

ROCK CREEK MESA ADDITION NO. 2

A PARCEL OF LAND IN THE SOUTH 1/2 OF SECTION 30, TOWNSHIP 15 SOUTH, RANGE 66 WEST OF THE 6TH P.M., IN THE COUNTY OF EL PASO, STATE OF COLORADO, CONTAINING A PORTION OF PARCELS OR LAND RECORDED UNDER RECEPTIONS NUMBER 224050744 WITHIN THE RECORDS OF EL PASO COUNTY, COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS WITH BEARINGS REFERENCED TO THE NORTH LINE OF SAID SOUTHWEST ONE-QUARTER, BEING MONUMENTED ON THE WEST END BY A 3-1/4 INCH BRASS CAP (BLM STANDARD) AND ON THE EAST END BY A 2-1/2 INCH ALUMINUM CAP STAMPED "RMLS 19625"

COMMENCING AT THE SAID CENTER CORNER OF SECTION 30;

THENCE NORTH 89°02'51" WEST, A DISTANCE OF 191.29 FEET TO A POINT ON THE EXTERIOR BOUNDARY OF THAT PARCEL OF LAND RECORDED AT SAID RECEPTION NUMBER 224050744 AND TO THE **POINT OF BEGINNING**;

THENCE COINCIDENT WITH SAID EXTERIOR BOUNDARY SOUTH 01°02'53" WEST, A DISTANCE OF 439.71 FEET TO A POINT ON THE EXTERIOR OF THAT PARCEL OF LAND RECORDED AT RECEPTION NUMBER 224050744;

THENCE COINCIDENT WITH SAID EXTERIOR BOUNDARY THE FOLLOWING TWO (2) COURSES:

1. SOUTH 89°02'57" EAST, A DISTANCE OF 208.00 FEET;
2. SOUTH 01°02'56" WEST, A DISTANCE OF 260.09 FEET TO A POINT ON THE EXTERIOR BOUNDARY OF THAT PARCEL OF LAND RECORDED AT SAID RECEPTION NUMBER 224050744;

THENCE COINCIDENT WITH SAID EXTERIOR BOUNDARY OF SAID PARCEL THE FOLLOWING TWO (2) COURSES:

1. SOUTH 89°02'40" EAST, A DISTANCE OF 598.00 FEET;
2. SOUTH 02°00'53" EAST, A DISTANCE OF 119.63 FEET;

THENCE SOUTH 90°00'00" WEST, A DISTANCE OF 1,292.50 FEET TO A POINT ON THE EXTERIOR BOUNDARY OF THAT PARCEL OF LAND RECORDED AT RECEPTION NUMBER 224050744;

THENCE COINCIDENT WITH SAID EXTERIOR BOUNDARY THE FOLLOWING THREE (3) COURSES:

1. NORTH 08°18'28" WEST, A DISTANCE OF 59.97 FEET;
2. NORTH 06°04'29" EAST, A DISTANCE OF 391.30 FEET;
3. NORTH 05°59'00" EAST, A DISTANCE OF 393.36 FEET;

THENCE SOUTH 04°07'26" EAST, A DISTANCE OF 462.00 FEET;

THENCE SOUTH 89°02'51" EAST, A DISTANCE OF 339.76 FEET;

THENCE NORTH 06°01'44" EAST, A DISTANCE OF 462.00 FEET TO THE **POINT OF BEGINNING**.

THE ABOVE DESCRIPTION CONTAINS A CALCULATED AREA OF 363,837 SQUARE FEET OR (8.35254 ACRES), MORE OR LESS, AND IS DEPICTED ON THE ATTACHED GRAPHICAL EXHIBIT FOR REFERENCE.

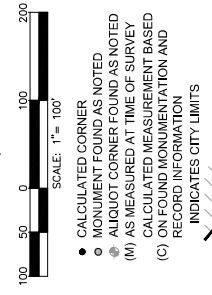
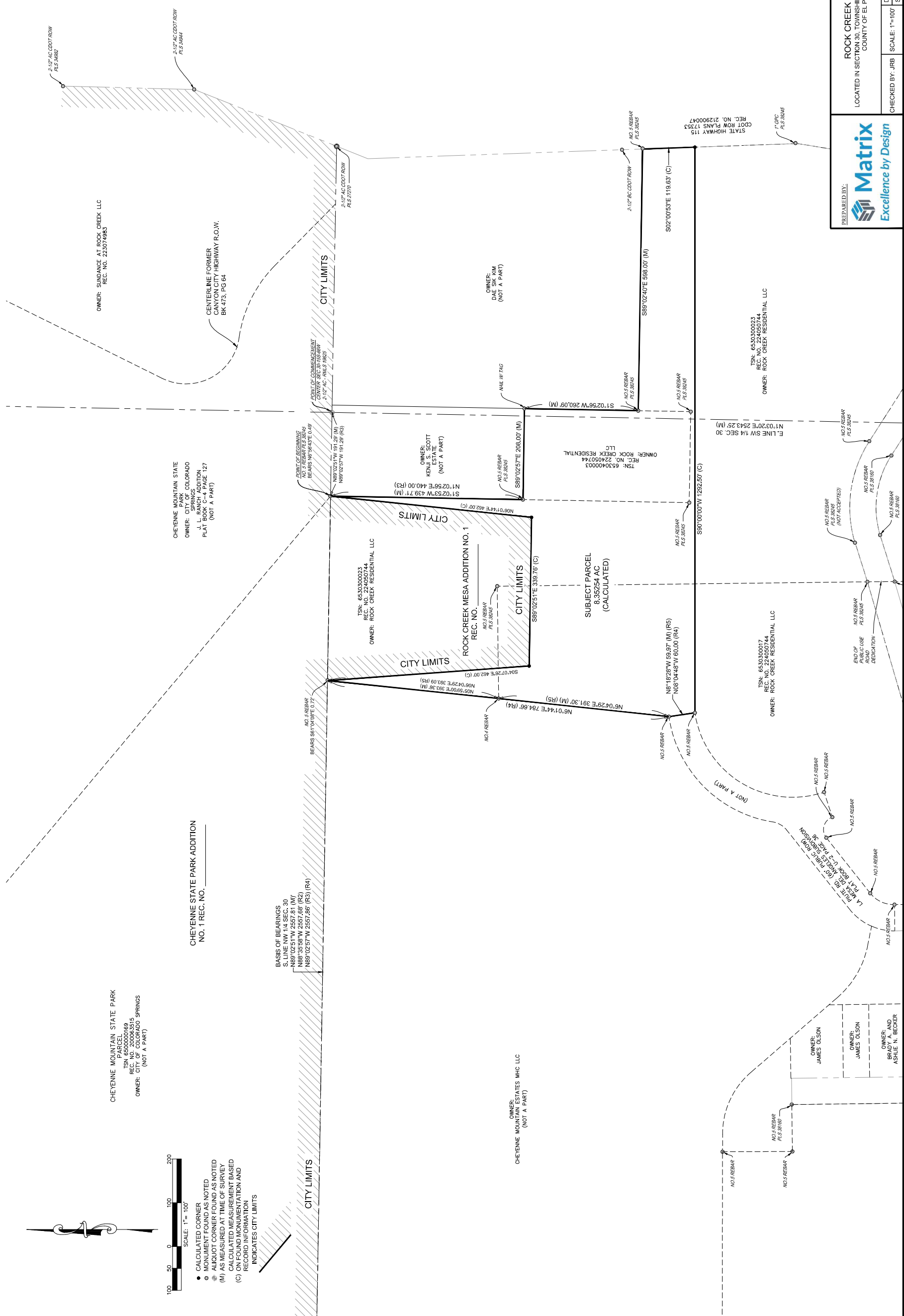


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PREPARED FOR AND ON BEHALF OF MATRIX DESIGN GROUP
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ANNEXATION PLAT

ROCK CREEK MESA ADDITION NO. 2

LOCATED IN SECTION 30, TOWNSHIP 15 SOUTH, RANGE 66 WEST OF THE 6TH P.M.,
COUNTY OF EL PASO, STATE OF COLORADO.



CHEYENNE STATE PARK ADDITION
NO. 1 REC. NO. _____

BASIS OF BEARINGS
S. LINE NW 1/4 SEC. 30
N89°02'51"W 2557.81 (M)
N89°02'51"W 2557.86 (M)
N89°02'51"W 2557.86 (R3) (R4)

CHEYENNE MOUNTAIN STATE PARK
PARCEL NO. 003
REC. NO. 20093515
OWNER: CITY OF COLORADO SPRINGS
(NOT A PART)

CITY LIMITS

CITY LIMITS

CITY LIMITS

CITY LIMITS

CITY LIMITS

Matrix
Excellence by Design

PREPARED BY:

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COUNTY OF EL PASO, STATE OF COLORADO.

ANEX-24-0003

CHECKED BY: JRB SCALE: 1"=100' DATE ISSUED: AUGUST 28, 2024 SHEET 2 OF 2