

Front Range Barbeque - Business Expansion

2330 and 2326 West Colorado Avenue

Colorado Springs, Colorado 80904-3327

2330 West Colorado Avenue: Lot 30, E 29.5 FT OF LOT 31 BLK 161 OLD COLORADO CITY COLORADO SPRINGS

2326 West Colorado Avenue: Lot 29, BLK 161 OLD COLORADO CITY COLORADO SPRINGS

FRONT RANGE BARBECUE - Business Expansion

LEGAL DESCRIPTION:

Lots 29, 30 & the east 29.5' of Lot 31, Blk. 161, Colorado City, Located in the west one-half (W½) of Sec. 11, T. 14 S., R. 67 W. of the 6th P.M. City of Colorado Springs, El Paso County, Colorado

This tract of land as replatted herein shall be known as "Front Range BBQ Subdivision" in the City of Colorado Springs, El Paso County, Colorado

Containing 10,740 square feet or 0.2465 acres, more or less.

Front Range Barbecue in Old Colorado City is a restaurant specializing in Southern-style barbecue with a full bar and featuring live music on an outdoor stage. The project proposes the demolition of the existing office structure at 2326 W. Colorado Avenue and the removal of the existing tent structure at 2330 W. Colorado Avenue. The two properties will be combined into one lot. New additions will be built on 2330 on the east, and southwest portions of the existing structure for expanded restaurant and music performance space in accordance with the Review Criteria and Guidelines of the City of Colorado Springs Code of Ordinances (March 28, 2023).

The 3,600 square foot acquisition site contains an existing 1,402 square foot office building dating from 1898. Current zoning is MX-M. This is an intermediate business zone district, and matches the zoning of the existing Front Range Barbecue at 2330 W. Colorado Avenue.

PARKING TABLE:

| USE | PARKING RATIO | GROSS FLOOR AREA | INDOOR DINING AREA | OUTDOOR DINING AREA | PARKING REQUIRED* | PARKING PROVIDED |
|------------|---------------|------------------|--------------------|---------------------|-------------------|------------------|
| RESTAURANT | 1 / 300 sf | 7,895 sf | 2,300 sf | 420 sf | 27 | 4 |

*PARKING REQUIREMENT: INDOOR SEATING AREA: 1 SPACE PER 300 sf OF GROSS FLOOR AREA. 7,895 sf / 300 sf = TWENTY-SEVEN (27) SPACES REQUIRED.

OUTDOOR DINING AREA IS 420 sf. [RATIO OF OUTDOOR SEATING AREA TO INDOOR SEATING AREA = 420 sf / 2,300 sf = .182 = 18.2%.]**

OUTDOOR DINING AREA IS 420 sf. [RATIO OF OUTDOOR SEATING AREA TO GROSS FLOOR AREA = 420 sf / 7,895 sf = .053 = 5.3%.]**

**THE OUTDOOR DINING AREA IS UNDER THE 20% THRESHOLD WHICH WOULD REQUIRE ADDITIONAL PARKING REQUIREMENTS.

ACCESSIBLE PARKING REQUIRED (INCLUDED IN TOTAL COUNT) : 1 ACCESSIBLE SPACE (1 VAN ACCESSIBLE)

ACCESSIBLE PARKING PROVIDED: 1 ACCESSIBLE SPACE, AND 0 VAN ACCESSIBLE SPACE.

NOTE: THERE IS AN EXISTING ELEVEN UNIT BICYCLE RACK PROVIDED NEAR THE RESTAURANT ENTRANCE.

VARIANCES SOUGHT:

Two variances are being sought for this project. The first is relief for the on-site parking requirement. Front Range Barbecue is an established restaurant in Old Colorado City. A variance is sought due to the density and initial built environment in this historic neighborhood, and the nature of the existing building setbacks in the Old Colorado City historic district. Off-site parking is located nearby, including street parking, and parking provided by neighbors as outlined in the variance request. Additionally, there is nearby public parking at West Cucharras and South 25th Street providing forty-six (46) standard space, three (3) handicap spaces and four (4) motorcycle spaces.

The second variance sought is for the front setback distance along West Colorado Avenue. MX-M requires a front setback of 20'. As measured, a stairway leading to the restaurant is eight (8) feet from the sidewalk. In this area, with the existing character and density, facades which align, or nearly align will present more architectural unity. As this area moves into the more pronounced, historical nature of Old Colorado City, there is a sense of enclosure provided by the narrower setback which makes walking along the sidewalk more comfortable. It is not a high speed corridor, with posted speed of 25 m.p.h.

GENERAL NOTES:

- FEDERAL EMERGENCY MANAGEMENT AGENCY
 - Flood Insurance Rate Map Number 08041C0726 G, effective date December 7, 2018 indicates the area in the vicinity of this parcel of land to be a Zone X (area determined to be out of the 500 year flood plain).
- Proposed paving will tie into existing paving at West Colorado Boulevard.
- Light Standards: Per City Code Section 7.4.102.D., all lighting fixtures shall be full cut-off or have shielding to reduce off-site lighting impacts onto adjacent properties and roadways. All exterior lighting shall be arranged to mitigate light directed away from adjacent properties and any public right-of-way. An amendment to this plan may be required if the lighting type is changed.
- Refer to civil drawings for detailed information on any grading, drainage, water quality ponds, and retaining walls.
- Refer to landscape drawings for detailed information on planting, groundcovers, irrigation system, fencing and privacy walls.
- The Owner of Record is responsible for maintenance of the common areas, landscaping, fencing, and drives.
- The parties responsible for this plan have familiarized themselves with all current accessibility criteria and specifications and the proposed plan reflects all site elements required by the application ADA design standards and guidelines as published by the United States Department of Justice. Approval of this plan by the City of Colorado Springs does not assure compliance with the ADA or any other Federal or State accessibility laws or any regulations or guidelines enacted or promulgated under or with respect to such laws. Sole responsibility for compliance with Federal and State accessibility laws lies with the property owner.
- The Mineral Estate Owner Notification Affidavit was submitted as required by the City of Colorado Springs. The applicant (or property owner) attests there are no separate mineral estate owner(s) identified and no further action as required or taken.
- Landscape improvements and maintenance shall be the responsibility of owner, and/or their assigns.
- All street trees and streetscape improvements located in the ROW will be maintained by the abutting property owner.
- Signage is not approved per this plan. A separate sign permit is required. Contact the Development Review Enterprise at 719-385-5982 to begin a sign permit application.
- No building permits shall be issued for building sites within this plat until all required fees have been paid and all required public and private improvements have been installed as specified by the City of Colorado Springs or alternatively until acceptable assurances including but not limited to letters of credit, cash subdivision bonds or combinations thereof guaranteeing the completion of all required public improvements including but not limited to drainage, street and erosion control have been placed on file with the City of Colorado Springs.
- All improvements depicted within this plan are required by City Code and/or are a condition of approval to ensure compliance with the City's review criteria. Any private improvements provided as extra, will be labeled as "EX" and will not be included in the calculated amount required for a financial assurance.
- Materials stored outdoors shall be enclosed with an opaque screen and in no case shall materials be stored in such a way that they exceed the height of the rear-yard fence.
- An application form for Geologic Hazard Waiver has been provided with this submittal.
- All curb, gutter, driveways, pedestrian ramps and sidewalk posing a safety hazard, damaged, exhibiting excessive deterioration or does not meet current City Engineering standards along the public right-of-way (ROW) adjacent to the site will need to be removed and replaced prior to the issuance of the Certificate of Occupancy (CO). An on-site meeting can be set up with the Engineering Development Review Division (EDRD) inspector to determine what, if any improvements are required. The EDRD inspector can be reached at 719-385-5977.

SITE DATA:

LOCATION: 2330 and 2326 W. Colorado Ave., Colorado Springs, CO 80904-3327

TAX SCHEDULE NUMBER: 7411301011 and 7411301018

EXISTING USE: Restaurant

PROPOSED USE: Restaurant

GROSS PARCEL ACREAGE: 0.2465 AC (10,740 SF)

THE EXISTING BUILDING AREA (INCLUDING PORCH AND PATIO) = 2,771 SF

THE TOTAL PROPOSED BUILDING INCLUDING EVENT SPACE, MEZZANINE AND OFFICES = 8,185 SF

THE TOTAL INDOOR DINING AREA = 2,300 SF

THE TOTAL OUTDOOR DINING AREA = 420 SF (420 SF / 2300 SF = 18.2% < 20% OF INDOOR DINING AREA)

TAX STATUS: Taxable

ZONING (TO REMAIN): MX-M (Mixed-use - Medium Scale)
 PLAT NO.: 551
 AREA: TSN 7411301011 = 3,600 s.f.
 AREA: TSN 7411301018 = 7,140 s.f.

PROPOSED DENSITY: N.A.

MINIMUM LOT AREA: N.A.

AVERAGE LOT SIZE: N.A.

LOT COVERAGE (Buildings): 7,496.2 sq. ft. (70%)

LOT COVERAGE (Impervious): 10,740 sq. ft. (100%)

SCHEDULE OF DEVELOPMENT: February 2024

MAXIMUM ALLOWABLE BUILDING HEIGHT: 50'

SETBACKS (MIN.) FOR MX-M: Front and Side Street: Minimum: 20 ft. Maximum: Subject to Land Use Plan or Dev. Plan
 Side - Interior: 20 ft.
 Corner Lot - Side Street: 30 ft.
 Rear - 15 ft.

PROPOSED SETBACKS: Front: 8 ft. (existing)
 Side: 0 ft. (existing)
 Rear: 15 ft. (existing)

LOT STANDARDS FOR MX-M: Lot Area (Min.) - N.A.
 Lot Width (Min.) - N.A.

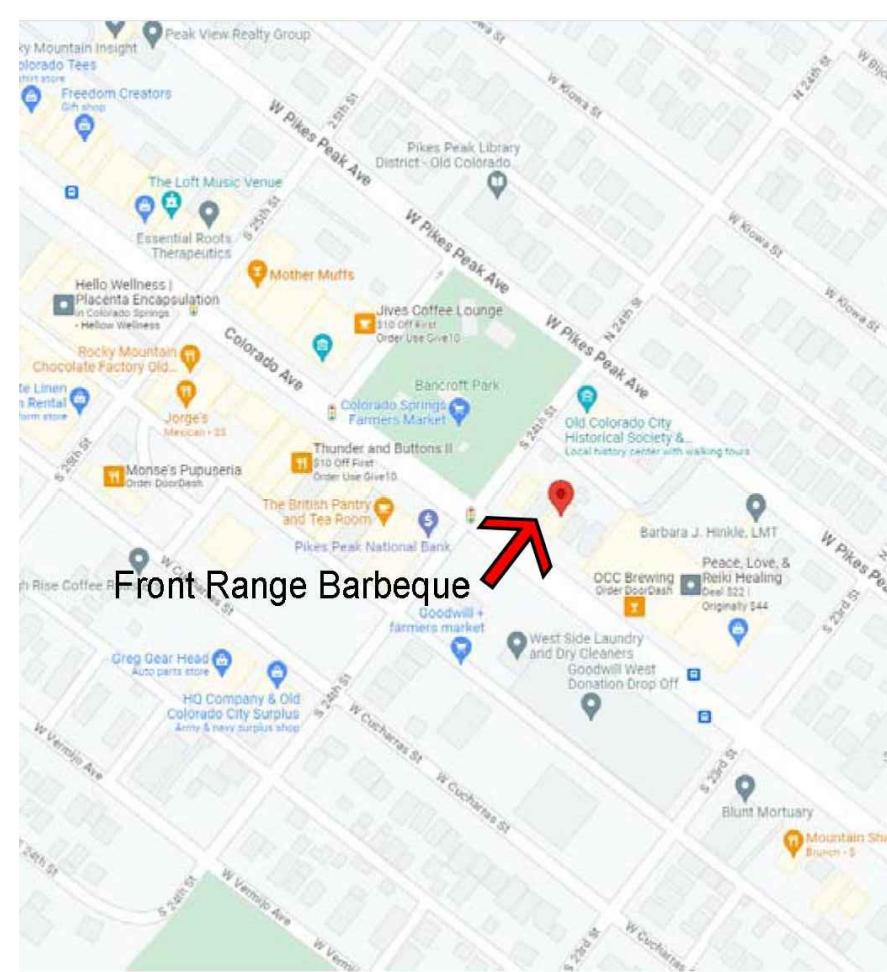
ADMINISTRATIVE ADJUSTMENTS SOUGHT:

One administrative adjustment is sought regarding the side setback requirement on the west side of the property. The MX-M zoning requires a side setback of twenty (20) feet. The site has a contextual component with respect to the neighboring buildings, regarding its vicinity in Old Colorado City. The average setbacks of the structures in the area are minimal due to the historic development of the block and density within Old Colorado City.

ALTERNATIVE LANDSCAPE ADJUSTMENT SOUGHT:

Alternative landscape adjustment is sought for Code Section 7.4.905, requirement of 20' landscape setback for a minor arterial street. Concurrently, allowance of street planting in the parkway is sought pursuant to and in conformance with 7.4.905c.

VICINITY MAP (not to scale)

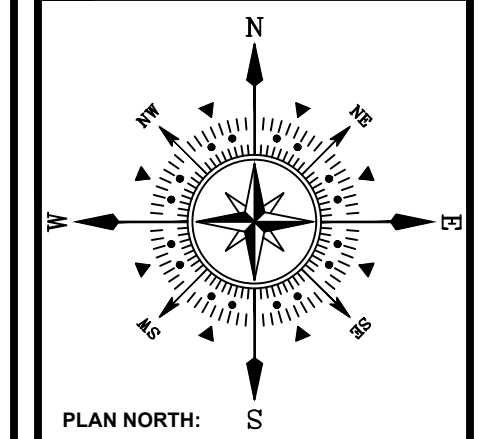


SHEET INDEX:

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| SITE PLAN: | SHEET 02 |
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FRONT RANGE BARBEQUE
2330 W. COLORADO AVE.
COLORADO SPRINGS, CO 80904
DEVELOPMENT PLAN

| | | |
|------------|------------|------------------------------------|
| DATE: | 09/15/2023 | |
| DESIGNED: | WFG | |
| CHECKED: | GEM | |
| REVISIONS: | | |
| DATE: | BY: | DESCRIPTION: |
| 03/13/2024 | WFG | RESPOND TO INITIAL REVIEW COMMENTS |
| 02/07/2024 | WFG | RESPOND TO PRELIMINARY COMMENTS |
| 07/26/2024 | WFG | RESPOND TO PRELIMINARY COMMENTS |
| 09/12/2024 | GEM | RESPOND TO SHEET REVIEW COMMENTS |

| | |
|--------------|--------------------------------|
| PLAN SCALE: | 1" = 20' (OR AS NOTED ON PLAN) |
| SHEET TITLE: | COVER SHEET |
| SHEET NO. | 1 |
| FILE NO. | DEPN-23-0205 |

1 of 11 SHEETS

APPLICANT DATA:

OWNER/DEVELOPER: FRBBO Properties, LLC
 2330 W Colorado Avenue
 Colorado Springs, CO 80904-3327
 719.232.0717 | brian@frbbo.com

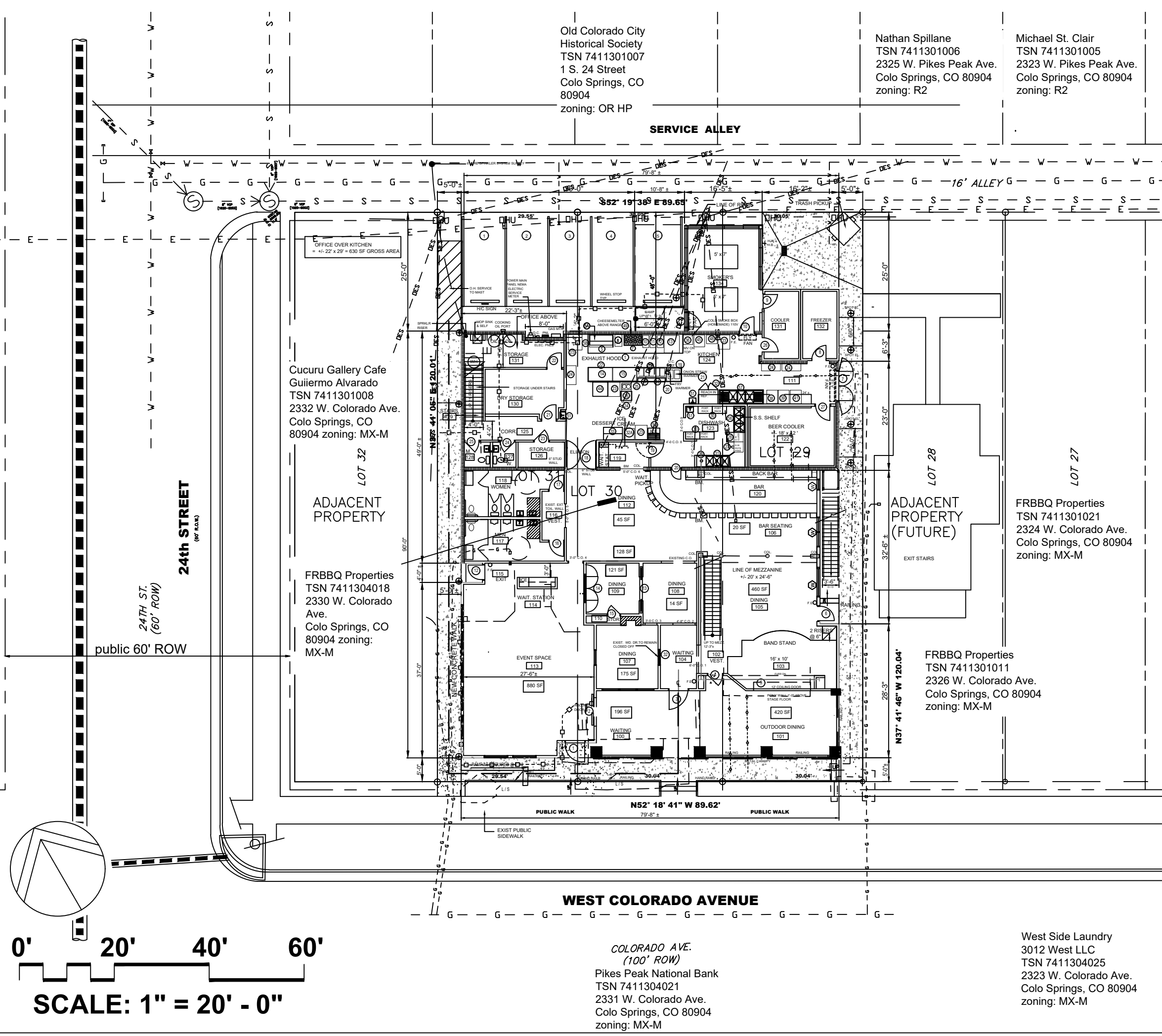
APPLICANT/PLANNER: William Guman & Associates, Ltd.
 731 North Weber Street, Suite 10
 Colorado Springs, CO 80903
 719.633.9700 | bill@guman.net

DATE OF PREPARATION: AUGUST 11, 2023

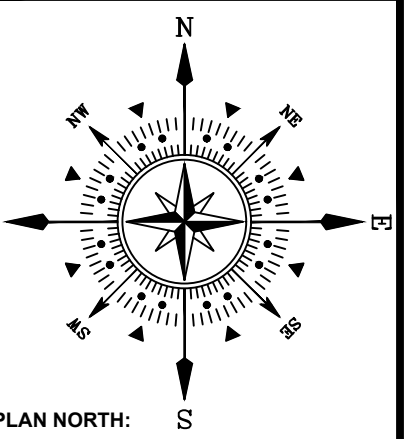
GEOLOGIST: Rocky Mountain Group
 2910 Austin Bluffs Parkway
 Suite 100
 Colorado Springs, CO 80918
 719.203.3322 | kzjgier@rmg-engineers.com

ENGINEER: Catamount Engineering
 321 W. Henrietta Avenue
 Woodland Park, CO 80866
 719.426-2124

ARCHITECT: Fortinberry Associates Architects, PC
 300 Vestavia Parkway #3900
 Vestavia Hills, AL 35216
 205.979-2320



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FRONT RANGE BARBEQUE
2330 W. COLORADO AVE.
COLORADO SPRINGS, CO 80904
 DEVELOPMENT PLAN

PROJECT NAME:
 PROJECT ADDRESS:
 PROJECT DESCRIPTION:

DATE: 09/15/2023
 DESIGNED: WFG
 CHECKED: GEM

| REVISIONS: | DATE: | BY: | DESCRIPTION: |
|------------|------------|-----|---------------------------------------|
| R1 | 02/13/2024 | WFG | 1) RESPOND TO INITIAL REVIEW COMMENTS |
| R2 | 07/26/2024 | WFG | RESPOND TO REVIEW COMMENTS |
| R3 | 09/12/2024 | GEM | RESPOND TO SHEET REVIEW COMMENTS |

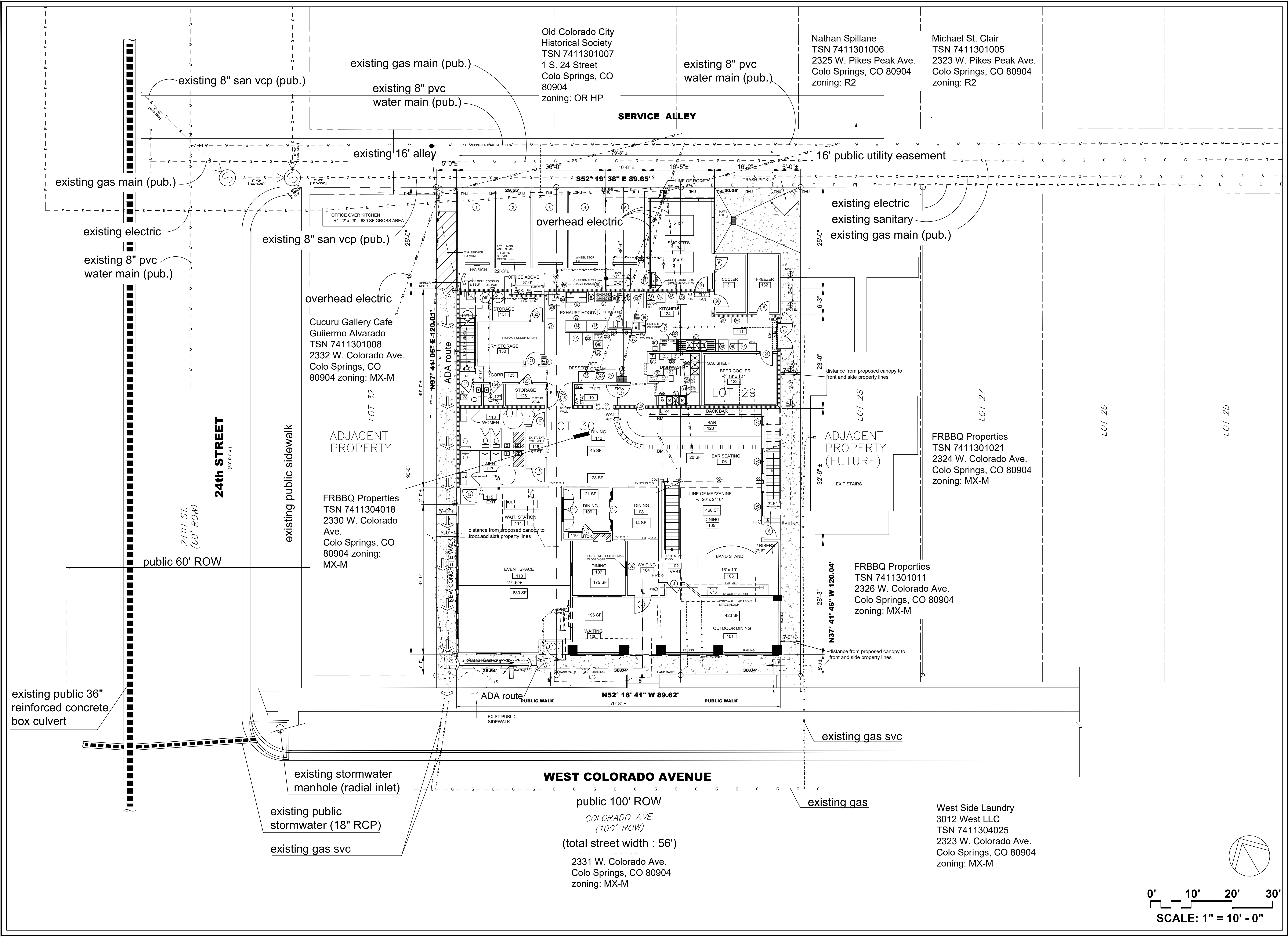
NOTES:

PLAN SCALE: 1" = 100' (OR AS NOTED ON PLAN)

SHEET TITLE:
SITE PLAN

SHEET NO.
2
 2 OF 11 SHEETS

FILE NO.
 DEPN-23-0205



Old Colorado City
 Historical Society
 TSN 7411301007
 1 S. 24 Street
 Colo Springs, CO
 80904
 zoning: OR HP

Nathan Spillane
 TSN 7411301006
 2325 W. Pikes Peak Ave.
 Colo Springs, CO 80904
 zoning: R2

Michael St. Clair
 TSN 7411301005
 2323 W. Pikes Peak Ave.
 Colo Springs, CO 80904
 zoning: R2

Cucuru Gallery Cafe
 Guierno Alvarado
 TSN 7411301008
 2332 W. Colorado Ave.
 Colo Springs, CO
 80904 zoning: MX-M

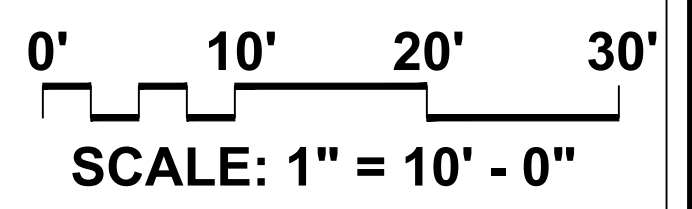
FRBBQ Properties
 TSN 7411304018
 2330 W. Colorado
 Ave.
 Colo Springs, CO
 80904 zoning:
 MX-M

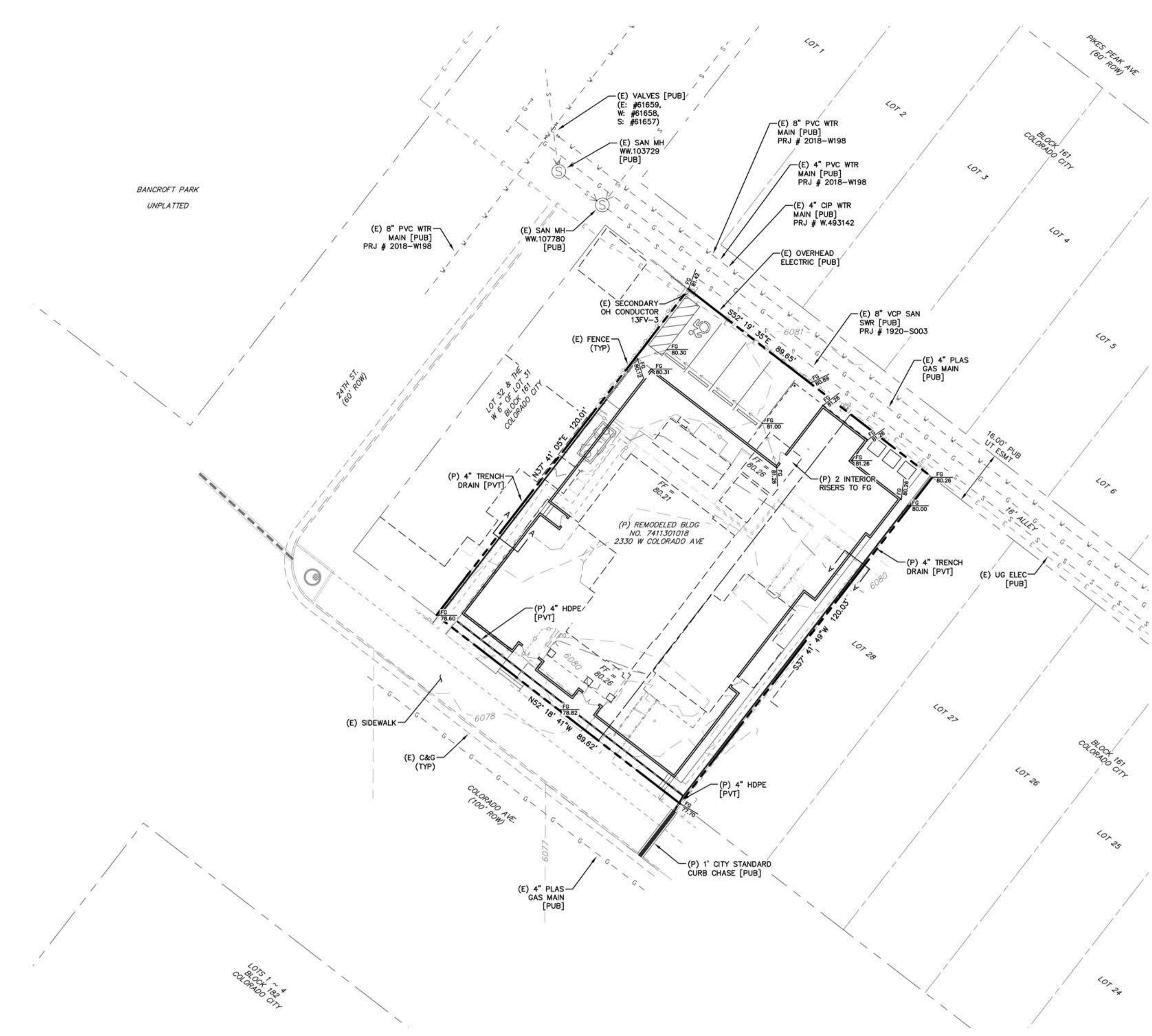
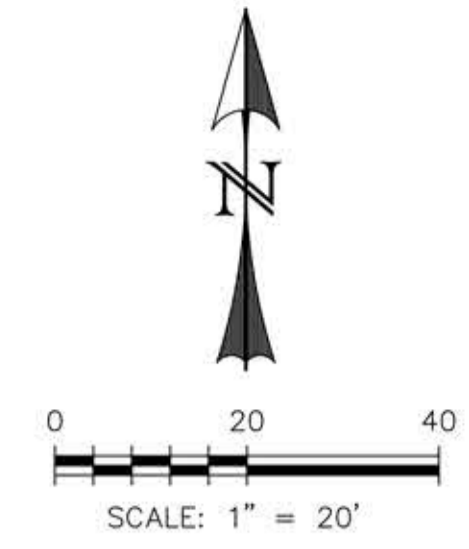
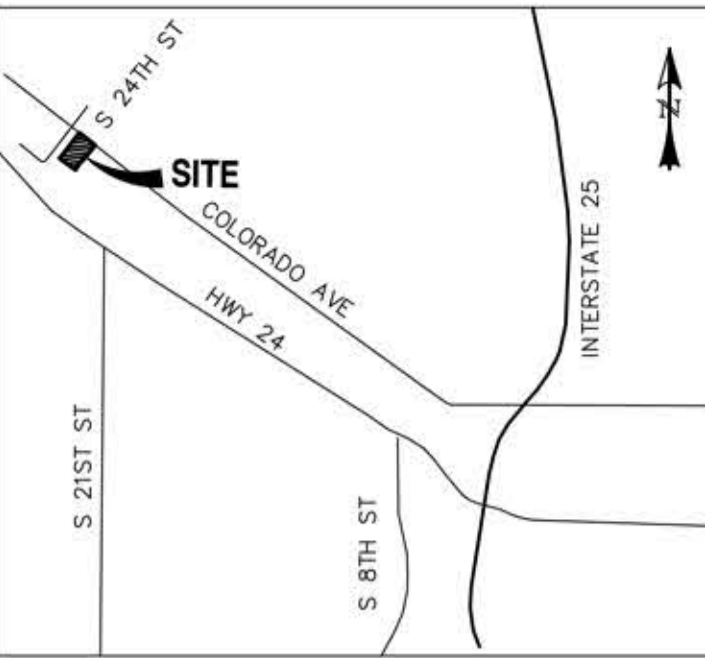
FRBBQ Properties
 TSN 7411301011
 2326 W. Colorado Ave.
 Colo Springs, CO 80904
 zoning: MX-M

FRBBQ Properties
 TSN 7411301021
 2324 W. Colorado Ave.
 Colo Springs, CO 80904
 zoning: MX-M

West Side Laundry
 3012 West LLC
 TSN 7411304025
 2323 W. Colorado Ave.
 Colo Springs, CO 80904
 zoning: MX-M

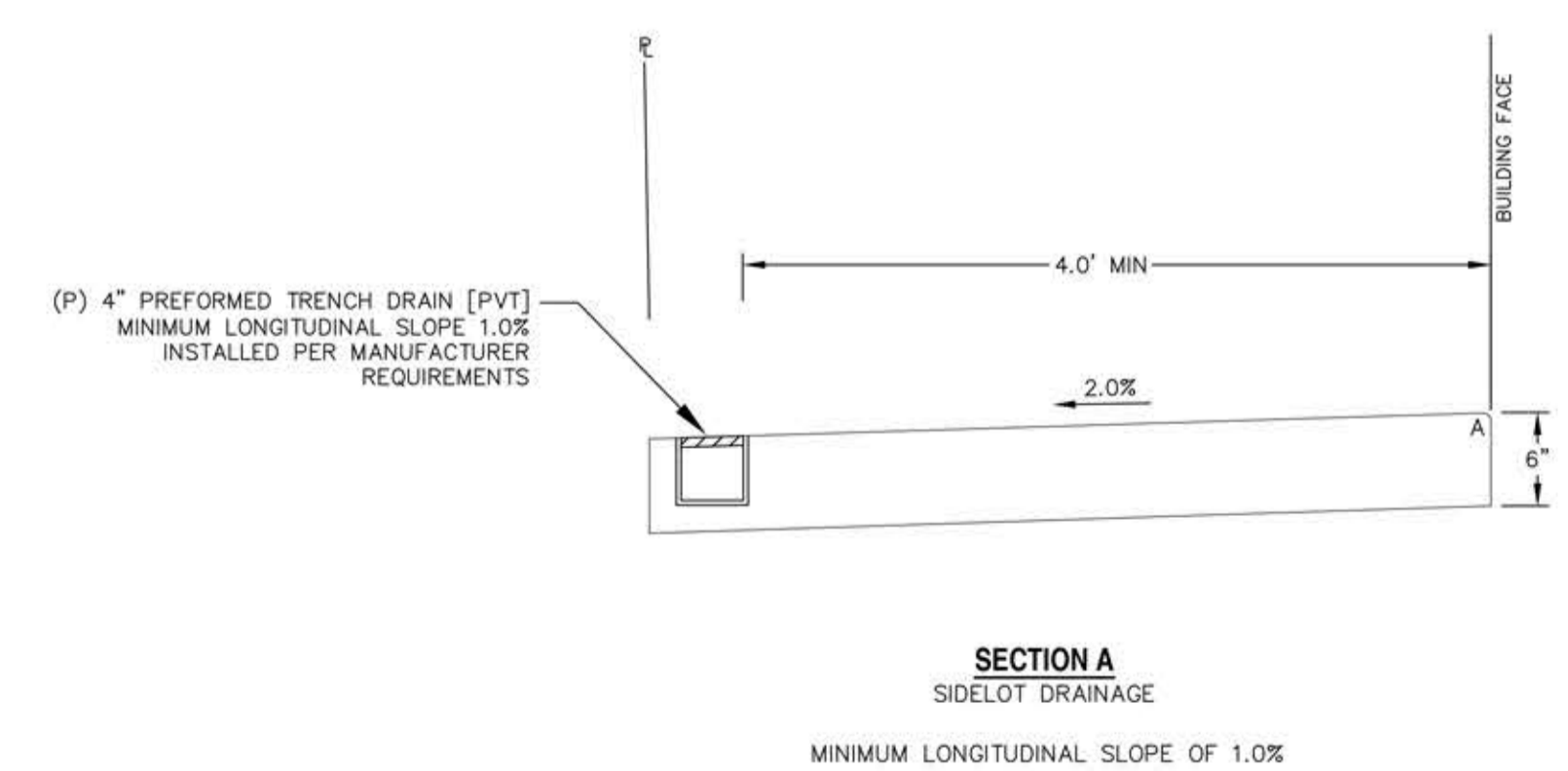
public 100' ROW
 COLORADO AVE.
 (100' ROW)
 (total street width : 56')
 2331 W. Colorado Ave.
 Colo Springs, CO 80904
 zoning: MX-M





LEGEND

| | | | | |
|--------------------------------|-------|-----|----------------------------------|-----|
| EXISTING | (E) | --- | (E) UG ELECTRIC | --- |
| PROPOSED | (P) | --- | (E) UG TELEPHONE | --- |
| FUTURE | (F) | --- | (E) UG FIBER OPTIC | --- |
| CURB AND GUTTER | C&G | --- | (E) GAS MAIN | --- |
| EASEMENT | ESMT | --- | (P) SANITARY MAIN, MH | --- |
| FIRE HYDRANT | FH | --- | (E) STORM SEWER, INLET, MH | --- |
| MANHOLE | MH | --- | (P) STORM SEWER, INLET, MH | --- |
| PROTECT-IN-PLACE | [PIP] | --- | (P) WATER MAIN, BOV, VALVE, FH | --- |
| SANITARY | SAN | --- | (E) SIGN | --- |
| SEWER | SWR | --- | (E) TELEPHONE BOX | --- |
| STORM | STM | --- | (E) STORM MANHOLE | --- |
| WATER | WTR | --- | (E) ELECTRIC MANHOLE | --- |
| BOUNDARY | | --- | (E) UTILITY POLE | --- |
| RIGHT-OF-WAY | | --- | (E) UTILITY POLE GUY WIRE ANCHOR | --- |
| LOT LINE | | --- | (E) CONIFEROUS TREE | --- |
| EASEMENT | | --- | (E) DECIDUOUS TREE | --- |
| SETBACK-BUILDING | | --- | | |
| SETBACK-LANDSCAPE | | --- | | |
| (E) SANITARY MAIN, MH | | --- | | |
| (E) WATER MAIN, BOV, VALVE, FH | | --- | | |



CITY FILE NO: DEPN 23-0205

| REV. | DESCRIPTION | DATE |
|------|-------------------------|----------|
| 1 | ADDRESS AGENCY COMMENTS | 04/15/24 |
| | | |
| | | |



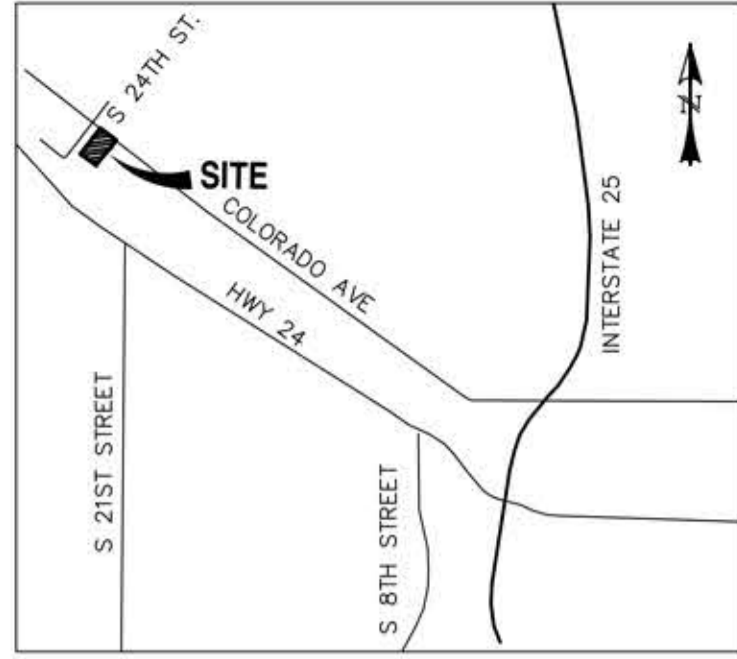
PROPOSED PRIVATE STORM CONNECTION NOTE:
ALL PRIVATE TO PUBLIC STORM SEWER CONNECTIONS MUST BE INSPECTED BY AN ENGINEERING DEPARTMENT REVIEW INSPECTOR.

PREPARED FOR:
FRBQQ PROPERTIES LLC
2330 W COLORADO AVE
COLORADO SPRINGS, CO 80904-3327
(719) 632-2596



FRONT RANGE BBQ
PRELIMINARY GRADING PLAN

| | |
|--------------------|----------------|
| DESIGNED BY: DLM | DRAWN BY: SLP |
| SCALE: 1" = 20' | DATE: 12/21/23 |
| JOB NUMBER: 22-343 | SHEET: 3 OF 11 |



VICINITY MAP
SCALE: N.T.S.

LEGEND

| | |
|----------------------------------|-------|
| EXISTING | (E) |
| PROPOSED | (P) |
| FUTURE | (F) |
| CURB AND GUTTER | C&G |
| EASEMENT | ESMT |
| FIRE HYDRANT | FH |
| MANHOLE | MH |
| PROTECT-IN-PLACE | [PIP] |
| SANITARY | SAN |
| SEWER | SWR |
| STORM | STM |
| WATER | WTR |
| BOUNDARY | --- |
| RIGHT-OF-WAY | --- |
| LOT LINE | --- |
| EASEMENT | --- |
| SETBACK-BUILDING | --- |
| SETBACK-LANDSCAPE | --- |
| (E) SANITARY MAIN, MH | --- |
| (E) WATER MAIN, BOV, VALVE, FH | --- |
| (E) UG ELECTRIC | --- |
| (E) UG TELEPHONE | --- |
| (E) UG FIBER OPTIC | --- |
| (E) GAS MAIN | --- |
| (P) SANITARY MAIN, MH | --- |
| (E) STORM SEWER, INLET, MH | --- |
| (P) STORM SEWER, INLET, MH | --- |
| (P) WATER MAIN, BOV, VALVE, FH | --- |
| (E) SIGN | --- |
| (E) TELEPHONE BOX | --- |
| (E) STORM MANHOLE | --- |
| (E) ELECTRIC MANHOLE | --- |
| (E) UTILITY POLE | --- |
| (E) UTILITY POLE GUY WIRE ANCHOR | --- |
| (E) CONIFEROUS TREE | --- |
| (E) DECIDUOUS TREE | --- |
| (E) SANITARY SEWER MANHOLE | --- |

PRELIMINARY UTILITY PLAN GENERAL NOTES:

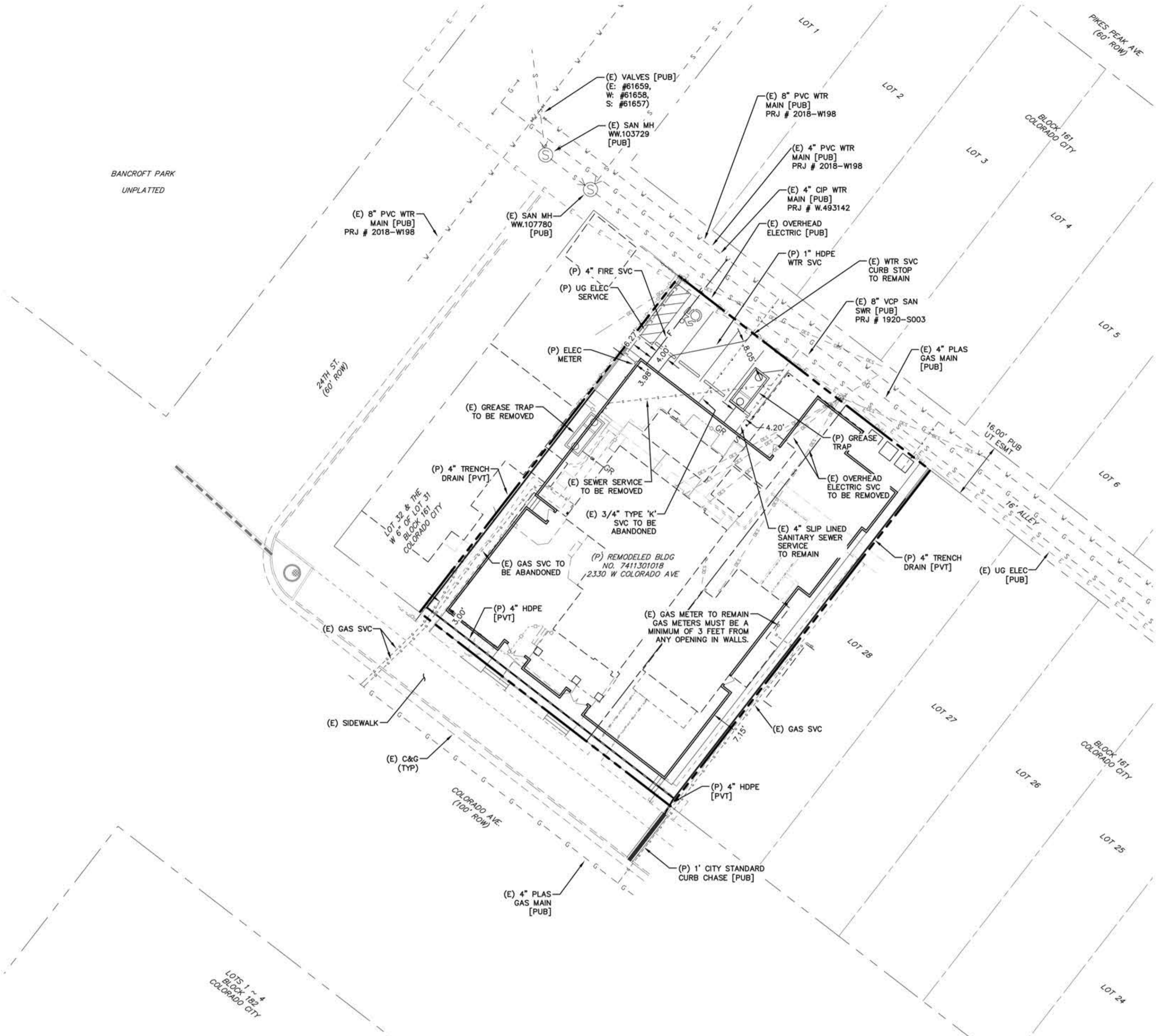
- PROPERTY OWNER(S) ACKNOWLEDGE AND AGREE TO THE FOLLOWING UPON APPROVAL OF THE PRELIMINARY UTILITY PLAN:
- COLORADO SPRINGS UTILITIES (SPRINGS UTILITIES) SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION OF ALL WATER, WASTEWATER, ELECTRIC AND GAS FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THIS PRELIMINARY UTILITY PLAN.
 - PROPERTY OWNER(S) (OWNER) ACKNOWLEDGES THAT THE CONNECTION AND/OR EXTENSION OF UTILITY SERVICES TO THE PROPERTY IDENTIFIED IN THIS PRELIMINARY UTILITY PLAN ("PROPERTY") SHALL BE IN ACCORD WITH ALL APPLICABLE CODES AND REGULATIONS, SPRINGS UTILITIES LINE EXTENSION & SERVICE STANDARDS (STANDARDS), TARIFFS, COLORADO SPRINGS CITY CODE, RESOLUTIONS, AND POLICIES, AND Pikes Peak REGIONAL BUILDING DEPARTMENT CODES, IN EFFECT AT THE TIME OF UTILITY SERVICE CONNECTION AND/OR EXTENSION.
 - OWNER ACKNOWLEDGES RESPONSIBILITY FOR THE COSTS OF EXTENSIONS OR UTILITY SYSTEM IMPROVEMENTS THAT SPRINGS UTILITIES DETERMINES NECESSARY TO PROVIDE UTILITY SERVICES TO THE PROPERTY OR TO ENSURE TIMELY DEVELOPMENT OF INTEGRATED UTILITY SYSTEMS SERVING THE PROPERTY AND AREAS OUTSIDE THE PROPERTY (INCLUDING THE COSTS TO DESIGN AND INSTALL WATER SYSTEMS, WASTEWATER COLLECTION SYSTEMS, AND ANY GAS OR ELECTRIC LINES TO AND WITHIN THE PROPERTY). OWNER MAY BE ELIGIBLE FOR A COST RECOVERY AGREEMENT AS PROVIDED IN UTILITIES' RULES AND REGULATIONS.
 - SPRINGS UTILITIES UTILITY SERVICES ARE AVAILABLE ON A "FIRST-COME, FIRST-SERVED" BASIS, AND THEREFORE NO SPECIFIC ALLOCATIONS OR AMOUNTS OF UTILITY SERVICES, FACILITIES, CAPACITIES OR SUPPLIES ARE RESERVED FOR THE OWNER, AND SPRINGS UTILITIES MAKES NO COMMITMENT AS TO THE AVAILABILITY OF ANY UTILITY SERVICE UNTIL SUCH TIME AS AN APPLICATION FOR PERMANENT SERVICE IS APPROVED BY SPRINGS UTILITIES.
 - THE RELOCATION OR ALTERATION OF ANY EXISTING UTILITY FACILITIES WITHIN THE PROPERTY WILL BE AT THE OWNER'S SOLE COST AND EXPENSE. IF SPRINGS UTILITIES DETERMINES THAT OWNER'S RELOCATION OR ALTERATION REQUIRES NEW OR UPDATED EASEMENTS, OWNER SHALL CONVEY THOSE EASEMENTS PRIOR TO RELOCATING OR ALTERING THE EXISTING UTILITY FACILITIES.
 - OWNER SHALL DEDICATE BY PLAT AND/OR CONVEY BY RECORDED DOCUMENT, ALL PROPERTY AND EASEMENTS THAT SPRINGS UTILITIES DETERMINES ARE REQUIRED FOR ALL UTILITY SYSTEM FACILITIES NECESSARY TO SERVE THE PROPERTY OR TO ENSURE DEVELOPMENT OF AN INTEGRATED UTILITY SYSTEM. ALL EASEMENTS GRANTED BY SEPARATE INSTRUMENT SHALL UTILIZE SPRINGS UTILITIES THEN-CURRENT PERMANENT EASEMENT AGREEMENT FORM.
 - THE WATER SYSTEM FACILITIES MUST MEET SPRINGS UTILITIES CRITERIA FOR WATER QUALITY, RELIABILITY AND PRESSURE, INCLUDING LOOPING REQUIREMENTS (SEE SPRINGS UTILITIES LINE EXTENSION AND SERVICE STANDARDS).
 - OWNER RECOGNIZES THAT THE EXTENSION OF WATER SYSTEM FACILITIES MAY AFFECT THE QUALITY OF WATER IN THE SPRINGS UTILITIES WATER SYSTEM. WHEN WATER QUALITY IS AFFECTED, OWNER ACKNOWLEDGES RESPONSIBILITY FOR ANY COSTS THAT SPRINGS UTILITIES DETERMINES NECESSARY IN ORDER TO MAINTAIN WATER QUALITY IN ITS SYSTEM AS A RESULT OF OWNER'S WATER SYSTEM EXTENSIONS. OWNER MAY BE REQUIRED TO SUBMIT A WATER QUALITY PLAN FOR THE PROJECT.
 - OWNER MUST CONTACT SPRINGS UTILITIES FIELD ENGINEERING TO DETERMINE THE LOCATION OF ALL NATURAL GAS AND ELECTRIC METERS AND TRANSFORMERS AND TO SECURE APPROVAL OF GAS-SERVICE LINE PRESSURES IN EXCESS OF SPRINGS UTILITIES STANDARD GAS SYSTEM PRESSURE. (CONTACT FIELD ENGINEERING NORTH 668-4985 OR SOUTH 668-5564).
 - IT SHALL NOT BE PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH WITHIN ANY SPRINGS UTILITIES EASEMENT OR RIGHTS OF WAY WITHOUT THE WRITTEN APPROVAL OF SPRINGS UTILITIES. IMPROVEMENTS, STRUCTURES AND TREES SHALL NOT BE LOCATED WITHIN UTILITY EASEMENT, SHALL NOT VIOLATE NATIONAL ELECTRIC SAFETY CODE (NEC) PROVISIONS AND CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.
 - SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF SPRINGS UTILITIES TO APPLY ITS STANDARDS, AND IF THERE ARE ANY CONFLICTS BETWEEN ANY APPROVED DRAWINGS AND ANY PROVISION OF STANDARDS OR THE CITY CODE, THEN THE STANDARDS OR CITY CODE SHALL APPLY. SPRINGS UTILITIES' APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF THE CITY OF COLORADO SPRINGS OR SPRINGS UTILITIES TO ADOPT DIFFERENT ORDINANCES, RULES, REGULATIONS, RESOLUTIONS, POLICIES OR CODES WHICH CHANGE ANY OF THE PROVISIONS OF THE STANDARDS SO LONG AS THESE APPLY TO THE CITY GENERALLY AND ARE IN ACCORD WITH THE THEN-CURRENT TARIFFS, RATES AND POLICIES OF SPRINGS UTILITIES.

EASEMENT NOTES:

- THE PROPERTY IS SUBJECT TO EASEMENTS, CONDITIONS, COVENANTS, RESTRICTIONS, RESERVATIONS AND NOTES ON THE PLAT OF PLAN OF COLORADO CITY RECORDED FEBRUARY 17 1873 IN BOOK A AT PAGE 5.
- APPARENT EASEMENTS ARE SHOWN BY EXISTING UTILITY CROSSINGS OF PROPERTY. NO EASEMENTS HAVE BEEN RECORDED ON THE LOT.

NOTES:

- MAINTAIN 15-FOOT MINIMUM SEPARATION FROM ANY TREE TO UTILITY SERVICE LINE.
- FINAL GAS AND ELECTRIC SERVICE LINE DESIGN WILL BE DETERMINED BY FIELD ENGINEERING.
- ALL PRIVATE TO PUBLIC STORM SEWER CONNECTIONS MUST BE INSPECTED BY AN ENGINEERING DEVELOPMENT REVIEW INSPECTOR.



CITY FILE NO: DEPN 23-0205

| REV. | DESCRIPTION | DATE |
|------|-------------------------|----------|
| 1 | ADDRESS AGENCY COMMENTS | 04/15/24 |



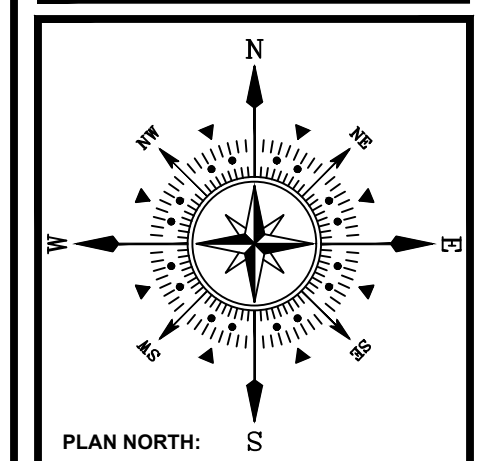
PREPARED FOR:
FRBBO PROPERTIES LLC
2330 W COLORADO AVE
COLORADO SPRINGS, CO 80904-3327
(719) 632-2596



FRONT RANGE BBQ
PRELIMINARY UTILITY & PUBLIC FACILITIES PLAN

| | |
|--------------------|----------------|
| DESIGNED BY: DLM | DRAWN BY: SLP |
| SCALE: 1" = 20' | DATE: 12/21/23 |
| JOB NUMBER: 22-343 | SHEET: 4 OF 11 |

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FRONT RANGE BARBEQUE
2330 W. COLORADO AVE.
COLORADO SPRINGS, CO 80904
 DEVELOPMENT PLAN

PROJECT NAME: FRONT RANGE BARBEQUE
 PROJECT ADDRESS: 2330 W. COLORADO AVE.
 PROJECT DESCRIPTION: DEVELOPMENT PLAN

REVISIONS:

| DATE: | BY: | DESCRIPTION: |
|---------------|-----|------------------------------------|
| R1 02/12/2024 | WFG | RESPOND TO INITIAL REVIEW COMMENTS |
| R2 07/26/2024 | WFG | RESPOND TO REVIEW COMMENTS |
| R3 09/12/2024 | GEM | RESPOND TO SHEET REVIEW COMMENTS |

NOTES:

PLAN SCALE: 1" = 100' (OR AS NOTED ON PLAN)

SHEET TITLE:
FINAL LANDSCAPE PLAN

SHEET NO.
5
 5 OF 11 SHEETS

FILE NO.
 DEPN-23-0205

SITE CATEGORY CALCULATION FORMAT GENERAL STANDARDS

LANDSCAPE SETBACKS (7.4.905)

| Street Name | Street Classification | Width Req. / Prov. | Linear Footage | Tree/Feet Required | No. of Trees Required / Provided |
|---------------------------------------|---|--------------------------|---|--------------------|----------------------------------|
| West Colorado Avenue | Minor Arterial | 20' / 9' " | 90' | 1 per 25' | 4 / 4 |
| Shrub Substitutes Required / Provided | Ornamental Grass Subs Required / Provided | Plan Symbol Abbreviation | Percent ground coverage Required / Provided | | |
| n/a | n/a | CA | 75% / 6% | | |

*Alternative Landscape Adjustment is being requested for code section 7.4.905 with elaboration to 7.4.905.C.
 *7.4.905.B.2.a.(2)(a) Trees to be located in adjacent right-of-way due to existing development barring placing street trees in the landscaped setback area.
 7.4.905.C.5.a.1. For all parkways/tree lawns less than 10 feet (10') wide, all ROW trees shall be placed in the middle between the detached walk and curb.

PROPERTY EDGE LANDSCAPE BUFFERS (7.4.906)

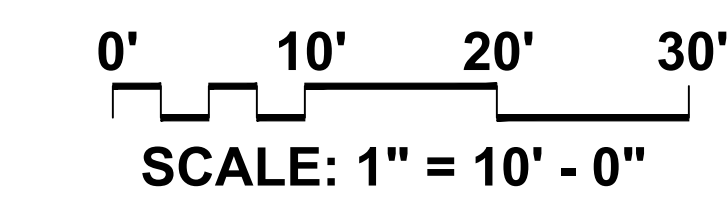
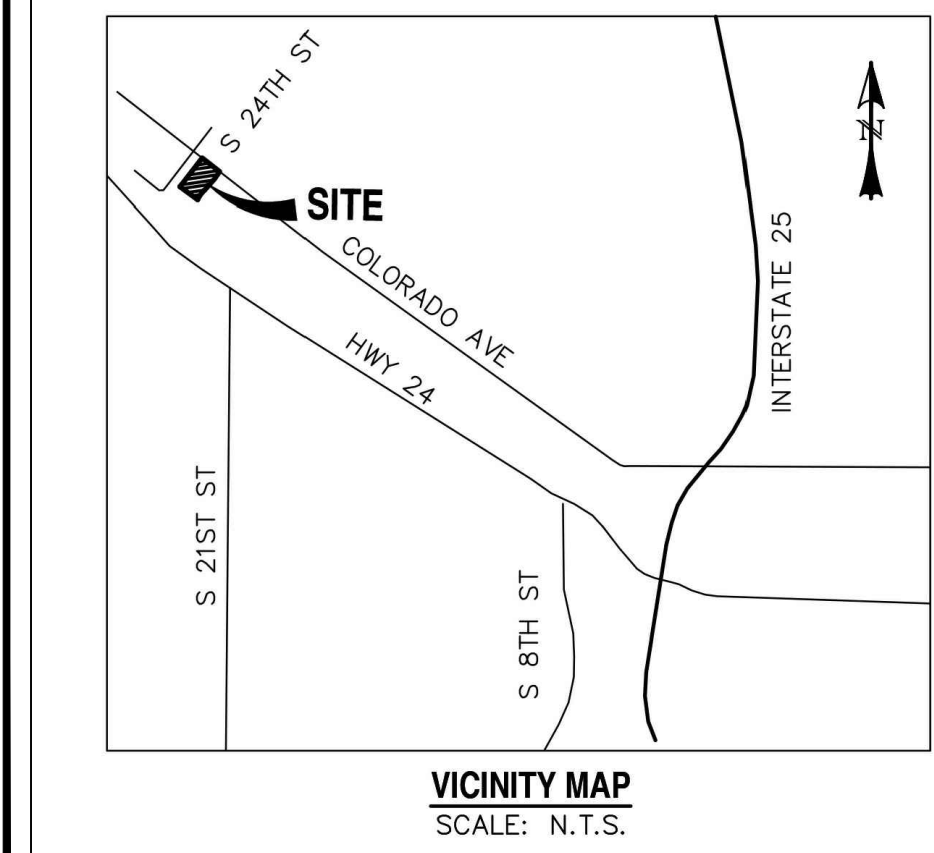
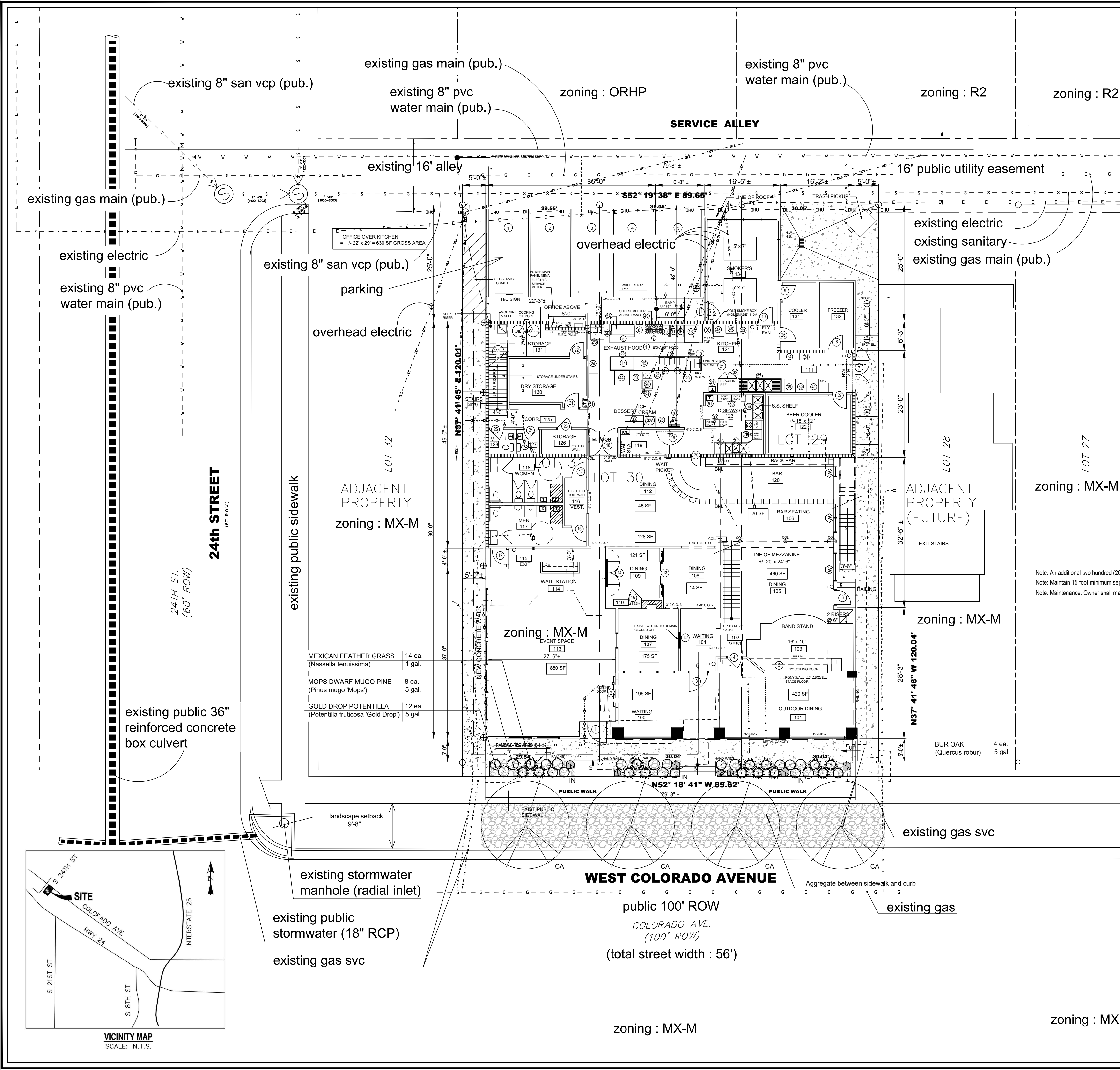
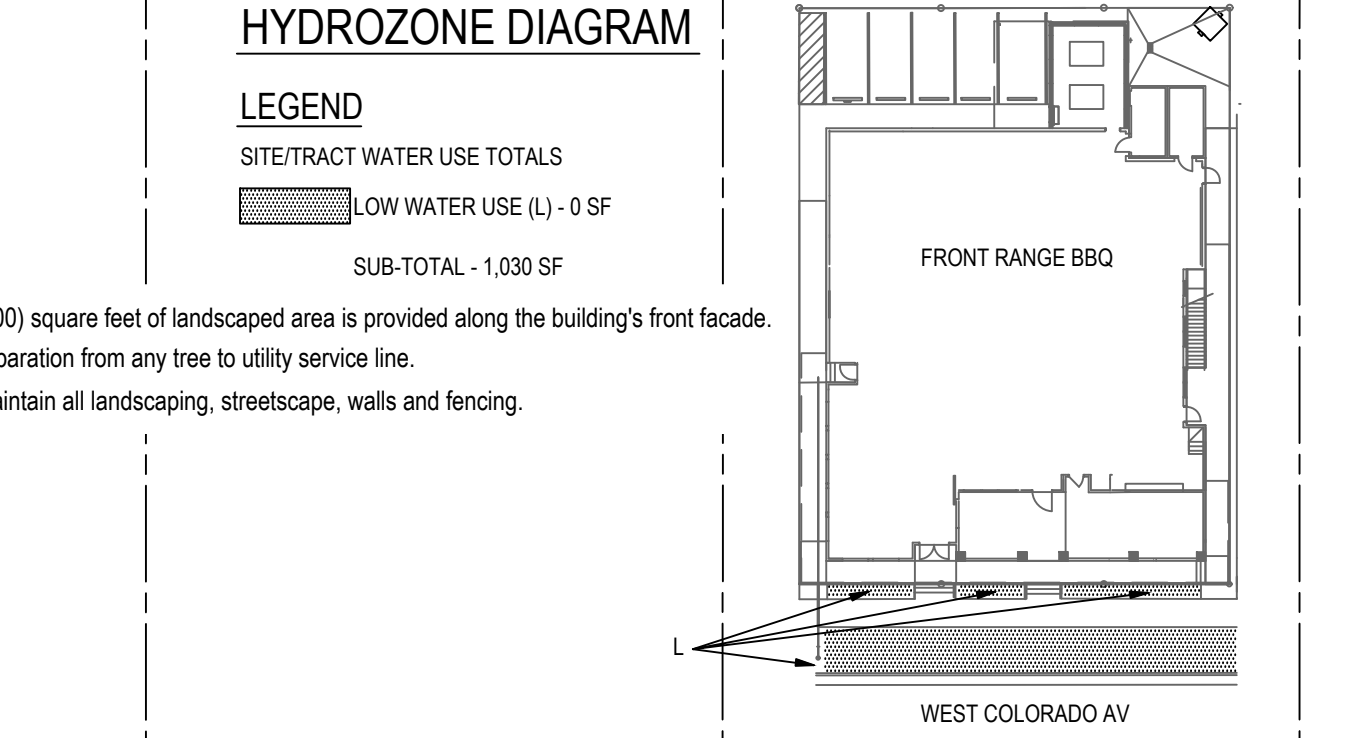
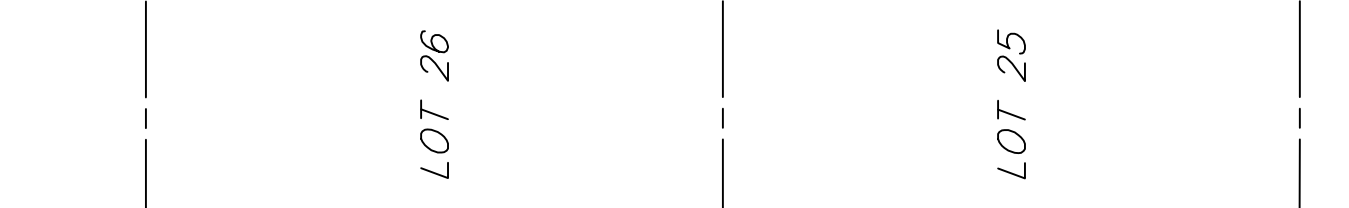
| Property Line | Width Req. / Prov. | Linear Footage | Tree / Feet Required | No. of Trees Required / Provided | Evergreen Trees Required / Provided |
|---------------------------------------|---|--------------------------|---|------------------------------------|-------------------------------------|
| West Property Line | n/a | 120' / 120' | n/a | n/a | n/a |
| East Property Line | n/a | 120' / 120' | n/a | n/a | n/a |
| Shrub Substitutes Required / Provided | Ornamental Grass Subs Required / Provided | Plan Symbol Abbreviation | Percent ground coverage Required / Provided | Length of 6' tall Fence Req./Prov. | |
| n/a | n/a | n/a | n/a | n/a | n/a |

PARKING LOT LANDSCAPING (7.4.907)

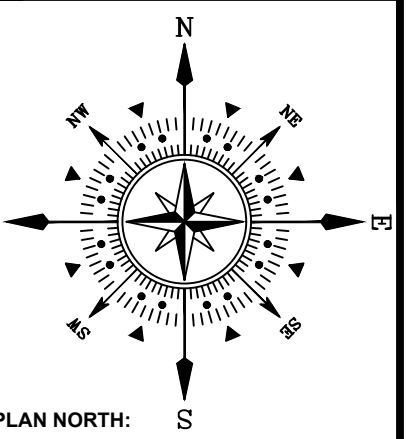
| No. of Vehicle Spaces | Shade Trees (1 per 15) Req./Prov. | Parking Lot Footage | Length of frontage (Excluding entry access) | 2/3 Length of frontage |
|---------------------------------|---|--------------------------|---|-------------------------------------|
| 4 | 0/0 | alley | 0' | 0' |
| No. of 3' tall screening plants | Evergreen Plants (min. 50 percent) Provided | Plan Symbol Abbreviation | Percent ground coverage Required / Provided | Length of screening wall/fence/berm |
| n/a | n/a | n/a | n/a | n/a |

INTERIOR LANDSCAPING (7.4.908)

| Gross Site Area (SF) | Percent Minimum Internal Area (%) Required | Internal Area (SF) Required/Provided | Internal Trees (1 per 500 SF) Required/Provided |
|-------------------------------------|---|---|---|
| 10,740 SF | 5% | 537 SF / 199 SF | 1 / 0 |
| Shrub Substitutes Required/Provided | Ornamental Grass Subs Required/Provided | Plan Symbol Abbreviation | Percent ground coverage Required/Provided |
| n/a | n/a | IN | 75% / 75% |
| Green Space Required (yes/no) | Active Green Space Percent/SF Required/Provided | Non-Active Green Space Percent/SF Required/Provided | Active Green Space Design Elements |
| no | n/a | 0/0 | n/a |



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FRONT RANGE BARBEQUE
2330 W. COLORADO AVE.
COLORADO SPRINGS, CO 80904
 DEVELOPMENT PLAN

PROJECT NAME:
 PROJECT ADDRESS:
 PROJECT DESCRIPTION:

DATE: 09/15/2023
 DESIGNED: WFG
 CHECKED: GEM

| REVISIONS: | DATE: | BY: | DESCRIPTION: |
|------------|------------|-----|------------------------------------|
| R1 | 02/12/2024 | WFG | RESPOND TO INITIAL REVIEW COMMENTS |
| R2 | 07/26/2024 | WFG | RESPOND TO REVIEW COMMENTS |
| R3 | 09/12/2024 | GEM | RESPOND TO SHEET REVIEW COMMENTS |

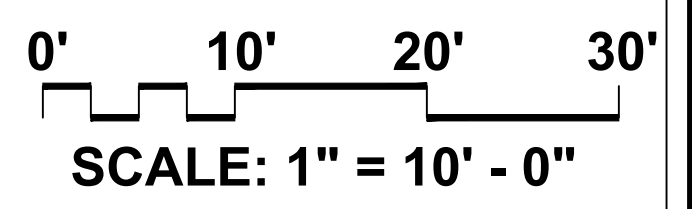
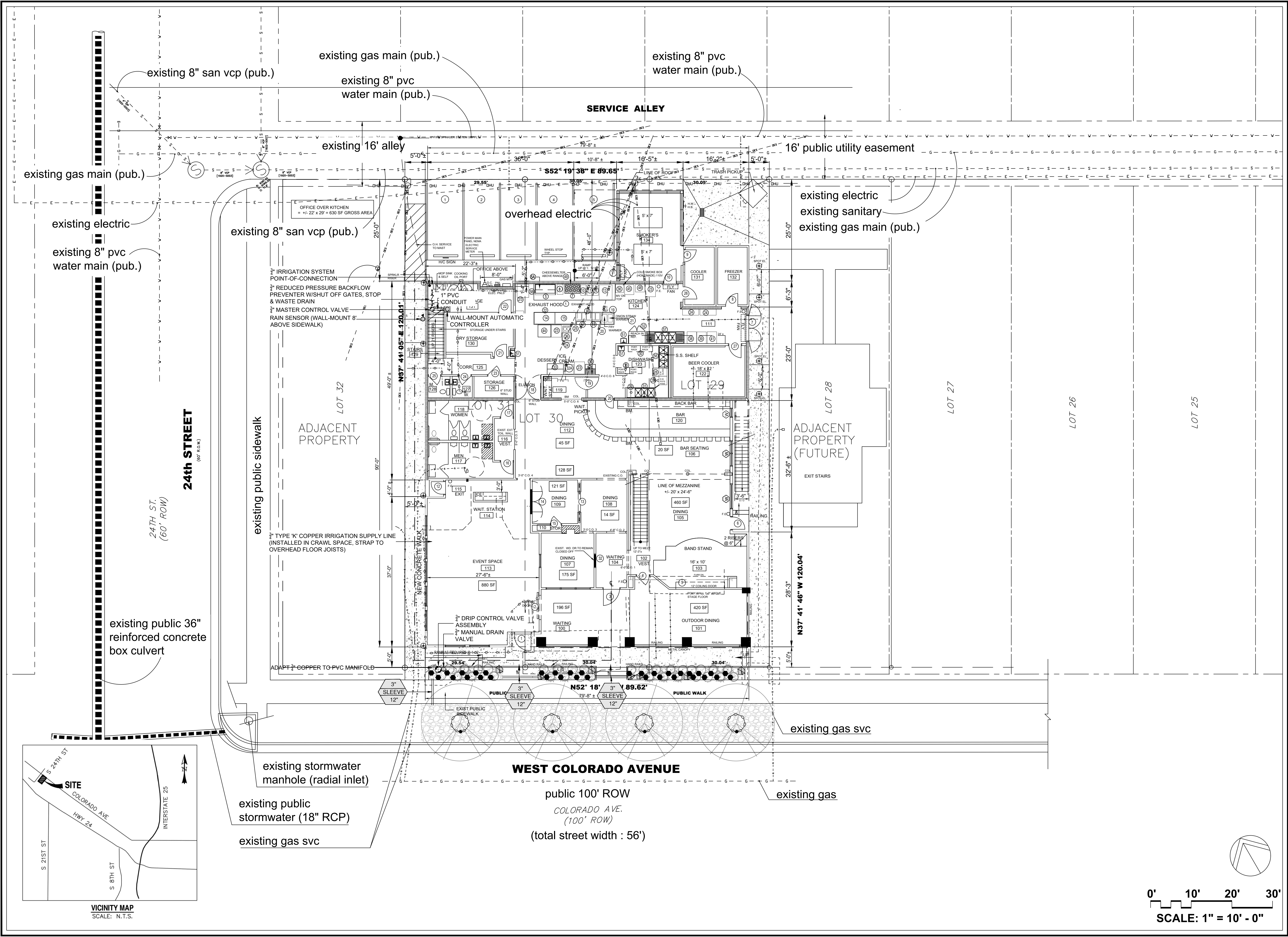
NOTES:

PLAN SCALE: 1" = 100' (OR AS NOTED ON PLAN)

SHEET TITLE:
FINAL IRRIGATION PLAN

SHEET NO.
6
 6 OF 11 SHEETS

FILE NO.
 DEPN-23-0205



LANDSCAPE SCHEDULE:
Planting Schedule:

| Abbreviation | Qty | Botanical Name | Common Name | Mature Ht. & Width | Planting Size | Code Requirements | Notes |
|--------------|-----|--------------------|-------------|--------------------|---------------|---------------------------|-------|
| OAK | 4 | Quercus macrocarpa | Bur Oak | 50'-60' 35'-50' | 1.5 Cal | Ph/R/W/M Median/Stream | B&B |

| Abbreviation | Qty | Botanical Name | Common Name | Mature Ht. & Width | Planting Size | Code Requirements | Notes |
|---|-----|----------------|-------------|--------------------|---------------|-------------------|-------|
| 4 TOTAL NUMBER OF TREES (100% Selected Species - Minimum 70%) | | | | | | | |

| Abbreviation | Qty | Botanical Name | Common Name | Mature Ht. & Width | Planting Size | Code Requirements | Notes |
|---|-----|----------------------------------|----------------------|--------------------|---------------|-------------------|-------|
| MUG | 8 | Pinus mugo 'Mops' | Mops Dwarf Mugo Pine | 2'-3' 2'-3' | 3 gal | Screen | Cont. |
| POT | 12 | Potentilla fruticosa 'Gold Drop' | Gold Drop Potentilla | 2'-3' 2'-3' | 3 gal | Screen | Cont. |
| 20 TOTAL NUMBER OF SHRUBS (100% Selected Species - Minimum 70%) | | | | | | | |

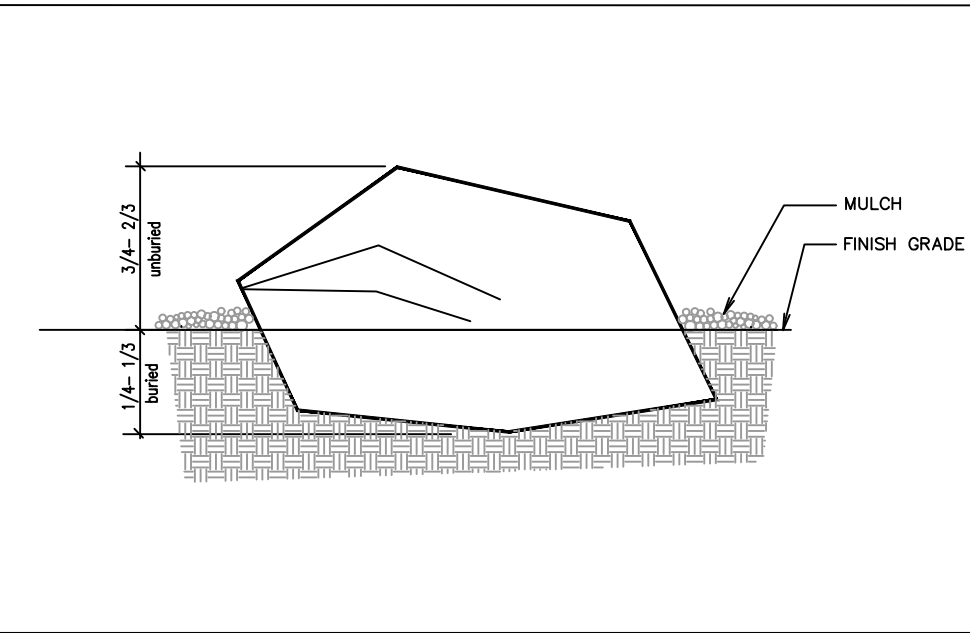
| Abbreviation | Qty | Botanical Name | Common Name | Mature Ht. & Width | Planting Size | Code Requirements | Notes |
|---|-----|---------------------|-----------------------|--------------------|---------------|-------------------|-------|
| MEX | 14 | Nastella tenuissima | Mexican Feather Grass | 2'-3' 3'-3' | 3 gal | Screen | Cont. |
| 14 TOTAL NUMBER OF ORNAMENTAL GRASSES (100% Selected Species - Minimum 70%) | | | | | | | |

SYMBOL KEY:

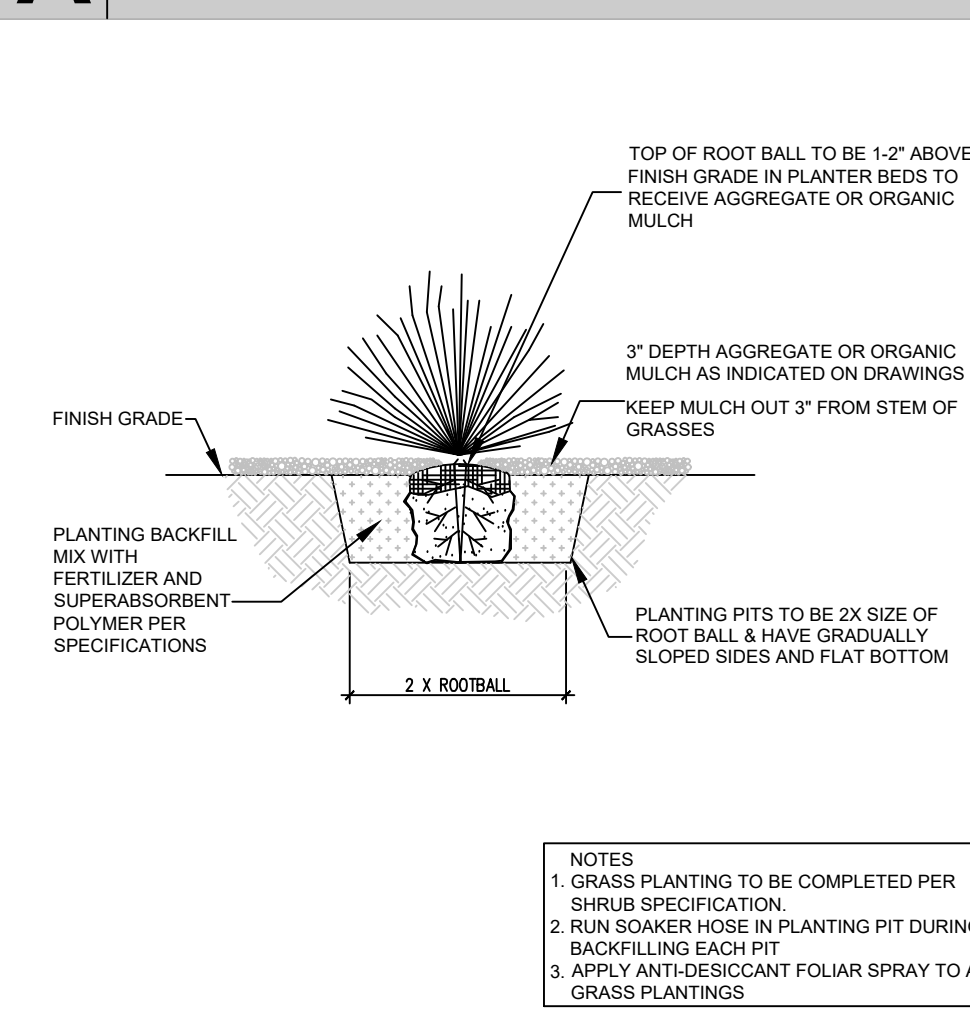
| SYMBOL | DESCRIPTION/REMARKS |
|--------|---|
| | ORGANIC MULCH TYPE 'A': 'DECO SHRED' BARK MULCH, PLACED TO A UNIFORM 3" DEPTH ON FABRIC UNDERLAYMENT [Equal to that supplied by Pioneer Sand and Gravel, Colorado Springs, CO] |
| | AGGREGATE: 1-1/2" SIZE WHOLE WASHED PIONEER GRANITE RIVER ROCK PLACED TO A UNIFORM DEPTH OF 3" ON FABRIC UNDERLAYMENT. [Equal to that supplied by Pioneer Sand and Gravel, Colorado Springs, CO] AREA: 1,030 SQUARE FEET. |
| | 'PLANTED' BOULDERS: Equal to Siloam quarried boulders (Canon City, CO), avg. 3' width, set in grade w/ 18-24" ht. exposed above grade (Per Detail). |

LANDSCAPE NOTES:

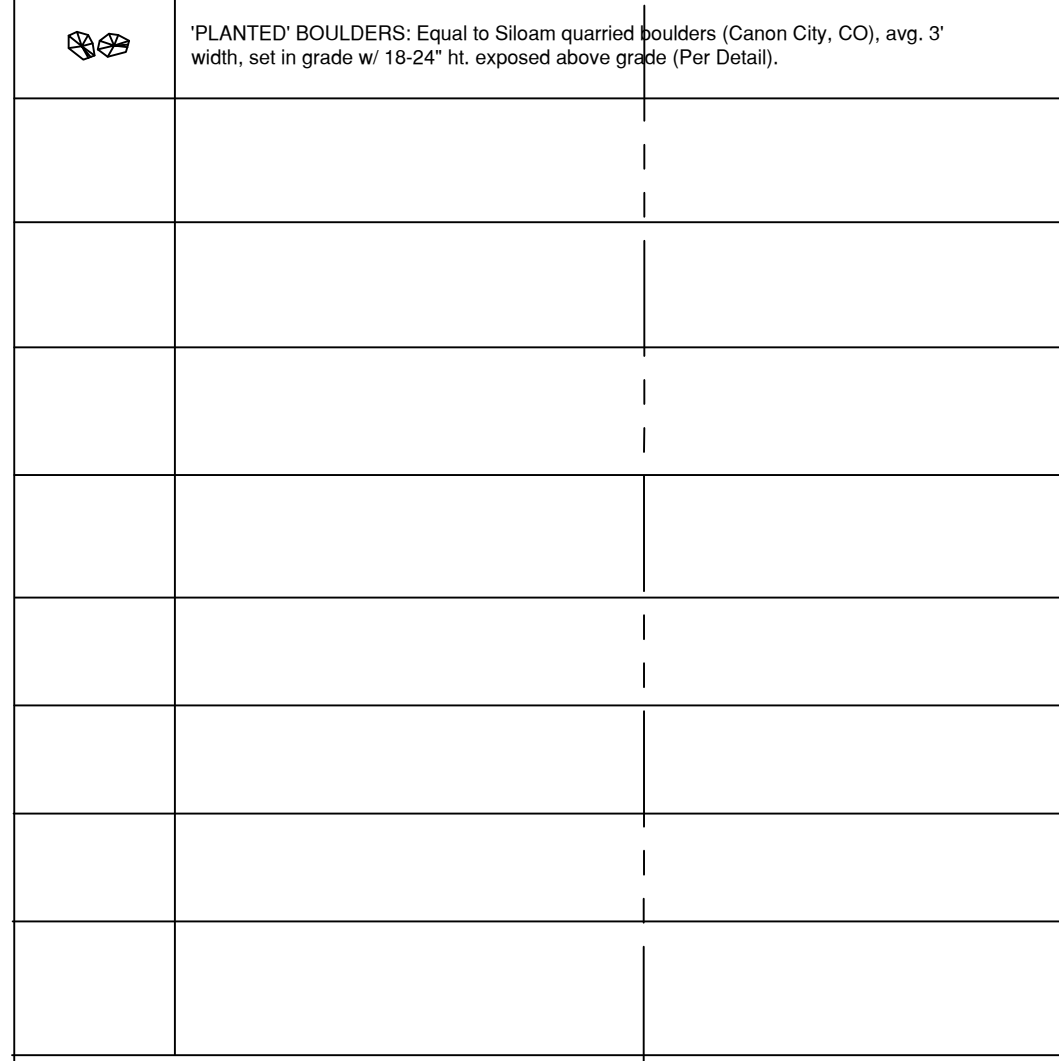
- DRAWINGS ARE DIAGRAMMATIC. PRECISE PLACEMENT OF LANDSCAPE ACCESSORIES MAY NOT BE POSSIBLE AS INDICATED. CONSULT PROJECT LANDSCAPE ARCHITECT PRIOR TO MAKING RANDOM FIELD CHANGES WHICH MAY ALTER DESIGN INTENT.
- QUANTITIES ARE PROVIDED FOR REFERENCE ONLY. VERIFY ALL QUANTITIES PRIOR TO SUBMITTING COST PROPOSAL. IN THE EVENT OF A CONFLICT BETWEEN SCHEDULED, IMPLIED, OR EXPRESSED QUANTITIES, QUANTITIES WHICH CAN BE DETERMINED GRAPHICALLY FROM THE DRAWINGS WILL PREVAIL IN ANY CASE.
- THE CONTRACTOR IS RESPONSIBLE FOR INSPECTING AND VERIFYING ALL FIELD CONDITIONS AND RESOLVING CONFLICTS PERTAINING TO DIMENSIONS, LAYOUT, ETC., WHICH MAY AFFECT THE LANDSCAPE INSTALLATION. MOBILIZATION SHALL BE CONSIDERED AS ACCEPTANCE OF CONDITIONS.
- COORDINATE ALL WORK INDICATED ON THESE DRAWINGS WITH WORK OF OTHER TRADES.
- THE PROJECT LANDSCAPE ARCHITECT RESERVES THE RIGHT TO CONSIDER AND APPROVE ALTERNATE INSTALLATIONS AT ANY TIME WHICH IN THE LANDSCAPE ARCHITECT'S OPINION MAXIMIZES THE CONSTRUCTION BUDGET AND MAINTAINS DESIGN INTENT.
- PROVIDE A 3 FOOT CLEAR SPACE AROUND THE CIRCUMFERENCE AROUND ALL FIRE HYDRANTS AND LIGHTING STANDARDS.
- CONTRACTOR TO UTILIZE STOCKPILED TOPSOIL FROM GRADING OPERATION AS MAY BE AVAILABLE. IF THE AMOUNT OF TOPSOIL NEEDED TO COMPLETE FINAL GRADING IS NOT AVAILABLE, THE CONTRACTOR SHALL IMPORT THE AMOUNT OF SOIL NEEDED.
- AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM IS TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH THE IRRIGATION SYSTEM DRAWING AND SPECIFICATIONS:
 - IN LANDSCAPE SETBACK AREAS ALONG ROAD FRONTAGES; IN-LINE DRIP EMITTER RINGS FOR ALL TREES
 - NEW SOODED TURF INTERIOR LANDSCAPE AREAS; 20' ROTOR SPRINKLERS AND POP-UP SPRAY SPRINKLERS
 - NEW SEEDED TURF AREAS; 30' ROTOR SPRINKLERS AND POP-UP SPRAY SPRINKLERS
- SOIL AMENDMENT AND FINAL GRADING FOR ALL SOIL AND SEEDED TURF AREAS TO BE PROVIDED IN ACCORDANCE WITH SPECIFICATIONS.
- ALL LANDSCAPE AND IRRIGATION MAINTENANCE SHALL BE COMMENCED BY THE OWNER UPON COMPLETION AND FINAL ACCEPTANCE OF ALL LANDSCAPE AND IRRIGATION SYSTEM INSTALLATIONS.
- 4"x14 GAUGE GALVANIZED STEEL MAINTENANCE EDGING TO BE INSTALLED TO SEPARATE ALL ORGANIC AND AGGREGATE MULCHES FROM ADJACENT SOIL AND SEEDED TURF AREAS. PIN EDGING WITH 1/2" STEEL EDGING PINS AT 24" SPACING.
- ALL PLANT MATERIAL TO BE INSTALLED PER DETAILS AND SPECIFICATIONS. GUY AND STAKE ALL DECIDUOUS AND EVERGREEN TREES PER DETAILS. PROVIDE SHREDED MULCH RINGS IN RETENTION BASINS AROUND ALL TREES PLANTED IN SOIL AND SEEDED AREAS (MULCH RINGS ARE NOT REQUIRED FOR TREES PLANTED IN AGGREGATE GROUNDCOVER AREAS).
- PLANT QUANTITIES AND SIZES INDICATED ARE THE MINIMUM TO SATISFY LANDSCAPE CODE REQUIREMENTS. NO SUBSTITUTIONS ARE PERMITTED WITHOUT PRIOR APPROVAL OF THE MUNICIPAL REVIEWING AGENCY.
- THE MINIMUM SOIL AMENDMENT AMOUNTS ARE AS FOLLOWS: (CU per 1,000 SF) FOR AMENDMENTS (TYPE - CLASS 1) FOR NATIVE SEED (AT LEAST 3 CU per 1,000 SF), SHRUB BEDS (AT LEAST 3 CU per 1,000 SF) AND SOIL AREAS (AT LEAST 4 CU per 1,000 SF). THESE AMOUNTS MAY CHANGE BASED ON THE FUTURE SOILS REPORT.



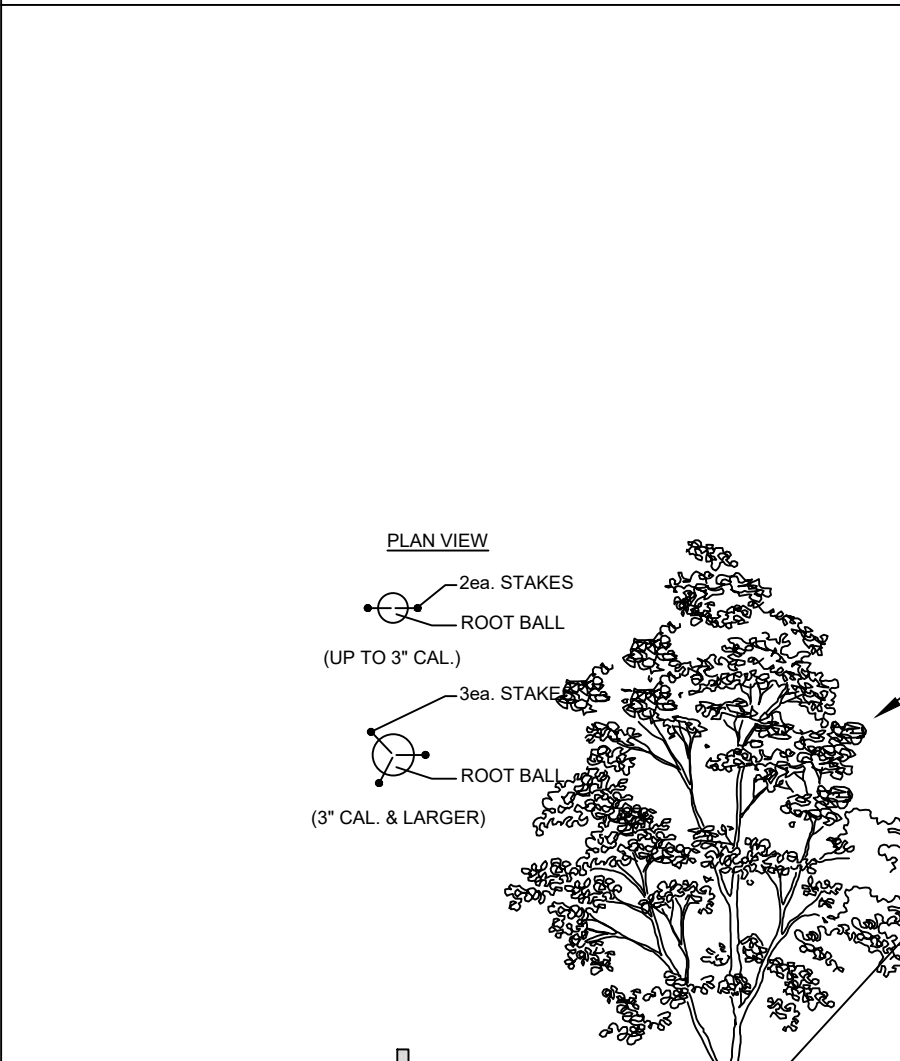
A PLANTED BOULDER NOT TO SCALE



B ORNAMENTAL GRASS PLANTING NOT TO SCALE



C SHRUB PLANTING DETAIL NOT TO SCALE



D DECIDUOUS TREE PLANTING, GUYING & STAKING NOT TO SCALE

IRRIGATION SCHEDULE:
Equipment Schedule: [Purple / Non-Potable]

| SYM. | SIZE | DESCRIPTION/REMARKS |
|------|--------|---|
| C | 4 sta. | RAINBIRD ESP-LXD SERIES TWO-WIRE DECODER 4 Station Automatic Controller. Install per manufacturer's instructions. https://www.rainbird.com/sites/default/files/media/documents/2018-02/man_ESP-LXModular-Pedestal-Cabinet-Instructions.pdf |
| W | .75" | WATTS 009M2-QT Bronze Reduced Pressure Zone Backflow Assembly, qtr. turn shut-offs, tee handles. Provide and install in WattsBox Fiberglass per manufacturer's instructions |
| V | .75" | RAINBIRD .75" EF5-CP Brass Control Valve (Master Valve) |
| D | .75" | RAINBIRD XCZ-075-PRF Drip Control Zone Kit for drip zones 0 GPM-3 GPM. RAINBIRD XCZ-100-B COM Drip Control Zone Kit for drip zones 4 GPM-15 GPM. Refer to watering schedule below for proper valve application per drip zone. |
| E | | RAINBIRD (XB-10) 1/2" Emitters per details for all shrubs and grasses. |
| F | | RAINBIRD 33DR3 Quick Coupling Valve w/RB quick coupling key. |
| G | | APOLLO VALVES 2-piece Standard Port Brass Valve (manual drains) |

IRRIGATION PLAN NOTES:

- DESIGN PRESSURE: 80psi STATIC AT P.O.C., 35psi AT HEAD
- ALL MAINLINE TO BE MARKED WITH TRACER WIRE
- MAINLINE TO BE LOCATED NO FARTHER THAN 1' FROM BACK OF SIDEWALK OR CURB
- DRAWING IS DIAGRAMMATIC. PRECISE PLACEMENT OF EQUIPMENT MAY NOT BE POSSIBLE AS INDICATED. FIELD CHANGES WHICH DO NOT ALTER DESIGN INTENT MAY BE PERFORMED BY THE INSTALLER.
- QUANTITIES WHICH CAN BE DETERMINED GRAPHICALLY FROM THE DRAWINGS PREVAIL OVER SCHEDULED QUANTITIES. IN THE EVENT OF A CONFLICT, THE DRAWINGS WILL PREVAIL.
- INDICATED RUN TIMES ARE FOR A 3-DAY WATERING SCHEDULE.
- INSTALLER TO ADJUST NOZZLES AND EMITTERS AS NEEDED TO APPLY ADEQUATE COVERAGE TO ALL NEW PLANTINGS AND TURF GRASSES.
- ALL IRRIGATION LATERAL PIPE LINES NOT LABELED ARE 1" SIZE.
- ALL EQUIPMENT TO BE INSTALLED PER DRAWING DETAILS, STATE AND LOCAL CODES, AND SPECIFICATIONS. IN THE EVENT OF A CONFLICT THE MOST STRINGENT REQUIREMENT WILL PREVAIL.
- IRRIGATION INSTALLATION MUST BE 100% OPERABLE AND DEMONSTRATED IN THE PRESENCE OF OWNER AND PROJECT ARCHITECT PRIOR TO ISSUANCE OF CERTIFICATE OF AFFIDAVIT FOR FINAL ACCEPTANCE.

VALVE SIZE VALVE NO. EST. GPM

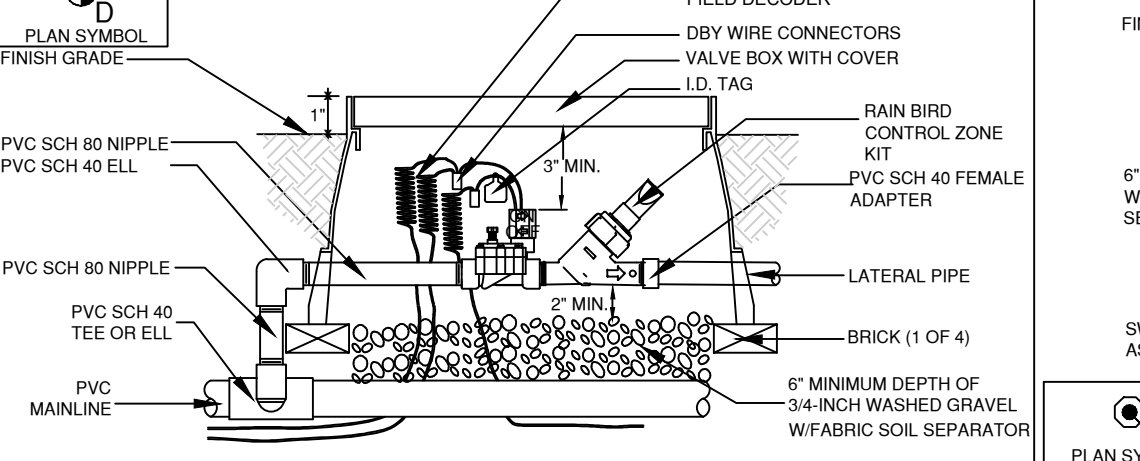
| | | |
|-------|-------------|---|
| 1.00" | 1.50" | Class 200 PVC Mainline (BOE, NSF rated) (solvent weld only) PURPLE STRIPE/NON-POTABLE |
| 1.00" | 1.00"-1.50" | Class 200 PVC Lateral Pipe (BOE, NSF rated, solvent weld only) PURPLE STRIPE/NON-POTABLE |
| 1.00" | 1.00" | RAINBIRD XT-700 Distribution Tubing |
| 1.00" | 1.00" | RAINBIRD IN-LINE DRIP TUBING FOR TREE RINGS |
| 1.00" | 1.00" | RAINBIRD XFD-06-12 In-Line Drip Tubing for Tree Rings. Dripline to have 0.61 GPH emitters at 12" Spacing (Detail 'J') |
| 1.00" | 1.00" | RAINBIRD 1/4" Distribution Tubing to be used for indicator emitter only with buried tree rings per details J and N. |
| 1.00" | 2.00"-3.00" | Class 200 PVC Sleeve under parking area & driveway paving. Class 200 PVC Sleeve all others. |

Drip Valve Schedule:

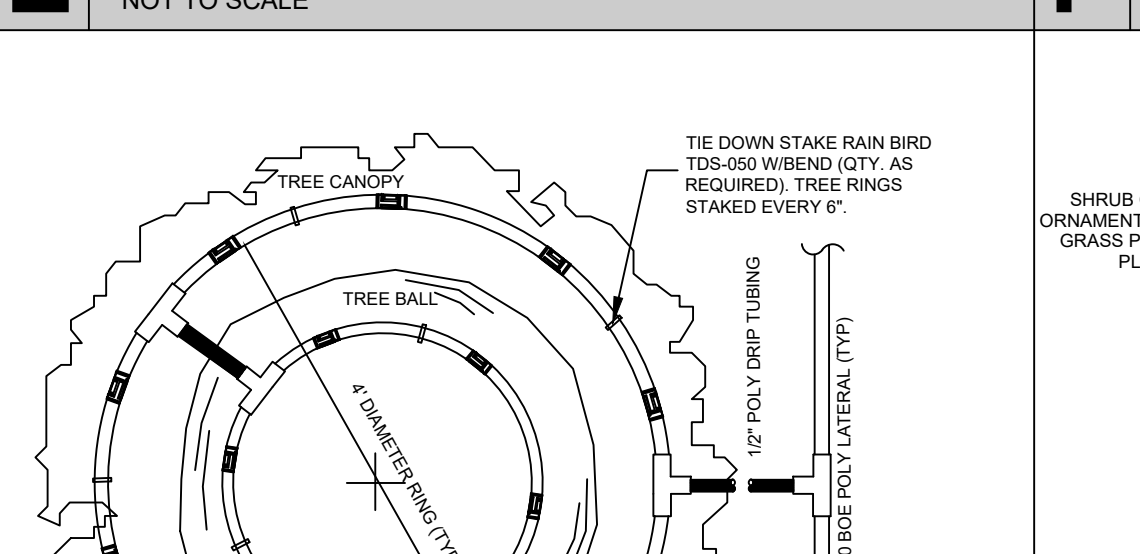
| No. | Flow (GPM) | Zone | Size | Run Time | Zone Type |
|-----|------------|------|------|------------------------------|--------------|
| D01 | <10.00 | 01 | .75" | 4 hrs./day x 7 days per week | Drip Emitter |

Operating pressure to be set at 15psi
Maximum flow demand = 10 gpm

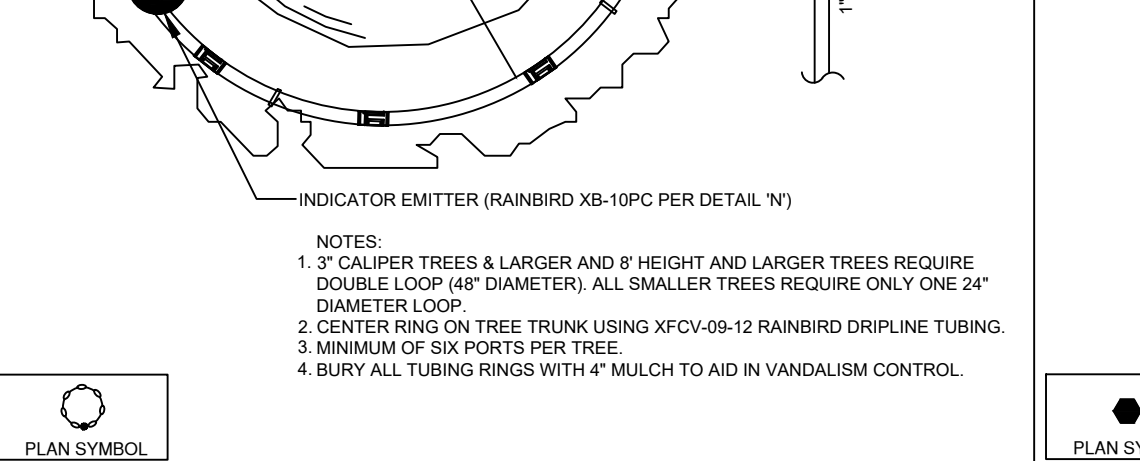
D RIP CONTROL ZONE KIT NOT TO SCALE



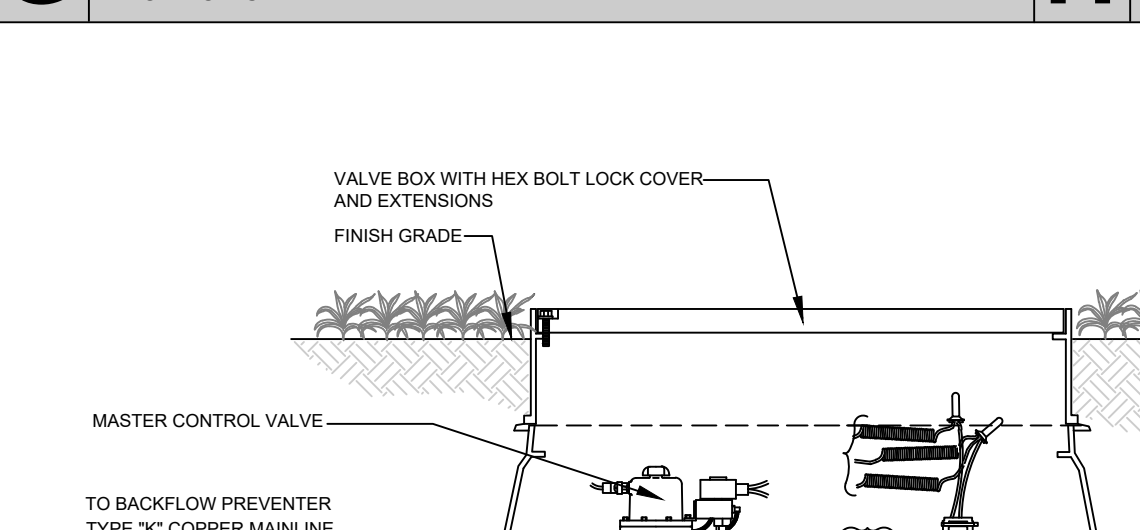
E DRIP TREE RING W / INDICATOR EMITTER NOT TO SCALE



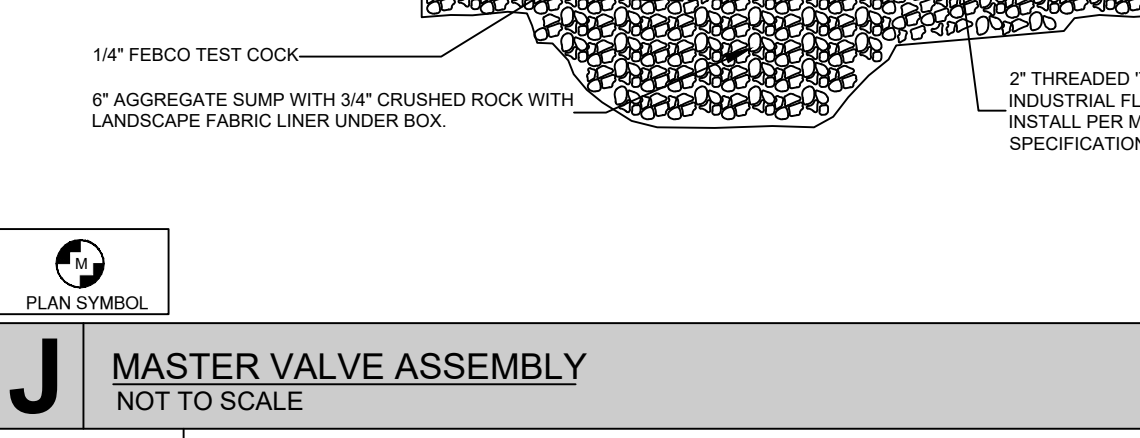
F STAKED QCV VALVE NOT TO SCALE



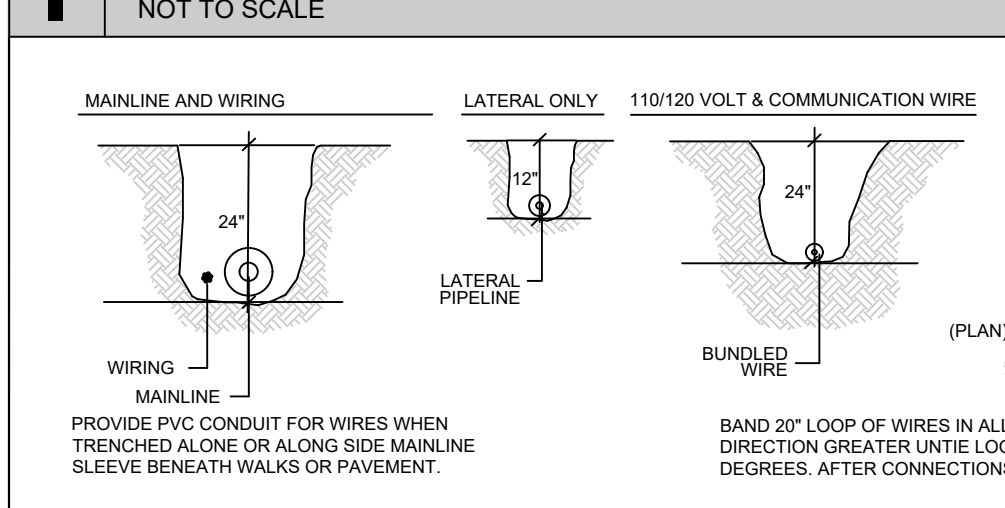
G DRIP TREE RING W / INDICATOR EMITTER NOT TO SCALE



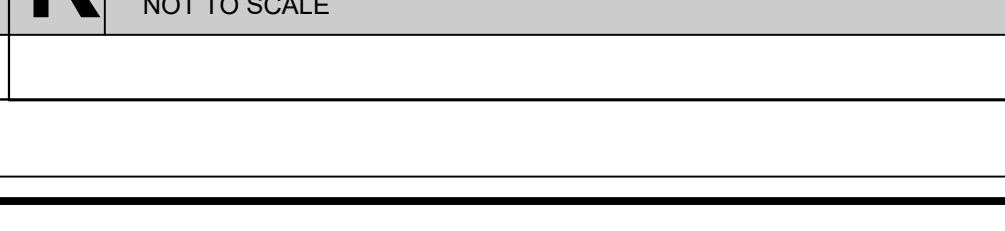
H DRIP EMITTERS NOT TO SCALE



I REMOTE CONTROL VALVE NOT TO SCALE



J MASTER VALVE ASSEMBLY NOT TO SCALE



K TRENCHES NOT TO SCALE

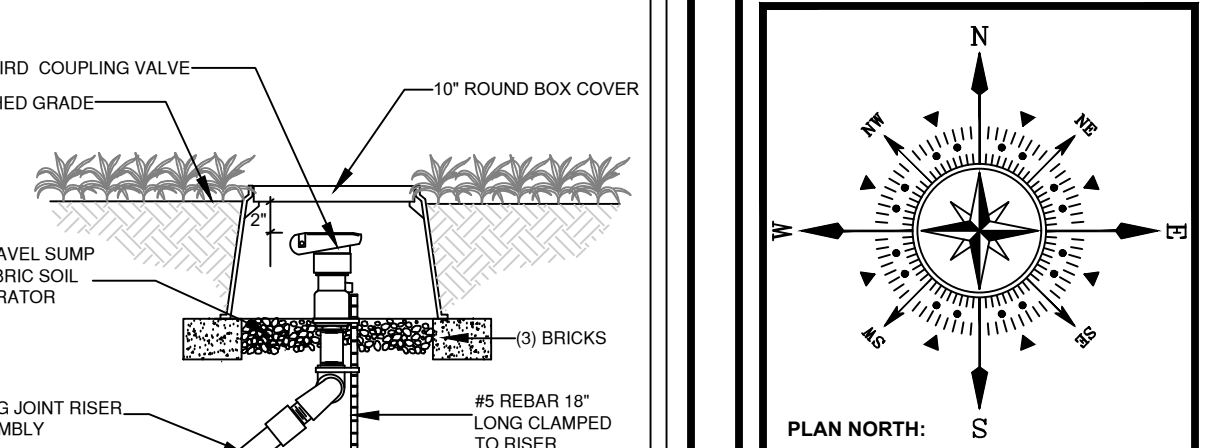


William Guman & Associates, Ltd.
LANDSCAPE ARCHITECTURE
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Colorado Springs, CO 80903
(719) 633-9700
www.GumanLtd.com
bill@guman.net

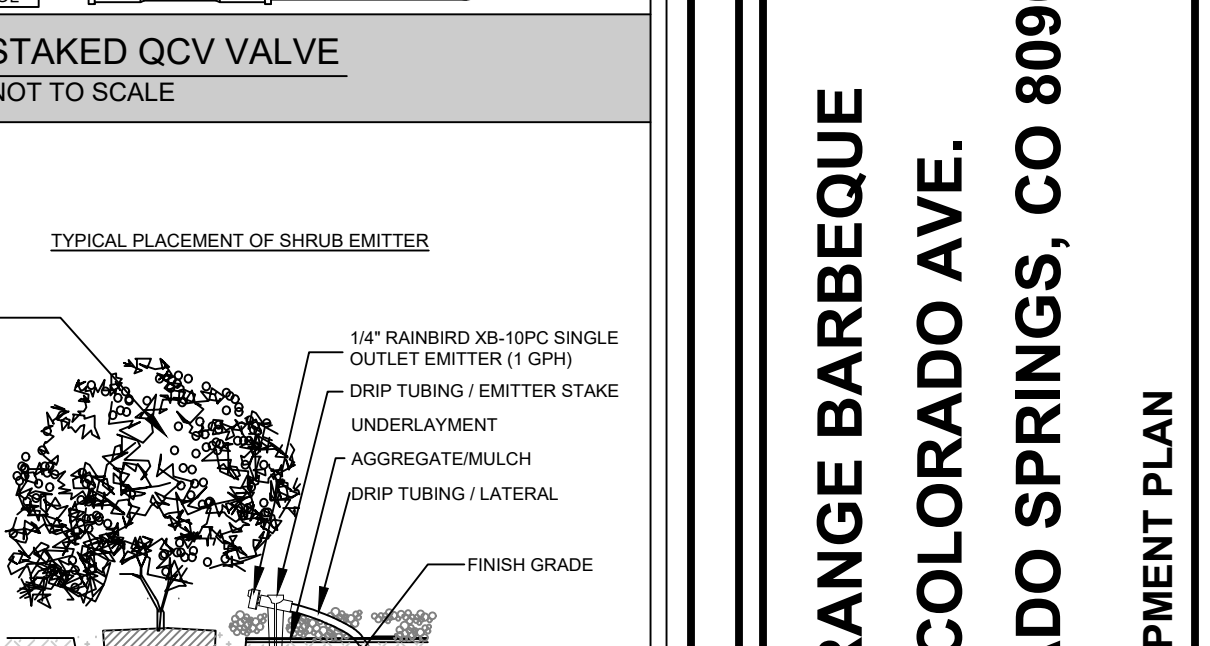
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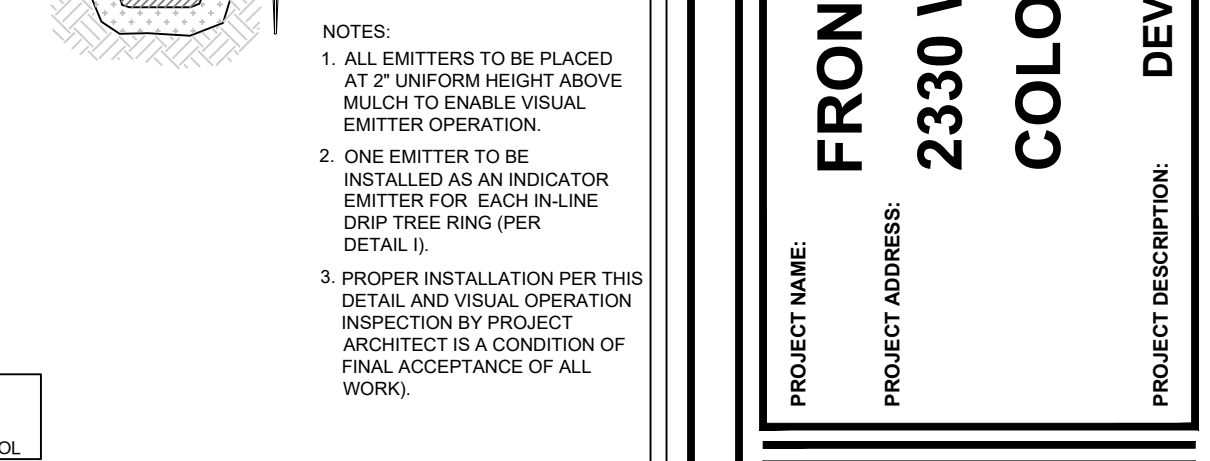
ONLY DRAWINGS BEARING THE OFFICIAL STAMP OF THE LICENSED LANDSCAPE ARCHITECT IN THE STATE OF COLORADO ARE VALID FOR CONSTRUCTION PURPOSES.



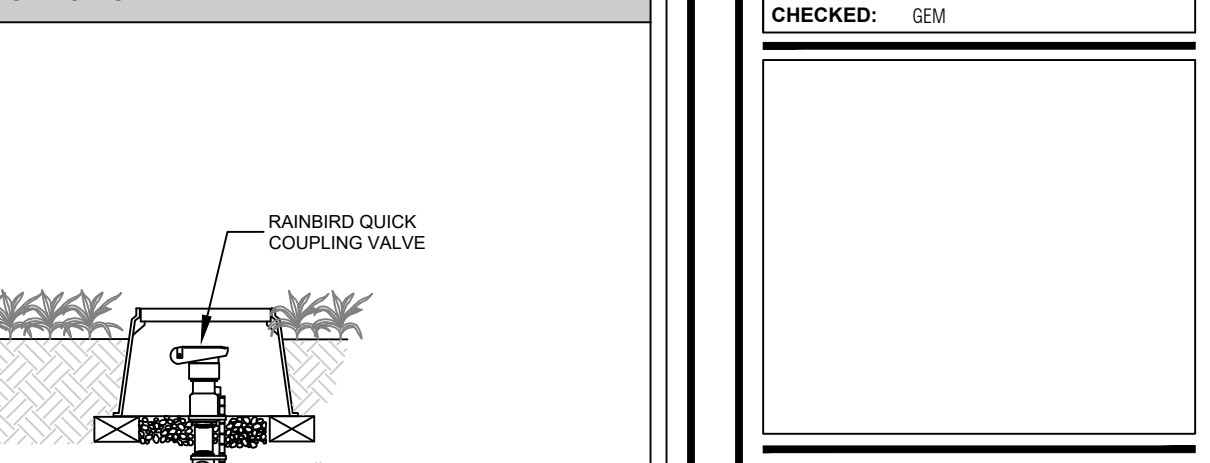
F STAKED QCV VALVE NOT TO SCALE



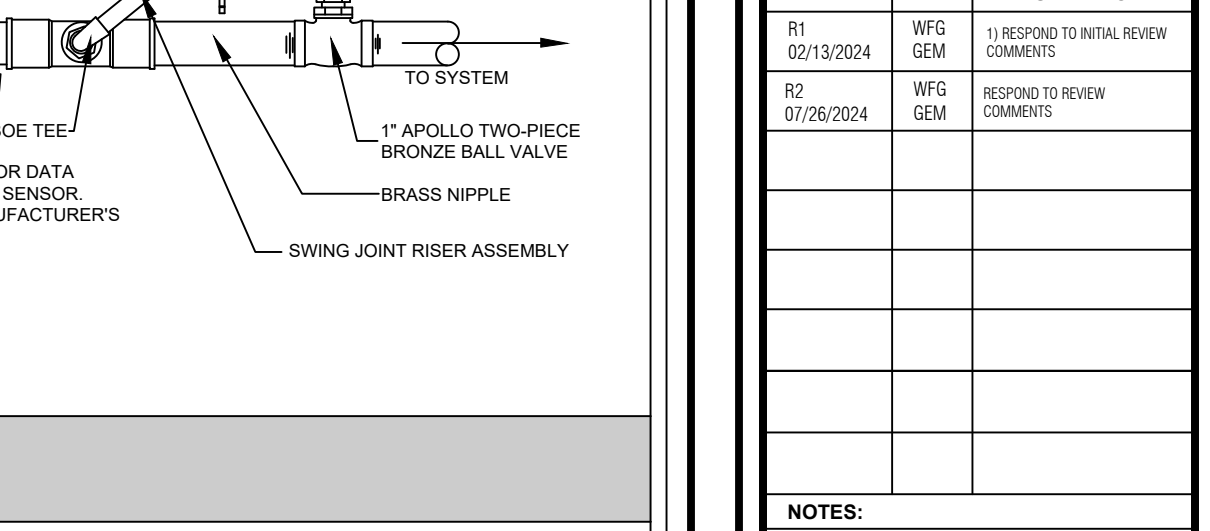
G DRIP TREE RING W / INDICATOR EMITTER NOT TO SCALE



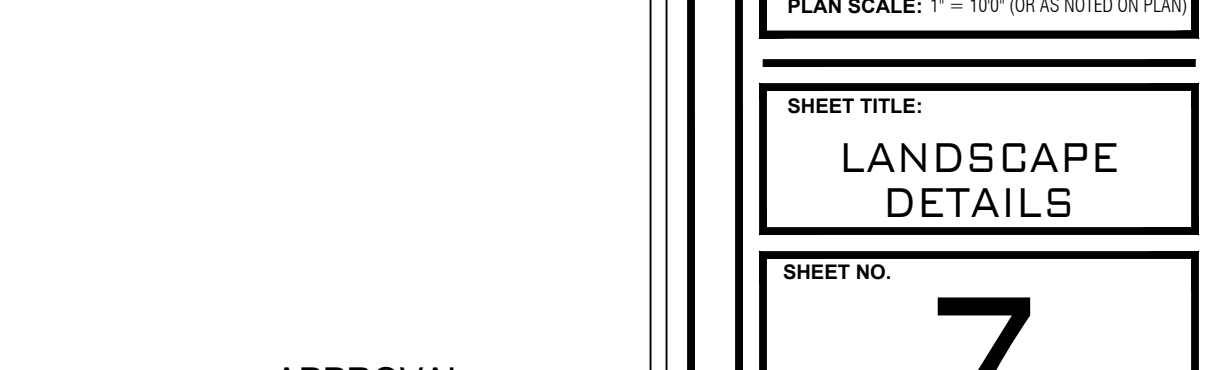
H DRIP EMITTERS NOT TO SCALE



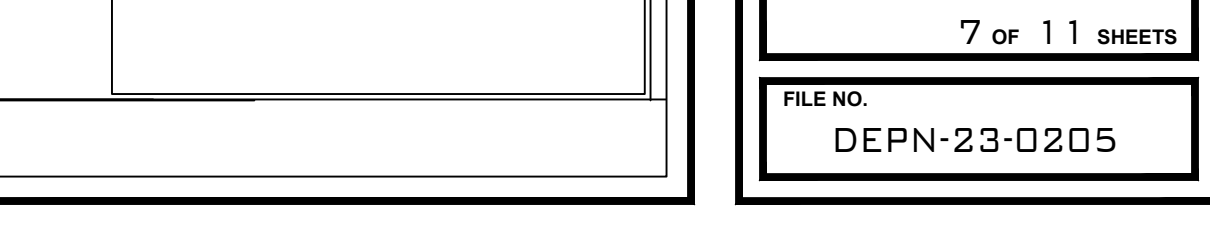
I REMOTE CONTROL VALVE NOT TO SCALE



J MASTER VALVE ASSEMBLY NOT TO SCALE



K TRENCHES NOT TO SCALE



FRONT RANGE BARBEQUE
2330 W. COLORADO AVE.
COLORADO SPRINGS, CO 80904
DEVELOPMENT PLAN

PROJECT NAME:
PROJECT ADDRESS:
PROJECT DESCRIPTION:

DATE: 09/15/2023
DESIGNED: WFG
CHECKED: GEM

REVISIONS:

| DATE | BY | DESCRIPTION |
|---------------|-----|--|
| R1 02/13/2024 | WFG | (1) RESPOND TO INITIAL REVIEW COMMENTS |
| R2 02/26/2024 | WFG | (2) RESPOND TO REVIEW COMMENTS |

PLAN SCALE: 1" = 100' (OR AS NOTED ON PLAN)

SHEET TITLE:
LANDSCAPE DETAILS

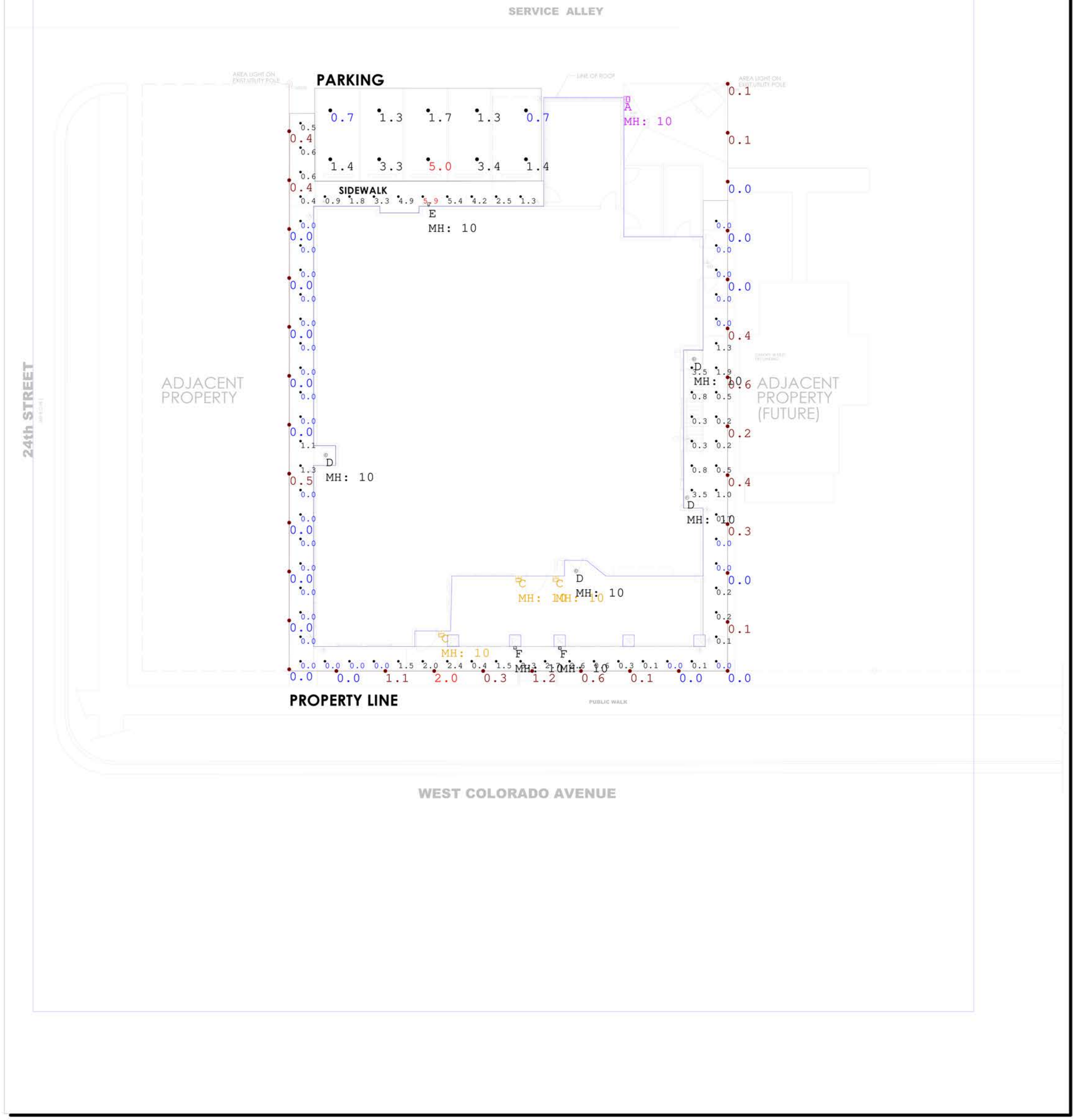
SHEET NO.
7
7 of 11 SHEETS

FILE NO.
DEPN-23-0205

APPROVAL:

| Luminaire Schedule | Symbol | Qty | Label | Arrangement | Description | Tag | LF | Luminaire Lumens | Luminaire Watts |
|--------------------|--------|-----|-------|-------------|-------------------------------|-----|-------|------------------|-----------------|
| | ⊠ | 2 | F | Single | L750-14WSSFC-AA | | 0.900 | 870 | 34 |
| | ⊠ | 4 | D | Single | 40R-1L-110-840-DIM1-UNV-LW-OF | | 0.900 | 578 | 7 |
| | ⊠ | 1 | E | Single | CS-PS | | 0.900 | 4721 | 33.6 |
| | ⊠ | 1 | A | Single | QWS-A01-840-12M | | 0.900 | 1837 | 10.2 |
| | ⊠ | 1 | C | Single | QWS-A01-840-12M | | 0.900 | 1837 | 10.2 |

| Label | CalcType | Units | Avg | Max | Min | Avg/Min | Max/Min |
|---------------|-------------|-------|------|-----|-----|---------|---------|
| PARKING | ILLUMINANCE | Fc | 2.02 | 5.0 | 0.7 | 2.89 | 7.14 |
| PROPERTY LINE | ILLUMINANCE | Fc | 0.27 | 2.0 | 0.0 | N.A. | N.A. |
| SIDEWALK | ILLUMINANCE | Fc | 0.93 | 5.9 | 0.0 | N.A. | N.A. |



PHOTOMETRY
Scale: 1 inch= 4 Ft.

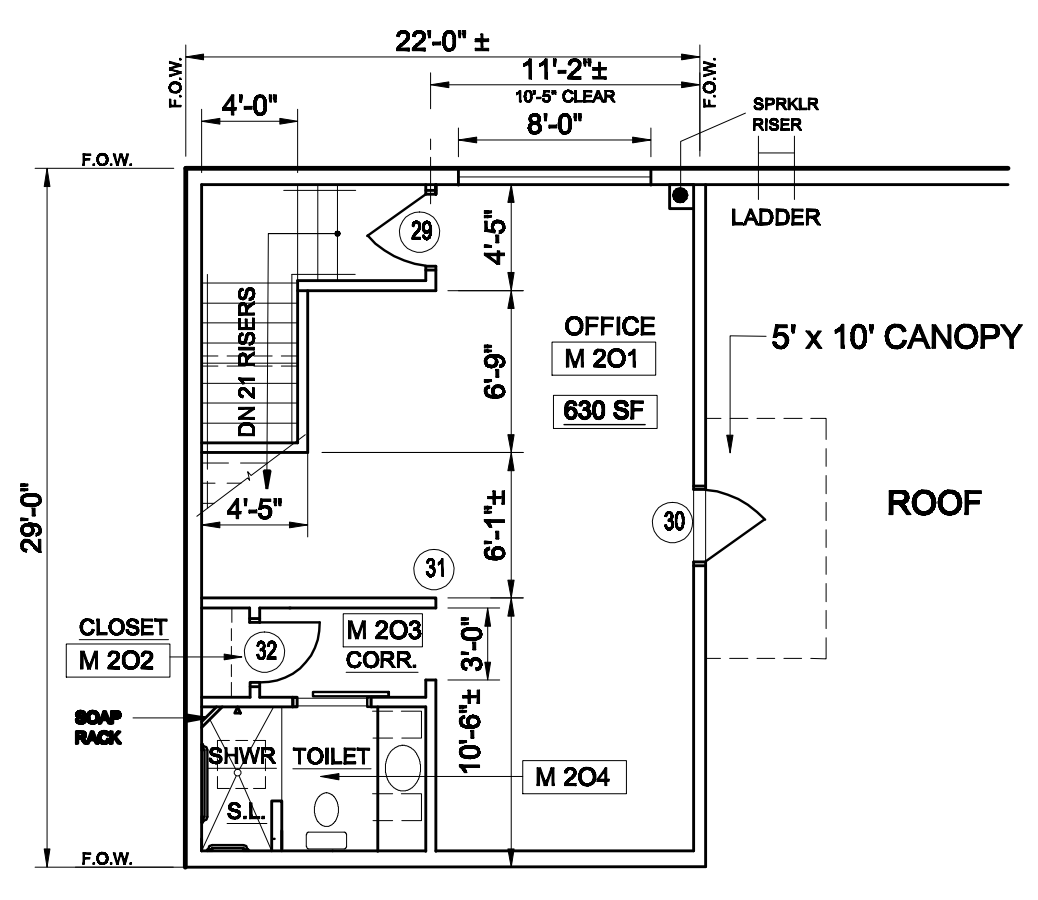


Disclaimer: SESCO Lighting provides this photometric report for purposes of comparison within the SESCO Lighting product line only. The information provided is based on standardized industry procedures. This laboratory performance will always differ from that observed in the field due to a great number of variables, both known and unknown (installation methods, power quality, lamping, recoverable and non-recoverable light loss factors, etc.) In general, SESCO Lighting considers numerical studies to be predictive in that they cannot characterize the visual performance of any luminaire, single or grouped. As such, specification decisions must be thoroughly based upon experience, consultation with the manufacturer, and, above all, common sense.

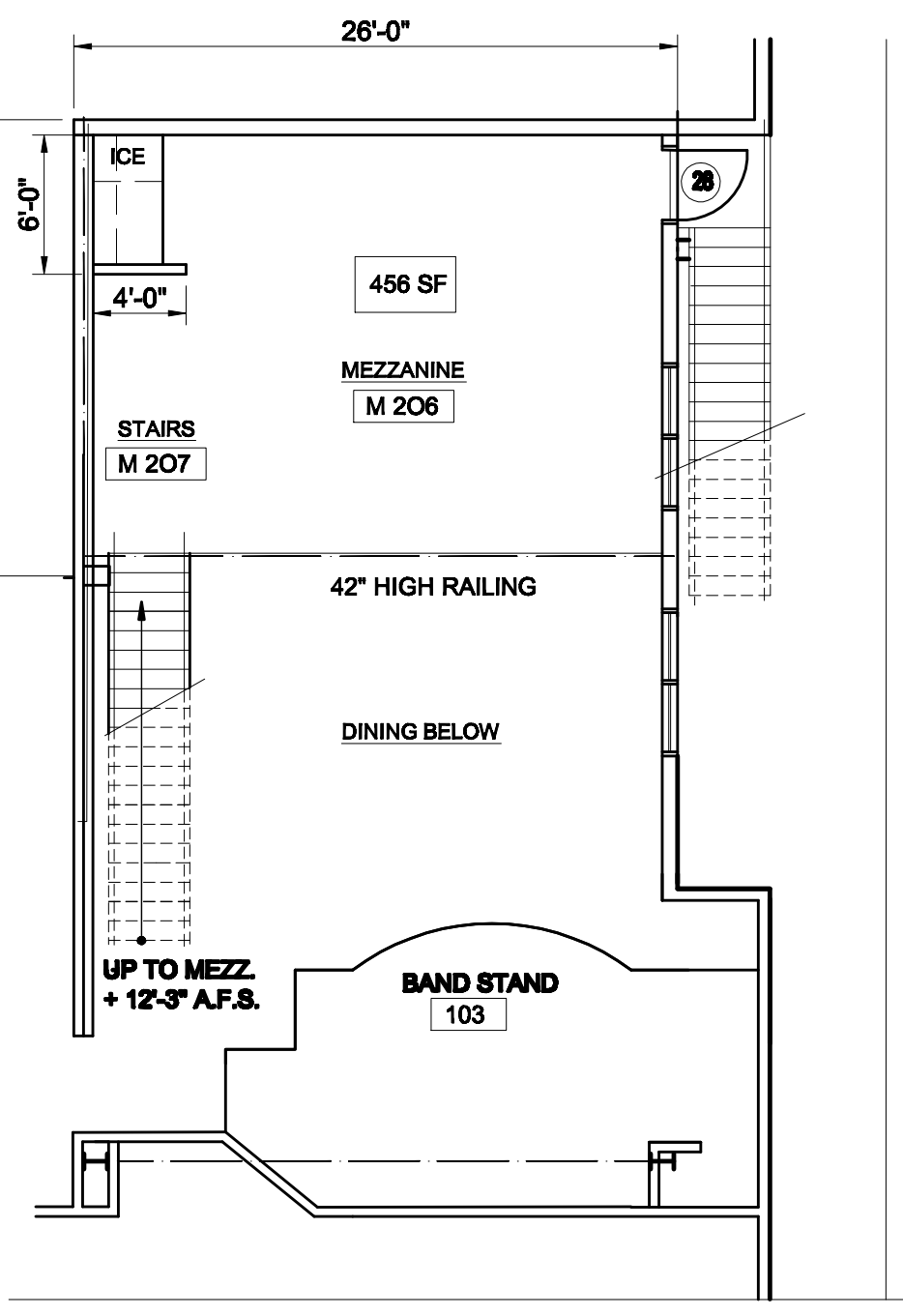
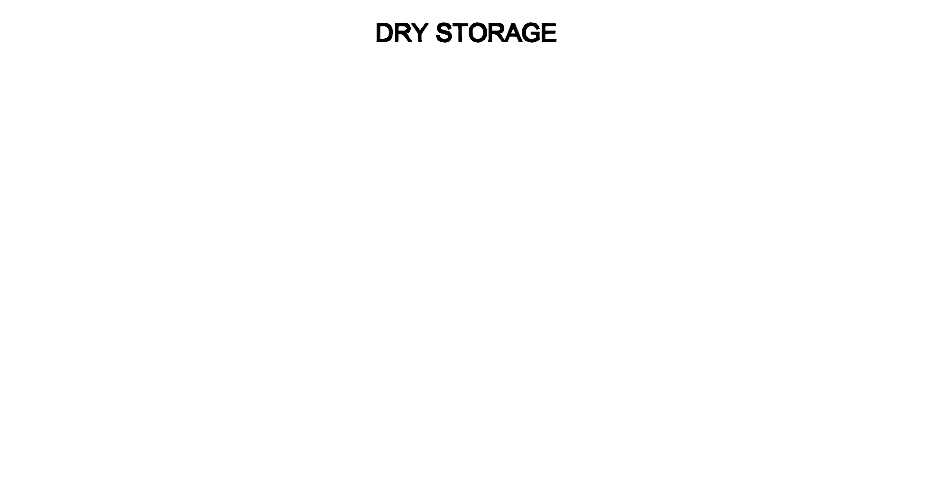
Sales Rep: ZAC WHITE
Office: BIRMINGHAM
Contact No: (205) 422-4596
Processed By: JNP
Filename: 02-26-2024 - FRONT RANGE BBQ.AGI

FRBBQ

| No. | Date | Revisions | By |
|-----|------|-----------|----|
| | | | |
| | | | |
| | | | |
| | | | |

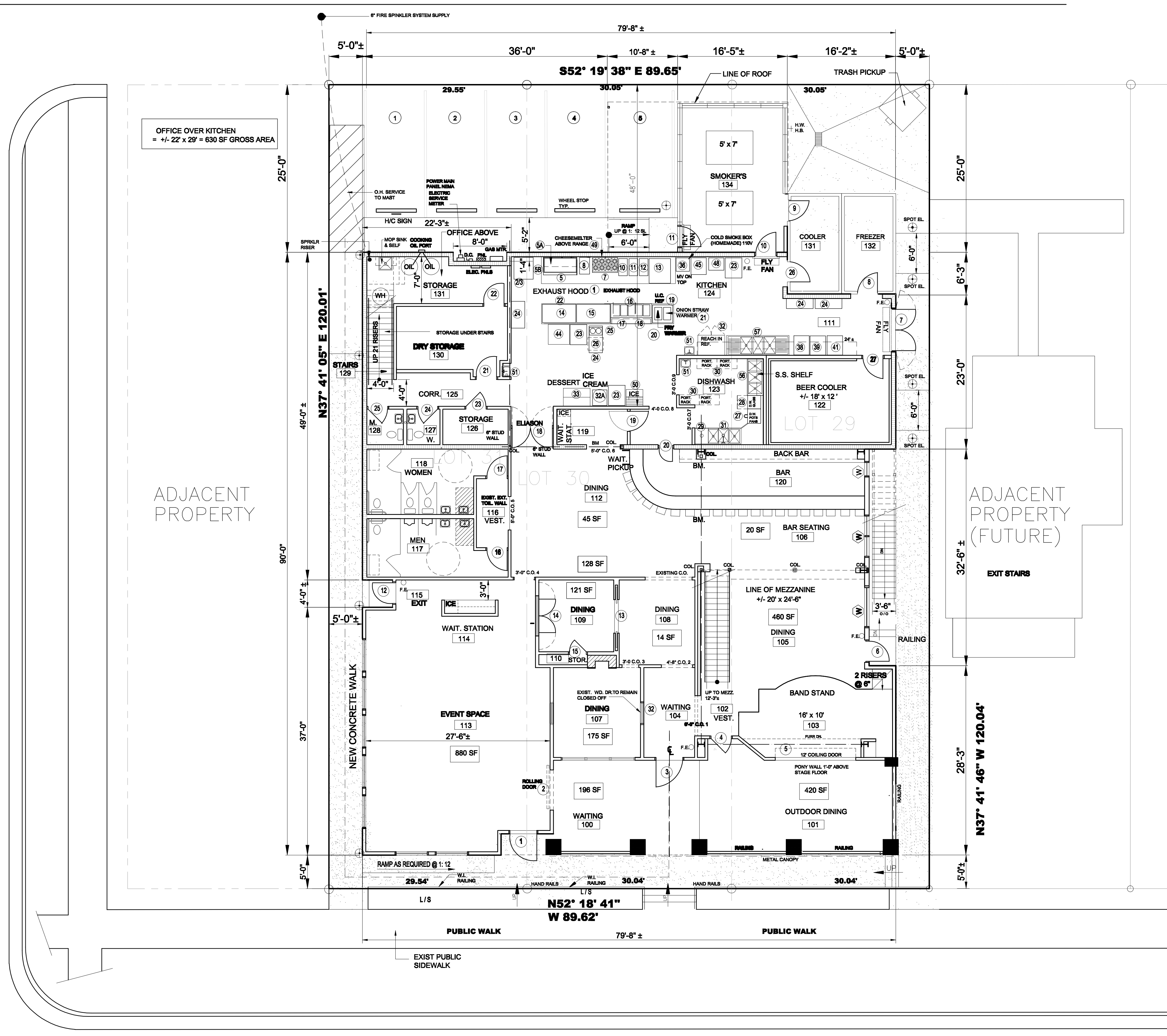


OWNER'S OFFICE PLAN



MEZZANINE

24th STREET
(60' R.O.W.)



WEST COLORADO AVENUE

FORTINBERRY ASSOCIATES ARCHITECTS, PC
300 Vestavia Parkway - Ste 1400
Vestavia Hills, AL 35216
(205) 979-2320

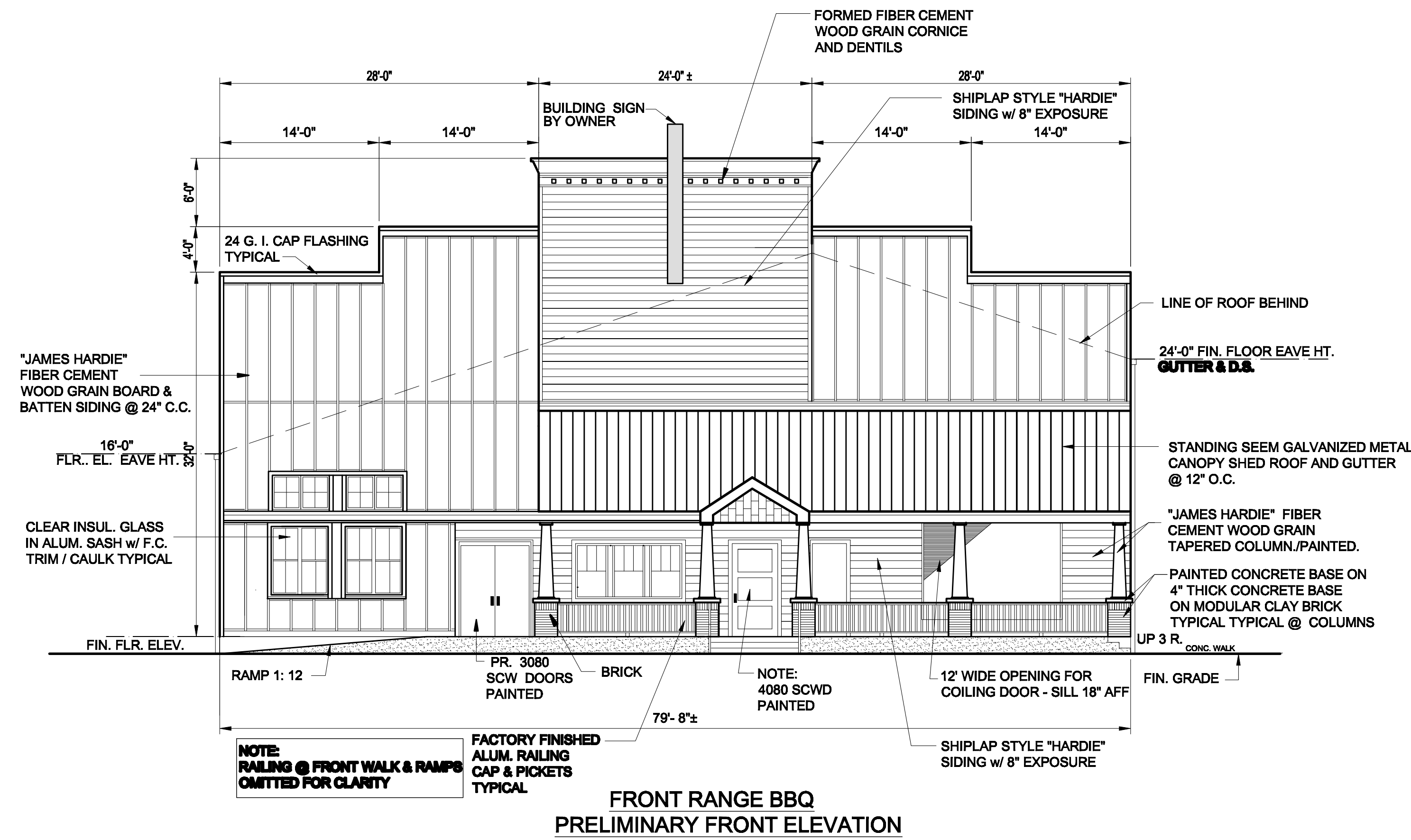
Architect's Seal Engineer's Seal

PROPOSED FRONT RANGE BARBEQUE INC
2330 WEST COLORADO AVENUE
COLORADO SPRINGS, COLORADO

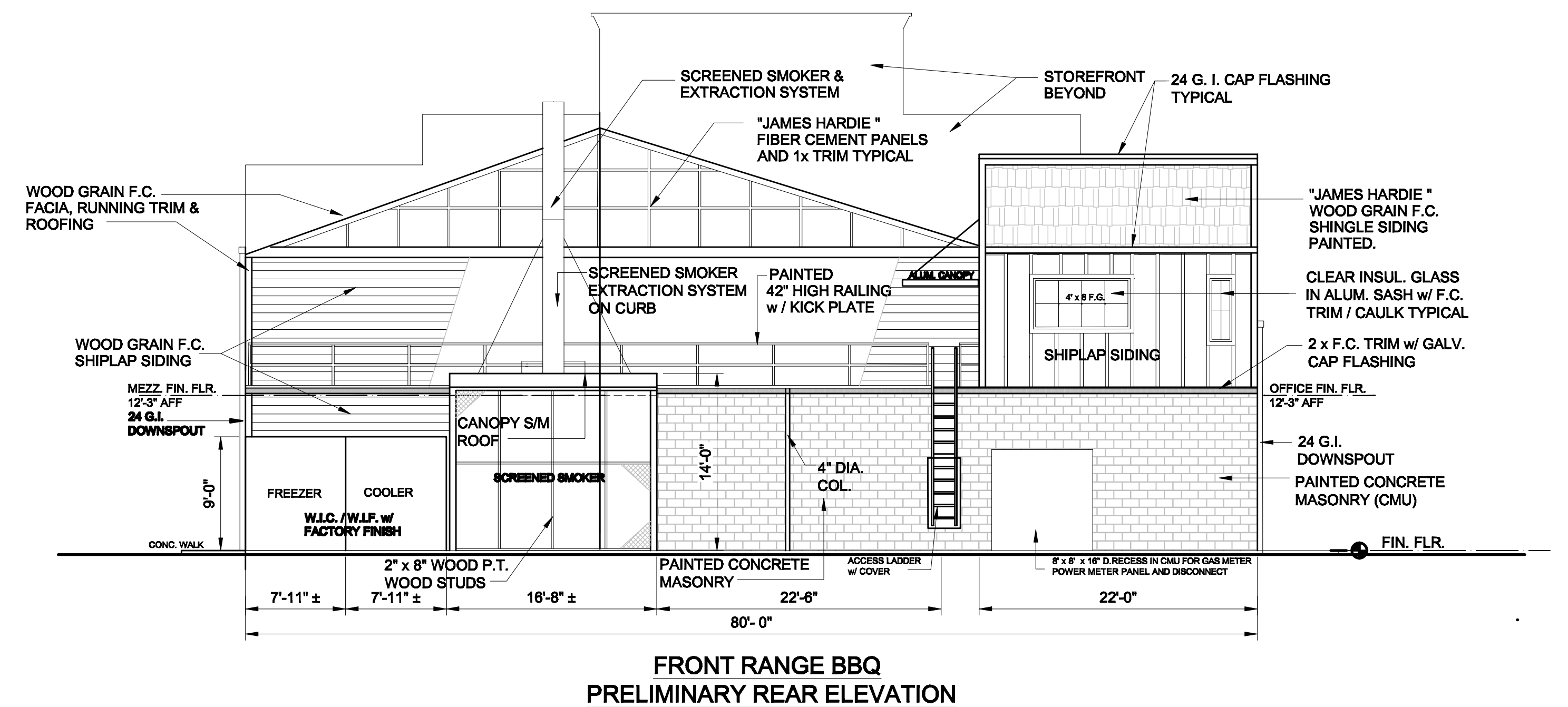
FLOOR PLAN

| | | | |
|-------------|--------------|-------------|------------|
| Project No. | 610319 | Drawing No. | A-1 |
| Scale | 1/8" = 1'-0" | | |
| Drawn By | JRW | | |
| Checked By | EVF | | |
| Approved By | EVF | | |
| Date Issued | 4/10/24 | Sheet | of |

| No. | Date | Revisions | By |
|-----|------|-----------|----|
| | | | |
| | | | |
| | | | |
| | | | |



**FRONT RANGE BBQ
PRELIMINARY FRONT ELEVATION**



**FRONT RANGE BBQ
PRELIMINARY REAR ELEVATION**

Architect's Seal Engineer's Seal

**ADDITIONS & ALTERATIONS
FOR
FRONT RANGE
BARBEQUE**

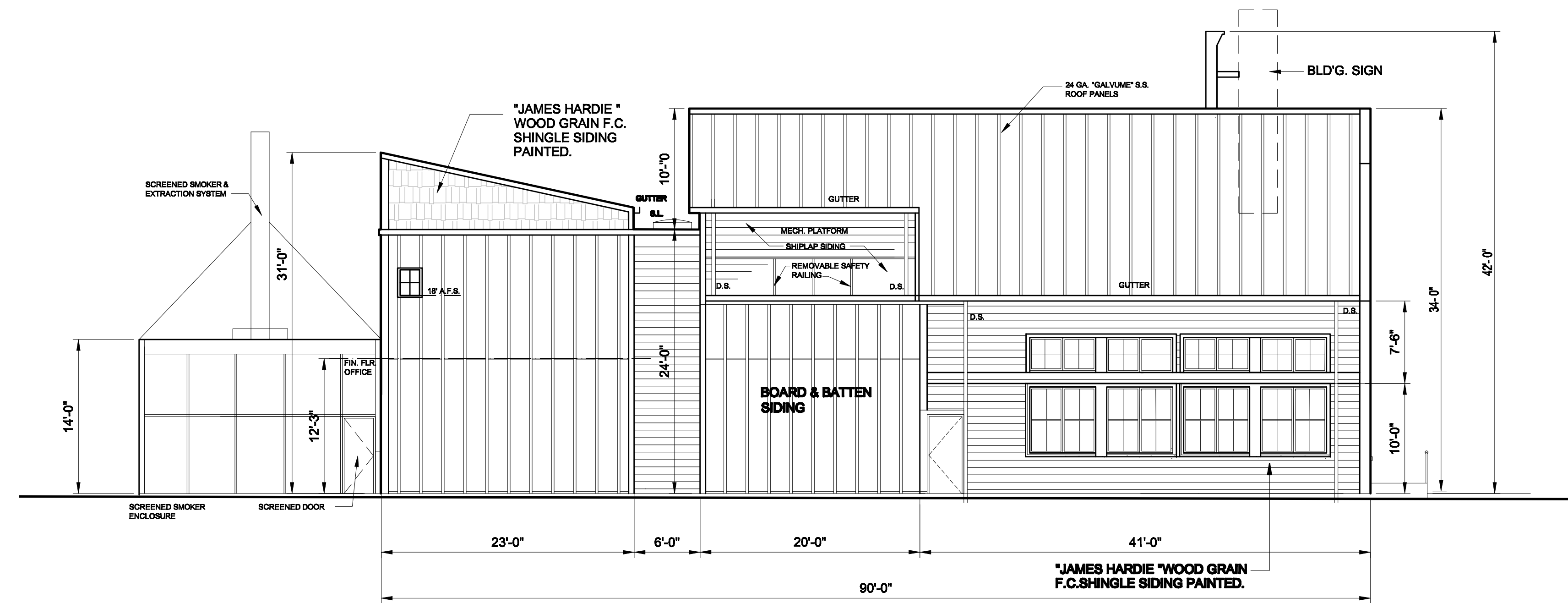
2330 WEST COLORADO AVE.
COLORADO SPRINGS, COLORADO

Drawing Title
**FRONT AND REAR
ELEVATIONS**

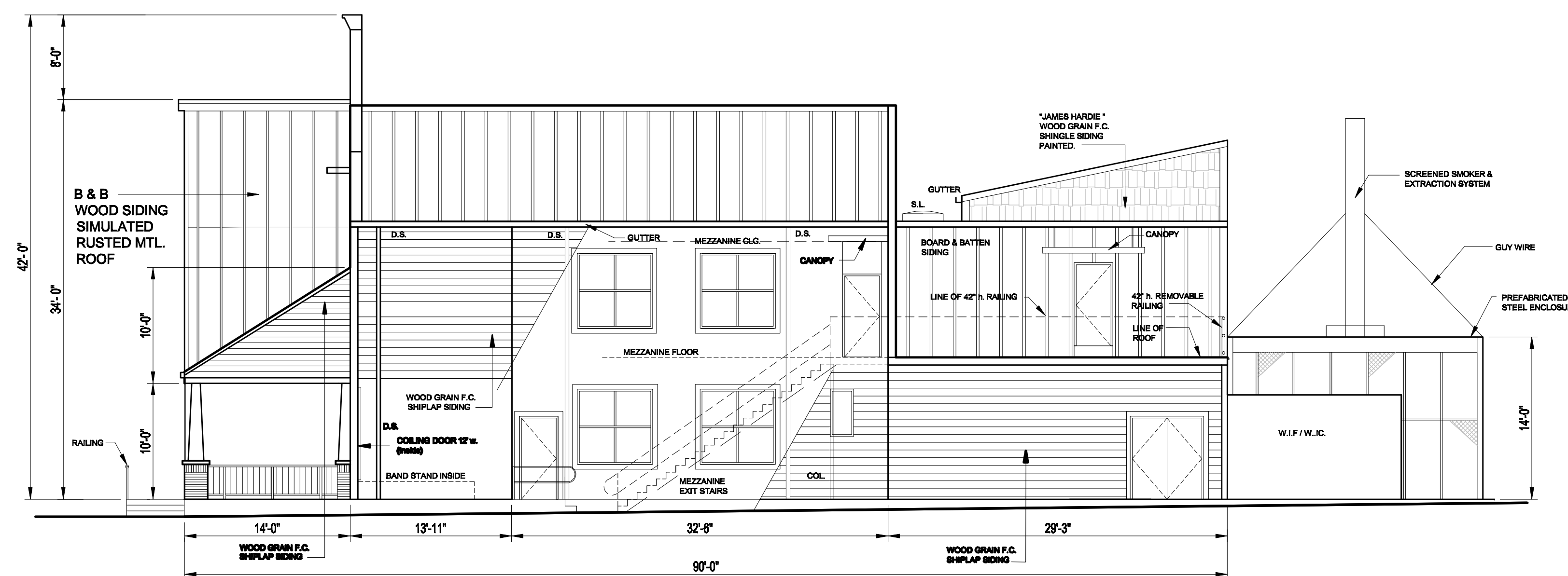
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|-------------|---------------------|-------------|------------|
| Project No. | 610319 | Drawing No. | A-2 |
| Scale | 1/8" = 1'-0" | | |
| Drawn By | JRW | | |
| Checked By | EVF | | |
| Approved By | EVF | | |
| Date Issued | 4/10/24 | Sheet | of |

PLOTTED JRW 8-2-23 FRONT RANGE BBQ

| No. | Date | Revisions | By |
|-----|------|-----------|----|
| | | | |
| | | | |
| | | | |



FRONT RANGE BBQ
PRELIMINARY LEFT ELEVATION



FRONT RANGE BBQ
PRELIMINARY RIGHT ELEVATION

NOTE:
BUILDING SIDING, TRIM, FACIAS AND SOFFITS
SHALL BE FIBER CEMENT (F.C) PRODUCTS AS
MANUFACTURED BY THE JAMES HARDIE COMPANY
OR APPROVED EQUAL.

| | |
|------------------|-----------------|
| Architect's Seal | Engineer's Seal |
|------------------|-----------------|

ADDITIONS & ALTERATIONS
FOR
**FRONT RANGE
BARBEQUE**

2330 WEST COLORADO AVE.
COLORADO SPRINGS, COLORADO

Drawing Title
**LEFT AND RIGHT
ELEVATIONS**

| | | | |
|-------------|---------------------|-------------|------------|
| Project No. | 610319 | Drawing No. | A-3 |
| Scale | 1/8" = 1'-0" | | |
| Drawn By | JRW | | |
| Checked By | EVF | | |
| Approved By | EVF | | |
| Date Issued | 4/10/24 | Sheet | of |

PLOTTED: JRW 4-10-24 FRONT RANGE BBQ