

SITUATED IN A PORTION OF THE NORTHEAST 1/4 OF SECTION 24, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

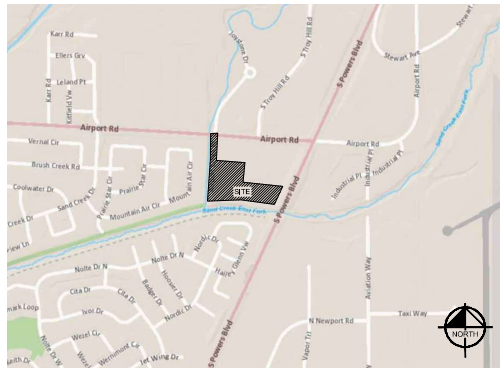
Lots 1 & 3, Airport & Powers Subdivision, Filing No. 3, recorded December 26, 2006, as Reception No. 206712498 in the Record of El Paso County, Colorado, and being a portion of the Northeast Quarter of Section 24, Township 14 South, Range 66 West, of the 6th P.M. City of Colorado Springs, El Paso County, Colorado.

LOTS 1 & 3, AIRPORT & POWERS SUBDIVISION, FILING NO. 3, RECORDED DECEMBER 26, 2006, AS RECEPTION NO. 206712498 IN THE RECORD OF EL PASO COUNTY, COLORADO, AND BEING A PORTION OF THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 14 SOUTH, RANGE 66 WEST, OF THE 6TH P.M., CITY OF COLORADO SPRINGS, EL PASO COUNTY, COLORADO.

BASIS OF BEARINGS IS THE WEST LINE OF LOT 2, AIRPORT AND POWERS SUBDIVISION FILING NO.3, MONUMENTED ON THE NORTH END WITH A MAG NAIL AND SHINER STAMPED "LS 38245" SET FLUSH WITH THE GROUND AND ON THE SOUTH END WITH A #5 REBAR AND GREEN PLASTIC CAP STAMPED "LS 38245" SET FLUSH WITH THE GROUND ASSUMED TO BEAR S03°32'34"W A DISTANCE OF 227.79'

CONTAINING 251,905 S.F. OR 5.783 ACRES, MORE OR LESS.

SITE DATA	
BETW ACRES:	5.703 AC
MASTER PLAN	GATEWAY PARK (CPC MP 10-18, AS AMENDED)
ADDRESS	100 S 51/2 AIRPORT CREEK POINT
TOTAL LOTS	1
GROSS DENSITY	23.17 DU/AC
TAX SCHEDULE NUMBER(S)	64241000, 6424121003
DEVELOPMENT SCHEDULE	SPRINGSUMMER 2021
ORIGINAL LAYOUT	SUBC/REC
MAX BUILDING HEIGHT	45'-0"
OCCUPANCY TYPE	R2 (APARTMENTS), A3 (COLLEGEHOUSES)
CONSTRUCTION TYPE	VA (APARTMENTS), VB (COLLEGEHOUSES)
MAX BUILDING HEIGHT	45'-0"
EXISTING ZONE	R1C ADSS
EXISTING LAND USE	VACANT
PROPOSED ZONING	R1C ADSS
PROPOSED LAND USE	MULTI-FAMILY
SE TRACKS	
FRONT	25'
SIDE	25'
REAR	25'



VICINITY MAP

- THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT APPLICABLE CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND ACCESSIBILITY GUIDELINES. THE DEVELOPER HEREBY CERTIFIES THAT THE PROJECT LOCATED IN THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS GOVERNING ACCESSIBILITY UNDER THE ADA. THE DEVELOPER HAS BEEN ADVISED BY A QUALIFIED PROFESSIONAL INSPECTOR FROM THE FEDERAL AND STATE ACCESSIBILITY LAWS WITH THE PROPERTY OWNER.
- ALL EXISTING UTILITIES SHALL BE MAINTAINED TO PREVENT EXCESSIVE DETERIORATION OR NOT MEETING CURRENT CITY ENGINEERING STANDARDS. ADJACENT TO THE SITE WILL NEED TO BE REPAIRED AND REPLACED PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY (C.O.). THE DEVELOPER SHALL BE RESPONSIBLE TO SUCH LAWS. SUE REQUESTS ALL PROPERTY LINES TO BE DETERMINED. IF ANY IMPROVEMENTS ARE REQUIRED, THE INSPECTOR CAN BE REACHED AT 719-385-5977.
- ALL "TOP STOPS" WILL BE INSTALLED BY THE DEVELOPER AT THE LOCATIONS SHOWN ON THE DEVELOPMENT PLAN TO MEET MUTUAL CONCERN OF THE DEVELOPER AND THE CITY OF COLORADO SPRINGS. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE INSTALLATION OF THESE TOP STOPS.
- A SEPARATE SIGN PERMIT IS REQUIRED. CONTACT THE DEVELOPMENT NEWS ENTERPRISE AT 2680 INTERNATIONAL CIRCLE FOR SIGN PLAN REVIEW.
- ALL LIGHTING FIXTURES SHALL BE FULL CUT-OFF OR HAVE SPOILING TO REDUCE OFF-SITE LIGHTING IMPACTS TO ADJACENT PROPERTY.
- ALL COMMON AREAS TO BE OWNED AND MAINTAINED BY MEADOWBROOK CROSSING METROPOLITAN DISTRICT NOS. 1 & 2, RC# 2164088, AS AMENDED, 27/13/5456.
- LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF OWNER, IN/O/F, THEIR AGENTS
- PROPOSED UNDERGROUND DRAINAGE TO INCREASE THE WATER QUALITY CAPTURE VOLUME BEFORE RELEASE IT INTO THE STREAMBED.
- DEVELOPER IS COORDINATING WITH ON-SITE CELL TOWER FOUR.
- EXISTING GRADED ACCESS EASEMENT CAN BE IDENTIFIED ON THE ATTACHED DEVELOPMENT PLAN APPLICATIONS.
- STREAMBED OVERLAY NOTES CAN BE LOCATED ON SHEET (L) 4.
- SIGNAGE WILL NOT BE APPROVED WITH THIS DEVELOPMENT PLAN AND A SIGN PERMIT WILL BE REQUIRED FOR ALL NEW SIGNAGE. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY SIGNAGE PERMITS FROM THE CITY OF COLORADO SPRINGS.
- THIS PROPERTY IS SUBJECT TO AN AVIATION EASEMENT GRANTED TO THE COLORADO SPRINGS AIRPORT AND IS RECORDED WITH THE EL PASO COUNTY CLERK AND RECORDED UNDER RECEPTION NO. 2005030707
- THE DEVELOPER SHALL BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF ALL OPERATING INTO AND OUT OF THE COLORADO SPRINGS MUNICIPAL AIRPORT. THE BUYER SHOULD FAMILIARIZE HIMSELF/HERSELF WITH THE POTENTIALITY AND THE RAMIFICATIONS THEREOF.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR THE COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED UNDER RECEPTION NO. 200503531, EL PASO COUNTY, COLORADO RECORDS.
- THERE SHALL BE NO DIRECT VEGICULAR ACCESS TO ROADS BOWLEWOOD.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR THE CONSTRUCTION, MAINTENANCE AND PARKING AREAS, EASEMENTS SHALL BE FOR THE COMMON USE AND MAINTENANCE OF ALL USERS, PUBLIC OR PRIVATE, OF THESE DEVELOPMENTS. FREE AND VOLUNTARY CONTRIBUTION OF LAND SHALL BE MADE BY THE DEVELOPER TO THE CITY OF COLORADO SPRINGS IN TIMES REGARDS OF FUTURE OWNERSHIP OF PLACING ACTIONS.
- PRIOR TO CONSTRUCTION PLANS APPROVAL, THE DEVELOPER IS REQUIRED TO RETIRE THE AMOUNT OF \$37,500.00 FOR THE FUTURE CONSTRUCTION OF THE DEVELOPMENT.
- THE PROPOSED PRIVATE UNDERGROUND FULL SPECTRUM DETENTION FACILITY IS OWNED BY AND TO BE MAINTAINED BY THE PROPERTY

THIS PROPERTY IS LOCATED WITHIN A DESIGNATED FEMA FLOODPLAIN AND LOWR AS DETERMINED BY THE FLOOD INSURANCE RATE MAP COMMUNITY MAP NUMBER "08041C0753G", EFFECTIVE DATE 12/7/2018.

AIRPORT CREEK APARTMENT DEVELOPMENT PLAN PROPOSES A 134 UNIT MULTI-FAMILY APARTMENT DEVELOPMENT, PRIVATE ACCESS PEDESTRIAN FACILITIES, AND OPEN SPACES ON 5.78 AC±.

THE DESIGN PROFESSIONALS RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE LAWS LIES WITH THE PROPERTY OWNER.

SHEET LIST TABLE	
SHEET NUMBER	SHEET TITLE
1	COVER SHEET
2	EXISTING CONDITIONS
3	SITE PLAN
4	SITE DETAILS
5	STREAMSIDE OVERLAY
6	PRELIMINARY UTILITY AND PUBLIC FACILITIES PLAN
7	PRELIMINARY GRADING PLAN
8	PRELIMINARY LANDSCAPE PLAN
9	PRELIMINARY LANDSCAPE NOTES
10	PRELIMINARY LANDSCAPE DETAILS
11	PRELIMINARY LANDSCAPE DETAILS
12	BUILDING ELEVATIONS
13	BUILDING ELEVATIONS
14	BUILDING ELEVATIONS
15	BUILDING ELEVATIONS
16	PHOTOMETRIC PLAN
17	CUT SHEETS

APARTMENT "A" TYPE	
1 BED, 1 BATH UNIT	35
2 BED, 2 BATH UNIT	28
3 BED, 2 BATH UNIT	4
UNITS PER BUILDING	67
BEDROOMS PER BUILDING	103

TOTAL DWELLING UNITS	
$U1 = (1BR/1BA) \times 2$	70
$U2 = (2BR/2BA) \times 2$	56
$U3 = (3BR/2BA) \times 2$	8
TOTAL UNITS $\times 2$	134
TOTAL BEDROOM COUNT	206

PARKING	
U1=70 (70 * 1.5)	105 PARKING SPACES
U2=56 (56 * 1.75)	98 PARKING SPACES
U3=8 (8 * 2.0)	16 PARKING SPACES
TOTAL PARKING REQUIRED	219 PARKING SPACES
PROVIDED PARKING	225 PARKING SPACES
ADA ACCESSIBLE PARKING	8 PARKING SPACES
TOTAL PARKING PROVIDED	233 PARKING SPACES

GROSS BUILDING AREAS		
APARTMENT FLOOR - 1ST	20,640 SF	15,749 SF
APARTMENT FLOOR - 1ST	20,640 SF	15,703 SF
APARTMENT FLOOR - 1ST	20,640 SF	15,703 SF
APARTMENT FLOOR - 1ST	20,640 SF	15,703 SF
FITNESS	11,500 SF	2,279 SF
LEASING	11,500 SF	2,279 SF

LANDSCAPE/OPEN SPACE	
SITE DIMENSIONS	251,901SF/5.782AC±
LANDSCAPE REQUIRED (200 SF/IDU)	41,200SF/0.946AC±
TOTAL OPEN SPACE PROVIDED	84,779SF/1.946AC ±

Signage is not approved with this plan.  
A separate sign permit is required.  
Contact Development Review at  
2880 International Circle Ste 200  
for sign plan applications.



PREPARED: 11/8/2021

**Kimley»Horn**  
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2 NORTH NEVADA AVENUE, SUITE 300  
COLORADO SPRINGS, COLORADO 80903 (719) 453-0180

**DEVELOPER:**  
MEADOWBROOK DEVELOPMENT LLC  
90 SOUTH CASCADE AVE.,  
SUITE 1500  
COLORADO SPRINGS, CO 80903  
(719) 299-5545  
CONTACT: KELLY NELSON

**KIMLEY-HORN AND ASSOCIATES, INC.**  
2 NEVADA NORTH AVE., SUITE 300  
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TEL: (719) 284-7272  
CONTACT: JOHN HEIBERGER, P.E.

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CONTACT: JEREMY POWELL, P.L.A.

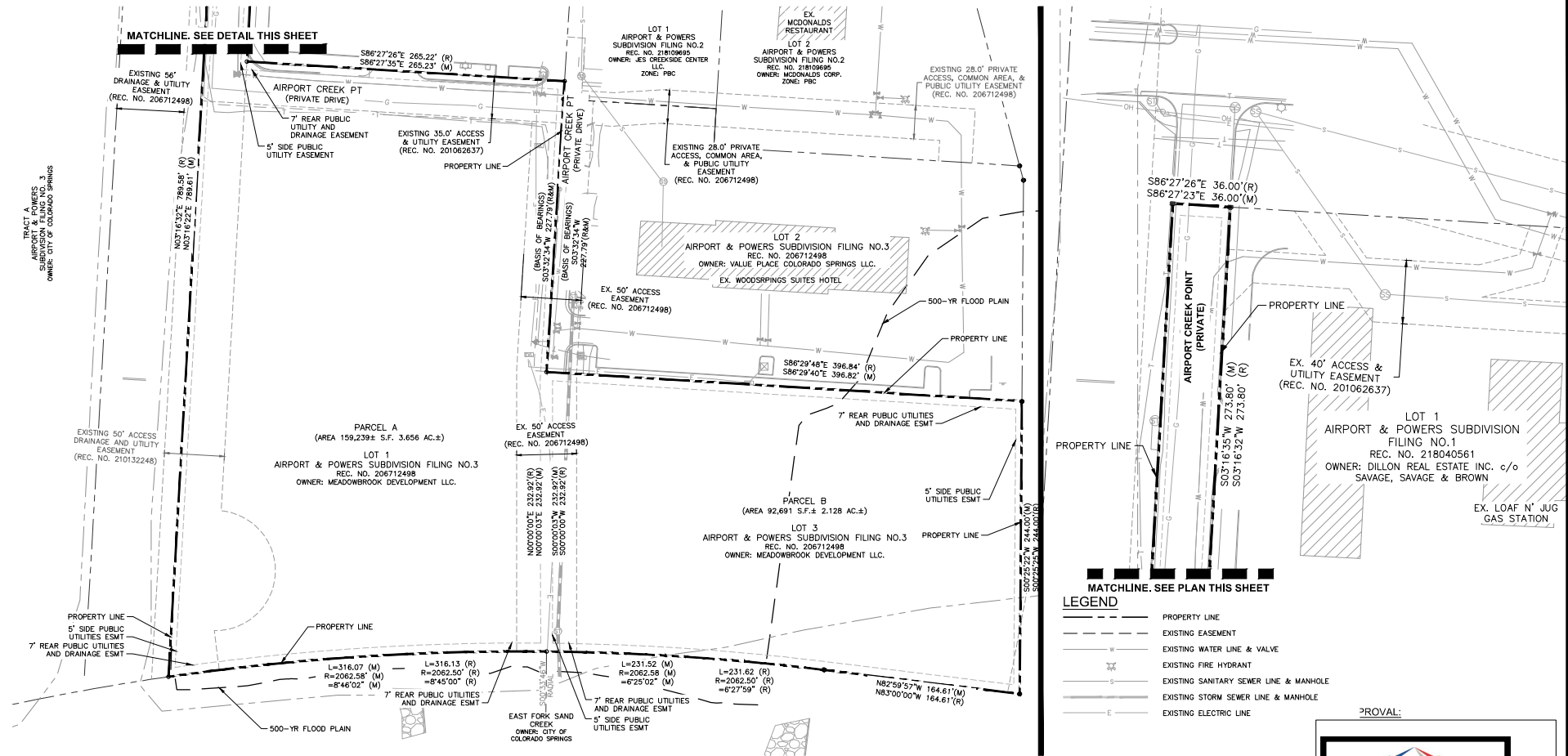
CLARK LAND SURVEYING, INC.  
177 S. TIFFANY DRIVE UNIT 1  
PUEBLO WEST, CO 81007  
TEL: (719) 582-1270  
CONTACT: STEWART L. MAPES JR. P.L.S.

COVER SHEET  
SHEET 1 OF 17

AIRPORT CREEK POINT - CITY FILE NO. CPC CU 21-00097

# AIRPORT CREEK POINT APARTMENTS CONDITIONAL USE DEVELOPMENT PLAN

SITUATED IN A PORTION OF THE NORTHEAST 1/4 OF SECTION 24, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



## GENERAL NOTES

1. ANY UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION, AS-BUILT DRAWINGS AND/OR UTILITY MARKINGS. PUBLIC UTILITY LOCATE REQUEST MADE UNDER TICKET NO. A631302041-00A DATED 11/09/18.
2. BASIS OF BEARINGS IS THE WEST LINE OF LOT 2, AIRPORT AND POWERS SUBDIVISION FILING NO. 3, MONUMENTED ON THE NORTH END WITH A MAG NAIL AND SHINER STAMPED "LS 38245".
3. ACCESS IS OBTAINED DIRECTLY FROM AIRPORT ROAD, THE RIGHT-OF-WAY LINES OF SAID STREET AND BOUNDARY LINES OF SUBJECT PROPERTY ARE COTERMINOUS AND CONTAIN NO GAPS, GORES, OR OVERLAPS.
4. THERE IS NO EVIDENCE OF POTENTIAL WETLANDS WERE OBSERVED ON THE SUBJECT PROPERTY AT THE TIME THE SURVEY WAS CONDUCTED, NOR HAVE WE RECEIVED ANY DOCUMENTATION OF ANY WETLANDS BEING LOCATED ON THE SUBJECT PROPERTY. NO MARKERS WERE OBSERVED AT THE TIME OF THE SURVEY.
5. SITE BENCHMARK IS SHOWN HEREON, AS A SET MAG NAIL AND SHINER. ELEV. = 6112.66 (NGVD 1929)
6. THIS SITE IS ZONED "R-1" (RESIDENTIAL - TOPOGRAPHIC).

CURRENT ZONING INFORMATION:  
MIN. LOT AREA: 5 ACRES  
BUILDING SETBACKS:  
FRONT: 25' SIDE: 25' REAR: 25'  
MAX LOT COVERAGE: 30%  
PARKING REQUIRED: N/A

## SCHEDULE B-2 EXCEPTIONS

17. TERMS, CONDITIONS AND PROVISIONS OF QUITCLAIM DEED (EASEMENT) RECORDED DECEMBER 28, 2010 AT RECEPTION NO. 210132248.
18. EASEMENTS, CONDITIONS, COVENANTS, RESTRICTIONS, RESERVATIONS AND NOTES ON THE PLAT OF AIRPORT AND POWERS FILING NO. 3 RECORDED DECEMBER 26, 2006 AAT RECEPTION NO. 206712498. SURVEYOR'S AFFIDAVIT OF AMENDMENT IN CONJUNCTION THEREWITH RECORDED JUNE 11, 2008 AT RECEPTION NO. 208067244.

FEMA CLASSIFICATION:  
THIS PROPERTY IS LOCATED WITHIN A DESIGNATED FEMA FLOODPLAIN AND LOMR AS DETERMINED BY THE FLOOD INSURANCE RATE MAP, COMMUNITY MAP NUMBER "05041C0733C", EFFECTIVE DATE 12/7/2018.

**Kimley»Horn**

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PROVAL:



EXISTING CONDITIONS  
SHEET 2 OF 17

AIRPORT CREEK POINT - CITY FILE NO. CPC CU 21-00097

# AIRPORT CREEK POINT APARTMENTS

## CONDITIONAL USE DEVELOPMENT PLAN

SITUATED IN A PORTION OF THE NORTHEAST 1/4 OF SECTION 24, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

### LEGEND

- PROPERTY LINE
- 100 YR FLOODPLAIN
- 500 YR FLOODPLAIN
- EXISTING EASEMENT
- SETBACK
- STREAMSIDE OVERLAY LINE
- SITE TRIANGLE
- PROPOSED RETAINING WALL
- PROPOSED CURB AND GUTTER
- LANDSCAPE
- PROPOSED STORM CHASE
- CONCRETE SIDEWALK
- ASPHALT PAVEMENT
- BUILDING ROOF
- STORMWATER SWALE
- PARKING NO.

### PARKING SUMMARY

REQUIRED PARKING: 219 SPOTS (1.63/UNIT)  
PROVIDED PARKING: 233 SPOTS (1.74/UNIT)  
225 STANDARD  
8 ADA

### NOTES:

- ALL SIDEWALKS DIRECTLY ADJUTING PARKING TO BE 6' WIDE. OTHERWISE, SIDEWALK TO BE 5'.
- THE DETAILS OF THE SIGNING AND STRIPING WILL BE ACCESSED DURING THE CONSTRUCTION PLAN REVIEW.
- THE MAX ALLOWABLE BUILDING HEIGHT SHALL NOT EXCEED 45'.
- INDOOR MAIL KIOSK TO BE PROVIDED WITHIN CLUB HOUSE A. FINAL PLACEMENT DETAILS TO BE COORDINATED WITH USPS.
- PARKING STALLS ADJACENT TO RETAINING WALL AT BLDG ENTRANCES TO HAVE WHEEL STOPS.

### FEMA INFORMATION:

THIS PROPERTY IS LOCATED WITHIN A DESIGNATED FEMA FLOODPLAIN AND LOWR AS DETERMINED BY THE FLOOD INSURANCE RATE MAP, COMMUNITY MAP NUMBER "08041007530", EFFECTIVE DATE 12/7/2016.

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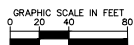
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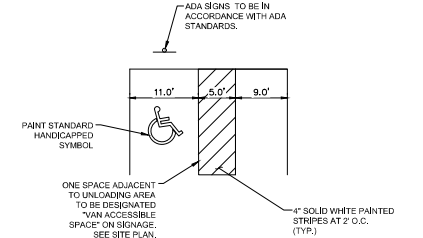
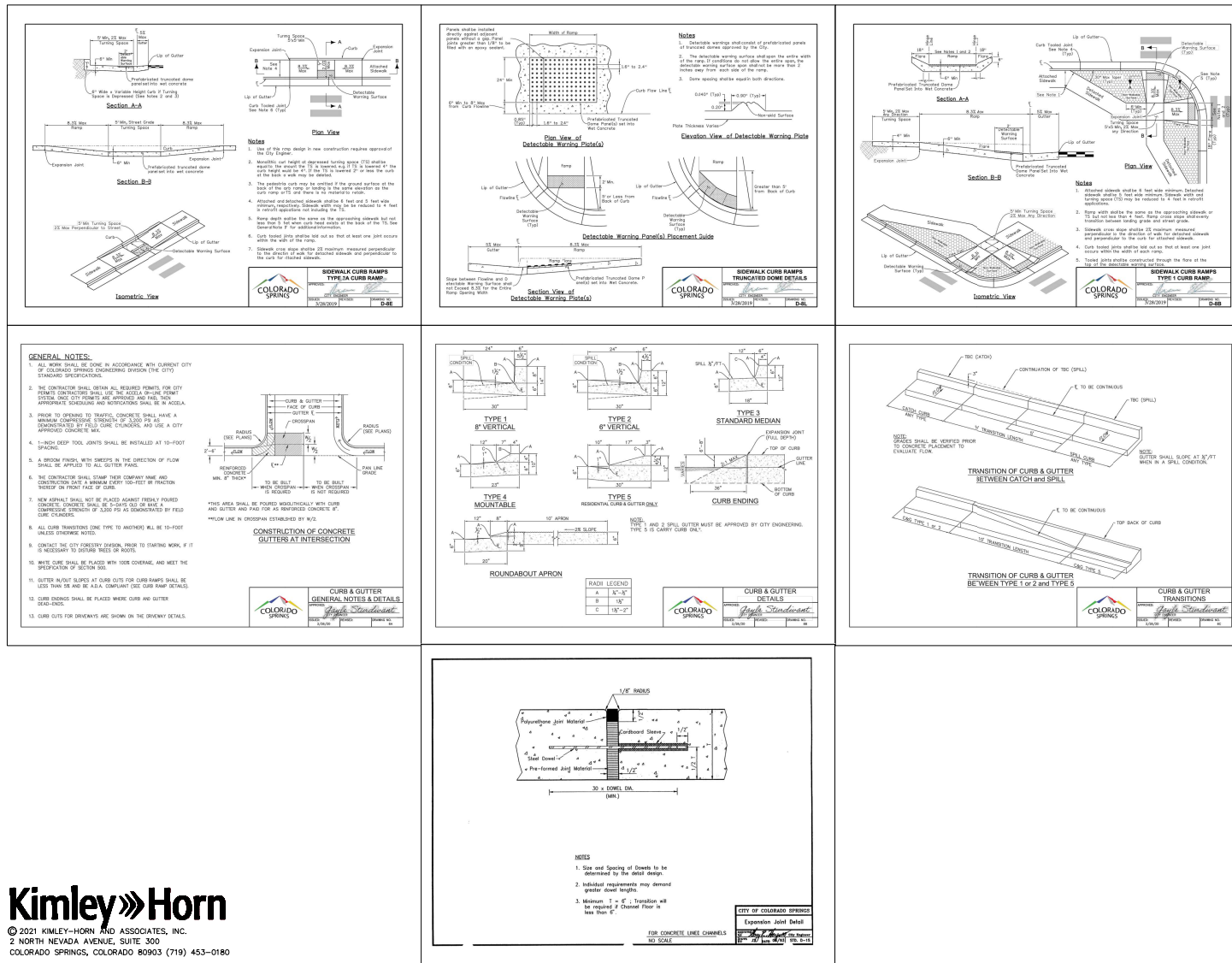
CITY APPROVAL:



SITE PLAN  
SHEET 3 OF 17

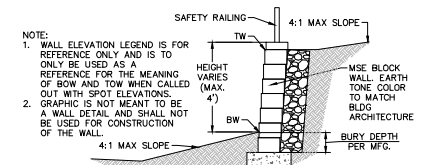
AIRPORT CREEK POINT - CITY FILE NO. CPC CU 21-00097

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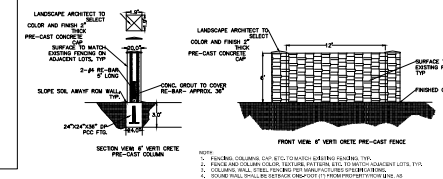


- NOTES:
1. DIMENSIONS MAY VARY REFER TO SITE PLAN (SHEETS 5 AND 6).
  2. SIGNAGE AND MARKINGS TO BE IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS.

**A** ADA PARKING STALL DETAIL  
NTS



**B** BLOCK RETAINING WALL DETAIL  
NTS



**C MASONRY SCREEN WALL DETAIL**

CITY APPROVAL:



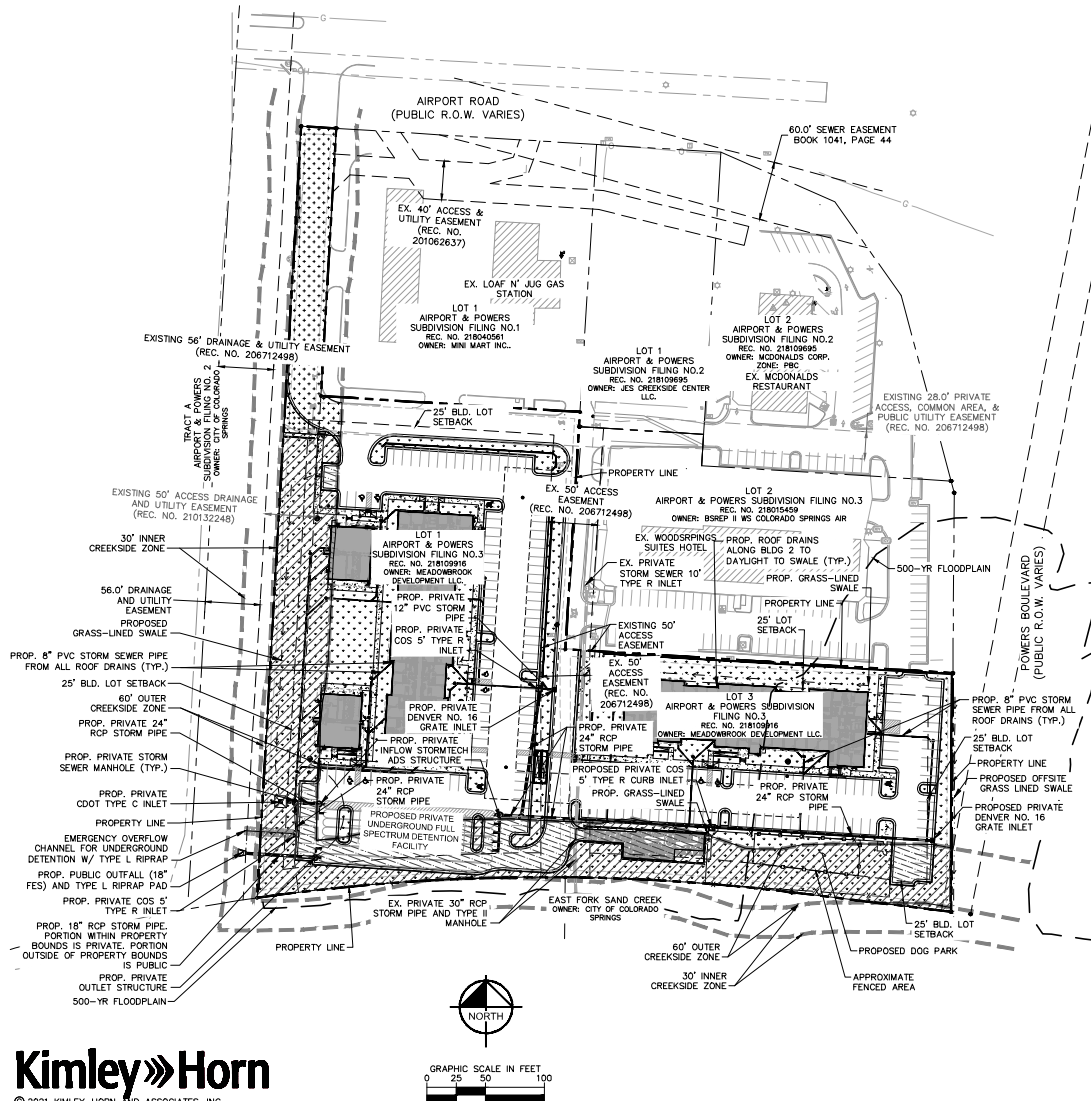
SITE DETAILS  
SHEET 4 OF 17

AIRPORT CREEK POINT - CITY FILE NO. CPC CU 21-00097

# AIRPORT CREEK POINT APARTMENTS

## STREAMSIDE DEVELOPMENT PLAN

SITUATED IN A PORTION OF THE NORTHEAST 1/4 OF SECTION 24, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



### STREAMSIDE NOTES:

1. THE STREAMSIDE DEVELOPMENT SHALL BE COMPLETED TO THE PROPERTY BOUNDARY OF THE AIRPORT CREEK, WHICH IS LOCATED ON THE WEST SIDE OF THE SITE.
2. A BUFFER OF 10 FEET FROM THE CREEK SHALL BE MAINTAINED BY THE PROPERTY BOUNDARY.
3. THE STREAMSIDE BUFFER SHALL BE SETBACKS ON THE PLAN SHALL BE 10 FEET.
4. THE STREAMSIDE BUFFER SHALL BE SETBACKS ON THE PLAN SHALL BE 10 FEET.
5. A BUFFER OF 10 FEET FROM THE CREEK SHALL BE MAINTAINED BY THE PROPERTY BOUNDARY.
6. THE STREAMSIDE BUFFER SHALL BE SETBACKS ON THE PLAN SHALL BE 10 FEET.
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13. THE STREAMSIDE BUFFER SHALL BE SETBACKS ON THE PLAN SHALL BE 10 FEET.

### STREAMSIDE OVERLAY CRITERIA:

1. **OUTER CREEKSIDE ZONE**  
THE OUTER CREEKSIDE ZONE SHALL BE MAINTAINED WITHIN THE OVERLAY AREA AND SHALL CONFORM TO THE SPECIFIC CRITERIA SET FORTH IN THE STREAMSIDE OVERLAY CRITERIA. THE OUTER CREEKSIDE ZONE SHALL BE MAINTAINED WITHIN THE OVERLAY AREA AND SHALL CONFORM TO THE SPECIFIC CRITERIA SET FORTH IN THE STREAMSIDE OVERLAY CRITERIA.
2. **IMPERMEABLE SURFACE IN OUTER CREEKSIDE ZONE**  
THE IMPERMEABLE SURFACE IN THE OUTER CREEKSIDE ZONE SHALL BE MAINTAINED WITHIN THE OVERLAY AREA AND SHALL CONFORM TO THE SPECIFIC CRITERIA SET FORTH IN THE STREAMSIDE OVERLAY CRITERIA.
3. **EXCLUDED IMPERMEABLE SURFACE IN OUTER CREEKSIDE ZONE**  
THE EXCLUDED IMPERMEABLE SURFACE IN THE OUTER CREEKSIDE ZONE SHALL BE MAINTAINED WITHIN THE OVERLAY AREA AND SHALL CONFORM TO THE SPECIFIC CRITERIA SET FORTH IN THE STREAMSIDE OVERLAY CRITERIA.
4. **STREAM NAME - TYPE:**  
SAND CREEK EAST FORK - TYPE 2
5. **STREAM BUFFER:**  
INNER BUFFER: 30' OUTER BUFFER: 60'
6. **STREAM WIDTH:**  
1200'
7. **STREAM FOOTING:**  
1200'
8. **THREE PER FEET RATIO:**  
1 TREE PER 20 LF 1 TREE PER 30 LF
9. **TREES PER AC:**  
81/1 41/1
10. **SHRUB SUBSTITUTES PER AC:**  
0/0 0/0
11. **AREA WITHIN BUFFER:**  
412 SF 74,872 SF
12. **IMPERMEABLE SURFACE ALLOWED (PSF):**  
0 SF 15,115 SF
13. **IMPERMEABLE SURFACE PROPOSED:**  
N/A 16,309 SF (24.4%)
14. **PLANT ABREVIATION DERIVED ON PLAN:**  
B C
15. **OUTER CREEKSIDE ZONE**  
THE OUTER CREEKSIDE ZONE SHALL BE MAINTAINED WITHIN THE OVERLAY AREA AND SHALL CONFORM TO THE SPECIFIC CRITERIA SET FORTH IN THE STREAMSIDE OVERLAY CRITERIA.
16. **IMPERMEABLE SURFACE IN OUTER CREEKSIDE ZONE**  
THE IMPERMEABLE SURFACE IN THE OUTER CREEKSIDE ZONE SHALL BE MAINTAINED WITHIN THE OVERLAY AREA AND SHALL CONFORM TO THE SPECIFIC CRITERIA SET FORTH IN THE STREAMSIDE OVERLAY CRITERIA.
17. **EXCLUDED IMPERMEABLE SURFACE IN OUTER CREEKSIDE ZONE**  
THE EXCLUDED IMPERMEABLE SURFACE IN THE OUTER CREEKSIDE ZONE SHALL BE MAINTAINED WITHIN THE OVERLAY AREA AND SHALL CONFORM TO THE SPECIFIC CRITERIA SET FORTH IN THE STREAMSIDE OVERLAY CRITERIA.
18. **STREAM NAME - TYPE:**  
SAND CREEK EAST FORK - TYPE 2
19. **STREAM BUFFER:**  
INNER BUFFER: 30' OUTER BUFFER: 60'
20. **STREAM WIDTH:**  
1200'
21. **STREAM FOOTING:**  
1200'
22. **THREE PER FEET RATIO:**  
1 TREE PER 20 LF 1 TREE PER 30 LF
23. **TREES PER AC:**  
81/1 41/1
24. **SHRUB SUBSTITUTES PER AC:**  
0/0 0/0
25. **AREA WITHIN BUFFER:**  
412 SF 74,872 SF
26. **IMPERMEABLE SURFACE ALLOWED (PSF):**  
0 SF 15,115 SF
27. **IMPERMEABLE SURFACE PROPOSED:**  
N/A 16,309 SF (24.4%)
28. **PLANT ABREVIATION DERIVED ON PLAN:**  
B C
29. **OUTER CREEKSIDE ZONE**  
THE OUTER CREEKSIDE ZONE SHALL BE MAINTAINED WITHIN THE OVERLAY AREA AND SHALL CONFORM TO THE SPECIFIC CRITERIA SET FORTH IN THE STREAMSIDE OVERLAY CRITERIA.
30. **IMPERMEABLE SURFACE IN OUTER CREEKSIDE ZONE**  
THE IMPERMEABLE SURFACE IN THE OUTER CREEKSIDE ZONE SHALL BE MAINTAINED WITHIN THE OVERLAY AREA AND SHALL CONFORM TO THE SPECIFIC CRITERIA SET FORTH IN THE STREAMSIDE OVERLAY CRITERIA.
31. **EXCLUDED IMPERMEABLE SURFACE IN OUTER CREEKSIDE ZONE**  
THE EXCLUDED IMPERMEABLE SURFACE IN THE OUTER CREEKSIDE ZONE SHALL BE MAINTAINED WITHIN THE OVERLAY AREA AND SHALL CONFORM TO THE SPECIFIC CRITERIA SET FORTH IN THE STREAMSIDE OVERLAY CRITERIA.

### FEMA CLASSIFICATION

THIS PROPERTY IS LOCATED WITHIN A DESIGNATED FEMA FLOODPLAIN AND LOW AS DETERMINED BY THE FLOOD INSURANCE RATE MAP, COMMUNITY MAP NUMBER '08041007530', EFFECTIVE DATE 12/7/2018.

### CITY APPROVAL:



STREAMSIDE OVERLAY  
SHEET 5 OF 17

AIRPORT CREEK POINT - CITY FILE NO. CPC CU 21-0097

**Kimley»Horn**

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2 NORTH NEVADA AVENUE, SUITE 300  
COLORADO SPRINGS, COLORADO 80903 (719) 453-0180

# AIRPORT CREEK POINT APARTMENTS

## CONDITIONAL USE DEVELOPMENT PLAN

SITUATED IN A PORTION OF THE NORTHEAST 1/4 OF SECTION 24, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

### GENERAL NOTES

- Colorado Springs Utilities (Springs Utilities) shall make the final determination of the location of all water, wastewater, electric and gas facilities, which may not be the same location as shown on this Preliminary Utility Plan.
- Property Owner(s) ("Owner") acknowledges that the connection and/or extension of utility services to the property identified in this Preliminary Utility Plan ("Property") shall be in accordance with all applicable codes and regulations, Springs Utilities Line Extension & Service Standards ("Standards"), Tariffs, Colorado Springs City Code, resolutions, and policies, and Pikes Peak Regional Building Department codes, in effect at the time of utility service connection and/or extension.
- Owner acknowledges responsibility for the costs of extensions or utility system improvements that Springs Utilities determines necessary to provide utility services to the Property or to ensure timely development of integrated utility systems serving the Property and areas outside the Property (including the costs to design and install water systems, wastewater collection systems, and any gas or electric lines to and within the Property). Owner may be eligible for a cost Recovery Agreement as provided in Utilities Rules and Regulations.
- Springs Utilities utility services are available on a "first-come, first-served" basis, and therefore no specific allocations or amounts of utility services, facilities, capacities or supplies are reserved for the Owner, and Springs Utilities makes no commitment as to the availability of any utility service until such time as an application for permanent service is approved by Springs Utilities.
- The relocation or alteration of any existing utility facilities within the Property will be at the Owner's sole cost and expense. If Springs Utilities determines that Owner's relocation or alteration requires new or updated easements, Owner shall convey those easements prior to relocating or altering the existing utility facilities.
- Owner shall dedicate by plat and/or convey by recorded document, all property and easements that Springs Utilities determines are required for all utility system facilities necessary to serve the Property or to ensure development of an integrated utility system. All easements granted by separate instrument shall utilize Springs Utilities then-current Permanent Easement Agreement form.
- The water system facilities must meet Springs Utilities criteria for water quality, reliability and pressure, including looping requirements (see Springs Utilities Line Extension and Service Standards).
- Owner recognizes that the extension of water system facilities may affect the quality of water in the Springs Utilities water system. When water quality is affected, Owner acknowledges responsibility for any costs that Springs Utilities determines necessary in order to maintain water quality in its system as a result of Owner's water system extensions. Owner may be required to submit a Water Quality Plan for the project.
- Owner must contact Springs Utilities Field Engineering to determine the location of all natural gas and electric meters and transformers and to secure approval of gas-service-line pressures in excess of Springs Utilities standard gas system pressure. (Contact Field Engineering North 668-4885 or South 668-5544).
- It shall not be permissible for any person to modify the grade of the earth within any Springs Utilities easement or rights of way without the written approval of Springs Utilities. Improvements, structures and trees shall not be located within utility easement, shall not violate National Electric Safety Code (NESC) provisions and clearances, and shall not impair access or the ability to maintain utility facilities.
- Springs Utilities approval of this Preliminary Utility Plan shall not be construed as a limitation upon the authority of Springs Utilities to apply its Standards; and if there are any conflicts between any approved drawings and any provision of Standards or the City Code, then the Standards or City Code shall apply. Springs Utilities approval of this Preliminary Utility Plan shall not be construed as a limitation upon the authority of the City of Colorado Springs or Springs Utilities to adopt different ordinances, rules, regulations, resolutions, policies or codes which change any of the provisions of the Standards so long as these apply to the City generally and are in accordance with the then-current tariffs, rates and policies of Springs Utilities.

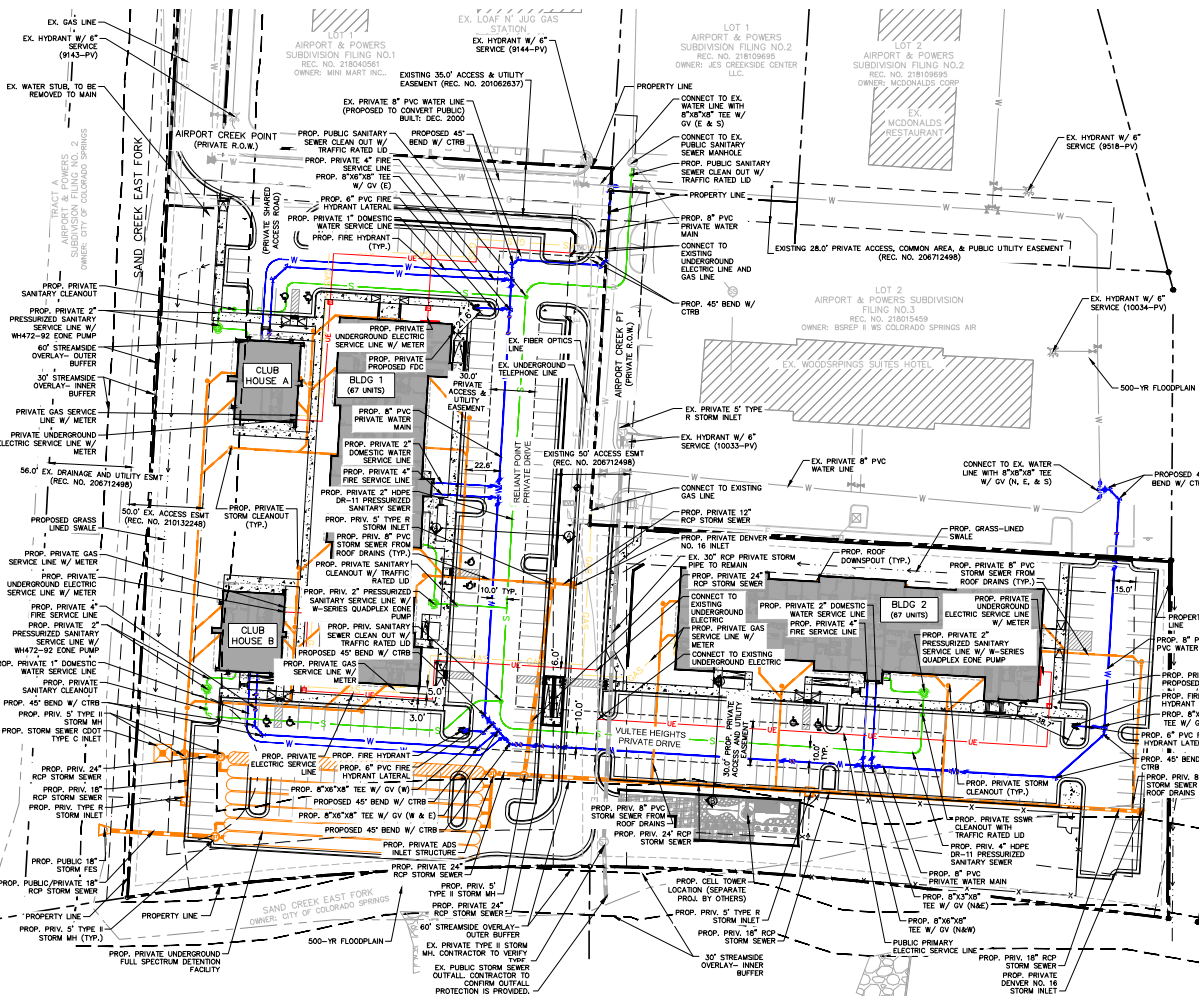
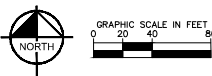
NOTE: ALL SANITARY SEWER, STORM SEWER, AND WATER INFRASTRUCTURE ARE PRIVATE.

### FEMA CLASSIFICATION

THIS PROPERTY IS LOCATED WITHIN A DESIGNATED FEMA FLOODPLAIN AND LOIAR AS DETERMINED BY THE FLOOD INSURANCE RATE MAP, COMMUNITY MAP NUMBER "08041C0753G", EFFECTIVE DATE 12/7/2018.

**Kimley»Horn**

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2 NORTH NEVADA AVENUE, SUITE 300  
COLORADO SPRINGS, COLORADO 80903 (719) 453-0180



### PROJECT SPECIFIC NOTES

WATER SYSTEM: EXISTING PRIVATE WATER SYSTEM ON LOT 2 AIRPORT AND POWERS FILING NO. 3, LOTS 1 & 2 AIRPORT AND POWERS FILING NO. 1, AND LOT 2 AIRPORT AND POWERS FILING NO. 2 WILL BE CONVERTED TO A PUBLIC SYSTEM, PENDING CSU REVIEW AND APPROVAL.

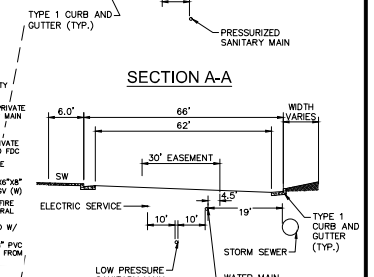
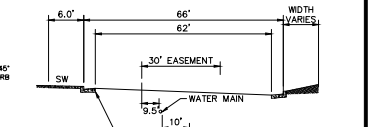
SANITARY SYSTEM: A LOW PRESSURE MAIN USING GRINDER PUMPS AT EACH RESIDENCE WILL BE USED

PROPOSED WATER METERS TO BE LOCATED INSIDE BUILDINGS AT WATER ENTRY LOCATIONS.

ALL PROPOSED STORMWATER MANHOLES TO BE PRIVATE, UNLESS OTHERWISE NOTED ON PLANS.

### LEGEND

- PROPERTY LINE
- EXISTING WATER LINE & VALVE
- PROPOSED WATER LINE & VALVE
- PROPOSED FIRE HYDRANT
- EXISTING SANITARY SEWER LINE & MANHOLE
- PROPOSED SANITARY SEWER LINE & MANHOLE
- PROPOSED STORM SEWER LINE & MANHOLE
- PROPOSED STORM SEWER STRUCTURES
- PROPOSED GAS LINE
- PROPOSED UNDERGROUND ELECTRIC LINE



### CITY APPROVAL:



PRELIMINARY UTILITY AND PUBLIC FACILITIES PLAN  
SHEET 6 OF 17

AIRPORT CREEK POINT - CITY FILE NO. CPC CU 21-00097

# AIRPORT CREEK POINT APARTMENTS

## CONDITIONAL USE DEVELOPMENT PLAN

SITUATED IN A PORTION OF THE NORTHEAST 1/4 OF SECTION 24, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

### LEGEND

- PROPERTY LINE
- EXISTING EASEMENT
- PROPOSED EASEMENT
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED STORM LINE
- PROPOSED DRAINAGE SWALE
- STREAMSIDE OVERLAY BUFFER
- 100 YEAR FLOODPLAIN
- 500 YEAR FLOODPLAIN
- PROPOSED BUILDING FOOTPRINT
- PROPOSED CONCRETE PAVEMENT
- PROPOSED ASPHALT PAVEMENT
- PROPOSED LANDSCAPE

### NOTES

- PRIVATE CURB RAMPS ON THE SITE (I.E. OUTSIDE PUBLIC STREET RIGHT-OF-WAY) SHALL CONFORM TO ADA STANDARDS.
- ALL ACCESSIBLE ROUTES, GENERAL SITE AND BUILDING ELEMENTS, RAMPS, CURB RAMPS, STRIPING AND PAVEMENT MARKINGS SHALL CONFORM TO ADA STANDARDS FOR ACCESSIBLE DESIGN, LATEST EDITION.
- BEFORE PLACING PAVEMENT, CONTRACTOR SHALL VERIFY THAT SUITABLE ACCESSIBLE PEDESTRIAN ROUTES (PER ADA) EXIST TO AND FROM EVERY DOOR AND ALONG SIDEWALKS, ACCESSIBLE PARKING SPACES, ACCESS AISLES, AND ACCESSIBLE ROUTES.
- ALL ACCESSIBLE RAMP SLOPES SHALL NOT EXCEED 1 VERTICAL TO 12 HORIZONTAL.
- ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL NOT EXCEED 2.0% SLOPE IN ANY DIRECTION.
- ALL SIDEWALKS SHALL HAVE CROSS SLOPES 1.8% OR LESS AND LONGITUDINAL SLOPES 4.8% OR LESS. CONTRACTOR SHALL TAKE FIELD SLOPE MEASUREMENTS ON FINISHED SUBGRADE AND FORM BOARDS PRIOR TO PLACING PAVEMENT TO VERIFY THAT ADA SLOPE REQUIREMENTS ARE PROVIDED. CONTRACTOR SHALL CONTACT ENGINEER OF RECORD PRIOR TO PAVING IF ANY EXCESSIVE SLOPES ARE ENCOUNTERED. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR ADA SLOPE COMPLIANCE ISSUES.

### ABBREVIATIONS LEGEND

- FG - FINISH GRADE
- FL - FLOW LINE FINISH GRADE
- LP - LOW POINT FINISH GRADE
- HP - HIGH POINT FINISH GRADE
- ME - MATCH EXISTING
- SW - SIDEWALK FINISH GRADE
- TOW - TOP OF WALL FINISH GRADE
- BOW - BOTTOM OF WALL FINISH GRADE
- PL - PROPERTY LINE FINISH GRADE
- BFE - BASE FLOOD ELEVATION

### FEMA INFORMATION:

THIS PROPERTY IS LOCATED WITHIN A DESIGNATED FEMA FLOODPLAIN AND LOMR AS DETERMINED BY THE FLOOD INSURANCE RATE MAP, COMMUNITY MAP NUMBER '08041C07530', EFFECTIVE DATE 12/7/2016.

### CITY APPROVAL:



PRELIMINARY GRADING PLAN  
SHEET 7 OF 17

GRAPHIC SCALE IN FEET  
0 20 40 80



AIRPORT CREEK POINT - CITY FILE NO. CPC CU 21-00097

**Kimley»Horn**

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2 NORTH NEVADA AVENUE, SUITE 300  
COLORADO SPRINGS, COLORADO 80903 (719) 453-0180

K:\CADD\2021\00097-Airport Creek Point\A-CU 21-00097.dwg, PLOT DATE: Feb 03, 2022, 4:11pm

# AIRPORT CREEK POINT APARTMENTS CONDITIONAL USE DEVELOPMENT PLAN

SITUATED IN A PORTION OF THE NORTHEAST 1/4 OF SECTION 24, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

## PLANT SCHEDULE

PLANT CODE	PLANT NAME	PLANT CODE	PLANT NAME
AC 41	SHADBLOW GERANIODES MULTIFLORA / AMELANCHIER CANADENSIS	OB 15	KOREAN PERSIMMON GRASS / CALAMAGROSTIS BRACHYNEURA
AS 43	SELECTION BOX ELDER / ACER NEGUNDO 'SELECTION'	OB 16	LITTLE BLUESTEM GRASS / BOECHMANNIA BOECHMANNI
AT 5	HOT VENUS 'SACRAMENTO' MAPLE / ACER NEGUNDO 'HOT VENUS'	OB 17	BLACK STYED BURNING BROOM / ERICA FULGIDA 'VIOLET CROWN'
CO 10	CHOCOLATE WINTER HAZELBERRY / CELTIS OCCIDENTALIS 'CHOCOLATE'	OB 18	BLACK STYED BURNING BROOM / ERICA FULGIDA 'VIOLET CROWN'
CO 6	KENTUCKY COFFEE TREE / OSMORHIZA DECCA 'ESPRESSO'	OB 19	BLACK STYED BURNING BROOM / ERICA FULGIDA 'VIOLET CROWN'
FC 4	AUTUMN BLAZE PEAR / PRUNUS CALLERYANA 'AUTUMN BLAZE'	OB 20	BLACK STYED BURNING BROOM / ERICA FULGIDA 'VIOLET CROWN'
OB 15	SWAMP WHITE OAK / QUERCUS BECTON	OB 21	BLACK STYED BURNING BROOM / ERICA FULGIDA 'VIOLET CROWN'
OB 22	PASTORAL BLUE SPRUCE / PICEA PENSILVANA 'PASTORAL'	OB 22	BLACK STYED BURNING BROOM / ERICA FULGIDA 'VIOLET CROWN'
FC 4	REDON PINE / PINUS RESINOSA	OB 23	BLACK STYED BURNING BROOM / ERICA FULGIDA 'VIOLET CROWN'
FC 12	AUTUMN BLACK PINE / PINUS RESINOSA	OB 24	BLACK STYED BURNING BROOM / ERICA FULGIDA 'VIOLET CROWN'
FC 12	AUTUMN BLACK PINE / PINUS RESINOSA	OB 25	BLACK STYED BURNING BROOM / ERICA FULGIDA 'VIOLET CROWN'
FC 12	AUTUMN BLACK PINE / PINUS RESINOSA	OB 26	BLACK STYED BURNING BROOM / ERICA FULGIDA 'VIOLET CROWN'
FC 12	AUTUMN BLACK PINE / PINUS RESINOSA	OB 27	BLACK STYED BURNING BROOM / ERICA FULGIDA 'VIOLET CROWN'
FC 12	AUTUMN BLACK PINE / PINUS RESINOSA	OB 28	BLACK STYED BURNING BROOM / ERICA FULGIDA 'VIOLET CROWN'
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FC 12	AUTUMN BLACK PINE / PINUS RESINOSA	OB 37	BLACK STYED BURNING BROOM / ERICA FULGIDA 'VIOLET CROWN'
FC 12	AUTUMN BLACK PINE / PINUS RESINOSA	OB 38	BLACK STYED BURNING BROOM / ERICA FULGIDA 'VIOLET CROWN'
FC 12	AUTUMN BLACK PINE / PINUS RESINOSA	OB 39	BLACK STYED BURNING BROOM / ERICA FULGIDA 'VIOLET CROWN'
FC 12	AUTUMN BLACK PINE / PINUS RESINOSA	OB 40	BLACK STYED BURNING BROOM / ERICA FULGIDA 'VIOLET CROWN'
FC 12	AUTUMN BLACK PINE / PINUS RESINOSA	OB 41	BLACK STYED BURNING BROOM / ERICA FULGIDA 'VIOLET CROWN'
FC 12	AUTUMN BLACK PINE / PINUS RESINOSA	OB 42	BLACK STYED BURNING BROOM / ERICA FULGIDA 'VIOLET CROWN'
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**Kimley»Horn**

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2 NORTH NEVADA AVENUE, SUITE 300  
COLORADO SPRINGS, COLORADO 80903 (719) 453-0180

NOTE:  
LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE  
RESPONSIBILITY OF OWNER, AND/OR THEIR ASSIGNS



GRAPHIC SCALE IN FEET  
0 15 30 60

CITY APPROVAL:



POWERS BOULEVARD  
(PUBLIC R.O.W. VARIES)

PRELIMINARY LANDSCAPE PLAN  
SHEET 8 OF 17

AIRPORT CREEK POINT - CITY FILE NO. CPC CU 21-00097



# AIRPORT CREEK POINT APARTMENTS CONDITIONAL USE DEVELOPMENT PLAN

SITUATED IN A PORTION OF THE NORTHEAST 1/4 OF SECTION 24, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

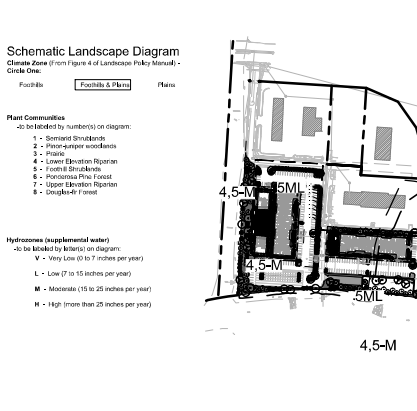
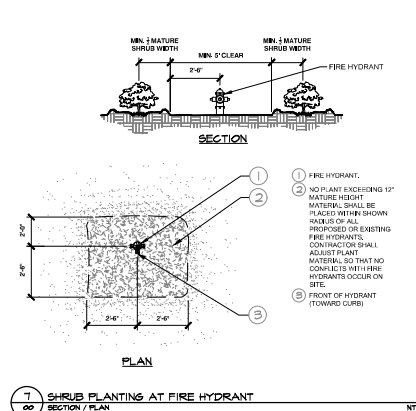
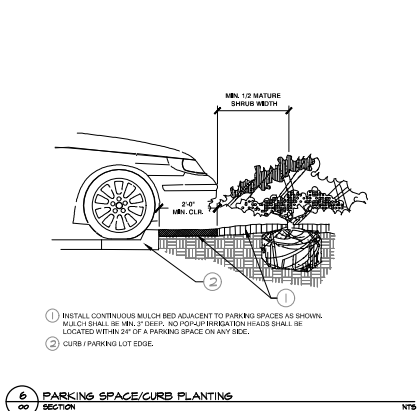
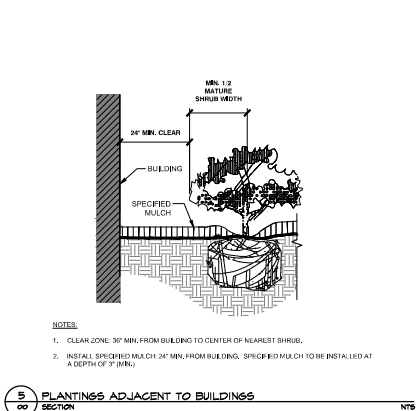
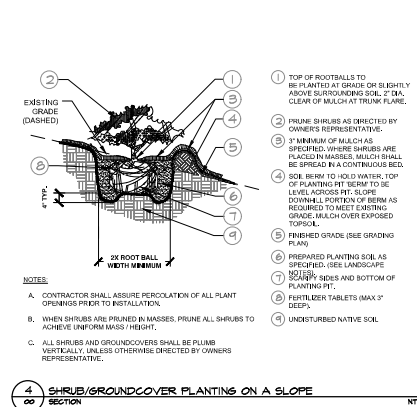
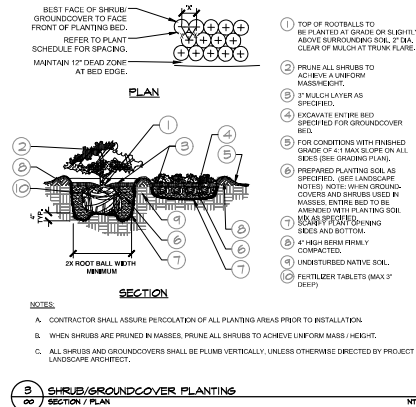
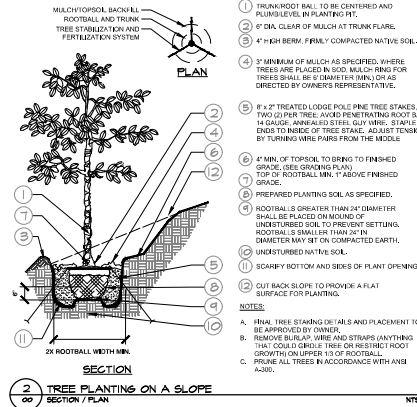
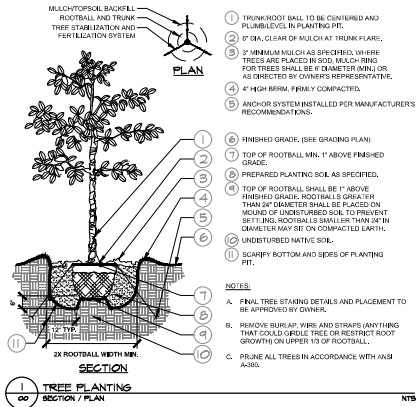


Table 5-1: El Paso County Conservation District All-Purpose Mixture for Urban, Residential and Commercial Landscaping

Common Name	Scientific Name	Growth Status / Form	% of Mixture	Planting Rate (lb/1000 sq ft)	Planting Rate (lb/1000 sq ft)	Planting Rate (lb/1000 sq ft)
				Original Mixture	Revised Mixture	Revised Mixture
Bluestem, Blue	<i>Andropogon gerardii</i>	Warm, cool	20	4.4	2.2	3.3
Green, Redtop	<i>Andropogon gerardii</i>	Warm, cool	20	0.5	0.35	0.15
Green, Redtop	<i>Andropogon gerardii</i>	Warm, cool	20	2	1	0.5
Green, Redtop	<i>Andropogon gerardii</i>	Warm, cool	20	0.4	3.2	1.6
Green, Redtop	<i>Andropogon gerardii</i>	Warm, cool	20	2	1	0.5
Green, Redtop	<i>Andropogon gerardii</i>	Warm, cool	20	0.8	0.4	0.2
Green, Redtop	<i>Andropogon gerardii</i>	Warm, cool	20	2.2	0.6	0.3
Green, Redtop	<i>Andropogon gerardii</i>	Warm, cool	20	2	1	0.5
Green, Redtop	<i>Andropogon gerardii</i>	Warm, cool	20	0.2	0.2	0.2

**Kimley»Horn**

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2 NORTH NEVADA AVENUE, SUITE 300  
COLORADO SPRINGS, COLORADO 80903 (719) 453-0180

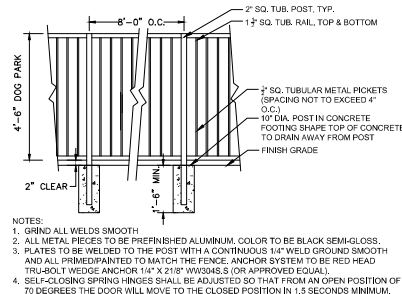
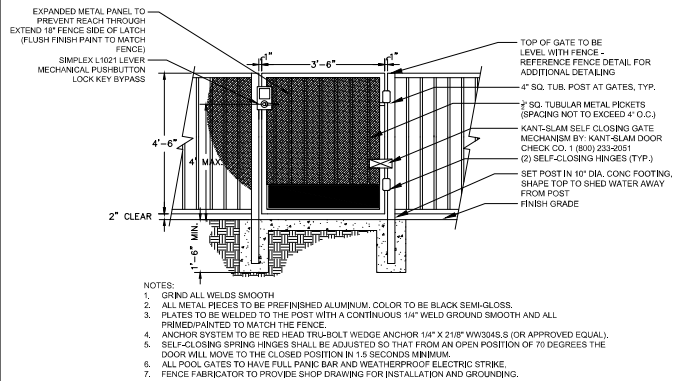
CITY APPROVAL:



PRELIMINARY LANDSCAPE DETAILS  
SHEET 10 OF 17

AIRPORT CREEK POINT - CITY FILE NO. CPC CU 21-00097

SITUATED IN A PORTION OF THE NORTHEAST 1/4 OF SECTION 24, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



1" = 1"

## 2 STANDARD FENCING

### Schematic Landscape Diagram

Climate Zone (From Figure 4 of Landscape Policy Manual) - Circle One:

Foothills

Foothills ☒ Foothills & Plains ☐ Plains

## Piling

### Plant Communities

1 - Semiard Straddles

- 1 - Gambel's Quail
- 2 - Piñon/Juniper woodlands
- 3 - Prairie
- 4 - Lower Elevation Riparian
- 5 - Foothill Shrublands
- 6 - Ponderosa Pine Forest
- 7 - Upper Elevation Riparian
- 8 - Douglas-fir Forest

[illegible]

### PLANT SCHEDULE

[illegible]

CITY APPROVAL:

PRELIMINARY LANDSCAPE DETAILS  
SHEET 11 OF 17

AIRPORT CREEK POINT - CITY FILE NO. CPC CU 21-00097

# Kimley»»Horn

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COLORADO SPRINGS, COLORADO 80903 (719) 453-0180

# AIRPORT CREEK POINT

## PUD DEVELOPMENT PLAN

SITUATED IN A PORTION OF THE NORTHEAST 1/4 OF SECTION 24, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



2 FRONT LEFT CORNER ISOMETRIC

MATERIAL LEGEND	
	BOARD AND BATTEN 1"
	CEMENTITIOUS PANEL
	MANUFACTURED STONE VENEER
	SIDING - SHAKE
	CMU

KEYNOTES	
NO.	NOTE
01	BOARD AND BATTEN 1"
02	CEMENTITIOUS PANEL
03	MANUFACTURED STONE VENEER
04	SIDING - SHAKE
05	CMU
06	WOOD TRIM
07	ROCK VENEER
08	COMPOSITE CLADDING
09	POWDER COATED BLACK METAL RAILING
10	PAINTED STONE
11	PRECAST STONE CAP
12	CONCRETE COLUMN



1 FRONT ELEVATION  
3/32" = 1'-0"



3/17/2022 9:10:51 AM - C:\Users\j\OneDrive\Documents\Airport Creek Point\Airport Creek Point\Airport Creek Point.dwg

**Kimley-Horn  
and Associates, Inc.**  
311 E. TIEB - ST. AND ASSOCIATES, INC.  
400 East 10th Street, Suite 200  
Denver, Colorado 80202 (303) 733-2200

APARTMENT ELEVATIONS  
SHEET 12 OF 17

AIRPORT CREEK POINT DEVELOPMENT PLAN - CITY FILE NO. CPC CU 21-00097

SITUATED IN A PORTION OF THE NORTHEAST 1/4 OF SECTION 24, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

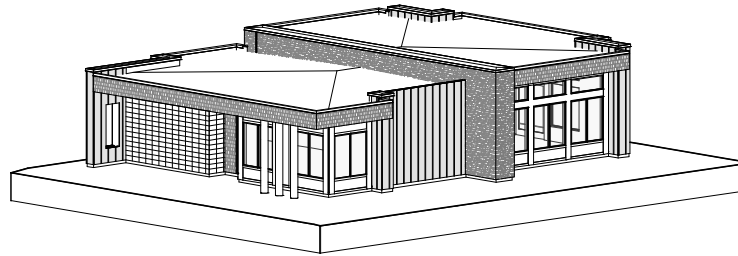


KEYNOTES	
NO.	NOTE
01	BOARD AND BATTEN 18"
02	CEMENTITIOUS PANEL
03	MANUFACTURED STONE VENEER
04	STEEL - SHINGE
05	CML
06	WOOD TRIM
07	VINYL WINDOW
08	COMPOSITE CLADDING
09	POWDER COATED BLACK METAL RAILING
010	PANAMA T COPING
011	PRECAST STONE CAP



# AIRPORT CREEK POINT PUD DEVELOPMENT PLAN

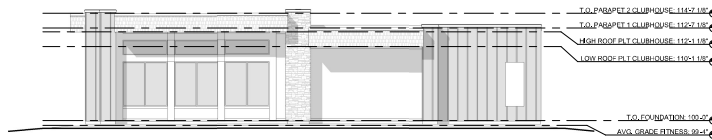
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CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



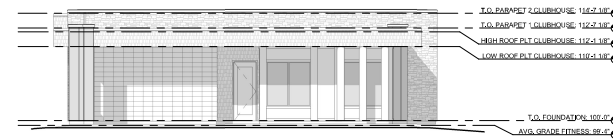
⑤ NORTHWEST CORNER ISO - LEASING

MATERIAL LEGEND	
	BOARD AND BATTEN 1"
	CEMENTITIOUS PANEL
	MANUFACTURED STONE VENEER
	SIDING - SHAKE
	CMU

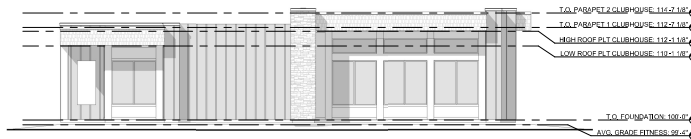
KEYNOTES	
NO.	NOTE
01	BOARD AND BATTEN 1"
02	CEMENTITIOUS PANEL
03	MANUFACTURED STONE VENEER
04	SIDING - SHAKE
05	CMU
06	WOOD TRIM
07	WICK VENT
08	COMPOSITE CLADDING
09	POWDER COATED BLACK METAL RAILING
10	WARRANT COVERS
11	PREFAB STONE CAP
12	CONCRETE COLUMN



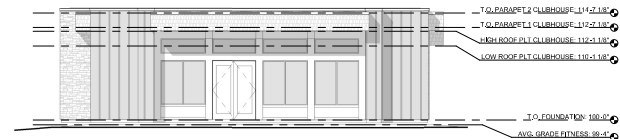
④ EAST LEASING ELEVATION  
1/8" = 1'-0"



② NORTH LEASING ELEVATION  
1/8" = 1'-0"



③ WEST LEASING ELEVATION  
1/8" = 1'-0"



① SOUTH LEASING ELEVATION  
1/8" = 1'-0"

CITY APPROVAL



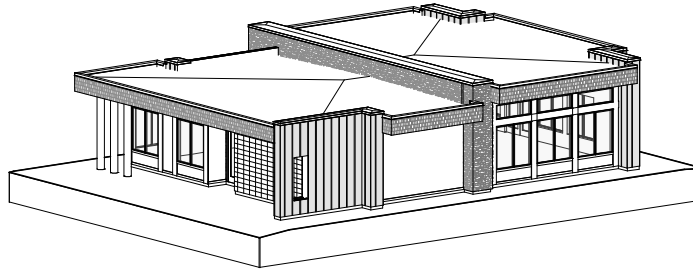
**Kimley-Horn  
and Associates, Inc.**  
300 S. Tenth Street, Suite 200  
Denver, Colorado 80202 (303) 733-2200

LEASING ELEVATIONS  
SHEET 14 OF 17

AIRPORT CREEK POINT DEVELOPMENT PLAN - CITY FILE NO. CPC CU 21-00097

# AIRPORT CREEK POINT PUD DEVELOPMENT PLAN

SITUATED IN A PORTION OF THE NORTHEAST 1/4 OF SECTION 24, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



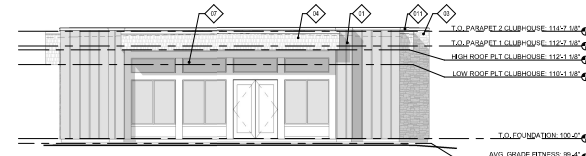
5 NORTHWEST CORNER ISO - FITNESS

MATERIAL LEGEND	
	BOARD AND BATTEN 1"
	CEMENTITIOUS PANEL
	MANUFACTURED STONE VENEER
	SIDING - SHAKE
	CMU

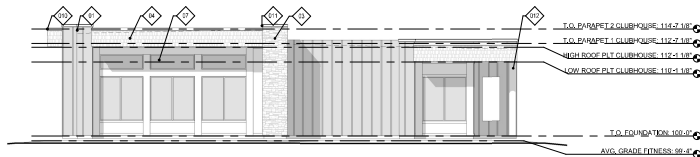
KEYNOTES	
NO.	NOTE
01	BOARD AND BATTEN 1"
02	CEMENTITIOUS PANEL
03	MANUFACTURED STONE VENEER
04	SIDING - SHAKE
05	CMU
06	WOOD TRIM
07	WICK VENEER
08	COMPOSITE CLADDING
09	POWDER COATED BLACK METAL RAILING
10	WARRANTY COVERS
11	PRECAST STONE CAP
12	CONCRETE COLUMN



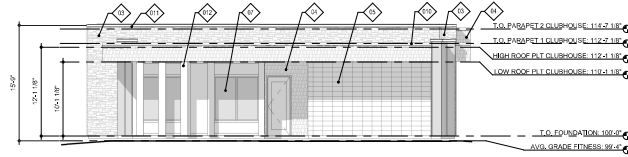
4 EAST ELEVATION - FITNESS  
1/8" = 1'-0"



2 NORTH ELEVATION - FITNESS  
1/8" = 1'-0"



3 WEST ELEVATION - FITNESS  
1/8" = 1'-0"



1 SOUTH ELEVATION - FITNESS  
1/8" = 1'-0"



# AIRPORT CREEK POINT

## PUD DEVELOPMENT PLAN

SITUATED IN A PORTION OF THE NORTHEAST 1/4 OF SECTION 24, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

### NOTES:

1. ANY PROPOSED LIGHT FIXTURES INSTALLED ON PRIVATE PROPERTY ADJACENT TO PUBLIC ROW, SHALL BE ORIENTED OR LIMITED IN LUMEN OUTPUT TO PREVENT GLARE PROBLEMS AND SHALL NOT EXCEED NATIONAL IES LIGHTING STANDARDS FOR GLARE CLAUSE.
2. ALL FIXTURES TO BE FULL CUTOFF. REFER TO SPEC SHEETS FOR MORE INFORMATION.
3. NO TYPE N FORWARD THROW FIXTURES. POLE MOUNTED LIGHTS AIMED AT THE FACADE OR UNSHIELDED WALLPACKS TO BE USED.
4. FIXTURES TO BE OPERATED DUSK TO DAWN ONLY USING A PHOTOCELL AND TIMECLOCK TO CONTROL FIXTURES. SITE FIXTURES TO HAVE DIMMING CAPABILITY TO HAVE LIGHT REDUCED BY 50% DURING POST CURFEW HOURS.
5. SITE LIGHTING OBJECTIVES FOR ALL RESIDENTIAL BUILDING AND PARKING AREAS TO PRIORITIZE SAFETY AND SECURITY, WITH ADDITIONAL FIXTURES AT ENTRIES FOR WAYFINDING. GLORIOUS LIGHTING TO BE PRIMARILY FOR SAFETY AND SECURITY, WITH ADDITIONAL DOWNLIGHTS AT ENTRY COLUMNS TO ENHANCE WAYFINDING AND ARCHITECTURAL DETAILS.
6. MITIGATION OF LIGHT INTO ADJACENT PROPERTIES/NEIGHBORHOODS: FIXTURES TO BE MOUNTED AND ORIENTED IN A MANNER TO REDUCE GLARE, FOOTCANDLES AND LIGHT LEAK.

UNNAMED TRIBUTARY EAST  
FORK SAND CREEK



30 0 30 60  
SCALE: 1" = 30'

CITY APPROVAL

COLORADO  
SPRINGS  
OLYMPIC CITY USA  
Planning Commission  
Approved  
MARCH 17, 2022

PHOTOMETRIC PLAN  
SHEET 16 OF 17

AIRPORT CREEK POINT DEVELOPMENT PLAN - CITY FILE NO. CPC CU 21-00097

Kimley»Horn

KLOK  
KLOK GROUP  
200 016  
GOLDEN, CO. 80402  
PHONE: 720.606.4119  
KLOKGROUP.COM


# AIRPORT CREEK POINT

## PUD DEVELOPMENT PLAN

SITUATED IN A PORTION OF THE NORTHEAST 1/4 OF SECTION 24, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

### LUMINAIRE SCHEDULE

TYPE	LAMPS/KELVIN	DESCRIPTION	LOAD, VA	VOLTS	INITIAL LUMENS	CONTROL	MANUFACTURER/CAT. NO.	NOTES
S1	4000K LED	LED AREA FIXTURE, TYPE 4 DISTRIBUTION HOUSE SIDE SHIELD, 20' SQUARE POLE	49	120	4563	EXTERIOR PHOTOCELL 0-10V DIMMING	LITHONIA - DSX0 LED P2 40K T4M MVOLT HS	FULL CUT OFF
S2	4000K LED	LED AREA FIXTURE, TYPE 3 DISTRIBUTION HOUSE SIDE SHIELD, 20' SQUARE POLE	49	120	4008	EXTERIOR PHOTOCELL 0-10V DIMMING	LITHONIA - DSX0 LED P2 40K T3S MVOLT HS	FULL CUT OFF
S3	4000K LED	LED AREA FIXTURE, TYPE 5 DISTRIBUTION 20' SQUARE POLE	49	120	6236	EXTERIOR PHOTOCELL 0-10V DIMMING	LITHONIA - DSX0 LED P2 40K T5M MVOLT	FULL CUT OFF
P1	4000K LED	POST TOP LED FIXTURE, WITH 10' ROUND POLE	25	120	3021	EXTERIOR PHOTOCELL 0-10V DIMMING	LITHONIA - RADPT P1 40K ASY	FULL CUT OFF



### D-Series Size 0 LED Area Luminaire

**Specifications**

EPA: 0.05 ft<sup>2</sup> (0.01 m<sup>2</sup>)

Length: 36" (914mm)

Width: 13" (330mm)

Height: 3" (76mm)

Height: 7" (178mm)

Weight: 16 lbs (7.3kg)

**Ordering Information**

EXAMPLE: DSX0 LED P6 40K T3M MVOLT 5PA NLTAIR2 PIRHN DOBX0


Series	LEDs	Color temperature	Distribution	Temp	Mounting
DSX0 LED	P6	3000K	T5	Spot (down)	MVOLT 3300 (2700°)
	P7	4000K	T5	Spot (down)	5PA
	P8	5000K	T5	Spot (down)	5PA
	P9	5000K	T5	Spot (down)	5PA
	P10	5000K	T5	Spot (down)	5PA
	P11	5000K	T5	Spot (down)	5PA
	P12	5000K	T5	Spot (down)	5PA
	P13	5000K	T5	Spot (down)	5PA
	P14	5000K	T5	Spot (down)	5PA
	P15	5000K	T5	Spot (down)	5PA
	P16	5000K	T5	Spot (down)	5PA
	P17	5000K	T5	Spot (down)	5PA
	P18	5000K	T5	Spot (down)	5PA
	P19	5000K	T5	Spot (down)	5PA
	P20	5000K	T5	Spot (down)	5PA
	P21	5000K	T5	Spot (down)	5PA
	P22	5000K	T5	Spot (down)	5PA
	P23	5000K	T5	Spot (down)	5PA
	P24	5000K	T5	Spot (down)	5PA
	P25	5000K	T5	Spot (down)	5PA
	P26	5000K	T5	Spot (down)	5PA
	P27	5000K	T5	Spot (down)	5PA
	P28	5000K	T5	Spot (down)	5PA
	P29	5000K	T5	Spot (down)	5PA
	P30	5000K	T5	Spot (down)	5PA
	P31	5000K	T5	Spot (down)	5PA
	P32	5000K	T5	Spot (down)	5PA
	P33	5000K	T5	Spot (down)	5PA
	P34	5000K	T5	Spot (down)	5PA
	P35	5000K	T5	Spot (down)	5PA
	P36	5000K	T5	Spot (down)	5PA
	P37	5000K	T5	Spot (down)	5PA
	P38	5000K	T5	Spot (down)	5PA
	P39	5000K	T5	Spot (down)	5PA
	P40	5000K	T5	Spot (down)	5PA
	P41	5000K	T5	Spot (down)	5PA
	P42	5000K	T5	Spot (down)	5PA
	P43	5000K	T5	Spot (down)	5PA
	P44	5000K	T5	Spot (down)	5PA
	P45	5000K	T5	Spot (down)	5PA
	P46	5000K	T5	Spot (down)	5PA
	P47	5000K	T5	Spot (down)	5PA
	P48	5000K	T5	Spot (down)	5PA
	P49	5000K	T5	Spot (down)	5PA
	P50	5000K	T5	Spot (down)	5PA
	P51	5000K	T5	Spot (down)	5PA
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	P79	5000K	T5	Spot (down)	5PA
	P80	5000K	T5	Spot (down)	5PA
	P81	5000K	T5	Spot (down)	5PA
	P82	5000K	T5	Spot (down)	5PA
	P83	5000K	T5	Spot (down)	5PA
	P84	5000K	T5	Spot (down)	5PA
	P85	5000K	T5	Spot (down)	5PA
	P86	5000K	T5	Spot (down)	5PA
	P87	5000K	T5	Spot (down)	5PA
	P88	5000K	T5	Spot (down)	5PA
	P89	5000K	T5	Spot (down)	5PA
	P90	5000K	T5	Spot (down)	5PA
	P91	5000K	T5	Spot (down)	5PA
	P92	5000K	T5	Spot (down)	5PA
	P93	5000K	T5	Spot (down)	5PA
	P94	5000K	T5	Spot (down)	5PA
	P95	5000K	T5	Spot (down)	5PA
	P96	5000K	T5	Spot (down)	5PA
	P97	5000K	T5	Spot (down)	5PA
	P98	5000K	T5	Spot (down)	5PA
	P99	5000K	T5	Spot (down)	5PA
	P100	5000K	T5	Spot (down)	5PA

**Ordering Information**

EXAMPLE: RADPT LED P3 30K SYM MVOLT PT4 PIR DNAXD

Series	LEDs	Color temperature	Distribution	Temp	Mounting
RADPT LED	P1	3000K	T5	Spot (down)	MVOLT 3300 (2700°)
	P2	4000K	T5	Spot (down)	5PA
	P3	5000K	T5	Spot (down)	5PA
	P4	5000K	T5	Spot (down)	5PA
	P5	5000K	T5	Spot (down)	5PA
	P6	5000K	T5	Spot (down)	5PA
	P7	5000K	T5	Spot (down)	5PA
	P8	5000K	T5	Spot (down)	5PA
	P9	5000K	T5	Spot (down)	5PA
	P10	5000K	T5	Spot (down)	5PA
	P11	5000K	T5	Spot (down)	5PA
	P12	5000K	T5	Spot (down)	5PA
	P13	5000K	T5	Spot (down)	5PA
	P14	5000K	T5	Spot (down)	5PA
	P15	5000K	T5	Spot (down)	5PA
	P16	5000K	T5	Spot (down)	5PA
	P17	5000K	T5	Spot (down)	5PA
	P18	5000K	T5	Spot (down)	5PA
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	P21	5000K	T5	Spot (down)	5PA
	P22	5000K	T5	Spot (down)	5PA
	P23	5000K	T5	Spot (down)	5PA
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	P25	5000K	T5	Spot (down)	5PA
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	P30	5000K	T5	Spot (down)	5PA
	P31	5000K	T5	Spot (down)	5PA
	P32	5000K	T5	Spot (down)	5PA
	P33	5000K	T5	Spot (down)	5PA
	P34	5000K	T5	Spot (down)	5PA
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	P40	5000K	T5	Spot (down)	5PA
	P41	5000K	T5	Spot (down)	5PA
	P42	5000K	T5	Spot (down)	5PA
	P43	5000K	T5	Spot (down)	5PA
	P44	5000K	T5	Spot (down)	5PA
	P45	5000K	T5	Spot (down)	5PA
	P46	5000K	T5	Spot (down)	5PA
	P47	5000K	T5	Spot (down)	5PA
	P48	5000K	T5	Spot (down)	5PA
	P49	5000K	T5	Spot (down)	5PA
	P50	5000K	T5	Spot (down)	5PA
	P51	5000K	T5	Spot (down)	5PA
	P52	5000K	T5	Spot (down)	5PA
	P53	5000K	T5	Spot (down)	5PA
	P54	5000K	T5	Spot (down)	5PA
	P55	5000K	T5	Spot (down)	5PA
	P56	5000K	T5	Spot (down)	5PA
	P57	5000K	T5	Spot (down)	5PA
	P58	5000K	T5	Spot (down)	5PA
	P59	5000K	T5	Spot (down)	5PA
	P60	5000K	T5	Spot (down)	5PA
	P61	5000K	T5	Spot (down)	5PA
	P62	5000K	T5	Spot (down)	5PA
	P63	5000K	T5	Spot (down)	5PA
	P64	5000K	T5	Spot (down)	5PA
	P65	5000K	T5	Spot (down)	5PA
	P66	5000K	T5	Spot (down)	5PA
	P67	5000K	T5	Spot (down)	5PA
	P68	5000K	T5	Spot (down)	5PA
	P69	5000K	T5	Spot (down)	5PA
	P70	5000K	T5	Spot (down)	5PA
	P71	5000K	T5	Spot (down)	5PA
	P72	5000K	T5	Spot (down)	5PA
	P73	5000K	T5	Spot (down)	5PA
	P74	5000K	T5	Spot (down)	5PA
	P75	5000K	T5	Spot (down)	5PA
	P76	5000K	T5	Spot (down)	5PA
	P77	5000K	T5	Spot (down)	5PA
	P78	5000K	T5	Spot (down)	5PA
	P79	5000K	T5	Spot (down)	5PA
	P80	5000K	T5	Spot (down)	5PA
	P81	5000K	T5	Spot (down)	5PA
	P82	5000K	T5	Spot (down)	5PA
	P83	5000K	T5	Spot (down)	5PA
	P84	5000K	T5	Spot (down)	5PA
	P85	5000K	T5	Spot (down)	5PA
	P86	5000K	T5	Spot (down)	5PA
	P87	5000K	T5	Spot (down)	5PA
	P88	5000K	T5	Spot (down)	5PA
	P89	5000K	T5	Spot (down)	5PA
	P90	5000K	T5	Spot (down)	5PA
	P91	5000K	T5	Spot (down)	5PA
	P92	5000K	T5	Spot (down)	5PA
	P93	5000K	T5	Spot (down)	5PA
	P94	5000K	T5	Spot (down)	5PA
	P95	5000K	T5	Spot (down)	5PA
	P96	5000K	T5	Spot (down)	5PA
	P97	5000K	T5	Spot (down)	5PA
	P98	5000K	T5	Spot (down)	5PA
	P99	5000K	T5	Spot (down)	5PA
	P100	5000K	T5	Spot (down)	5PA

TYPE S1, S2, S3



### Radean Post Top LED Area Luminaire

**Specifications**

EPA: 1.02 ft<sup>2</sup> (0.10 m<sup>2</sup>)

Length: 60" (1524mm)

Width: 24" (610mm)

Height: 4" (101.6mm)

Weight: 38 lbs (17.2kg)

**Ordering Information**

EXAMPLE: RADPT LED P3 30K SYM MVOLT PT4 PIR DNAXD

Series	LED
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