

FLATS AT SAND CREEK

Subdivision: Flats at Sand Creek

CITY OF COLORADO SPRINGS, COLORADO

DEVELOPMENT PLAN

LEGAL DESCRIPTION

A TRACT OF LAND LOCATED IN A PORTION OF THE NORTHEAST ONE QUARTER OF THE SOUTHEAST ONE QUARTER OF SECTION 30, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE 6TH P.M., EL PASO COUNTY, COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF PONY TRACKS DRIVE AS DESCRIBED IN THE KNOLLS AT SPRINGS RANCH FILING NO. 1 RECORDED MARCH 20, 2000 AT RECEPTION NO. 200028805 OF THE RECORDS OF SAID COUNTY; THENCE S 89 DEGREES 42 MINUTES 22 SECONDS W ON THE NORTH RIGHT-OF-WAY LINE OF NORTH CAREFREE CIRCLE AS DESCRIBED IN THE COLORADO SPRINGS RANCH FILING NO. 2 RECORDED JANUARY 2, 1986 IN PLAT BOOK 23 AT PAGE 137 OF SAID RECORDS; AND IS THE BASIS OF BEARINGS USED HEREIN, A DISTANCE OF 504.05 FEET TO THE EASTERLY RIGHT-OF-WAY LINE OF PETERSON ROAD AS DESCRIBED IN SAID SUBDIVISION OF THE COLORADO SPRINGS RANCH FILING NO. 2; THENCE N 44 DEGREES 50 MINUTES 30 SECONDS W ON SAID EASTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 42.09 FEET; THENCE N 00 DEGREES 36 MINUTES 37 SECONDS E ON SAID EASTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 482.33 FEET TO A POINT OF CURVE AND THE SOUTHEAST CORNER OF PETERSON ROAD AS DESCRIBED IN PETERSON ROAD FILING NO. 1 RECORDED DECEMBER 21, 1998 AT RECEPTION NO. 98187722 OF SAID RECORDS; THENCE ON SAID CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 02 DEGREES 36 MINUTES 20 SECONDS, A RADIUS OF 645.00 FEET FOR AN ARC DISTANCE OF 29.33 FEET, WHOSE CHORD BEARS N 01 DEGREES 54 MINUTES 47 SECONDS E TO THE NORTH LINE OF A SIXTY (60) FOOT UTILITY EASEMENT DESCRIBED IN INSTRUMENT RECORDED NOVEMBER 1, 1985 IN BOOK 2101 AT PAGE 444 OF SAID RECORDS; THENCE N 89 DEGREES 34 MINUTES 07 SECONDS E ON SAID NORTH LINE, A DISTANCE OF 524.84 FEET TO A POINT ON A CURVE AND THE WESTERLY RIGHT-OF-WAY LINE OF SAID PONY TRACKS DRIVE; (THE FOLLOWING THREE (3) COURSES ARE ON SAID WESTERLY RIGHT-OF-WAY LINE), 1.) THENCE ON SAID CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 00 DEGREES 06 MINUTES 07 SECONDS, A RADIUS OF 430.00 FEET FOR AN ARC DISTANCE OF 0.76 FEET; WHOSE CHORD BEARS S 00 DEGREES 14 MINUTES 35 SECONDS E; 2.) THENCE S 00 DEGREES 17 MINUTES 38 SECONDS E A DISTANCE OF 512.14 FEET; 3.) THENCE S 44 DEGREES 42 MINUTES 22 SECONDS W A DISTANCE OF 42.43 FEET TO THE POINT OF BEGINNING.

(PER TITLE COMMITMENT FILE No. 55251)

To be platted as: Flats at Sand Creek

PROJECT TEAM

OWNER: Carefree Landowner LLC
295 Seven Farms Dr # C-258
Charleston, SC 29432-8001

DEVELOPER: Lincoln Avenue Capital
44 Cook St., Suite 510
Denver, CO 80206

APPLICANT: N.E.S. Inc.
619 N. Cascade Ave., Suite 200
Colorado Springs, CO 80903

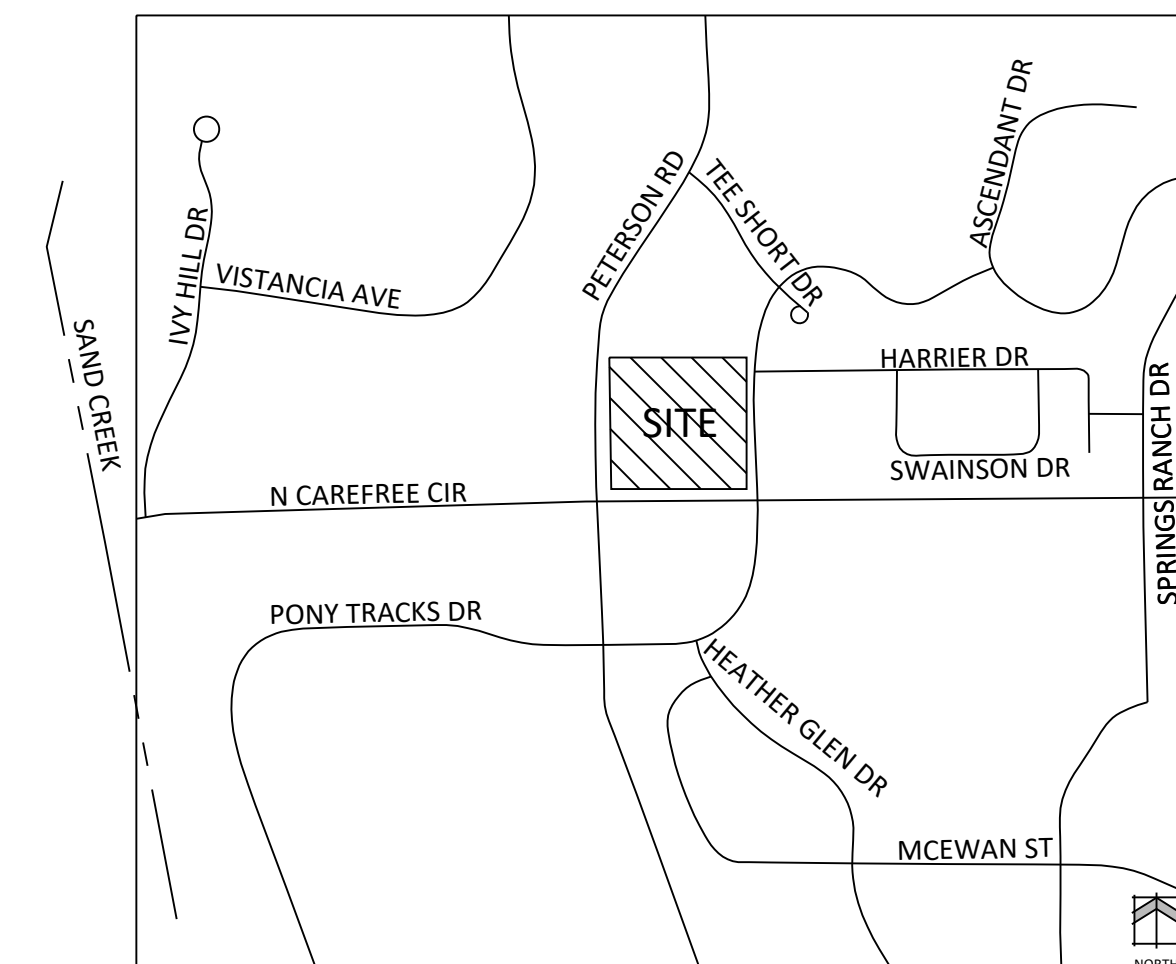
ARCHITECT: Way Architects, P.C.
318 N Tejon
Colorado Springs, CO 80903

ENGINEER: Kimley-Horn
2 N Nevada Ave, Suite 900
Colorado Springs, CO 80903

SHEET INDEX

Sheet 1 of 14: Cover Sheet
Sheet 2 of 14: Development Plan
Sheet 3 of 14: Site Details
Sheet 4 of 14: Landscape Notes
Sheet 5 of 14: Preliminary Landscape Plan
Sheet 6 of 14: Landscape Diagrams
Sheet 7 of 14: Preliminary Utility and Public Facilities Plan
Sheet 8 of 14: Preliminary Grading Plan
Sheet 9 of 14: Site Details
Sheet 10 of 14: Apartment Elevations
Sheet 11 of 14: Apartment Elevations
Sheet 12 of 14: Amenity Center Elevations
Sheet 13 of 14: Photometric Plan
Sheet 14 of 14: Photometric Plan

VICINITY MAP



SITE DATA

Tax ID Number: 5330400035
Total Area: 6.547 ACRES
Development Schedule: SUMMER 2025
Master Plan: Springs Ranch
Drainage Basin: Sand Creek
Current Zoning: R-S AD
Proposed Zoning: R-5 AD

Current Use: VACANT LAND
Proposed Use: Multifamily Residential
Proposed Density: 20.7 DU/AC
Max Building Height: 50'
Proposed Building Height: 38'
Max Lot Coverage: 50%
Proposed Lot Coverage: 27.4%

Building Setbacks:

Secondary Front (Peterson Road): 15'
Front (N. Carefree Circle): 20'
Secondary Front (Pony Tracks Drive): 15'
Rear (North): 15'

Landscape Setbacks:

West (Peterson Road): 20'
South (N. Carefree Circle): 25'
East (Pony Tracks Drive): 10'
North (Landscape Buffer): 15'

Parking:

Formula: 2-Bedroom: 1.5 Space/Unit x 72 = 108 spaces
3-Bedroom: 2 Space/Unit x 72 = 144 spaces
239
Required: 249
Provided: 249
ADA Formula: Between 201-300 spaces = 7 ADA stalls
Required: 7
Provided: 12
Compact spaces: 82 (30% of total spaces)

Bike Storage Formula: 0.5 stalls per 1,000 gross building area, 20% long-term
Required: (53,770.2642sqft)/(0.5)/1,000=26.89 Provided: 72
Required Long-term: (0.2)(26.89)=5.37 Provided: 6

5% Parking reduction due to proximity to existing bike route on Pony Tracks Drive

*An Administrative Adjustment is requested to allow an 8' buffer wall where 7' is the maximum allowed per city code section 7.4.203.A (Table 7.4.2-E). The wall is proposed 10' south of the north property line. This is a 14.2% relief request.

GENERAL NOTES

- ALL LIGHTING FIXTURES SHALL HAVE FULL CUT-OFF SHIELDING OR FIXTURES TO REDUCE OFF-SITE LIGHTING IMPACTS.
- ALL SIDEWALKS SHOWN ON DEVELOPMENT PLAN ARE TO BE 5' CONCRETE UNLESS OTHERWISE SPECIFIED.
- PRIVATE DRIVES ARE TO BE PAVED ASPHALT WITH CONCRETE CURBS.
- SIGNAGE IS NOT APPROVED PER THIS PLAN. A SEPARATE SIGN PERMIT IS REQUIRED. CONTACT DEVELOPMENT REVIEW ENTERPRISE AT 719-385-5982, 2880 INTERNATIONAL CIRCLE FOR SIGN PERMIT APPLICATION.
- ALL EXISTING CURB, GUTTER, PEDESTRIAN RAMPS AND CROSSPANS POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATION OR NOT MEETING CURRENT CITY ENGINEERING STANDARDS ALONG PUBLIC STREETS ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED PRIOR TO ISSUING THE CERTIFICATE OF OCCUPANCY (C.O.). AN ON SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW INSPECTOR TO DETERMINE WHAT, IF ANY, IMPROVEMENTS ARE REQUIRED. THE INSPECTOR CAN BE REACHED AT 719-385-5977.
- FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE SURFACED SO AS TO PROVIDE ALL WEATHER DRIVING CAPABILITIES. PRIVATE ROADS WILL BE BUILT TO MEET A MINIMUM OF 27000LBS SINGLE AXLE WEIGHT AND 75000LB TOTAL APPARATUS WEIGHT.
- PRIOR TO CERTIFICATE OF OCCUPANCY OF THE FIRST BUILDING, A FIRE INSPECTION TO VERIFY FIRE LANE MARKING INSTALLATION SHALL OCCUR. A FIRE INSPECTION MAY BE REQUESTED BY CALLING 719-385-5978.
- A PRIVATE AVIGATION EASEMENT ACKNOWLEDGING THE USFAA AIRMANSHIP PROGRAM WILL BE ESTABLISHED PRIOR TO RECORDATION OF THE FINAL SUBDIVISION PLATS FOR THIS DEVELOPMENT OR PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR ANY UNIT WITHIN THE DEVELOPMENT.
- NOTICE: THIS PROPERTY MAY BE IMPACTED BY NOISE AND OTHER SIMILAR SENSORY EFFECTS OF FLIGHT CAUSED BY AIRCRAFT USED IN BOTH THE UNITED STATES AIR FORCE ACADEMY'S AIRMANSHIP PROGRAM AND DURING SPECIAL EVENTS. THIS NOTICE SHALL REMAIN IN EFFECT UNTIL THE AIR FORCE ACADEMY SHALL CEASE TO BE USED FOR FLIGHT TRAINING PURPOSES, OR UNTIL ALL AIRPORTS ON THE AIR FORCE ACADEMY SHALL CEASE TO BE ACTIVELY USED. THIS NOTICE SHALL RUN IN PERPETUITY WITH THE LAND.
- NOTICE: THIS PROPERTY MAY BE IMPACTED BY NOISE CAUSED BY AIRCRAFT OPERATING INTO AND OUT OF THE COLORADO SPRINGS MUNICIPAL AIRPORT. THE BUYER SHOULD FAMILIARIZE HIMSELF/HERSELF WITH THIS POTENTIALITY AND THE RAMIFICATIONS THEREOF.
- AN AVIGATION EASEMENT EFFECTING THE SUBJECT PROPERTY AND DEVELOPMENT WILL BE RECORDED WITH THE IS THEREIN ESTABLISHED BY THE FLATS AT SAND CREEK FILING NO.1) SUBDIVISION PLAT. SAID EASEMENT SHALL BE CONSIDERED A PUBLIC EASEMENT AND IS SUBJECT TO THE TERMS AND CONDITIONS AS SPECIFIED IN THE INSTRUMENT RECORDED UNDER RECEPTION NO. 217069667 OF THE RECORDS OF EL PASO COUNTY, COLORADO. ALL OTHER EASEMENT OR INTERESTS OF RECORD AFFECTING ANY OF THE PLATTED PROPERTY DEPICTED HEREON SHALL NOT BE AFFECTED AND SHALL REMAIN IN FULL FORCE AND EFFECT.
- FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP NUMBER 08041C0539G, EFFECTIVE DATE, DECEMBER 7, 2018, INDICATES THE AREA IN THE VICINITY OF THIS PARCEL OF LAND TO BE A ZONE X (AREA DETERMINED TO BE OUT OF THE 500 YEAR FLOODPLAIN).
- THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.
- LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF OWNER, AND/OR THEIR ASSIGNS.
- ALL STREET TREES AND STREETSCAPE IMPROVEMENTS LOCATED IN THE ROW WILL BE MAINTAINED BY ABUTTING PROPERTY OWNER.
- ACCESSIBLE ROUTES, INCLUDING RAMPS AND SIDEWALKS, WITHIN THE PUBLIC RIGHT OF WAY SHALL BE PER THE CITY'S STANDARD DRAWINGS AND SPECIFICATIONS. CITY'S ENGINEERING DEPARTMENT REVIEW INSPECTOR WILL HAVE THE FINAL AUTHORITY ON ACCEPTING THE PUBLIC IMPROVEMENTS.
- PRIVATE PROPOSED DETENTION FACILITY TO BE MAINTAINED BY OWNER.
- PARK LAND DEDICATION ORDINANCE IS TO BE MET THROUGH FEES IN LIEU OF LAND DEDICATION. FEES DUE PRIOR TO BUILDING PERMIT APPROVAL.
- SCHOOL SITE DEDICATION ORDINANCE IS TO BE MET THROUGH FEES IN LIEU OF LAND DEDICATION. FEES DUE PRIOR TO BUILDING PERMIT APPROVAL.
- ACCESSIBLE ROUTES, INCLUDING RAMPS AND SIDEWALKS, WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PER THE CITY'S STANDARD DRAWINGS AND SPECIFICATIONS. CITY'S ENGINEERING DEVELOPMENT REVIEW INSPECTOR WILL HAVE THE FINAL AUTHORITY ON ACCEPTING THE PUBLIC IMPROVEMENTS.

Housing Type	Estimated No. of Units	Acres of Dedication per unit (Neighborhood)	Total Acres of Dedication per unit (Community)	Total Acres of Land Dedication Required (Neighborhood)	Total Acres of Land Dedication Required (Community)
20-49 units in residential structure	144	0.0044	0.0053	0.6336	0.7632
Total					1.3968 Acres



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PLANNER / LANDSCAPE ARCHITECT

IN ASSOCIATION WITH

PROJECT INFO

STAMP

ISSUE INFO

ISSUE / REVISION

SHEET TITLE

SHEET NUMBER

PLAN FILE #

FLATS AT SAND CREEK

COLORADO SPRINGS

DATE: 8.20.24
PROJECT MGR: B.SWENSON
PREPARED BY: C.HELMLINGER



Land Use Review
Approved
02-24-2025
2:08:52 PM
Austin Cooper

ENTITLEMENT

DATE:	BY:	DESCRIPTION:
10.22.24	CH	PER CITY COMMENTS
11.25.24	YL	PER CITY COMMENTS
12.26.24	YL	PER CITY COMMENTS
01.21.25	YL	PER CITY COMMENTS
02.13.25	YL	PER CITY COMMENTS

COVER

1

1 OF 14

DEPN-24-0133

LANDSCAPE NOTES

- SOIL AMENDMENT - INCORPORATE 3 CUBIC YARDS/1000 SF AREA OF "PREMIUM 3 ORGANIC COMPOST", OR APPROVED EQUAL, ON BLUEGRASS TURF AREAS. INCORPORATE 2 CUBIC YARDS/1000 SF AREA OF ORGANIC COMPOST (DECOMPOSED MANURE) TO ALL NATIVE SEED AREAS. TILL INTO TOP 8" OF SOIL. FOR PLANTING PIT AMENDMENTS, SEE LANDSCAPE DETAILS.
RECOMMENDED SOIL AMENDMENT FOR PLANTING PITS:
TRI-MIX III as supplied by C&S Sand
-to be applied as backfill in planting pits
- FERTILIZER REQUIREMENTS BELOW ARE BASED ON SOIL ANALYSIS.
SEED SHRUB/BROADLEAF SHRUB/CONIFER
NITROGEN 0 LBS/1000SF 0 LBS/1000SF 0 LBS/1000SF 0 LBS/1000SF
PHOSPHORUS (P205) 0 LBS/1000SF 0 LBS/1000SF 0 LBS/1000SF 0 LBS/1000SF
POTASSIUM (K2O) 0 LBS/1000SF 0 LBS/1000SF 0 LBS/1000SF 0 LBS/1000SF
SULFUR (S04-S) 0 LBS/1000SF 0 LBS/1000SF 0 LBS/1000SF 0 LBS/1000SF
MANGANESE 0 LBS/1000SF 0 LBS/1000SF 0 LBS/1000SF 0 LBS/1000SF
*NATIVE SEED FERTILIZER NOTE - APPLY NITROGEN AND OTHER FERTILIZER JUST PRIOR TO THE BEGINNING OF SPRING GROWTH, AFTER GRASS HAS ESTABLISHED. APPLYING NITROGEN TOO EARLY CAN STIMULATE COOL SEASON GRASSES AND WEEDS, THUS LIMITING SEED YIELDS.
3. A SIGNED AFFIDAVIT ATTESTING TO THE SOIL AMENDMENTS INCORPORATED TO CORRECT DEFICIENCIES SHALL BE INCLUDED WITH THE SOIL ANALYSIS PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
4. CONTRACTOR TO UTILIZE STOCKPILED TOPSOIL FROM GRADING OPERATION AS AVAILABLE. TILL INTO TOP 8" OF SOIL.
5. FOR GRADING PLAN, REFER TO CIVIL ENGINEER'S DRAWINGS.
6. FOR STANDARD LIGHTING AND LOCATIONS, REFER TO PHOTOMETRIC PLAN.
7. ALL PRESERVATION AREAS CONTAINING VEGETATION DESIGNATED TO BE PRESERVED, SHALL BE FENCED OFF DURING CONSTRUCTION TO MINIMIZE DISTURBANCE IN THESE AREAS. ALL FENCING SHALL BE INSTALLED AROUND PRESERVED VEGETATION PRIOR TO ANY GRADING ON THE PROPERTY. A 4-FOOT ORANGE CONSTRUCTION SAFETY FENCE SHOULD BE USED IN THIS APPLICATION. SUBMIT PRODUCT INFO TO L.A. FOR APPROVAL PRIOR TO INSTALLATION.
8. A FULLY AUTOMATED SPRINKLER IRRIGATION SYSTEM WILL DRIP IRRIGATE ALL TREE, SHRUB, AND GROUND COVER PLANTING AREAS AND SPRAY ANY TURF. IRRIGATION PLAN WILL INCLUDE AN IRRIGATION SCHEDULE THAT NOTES APPLICATION RATES BASED ON TURF TYPE, AND NOTES RATES FOR NEWLY PLANTED PLANTS VS. ESTABLISHED PLANTS AND GENERAL RECOMMENDATIONS REGARDING SEASONAL ADJUSTMENTS (SPRING AND FALL).
9. A MINIMUM OF 3-FOOT CLEARANCE AROUND THE CIRCUMFERENCE OF ALL FIRE HYDRANTS WILL BE KEPT CLEAR OF ANY PHYSICAL OR VISUAL OBSTRUCTIONS TO THE HYDRANT.
10. ALL FIRE DEPARTMENT CONNECTIONS (FDC) SHALL NOT BE VISUALLY OR PHYSICALLY OBSTRUCTED BY LANDSCAPING.
11. NATIVE SEED AREAS TO USE SEED MIX SPECIFIED. ALL SEED AREAS SHALL BE IRRIGATED UNTIL ESTABLISHMENT. SUBMIT SEED MIX PRODUCT INFORMATION TO L.A. FOR APPROVAL PRIOR TO INSTALLATION.
12. EROSION CONTROL BLANKET TO BE APPLIED ON ALL SEED AREAS WITH GREATER THAN 3:1 SLOPES.
13. ALL PLANTS AND TREES NOT INSTALLED IN PLANTING BEDS TO RECEIVE 3 INCH DEPTH WOOD MULCH RING UNLESS OTHERWISE SPECIFIED. MULCH RINGS TO BE SIZED PER PLANTING DETAILS.
14. SOD SHALL BE KENTUCKY BLUEGRASS BLEND.
15. ALL SOD/TURF, ROCK, & SHRUB BEDS TO BE SEPARATED BY SOLID STEEL EDGING. ALL SHRUB BEDS TO BE ENCLOSED BY STEEL EDGING. SEPARATION BETWEEN SOD AND NATIVE SEED, AND BETWEEN ALTERNATIVE TURF AND NATIVE SEED SHALL BE A MOWED STRIP, WITHOUT STEEL EDGING. USE SOLID STEEL EDGING EXCEPT WHERE NOTED ON THE PLANS.
16. ALL TREES TO BE STAKED WITH WOOD STAKES. FOR 3" CAL. DECIDUOUS TREES AND EVERGREEN TREES OVER 8' USE 3 WOOD STAKES (STAKE TO GROUND LEVEL). SUBMIT STAKING MATERIALS PRODUCT INFO TO L.A. FOR APPROVAL PRIOR TO INSTALLATION.
17. ALL TREES TO BE STAKED FOR A MINIMUM OF 18 MONTHS. REMOVE STAKING MATERIALS ONCE TREE IS ESTABLISHED, WHICH MAY DEPEND ON TREE SPECIES, MATURITY AND SITE CONDITIONS.
18. ROCK MULCH: 3/4" DIAMETER ANGULAR CIMARRON GRANITE. INSTALL GEOTEXTILE FABRIC UNDER ALL ROCK AREAS.
19. WOOD MULCH: CORN LA HAIR CEDAR WOOD MULCH SHALL BE USED IN SHRUB BEDS AS INDICATED ON PLAN.
20. ALL LANDSCAPE BOULDERS SHOWN ON PLAN ARE TO BE 10+ CUBIC FEET MINIMUM. ROCK BOULDERS UNLESS OTHERWISE SPECIFIED.
21. AN IRRIGATION PLAN, WITH APPLICABLE SUPPORT MATERIAL, MAY BE SUBMITTED AT TIME OF BUILDING PERMIT APPLICATION. REVIEW AND APPROVAL OF THESE PLANS SHALL OCCUR THIRTY (30) DAYS SUBSEQUENT TO BUILDING PERMIT ISSUANCE OR PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY, WHICHEVER OCCURS FIRST. UPON REQUEST BY THE APPLICANT, AN IRRIGATION PLAN, WITH APPLICABLE SUPPORT MATERIAL, SHALL BE SUBMITTED NINETY (90) DAYS SUBSEQUENT TO BUILDING PERMIT ISSUANCE AND APPROVED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
22. INSPECTION AND APPROVAL - NOTIFICATION FOR IRRIGATION INSPECTION AFFIDAVIT SHALL BE GIVEN DURING CONSTRUCTION WHILE TRENCH IS OPEN AND AFTER COMPLETION OF SYSTEM INSTALLATION PRIOR TO SEEDING OR SODDING. THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO CLIENT SEEKING CERTIFICATE OF OCCUPANCY FOR FINAL LANDSCAPE INSPECTION AFFIDAVIT.
23. ANY FIELD CHANGES OR DEVIATIONS TO THESE PLANS WITHOUT PRIOR CITY APPROVAL OF AN AMENDED DEVELOPMENT PLAN MAY RESULT IN A DELAY OF FINAL APPROVAL AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
24. THESE PLANS ARE FOR CITY APPROVALS ONLY AND ARE NOT TO BE UTILIZED FOR CONSTRUCTION.

STANDARD CITY OF COLORADO SPRINGS LANDSCAPE NOTES

- A FINAL LANDSCAPE AND IRRIGATION PLAN, WITH APPLICABLE SUPPORTING MATERIAL, SHALL BE SUBMITTED AT TIME OF BUILDING PERMIT APPLICATION AND SHALL BE APPROVED BEFORE ANY BUILDING PERMIT APPROVAL. ANY LANDSCAPING OR IRRIGATION CONSTRUCTION, AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- ALL PROPOSED LANDSCAPING SHALL BE WATERED BY AN AUTOMATIC IRRIGATION SYSTEM WHICH WILL PROVIDE DRIP IRRIGATION TO ALL SHRUB BEDS AND TREES WITHIN NATIVE SEED AREAS AND SPRAY IRRIGATION TO ALL HIGH-WATER USE TURF AND NATIVE SEED AREAS.
- THE OWNER OR DEVELOPER IS REQUIRED TO PROVIDE INSPECTION AFFIDAVITS EXECUTED BY THE COLORADO LICENSED LANDSCAPE ARCHITECT OR CERTIFIED IRRIGATION DESIGNER OF RECORD FOR THE PROJECT, WHICH CERTIFIES THAT THE PROJECT WAS INSTALLED AND IS IN COMPLIANCE WITH THE APPROVED FINAL LANDSCAPE AND IRRIGATION PLAN ON FILE IN CITY PLANNING. THIS SHOULD REQUIRE LIMITED CONSTRUCTION OBSERVATION VISITS TO ACCURATELY COMPLETE THE AFFIDAVITS. WHEN READY TO CALL FOR INSPECTION AND SUBMIT AFFIDAVITS, FIRST CONTACT THE CITY PLANNER OF RECORD FOR THE PROJECT (719-385-5905) AND AS NECESSARY OUR DRE OFFICE (719-385-5982).
- COPIES OF RECEIPTS/DELIVERY TICKETS FOR SOIL AMENDMENTS INSTALLED ON THE PROJECT ARE REQUIRED TO BE PROVIDED WITH THE INSPECTION AFFIDAVITS.
- IF SOIL IN THE PARKING LOT HAS BEEN COMPACTED BY GRADING OPERATIONS, THE SOIL WITHIN THE PLANTER SHALL BE TILLED, OR REMOVED TO A DEPTH OF THIRTY (30) INCHES AND REPLACED WITH AN ACCEPTABLE GROWING MEDIUM FOR THE SPECIES BEING INSTALLED.
- TILLING OF THE EXISTING SOIL TO INCORPORATE AMENDMENTS AND COUNTER ANY COMPACTION OR SOIL CONSOLIDATION SHALL BE REQUIRED FOR ALL LANDSCAPE PLANTING AREAS.
- TREES SHALL MAINTAIN A 15-FOOT MINIMUM SEPARATION FROM WATER AND WASTEWATER MAINS AND A 6-FOOT MINIMUM SEPARATION FROM ELECTRIC AND GAS DISTRIBUTION LINES.

LANDSCAPE REQUIREMENTS

Landscape Setbacks

See Code Section/Policy 7.4.905

Street Name or Zone Boundary	Street Classification	Width (in Ft.) Req./Prov.	Linear Footage	Tree/Foot Required	No. of Trees Req./Prov.
N Carefree Cir	Principal Arterial	25 / 25	512'	1 / 20'	26 / 13
Peterson Rd	Minor Arterial	20 / 20	512'	1 / 25'	21 / 12
Pony Tracks Dr	Collector	10 / 10	512'	1 / 30'	17 / 17
Shrub Substitutes Required / Provided	Ornamental Grass Sub. Required / Provided	Setback Plant Abbr. Denoted on Plan	Percent Ground Plane Required / Provided		
130 / per flp	x/x	NC	75% / 75%		
90 / per flp	x/x	PR	75% / 75%		
0 / per flp	x/x	PT	75% / 75%		

Motor Vehicle Lots

See Code Section/Policy 7.4.907

No. of Vehicles Spaces Provided	Shade Trees (1/15 spaces) Required/Provided	Plant Abbr. on Plan	Length of Screening of Frontage (ft.)	Min. 3' Screening Plants Req. /Prov.	Evergreen Plants Req. (50%) / Prov.	Percent Ground Plane Veg. Req. / Prov.
249	17 / 17	MV				
*Alternative Adjustment: 1 Motor Vehicle Tree was relocated to the north buffer to avoid conflict with utility lines in the north drive aisle						
2/3 Length of Frontage (ft.)	Wall or Berm Provided	N				
--	--	-- / --	-- / --	75% / 75%		
--	--	-- / --	-- / --	75% / 75%		

Landscape Buffer & Screens

See Code Section/Policy 7.4.906

Street Name or Property Line	Width (in Ft.) Req. / Prov.	Linear Footage	Length of 8' Opaque Structure Req./Prov.
North Buffer	15' / 15'	554.84'	445' / 445'
Buffer Trees (1/20') Required/Provided	Evergreen Trees Req. (50%) /Prov.	Buffer Tree Abbr. Denoted on Plan	Percent Ground Plane Veg. Req. / Prov.
28 / 44	14 / 40	N	75% / 100%

*An alternative buffer is required in the northwest corner of the site due to an existing utility and stormwater easement. An increase in shrubs will be provided in this area where a screening wall cannot be provided due to the stormwater line.

Green Space/Internal Landscaping

See Code Section/Policy 7.4.908

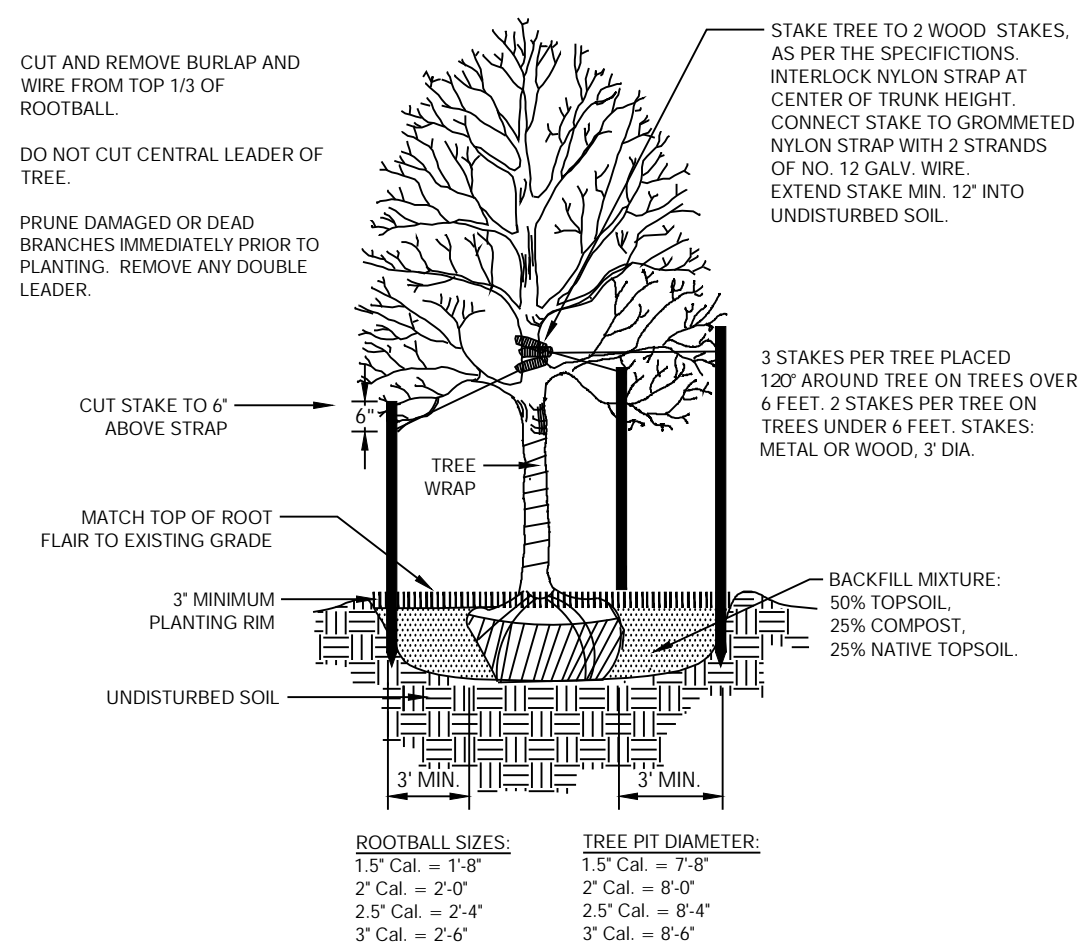
Net Site Area (SF)	Percent Minimum Green Space Area (%)	Green Space Area (SF) Required/Provided	Active Green Space Area (SF) Required/Provided	Non-Active Green Space Area (SF) Required/Provided
262,965	15%	39,445 / 40,080	26,297 / 26,884	13,148 / 13,196
Internal Trees (1/500 SF) Required/Provided	Shrub Substitutes Required/Provided	Ornamental Grass Substitutes Required/Provided	Internal Plant Abbr. Denoted on Plan	
91 / 51	390 / FLP	0 / 0	IN	

PLANT SCHEDULE

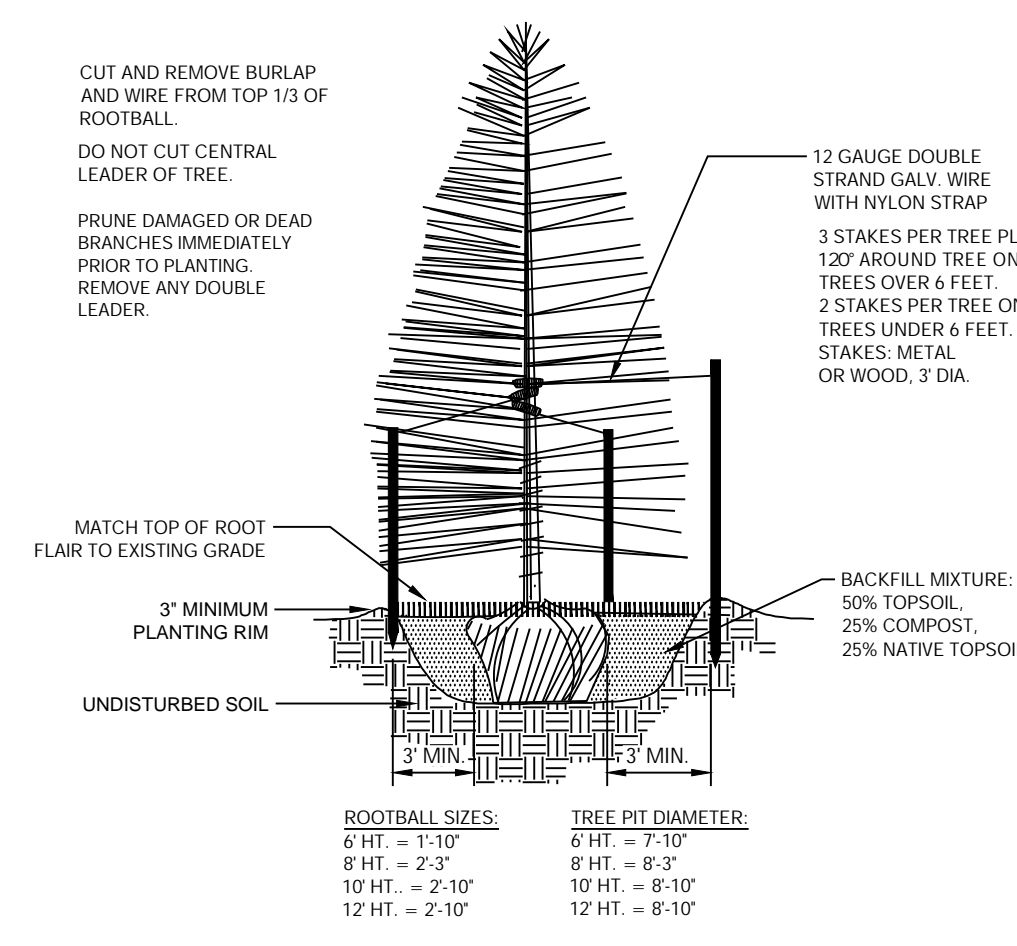
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH	SIZE	COND	CODE REQS
DECIDUOUS TREES								
	Af	5	Acer x freemantli 'Jeffersred' / Autumn Blaze® Freeman Maple	50'	25'	8' HT	B&B	Park/ROW
	Ct	5	Corylus colurna / Turkish Filbert	30'	20'	8' HT	B&B	Park/ROW/Median
	Qs	20	Quercus robur 'Fastigiata' / Skyrocket® English Oak	50'	15'	8' HT	B&B	Park/ROW/Median
	Tc	5	Tilia cordata / Littleleaf Linden	30'	20'	8' HT	B&B	ROW
EVERGREEN TREES								
	Jm	41	Juniperus monosperma / One-seed Juniper	15'	10'	8' HT	B&B	Screen/Wall/Trash
	Jo	21	Juniperus virginiana / Eastern Redcedar	20'	18'	8' HT	B&B	Screen/Wall/Trash
	Ph	11	Pinus heldreichii / Bosnian Pine	25'	15'	8' HT	B&B	Screen/Wall/Trash
ORNAMENTAL TREES								
	Ac	18	Amelanchier canadensis / Canadian Serviceberry	15'	15'	8' HT	B&B	STREAM
	Cc	10	Cercis canadensis / Eastern Redbud	20'	20'	8' HT	B&B	ROW
	Pc	18	Pyrus calleryana / Callery Pear	15'	15'	8' HT	B&B	ROW
EVERGREEN SHRUBS								
	Eo	17	Ephedra equisetina / Bluestem Joint Fir	4'	8"	5 GAL	CONT	Wall/Screen/Trash
	Jb	23	Juniperus scopulorum 'Blue Arrow' / Blue Arrow Juniper	12'	2.5'	5 GAL	CONT	Wall/Screen/Trash

GROUND COVER LEGEND

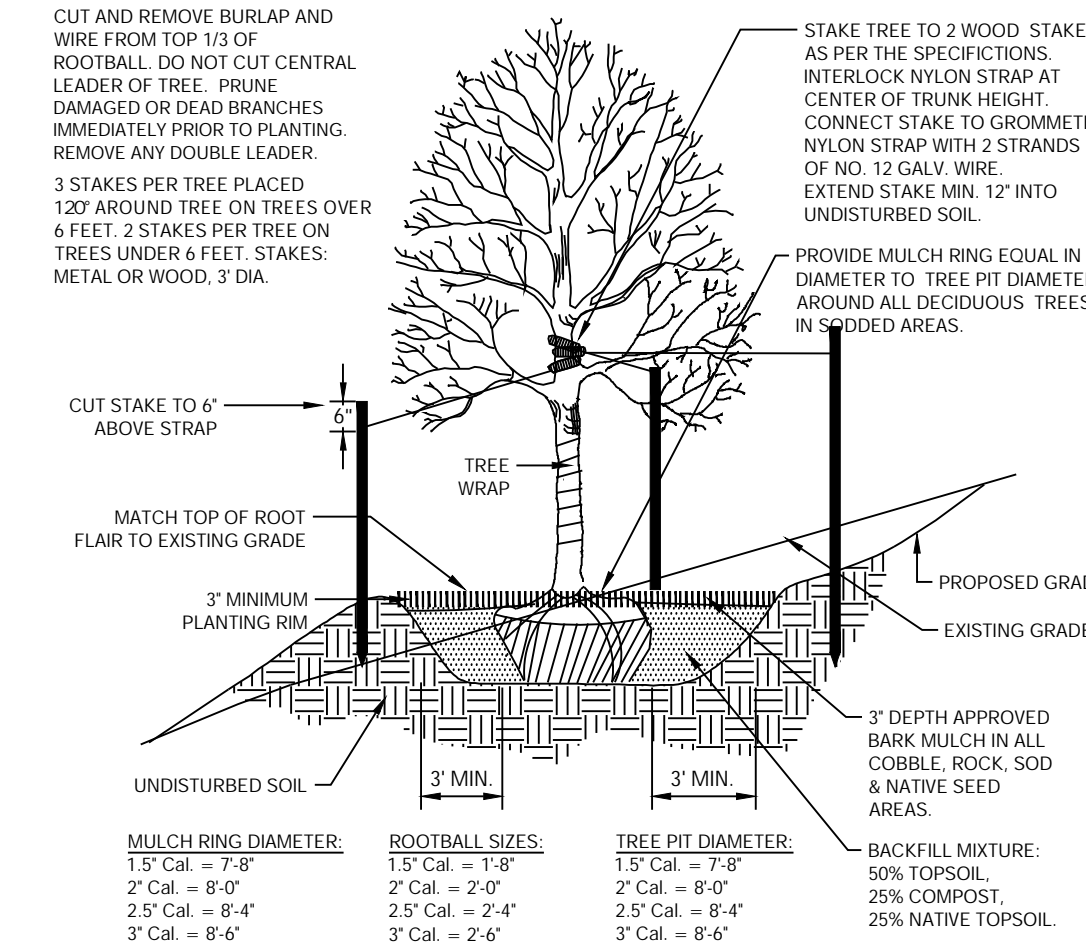
	SOD Kentucky Bluegrass Blend	4,119 sf
	SHRUB BED Cedar Mulch	8,101 sf
	ROCK COBBLE 1 1/2" Black Granite	44,818 sf
	NATIVE SEED MIX ET Paso County Low Grow Seed Mix	50,664 sf
	ARTIFICIAL TURF	2,696 sf
	BREEZE Cimarron Breeze	2,243 sf
	GREEN INFRASTRUCTURE AREA Planned Infiltration Area (PIA)	



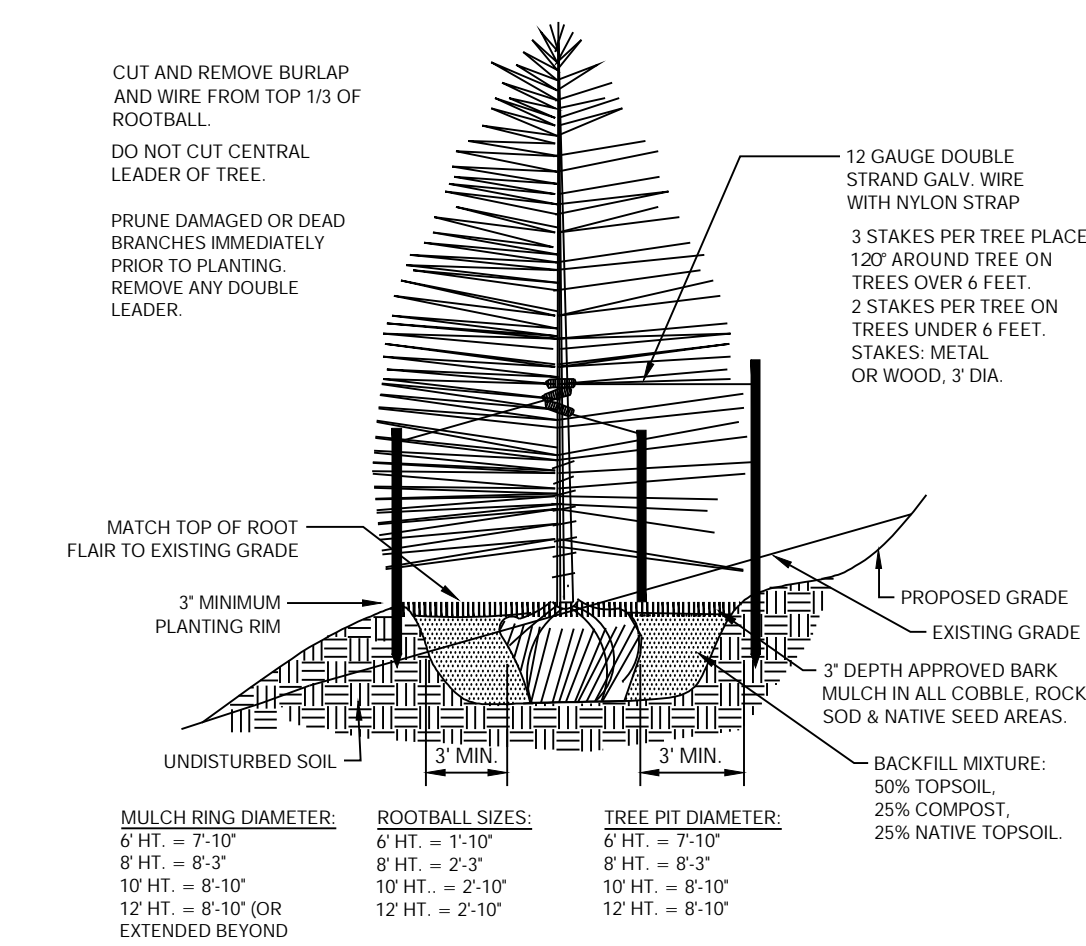
1 DECIDUOUS TREE PLANTING DETAIL
N.T.S. P-WA-20



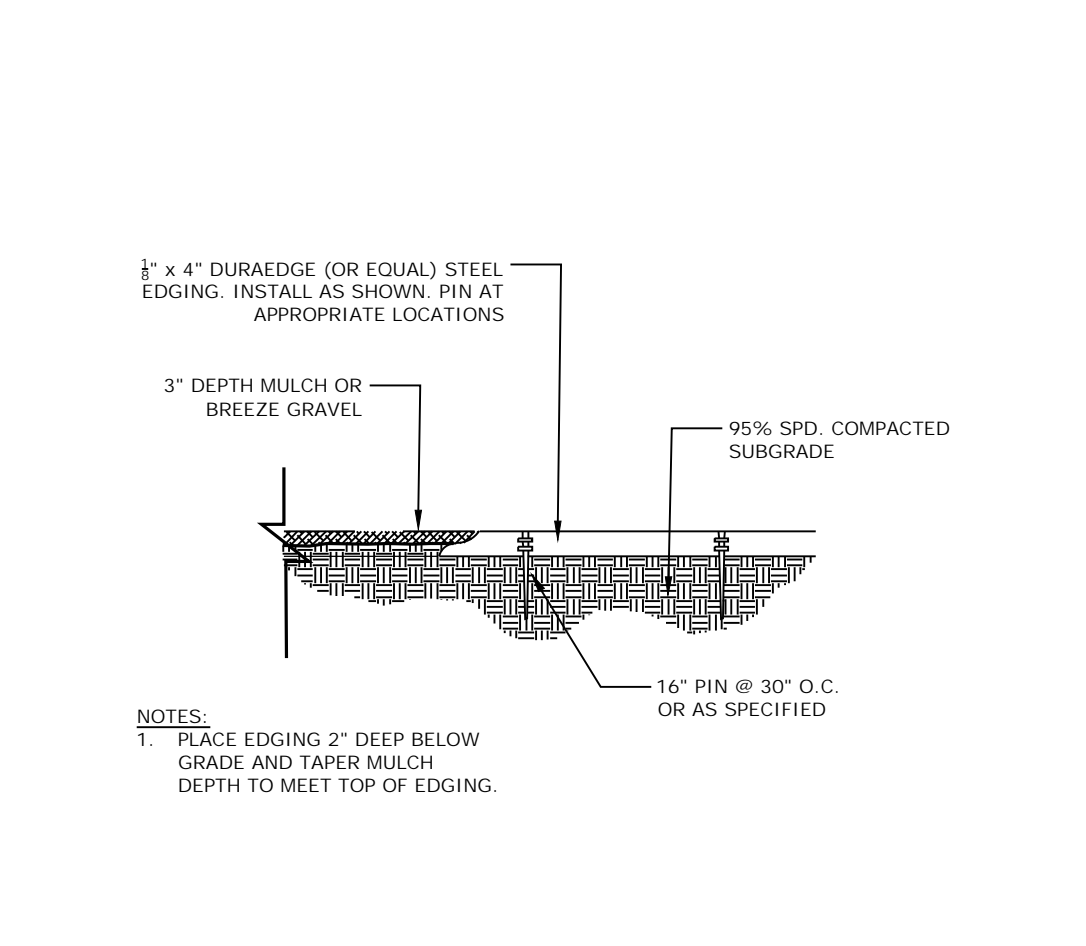
2 CONIFEROUS TREE PLANTING DETAIL
N.T.S. P-WA-21



3 DECIDUOUS TREE PLACEMENT ON SLOPE
N.T.S. 32943-05



4 CONIFEROUS TREE PLACEMENT ON SLOPE
N.T.S. 32943-06



5 STEEL EDGING
N.T.S. 32943-09



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PLANNING / LANDSCAPE ARCHITECT

IN ASSOCIATION WITH

FLATS AT SAND CREEK

COLORADO SPRINGS

PROJECT INFO

DATE: 11.22.2024
PROJECT MGR: B.SWENSON
PREPARED BY: Y.LIU

STAMP



Land Use Review
Approved
02-24-2025
2:08:52 PM
Austin Cooper

ISSUE INFO

DATE	BY	DESCRIPTION
10.22.24	YL	PER CITY COMMENTS
11.25.24	YL	PER CITY COMMENTS
12.26.24	YL	PER CITY COMMENTS
01.21.25	YL	PER CITY COMMENTS
02.13.25	YL	PER CITY COMMENTS

ISSUE / REVISION

SHEET TITLE

SHEET NUMBER

PLAN FILE 7

Preliminary Landscape Details & Notes

4

4 OF 14

DEPN-24-0133



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FLATS AT SAND CREEK

COLORADO SPRINGS

DATE: 11.22.2024
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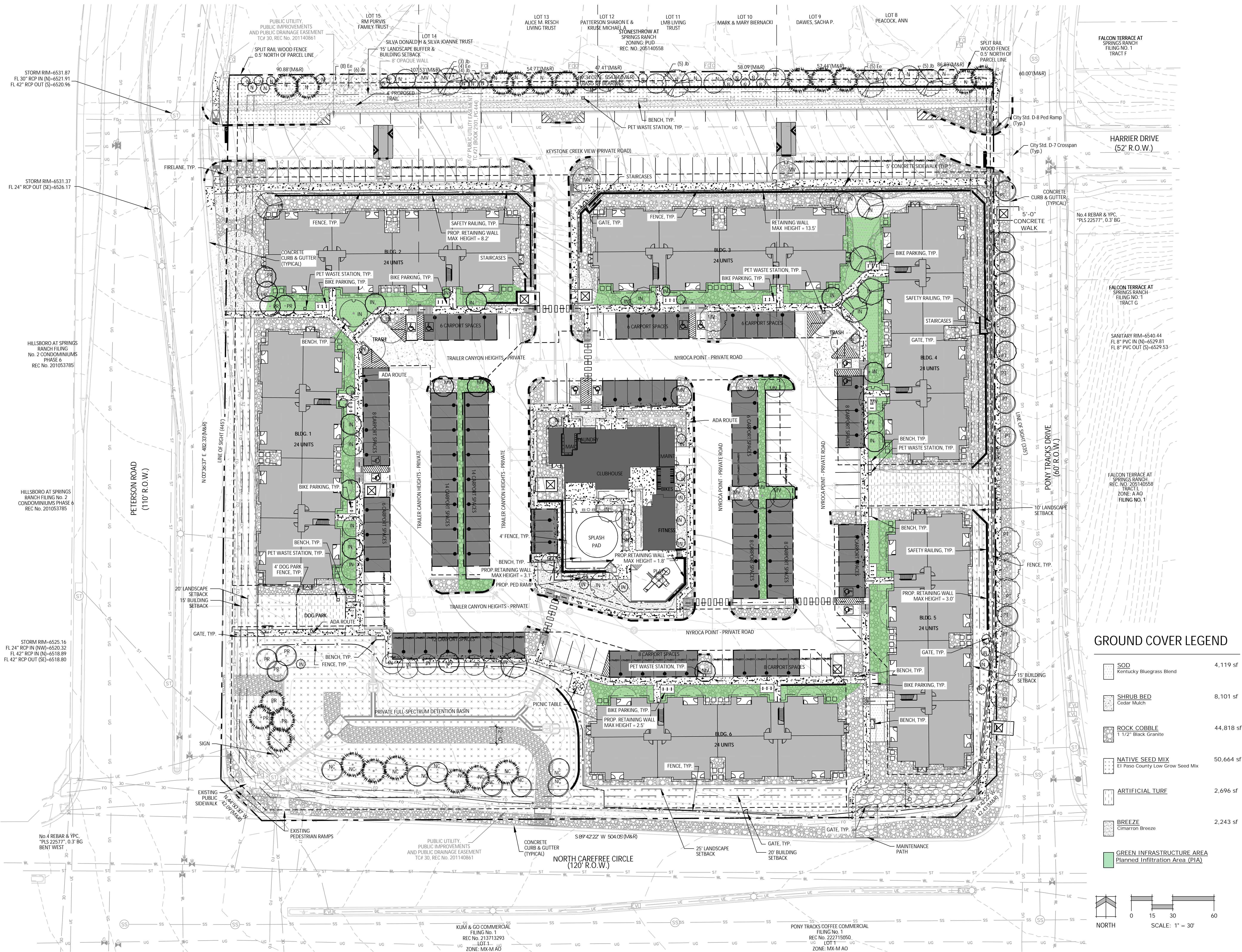
PRELIMINARY LANDSCAPE PLAN

DATE	BY	DESCRIPTION
10.22.24	YL	PER CITY COMMENTS
11.25.24	YL	PER CITY COMMENTS
12.26.24	YL	PER CITY COMMENTS
01.21.25	YL	PER CITY COMMENTS
02.13.25	YL	PER CITY COMMENTS

PRELIMINARY LANDSCAPE PLAN

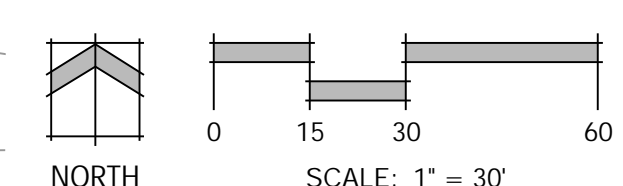
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DEPN-24-0133



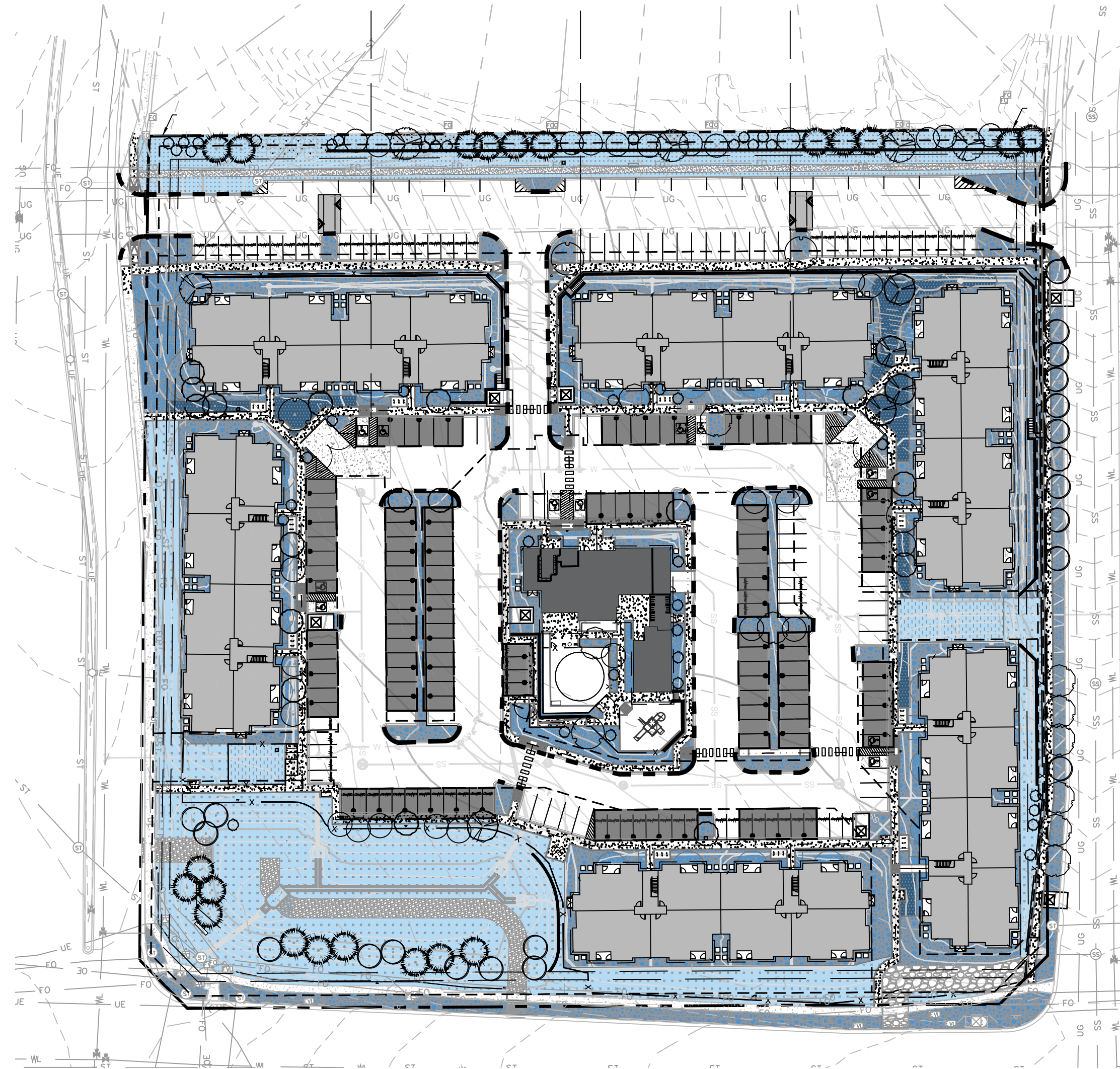
GROUND COVER LEGEND

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	SHRUB BED Cedar Mulch	8,101 sf
	ROCK COBBLE 1 1/2" Black Granite	44,818 sf
	NATIVE SEED MIX El Paso County Low Grow Seed Mix	50,664 sf
	ARTIFICIAL TURF	2,696 sf
	BREEZE Cimarron Breeze	2,243 sf
	GREEN INFRASTRUCTURE AREA Planned Infiltration Area (PIA)	



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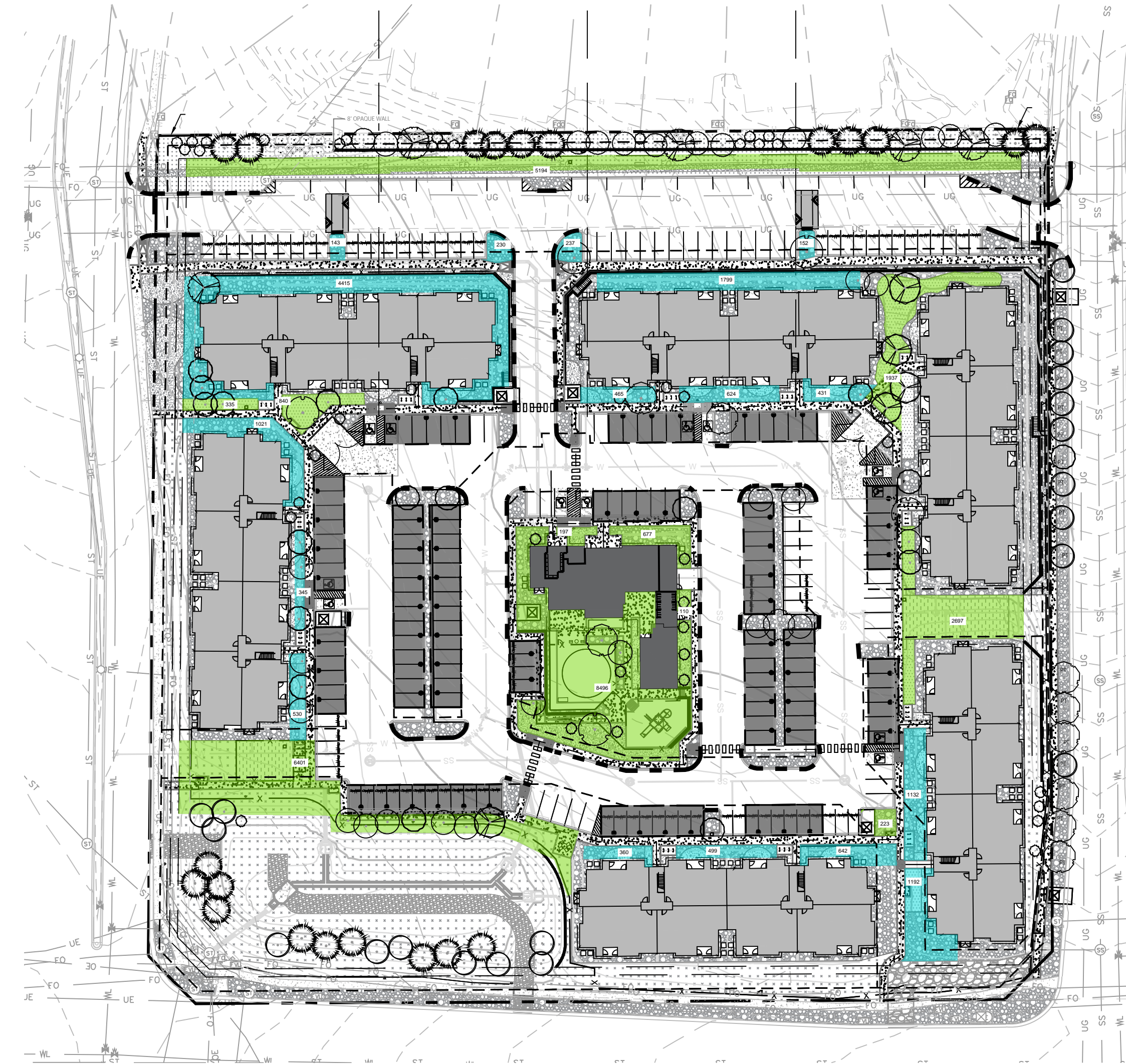
HYDROZONE DIAGRAM



HYDROZONES

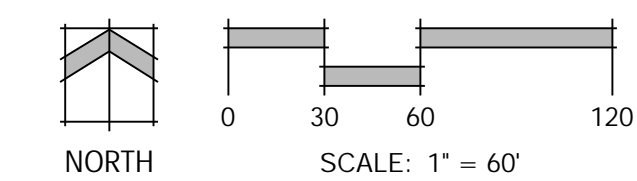
HIGH WATER USE (H) -	4%/4,119 sf	SOD	4,119 sf
MEDIUM WATER USE (M) -	48%/52,919 sf	Kentucky Bluegrass Blend	
LOW WATER USE (L) -	48%/53,360 sf	SHRUB BED	8,101 sf
		Cedar Mulch	
		ROCK COBBLE	44,818 sf
		1 1/2" Black Granite	
		NATIVE SEED MIX	50,664 sf
		El Paso County Low Grow Seed Mix	
		ARTIFICIAL TURF	2,696 sf
TOTAL AREA OF WATER USE -	110,398 sf	BREEZE	2,280 sf
		Cimarron Breeze	

OPEN SPACE DIAGRAM



GREEN SPACE

	REQUIRED	PROVIDED
ACTIVE GREEN SPACE -	26,297 sf (10%)	26,884 sf (10%)
NON-ACTIVE GREEN SPACE -	13,148 sf (5%)	13,196 sf (5%)



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Approved
02-24-2025
2:08:52 PM
Austin Cooper

PRELIMINARY LANDSCAPE PLAN

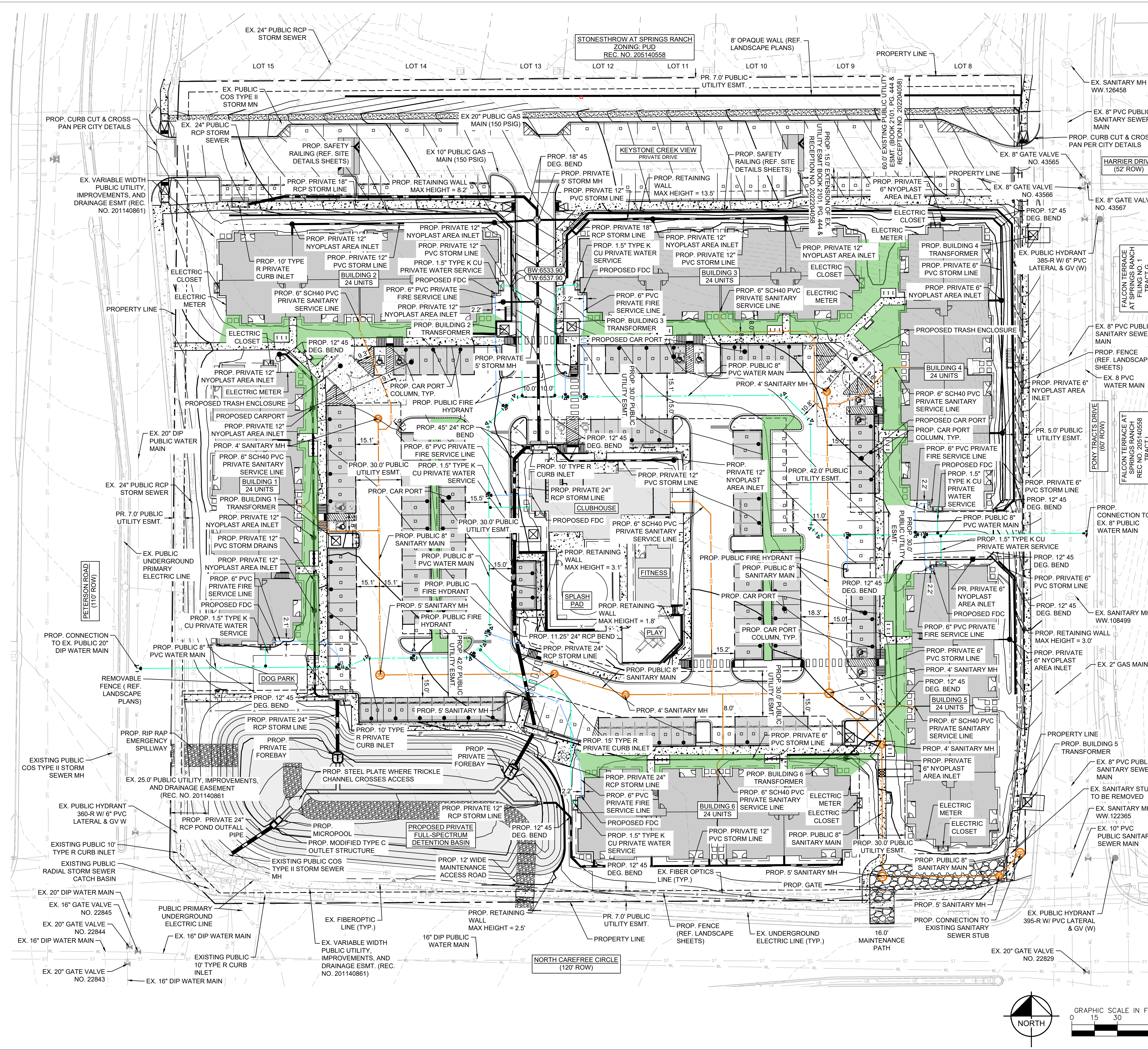
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LANDSCAPE DIAGRAMS

6

6 OF 14

DEPN-24-0133



LEGEND

- PROPERTY LINE
- PARCEL LINE
- EASEMENT LINE
- PROPOSED WATER LINE AND VALVE
- PROPOSED FIRE SERVICE LINE
- PROPOSED SANITARY SEWER LINE
- PROPOSED STORM LINE
- EXISTING UNDERGROUND GAS LINE
- EXISTING UNDERGROUND FIBER OPTICS LINE
- EXISTING UNDERGROUND ELECTRIC LINE
- EXISTING SANITARY SEWER LINE & MH
- EXISTING WATER LINE
- EXISTING STORM LINE & MH
- PLANNED INFILTRATION AREAS (PIA)

PRELIMINARY UTILITY NOTES

- PROPERTY OWNER(S) ACKNOWLEDGE AND AGREE TO THE FOLLOWING UPON APPROVAL OF PRELIMINARY UTILITY PLAN:
- COLORADO SPRINGS UTILITIES (SPRINGS UTILITIES) SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION OF ALL WATER, WASTEWATER, ELECTRIC AND GAS FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THIS PRELIMINARY UTILITY PLAN.
 - PROPERTY OWNER(S) ("OWNER") ACKNOWLEDGES THAT THE CONNECTION AND/OR EXTENSION OF UTILITY SERVICES TO THE PROPERTY IDENTIFIED IN THIS PRELIMINARY UTILITY PLAN ("PROPERTY") SHALL BE IN ACCORD WITH ALL APPLICABLE CODES AND REGULATIONS, SPRINGS UTILITIES LINE EXTENSION & SERVICE STANDARDS ("STANDARDS"), TARIFFS, COLORADO SPRINGS CITY CODE, RESOLUTIONS, AND POLICIES, AND PIKES PEAK REGIONAL BUILDING DEPARTMENT CODES, IN EFFECT AT THE TIME OF UTILITY SERVICE CONNECTION AND/OR EXTENSION.
 - OWNER ACKNOWLEDGES RESPONSIBILITY FOR THE COSTS OF EXTENSIONS OR UTILITY SYSTEM IMPROVEMENTS THAT SPRINGS UTILITIES DETERMINES NECESSARY TO PROVIDE UTILITY SERVICES TO THE PROPERTY OR TO ENSURE THE PROPER DEVELOPMENT OF INTEGRATED UTILITY SYSTEMS SERVING THE PROPERTY AND AREAS OUTSIDE THE PROPERTY (INCLUDING THE COSTS TO DESIGN AND INSTALL WATER SYSTEMS, WASTEWATER COLLECTION SYSTEMS, AND ANY GAS OR ELECTRIC LINES TO AND WITHIN THE PROPERTY). OWNER MAY BE ELIGIBLE FOR A COST RECOVERY AGREEMENT AS PROVIDED IN UTILITIES' RULES AND REGULATIONS.
 - SPRINGS UTILITIES UTILITY SERVICES ARE AVAILABLE ON A "FIRST-COME, FIRST-SERVED" BASIS, AND THEREFORE NO SPECIFIC ALLOCATIONS OR AMOUNTS OF UTILITY SERVICES, FACILITIES, CAPACITIES OR SUPPLIES ARE RESERVED FOR THE OWNER, AND SPRINGS UTILITIES MAKES NO COMMITMENT AS TO THE AVAILABILITY OF ANY UTILITY SERVICE UNTIL SUCH TIME AS AN APPLICATION FOR PERMANENT SERVICE IS APPROVED BY SPRINGS UTILITIES.
 - THE RELOCATION OR ALTERATION OF ANY EXISTING UTILITY FACILITIES WITHIN THE PROPERTY WILL BE AT THE OWNER'S SOLE COST AND EXPENSE. IF SPRINGS UTILITIES DETERMINES THAT OWNER'S RELOCATION OR ALTERATION REQUIRES NEW OR UPDATED EASEMENTS, OWNER SHALL CONVEY THOSE EASEMENTS PRIOR TO RELOCATING OR ALTERING THE EXISTING UTILITY FACILITIES.
 - OWNER SHALL DEDICATE BY PLAT AND/OR CONVEY BY RECORDED DOCUMENT, ALL PROPERTY AND EASEMENTS THAT SPRINGS UTILITIES DETERMINES ARE REQUIRED FOR ALL UTILITY SYSTEM FACILITIES NECESSARY TO SERVE THE PROPERTY OR TO ENSURE DEVELOPMENT OF AN INTEGRATED UTILITY SYSTEM. ALL EASEMENTS GRANTED BY SEPARATE INSTRUMENT SHALL UTILIZE SPRINGS UTILITIES' THEN-CURRENT PERMANENT EASEMENT AGREEMENT FORM.
 - THE WATER SYSTEM FACILITIES MUST MEET SPRINGS UTILITIES CRITERIA FOR WATER QUALITY, RELIABILITY AND PRESSURE, INCLUDING LOOPING REQUIREMENTS (SEE SPRINGS UTILITIES LINE EXTENSION AND SERVICE STANDARDS).
 - OWNER MUST CONTACT SPRINGS UTILITIES FIELD ENGINEERING TO DETERMINE THE LOCATION OF ALL NATURAL GAS AND ELECTRIC METERS AND TRANSFORMERS AND TO SECURE APPROVAL OF GAS-SERVICE-LINE PRESSURES IN EXCESS OF SPRINGS UTILITIES STANDARD GAS SYSTEM PRESSURE. (CONTACT FIELD ENGINEERING NORTH 668-4985 OR SOUTH 668-5564).
 - IT SHALL NOT BE PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH WITHIN ANY SPRINGS UTILITIES EASEMENT OR RIGHTS OF WAY WITHOUT THE WRITTEN APPROVAL OF SPRINGS UTILITIES. IMPROVEMENTS, STRUCTURES AND TREES SHALL NOT BE LOCATED WITHIN UTILITY EASEMENT, SHALL NOT VIOLATE NATIONAL ELECTRIC SAFETY CODE (NECC) PROVISIONS AND CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.
 - SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF SPRINGS UTILITIES TO APPLY ITS STANDARDS AND IF THERE ARE ANY CONFLICTS BETWEEN ANY APPROVED DRAWINGS AND ANY PROVISION OF STANDARDS OR THE CITY CODE, THEN THE STANDARDS OR CITY CODE SHALL APPLY. SPRINGS UTILITIES' APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF THE CITY OF COLORADO SPRINGS OR SPRINGS UTILITIES TO ADOPT DIFFERENT ORDINANCES, RULES, REGULATIONS, RESOLUTIONS, POLICIES OR CODES WHICH CHANGE ANY OF THE PROVISIONS OF THE STANDARDS SO LONG AS THESE APPLY TO THE CITY GENERALLY AND ARE IN ACCORD WITH THE THEN-CURRENT TARIFFS, RATES AND POLICIES OF SPRINGS UTILITIES.

GENERAL NOTES

- NOTE THAT THE LAYOUT FOR DRY UTILITIES IS PRELIMINARY AND FOR CONCEPTUAL USE ONLY. COLORADO SPRINGS UTILITIES SHALL DESIGN ALL DRY UTILITY CONNECTIONS TO THE PROPOSED METER LOCATIONS.
- UTILITY CLEARANCES BETWEEN STORM SEWERS AND WATER MAINS AND CONNECTIONS MUST MAINTAIN A VERTICAL SEPARATION OF AT LEAST 18" FIRE LINES SHOULD ENTER THE BUILDING PERPENDICULAR TO THE OUTSIDE WALL WHENEVER POSSIBLE, AND SHOULD NEVER BE UNDERGROUND FOR MORE THAN 3 FEET INSIDE THE BUILDING.
- ALL PRIVATE TO PUBLIC STORM SEWER CONNECTIONS MUST BE INSPECTED BY ENGINEERING DEVELOPMENT REVIEW INSPECTOR.
- CONTRACTOR SHALL VERIFY LOCATION AND ALIGNMENT OF EXISTING UNDERGROUND FIBER OPTIC AND COAX LINES ALONG NORTH SIDE OF THE SITE PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER OF RECORD IF DISCREPANCIES EXIST.
- A MINIMUM OF 3-FOOT CLEARANCE AROUND THE CIRCUMFERENCE OF ALL FIRE HYDRANTS WILL BE KEPT CLEAR OF ANY PHYSICAL OR VISUAL OBSTRUCTIONS TO THE HYDRANT.

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2 NORTH NEVADA AVENUE, SUITE 900
COLORADO SPRINGS, COLORADO 80903 (719) 453-0180

FLATS AT SAND CREEK

COLORADO SPRINGS

DATE: 11.27.2024
PROJECT MGR: NMB
PREPARED BY: MEL

Land Use Review
Approved
02-24-2025
2:08:52 PM
Austin Cooper

DEVELOPMENT PLAN		
DATE:	BY:	DESCRIPTION:

PRELIMINARY UTILITY & PUBLIC FACILITIES PLAN

7 OF 14

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STONETHROW AT SPRINGS RANCH
ZONING: PUD
REC. NO. 205140558

8" OPAQUE WALL (REF. LANDSCAPE PLANS)

LEGEND

	PROPERTY LINE
	PARCEL LINE
	EASEMENT LINE
	EXISTING UNDERGROUND GAS LINE
	EXISTING UNDERGROUND FIBER OPTICS LINE
	EXISTING UNDERGROUND ELECTRIC LINE
	EXISTING SANITARY SEWER LINE & MH
	EXISTING WATER LINE
	EXISTING STORM LINE & MH
	PROPOSED STORM LINE
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED ACCESSIBLE ROUTE
	FINISH FLOOR ELEVATION
	TOP OF WALL
	BOTTOM OF WALL
	LOW POINT
	PLANNED INFILTRATION AREAS (PIA)

KEYNOTE LEGEND

- ① PROPOSED STAIRS WITH 7" RISERS & RAILING (NUMBER PER PLAN)
- ② PROPOSED RAMPS (TYPE PER SITE PLAN)
- ③ PROPOSED V-SHAPED GRASS LINE SWALE
- ④ PROPOSED TYPE 2 CURB & GUTTER
- ⑤ PROPOSED FLUSH CURB
- ⑥ PROPOSED TYPE 5 CURB & GUTTER (MOUNTABLE) WITH TRANSITION
- ⑦ PROPOSED PRIVATE 12" PVC STORM LINE ROOF DRAIN
- ⑧ PROPOSED 45 DEGREE BEND IN PRIVATE STORM LINE
- ⑨ PROPOSED PRIVATE AREA INLET

GENERAL NOTES

- DETAILED GRADING SHALL BE PER THE APPROVED CIVIL CONSTRUCTION DOCUMENTS.
- ALL GRADING SHALL BE PER CITY OF COLORADO SPRINGS STANDARD DETAILS AND SPECIFICATIONS.
- THE PRIVATE RETAINING WALL SYSTEM SHALL BE DESIGNED BY A COLORADO REGISTERED PROFESSIONAL ENGINEER AND THE RESPONSIBILITY OF THE CONSTRUCTION AND MAINTENANCE LIES WITH THE DEVELOPER AND PROPERTY OWNER. THE CITY OF COLORADO SPRINGS HAS NOT REVIEWED OR APPROVED THE DESIGN, AND THE OWNER(S) HEREBY RELEASES AND FOREVER DISCHARGES, AND AGREES TO INDEMNIFY, DEFEND AND HOLD HARMLESS, THE CITY OF COLORADO SPRINGS, ITS OFFICERS, EMPLOYEES, ADMINISTRATORS, REPRESENTATIVES, AGENTS, SUCCESSORS AND ASSIGNS, FROM ANY AND ALL DAMAGES, INJURIES OR ACCIDENTS WHICH MIGHT ARISE FROM THE RETAINING WALL SYSTEM OR THE PROJECT AFTER ISSUANCE OF A BUILDING PERMIT.
- DUE TO THE CLOSE PROXIMITY OF THE RETAINING WALL TO PUBLIC RIGHT-OF-WAY (ROW) AND THE POTENTIAL OF POSSIBLE DAMAGE TO INFRASTRUCTURE OR PERSONNEL INJURY, THE PROPERTY OWNER, DEVELOPER OR ENTITY RESPONSIBLE FOR MAINTAINING THE RETAINING WALL, WILL BE REQUIRED TO ENTER INTO A RETAINING WALL MAINTENANCE AGREEMENT PRIOR TO A FINAL INSPECTION ACCEPTANCE FROM CITY ENGINEERING IS ISSUED FOR THE RETAINING WALL.



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FLATS AT SAND CREEK

COLORADO SPRINGS

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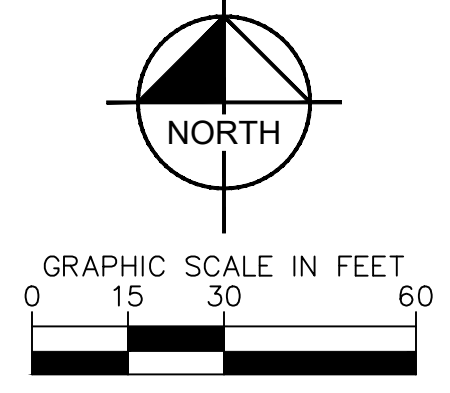
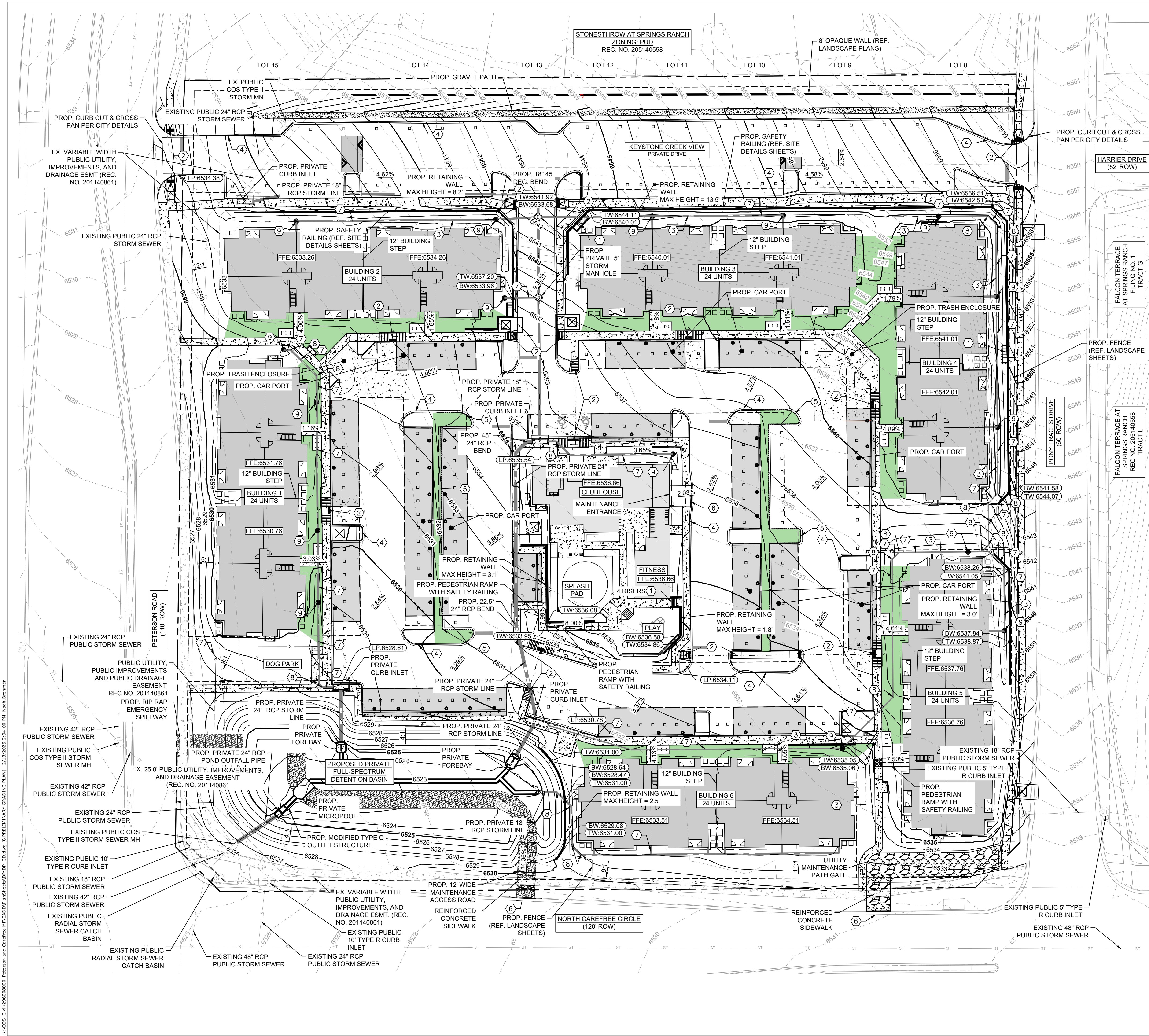
COLORADO SPRINGS
OLYMPIC CITY USA
Land Use Review
Approved
02-24-2025
2:08:52 PM
Austin Cooper

DEVELOPMENT PLAN

DATE:	BY:	DESCRIPTION:

PRELIMINARY GRADING PLAN

8
8 OF 14



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ELEVATIONS AT APARTMENT BUILDING NOS. 1, 3 & 5



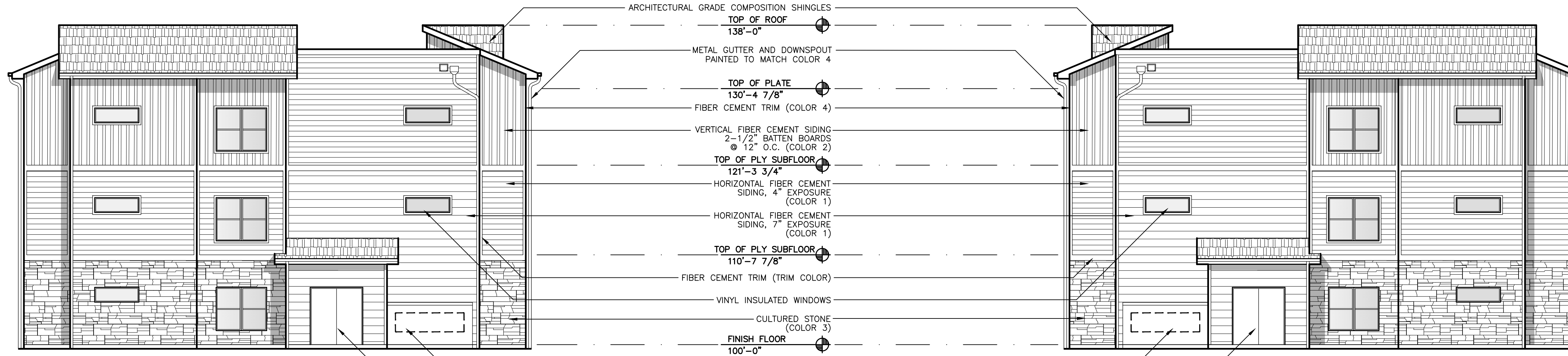
1 FRONT ELEVATION
 SCALE: 1/8"=1'-0"

DIRECTION OF 12" TYP. STEP VARIES BETWEEN BUILDINGS



2 REAR ELEVATION
 SCALE: 1/8"=1'-0"

DIRECTION OF 12" TYP. STEP VARIES BETWEEN BUILDINGS



3 LEFT SIDE ELEVATION
 SCALE: 1/8"=1'-0"

4 RIGHT SIDE ELEVATION
 SCALE: 1/8"=1'-0"

THIS PROJECT IS BEING DESIGNED TO REQUIRE ONLY ELECTRIC SERVICES FOR POWER (NOT GAS), HOWEVER, IF GAS METERS ARE INSTALLED, GAS METERS MUST BE A MINIMUM OF 3- FEET FROM DOORS, OPERABLE WINDOWS, OR ANY VENTS OR OPENINGS IN WALLS.

EIFS NOTE:
 EIFS IS NOT BEING PROPOSED AS AN EXTERIOR FINISH MATERIAL IN THIS PROJECT AND THEREFORE ELEVATIONS COMPLY WITH THE REQUIREMENTS OF UDC 7.4.1104-C.2.

FIRE SPRINKLER NOTE:
 DUE TO THE SINGLE POINT OF ACCESS, APARTMENT BUILDINGS AND CLUBHOUSE/FITNESS WILL BE FIRE SPRINKLERED PER THE EXCEPTION TO IFC D106.1.

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FLATS AT SAND CREEK

COLORADO SPRINGS

PROJECT INFO
 DATE: 8.20.24
 PROJECT MGR: B.SWENSON
 PREPARED BY: C.HELMLINGER

Land Use Review
 Approved
 02-24-2025
 2:08:52 PM
 Austin Cooper

DEVELOPMENT PLAN

DATE:	BY:	DESCRIPTION:

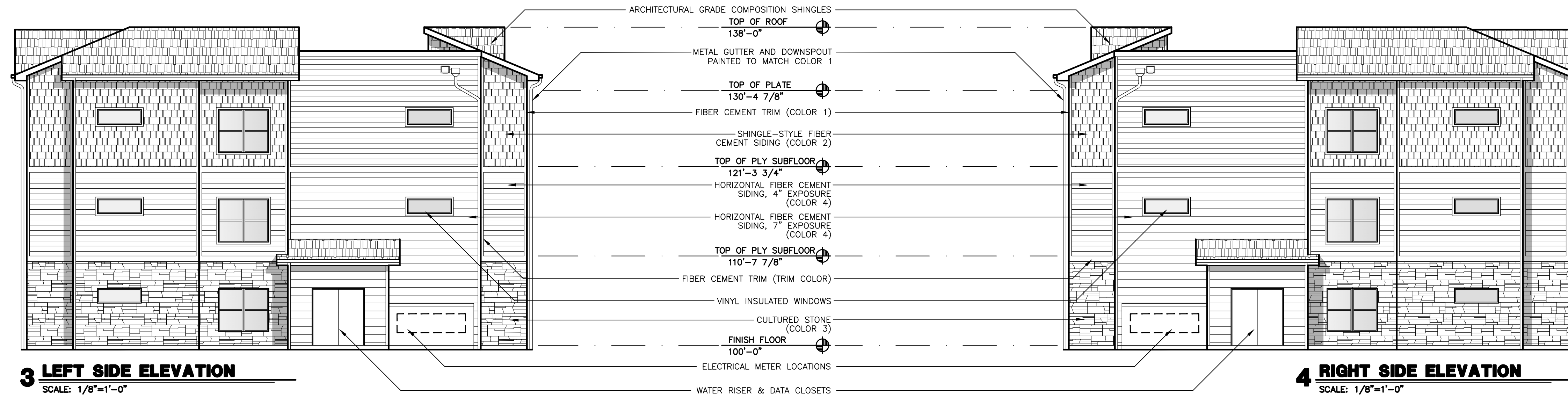
APARTMENT ELEVATIONS

10

10 OF 14

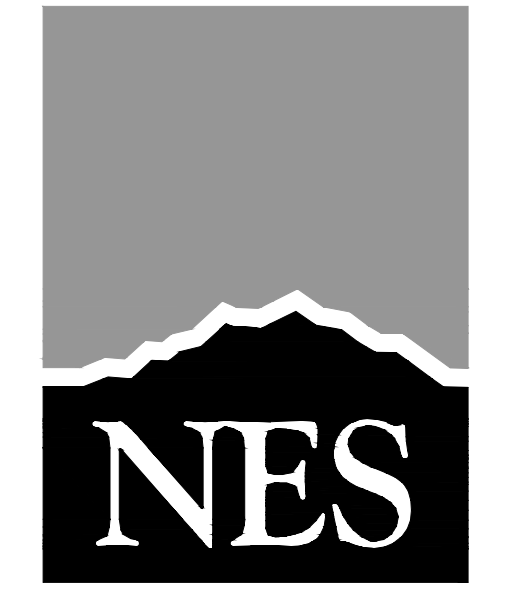
CPC #DEPN-24-0133

ELEVATIONS AT APARTMENT BUILDING NOS. 2, 4 & 6



UTILITY METER NOTE:
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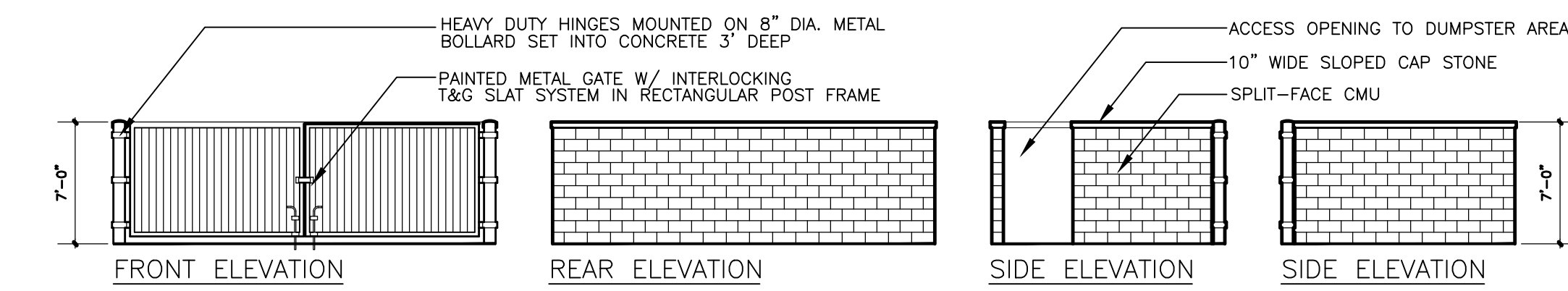
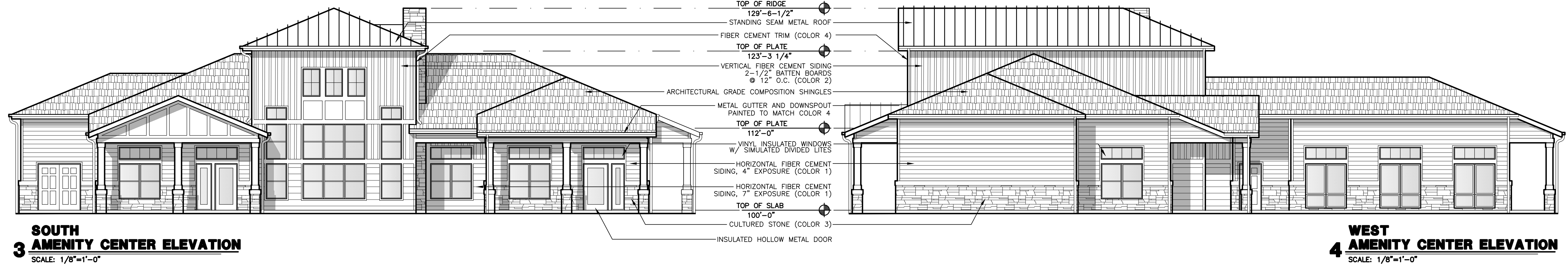
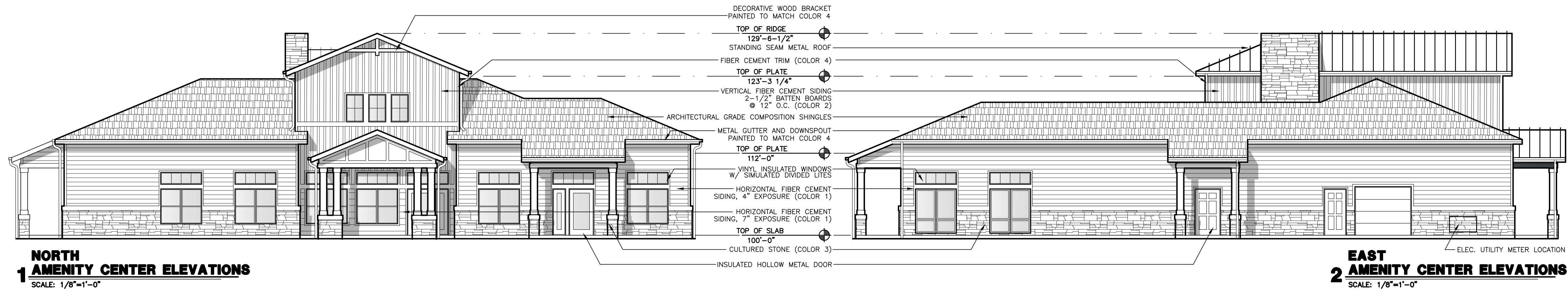
DATE:	BY:	DESCRIPTION:

APARTMENT ELEVATIONS

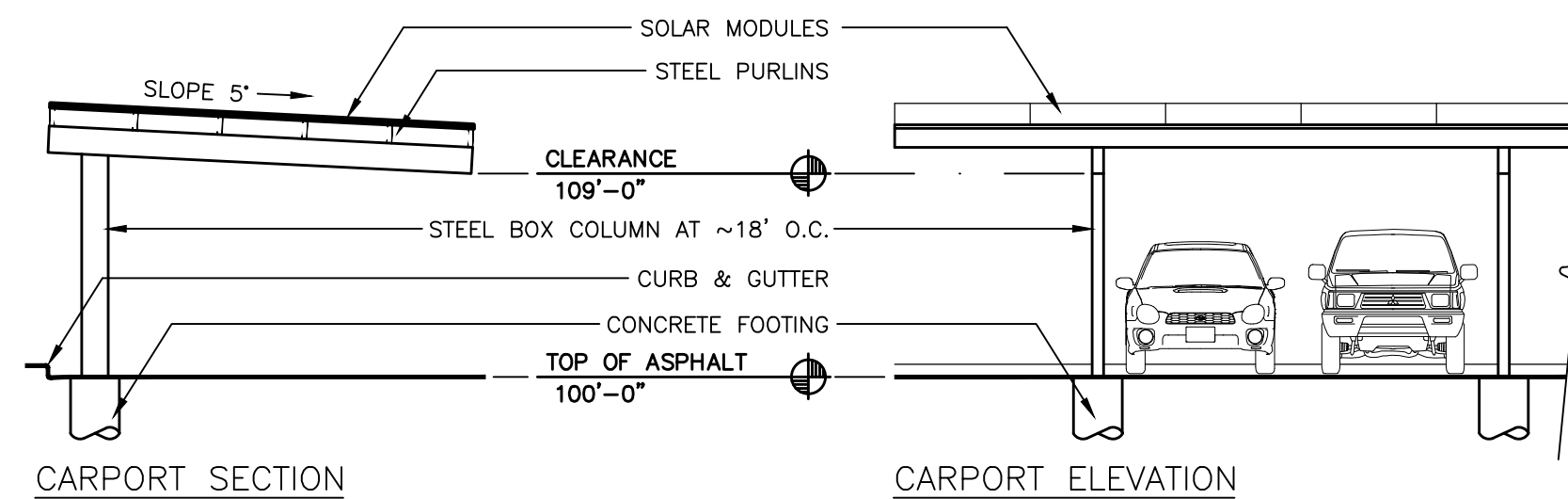
11

11 OF 14

CPC #DEPN-24-0133



5 DUMPSTER ENCLOSURE ELEVATIONS
SCALE: 1/4"=1'-0"



6 CARPORT SECTION/ELEVATION
SCALE: 1/4"=1'-0"

NOTE: CARPORT DEPTH SHALL BE MEASURED FROM BACK OF CURB AND SHALL NOT IMPEDE ON SITE EASEMENTS

NOTE: CARPORT LENGTHS VARY ON SITE BUT SHALL BE CONSTRUCTED SIMILAR TO THOSE DEPICTED HEREIN

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PREPARED BY: C.HELMLINGER



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Approved
02-24-2025
2:08:52 PM
Austin Cooper

DEVELOPMENT PLAN

DATE:	BY:	DESCRIPTION:

AMENITY CENTER ELEVATIONS

12

12 OF 14

CPC #DEPN-24-0133



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STUDIO LIGHTNING
63 SUNSET DR.
BAILEY, CO 80421
303.242.1572

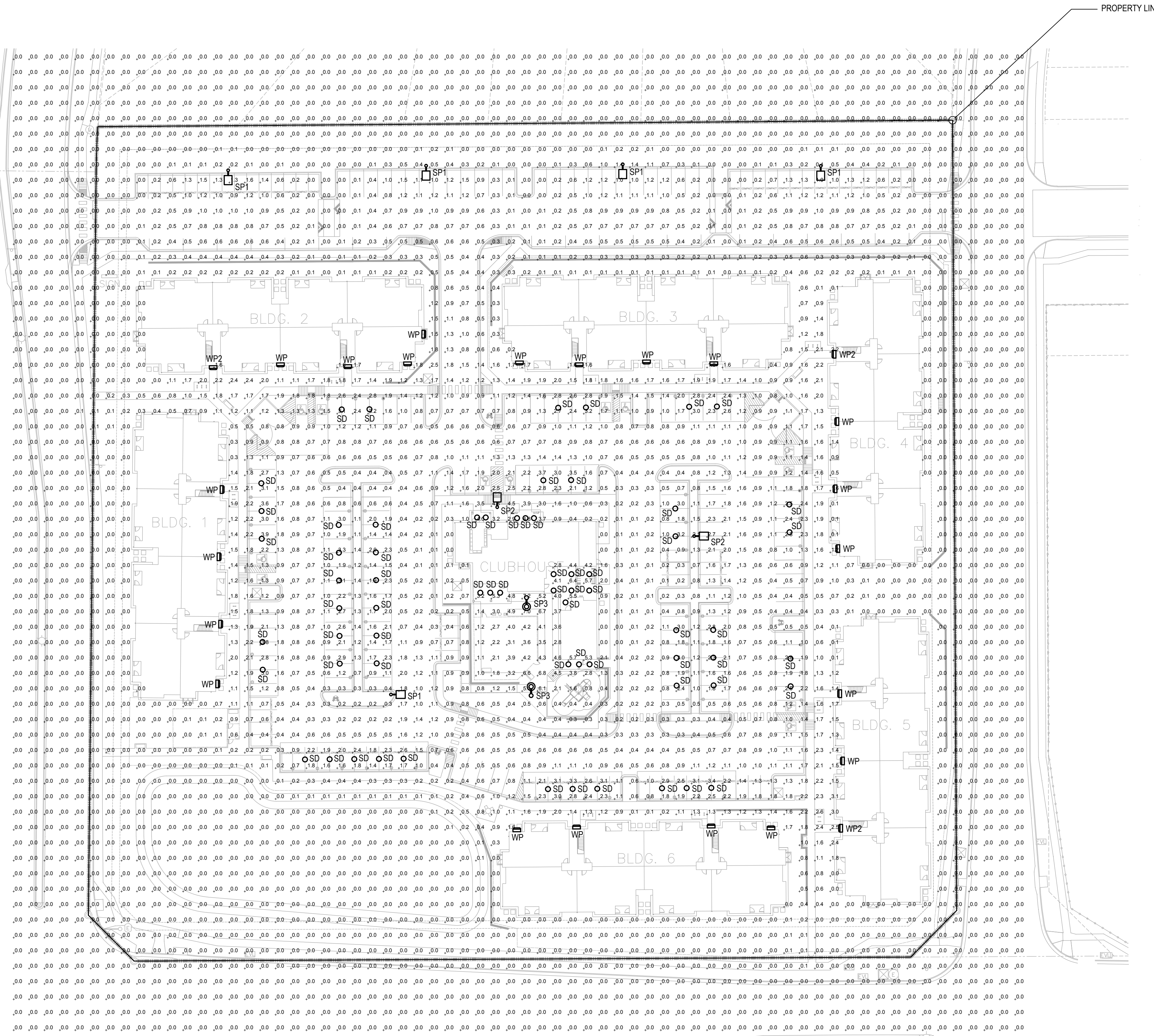
LIGHTING CALCULATION STATISTICS SUMMARY:

	AVERAGE	MAXIMUM	MINIMUM	MAX/MIN	AVG/MIN
OVERALL SITE:	1.0fc	7.2fc	0.0fc	N/A	N/A
PROPERTY LINE:	0.0fc	0.1fc	0.0fc	N/A	N/A

1 SITE LIGHTING PHOTOMETRIC
SCALE: 1" = 40'-0"

- PHOTOMETRY PLAN GENERAL NOTES:**
- VALUES SHOWN ARE MAINTAINED HORIZONTAL ILLUMINANCE VALUES MEASURED AT GRADE.
 - SITE LIGHTING DESIGN HAS BEEN COMPLETED TO PRODUCE EVEN ILLUMINATION OF PARKING AND PAVED AREAS.
 - ALL LIGHT FIXTURES SHALL BE FULLY SHIELDED AND DIRECT LIGHT DOWNWARDS.
 - THERE WILL BE NO OFF-SITE GLARE ALLOWED.
 - ALL EXTERIOR LIGHTING, INCLUDING FIXTURE TYPE SW, TO BE PHOTOCELL CONTROLLED. PROVIDE IECC COMPLIANT CONTROLS AND VERIFY ALL CONTROLS WITH OWNERSHIP PRIOR TO PURCHASE AND INSTALL.

SITE LIGHTING DESIGN HAS BEEN COMPLETED TO CONFORM TO CITY OF COLORADO SPRINGS EXTERIOR LIGHTING STANDARDS



IN ASSOCIATION WITH

PROJECT INFO

STAMP

ISSUE INFO

ISSUE / REVISION

SHEET TITLE

SHEET NUMBER

PLAN FILE #

DATE: 10.21.24
PROJECT MGR: JMB
PREPARED BY: JLK



Land Use Review
Approved
02-24-2025
2:08:52 PM
Austin Cooper

DEVELOPMENT PLAN

DATE: BY: DESCRIPTION:

SITE LIGHTING PHOTOMETRIC

13

13 OF 14

CPC #DEPN-24-0133



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STUDIO LIGHTNING
63 SUNSET DR.
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DESCRIPTION
The Entr LED luminaire features a classic and stylish design with the added benefits of solid state lighting technology, offering outstanding uniformity and energy savings. Using Cooper Lighting Solutions' proprietary LED LightSquare technology and AccuLED Optics™ system, the Entr LED luminaire offers designers vast versatility in system design, function and performance. Use Entr LED for wall mount architectural lighting applications and egress lighting requirements. ULxUL listed for use in wet locations.

Catalog #	Type
WP/WP2	WP/WP2
Project	Date
Comments	
Prepared by	

SPECIFICATION FEATURES

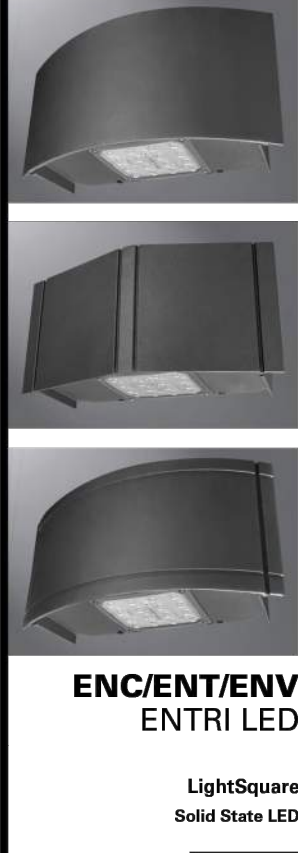
Construction
HOUSING: Heavy wall, one-piece, die-cast aluminum construction for precise tolerance control and repeatability in manufacturing. Integral extruded aluminum heat sink provides superior thermal heat transfer in +40°C ambient environments. FACEPLATE/DOOR: One-piece, die-cast aluminum construction. Captive, side hinged faceplate swings open via release of one flush mount die-cast aluminum latch on housing side panel. GASKET: One-piece molded silicone gasket mates perfectly between the door and housing for repeatable seal. LENS: Uplight lens is impact resistant, 5/32" thick tempered frosted glass sealed to housing with continuous bead silicone gasket. Downlight lens is an LED LightSquare with integral optics sealed for IP66 rating. HARDWARE: Stainless steel mounting screws and latch hardware allow access to electrical components for installation and servicing.

Optics
Choice of patented, high efficiency AccuLED Optics™ distributions. Optics are precisely designed to shape the light output, maximizing efficiency and application specific. AccuLED Optics technology creates consistent distributions with the

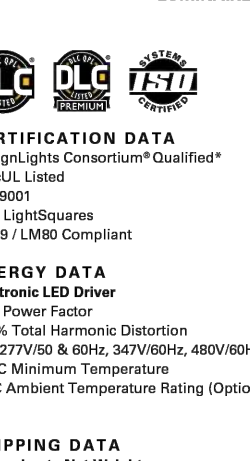
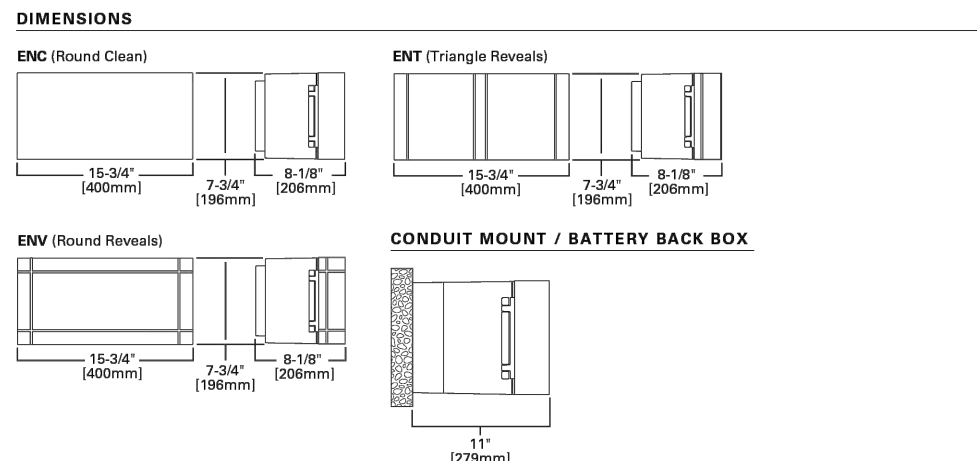
scalability to meet customized application requirements. CRI and CCT offering includes 2200K, 2700K, 3000K, 3500K, 4000K, 5000K, and 5700K with minimum 90CRI all within 5-step MacAdam ellipse.

Electrical
LED drivers mount to die-cast aluminum back housing for optimal heat sinking, operation efficiency, and prolonged life. Standard drivers feature electronic universal voltage (120-277V 50/60Hz), 347V 50/60 or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Greater than 0.9 power factor, less than 20% harmonic distortion, and is suitable for operation in +40°C ambient environments and optional 50C construction available. All fixtures are shipped standard with 10kV/10kA common – and differential – mode surge protection. LightSquare feature an IP66 enclosure rating and maintain greater than 95% lumen maintenance at 60,000 hours per IESNA TM-21. Emergency egress options for +20°C ambient environments. WaveLine™, occupancy sensor, and dimming options available.

Mounting
JUNCTION BOX: Standard with



ENC/ENT/ENV
ENTRI LED
LightSquare
Solid State LED



CERTIFICATION DATA
DesignLight Consortium™ Qualified
ULxUL Listed
IEC 60598
IP66 LightSquares
LM79 / LM80 Compliant

ENERGY DATA
Electronic LED Driver
+0.9 Power Factor
<20% Total Harmonic Distortion
120-277V/50 & 60Hz, 347V/60Hz, 480V/60Hz
40°C Minimum Temperature
40°C Ambient Temperature Rating (Optional)

SHIPPING DATA
Approximate Net Weight:
15.2 lbs. (6.9 kg.) - Without backbox
28.1 lbs. (12.8 kg.) - With backbox

TDS1816EN
April 12, 2021 7:28 AM

DESCRIPTION
The EPIC Collection delivers custom luminaire flexibility with high quality, yet availability expectations of standard specification grade product. The EPIC Collection can be dressed to suit any application, recognizing evolving environmental and legislative trends, the EPIC Collection delivers world class LED optical and performance solutions to the decorative luminaire marketplace.

Catalog #	Type
SP3	SP3
Project	Date
Comments	
Prepared by	

SPECIFICATION FEATURES

Construction
TOP: Cast aluminum top housing attaches to cast aluminum mounting arm hub with four stainless steel fasteners. One-piece silicone gasket between mounting hub and top casting seals out moisture and contaminants. (See the mounting accessories section for a full selection of mounting arms. Only these arms are compatible with the Epic luminaire). MIDSECTION: Continuous silicone gaskets seal lens to top casting and shade. The mid section features cast aluminum construction and stainless steel precision spun aluminum shades offer superior surface finish and consistency in form. DOORFRAME: Die-cast aluminum 1/8" thick door and doorframe seal to underside of shade with a thick wall continuous silicone gasket. Mounting hub ships attached to mounting arm.

Optics
Choice of twelve patented, high-efficiency AccuLED Optics™ technology manufactured from injection-molded acrylic. Optics are precisely designed to shape the optics, maximizing efficiency and application specific. AccuLED Optics technology creates consistent distributions with the scalability to meet customized application

requirements. Offered Standard in 4000K (+/-275K) CCT and nominal 70 CRI. Optional 3000K CCT and 5000K CC. For the ultimate level of split light control, an optional house-side shield accessory can be field or factory installed. The house-side shield is designed to seamlessly integrate with the SL2, SL3 or SL4 optics.

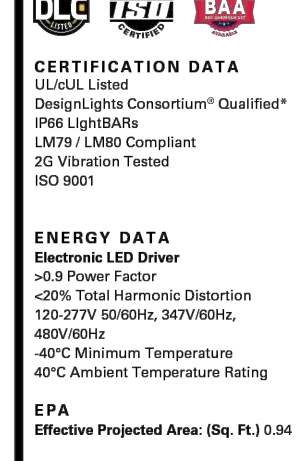
Electrical
LED drivers mount to die-cast aluminum back housing for optimal heat sinking, operation efficiency, and prolonged life. Standard drivers feature electronic universal voltage (120-277V 50/60Hz), 347V 60Hz or 480V 60Hz operation, greater than 0.9 power factor, less than 20% harmonic distortion, and is suitable for operation in +40°C ambient environments. All fixtures are shipped standard with 10kV/10kA common – and differential – mode surge protection. LightSquares feature and IP66 enclosure rating and maintain greater than 95% lumen maintenance at 60,000 hours per IESNA TM-21. Occupancy sensor and dimming options available.

Finish
Housing is finished in five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. LightBAR™ cover plates are standard white and may be specified to match finish of luminaire housing. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult Outdoor Architectural Colors brochure for a complete selection.

Warranty
Five-year warranty.



ECM/EMM
EPIC MEDIUM LED
1 - 4 LightBARs
Solid State LED
DECORATIVE AREA LUMINAIRE



CERTIFICATION DATA
ULxUL Listed
DesignLight Consortium™ Qualified
IP66 LightBARs
LM79 / LM80 Compliant
30 Vibration Tested
ISO 9001

ENERGY DATA
Electronic LED Driver
+0.9 Power Factor
<20% Total Harmonic Distortion
120-277V/50/60Hz, 347V/60Hz, 480V/60Hz
40°C Minimum Temperature
40°C Ambient Temperature Rating

EPA
Effective Projected Area (Sq. Ft.) 0.4

SHIPPING DATA
Approximate Net Weight:
45 lbs. (20 kgs.)

TDS6002EN
December 6, 2021 2:28 PM

Project	Catalog #	Type
		SP1-2
Prepared by	Notes	Date

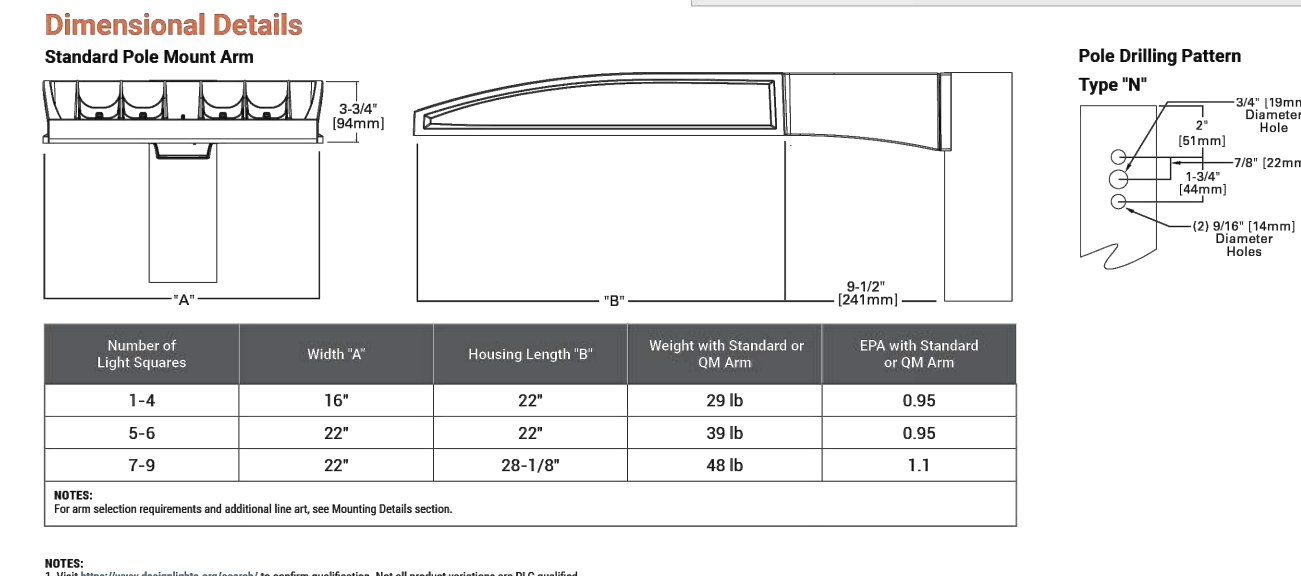


Interactive Menu

- Ordering Information page 2
- Mounting Details page 3
- Optical Distributions page 5
- Product Specifications page 5
- Energy and Performance Data page 6
- Control Options page 11

Quick Facts

- Lumen packages range from 3,300 - 73,500 (33W - 552W)
- 17 optical distributions
- Efficacy up to 159 lumens per watt



Number of Light Squares	Width "A"	Housing Length "B"	Weight with Standard or 0.5M Arm	EPA with Standard or 0.5M Arm
1-4	16"	22"	29 lb	0.95
5-6	22"	22"	39 lb	0.95
7-9	22"	28-1/8"	49 lb	1.1

COOPER Lighting Solutions
PSS00053EN page 1
August 6, 2024 2:44 PM

DESCRIPTION
The Halo Surface Mount LED Downlight (SMD) is a low profile surface mounting luminaire with a modern look and high performance. SMD6 (6") is designed for installation in many 3-1/2" and 4" square, octagon, or round junction boxes. Supply wire adapter with LED quick wiring connector included. The SMD6 may also retrofit in 5" and 6" aperture IC and Non-IC recessed housings.

Catalog #	Type
SD	SD
Project	Date
Comments	
Prepared by	

SPECIFICATION FEATURES

HOUSING

- Non-electrically conductive polycarbonate frame.
- High impact diffuse polystyrene lens provides shielding to the light guide with no prismatic.
- Stamped aluminum housing provides thermal cooling achieving L70 at 50,000 hours in IC and non-IC applications.

GASKETS

- Closed cell gasket achieves restrictive airflow and wet location requirements without additional caulking.

OPTICS

- Precision acrylic light guide organizes source flux into wide distribution with 1.2 - 1.4 spacing criteria useful for general area illumination.

LED

- Mid power LED array provide a uniform source with high efficiency and long life.
- Available in 90 CRI minimum, R9 greater than 50 and color accuracy within 3 SDCM provide color accuracy and uniformity.

DRIVER

SMD 120V

- Integrated 120V 50/60Hz constant current driver provides noise free operation.
- Continuous, flicker-free dimming from 100% to 5% with select leading or trailing edge 120V phase out dimmers.
- Dimming to 5% is best assured using dimmers with low end trim adjustment. Consult dimmer manufacturer for compatibility and conditions of use. (Note some dimmers require a neutral in the wallbox.)
- Inline electrical quick connect and E26 adapter (provided) provides main connections.
- SMD Universal Voltage (120-277V) configurations are recommended for use with compatible 0-10V DC low voltage dimmers only.

RECESSED HOUSING MOUNTING

- May be installed in IC recessed housings in direct contact with insulation.
- Note: Not for use in recessed housing in direct contact with spray foam insulation. Refer to NEMA L87-2013.
- Torsion Spring 5" & 6"
- Precision formed torsion spring bracket included.
- The torsion springs adjust on the mounting plate to fit 5" or 6" compatible housings.
- Friction Blade 5" & 6"
- Precision formed friction blades included.
- For retrofit in 5" and 6" housings without torsion springs mounting tabs.
- Friction blade design allows the SMD to be installed in any position within the housing aperture (90 degree)



SMD6 Series
6 inch Round and Square

SMD6R
SMD6S

6" Surface Mount
Downlight

Suitable for ceiling or wall
electrical junction boxes

Suitable for 5" and 6"
recessed housing retrofit

Non-conductive
Dead Front



DESIGNER SKINS (SOLD SEPARATELY)

- SMD skins are accessory rings in both round and square. These skins attach to the SMD for a permanent finish. Refer to the SMD accessories specification sheet for details.
- Matte White (Paintable)
- Satin Nickel
- Tuscan Bronze

WARRANTY

- Five year limited warranty, consult website for details. www.cooperlighting.com

COMPLIANCE

- cULus Certified for use with Halo housings and for use with other's housings, see instruction sheet for conditions of acceptability.
- Wet and Damp Location Listed, alright per ASTM-E283
- Suitable for use in locations, compliant with NFPA70, NEC® Section 410.16 (A)(3) and 410.16 (C)(5)
- EM/RFI emissions per FCC 47CFR Part 15B
- Contains no mercury or lead and RoHS compliant.
- Photometric testing in accordance with IES LM-79-08
- Lumen maintenance projections in accordance with IES LM-80-08 and TM-21-11.
- Can be used for State of California Title 24 high efficacy luminaire compliance, reference the California Energy Commission Title 20 Appliance Efficiency Database for current listings.
- Can be used for International Energy Conservation Code (IECC) and high efficiency luminaire compliance
- ENERGY STAR® listed, reference database for current listings

COOPER Lighting Solutions
TDS1824EN
September 28, 2012 2:08 PM

FLATS AT SAND CREEK

COLORADO SPRINGS

DATE: 10.21.24
PROJECT MGR: JMB
PREPARED BY: JMK



Land Use Review
Approved
02-24-2025
2:08:52 PM
Austin Cooper

DEVELOPMENT PLAN

DATE: BY: DESCRIPTION:

LIGHTING DETAILS

14
OF
14

CPC #DEPN-24-0133