

# DEVELOPMENT PLAN

## LOT 1, LAUNCHPAD 864 NORTH 19TH STREET

SITUATED IN THE NORTHEAST ¼ SECTION 11, TOWNSHIP 14 SOUTH, RANGE 67 WEST OF THE 6TH P.M.  
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

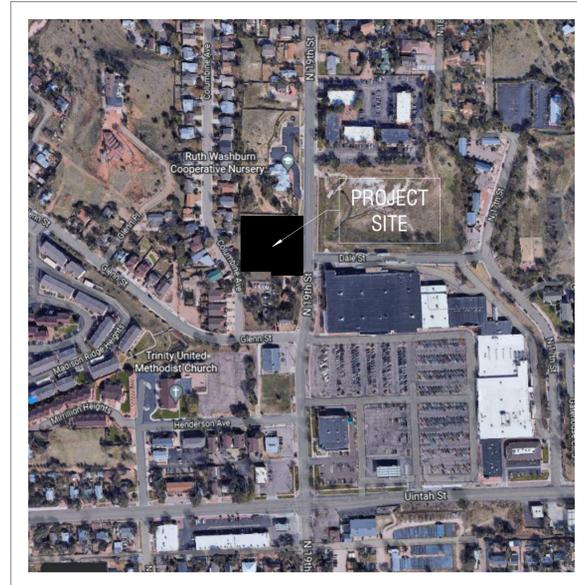
### LEGAL DESCRIPTION:

TRACT 6 IN RAMONA ADDITION, A SUBDIVISION OF BLOCKS 61, 61 AND 90 IN EAST COLORADO CITY, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK L AT PAGE 56, LOTS 4 AND 5 IN L. K. ADAMS ADDITION NO. 1, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK V AT PAGE 3, A 15 FEET WIDE VACATED RIGHT-OF-WAY BY ORDINANCE BOOK 1942 AT PAGE 138 AND DECREE BOOK 2243 AT PAGE 627, AND VACATED 16 FEET WIDE AS RECORDED AT RECEPTION NO. \_\_\_\_\_, SITUATED IN THE NORTHEAST QUARTER OF SECTION 11, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH P.M., COUNTY OF EL PASO, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID TRACT 6;  
 THENCE SOUTH 00°04'35" WEST, ALONG THE EASTERLY LINE OF SAID TRACT 6, A DISTANCE OF 199.97 FEET TO THE SOUTHEAST CORNER OF SAID TRACT 6 AND THE NORTHEAST CORNER OF SAID VACATED ALLEY;  
 THENCE SOUTH 00°04'36" WEST, ALONG THE EASTERLY LINES OF SAID VACATED ALLEY WAY AND LOT 4, A DISTANCE OF 65.94 FEET TO THE SOUTHEAST CORNER OF SAID LOT 4;  
 THENCE SOUTH 89°48'59" WEST, ALONG THE SOUTHERLY LINE OF SAID LOT 4, A DISTANCE OF 93.19 FEET TO THE SOUTHWEST CORNER OF SAID LOT 4;  
 THENCE NORTH 00°05'05" WEST, ALONG THE WESTERLY LINE OF SAID LOT 4, A DISTANCE OF 9.19 FEET TO THE POST SOUTHEASTERLY CORNER OF SAID VACATED ALLEY;  
 THENCE NORTH 89°54'55" WEST, ALONG THE SOUTHERLY LINES OF SAID VACATED ALLEY AND SAID LOT 5, A DISTANCE OF 123.80 FEET TO THE SOUTHWEST CORNER OF SAID LOT 5;  
 THENCE NORTH 00°05'05" WEST, ALONG THE WESTERLY LINE OF SAID LOT 5, A DISTANCE OF 56.75 FEET TO THE SOUTHWEST CORNER OF SAID TRACT 6, AND THE SOUTHEASTERLY CORNER OF SAID VACATED RIGHT-OF-WAY;  
 THENCE SOUTH 89°54'55" WEST, ALONG THE SOUTHERLY LINE OF SAID VACATED RIGHT-OF-WAY, A DISTANCE OF 15.00 FEET TO THE SOUTHWEST CORNER OF SAID VACATED RIGHT-OF-WAY;  
 THENCE NORTH 00°05'49" WEST, ALONG THE WESTERLY LINE OF SAID VACATED RIGHT-OF-WAY, A DISTANCE OF 199.97 FEET TO THE NORTHWEST CORNER OF SAID VACATED RIGHT-OF-WAY AND THE SOUTHWEST CORNER OF RUTH WASHBURN COOPERATIVE NURSERY SCHOOL SUBDIVISION;  
 THENCE NORTH 89°51'03" EAST, ALONG THE NORTHERLY LINE OF SAID VACATED RIGHT-OF-WAY, A DISTANCE OF 14.97 FEET TO THE NORTHWEST CORNER OF SAID TRACT 6;  
 THENCE ALONG THE NORTHERLY LINE OF SAID TRACT 6 THE FOLLOWING TWO (2) COURSES:  
 1. THENCE NORTH 89°55'36" EAST A DISTANCE OF 208.46 FEET TO THE SOUTHEAST CORNER OF SAID RUTH WASHBURN COOPERATIVE NURSERY SCHOOL SUBDIVISION;  
 2. THENCE NORTH 89°46'12" EAST A DISTANCE OF 9.34 FEET TO A POINT TO THE POINT OF BEGINNING.

CONTAINING 59,664 SQUARE FEET OR 1.370 ACRES, MORE OR LESS.

TO BE PLATTED AS LOT 1, LAUNCHPAD 864 NORTH 19th STREET.



### VICINITY MAP

N.T.S.



### SITE DATA

SITE ADDRESS	810 N. NINETEENTH ST & 809 COLUMBINE AVENUE, COLORADO SPRINGS, CO 80904	
TAX SCHEDULE	#7411101008, #7411101009	
USE	MULTIFAMILY RESIDENTIAL	
TOTAL SF	35,100 S.F.	
NUMBER OF 1-BEDROOM UNITS	47	
NUMBER OF 2-BEDROOM UNITS	3	
TOTAL NUMBER OF UNITS	50	
TOTAL DEVELOPMENT SIZE IN ACRES:	1.370 ACRES	
ZONE DISTRICT	R-5	
	<b>ALLOWED</b>	<b>PROVIDED</b>
BUILDING HEIGHT (MAX.)	45'	45'
FRONT SETBACK (MIN.)	20'	20'
SIDE SETBACK (MIN.)	5'	5'
REAR SETBACK (MIN.)	25'	25'
BUILDING COVERAGE	40%	15.5 %

### PARKING SUMMARY

USE	PARKING RATIO	# OF UNITS	REQUIRED	PROVIDED
MULTI-FAMILY	1.5 / 1-BEDROOM	47	70	
	1.7 / 2-BEDROOM	3	5	
<b>TOTAL</b>			<b>75 SPACES</b>	
<b>*PARKING REDUCTIONS AND ADJUSTMENTS</b>				
			4	
			4	
			2	
			30	
<b>TOTAL REDUCTIONS</b>			<b>40</b>	
<b>TOTAL REQUIRED</b>		<b>75 - 40 = 35</b>	<b>35 SPACES</b>	<b>38 SPACES</b>
<b>PARKING LOT DESIGN CRITERIA</b>				
ACCESSIBLE PARKING SPACES RECD.		50	2 (1+1 VAN)	3 (2+1 VAN)
COMPACT PARKING SPACES (40 % MAX.)			14 ALLOWED	14 PROVIDED

\* THE DEVELOPMENT IS UTILIZING PARKING REDUCTIONS AND ADJUSTMENTS THAT ARE PERMITTED BY CITY CODE SECTION, 7.4.204.C, ALTERNATIVE PARKING OPTIONS, TO MEET THE MINIMUM NUMBER OF OFF-STREET PARKING SPACES REQUIRED BY CITY CODE SECTION, 7.4.203, PARKING SPACE REQUIREMENTS BY USE.

### GENERAL NOTES:

- FLOODPLAIN STATEMENT. THIS PROPERTY IS NOT LOCATED WITHIN A FLOODPLAIN HAZARD AREA AS INDICATED ON THE NFIP FLOOD INSURANCE RATE MAP FOR EL PASO COUNTY, PANEL NUMBER 08041C07266, EFFECTIVE DATE 12/07/2018.
- THIS PROPERTY IS SUBJECT TO THE FINDINGS SUMMARY AND CONCLUSIONS OF A GEOLOGIC HAZARD REPORT PREPARED BY CTL THOMPSON DATED SEPTEMBER 8, 2022, REVISED DECEMBER 20, 2022, WHICH IDENTIFIED THE FOLLOWING SPECIFIC GEOLOGIC HAZARD ON THE PROPERTY: POTENTIALLY UNSTABLE SLOPES, UNDOCUMENTED FILL AND VERY EXPANSIVE CLAY AND CLAYSTONE BEDROCK. A COPY OF SAID REPORT HAS BEEN PLACED WITHIN FILE #DEPN-23-0001 OR WITHIN THE SUBDIVISION FILE #SUBD-23-0005 LAUNCHPAD 864 NORTH 19TH STREET OF THE CITY OF COLORADO SPRINGS PLANNING AND DEVELOPMENT TEAM. CONTACT THE PLANNING AND DEVELOPMENT TEAM, 30 SOUTH NEVADA AVENUE, SUITE 201, COLORADO SPRINGS, CO, IF YOU WOULD LIKE TO REVIEW SAID REPORT.
- THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.
- ACCESSIBLE ROUTES, INCLUDING RAMPS AND SIDEWALKS, WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PER THE CITY'S STANDARD DRAWINGS AND SPECIFICATIONS. CITY'S INSPECTOR WILL HAVE THE FINAL AUTHORITY ON ACCEPTING THE PUBLIC IMPROVEMENTS.
- SIGNAGE IS NOT APPROVED WITH THIS PLAN. A SIGN PERMIT IS REQUIRED PRIOR TO CONSTRUCTION.
- ALL IMPROVEMENTS DEPICTED WITHIN THIS PLAN ARE REQUIRED BY CITY CODE AND/OR ARE A CONDITION OF APPROVAL TO ENSURE COMPLIANCE WITH THE CITY'S REVIEW CRITERIA. ANY PRIVATE IMPROVEMENTS PROVIDED AS EXTRA WILL BE LABELED AS "EX" AND WILL NOT BE INCLUDED IN THE CALCULATED AMOUNT REQUIRED FOR FINANCIAL ASSURANCE.
- ALL CURB, GUTTER, DRIVEWAYS, PEDESTRIAN RAMPS AND SIDEWALK POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETRIORATION OR DOES NOT MEET CURRENT CITY ENGINEERING STANDARDS ALONG THE PUBLIC RIGHT-OF-WAY (ROW) ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY (CO). AN ON-SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW DIVISION (EDRD) INSPECTOR TO DETERMINE WHAT, IF ANY IMPROVEMENTS ARE REQUIRED. THE EDRD INSPECTOR CAN BE REACHED AT 719-385-5977.
- PROPERTY OWNERS ARE RESPONSIBLE FOR THE MAINTENANCE FOR SHARED COMMON TRACTS, ACCESS DRIVES, PRESERVATION AREAS, AND LANDSCAPE AREAS ADJACENT TO THEIR PROPERTY.
- PER CITY CODE SECTION 7.4.102.D, ALL LIGHTING FIXTURES SHALL BE FULL CUT-OFF OR HAVE SHIELDING TO REDUCE OFF-SITE LIGHTING IMPACTS ONTO ADJACENT PROPERTIES AND ROADWAYS. ALL EXTERIOR LIGHTING SHALL BE ARRANGED TO MITIGATE LIGHT DIRECTED AWAY FROM ADJACENT PROPERTIES AND ANY PUBLIC RIGHT-OF-WAY. AN AMENDMENT TO THIS PLAN MAY BE REQUIRED IF THE LIGHTING TYPE IS CHANGED.
- ACCESSIBLE PARKING SPACES, ACCESS AISLES, AND SIGNAGE SHALL MEET ALL APPLICABLE CITY CODE REQUIREMENTS INCLUDING:
  - PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING ONE TO FIFTY (1:50) (2 PERCENT) IN ALL DIRECTIONS.
  - ACCESSIBLE PARKING SPACES SHALL BE MARKED WITH FOUR INCH (4") LINES.
  - ACCESSIBLE AISLES SHALL BE OUTLINED AND DIAGONALLY STRIPED AT FORTY-FIVE DEGREE (45°) ANGLES IN A CONTRASTING COLOR SUCH AS YELLOW, WHITE, OR BLUE.
  - EACH ACCESSIBLE PARKING SPACE SHALL BE DESIGNATED AS RESERVED BY A SIGN SHOWING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. VAN ACCESSIBLE SPACES SHALL HAVE AN ADDITIONAL SIGN CONTAINING THE DESIGNATION, "VAN ACCESSIBLE", MOUNTED BELOW THE SYMBOL OF ACCESSIBILITY. EACH ACCESSIBLE PARKING SPACE SIGN SHALL BE NO SMALLER THAN EIGHTEEN INCHES (18") TALL BY TWELVE INCHES (12") WIDE. EACH VAN ACCESSIBLE SIGN SHALL BE NO SMALLER THAN SIX INCHES (6") TALL BY TWELVE INCHES (12") WIDE. SIGNS SHALL BE LOCATED AT THE HEAD OF THE SPACE WITH THE BOTTOM OF THE SIGN(S) BETWEEN FIVE FEET (5') AND SEVEN FEET (7') ABOVE THE FINISH FLOOR OR GROUND SURFACE.
- LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF OWNER, AND/OR THEIR ASSIGNS.
- ALL STREETScape IMPROVEMENTS LOCATED IN THE ROW WILL BE MAINTAINED BY THE PROPERTY OWNER.
- RESIDING IN OR NEAR WILDLAND URBAN INTERFACE OR INTERMIX AREAS INVOLVES INCREASED WILDFIRE RISKS THAT MAY NOT APPLY IN URBAN OR MORE URBANIZED TYPES OF DEVELOPED COMMUNITIES. ALL LOTS WITHIN THIS DEVELOPMENT ARE SUBJECT TO FUELS MANAGEMENT REQUIREMENTS. IT IS THE RESPONSIBILITY OF THE BUILDER TO IMPLEMENT THE FUELS MANAGEMENT PROCEDURES AS DEFINED IN CHAPTER 8 OF THE CITY CODE FOR EACH LOT. APPROVAL INSPECTION MUST BE OBTAINED FROM THE FIRE DEPARTMENT PRIOR TO FINAL INSPECTION BY THE BUILDING DEPARTMENT AND/OR ALLOWING OCCUPANCY OF THE RESIDENCE. THE INITIAL FUELS MANAGEMENT INSPECTION MUST BE REQUESTED FROM THE FIRE DEPARTMENT PRIOR TO FRAMING INSPECTION WITH SUBSEQUENT APPROVAL OBTAINED PRIOR TO BUILDING FINAL.

### LIST OF CONTACTS:

**APPLICANT:**  
 THE PLACE  
 423 E CHUHARRAS ST  
 COLORADO SPRINGS, CO 80903  
 719.630.3223

**DEVELOPER:**  
 COHEN-ESREY  
 8500 SHAWNEE MISSION PKWY SUITE 150  
 MARRIAM, KS 66202  
 913.671.3300

**ARCHITECT:**  
 SHOPWORKS ARCHITECTURE  
 301 W 35TH AVE  
 DENVER, CO 80216

**CIVIL ENGINEER/SURVEYOR:**  
 HAGSTROM ENGINEERING  
 219 6TH AVENUE E  
 ALEXANDRIA, MN 56308  
 720.560.4942

**LANDSCAPE ARCHITECT:**  
 FLOW DESIGN COLLABORATIVE  
 301 W 35TH AVE  
 DENVER, CO 80216  
 303.408.1075

**ELECTRICAL ENGINEER:**  
 MV CONSULTING  
 4640 PECOS ST, UNIT F  
 DENVER, CO 80211

### SHEET INDEX

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02	SITE PLAN
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### PREPARED FOR:

THE PLACE  
 COHEN-ESERY

**LAUNCHPAD**  
 864 NORTH 19TH STREET  
 COLORADO SPRINGS, COLORADO

### DATE:

DP 01	01/03/2023
DP 02	02/14/2023
DP 03	03/14/2023
DP 04	04/11/2023

### SHEET TITLE:

**COVER SHEET**

**01**  
 01 of 14



Land Use Review  
 Approved

05/10/2023  
 4:35:01 PM  
 William.Gray

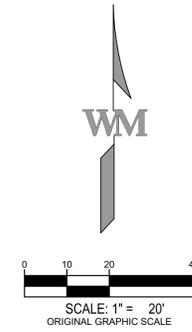
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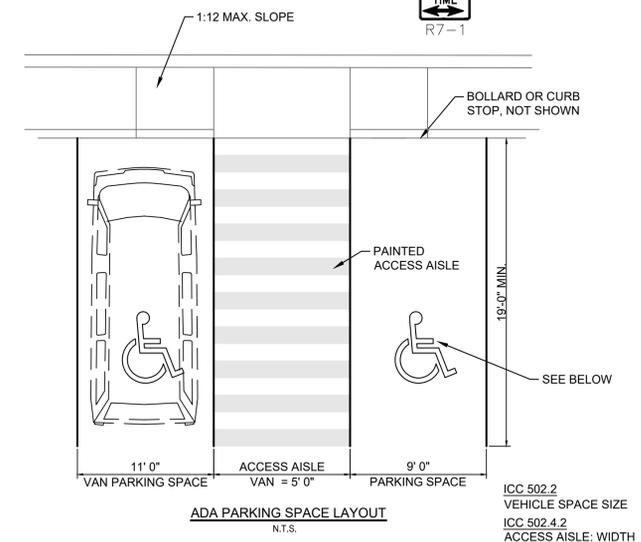
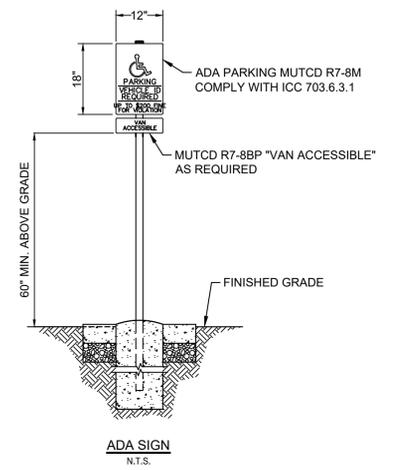
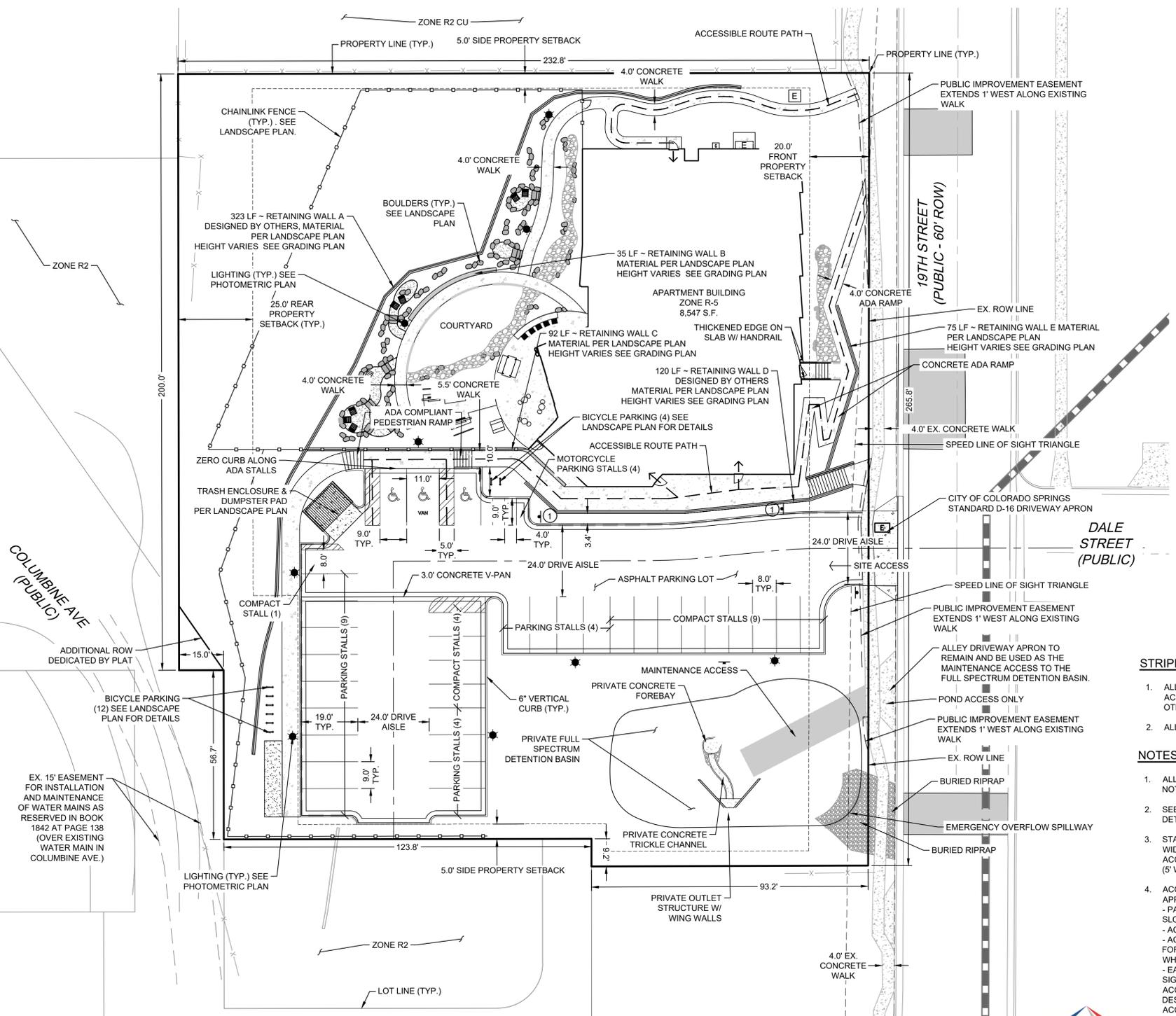
### LEGEND

- PROPERTY LINE
- - - EXISTING LOT LINE
- - - PROPERTY SETBACK
- - - EXISTING CURB AND GUTTER
- CURB AND GUTTER
- EXISTING STORM SEWER, MANHOLE & INLET
- x - x - EXISTING FENCE
- CHAINLINK FENCE
- BUILDING
- EXISTING CONCRETE
- GRAVEL
- CONCRETE
- EX. EXISTING
- TYP. TYPICAL
- - - SPILL CURB
- LIGHTING; SEE PHOTOMETRIC PLAN
- Ⓢ NO PARKING FIRE LANE R8-31
- Ⓢ NO PARKING ANY TIME R7-1



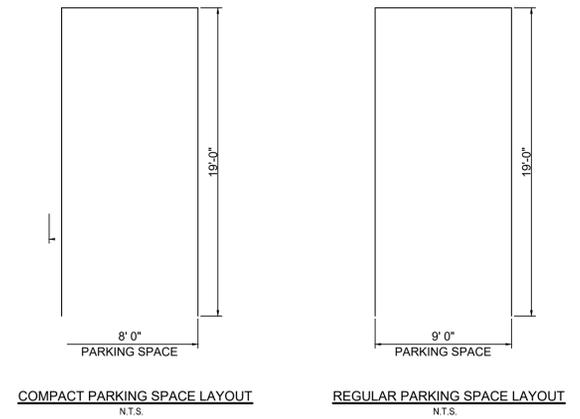
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900 south broadway  
suite 320  
denver, co 80209  
p 303.561.3333  
waremalcomb.com



- STRIPING NOTES:**
- ALL LINE STRIPING AND PAVEMENT MESSAGES SHALL BE WATER-BASED ACRYLIC LATEX TRAFFIC MARKING PAINT, COLOR: WHITE (UNLESS NOTED OTHERWISE).
  - ALL LINE STRIPING IS 4" WIDTH, UNLESS NOTED OTHERWISE.

- NOTES:**
- ALL CURB AND GUTTER TO BE 6" VERTICAL CATCH CURB UNLESS OTHERWISE NOTED.
  - SEE GEOTECHNICAL REPORT FOR TYPICAL STREET SECTIONS AND PAVEMENT DETAILS.
  - STANDARD PARKING STALL (9' WIDE X 19' LONG), COMPACT PARKING STALL (8' WIDE X 19' LONG), ACCESSIBLE PARKING STALL (9' WIDE X 19' LONG), ACCESSIBLE AISLE (5' WIDE X 19' LONG), MOTORCYCLE PARKING STALL (4' WIDE X 9' LONG).
  - ACCESSIBLE PARKING SPACES, ACCESS AISLES, AND SIGNAGE SHALL MEET ALL APPLICABLE CITY CODE REQUIREMENTS INCLUDING:
    - PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING ONE TO FIFTY (1:50) (2 PERCENT) IN ALL DIRECTIONS.
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PREPARED FOR:  
**THE PLACE COHEN-ESERY**

**LAUNCHPAD**  
864 NORTH 19TH STREET  
COLORADO SPRINGS, COLORADO

DATE:

DP 01	01/03/2023
DP 02	02/14/2023
DP 03	03/14/2023
DP 04	04/11/2023

SHEET TITLE:  
**SITE PLAN**

**COLORADO SPRINGS**  
OLYMPIC CITY USA  
Land Use Review Approved  
05/10/2023  
4:35:07 PM  
William.Gray

# DEVELOPMENT PLAN

## LOT 1, LAUNCHPAD 864 NORTH 19TH STREET

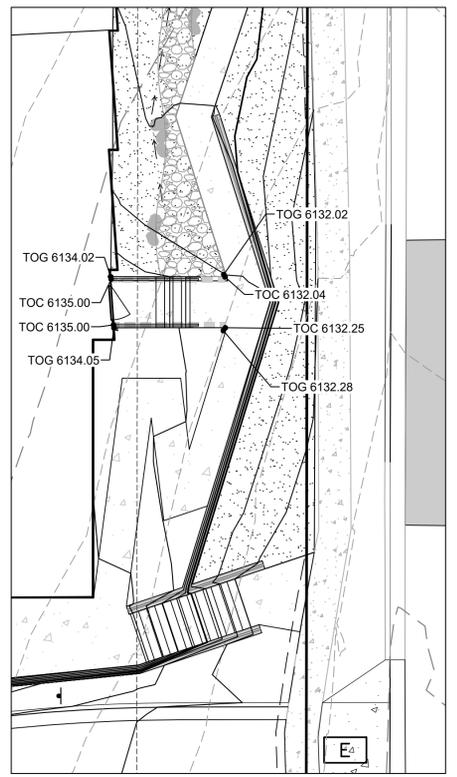
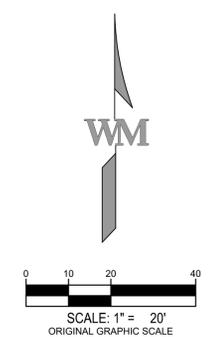
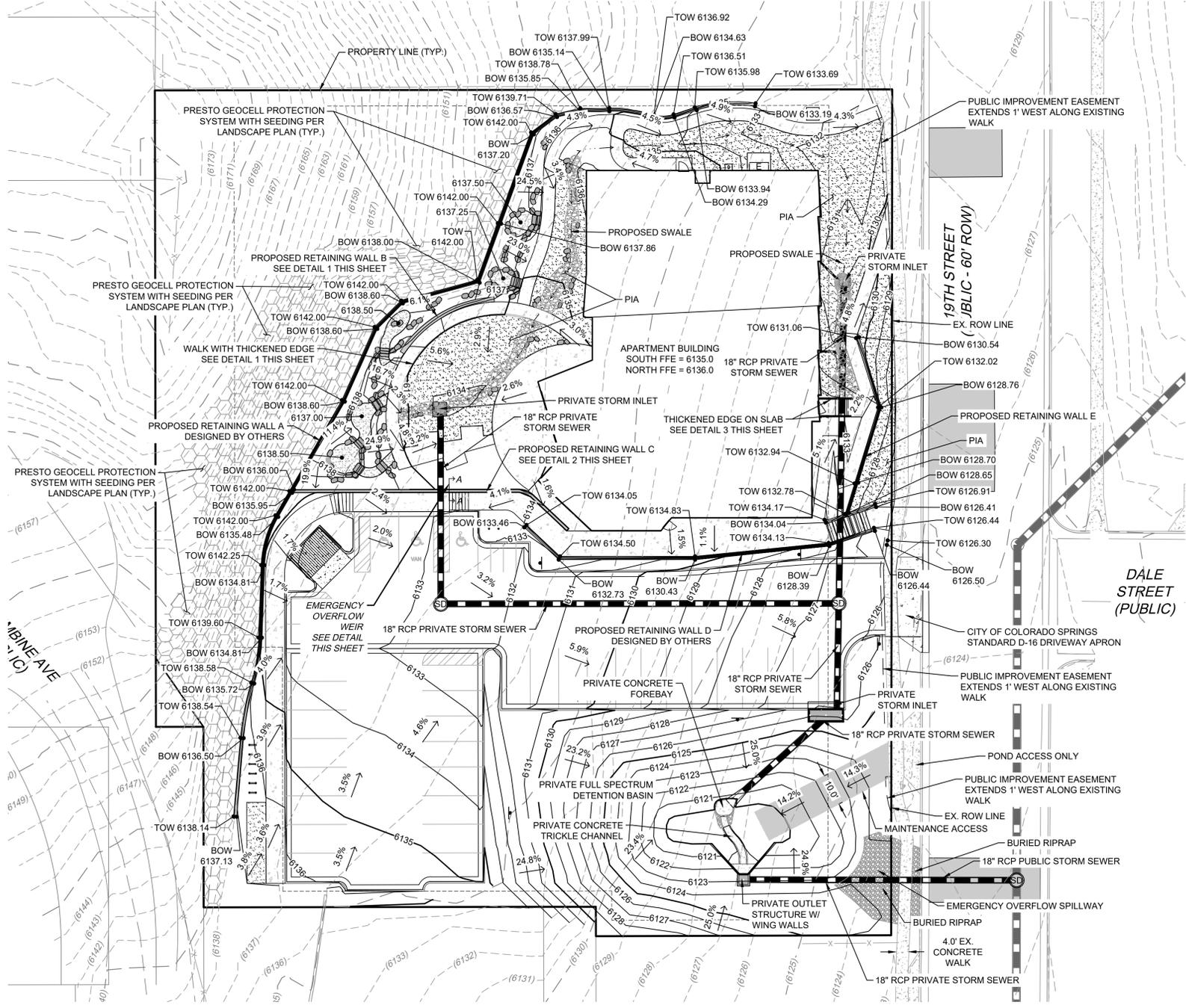
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CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

### LEGEND

- EXISTING PROPERTY LINE
- EXISTING LOT LINE
- PROPERTY SETBACK
- EXISTING CURB AND GUTTER
- CURB AND GUTTER
- STORM SEWER, MANHOLE & INLET
- EXISTING FENCE
- BUILDING
- SWALE
- EXISTING CONCRETE
- GRAVEL
- CONCRETE
- EXISTING 1' AND 5' CONTOURS
- PROPOSED 1' AND 5' CONTOURS
- PROPOSED SPOT ELEVATION
- FLOW DIRECTION & GRADE
- TOW TOP OF WALL
- BOW BOTTOM OF WALL
- TOC TOP OF CONCRETE
- TOG TOP OF GROUND
- PRESTO GEOCELL PROTECTION SYSTEM
- PLANNED INFILTRATION AREA

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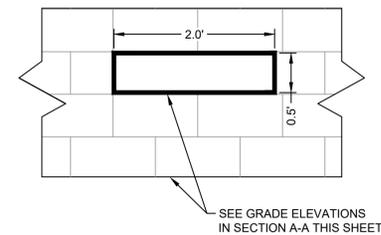
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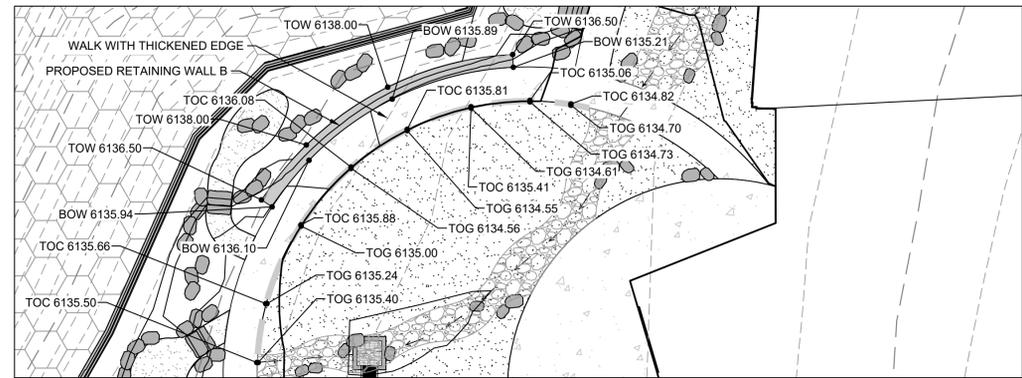
**DETAIL 3: THICKENED EDGE**  
SCALE: 1" = 10"

### GRADING NOTES:

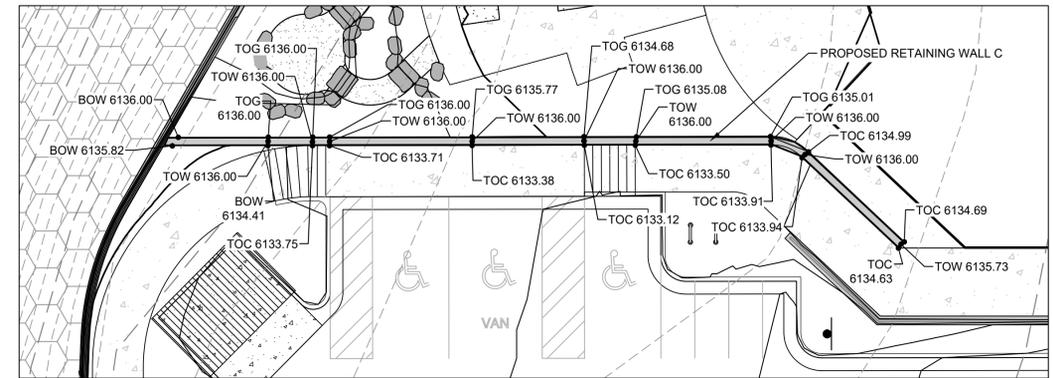
1. CONTRACTOR SHALL FIELD VERIFY SIZE AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER WITH ANY DISCREPANCIES.
2. ALL ELEVATIONS PROVIDED ARE FLOWLINE UNLESS OTHERWISE NOTED.
3. FINISH GRADE MUST SLOPE AWAY FROM BUILDINGS AT 10% MIN. FOR THE FIRST 5' IN LANDSCAPED AREAS.
4. RETAINING WALLS WHICH ARE GREATER THAN FOUR FEET MUST BE STRUCTURALLY ENGINEERED AND MUST RECEIVE APPROVAL OF A BUILDING PERMIT.
5. ALL PRIVATE TO PUBLIC STORM SEWER CONNECTIONS MUST BE INSPECTED BY ENGINEERING DEVELOPMENT REVIEW INSPECTOR.
6. TOTAL AREA OF DISTURBANCE = 1.20 ACRES.



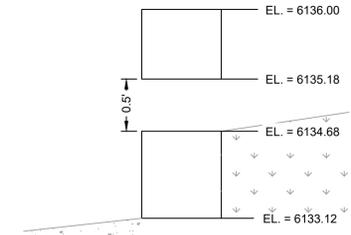
**EMERGENCY OVERFLOW WEIR SOUTH FACE**  
N.T.S.



**DETAIL 1: RETAINING WALL B & WALK WITH THICKENED EDGE**  
SCALE: 1" = 10"



**DETAIL 2: RETAINING WALL C**  
SCALE: 1" = 10"



**EMERGENCY OVERFLOW SECTION A-A**  
N.T.S.

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**05/10/2023**  
**4:35:07 PM**  
**William.Gray**

**SHEET TITLE:**  
**PRELIMINARY GRADING PLAN**

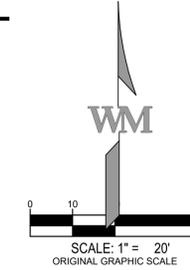
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### LEGEND

- EXISTING PROPERTY LINE
- EXISTING LOT LINE
- EXISTING CURB AND GUTTER
- CURB AND GUTTER
- PRIVATE STORM SEWER, MANHOLE & INLET
- SS — EXISTING SANITARY SEWER W/ MH
- WM — EXISTING WATER LINE
- G — EXISTING GAS LINE
- E — EXISTING ELECTRIC
- OH — EXISTING OVERHEAD ELECTRIC W/ POLE
- T — EXISTING TELEPHONE
- FO — EXISTING FIBER
- X — EXISTING FENCE
- BUILDING
- SWALE
- EXISTING CONCRETE
- GRAVEL
- CONCRETE
- F — WATER SERVICE
- W — FIRE SERVICE
- S — SANITARY SERVICE
- RETAINING WALL
- TYP. — TYPICAL
- — LIGHTING; SEE PHOTOMETRIC PLAN



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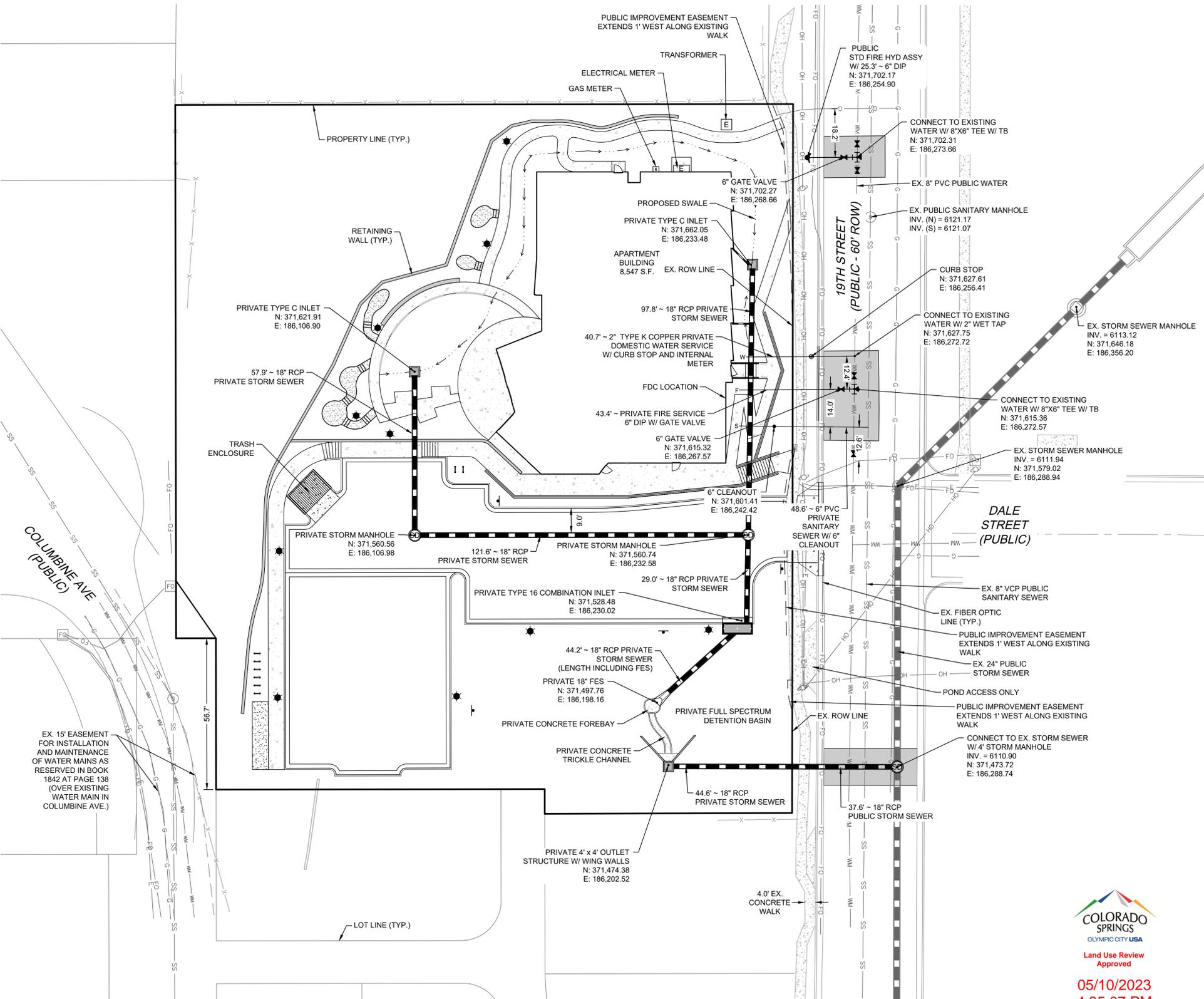
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COLORADO SPRINGS, COLORADO

DATE:

DP 01	01/03/2023
DP 02	02/14/2023
DP 03	03/14/2023
DP 04	04/11/2023

SHEET TITLE:  
**PRELIMINARY UTILITY & PUBLIC FACILITIES PLAN**



### GENERAL NOTES FOR PRELIMINARY UTILITY PLANS:

- COLORADO SPRINGS UTILITIES (SPRINGS UTILITIES) SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION OF ALL WATER, WASTEWATER, ELECTRIC AND GAS FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THIS PRELIMINARY UTILITY PLAN.
- PROPERTY OWNER(S) ("OWNER") ACKNOWLEDGES THAT THE CONNECTION AND/OR EXTENSION OF UTILITY SERVICES TO THE PROPERTY IDENTIFIED IN THIS PRELIMINARY UTILITY PLAN ("PROPERTY") SHALL BE IN ACCORD WITH ALL APPLICABLE CODES AND REGULATIONS, SPRINGS UTILITIES LINE EXTENSION & SERVICE STANDARDS ("STANDARDS"), TARIFFS, COLORADO SPRINGS CITY CODE, RESOLUTIONS, AND POLICIES, AND PIKES PEAK REGIONAL BUILDING DEPARTMENT CODES, IN EFFECT AT THE TIME OF UTILITY SERVICE CONNECTION AND/OR EXTENSION.
- OWNER ACKNOWLEDGES RESPONSIBILITY FOR THE COSTS OF EXTENSIONS OR UTILITY SYSTEM IMPROVEMENTS THAT SPRINGS UTILITIES DETERMINES NECESSARY TO PROVIDE UTILITY SERVICES TO THE PROPERTY OR TO ENSURE TIMELY DEVELOPMENT OF INTEGRATED UTILITY SYSTEMS SERVING THE PROPERTY AND AREAS OUTSIDE THE PROPERTY (INCLUDING THE COSTS TO DESIGN AND INSTALL WATER SYSTEMS, WASTEWATER COLLECTION SYSTEMS, AND ANY GAS OR ELECTRIC LINES TO AND WITHIN THE PROPERTY). OWNER MAY BE ELIGIBLE FOR A COST RECOVERY AGREEMENT AS PROVIDED IN UTILITIES RULES AND REGULATIONS.
- SPRINGS UTILITIES UTILITY SERVICES ARE AVAILABLE ON A "FIRST-COME, FIRST-SERVED" BASES, AND THEREFORE NO SPECIFIC ALLOCATIONS OR AMOUNTS OF UTILITY SERVICES, FACILITIES, CAPACITIES OR SUPPLIES ARE RESERVED FOR THE OWNER, AND SPRINGS UTILITIES MAKES NO COMMITMENT AS TO THE AVAILABILITY OF ANY UTILITY SERVICE UNTIL SUCH TIME AS AN APPLICATION FOR PERMANENT SERVICE IS APPROVED BY SPRINGS UTILITIES.
- THE RELOCATION OR ALTERATION OF ANY EXISTING UTILITY FACILITIES WITHIN THE PROPERTY WILL BE AT THE OWNER'S SOLE COST AND EXPENSE. IF SPRINGS UTILITIES DETERMINES THAT OWNER'S RELOCATION OR ALTERATION REQUIRES NEW OR UPDATED EASEMENTS, OWNER SHALL CONVEY THOSE EASEMENTS PRIOR TO RELOCATING OR ALTERING THE EXISTING UTILITY FACILITIES.
- OWNER SHALL DEDICATE BY PLAT AND/OR CONVEY BY RECORDED DOCUMENT, ALL PROPERTY AND EASEMENTS THAT SPRINGS UTILITIES DETERMINES ARE REQUIRED FOR ALL UTILITY SYSTEM FACILITIES NECESSARY TO SERVE THE PROPERTY OR TO ENSURE DEVELOPMENT OR AN INTEGRATED UTILITY SYSTEM. ALL EASEMENTS GRANTED BY SEPARATE INSTRUMENT SHALL UTILIZE SPRINGS UTILITIES THEN-CURRENT PERMANENT EASEMENT AGREEMENT FORM.
- THE WATER SYSTEM FACILITIES MUST MEET SPRINGS UTILITIES CRITERIA FOR WATER QUALITY, RELIABILITY AND PRESSURE, INCLUDING LOOPING REQUIREMENTS (SEE SPRINGS UTILITIES LINE EXTENSION AND SERVICE STANDARDS).
- OWNER RECOGNIZES THAT THE EXTENSION OF WATER SYSTEM FACILITIES MAY AFFECT THE QUALITY OF WATER IN THE SPRINGS UTILITIES WATER SYSTEM. WHEN WATER QUALITY IS AFFECTED, OWNER ACKNOWLEDGES RESPONSIBILITY FOR ANY COSTS THAT SPRINGS UTILITIES DETERMINES NECESSARY IN ORDER TO MAINTAIN WATER QUALITY IN ITS SYSTEM AS A RESULT OF OWNERS WATER SYSTEM EXTENSIONS. OWNER MAY BE REQUIRED TO SUBMIT A WATER QUALITY PLAN FOR THE PROJECT.
- OWNER MUST CONTACT SPRINGS UTILITIES FIELD ENGINEERING TO DETERMINE THE LOCATIONS OF ALL NATURAL GAS AND ELECTRIC METERS AND TRANSFORMERS AND TO SECURE APPROVAL OF GAS-SERVICE-LINE PRESSURES IN EXCESS OF SPRINGS UTILITIES STANDARDS GAS SYSTEM PRESSURE. (CONTACT FIELD ENGINEERING NORTH 668-4985 OR SOUTH 668-5564).
- IT SHALL NOT BE PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH WITHIN ANY SPRINGS UTILITIES EASEMENT OR RIGHTS OF WAY WITHOUT THE WRITTEN APPROVAL OF SPRINGS UTILITIES. IMPROVEMENTS, STRUCTURES AND TREES SHALL NOT BE LOCATED WITHIN UTILITY EASEMENT, SHALL NOT VIOLATE NATIONAL ELECTRIC SAFETY CODE (NEC) PREVISIONS AND CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.
- SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF SPRINGS UTILITIES TO APPLY ITS STANDARDS; AND IF THERE ARE ANY CONFLICTS BETWEEN ANY APPROVED DRAWINGS AND ANY PROVISION OF STANDARDS OR THE CITY CODE, THEN THE STANDARDS OR CITY CODE SHALL APPLY. SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF THE CITY OF COLORADO SPRINGS OR SPRINGS UTILITIES TO ADOPT DIFFERENT ORDINANCES, RULES, REGULATIONS, RESOLUTIONS, POLICIES OR CODES WITH CHANGE ANY OF THE PROVISIONS OF THE STANDARDS SO LONG AS THESE APPLY TO THE CITY GENERALLY AND ARE IN ACCORD WITH THE THEN-CURRENT TARIFFS, RATES AND POLICIES OF SPRINGS UTILITIES.



Land Use Review  
Approved  
**05/10/2023**  
**4:35:07 PM**  
**William.Gray**

# DEVELOPMENT PLAN

## LOT 1, LAUNCHPAD 864 NORTH 19TH STREET

SITUATED IN THE NORTHEAST ¼ SECTION 11, TOWNSHIP 14 SOUTH, RANGE 67 WEST OF THE 6<sup>TH</sup> P.M.  
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

### GENERAL NOTES

- A KICK-OFF MEETING WITH THE LANDSCAPE ARCHITECT IS REQUIRED PRIOR TO BEGINNING ANY SITE OR LANDSCAPE WORK.
- OBTAIN NECESSARY PERMITS FROM ALL JURISDICTIONS AS REQUIRED TO CONSTRUCT THE WORK OF THIS PROJECT. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH PLANS APPROVED BY THE CITY OF COLORADO SPRINGS
- REFER TO SURVEY DRAWINGS AND OTHER AVAILABLE DOCUMENTS FOR PROPERTY LIMITS, EXISTING CONDITIONS, AND HORIZONTAL AND VERTICAL CONTROL.
- PROVIDE AND MAINTAIN UTILITY LOCATES DURING ALL PHASES OF WORK. DO NOT DAMAGE UTILITY LINES/STRUCTURES. NOTIFY THE OWNER OF ANY DISCREPANCIES BEFORE STARTING ANY WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES, WHETHER OR NOT SHOWN OR DETAILED AND INSTALLED BY ANY OTHER CONTRACT.
- RESTORATION OF UTILITIES DAMAGED BY THE CONTRACTOR SHALL BE AT THE CONTRACTOR'S EXPENSE.
- THOROUGHLY REVIEW AND DOCUMENT THE SITE CONDITIONS PRIOR TO CONSTRUCTION.
- THOROUGHLY REVIEW DRAWINGS, AND TECHNICAL SPECIFICATIONS AND NOTIFY THE OWNER ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- CONSTRUCTION INSTALLATION, MATERIALS, TESTING, AND INSPECTION SHALL COMPLY WITH APPLICABLE CODES AND ORDINANCES.
- TAKE NECESSARY STEPS TO PROTECT AND MAINTAIN ALL FINISHED WORK FOR THE DURATION OF THE CONTRACT UNTIL FINAL ACCEPTANCE.
- CONTRACTOR SHALL PROVIDE ALL MOCK-UPS, SUBMITTALS AND SHOP DRAWINGS FOR APPROVAL PER SPECIFICATIONS PRIOR TO CONSTRUCTION.
- THE WORK OF THIS CONTRACT WILL NOT BE CONSIDERED COMPLETE UNTIL ALL AREAS HAVE BEEN CLEANED OF ALL DIRT AND DEBRIS AND ALL DAMAGED ITEMS ARE REPAIRED.
- UNLESS OTHERWISE NOTED, EXISTING TREES WITHIN THE LIMIT OF WORK TO BE PROTECTED. VEHICLES, EQUIPMENT AND MATERIALS SHOULD NOT INTERFERE WITH THE LIMITS OF THE PROTECTED TREES AND REMAIN OUTSIDE OF THE DRIPLINE OR TREE PROTECTION LIMITS.
- THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FLAGMEN, OR OTHER DEVICES NECESSARY TO PROVIDE FOR PUBLIC SAFETY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF ALL MATERIALS WITHIN DEDICATED RIGHT-OF-WAYS AND ALL MATERIALS AND WORKMANSHIP SHALL MEET THE ROADWAY DESIGN AND CONSTRUCTION STANDARDS OF THE APPROPRIATE GOVERNING AGENCY.
- THE CONTRACTOR IS RESPONSIBLE FOR THE REPAIR, AT NO ADDITIONAL COST TO THE OWNER, FOR DAMAGE OF PROPERTY OUTSIDE OF THE LIMIT OF WORK INDICATED ON THE DRAWINGS, AND FOR ANY DAMAGE CAUSED TO SITE ELEMENTS THAT ARE TO BE PROTECTED OR REINSTALLED.
- A FINAL LANDSCAPE AND IRRIGATION PLAN SHALL BE RESUBMITTED AND REVIEWED CONCURRENT WITH THE BUILDING PERMIT SUBMITTAL AND APPROVED PRIOR TO ISSUANCE OF A BUILDING PERMIT.
- DUE TO SIGNIFICANT GRADING IMPACT ON SITE, SOIL TESTS AND SUBSEQUENT SOIL PREPARATION TO BE COMPLETE AFTER OVER-LOT GRADING IS COMPLETE.
- THE FINAL LANDSCAPE PLAN WILL BE SUBMITTED TO THE FIRE DEPARTMENT FOR REVIEW AND APPROVAL WITHIN THIRTY (30) DAYS OF THE ISSUANCE OF A BUILDING PERMIT AND PRIOR TO THE CERTIFICATE OF OCCUPANCY.

### LAYOUT NOTES

- CONTRACTOR TO IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT AND PROJECT MANAGER OF ANY DISCREPANCIES BETWEEN THE SITE SURVEY AND ACTUAL SITE CONDITIONS.
- ADDITIONAL LAYOUT INFORMATION MAY BE PROVIDED TO THE CONTRACTOR PRIOR TO CONSTRUCTION AS NEEDED. ELECTRONIC FILES MAY BE OBTAINED BY THE CONTRACTOR FOR LAYOUT PURPOSES.
- FINAL LOCATION OF ALL SITE FURNISHINGS, TREES & LANDSCAPE BOULDERS TO BE COORDINATED WITH LANDSCAPE ARCHITECT PRIOR TO FINAL INSTALLATION.
- WRITTEN DIMENSIONS SHALL PREVAIL. DO NOT SCALE DIRECTLY FROM DRAWINGS.
- ALL PAVED SURFACES SHALL HAVE SMOOTH, CONTINUOUS LINES OR CURVES AS INDICATED ON PLANS AND SHALL CONFORM TO GRADES INDICATED ON THE GRADING PLANS. ALL LINES OF PAVING TO BE PARALLEL UNLESS OTHERWISE NOTED
- ALL ANGLES TO MATCH THOSE NOTED ON DRAWING
- ADJUSTMENTS: IF THE CONTRACTOR BELIEVES IT IS NECESSARY TO MAKE AN ADJUSTMENT IN THE LAYOUT OF PROPOSED IMPROVEMENTS, SUCH ADJUSTMENT SHALL BE PROPOSED TO THE LANDSCAPE ARCHITECT. NO ADJUSTMENTS WILL BE PERMITTED UNTIL IT HAS FIRST BEEN APPROVED BY THE OWNERS REPRESENTATIVE.
- REFER TO CIVIL PLANS FOR ADDITIONAL SITE LAYOUT INFORMATION.

### PLANTING PLAN NOTES

- ALL PLANT MATERIAL SHALL MEET OR EXCEED CURRENT AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1 AND THE COLORADO NURSERY ACT AND ACCOMPANYING RULES AND REGULATIONS.
- STAKE ALL TREES BASED ON THESE DRAWINGS. LOCATIONS OF PLANT MATERIALS TO BE APPROVED BY THE LANDSCAPE ARCHITECT IN THE FIELD PRIOR TO INSTALLATION. THE CONTRACTOR SHALL FOLLOW THE LANDSCAPE PLAN. ANY DISCREPANCIES BETWEEN THE PLAN AND FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER AND LANDSCAPE ARCHITECT BEFORE PROCEEDINGS WITH WORK.
- NOTIFY THE OWNER OF ANY CONFLICTS BETWEEN UTILITIES AND PLANTINGS TO COORDINATE FIELD ADJUSTMENTS.
- TREES SHALL BE A MINIMUM OF 10' FROM ALL UTILITIES, UNLESS NOTED OTHERWISE.
- IF THERE IS A DISCREPANCY BETWEEN THE PLANT COUNTS ON THE CALLOUTS AND/OR SCHEDULES ON THE PLANS AND THE ACTUAL NUMBER OF PLANTS DEPICTED ON THE PLANS, THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING THE ACTUAL NUMBER OF PLANTS DEPICTED ON THE DRAWINGS.
- THE CONTRACTOR IS RESPONSIBLE FOR WEED CONTROL FOR ALL LANDSCAPE AREAS UNTIL FINAL ACCEPTANCE.
- FINE GRADING MUST BE APPROVED BY THE OWNER PRIOR TO SEEDING, SODDING, AND PLANTING.

### SITE CATEGORIES CALCULATIONS

#### LANDSCAPE SETBACKS

Street Name or Zone Boundary (Elev.)	Street Classification	Width Required	Width Provided	Linear Frontage	Tree/Feet Required	Number of Trees Required	Number of Trees Provided	Required Substitute Shrubs	Provided Substitute Shrubs
19th Street (SB)	Minor Arterial	20	22	266	1/25'	11	7	40	40

\*ORNAMENTAL GRASSES AND PERENNIALS ARE CONSIDERED EXTRA, EXCEED CODE REQUIREMENTS, IN THE STREET SETBACK.

#### MOTOR VEHICLE LOTS (MV)

Number of Vehicle Spaces Provided	Shade Trees Required (1 per 15 spaces)	Shade Trees Provided
38	3	7

\*4 TREES WITHIN MOTOR VEHICLE LOTS ARE CONSIDERED EXTRA, EXCEED CODE REQUIREMENTS.

#### INTERNAL LANDSCAPING

Net Site Area (SF)	Percent Minimum Internal Area (%)	Internal Area Required (sf)	Internal Area Provided (sf)	Internal Trees Required	Internal Trees Provided
57,383 sf	15%	8,608 sf	8,864 sf	18	19

\*SHRUBS, ORNAMENTAL GRASSES AND PERENNIALS ARE CONSIDERED EXTRA, EXCEED CODE REQUIREMENTS, FOR INTERNAL SITE REQUIREMENTS

#### STREETSCAPE

Street Name or Zone Boundary (Elev.)	Street Classification	Requirement	Linear Frontage	Number of Trees Required	Number of Trees Provided
19th Street (SS)	Minor Arterial	1 Tree/25LF	266	9	9

\*SHRUBS, ORNAMENTAL GRASSES AND PERENNIALS ARE CONSIDERED EXTRA, EXCEED CODE REQUIREMENTS, FOR INTERNAL SITE REQUIREMENTS

#### LANDSCAPE BUFFER

Street Name or Zone Boundary (Elev.)	Requirement	Linear Frontage	Number of Trees Required	Number of Trees Provided	Percentage Evergreen	Width Required	Width Provided
North (NL)	1 Tree/20'	232	12	13	58%	15'	25'
West (WL)	1 Tree/20'	257	14	14	54%	15'	120'
South (SL)	1 Tree/20'	216	11	13	55%	15'	118'

\*ADDITIONAL TREES, SHRUBS, ORNAMENTAL GRASSES AND PERENNIALS ARE CONSIDERED EXTRA, EXCEED CODE REQUIREMENTS, FOR INTERNAL SITE REQUIREMENTS

### WUI LANDSCAPE NOTES

K102.1.1 SAFETY ZONE: BRUSH PATCHES OR CLUSTERS MAY BE LEFT IN THE SAFETY ZONE, BUT SHALL BE SEPARATED BY CLEAR AREAS OF AT LEAST TEN FEET (10') OR MORE OF NONCOMBUSTIBLE MATERIALS AND/OR GRASS MOWED TO NOT MORE THAN FOUR INCHES (4") IN HEIGHT.

K102.1.2 CLEARANCE TO MAIN STRUCTURE: NO HAZARDOUS BRUSH OR TREES (I.E. JUNIPERS AND CONIFERS) SHALL BE ALLOWED WITHIN FIFTEEN FEET (15') OF THE MAIN STRUCTURE OR SIGNIFICANT ACCESSORY STRUCTURE. CONIFERS OR OTHER SIMILARLY COMBUSTIBLE PLANTS SHALL NOT BE PLANTED UNDER SOFFIT VENTS.

EXCEPTION: WHEN APPROVED BY THE FIRE CODE OFFICIAL, SMALL BRUSH PATCHES OR TREES, NOT EXCEEDING ONE HUNDRED (100) SQUARE FEET IN SIZE AND NO MORE THAN FIFTEEN (15) LINEAR FEET IN ANY DIRECTION, MAY BE ALLOWED TO ENCR OACH INTO THIS ZONE. VEGETATION MUST BE MAINTAINED IN ACCORDANCE WITH THE APPLICABLE COLORADO SPRINGS COMMUNITY WILDFIRE PROTECTION PLAN. PLANTS WITH FIRE RESISTANT CHARACTERISTICS FOUND ON THE COLORADO STATE FOREST SERVICE LIST OF FIREWISE PLANTS ARE ALLOWED WITHIN 15' OF THE MAIN STRUCTURE OR SIGNIFICANT ACCESSORY STRUCTURE.

PRUNING OF DEAD LIMBS: LARGE TREES SHALL NOT BE ALLOWED TO HAVE LIMBS OVERLAP ANOTHER TREE AND SHALL BE PRUNED OF DEAD LIMBS TO A HEIGHT OF UP TO TEN FEET (10') ABOVE THE GROUND. TREE CLUSTERS MAY BE ALLOWED IF SUFFICIENT CLEAR AREA IS PROVIDED AND APPROVED.

CLEARANCE OF TREE BRANCHES TO STRUCTURES OR APPURTENANCES: TREE BRANCHES SHALL NOT EXTEND OVER OR UNDER THE ROOF OR EAVES, AND SHALL NOT BE WITHIN FIFTEEN FEET (15') OF A DECK OR SIMILAR COMBUSTIBLE PROJECTION, WOOD BURNING APPLIANCE OR CHIMNEY.



PREPARED FOR:

THE PLACE  
COHEN-ESERY

LAUNCHPAD  
864 NORTH 19TH STREET  
COLORADO SPRINGS, COLORADO

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SHEET TITLE:  
PRELIMINARY  
LANDSCAPE  
NOTES AND  
SCHEDULES

5  
05 of 14



Land Use Review  
Approved

05/10/2023

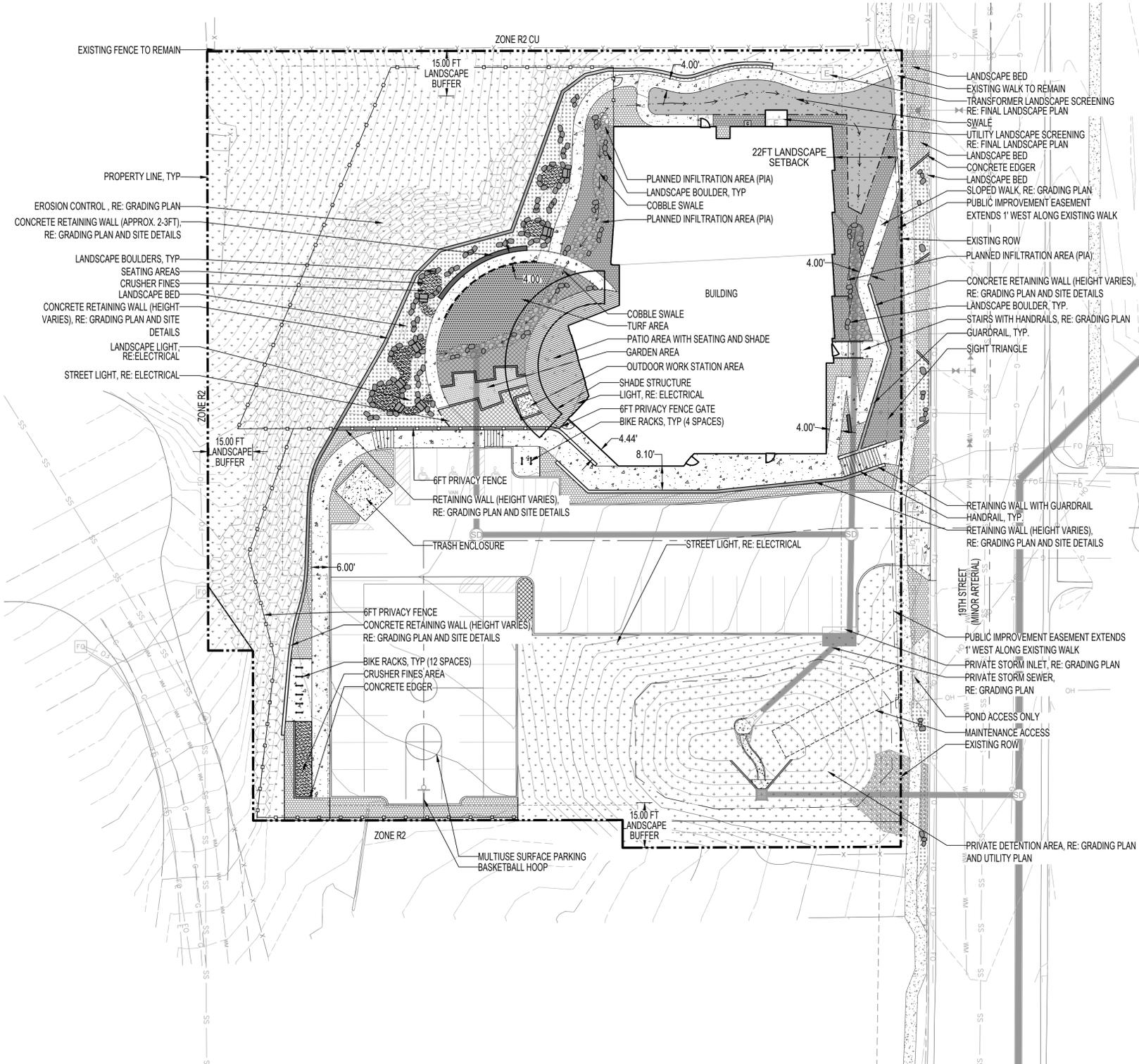
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William.Gray

# DEVELOPMENT PLAN

## LOT 1, LAUNCHPAD 864 NORTH 19TH STREET

SITUATED IN THE NORTHEAST ¼ SECTION 11, TOWNSHIP 14 SOUTH, RANGE 67 WEST OF THE 6<sup>TH</sup> P.M.  
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



### LEGEND

CONCRETE PAVING-4180SF	PLANNED INFILTRATION AREA	CONCRETE EDGER
CRUSHER FINES PAVING-545SF	CONCRETE EDGER	SPADE EDGE
CONCRETE PAVERS-2075SF	EXISTING WALK TO REMAIN	HANDRAIL
COBBLE MULCH-615SF	TRANSFORMER LANDSCAPE SCREENING	CIP CONCRETE WALL
CEDAR MULCH W/ SHRUBS AND PERENNIALS-478SF	RE: FINAL LANDSCAPE PLAN	SEAT WALL
ROCK MULCH W/ SHRUBS AND PERENNIALS-4358SF	UTILITY LANDSCAPE SCREENING	LANDSCAPE BOULDER
PEA GRAVEL W/ SHRUBS AND PERENNIALS-1677SF	RE: FINAL LANDSCAPE PLAN	SLAB STONE STEP
TURF-660SF	LANDSCAPE BED	BIKE RACK
UPLAND NATIVE SEED-21056SF	LANDSCAPE BED	PROPERTY LINE
DETENTION SEED MIX-3620SF	SLOPED WALK, RE: GRADING PLAN	FENCING
	PUBLIC IMPROVEMENT EASEMENT EXTENDS 1' WEST ALONG EXISTING WALK	
	EXISTING ROW	
	PLANNED INFILTRATION AREA (PIA)	
	CONCRETE RETAINING WALL (HEIGHT VARIES), RE: GRADING PLAN AND SITE DETAILS	
	LANDSCAPE BOULDER, TYP.	
	STAIRS WITH HANDRAILS, RE: GRADING PLAN	
	GUARDRAIL, TYP.	
	SIGHT TRIANGLE	
	RETAINING WALL WITH GUARDRAIL HANDRAIL, TYP.	
	RETAINING WALL (HEIGHT VARIES), RE: GRADING PLAN AND SITE DETAILS	
	PUBLIC IMPROVEMENT EASEMENT EXTENDS 1' WEST ALONG EXISTING WALK	
	PRIVATE STORM INLET, RE: GRADING PLAN	
	PRIVATE STORM SEWER, RE: GRADING PLAN	
	POND ACCESS ONLY	
	MAINTENANCE ACCESS EXISTING ROW	
	PRIVATE DETENTION AREA, RE: GRADING PLAN AND UTILITY PLAN	



PREPARED FOR:  
THE PLACE  
COHEN-ESERY

LAUNCHPAD  
864 NORTH 19TH STREET  
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SHEET TITLE:  
PRELIMINARY  
LANDSCAPE  
SITE PLAN

COLORADO SPRINGS  
OLYMPIC CITY USA  
Land Use Review  
Approved  
05/10/2023  
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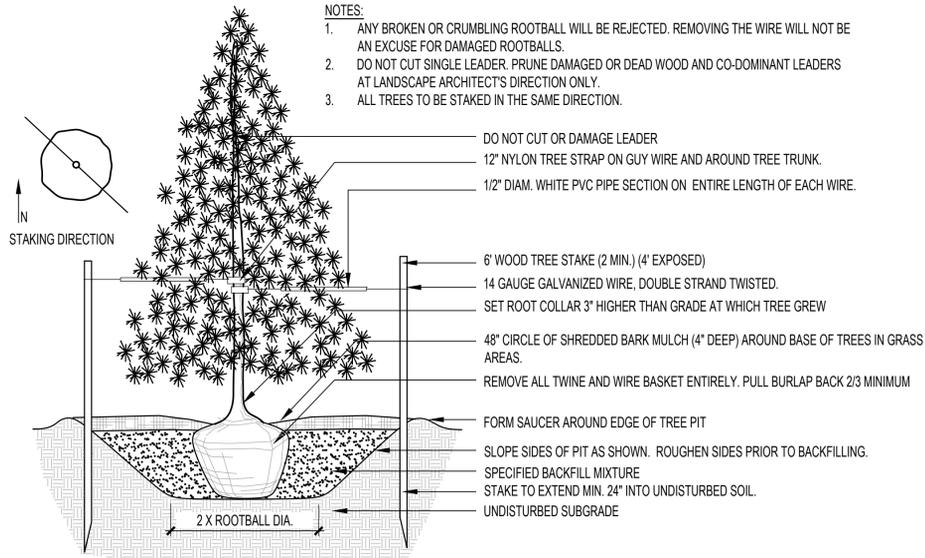




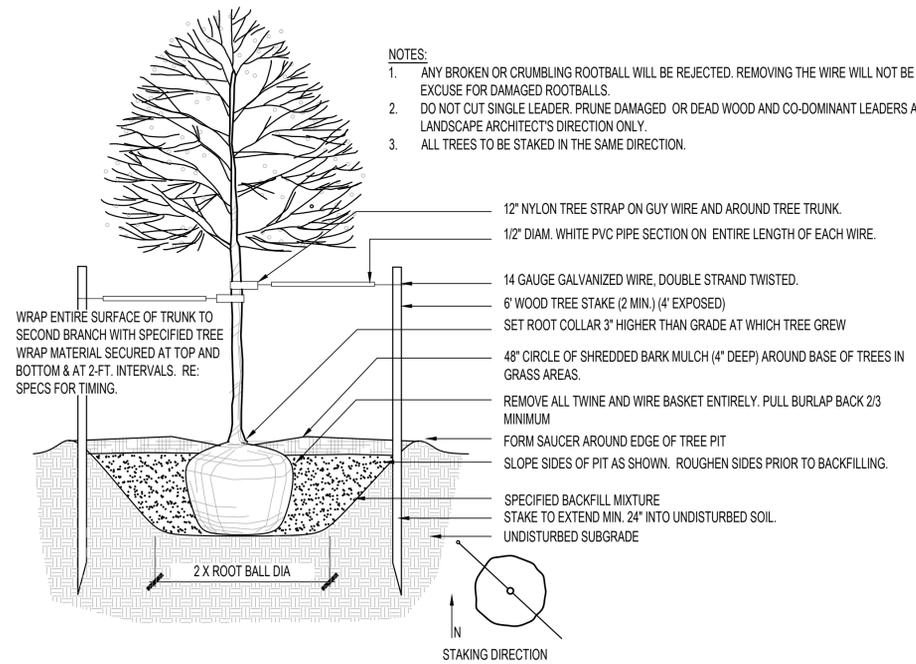
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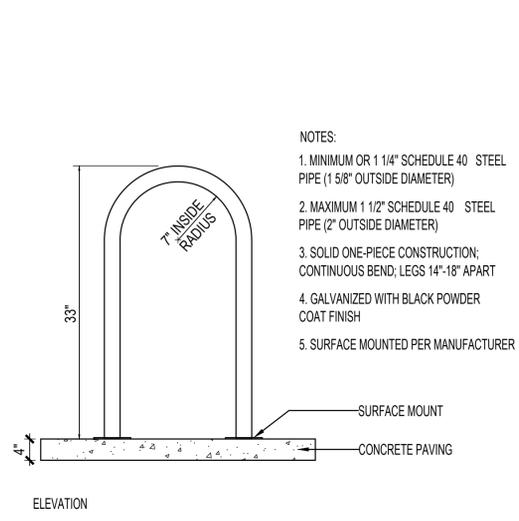


1 EVERGREEN TREE PLANTING  
SCALE: NTS

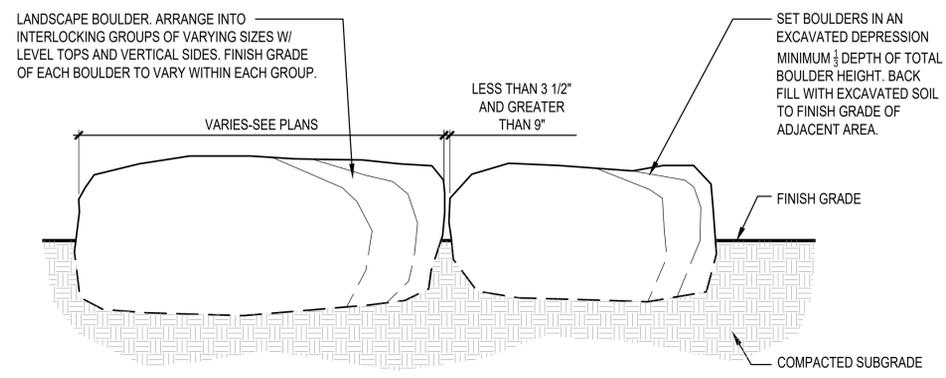
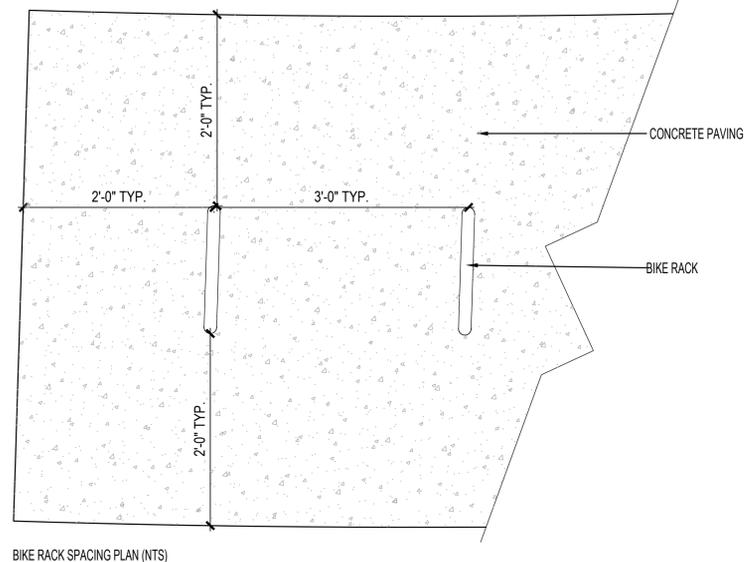


2 DECIDUOUS TREE PLANTING  
SCALE: NTS

PREPARED FOR:  
THE PLACE  
COHEN-ESERY



3 U STYLE BIKE RACK



**NOTES:**

- CONTRACTOR TO STAKE LOCATIONS W/ WOODEN STAKE (W/ SIZE NOTED). STAKED LOCATIONS SHALL BE APPROVED PRIOR TO INSTALLATION BY LANDSCAPE ARCHITECT OR OWNER.
- GROUT ALL VOIDS IN BOULDERS GREATER THAN 4".

4 LANDSCAPE BOULDER  
SCALE: 3/4"=1'-0"

LAUNCHPAD  
864 NORTH 19TH STREET  
COLORADO SPRINGS, COLORADO

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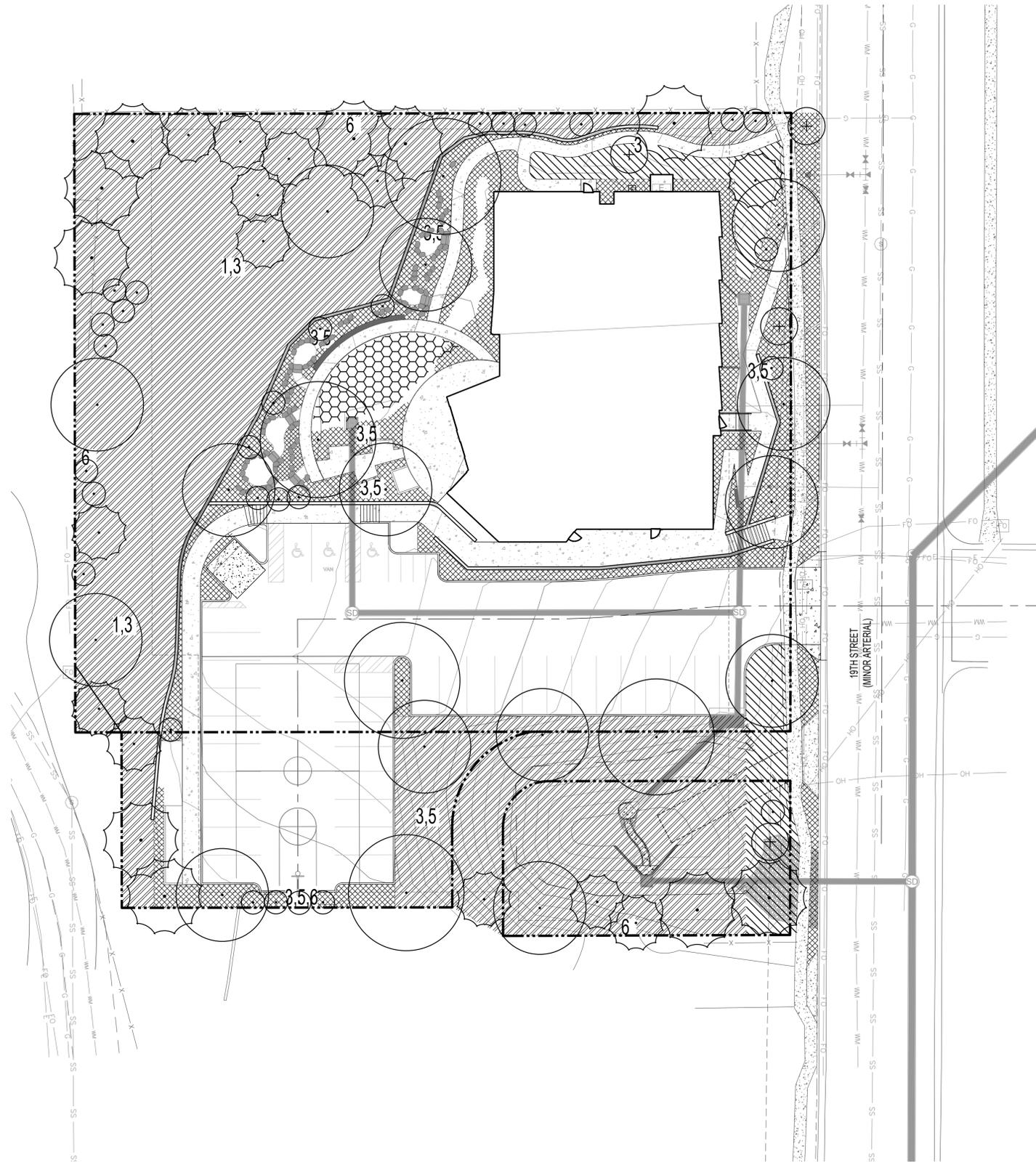
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SHEET TITLE:  
PLANTING  
DETAILS

# DEVELOPMENT PLAN

## LOT 1, LAUNCHPAD 864 NORTH 19TH STREET

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### HYDROZONE LEGEND

-  TEMPORARY IRRIGATION FOR ESTABLISHMENT (ON-GRADE STAKED POP-UP MP ROTATORS)  
WATER USE: VERY LOW
-  IRRIGATED NATIVE SEED (12" POP-UP MP ROTATORS)  
WATER USE: LOW
-  IRRIGATED SOD (6" POP-UP MP ROTATORS)  
WATER USE: HIGH
-  DRIP IRRIGATION (POINT SOURCE EMITTERS)  
WATER USE: MODERATE

### IRRIGATION NARRATIVE

1. ALL LANDSCAPE PLANT MATERIAL WILL BE ESTABLISHED WITH AN AUTOMATIC IRRIGATION SYSTEM. THE LANDSCAPE IRRIGATION WILL BE FED FROM A DOMESTIC WATER TAP WITH A DEDICATED METER. A REDUCED PRESSURE BACKFLOW ASSEMBLY, MASTER VALVE AND FLOW METER WILL BE INSTALLED DOWNSTREAM OF THE METER.
2. ALL LANDSCAPE MATERIAL FALLS WITHIN THE PLAINS/FOOTHILLS PLANT COMMUNITY AND HAS BEEN SELECTED FOR DROUGHT TOLERANCE. REFERENCE APPENDIX A IN THE COLORADO SPRINGS LANDSCAPE MANUAL.
4. PLANT MATERIAL WILL BE GROUPED INTO LATERAL ZONES BASED ON SIMILAR WATER REQUIREMENTS TO REDUCE OVERALL WATER CONSUMPTION WHILE ALLOWING PLANTS TO SUSTAIN HEALTHY, VIGOROUS GROWTH.
5. TURF AREAS WILL BE TURF TYPE TALL FESCUE AND WILL BE IRRIGATED USING 6" POP-UP ROTATOR TYPE SPRINKLER HEADS.
6. PLANTING BEDS WITH TREES, SHRUBS, GROUNDCOVERS AND ORNAMENTAL GRASSES WILL BE IRRIGATED USING POINT SOURCE DRIP AND DRIPPERLINE IRRIGATION METHODS.
7. NATIVE SEED AREAS IDENTIFIED AS "VERY LOW WATER" USE WILL BE IRRIGATED WITH AN ABOVE-GROUND, TEMPORARY IRRIGATION SYSTEM UNTIL FULL ESTABLISHMENT. REMOTE CONTROL IRRIGATION VALVES WILL BE INSTALLED ON THE PERMANENT IRRIGATION MAINLINE. LATERAL IRRIGATION LINES AND SPRINKLER HEADS WILL BE INSTALLED ON THE SURFACE. REMOTE CONTROL VALVES WILL BE WIRED TO AND MANAGED THROUGH THE IRRIGATION CONTROLLER. UPON ESTABLISHMENT OF THE NATIVE SEED, THE TEMPORARY IRRIGATION LATERALS AND SPRINKLER HEADS WILL BE REMOVED FROM THE SYSTEM.
8. TREES LOCATED WITHIN THE NATIVE SEED AREAS WILL BE IRRIGATED USING A SEPARATE, PERMANENT DRIP IRRIGATION ZONE WHICH WILL REMAIN IN PLACE FOLLOWING REMOVAL OF THE TEMPORARY IRRIGATION FOR SEED ESTABLISHMENT.
9. ALL AREAS LOCATED OFF-SITE DISTURBED THROUGH PROJECT INFRASTRUCTURE CONSTRUCTION ARE TO BE RE-SEEDED. ALL RE-SEEDED AREAS TO BE IRRIGATED BY WATER TRUCK OR OTHER MEANS OF SUPPLEMENTAL WATERING UNTIL FINAL ESTABLISHMENT.



PREPARED FOR:  
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COHEN-ESERY

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SHEET TITLE:  
PRELIMINARY  
LANDSCAPE  
DIAGRAM

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LAUNCHPAD - DEVELOPMENT PLAN  
LAND USE REVIEW FILE #DEPN-23-0001

A HYDROZONE PLAN  
SCALE: 1"=20'-0"



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SITUATED IN THE NORTHEAST ¼ SECTION 11, TOWNSHIP 14 SOUTH, RANGE 67 WEST OF THE 6TH P.M.  
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

### STRUCTURE PROTECTION:

THIS RESIDENTIAL PROJECT IS IN THE WILDLAND URBAN INTERFACE (WUI). THE FOLLOWING REQUIREMENTS SHALL BE ENFORCED FOR ALL HOMES CONSTRUCTED OR RECONSTRUCTED, AFTER THE ADOPTION OF THIS ORDINANCE, WITHIN THE WUI FOR IGNITION-RESISTANT CONSTRUCTION AND FUELS MANAGEMENT:

1. A CLASS A ROOF COVERING (EXCLUDING SOLID WOOD MATERIALS) SHALL BE INSTALLED ON ALL RESIDENTIAL OCCUPANCIES AND A MINIMUM CLASS B ROOF COVERING SHALL BE INSTALLED ON REMAINING OCCUPANCIES, UNLESS OTHERWISE PERMITTED.

2. EXTERIOR CLADDING, EAVES AND SOFFITS SHALL BE CONSTRUCTED OF IGNITION-RESISTANT MATERIALS APPROVED BY THE FIRE CODE OFFICIAL. APPROVED MATERIALS INCLUDE, BUT ARE NOT LIMITED TO: FIBER-CEMENT BOARD, STUCCO, MASONRY BRICK, MANUFACTURED STONE, AND SIMILAR MATERIALS. NATURAL WOOD/CEGAR SIDING, HARDBOARD, VINYL, AND SIMILAR COMBUSTIBLE MATERIALS ARE NOT ALLOWED.

EXCEPTION: NATURAL WOOD OR PLASTIC PRODUCTS USED FOR FASCIA, TRIM BOARD MATERIALS AND TRIM ACCENTS, SUCH AS CORBELS, FALSE RAFTER TAILS, FAUX TRUSSES, SHUTTERS AND DECORATIVE VENTS MATERIAL ARE ALLOWED WHEN PAINTED OR AS APPROVED.

3. FOR ANY PORTION OF THE ATTACHED STRUCTURE WITH PROJECTIONS OR OVERHANGS, THE AREA BELOW THE STRUCTURE SHALL HAVE ALL HORIZONTAL UNDER-FLOOR AREAS ENCLOSED WITH IGNITION RESISTIVE MATERIALS SUCH AS THOSE ALLOWED IN ITEM 2 ABOVE. EXCEPTION: HEAVY TIMBER OR DIMENSIONAL LOG CONSTRUCTION IS ALLOWED.

4. EXTERIOR DOORS SHALL BE NONCOMBUSTIBLE OR SOLID CORE NOT LESS THAN 1-3/4" THICK. WINDOWS WITHIN DOORS AND GLAZED DOORS SHALL BE TEMPERED SAFETY GLASS OR MULTILAYERED GLAZED PANELS. EXCEPTION: DECORATIVE SINGLE PANE GLAZING IN FRONT ENTRY DOORS IS ALLOWED.

5. EXTERIOR WINDOWS SHALL BE A MINIMUM DOUBLE PANE. TEMPERED PANES ARE PREFERABLE BUT NOT REQUIRED.

6. ALL ATTIC VENTS SHALL BE SCREENED WITH WIRE MESH OR HARDWARE CLOTH HAVING OPENINGS NO LARGER THAN 1/8-INCH UNLESS AN ALTERNATIVE DESIGN OR PRODUCT IS ALLOWED BY THE FIRE CODE OFFICIAL. SOFFIT VENTS ARE ALLOWED. GABLE VENTS MAY BE ALLOWED BY ONLY AS APPROVED BY THE FIRE CODE OFFICIAL.

7. GUTTERS AND DOWNSPOUTS THAT ARE OF NONCOMBUSTIBLE CONSTRUCTION SHALL BE INSTALLED SUCH THAT THE LEADING EDGE OF THE ROOF IS FINISHED WITH A METAL DROP EDGE SO THAT NO WOOD SHEATHING IS EXPOSED. THE DRIP EDGE SHALL EXTEND INTO THE GUTTER. VINYL GUTTERS MAY BE ALLOWED BUT MUST HAVE A NONCOMBUSTIBLE LANDING AREA BELOW THE ROOF LINE, THAT IS A MINIMUM 5 FOOT DISTANCE FROM THE SIDE OF THE STRUCTURE OR FOUNDATION.

NOTE: GUTTER CAPS ARE HIGHLY ENCOURAGED AS A HOMEOWNER MAINTENANCE ITEM TO PREVENT COMBUSTIBLE DEBRIS FROM COLLECTING IN THE TROUGH.

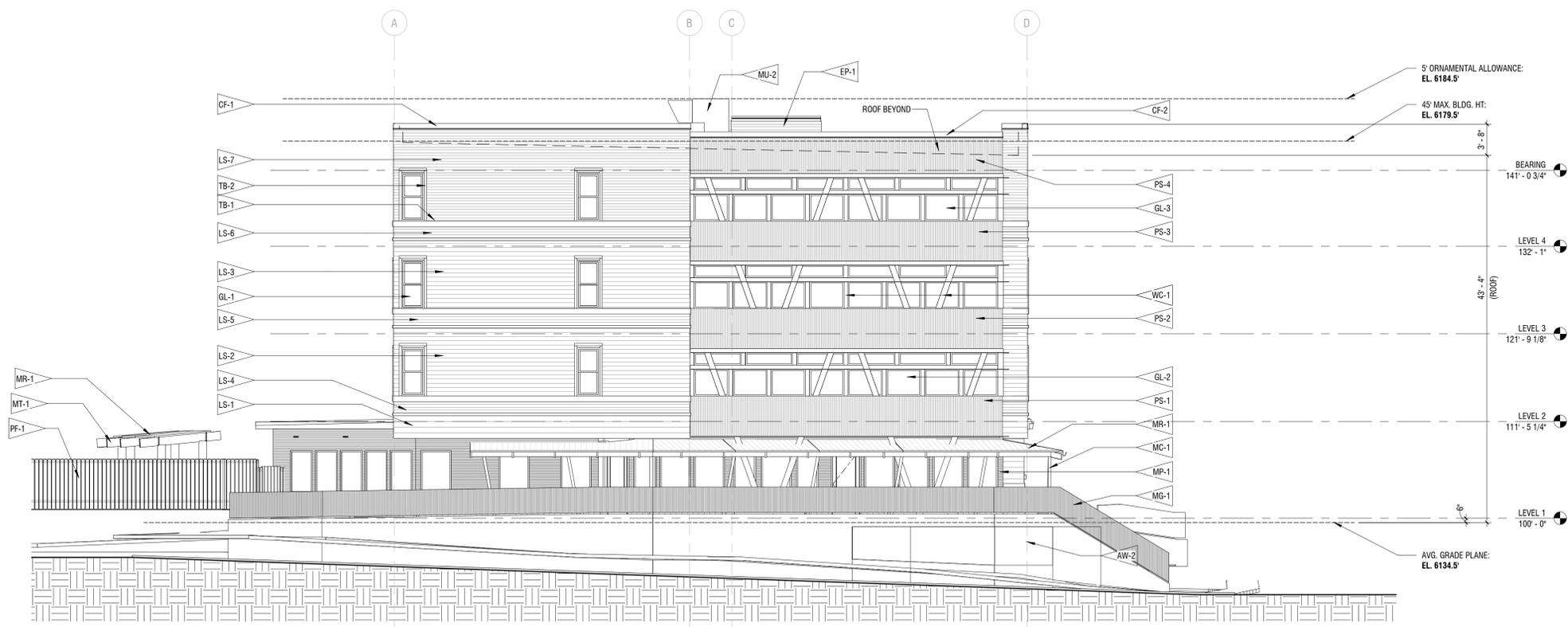
8. DECKS AND OTHER HABITABLE SPACES SHALL BE OF IGNITION RESISTANT OR NON-COMBUSTIBLE DECKING MATERIALS, SUCH AS COMPOSITE OR METAL DECKING. WOOD IS NOT PERMITTED TO BE USED FOR THE DECKING SURFACE, BUT CAN BE USED FOR ALL LARGE STRUCTURAL COMPONENTS AND RAILING.

9. THE BASE OF EXTERIOR WALLS, POSTS OR COLUMNS SHALL BE PROTECTED ON THE BOTTOM SIDE WITH PROVISIONS SUCH AS FIRE RESISTANT FOAM OR WIRE MESH HAVING OPENINGS NO LARGER THAN 1/8-INCH TO PROTECT THEM FROM EMBER INTRUSION AND STILL ALLOW FOR WEEPING AND MOISTURE CONTROL.

10. CHIMNEYS SERVING FIREPLACES, AS WELL AS OTHER HEATING APPLIANCES IN WHICH SOLID OR LIQUID FUELS ARE USED, SHALL HAVE AN APPROVED SPARK ARRESTOR OR CAP.



**1 EAST ELEVATION**  
1/8" = 1'-0"



**2 SOUTH ELEVATION**  
1/8" = 1'-0"

### AVERAGE GRADE PLANE CALCULATION

SE CORNER	EL. = 6134.3'
SW CORNER	EL. = 6135.0'
NW CORNER	EL. = 6136.5'
NE CORNER	EL. = 6132.0'
(24,537.8' / 4 = 6134.45) 6134.5'	
ALLOWABLE HEIGHT (R-5)	+45.0'
	6179.5'
ORNAMENTAL ALLOWANCE	+5.0'
	6184.5'

### MATERIALS LEGEND

AW-2	METAL CAP FLASHING - WHITE
CF-1	METAL CAP FLASHING - LT BLUE
CF-2	ELEVATOR PENITHOUSE
EP-1	GLAZING IN VINYL FRAME
GL-1	GLAZING IN FIBERGLASS FRAME - CLEAR
GL-2	GLAZING IN FIBERGLASS FRAME - TINTED
GL-3	FIBER CEMENT LAP SIDING 8" - DK SAGE
LS-1	FIBER CEMENT LAP SIDING 6" - LT SAGE
LS-2	FIBER CEMENT LAP SIDING 6" - MED SAGE
LS-3	FIBER CEMENT LAP SIDING 6" - LT SAGE
LS-4	FIBER CEMENT LAP SIDING 4" - DK SAGE
LS-5	FIBER CEMENT LAP SIDING 4" - MED SAGE
LS-6	FIBER CEMENT LAP SIDING 4" - LT SAGE
LS-7	FIBER CEMENT LAP SIDING 4" - WHITE SAGE
MC-1	METAL CANOPY - LT BLUE
MG-1	METAL GUARDRAIL - CORTEN STEEL
MP-1	VERTICAL METAL WALL PANEL - DK GREY
MP-2	VERTICAL METAL SKIRT PANEL - CORTEN STEEL
MR-1	METAL ROOF - LT GREY
MT-1	METAL TRELLIS - LT BLUE
MU-1	THRU-WALL PTAC UNIT
MU-2	ROOFTOP EQUIPMENT BEYOND
PF-1	FIBER CEMENT PANEL SIDING - RED/ORANGE
PS-1	FIBER CEMENT PANEL SIDING - ORANGE
PS-2	FIBER CEMENT PANEL SIDING - ORANGE/YELLOW
PS-3	FIBER CEMENT PANEL SIDING - YELLOW
PS-4	FIBER CEMENT PANEL SIDING - YELLOW
TB-1	FIBER CEMENT BELLY BAND TRIM BOARD - SAGE
TB-2	FIBER CEMENT WINDOW TRIM BOARD - SAGE
WC-1	WOOD COLUMN - GLULAM
WL-1	WALL MOUNTED LIGHT

PREPARED FOR:  
**THE PLACE COHEN-ESERY**

**LAUNCHPAD**  
 864 NORTH 19TH STREET  
 COLORADO SPRINGS, COLORADO

DATE:

DP 01	01/03/2023
DP 02	02/14/2023
DP 03	03/14/2023
DP 04	04/11/2023

SHEET TITLE:  
**BUILDING ELEVATIONS**

Colorado Springs  
 OLYMPIC CITY USA  
 Land Use Review  
 Approved  
 05/10/2023  
 4:35:09 PM  
 William.Gray

# DEVELOPMENT PLAN

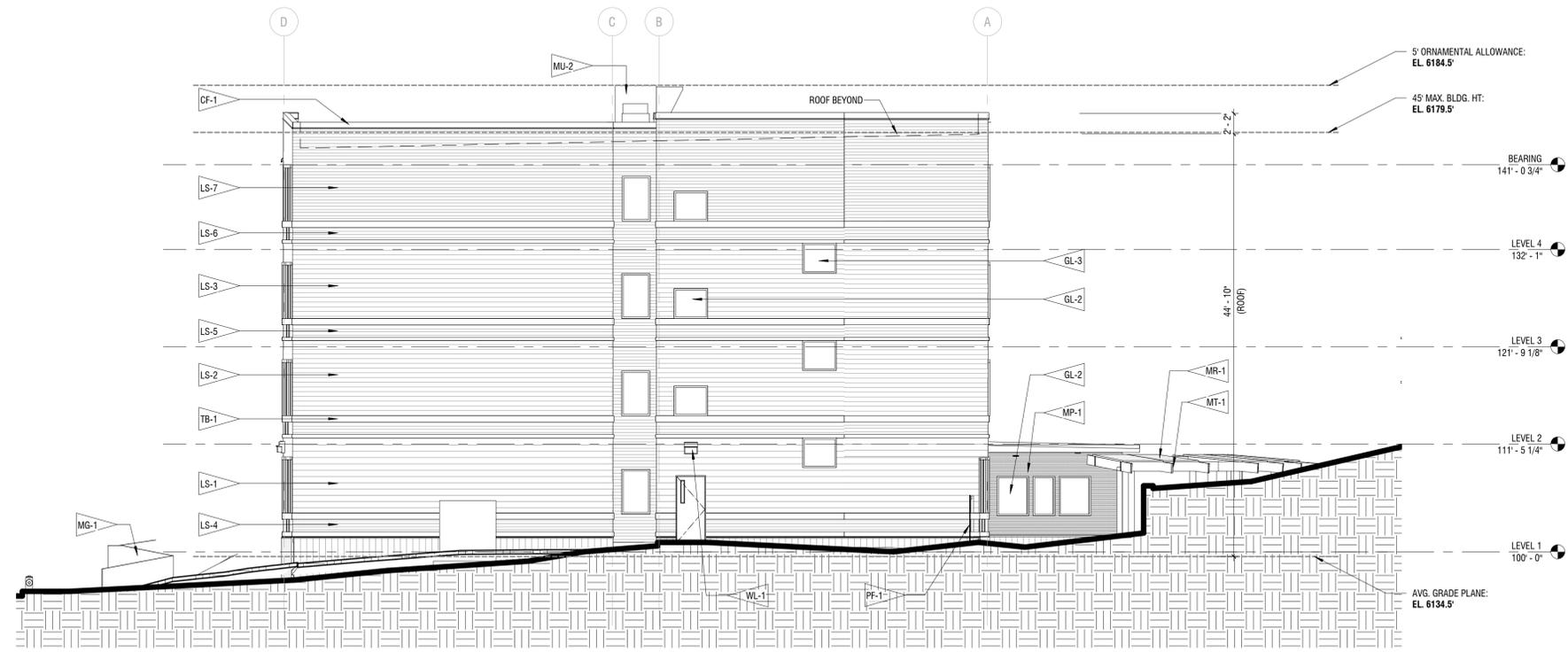
## LOT 1, LAUNCHPAD 864 NORTH 19TH STREET

SITUATED IN THE NORTHEAST ¼ SECTION 11, TOWNSHIP 14 SOUTH, RANGE 67 WEST OF THE 6TH P.M.  
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

**S** **U** **R** **C** **H** **A** **R** **C** **H** **I** **T** **E** **C** **H** **I** **T** **E** **S**  
**301 W. 45TH AVE • DENVER, CO 80216 • 303.433.4094**



**3 WEST ELEVATION**  
1/8" = 1'-0"



**4 NORTH ELEVATION**  
1/8" = 1'-0"

**AVERAGE GRADE PLANE CALCULATION**

SE CORNER	EL. = 6134.3'
SW CORNER	EL. = 6135.0'
NW CORNER	EL. = 6136.5'
NE CORNER	EL. = 6132.0'
(24,537.8' / 4 = 6134.45') 6134.5'	
ALLOWABLE HEIGHT (R-5)	+45.0'
	6179.5'
ORNAMENTAL ALLOWANCE	+5.0'
	6184.5'

**MATERIALS LEGEND**

CF-1	METAL CAP FLASHING - WHITE
EP-1	ELEVATOR PENTHOUSE
GL-1	GLAZING IN VINYL FRAME
GL-2	GLAZING IN FIBERGLASS FRAME - CLEAR
GL-3	GLAZING IN FIBERGLASS FRAME - TINTED
LS-1	FIBER CEMENT LAP SIDING 6" - DK SAGE
LS-2	FIBER CEMENT LAP SIDING 6" - MED SAGE
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MU-1	THRU-WALL PTAC UNIT
MU-2	ROOFTOP EQUIPMENT BEYOND
PF-1	FIBER CEMENT BELLY BAND TRIM BOARD - SAGE
TB-1	FIBER CEMENT WINDOW TRIM BOARD - SAGE
WL-1	WALL MOUNTED LIGHT

PREPARED FOR:  
**THE PLACE COHEN-ESERY**

**LAUNCHPAD**  
 864 NORTH 19TH STREET  
 COLORADO SPRINGS, COLORADO

DATE:

DP 01	01/03/2023
DP 02	02/14/2023
DP 03	03/14/2023
DP 04	04/11/2023

SHEET TITLE:  
**BUILDING ELEVATIONS**



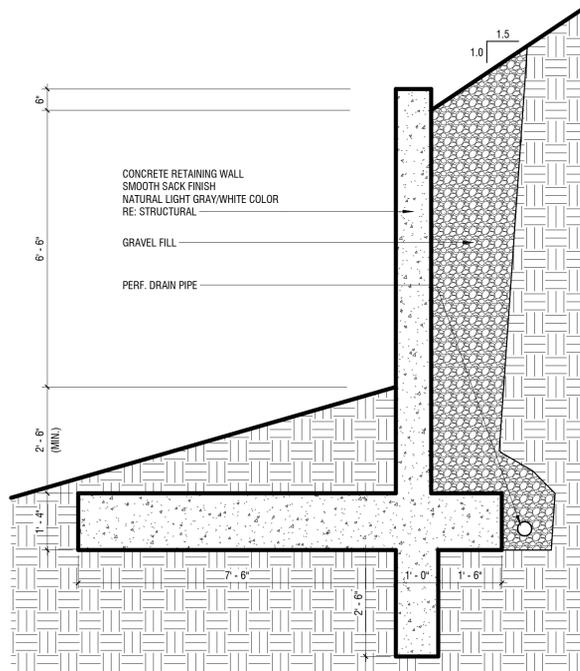
Land Use Review  
Approved

**05/10/2023**  
**4:35:09 PM**  
**William.Gray**

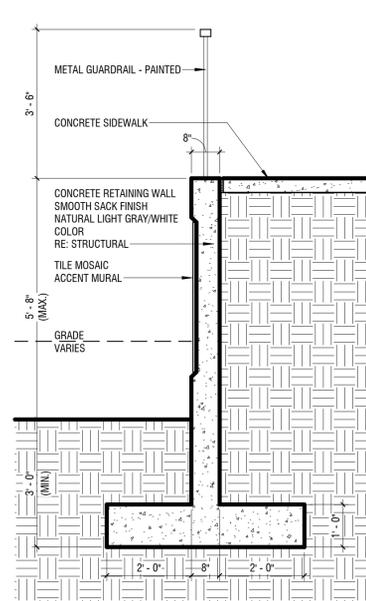
# DEVELOPMENT PLAN

## LOT 1, LAUNCHPAD 864 NORTH 19TH STREET

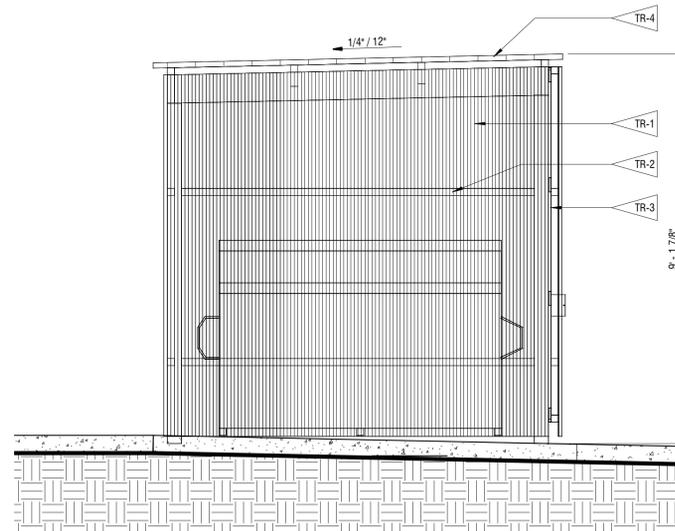
SITUATED IN THE NORTHEAST ¼ SECTION 11, TOWNSHIP 14 SOUTH, RANGE 67 WEST OF THE 6TH P.M.  
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



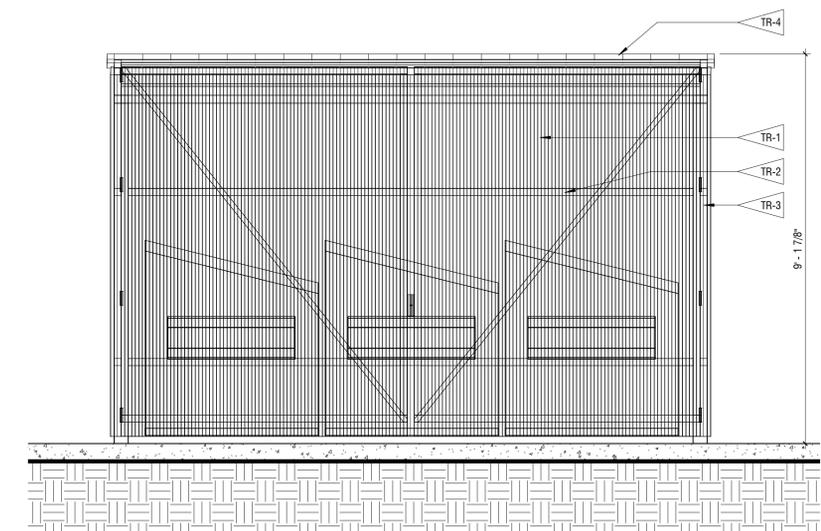
**6'-6" RETAINING WALL**



**ENTRY RAMP WALL**



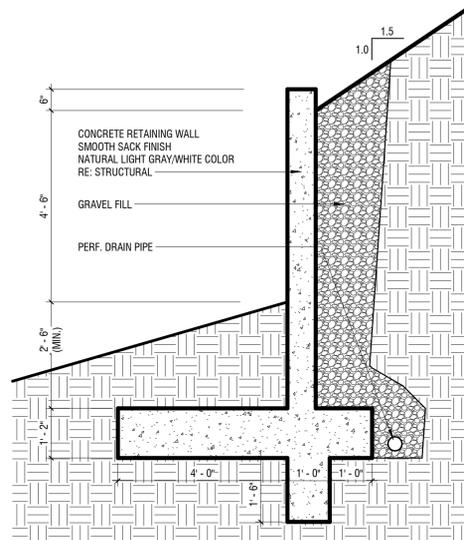
**3 TRASH ENC. - SOUTH ELEVATION**  
1/2" = 1'-0"



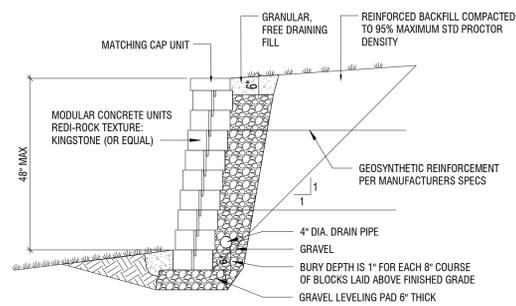
**2 TRASH ENC. - EAST ELEVATION**  
1/2" = 1'-0"

FLAGNOTES	
TR-1	1/4" X 1" STEEL BAR GRATE - GREY
TR-2	2" X 2" STEEL BACKER RAIL - GREY
TR-3	4" X 4" STEEL CORNER POST - GREY
TR-4	METAL ROOF - CORTEN STEEL

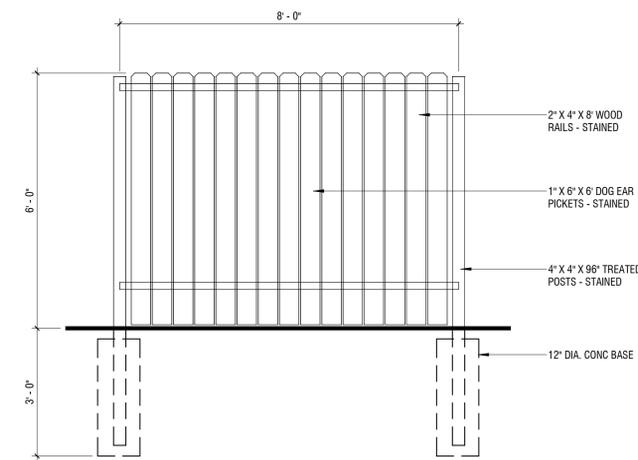
PREPARED FOR:  
**THE PLACE COHEN-ESERY**



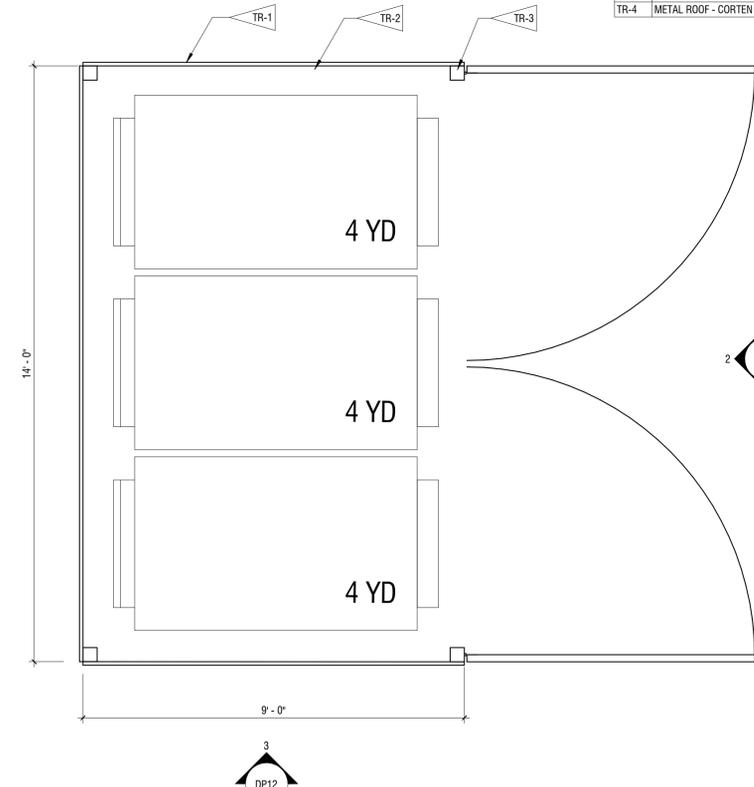
**4'-6" RETAINING WALL**



**GRAVITY RETAINING WALL**



**4 FENCE ELEVATION**  
1/2" = 1'-0"



**1 TRASH ENC. - PLAN**  
1/2" = 1'-0"

  
**COLORADO SPRINGS**  
 OLYMPIC CITY USA  
 Land Use Review Approved  
 05/10/2023  
 4:35:09 PM  
 William.Gray

**LAUNCHPAD**  
 864 NORTH 19TH STREET  
 COLORADO SPRINGS, COLORADO

DATE:

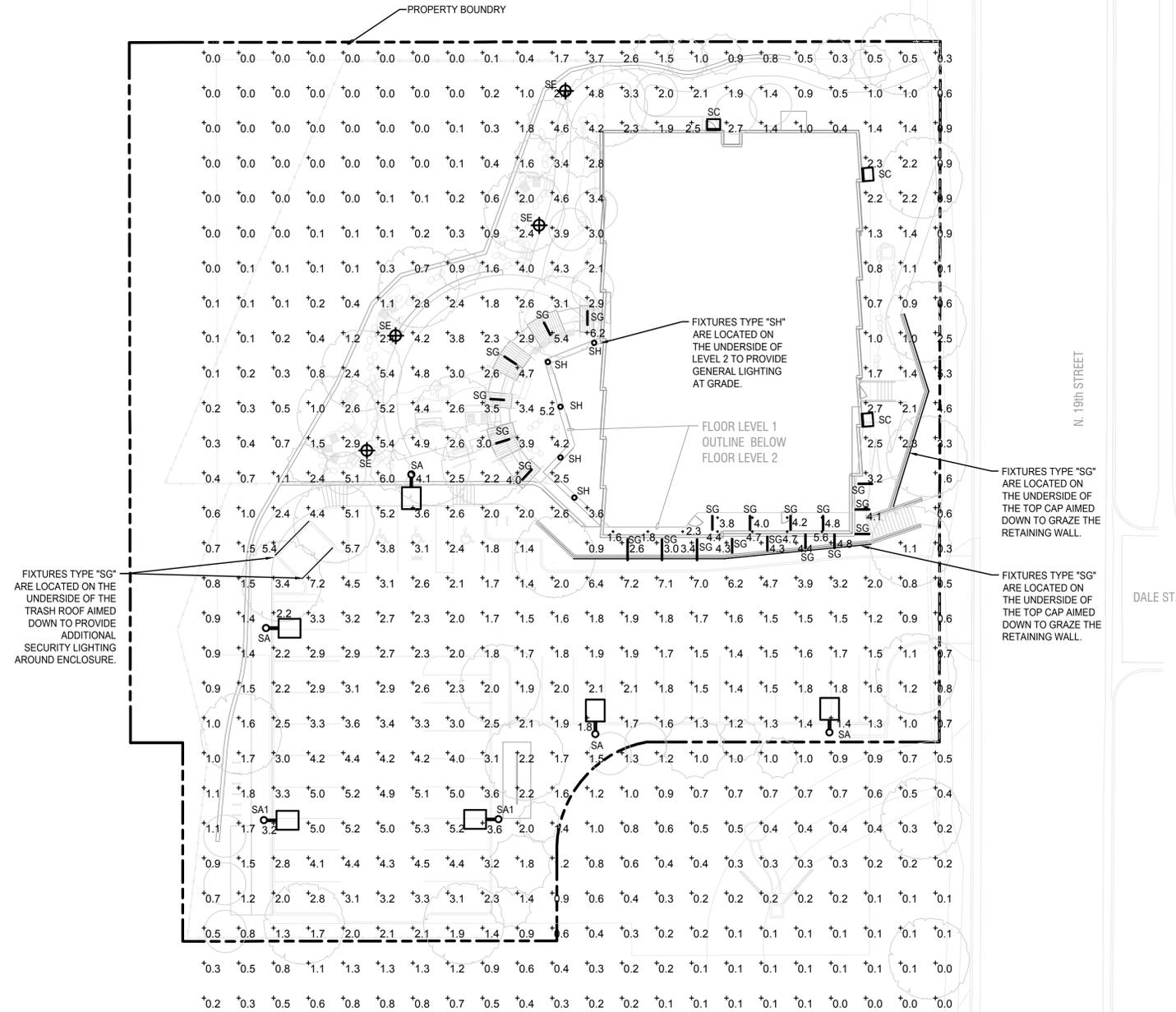
DP_01	01/03/2023
DP_02	02/14/2023
DP_03	03/14/2023
DP_04	04/11/2023

SHEET TITLE:  
**SITE DETAILS**

# DEVELOPMENT PLAN

## LOT 1, LAUNCHPAD 864 NORTH 19TH STREET

SITUATED IN THE NORTHEAST ¼ SECTION 11, TOWNSHIP 14 SOUTH, RANGE 67 WEST OF THE 6<sup>TH</sup> P.M.  
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



1 SITE PHOTOMETRIC PLAN  
1" = 20'-0"

PREPARED FOR:  
THE PLACE  
COHEN-ESERY

LAUNCHPAD  
810 NORTH 19TH STREET  
COLORADO SPRINGS, COLORADO

DATE:

DP_01	12/30/2022
DP_02	02/24/2023
DP_03	03/14/2023
DP_04	04/11/2023

SHEET TITLE:

**SITE  
PHOTOMETRICS**



05/10/2023  
4:35:09 PM  
William.Gray

# DEVELOPMENT PLAN

## LOT 1, LAUNCHPAD 864 NORTH 19TH STREET

SITUATED IN THE NORTHEAST ¼ SECTION 11, TOWNSHIP 14 SOUTH, RANGE 67 WEST OF THE 6<sup>TH</sup> P.M.  
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Level 1 overhang	◇	3.8 fc	5.6 fc	1.6 fc	3.5:1	2.4:1
Site	+	1.7 fc	7.2 fc	0.0 fc	N/A	N/A

Schedule												
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Filename	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage	Mounting Height
○	SA	4	Lithonia Lighting	RAD1 LED P3 30K ASY	RADEAN arm mount with P3 3000K Asymmetric distribution		SA - RAD1_LED_P3_30K_ASY.ies	1	7019	1	53.6184	25'-0" TO TOP OF POLE
○	SA1	2	Lithonia Lighting	RAD1 LED P5 30K ASY HS	RADEAN arm mount with P5 3000K Asymmetric distribution with house-side shield		SA1 - RAD1_LED_P5_30K_ASY_HS.ies	1	13882	1	121.9404	25'-0" TO TOP OF POLE
□	SC	3	Lithonia Lighting	WDGE2 LED P3 30K 80CRI T3M	WDGE2 LED WITH P3 - PERFORMANCE PACKAGE, 3000K, 80CRI, TYPE 3 MEDIUM OPTIC		SC - WDGE2_LED_P3_30K_80CRI_T3M.ies	1	3063	1	32.1375	12'-0" TO CENTER OF FIXTURE
○	SE	4	Lithonia Lighting	RADPT P3 30K PATH HS	RADEAN Post-Top with P3 3000K Pathway distribution with house-side shield		SE - RADPT_P3_30K_PATH_HS.ies	1	4958	1	53.6184	15'-0" TO TOP OF POLE
—	SG	72	Luminii	LL18WET-T-30K	LL18WET Tube	3528 LED	SG - LL18WET-T-30K_IESNA2002.IES	1	483	1	6.1	UNDERSIDE OF TOP CAP - HEIGHT VARIES
○	SH	4	WAC Lighting	FM-05RN	Surface-mounted Luminaire		SH - FM-05RN-111618.ies	1	548	1	12	RECESSED - 9'-0"



① **FIXTURE TYPE SA**  
N.T.S.



② **FIXTURE TYPE SA1**  
N.T.S.



③ **FIXTURE TYPE SC**  
N.T.S.



④ **FIXTURE TYPE SE**  
N.T.S.



⑤ **FIXTURE TYPE SG**  
N.T.S.



⑥ **FIXTURE TYPE SH**  
N.T.S.

  
**COLORADO SPRINGS**  
 OLYMPIC CITY USA  
 Land Use Review  
 Approved  
 05/10/2023  
 4:35:09 PM  
 William.Gray

LAUNCHPAD - DEVELOPMENT PLAN  
LAND USE REVIEW FILE #DEPN-23-0001

PREPARED FOR:  
THE PLACE  
COHEN-ESERY

**LAUNCHPAD**  
 810 NORTH 19TH STREET  
 COLORADO SPRINGS, COLORADO

DATE:

DP_01	12/30/2022
DP_02	02/24/2023
DP_03	03/14/2023
DP_04	04/11/2023

SHEET TITLE:  
**SITE CUTSHEETS**

**CONSULTING INC**  
 4640 PECOS STREET UNIT F DENVER, COLORADO, 80211  
 303.325.3271  
 MV-C.NET