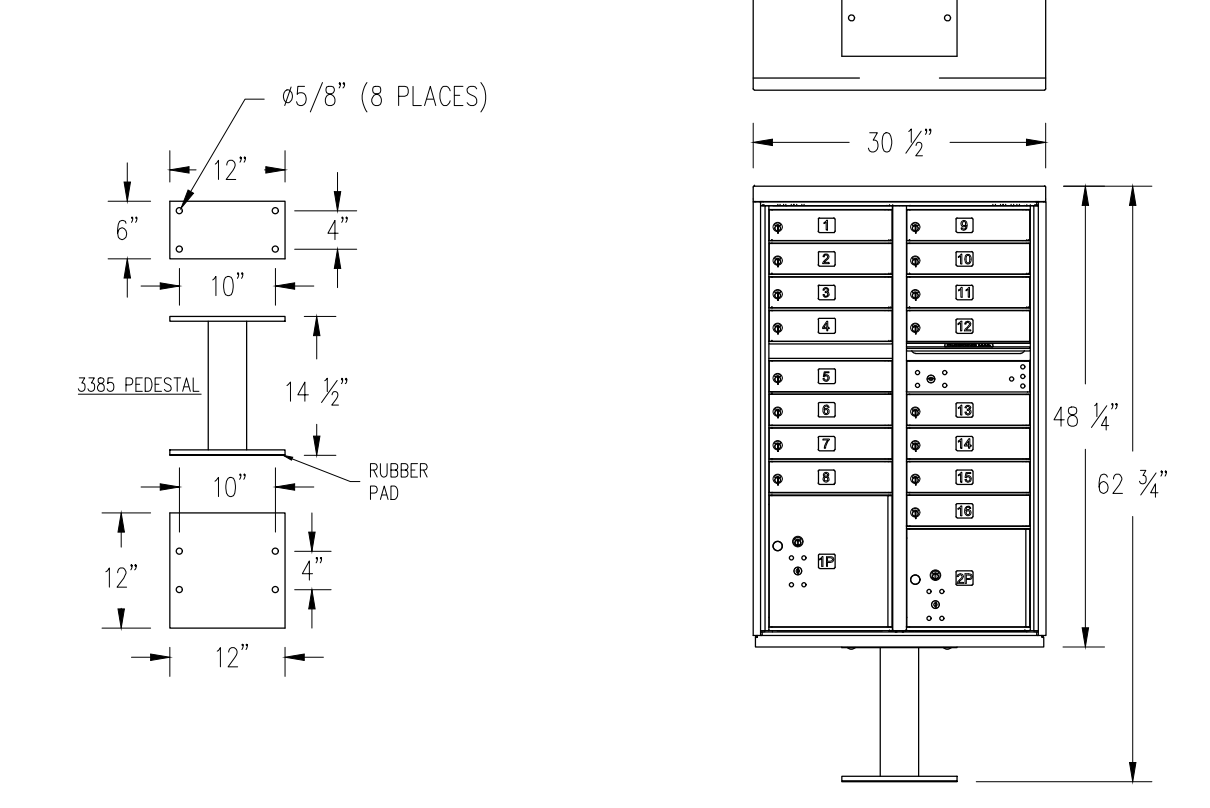
**D1** TRASH ENCLOSURE - FRONT ELEVATION  
**DP2** NOT TO SCALE



**D2** TRASH ENCLOSURE - SIDE ELEVATION  
**DP2** NOT TO SCALE



**D3** TRASH ENCLOSURE - REAR ELEVATION  
**DP2** NOT TO SCALE



**D4** MAIL KIOSK  
**DP2** NOT TO SCALE



**COTTAGE COURT on COSTILLA**

Colorado Springs, Colorado  
DEVELOPMENT PLAN  
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**DP2**  
SITE PLAN  
SHEET 2 OF 5





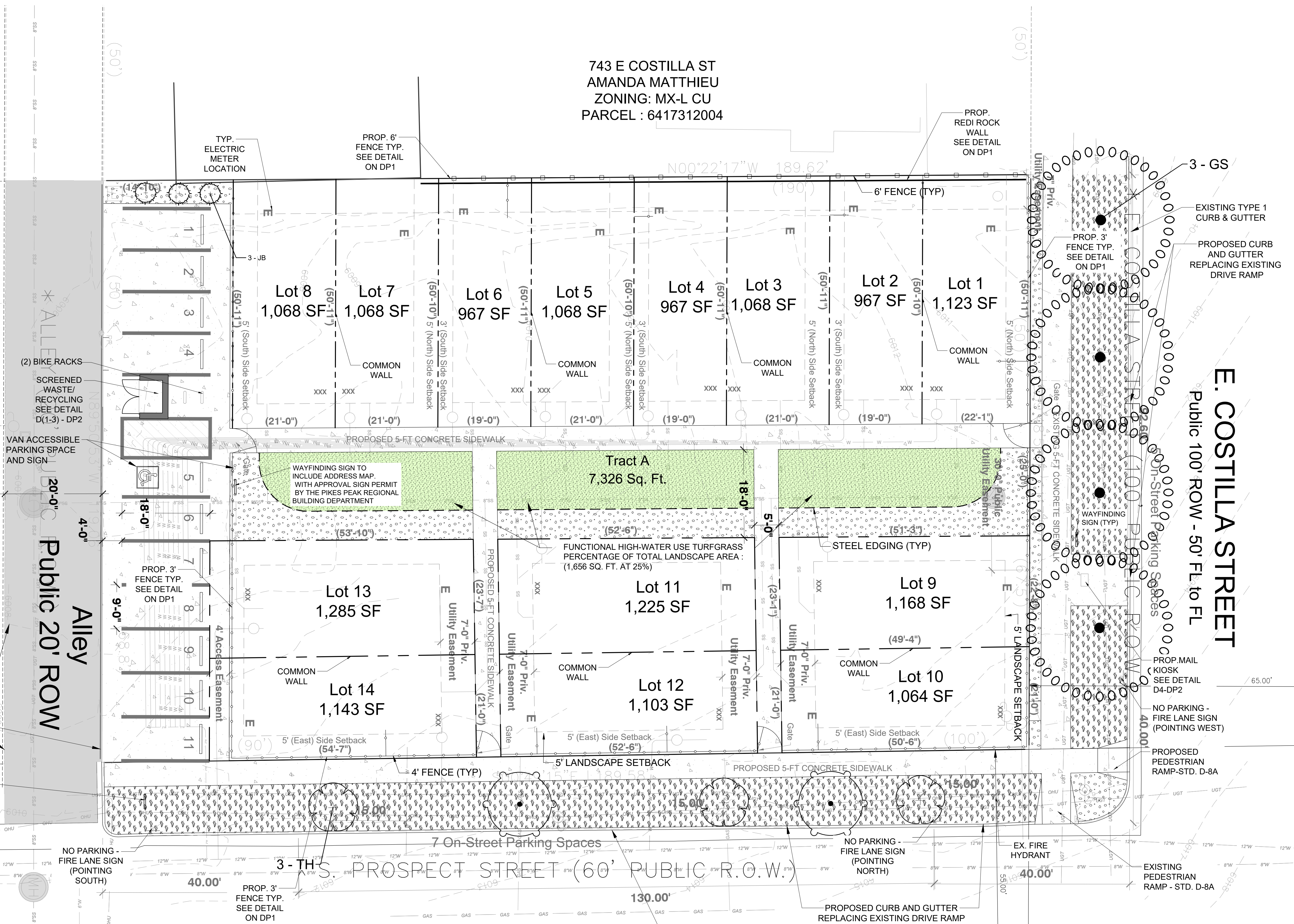
744 E CIMARRON ST  
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743 E COSTILLA ST  
AMANDA MATTHIEU  
ZONING: MX-L CU  
PARCEL : 6417312004



- LANDSCAPE NOTES:
1. PRIOR TO BEGINNING ANY WORK ON THE SITE, THE CONTRACTOR SHALL CONTACT THE OFFICE OF THE OWNER'S REPRESENTATIVE FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING OF WORK.
  2. CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, TOOLS AND SERVICE NECESSARY TO FURNISH AND INSTALL ALL WORK SPECIFIED AND AS SHOWN ON THESE PLANS.
  3. NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT OWNER'S REPRESENTATIVE'S APPROVAL. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CANNOT BE OBTAINED. OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REVERSE PLANT LIST AS DEEMED NECESSARY.
  4. THE SHOWN UTILITY LOCATIONS ARE APPROXIMATE. CONTRACTOR SHALL LOCATE ALL UTILITIES BEFORE WORK. LOCATE EXACT UTILITY LOCATIONS BY CONTACTING "CALL BEFORE YOU DIG" AT (800) 922-1987. THE CONTRACTOR IS RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE CAUSED TO UTILITIES.
  5. AN EVENLY PLACED LAYER OF GRAVEL MULCH, OR BREEZE SHALL BE PLACED ON ALL AREAS DESIGNATED TO RECEIVE THE SPECIFIED MULCH. MINIMUM DEPTHS SHALL BE ACHIEVED IN ACCORDANCE TO THE SCHEDULE BY THE TYPE OF MULCH. WEED BARRIER FABRIC SHALL BE COMPLETELY COVERED AND PINNED.
  6. AN EVENLY PLACED LAYER OF ORGANIC MULCH SHALL BE PLACED ON ALL AREAS DESIGNATED TO RECEIVE ORGANIC MULCH. ORGANIC MULCH SHALL BE APPLIED DIRECTLY TO TILLED, SCARIFIED, AMENDED AND UNCOMPACTED SOIL.
  7. THE LANDSCAPE CONTRACTOR SHALL SUPPLY OWNER'S REPRESENTATIVE WITH A SAMPLE OF ALL TYPES OF MULCH FOR APPROVAL PRIOR TO INSTALLATION.
  8. ALL EXISTING TOPSOIL IS TO BE STRIPPED AND STOCKPILED FOR USE IN PROPOSED LANDSCAPE. TOPSOIL SHOULD BE LOCATED WHERE IDENTIFIED ON THE CIVIL ENGINEERING GRADING AND EROSION CONTROL PLAN.
  9. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EXISTING EROSION CONTROL MEASURES AS PER THE CITY OF COLORADO SPRINGS SPECIFICATIONS DURING THE DURATION OF WORK ON-SITE.
  10. FOR PROPOSED SITE GRADING, SEE GRADING PLAN.
  11. CULTIVATE THE SUBSOIL ON ALL PLANTING BEDS AND SOD AREAS TO A DEPTH OF 12".
  12. ALL PLANT MATERIALS SHALL HAVE BACKFILL CAREFULLY PLACED AROUND THE BASE AND SIDES OF BALL TO TWO-THIRDS (2/3) DEPTH OF THE BALL, THEN THOROUGHLY SOAK WITH WATER TO ALLOW SETTLEMENT. ALL WIRE, BURLAP FASTENERS AND LOOSE BURLAP AROUND BASE OF TRUNK SHALL BE REMOVED AT THIS TIME. REMAINDER OF PIT SHALL THEN BE BACKFILLED, ALLOWING FOR DEPTH OF MULCH, SAUCER AND SETTLEMENT OF BACKFILL. BACKFILL SHALL THEN BE THOROUGHLY WATERED AGAIN.
  13. ALL SHRUBS AND TREES SHALL BE PLANTED A MINIMUM OF 12" INSIDE OF ALL EDGING AND AWAY FROM WALLS AND OTHER PERMANENT STRUCTURES.
  14. ALL PLANT LOCATIONS ARE APPROXIMATE; ADJUST AS NECESSARY TO AVOID CONFLICTS. OBTAIN OWNER'S REPRESENTATIVE'S APPROVAL OF LOCATIONS PRIOR TO PLANTING TREES AND SHRUBS.
  15. QUANTITIES OF MATERIALS SHOWN ON THE PLANTING PLAN TAKE PRECEDENCE OVER QUANTITIES SHOWN ON THE PLANT MATERIAL SCHEDULE. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES ON THE PLANTING PLAN. REPORT ANY DISCREPANCIES IN THE PLANTING PLAN IMMEDIATELY TO THE OWNER'S REPRESENTATIVE.
  16. ALL PLANT MATERIAL SHALL BE WELL-FORMED AND DEVELOPED IN GOOD CONDITION, HEALTHY AND DISEASE-FREE, AND BE TYPICAL OF THE SPECIES. PLANTS SHALL COMPLY IN ALL APPLICABLE RESPECTS WITH ACCEPTABLE STANDARDS AS SET FORTH IN THE COLORADO NURSERY ACT OF 1985 - TITLE 35, ARTICLE 25, CRS 1974 (SEE LANDSCAPE THE NURSERY ACT). OWNER AND OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT AT ANY TIME OR PRIOR TO FINAL ACCEPTANCE OF WORK, ANY AND ALL PLANTS WHICH, IN THEIR OPINION, FAIL TO MEET THESE SPECIFICATION REQUIREMENTS.
  17. PLANTS ARE TO BE SIZED AS SHOWN PER SPECIES ON THE PLANT SCHEDULE.
  18. THE CONTRACTOR SHALL PROVIDE ALL WATER, WATERING DEVICES AND LABOR NEEDED TO IRRIGATE PLANT MATERIALS UNTIL PROVISIONAL ACCEPTANCE OF THE PROJECT. THE CONTRACTOR SHALL SUPPLY ENOUGH WATER TO MAINTAIN THE PLANTS HEALTHY CONDITION.
  19. ALL PLANT MATERIALS SHALL BE PROTECTED FROM THE DRYING ACTION OF THE SUN AND WIND AFTER BEING DUG, WHILE BEING TRANSPORTED, AND WHILE AWAITING PLANTING. BALLS OF PLANTS THAT CANNOT BE PLANTED IMMEDIATELY SHALL BE PROTECTED FROM DRYING ACTION BY COVERING THEM WITH MOIST MULCH. PERIODICALLY APPLY WATER TO MULCH COVERED BALLS TO KEEP MOIST. IF PLANTING SHOULD OCCUR DURING GROWING SEASON, APPLY ANTI-DESSICANT TO LEAVES BEFORE TRANSPORT TO REDUCE LIKELIHOOD OF WINDBURN. REAPPLY ANTI-DESSICANT AFTER PLANTING TO REDUCE TRANSPIRATION.
  20. WRAP ALL TREE TRUNKS SPIRALLY WITH APPROVED WRAPPING MATERIAL FROM GROUND TO THE FIRST BRANCH. SECURELY TIE WRAPPING AT THE TOP AND BOTTOM WITH MASKING TAPE. TREES SHALL BE SUPPORTED IMMEDIATELY AFTER PLANTING IN THE MANNER SHOWN ON THE PLANTING DETAILS.
  21. AFTER PLANTING IS COMPLETED, REPAIR INJURIES TO ALL PLANTS AS REQUIRED. LIMIT AMOUNT OF PRUNING TO A MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS AND BRANCHES. PRUNE IN SUCH A MANNER AS NOT TO CHANGE NATURAL HABIT OR SHAPE OF PLANT. CENTRAL LEADERS SHALL NOT BE REMOVED.
  22. FINE GRADE SOD AND SEED AREAS TO ELIMINATE IRREGULARITIES ON THE SURFACE. ROLL OR PERFORM ADDITIONAL FINE GRADING.
  23. CONTRACTOR TO REMOVE TREE STAKES, TREE WRAP, AND ALL DEAD WOOD ON TREES AND SHRUBS ONE YEAR AFTER THE COMMENCEMENT OF THE PLANTING INSTALLATION.
  24. AT THE COMPLETION OF PLANTING OPERATIONS ALL PLANTS SHALL BE INSPECTED BY THE OWNER AND OWNER'S REPRESENTATIVE. CONTRACTOR SHALL REPLACE IMMEDIATELY ANY PLANTS NOT IN HEALTHY AND VIGOROUS CONDITION AT THAT TIME AT NO EXPENSE TO THE OWNER. ANY PLANT NOT IN HEALTHY CONDITION DURING THE TWO-YEAR WARRANTY PERIOD SHALL BE REPLACED AS PER THE ORIGINAL SPECIFICATIONS, FREE OF CHARGE TO THE OWNER.
  25. REMOVE ALL RUBBISH, EQUIPMENT AND MATERIAL AND LEAVE THE AREA IN A NEAT, CLEAN CONDITION EACH DAY. MAINTAIN PAVED AREAS UTILIZED FOR HAULING EQUIPMENT AND MATERIALS BY OTHER TRADES IN A CLEAN AND UNOBSTRUCTED CONDITION AT ALL TIMES.
  26. THE FINISH GRADES AS SHOWN ON CIVIL CONSTRUCTION DRAWINGS SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM WALLS AND BUILDINGS.
  27. THE TILLING OF PLANTING BEDS AND PLACEMENT OF BACKFILL IS TO OCCUR JUST PRIOR TO PLANTING; THEREAFTER, PROTECTION FROM COMPACTION AND CONSTRUCTION TRAFFIC SHOULD BE MAINTAINED.
  28. 24 HOURS PRIOR TO PLANTING ALL PLANT MATERIAL CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE TO INSPECT AND APPROVE THE PLANT LAYOUT LOCATIONS.
  29. AN IRRIGATION PLAN SHALL BE SUBMITTED AT THE TIME OF BUILDING PERMIT APPLICATION AND APPROVED WITHIN THIRTY (30) DAYS SUBSEQUENT TO BUILDING PERMIT ISSUANCE OR PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, WHICHEVER COMES FIRST.
  30. IRRIGATION WILL BE PROVIDED TO ALL SHRUBS AND PERENNIALS VIA DRIP IRRIGATION. IRRIGATION WILL BE PROVIDED TO ALL AREAS OF TURFGRASS VIA SPRAY IRRIGATION.
  31. UPON REQUEST BY THE APPLICANT, AN IRRIGATION PLAN SHALL BE SUBMITTED WITHIN NINETY (90) DAYS SUBSEQUENT TO BUILDING PERMIT ISSUANCE AND APPROVED PRIOR TO THE INSTALLATION OF ANY IRRIGATION COMPONENTS AND PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
  32. ALL LANDSCAPE ADJACENT TO PROTECTED LANDSCAPE AREAS, NOTED AS "RE-ESTABLISHED AREA" IN THE GROUND/PLANE SCHEDULE, SHALL BE PROTECTED OR REPAIRED TO PREVIOUS CONSTRUCTION CONDITIONS OR BETTER.
  33. WALL, FENCE, AND OTHER ARCHITECTURAL DETAILS PROVIDED ON LANDSCAPE DRAWINGS ARE FOR DEVELOPMENT PLAN PURPOSES ONLY. SEE APPLICABLE ARCHITECTURAL CONSTRUCTION DRAWINGS FOR CONSTRUCTION.
  34. ALL EXISTING DECIDUOUS TREES THAT WILL REMAIN ON THE PROPERTY SHALL BE PRUNED AND MAINTAINED ACCORDINGLY.
  35. LANDSCAPE IMPROVEMENTS AND MATERIALS SHALL BE THE RESPONSIBILITY OF OWNER, AND/OR THEIR ASSIGNS.
  36. ALL STREET TREES AND STREETScape IMPROVEMENTS LOCATED IN THE ROW WILL BE MAINTAINED BY THE HOA.
  37. 75% OF THE PROPOSED GROUND AREA WILL BE LIVE GROUND PLAN COVERAGE ON THE FINAL LANDSCAPE PLAN.

- STANDARD CITY OF COLORADO SPRINGS LANDSCAPE NOTES:
1. A FINAL LANDSCAPE AND IRRIGATION PLAN, WITH APPLICABLE SUPPORTING MATERIAL, SHALL BE SUBMITTED AT TIME OF BUILDING PERMIT APPLICATION AND APPROVED BEFORE ANY BUILDING PERMIT APPROVAL. ANY LANDSCAPE OR IRRIGATION CONSTRUCTION, AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
  2. ALL PROPOSED LANDSCAPING SHALL BE WATERED BY AN AUTOMATIC IRRIGATION SYSTEM WHICH WILL PROVIDE DRIP IRRIGATION TO ALL SHRUB BEDS AND TREES WITHIN NATIVE SEED AREAS AND SPRAY IRRIGATION TO ALL HIGH-WATER USE TURF AND NATIVE SEED AREAS.
  3. THE OWNER OR DEVELOPER IS REQUIRED TO PROVIDE INSPECTION AFFIDAVITS EXECUTED BY THE COLORADO LICENSED LANDSCAPE ARCHITECT OR CERTIFIED IRRIGATION DESIGNER OF RECORD FOR THE PROJECT, WHICH CERTIFIES THAT THE PROJECT WAS INSTALLED AND IN COMPLIANCE WITH THE APPROVED FINAL LANDSCAPE AND IRRIGATION PLAN ON FILE IN CITY PLANNING. THIS SHOULD REQUIRE LIMITED CONSTRUCTION OBSERVATION VISITS TO ACCURATELY COMPLETE THE AFFIDAVITS. WHEN READY TO CALL FOR INSPECTION AND SUBMIT AFFIDAVITS, FIRST CONTACT THE CITY PLANNER OF RECORD FOR THE PROJECT (719-385-5905) AND AS NECESSARY OUR DRE OFFICE (719-385-6982). COPIES OF RECEIPTS/DELIVERY TICKETS FOR SOIL AMENDMENTS INSTALLED ON THE PROJECT ARE REQUIRED TO BE PROVIDED WITH THE INSPECTION AFFIDAVITS.
  4. IF SOIL IN THE PARKING LOT HAS BEEN COMPACTED BY GRADING OPERATIONS, THE SOIL WITHIN THE PLANTER SHALL BE TILLED TO A DEPTH OF THIRTY (30) INCHES AND REPLACED WITH AN ACCEPTABLE GROWING MEDIUM FOR THE SPECIES BEING INSTALLED.
  5. TILLING OF THE EXISTING SOIL TO INCORPORATE AMENDMENTS AND COUNTER ANY COMPACTION OR SOIL CONSOLIDATION SHALL BE REQUIRED FOR ALL LANDSCAPE PLANTING AREAS.
  6. ACCESSIBLE ROUTES, INCLUDING RAMPS AND SIDEWALKS, WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PER CITY ENGINEERING STANDARD DRAWINGS AND SPECIFICATIONS. ENGINEERING DEVELOPMENT REVIEW DIVISION INSPECTOR WILL HAVE THE FINAL AUTHORITY ON ACCEPTING THE PUBLIC IMPROVEMENTS.

**GROUND COVER SCHEDULE**

SYMBOL	QTY	BOTANICAL / COMMON NAME	ADD INFO
<b>GROUND COVERS</b>			
	1,575 sf	3/4\"/>	WITH FABRIC
	3,100 sf	Blue Grama and Sundancer Buffalo	Seed
	1,656 sf	Poa pratensis "Colorado Blue"	Seed
		Colorado Blue Kentucky Bluegrass	Seed

**PLANT SCHEDULE**

CODE	QTY	BOTANICAL / COMMON NAME	SIZE	HEIGHT	WIDTH	CODE REQUIREMENTS	SIGNATURE PLANTS
<b>TREES</b>							
AP	2	Acer platanoides 'Crimson Sentry' Crimson Sentry Norway Maple	2' Cal.	20-25 Ft.	10-15 Ft.	ROW	YES
GS	4	Gleditsia inaequalis inermis 'Shademaster' Shademaster Honey Locust	2' Cal.	40-50 Ft.	30-40 Ft.	ROW	YES
TH	3	Tilia cordata 'Holk' TM Summer Sprite Littleleaf Linden	2' Ht.	10-15 Ft.	5-10 Ft.	ROW	YES
<b>EVERGREEN TREES</b>							
JB	3	Juniperus scopulorum Blue Arrow Juniper	6' Ht.	15-20 Ft.	3-5 Ft.	INTERNAL / EXTRA	YES
<b>12</b>	<b>TOTAL NUMBER OF TREES (100% SELECTED SPECIES) [12] - MINIMUM 70%</b>						

**SOIL AMENDMENT PER CSU RECOMMENDATIONS**

- SOIL AMENDMENTS AND FERTILIZERS RECOMMENDATION WILL BE SHOWN ON THE FINAL LANDSCAPE PLAN.

MINIMUM AMOUNT OF SOIL AMENDMENTS SHALL BE USED AS LISTED BELOW FOR ALL APPROVED WAINERS FOR SOIL TESTING AND BE SHOWN ON THE LANDSCAPE PLAN

- ALL HIGH - WATER TURF AREAS - 4 CU YDS PER 1000 SF
- ALL SHRUB BED AREAS - 3 CU YDS PER 1000 SF
- ALL NATIVE SEED AREAS - 2 CU YDS PER 1000 SF

**Required soil amendments & fertillgers**

Soil Test Results	4 CU YD per 1000 SF	3 CU YD per 1000 SF	2 CU YD per 1000 SF	1 CU YD per 1000 SF	0.5 CU YD per 1000 SF	0.25 CU YD per 1000 SF	0.125 CU YD per 1000 SF
Soil Nitrogen	4 CU YD per 1000 SF	3 CU YD per 1000 SF	2 CU YD per 1000 SF	1 CU YD per 1000 SF	0.5 CU YD per 1000 SF	0.25 CU YD per 1000 SF	0.125 CU YD per 1000 SF
Soil Phosphorus	1.5 lb. per 1000 SF	1.0 lb. per 1000 SF	0.75 lb. per 1000 SF	0.5 lb. per 1000 SF	0.25 lb. per 1000 SF	0.125 lb. per 1000 SF	0.0625 lb. per 1000 SF
Soil Potassium	1.5 lb. per 1000 SF	1.0 lb. per 1000 SF	0.75 lb. per 1000 SF	0.5 lb. per 1000 SF	0.25 lb. per 1000 SF	0.125 lb. per 1000 SF	0.0625 lb. per 1000 SF
Soil Sulfur	1.5 lb. per 1000 SF	1.0 lb. per 1000 SF	0.75 lb. per 1000 SF	0.5 lb. per 1000 SF	0.25 lb. per 1000 SF	0.125 lb. per 1000 SF	0.0625 lb. per 1000 SF
Soil Calcium	1.5 lb. per 1000 SF	1.0 lb. per 1000 SF	0.75 lb. per 1000 SF	0.5 lb. per 1000 SF	0.25 lb. per 1000 SF	0.125 lb. per 1000 SF	0.0625 lb. per 1000 SF
Soil Magnesium	1.5 lb. per 1000 SF	1.0 lb. per 1000 SF	0.75 lb. per 1000 SF	0.5 lb. per 1000 SF	0.25 lb. per 1000 SF	0.125 lb. per 1000 SF	0.0625 lb. per 1000 SF

1. Provide the proposed soil amendment rate and local supplier. The proposed rate shall be chosen from the current Colorado Springs Utilities Approved Soil Amendment Suppliers.  
2. Show revised fertillgers are required for sandy soils.  
3. Any other required soil amendment/fertillger recommendations notes based on the soil testing lab report.

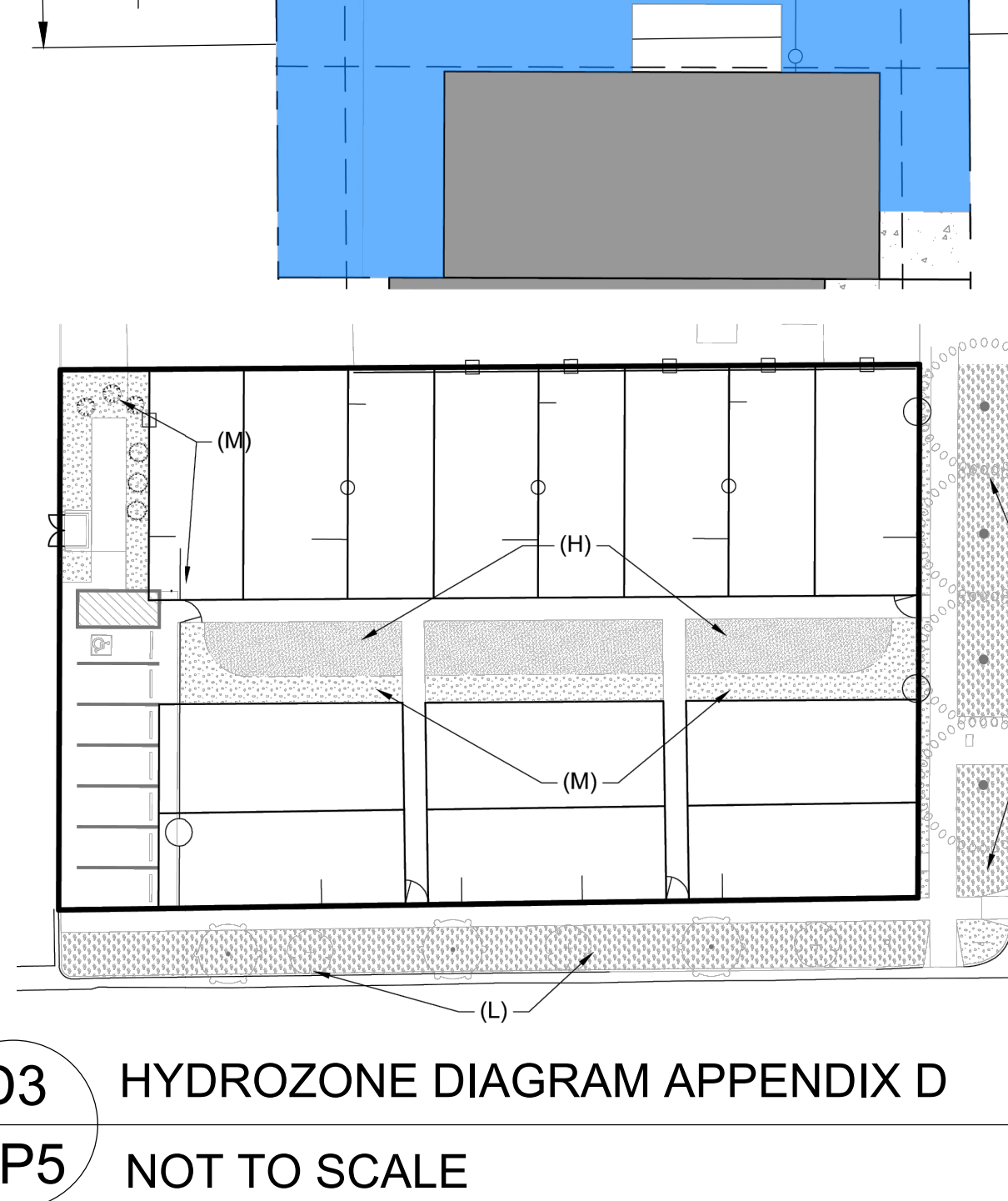
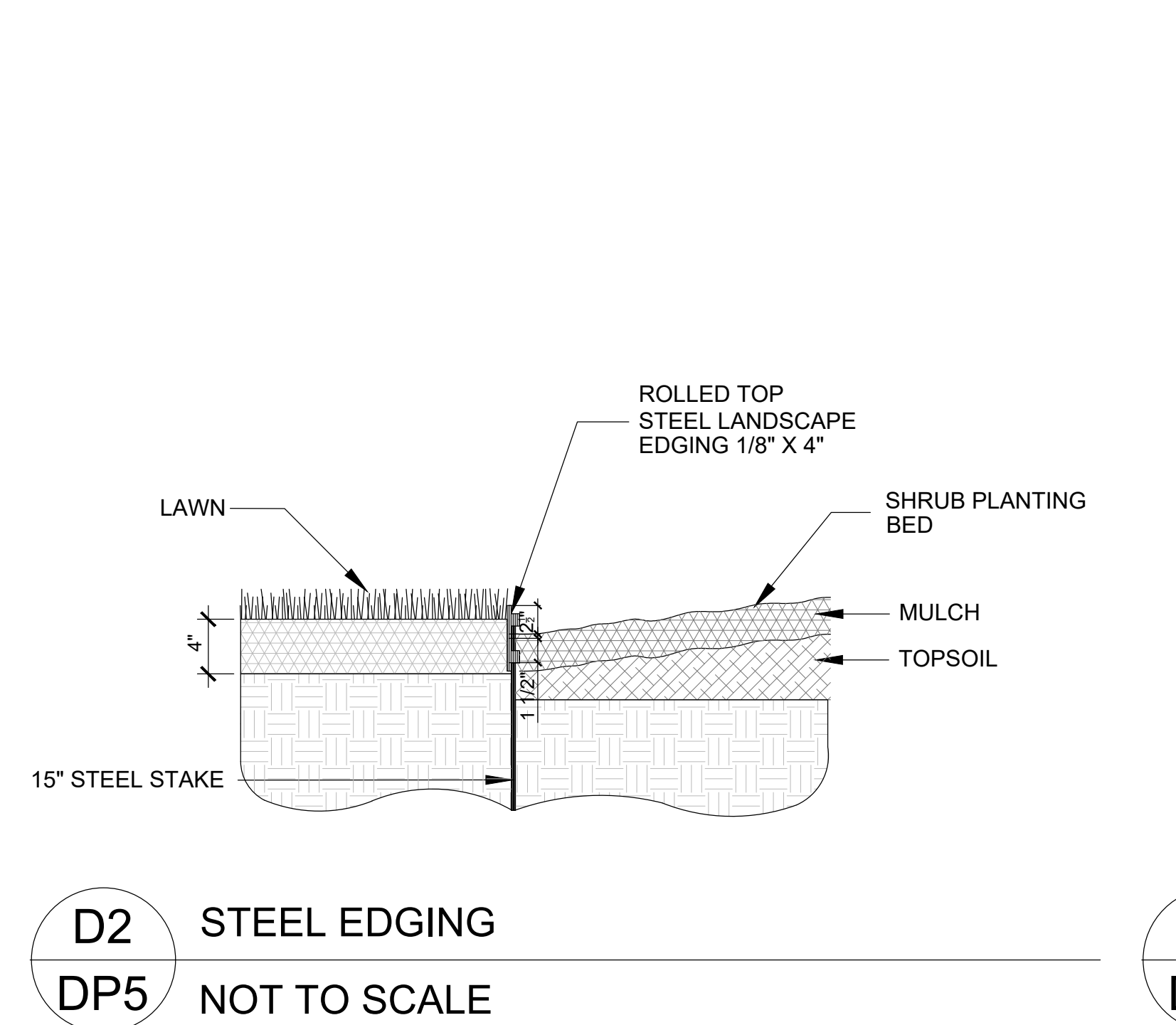
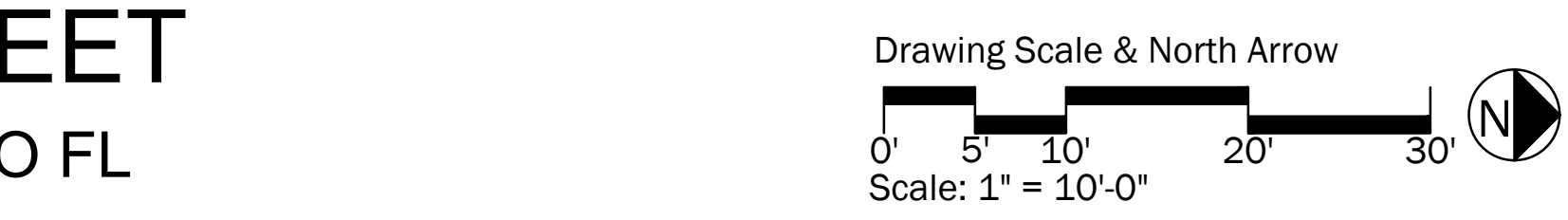
**EXAMPLE CHART - FINAL WILL BE SHOWN ON THE FINAL LANDSCAPE PLAN**

**Internal Landscape See Code Section/ Policy 7.4.908**

Net Site Area (Sq. Ft.) (Less Public R.O.W.)	Percent Minimum Internal Area (%)	Internal Area (Sq Ft)		Internal Trees (1/500 Sq Ft)		Internal Shrubs (10 Shrubs/Tree)		Plant Abbrev.	Percent Ground Plane Veg. (Sq Ft)		Internal Ornamental Grass Sub.	
		Req.	Prov.	Req.	Prov.	Req.	Prov.		Req.	Prov.	Req.	Prov.
22230	10%	2223	3207	4	3	10	0	IN1	75%	75%	20	0

**Landscape Setbacks (or Double Frontage Lot Streetscapes) See Code Section/ Policy 7.4.905.B**

Street Name or Zone Boundary	Street Classification	Width (In Feet)		Feet Per		No. of Trees		Shrub Substitutes		Ornamental Grass		Percent Ground Plane		
		Req.	Prov.	Footage	Tree	Req.	Prov.	Req.	Prov.	Req.	Prov.	Req.	Prov.	
E Costilla Street	Minor Arterial	20	5	92.6	25	4	4	MAS	0	0	0	0	75%	75%
Prospect Street	Non Arterial	10	5	130	30	5	5	NAS	0	0	0	0	75%	75%



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**SHRUB BED (MEDIUM USE)**

LANDSCAPE AREA	TYPICAL TOTAL	OVERALL TOTALS (14 LOTS)
571 SF	6,890 SF	
0 SF (0%)	0 SF (0%)	
571 SF (100%)	6,890 SF (100%)	

NO LOT SHOULD HAVE HIGH WATER TURF. SEE EXAMPLE FOR REFERENCE.

**HYDROZONE SCHEDULE**

SYMBOL	QTY	BOTANICAL / COMMON NAME	WATER USE
<b>GROUND COVERS</b>			
	2,046sf	3/4\"/>	MEDIUM
	3,108 sf	Blue Grama and Sundancer Buffalo	LOW
	1,656 sf	Poa pratensis "Colorado Blue"	HIGH
		Colorado Blue Kentucky Bluegrass	HIGH

	HIGH WATER USE (H)	1,656 SF
	MEDIUM WATER USE (M)	2,046 SF
	LOW WATER USE (L)	3,108 SF
<b>SUB TOTAL</b>		<b>6,810 SF</b>

**NOT FOR CONSTRUCTION**  
Colorado Springs Land Use Review  
File Number(s): DEP-25-0164  
DYS-25-0001

**COTTAGE COURT on COSTILLA**

Colorado Springs, Colorado

DEVELOPMENT PLAN

Date Submitted: NOV. 18, 2025  
Resubmitted: FEB. 11, 2026  
Resubmitted: APR. 08, 2026  
Resubmitted: MAY. 13, 2026

**DP5 PRELIM LANDSCAPE PLAN SHEET 5 OF 5**

**D2 STEEL EDGING**  
**DP5 NOT TO SCALE**

**D3 HYDROZONE DIAGRAM APPENDIX D**  
**DP5 NOT TO SCALE**