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ROCK CREEK MESA ADDITION NO. 2

A PARCEL OF LAND IN THE SOUTH 1/2 OF SECTION 30, TOWNSHIP 15 SOUTH, RANGE 66 WEST OF THE 6TH P.M., IN THE COUNTY OF EL PASO, STATE OF COLORADO, CONTAINING A PORTION OF PARCELS OR LAND RECORDED UNDER RECEPTIONS NUMBER 224050744 WITHIN THE RECORDS OF EL PASO COUNTY, COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS WITH BEARINGS REFERENCED TO THE NORTH LINE OF SAID SOUTHWEST ONE-QUARTER, BEING MONUMENTED ON THE WEST END BY A 3-1/4 INCH BRASS CAP (BLM STANDARD) AND ON THE EAST END BY A 2-1/2 INCH ALUMINUM CAP STAMPED "RMLS 19625"

COMMENCING AT THE SAID CENTER CORNER OF SECTION 30;

THENCE NORTH 89°02'51" WEST, A DISTANCE OF 191.29 FEET TO A POINT ON THE EXTERIOR BOUNDARY OF THAT PARCEL OF LAND RECORDED AT SAID RECEPTION NUMBER 224050744 AND TO THE **POINT OF BEGINNING**;

THENCE COINCIDENT WITH SAID EXTERIOR BOUNDARY SOUTH 01°02'53" WEST, A DISTANCE OF 439.71 FEET TO A POINT ON THE EXTERIOR OF THAT PARCEL OF LAND RECORDED AT RECEPTION NUMBER 224050744:

THENCE COINCIDENT WITH SAID EXTERIOR BOUNDARY THE FOLLOWING TWO (2) COURSES:

- 1. SOUTH 89°02'57" EAST, A DISTANCE OF 208.00 FEET;
- 2. SOUTH 01°02'56" WEST, A DISTANCE OF 260.09 FEET TO A POINT ON THE EXTERIOR BOUNDARY OF THAT PARCEL OF LAND RECORDED AT SAID RECEPTION NUMBER 224050744;

THENCE COINCIDENT WITH SAID EXTERIOR BOUNDARY OF SAID PARCEL THE FOLLOWING TWO (2) COURSES:

- 1. SOUTH 89°02'40" EAST, A DISTANCE OF 598.00 FEET;
- 2. SOUTH 02°00'53" EAST, A DISTANCE OF 119.63 FEET;

THENCE SOUTH 90°00'00" WEST, A DISTANCE OF 1,292.50 FEET TO A POINT ON THE EXTERIOR BOUNDARY OF THAT PARCEL OF LAND RECORDED AT RECEPTION NUMBER 224050744; THENCE COINCIDENT WITH SAID EXTERIOR BOUNDARY THE FOLLOWING THREE (3) COURSES:

- 1. NORTH 08°18'28" WEST, A DISTANCE OF 59.97 FEET;
- 2. NORTH 06°04'29" EAST, A DISTANCE OF 391.30 FEET;
- 3. NORTH 05°59'00" EAST, A DISTANCE OF 393.36 FEET;

THENCE SOUTH 04°07'26" EAST, A DISTANCE OF 462.00 FEET;
THENCE SOUTH 89°02'51" EAST, A DISTANCE OF 339.76 FEET;
THENCE NORTH 06°01'44" EAST, A DISTANCE OF 462.00 FEET TO THE **POINT OF BEGINNING**.

THE ABOVE DESCRIPTION CONTAINS A CALCULATED AREA OF 363,837 SQUARE FEET OR (8.35254 ACRES), MORE OR LESS, AND IS DEPICTED ON THE ATTACHED GRAPHICAL EXHIBIT FOR REFERENCE.

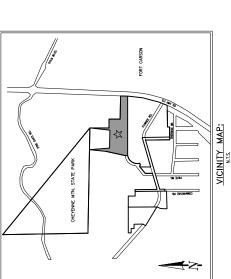


JERRY R. BESSIE, PLS 38576 PREPARED FOR AND ON BEHALF OF MATRIX DESIGN GROUP 2435 RESEARCH PARKWAY, SUITE 300 COLORADO SPRINGS, CO. 80920

ROCK CREEK MESA ADDITION NO. 2 ANNEXATION PLAT

LOCATED IN SECTION 30, TOWNSHIP 15 SOUTH, RANGE 66 WEST OF THE 6TH P.M.,

COUNTY OF EL PASO, STATE OF COLORADO.



BE IT KNOWN BY THESE PRESENTS:

THAT ROCK CREEK RESIDENTIAL I.LC, A COLORADO LIMITED LIABILITY COMPANY, BEING THE OWNER OF FOLLOWING DESCRIBED PARCELS OF LAND:

LEGAL DESCRIPTION

A PARCEL OF LAND IN THE SOUTH 1/2 OF SECTION 30, TOWNSHIP 15 SOUTH, RANGE 66 WEST OF THE 6TH P.M., IN THE COUNTY OF LEASO, STATE OF COLORADO, CONTAINING A PARCELS OF LAND RECORDED UNDER RECEPTIONS NUMBER STAGES WHITH THE RECORDS OF EL PASO COUNTY, COLORADO, BEND MORE PARTICULARLY DESCRIBED AS FOLLOWS WITH BEATWARD REFINE OF THE WORTH, LINE OF SAUD SOUTHWEST ONE-CLARRER, BEND SWA 3-1/4 INCH BASS CAP (BLM STANDARD) AND ON THE EAST END BY A 3-1/4 INCH BASS CAP (BLM STANDARD) AND ON THE EAST END BY A 2-1/2 INCH ALUMINUM CAP STAMPED TRAILS 16628" AT THE CENTER COMERNEY OF SAUD SECTION 30, WHICH IS ASSUMED TO BEAR IN ROPE'S!" WEST, A DISTANCE OF 2.557.81 FEET.

COMMENCING AT THE SAID CENTER CORNER OF SECTION 30: THENCE NORTH SEXTERIOR BOUNDARY OF THENCE NORTH 89/3021 WEST, A DISTANCE OF 191.20 FREET TO A POINT ON THE EXTERIOR BOUNDARY OF THENCE OF LAND RECORDED AT SAID RECEPTION NUMBER 224660744 AND TO THE POINT OF BEGINNING; THENCE CONCIDENT WITH SAID EXTERIOR BOUNDARY SOUTH OF WISSES WEST, A DISTANCE OF 4.39.71 FEET TO A POINT ON THE EXTERIOR OF THAT PARCE OF LAND RECORDED AT RECEPTION NUMBER 224630744. THENCE CONCIDENT WITH SAID EXTERIOR BOUNDARY THE FOLLOWING TYPO (2) COURSES.

SOUTH 89"0257" EAST, A DISTANCE OF 208.09 FEET; SOUTH 01"0256" WEST, A DISTANCE OF 208.09 FEET TO A POINT ON THE EXTERIOR BOUNDARY OF T PARCEL OF LAND RECORDED AT SAID RECEPTION NUMBER 224050744;

THENCE COINCIDENT WITH SAID EXTERIOR BOUNDARY OF SAID PARCEL THE FOLLOWING TWO (2) COURSES: SOUTH 89°2240" EAST, A DISTANCE OF 598.00 FEET; SOUTH 02°00'53" EAST, A DISTANCE OF 119.63 FEET;

THENCE SOUTH 90°0000" WEST, A DISTANCE OF 1,292.50 FEET TO A POINT ON THE EXTERIOR BOUNDARY THAT PRACE OF LOF LAND FECORDED AT RECEIPTION NOMBER 22/2605/412. THENCE CONCIDENT WITH SAID EXTENSIVE BOUNDARY THE FOLLOWING THREE (3) COURSES:

NORTH 08°18'28" WEST, A DISTANCE OF 59.97 FEET; NORTH 06°04'29" EAST, A DISTANCE OF 391.30 FEET; NORTH 05°59'00" EAST, A DISTANCE OF 393.36 FEET; S:/S3:2S4:0S3 Bock Creek Mesa funexation & Entitlement Services/400 Survey/408 PLAT/ANNEXPINON PLAT/S24:0S3-SURV-RCM ANNEX PLAT S:4mg

THENCE SOUTH 04"07'26" EAST, A DISTANCE OF 482.00 FEET; THENCE SOUTH 89"02'51" EAST, A DISTANCE OF 339.76 FEET; THENCE NORTH 06"01'44" EAST, A DISTANCE OF 482.00 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIPTION CONTAINS A CALCULATED AREA OF 363.837 SQUARE FEET OR (8.35254 ACRES), MORE OR LESS, AND IS DEPICTED ON THE ATTACHED GRAPHICAL EXHIBIT FOR REFERENCE.

GENERAL NOTES

1. THIS ANNEXATION PLAT DOES NOT REPRESENT A MONUMENTED LAND SURVEY NOR A LAND SURVEY PLAT. ALL BOUNDARY INFORMATION SHOWN HEREON WAS TAKEN FROM FOUND MONUMENTATION, TOGETHER WITH MARS & DOCUMENTS OF RECORD, WITH MARS CONSIDERED:

R1 - CITY OF COLORADO SPRINGS ANNEXATION, J.L. RANCH ADDITION.
RECEPTION NO. GIGGA948, RECORDED DECEMBER 08, 1987 IN THE CLERK AND RECORDERS OFFICE OF ELPASO COUNTY, COLORADO.

R2 - LAND SURVEY PLAT: SOUTH PORTION OF J.L. RANCH.
RECEPTION NO. 20000021, RECORDED SEPTEMBER 18, 2000 IN SAID RECORDERS OFFICE.
R3 - LIMPROVEMBLY SURVEY PLAT RECORDED SEPTEMBER 18, 2000 IN SAID RECORDERS OFFICE.
R4 - A MESEL SUBDIVISION PLAT.
RECEPTION NO. 2000007, RECORDED HERBUARY 04, 1972 IN SAID RECORDERS OFFICE.
R5 - ALTANEYS LAND SURVEY TITLE (CLARK LAND SURVEYING INC.)
RECEPTION NO. 22090007, RECORDED JANUARY 06, 2020 IN SAID RECORDERS OFFICE.
R6 - COLORADO DEPARTMENT OF TRANSPORTATION REGIT OF WAY PLANS, PROJECT CODE 17383
RECEPTION NO. 22090007, RECORDED JANUARY 18, 2021 IN SAID RECORDERS OFFICE.
R7 - LAND SURVEY PLAT (CLARK LAND SURVEYING) INC.)
RECEPTION NO. 22090003, RECORDED MARCH 05, 2021 IN SAID RECORDERS OFFICE.

RECEPTION NO. 22:1900039, RECORDED MARCH 05, 2021 IN SAID RECORDERS OFFIC MARSHON SUBDRIVISION PLY RECORDED MAY 04, 2007 IN SAID RECORDERS OFFICE. RECORDED MAY 04, 2007 IN SAID RECORDERS OFFICE.

THAT

ADDITIONAL DOCUMENTS CONSIDERED:
PART, PORTION OF CHEVENNE MOUNTAINE STATES
PECEPTION NO. 98901983, RECORDED COTOBER 01, 1996 IN SAID RECORDERS OFFICE.
PLIL, RANCH ADDITION RECORDED DECEMBER 08 (1987 IN PLAT BOOK CAP TRAGE 127).
ROCK CREEK MEAS SUBDIVISION RECORDED MUGUST 08, 1953 IN PLAT BOOK ZAT PAGE 70.
ROCK CREEK MEAS SUBDIVISION ADDITION NO. 2 RECORDED MARCH 11, 1999 IN PLAT BOOK A-2 PAGE 30.

VACATION DO 300104788.

VACATION DO TROOK CREEK MESA SUBDIVISION AND PORTIONS OF ROCK CREEK MESA SUBDIVISION AND PORTIONS OF ROCK CREEK MESA SUBDIVISION ADDITION NO. 2 RECORDED JANUARY 17, 1972 IN PLAT BOOK U-2 AT PAGE 13 (REC. NO. 866982).

THE COMMINISTED : AND THE GUARANTEE COMPANY-ORDER NUMBER. RND55/09796-3, WITH EFFECTIVE DATE 07/22/2023 AT 5:00 PM.

2. DATE OF PREPARATION: AUGUST 28, 202-

3. TOTAL PERIMETER OF THE AREA FOR ANNEXATION: 5,026.31

ONE-FOURTH (1/4TH) OF THE TOTAL PERIMETER: 1,256.58' (25.00%)

5. PERIMETER OF THE AREA CONTIGUOUS TO THE EXISTING CITY LIMITS: 1,263,76 FEET (25,14%)

6. AREA OF SITE: 8.35254 ACRES

CONFIRM THE ESTABLISHMENT OF AN APPROPRIATE EASEMENT(S) THROUGH A FINAL PLAT FOR THE EXISTING OFFEIETEN (C125AF PRIMARY OF COMDUCTOR CISM #121A-11 RUNNING THROUGH PORTIONS OF ADDITION OSS. 3,5 AND 6 OR IF IT IS TO BE RELOCATED AS PART OF THE PROPOSED PUTURE DEVELOPMENT.

THE PROPERTY IS LOCATED WITHIN ZONE X (AREA'S DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPULN). OBTAINED FROM THE FLOODPULNING DECAMBER 7, 2018.

BASIS OF BEARINGS:

FEMA FLOODPLAIN STATEMENT:

ALL BEARMGS HERIN BASED ON THE SOUTH LINE OF THE KORTHWEST ONE-QUARTER OF SECTION 30. TOWNSHIP IS SOUTH, RANGE 68 WEST, EBING MONUMENTED BY A 24/KICH PIPE WITH A 32-BINGH BRASS CAP. FLUSH WITH RROUNDIN AT THE WEST CHARTER CORNER OF SAID SECTION 30 AND A NO. 6 REBAR WITH A 32-BINGH ALUMINUM CAP STAMPED BY 19825, FLUSH WITH GROUNDIN, AT THE CENTER CORNER OF SAID SECTION 30, WHICH BASSUMED TO BEAR NORTH BY 2025, WEST, A DISTANCE OF 2,557,81 FEET.

OWNER: THE AFOREMENTIONED, ROCK CREEK RESIDENTIAL LLC, A COLORADO LIMITED LIABILITY COMPANY, HAS EXECUTED THIS INSTRUMENT THIS _____ DAY OF ________ 2024 A.D.

STATE OF COLORADO) DANNY MIENTKA, MANAGER

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE METHIS

DAY OF

OLOGADO LIMITED LIABILITY COMPANY.

OLOGADO LIMITED LIABILITY COMPANY. WITNESS MY HAND AND SEAL

COUNTY OF EL PASO)

MY COMMISSION EXPIRES:

SURVEYOR'S STATEMENT

NOTARY PUBLIC

I. JERRY R. BESSIE, A PROCESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO AND LEGALLY DOING BUSINESS FOR AND OWN BEHALF OF A CONDICIONAL DESIGN GROUN INC., BIT EL PASO COUNTY, DO HERBED CERTEY THAT THE MARP HERBON SHOWN BEHALF OF BELINEATHON OF THE ABOVE DESCRIBED PARCELS OF LAND AND THAT AT LEAST TWENTY-FUR PERCENT (28%) OF THE PERMITTER OF THE BOUNDARY OF SAD PARCELS IS CONTIGUOUS TO THE PRESENT BOUNDARY OF SAD PARCELS IS CONTIGUOUS.

CITY APPROVAL:

ON BEHALF OF THE CITY OF COLORADO SPRINGS, THE UNDERSIGNED HEREBY APPROVE FOR FILING THE ACCOMPANYING ANNEXATION PLAT OF "ROCK CREEK MESA ADDITION NO. 2".

DATE

CITY PLANNING DIRECTOR

CITY CLERK

STATE OF COLORADO) RECORDING:

I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED FOR RECORD IN MY OFFICE AT OCLOCK

W. THIS DAY OF

OF THE RECEPTION NUMBER

OF THE RECEPTION NUMBER

OF THE RECEPTION NUMBER

OF THE RECEPTION NUMBER

OF THE RECEPTION NUMBER COUNTY OF EL PASO)

STEVE SCHLEIKER, EL PASO COUNTY CLERK AND RECORDER

FEE: SURCHARGE: BY: DEPUTY

JERRY R. BESSIE, PLS NO. 38576 FOR AND ON BEHALF OF MATRIX DESIGN GROUP, INC.



ROCK CREEK MESA ADDITION NO. 2 LOCATED IN SECTION 30, TOWNSHIP 15 SOUTH, RANGE 66 WEST OF THE 6TH P.M. COUNTY OF EL PASO, STATE OF COLORADO.

SCALE: NA

CHECKED BY: JRB

