

For reference only. This application is being reviewed administratively.

DEVELOPMENT PLAN

LOT 1, MAXDON FILING NO. 5

3760 E BOULDER ST

COLORADO SPRINGS, EL PASO COUNTY, COLORADO

LEGEND

-----	PROPERTY LINE	-----	INDEX CONTOUR	-----	INDEX CONTOUR
-----	EASEMENT LINE	-----	INTERMEDIATE CONTOUR	-----	INTERMEDIATE CONTOUR
-----	LOT LINE	-----	CONCRETE AREA	-----	CONCRETE AREA
-----	BUILDING SETBACK LINE	-----	ASPHALT AREA	-----	ASPHALT AREA
-----	ADJACENT PROPERTY LINE	-----	CURB AND GUTTER	-----	CURB AND GUTTER
-----		-----	BUILDING/ BUILDING OVERHANG	-----	BUILDING/ BUILDING OVERHANG
-----	EXISTING	-----	PROPOSED	-----	PROPOSED
-----	INDEX CONTOUR	-----	INDEX CONTOUR	-----	INDEX CONTOUR
-----	INTERMEDIATE CONTOUR	-----	INTERMEDIATE CONTOUR	-----	INTERMEDIATE CONTOUR
-----	CONCRETE AREA	-----	CONCRETE AREA	-----	CONCRETE AREA
-----	ASPHALT AREA	-----	ASPHALT AREA	-----	ASPHALT AREA
-----	CURB AND GUTTER	-----	CURB AND GUTTER	-----	CURB AND GUTTER
-----	BUILDING/ BUILDING OVERHANG	-----	BUILDING/ BUILDING OVERHANG	-----	BUILDING/ BUILDING OVERHANG
-----	SIGN	-----	SIGN	-----	SIGN
-----	CHAIN LINK FENCE	-----	CHAIN LINK FENCE	-----	CHAIN LINK FENCE
-----	TREE (EVERGREEN/DECIDUOUS)	-----	TREE (EVERGREEN/DECIDUOUS)	-----	TREE (EVERGREEN/DECIDUOUS)
-----	SHRUB	-----	SHRUB	-----	SHRUB
-----	ROCK	-----	ROCK	-----	ROCK
-----	WATER MAIN	-----	WATER MAIN	-----	WATER MAIN
-----	WATER SERVICE LINE	-----	WATER SERVICE LINE	-----	WATER SERVICE LINE
-----	WATER VALVE	-----	WATER VALVE	-----	WATER VALVE
-----	FIRE HYDRANT	-----	FIRE HYDRANT	-----	FIRE HYDRANT
-----	SANITARY SEWER MAIN	-----	SANITARY SEWER MAIN	-----	SANITARY SEWER MAIN
-----	SANITARY SEWER SERVICE LINE	-----	SANITARY SEWER SERVICE LINE	-----	SANITARY SEWER SERVICE LINE
-----	SANITARY SEWER MANHOLE	-----	SANITARY SEWER MANHOLE	-----	SANITARY SEWER MANHOLE
-----	SANITARY SEWER CLEANOUT	-----	SANITARY SEWER CLEANOUT	-----	SANITARY SEWER CLEANOUT
-----	GAS MAIN	-----	GAS MAIN	-----	GAS MAIN
-----	OVERHEAD ELECTRIC LINE	-----	OVERHEAD ELECTRIC LINE	-----	OVERHEAD ELECTRIC LINE
-----	UNDERGROUND ELECTRIC LINE/ MANHOLE	-----	UNDERGROUND ELECTRIC LINE/ MANHOLE	-----	UNDERGROUND ELECTRIC LINE/ MANHOLE
-----	UTILITY POLE/GUY WIRE	-----	UTILITY POLE/GUY WIRE	-----	UTILITY POLE/GUY WIRE
-----	WATER SHUTOFF VALVE/ SPRINKLER BOX	-----	WATER SHUTOFF VALVE/ SPRINKLER BOX	-----	WATER SHUTOFF VALVE/ SPRINKLER BOX
-----	ELECTRIC TRANSFORMER/VAULT	-----	ELECTRIC TRANSFORMER/VAULT	-----	ELECTRIC TRANSFORMER/VAULT
-----	TELEPHONE PEDESTAL	-----	TELEPHONE PEDESTAL	-----	TELEPHONE PEDESTAL
-----	LIGHT POLE	-----	LIGHT POLE	-----	LIGHT POLE
-----	DISTURBANCE AREA BNDRY	-----	DISTURBANCE AREA BNDRY	-----	DISTURBANCE AREA BNDRY
-----	ABBREVIATIONS:	-----	ABBREVIATIONS:	-----	ABBREVIATIONS:
-----	ESMT	-----	ESMT	-----	ESMT
-----	PU	-----	PU	-----	PU
-----	DRNG	-----	DRNG	-----	DRNG
-----	PU & D	-----	PU & D	-----	PU & D
-----	P.I.E.	-----	P.I.E.	-----	P.I.E.
-----	C&G	-----	C&G	-----	C&G
-----	SW	-----	SW	-----	SW
-----	SB	-----	SB	-----	SB

ABBREVIATIONS:

- ESMT - EASEMENT
- PU - PUBLIC UTILITY
- DRNG - DRAINAGE
- PU & D - PUBLIC UTILITY & DRAINAGE
- P.I.E. - PUBLIC IMPROVEMENT EASEMENT
- C&G - CURB & GUTTER
- SW - SIDEWALK
- SB - SETBACK

GEOLOGIC HAZARD NOTE

THIS PROPERTY IS SUBJECT TO THE FINDINGS, SUMMARY AND CONCLUSIONS OF A GEOLOGIC HAZARD WAIVER PREPARED BY ENTECH ENGINEERING, INC., DATED OCTOBER 16, 2024. A COPY OF SAID WAIVER HAS BEEN PLACED WITHIN FILE DEPN-24-0182, OR WITHIN THE SUBDIVISION FILE OF THE CITY OF COLORADO SPRINGS PLANNING AND DEVELOPMENT TEAM. CONTACT THE PLANNING AND DEVELOPMENT TEAM, 30 SOUTH NEVADA AVE., SUITE 701, COLORADO SPRINGS, CO, IF YOU WOULD LIKE TO REVIEW SAID WAIVER.

NOT A CONSTRUCTION DOCUMENT

THIS PLAN SHALL NOT BE USED FOR CONSTRUCTION PURPOSES. IT IS PREPARED FOR THE CITY OF COLORADO SPRINGS DEVELOPMENT PLAN APPROVAL PROCESS ONLY. IT IS REQUIRED THAT ANY SUBSEQUENT CONSTRUCTION PLANS ADHERE TO THE APPROVED DEVELOPMENT PLAN.

GENERAL NOTES

- THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.
- ACCESSIBLE ROUTES, INCLUDING RAMPS AND SIDEWALKS, WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PER THE CITY'S STANDARD DRAWINGS AND SPECIFICATIONS. CITY'S ENGINEERING DEVELOPMENT REVIEW INSPECTOR WILL HAVE THE FINAL AUTHORITY ON ACCEPTING THE PUBLIC IMPROVEMENTS.
- ALL EXISTING CURB AND GUTTER POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATION OR NOT MEETING CURRENT CITY ENGINEERING STANDARDS ALONG EAST BOULDER STREET ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED PRIOR TO ISSUING THE CERTIFICATE OF OCCUPANCY (C.O.). AN ON-SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW INSPECTOR TO DETERMINE WHAT, IF ANY, IMPROVEMENTS ARE REQUIRED. THE INSPECTOR CAN BE REACHED AT 719-385-5977.
- THE SITE IS SUBJECT TO AN AVIGATION EASEMENT GRANTED TO THE CITY OF COLORADO SPRINGS IN INSTRUMENT RECORDED AT RECEPTION NO. 97003134 OF THE RECORDS OF EL PASO COUNTY, COLORADO.
- IF A CRANE IS USED FOR CONSTRUCTION, THE PROPERTY OWNER MUST FILE A 7460-1 "NOTICE OF PROPOSED ALTERATION FOR CONSTRUCTION" WITH THE FEDERAL AVIATION ADMINISTRATION (FAA) AND RECEIVE DETERMINATION OF NO HAZARD/NO OBSTRUCTION FOR BUILDING ALL CONSTRUCTION ERECTION EQUIPMENT. APPLICANT SHALL COMPLY WITH ALL FAA DIRECTION.
- PROPERTY MAY BE IMPACTED BY NOISE CAUSED BY AIRCRAFT OPERATION INTO AND OUT OF THE COLORADO SPRINGS AIRPORT.
- NO OUTDOOR STORAGE ALLOWED WITHIN EMERGENCY FIRE ACCESS.
- SITE SIGNAGE IS NOT APPROVED WITH THIS PLAN.
- DEPENDENT ON FUTURE USER OF THE SITE, FUTURE MODIFICATIONS TO THE DEVELOPMENT PLAN AND/OR OTHER LAND USE APPLICATIONS MAY BE REQUIRED TO ADDRESS USE-SPECIFIC ISSUES. FUTURE USERS OF THE SITE SHALL CONTACT THE LAND USE REVIEW DIVISION PRIOR TO OCCUPYING THE SITE TO INSURE CODE COMPLIANCE.

LEGAL DESCRIPTION

LOT 1, MAXDON FILING NO. 5 AS RECORDED IN PLAT BOOK P-3 AT PAGE 101 UNDER RECEPTION NO. 872735 IN THE RECORDS OF EL PASO COUNTY, COLORADO.

MAP NOTES

- THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED BY MVE, INC. USING DATA PROVIDED BY ROCKY MOUNTAIN LAND SERVICES ON OCTOBER 24, 2023.
- ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE FROM UTILITY MAIN RECORD MAPS AND UTILITY SERVICE LOCATION MAPS OBTAINED FROM COLORADO SPRINGS UTILITIES. THE LOCATION OF UTILITIES AS SHOWN ARE APPROXIMATE. ALL UTILITIES MAY NOT BE SHOWN OR MAY NOT HAVE BEEN LOCATED. BELOW GROUND UTILITY LOCATIONS WERE NOT PERFORMED.

FLOODPLAIN STATEMENT

THIS PROPERTY IS NOT LOCATED WITHIN A FLOOD PRONE AREA. SAID PROPERTY IS IN ZONE X. AREAS DETERMINED TO BE OUTSIDE OF THE 500-YEAR FLOOD PLAIN AS INDICATED ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR EL PASO COUNTY, COLORADO AND INCORPORATED AREAS - MAP NUMBER 08041C0734G, EFFECTIVE DECEMBER 7, 2018.

SHEET INDEX

DP-1 (SHEET 1 OF 11)	COVER SHEET	51443-DEV-CS
DP-2 (SHEET 2 OF 11)	SITE PLAN / ADA ACCESS / PHOTOMETRIC	51443-DEV-SP
DP-3 (SHEET 3 OF 11)	PRELIMINARY GRADING PLAN	51443-DEV-PG
DP-4 (SHEET 4 OF 11)	PRELIMINARY UTILITY & PUBLIC FACILITIES PLAN	51443-DEV-PU
DP-5 (SHEET 5 OF 11)	FIRE ACCESS / HYDRANT PLAN	51443-DEV-FIRE
DP-6 (SHEET 6 OF 11)	SITE DETAILS	51443-DEV-SD
DP-7 (SHEET 7 OF 11)	ELEVATIONS	51443-DEV-EL 1
LS-1 (SHEET 8 OF 11)	FINAL LANDSCAPE PLAN	
LS-2 (SHEET 9 OF 11)	FINAL LANDSCAPE PLAN DETAILS	
LS-1 (SHEET 10 OF 11)	IRRIGATION PLAN	
LS-2 (SHEET 11 OF 11)	IRRIGATION PLAN DETAILS	

SITE DATA

COVERAGE DATA

PROPOSED BUILDING	5,000 SF	(22.6%)
PAVEMENT (PARKING/WALK)	13,456 SF	(61.0%)
LANDSCAPING	3,619 SF	(16.4%)

TOTAL AREA = 0.507 ± ACRES 22,075 SF (100.0%)

BUILDING TYPE & USE

PROPOSED BUILDING = 5,000 SF
ONE STORY - TYPE II-B - NON-SPRINKLED

ZONING

CURRENT ZONING: MX-L AO
PROPOSED ZONING: MX-L AO

- THAT THERE BE NO MAXIMUM LOT COVERAGE REQUIREMENT
- MAXIMUM BUILDING HEIGHT IS 45 FEET

PARKING DATA

MOTOR VEHICLE REQUIRED PARKING (7)

OFFICE:
800 SF @ 1 SPACE PER 400 SF = 2 SPACES
WAREHOUSE:
4,200 SF @ 1 SPACE PER 1,000 SF @ = 5 SPACES
REQUIRED HANDICAP:
1 TO 25 PARKING SPACES = 1 HANDICAP SPACE

PROVIDED MOTOR VEHICLE PARKING (7)

6 STANDARD SPACES
1 HANDICAP SPACE
TOTAL = 7 SPACES PROVIDED

BICYCLE REQUIRED PARKING (3)

GROSS FLOOR AREA:
5,000 SF @ =0.5 SPACE PER 1,000 SF = 3 SPACES

PROVIDED BICYCLE PARKING (3)

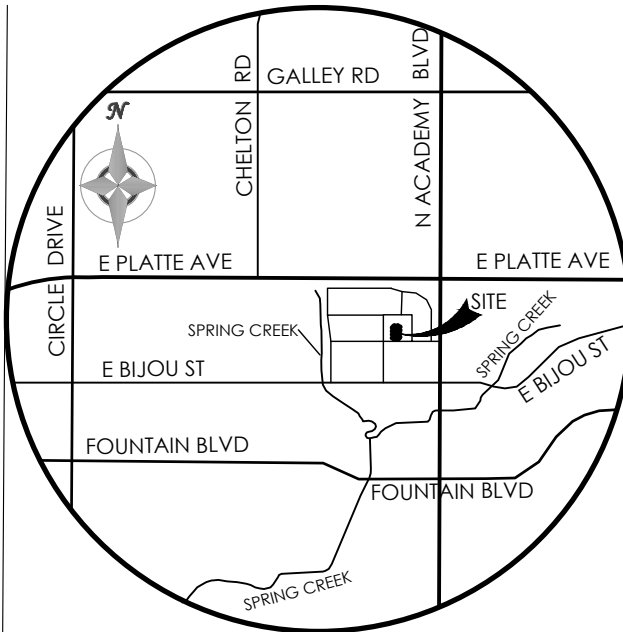
TOTAL = 3 SPACES PROVIDED

SETBACKS

FRONT (E. BOULDER STREET) - N/A
SIDE - N/A
REAR - N/A
MAX BUILDING HEIGHT

65' ALLOWED - 24.25' PROPOSED
SCHEDULE

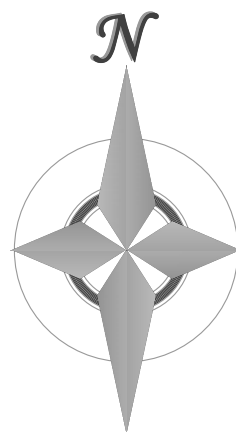
SPRING 2025 TO FALL 2025



VICINITY MAP

NOT TO SCALE

BENCHMARK



1" = 60' 1:720



REVISIONS

DESIGNED BY _____
DRAWN BY _____
CHECKED BY _____
AS-BUILTS BY _____
CHECKED BY _____

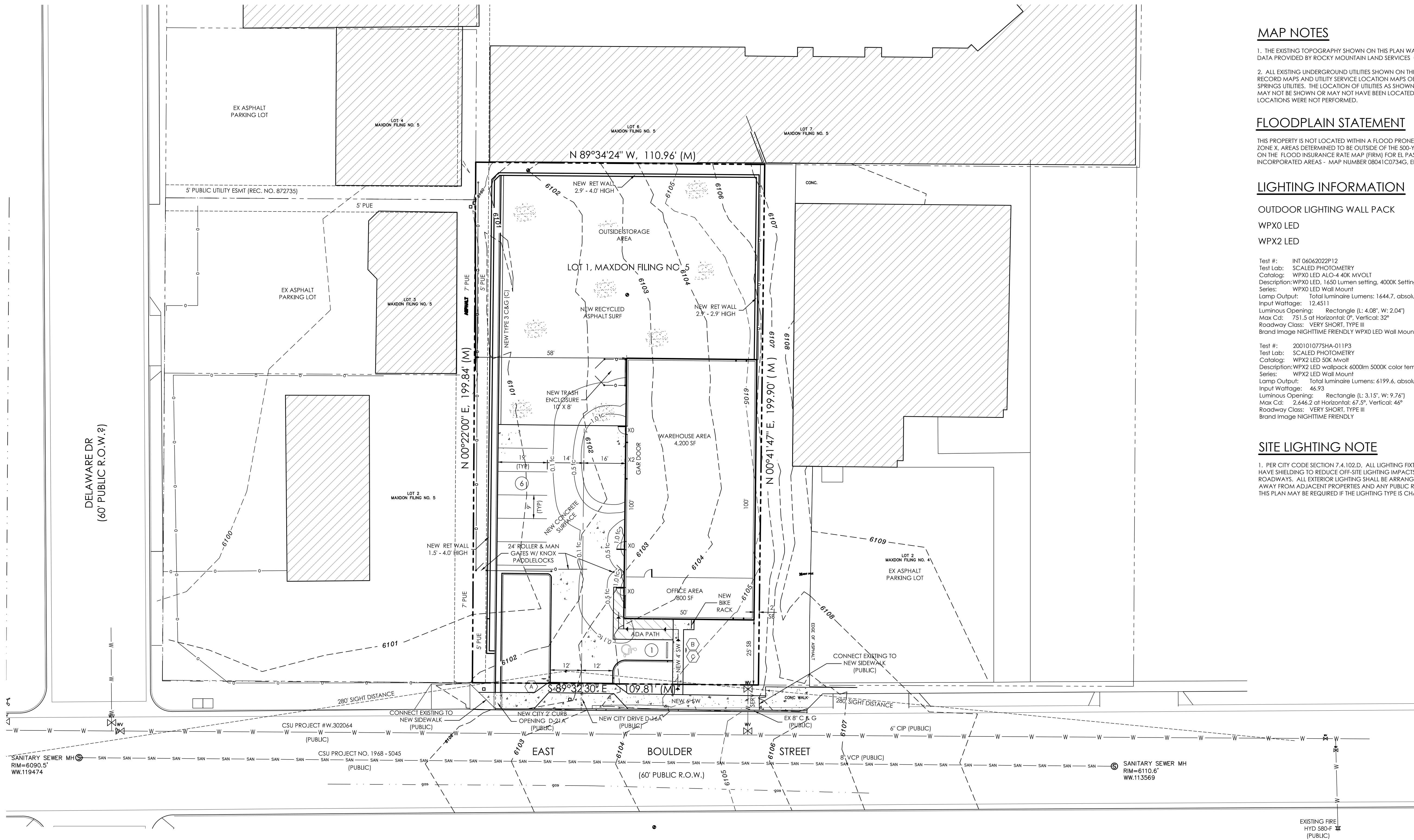
3760 E - BOULDER
DEVELOPMENT PLAN

COVER SHEET

DP-1 MVE PROJECT 51543
MVE DRAWING -DEV-CS

Junel 2, 2025
SHEET 1 OF 11

DEPN - 24 - 0182



MAP NOTES

1. THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED BY MVE, INC. USING DATA PROVIDED BY ROCKY MOUNTAIN LAND SERVICES ON OCTOBER 24, 2023.
2. ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE FROM UTILITY MAIN RECORD MAPS AND UTILITY SERVICE LOCATION MAPS OBTAINED FROM COLORADO SPRINGS UTILITIES. THE LOCATION OF UTILITIES AS SHOWN ARE APPROXIMATE. ALL UTILITIES MAY NOT BE SHOWN OR MAY NOT HAVE BEEN LOCATED. BELOW GROUND UTILITY LOCATIONS WERE NOT PERFORMED.

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LIGHTING INFORMATION

OUTDOOR LIGHTING WALL PACK	I.D.	QUANTITY
WPX0 LED	X0	3
WPX2 LED	X2	1

Test #: INT 06062022P12
Test Lab: SCALED PHOTOMETRY
Catalog: WPX0 LED AL0-4 40K M/VOLT
Description: WPX0 LED, 1650 Lumen setting, 4000K Setting, 120-277V
Series: WPX0 LED Wall Mount
Lamp Output: Total Luminaire Lumens: 1644.7, absolute photometry *
Input Wattage: 12.4511
Luminous Opening: Rectangle (L: 4.08", W: 2.04")
Max Cd: 751.5 at Horizontal: 0°, Vertical: 32°
Roadway Class: VERY SHORT, TYPE III
Brand Image NIGHTTIME FRIENDLY WPX0 LED Wall Mount Product Image

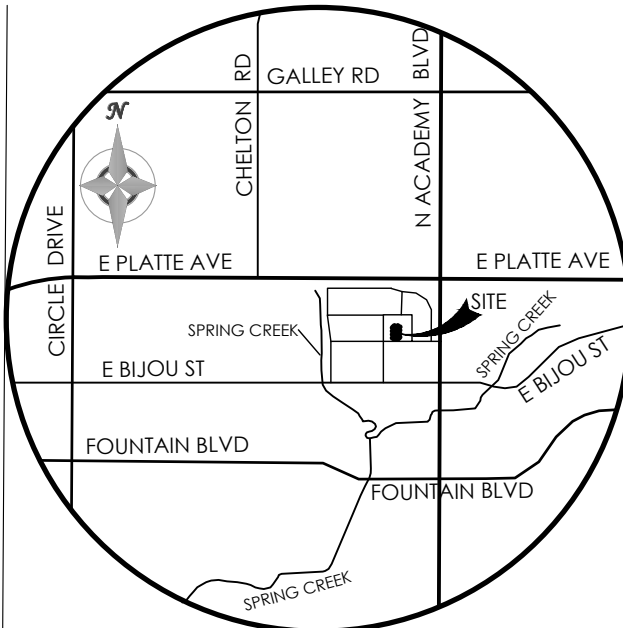


Test #: 2001010773HA-011P3
Test Lab: SCALED PHOTOMETRY
Catalog: WPX2 LED 50K M/volt
Description: WPX2 LED wallpack 6000lm 5000K color temperature 120-277 Volt
Series: WPX2 LED Wall Mount
Lamp Output: Total Luminaire Lumens: 6199.6, absolute photometry *
Input Wattage: 46.93
Luminous Opening: Rectangle (L: 3.15", W: 9.76")
Max Cd: 2,646.2 at Horizontal: 67.5°, Vertical: 46°
Roadway Class: VERY SHORT, TYPE III
Brand Image NIGHTTIME FRIENDLY



SITE LIGHTING NOTE

1. PER CITY CODE SECTION 7.4.102.D, ALL LIGHTING FIXTURES SHALL BE FULL CUT-OFF OR HAVE SHIELDING TO REDUCE OFF-SITE LIGHTING IMPACTS ONTO ADJACENT PROPERTIES AND ROADWAYS. ALL EXTERIOR LIGHTING SHALL BE ARRANGED TO MITIGATE LIGHT DIRECTED AWAY FROM ADJACENT PROPERTIES AND ANY PUBLIC RIGHT-OF-WAY. AN AMENDMENT TO THIS PLAN MAY BE REQUIRED IF THE LIGHTING TYPE IS CHANGED.

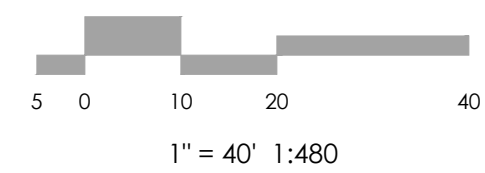
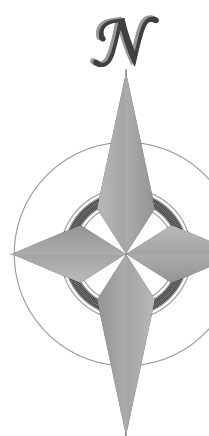


VICINITY MAP

NOT TO SCALE

BENCHMARK
THE BENCHMARK FOR ELEVATIONS SHOWN ON THIS DRAWING IS
ELEVATION = (NGVD29).

BASIS OF BEARINGS: THE BASIS OF ALL BEARINGS SHOWN ON THIS DRAWING IS THE



REVISIONS

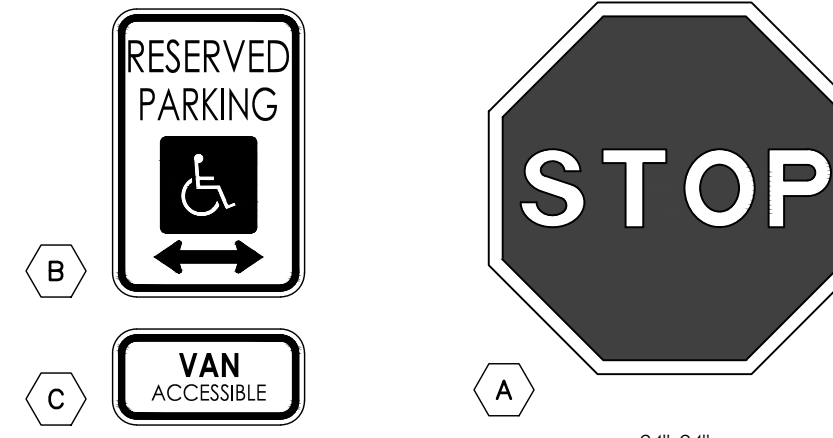
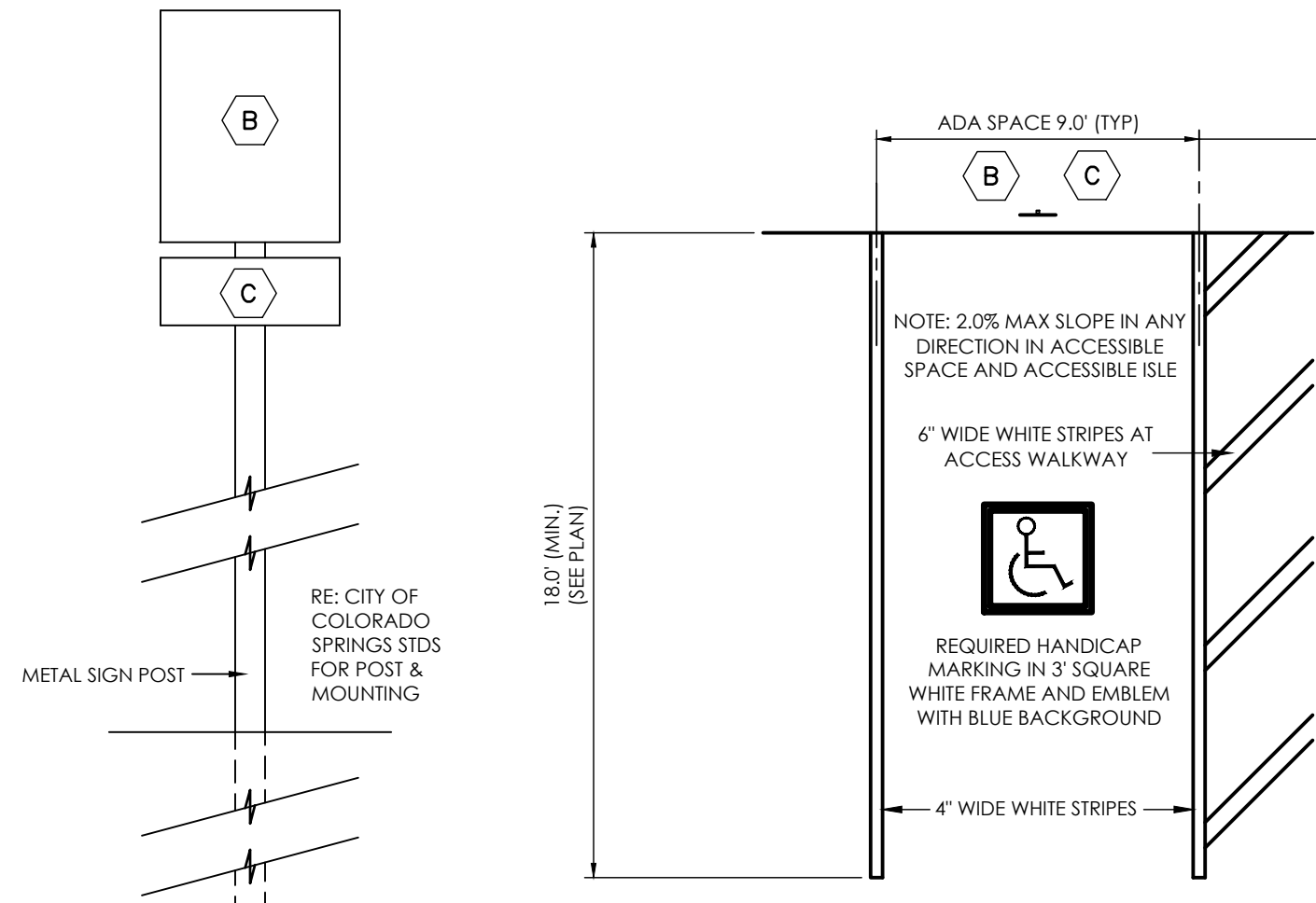
DESIGNED BY
DRAWN BY
CHECKED BY
AS-BUILTS BY
CHECKED BY

3760 E - BOULDER
DEVELOPMENT PLAN

SITE PLAN
ADA ACCESS
PHOTOMETRIC

DP-2 MVE PROJECT 51543
MVE DRAWING -DEV-SP

June 2, 2025
SHEET 2 OF 11



1. TYPOGRAPHY TO BE HELVETICA MEDIUM
2. ALL PRIMARY SIGNS TO BE MOUNTED ON METAL SIGN POST; 7'-0" ABOVE FINISH GRADE TO BOTTOM OF SIGN-TYP. ADDITIONAL PLACARD SIGNS SHALL BE MOUNTED AT LEAST 6'-0" ABOVE FINISH GRADE TO BOTTOM OF SIGN-TYP.
3. DO NOT MOUNT HANDICAP SIGNAGE ON BUILDING.
4. ALL 'STOP' SIGNS WILL BE INSTALLED BY THE DEVELOPER AT THE LOCATIONS SHOWN ON THE DEVELOPMENT PLAN TO MEET MUTCD STANDARDS. CONTACT TRAFFIC ENGINEERING, SIGNS & MARKINGS AT 719-385-6720 FOR ASSISTANCE.

SITE SIGNAGE LEGEND

SCALE: 1" = 1'-0"

ADA NOTE

1. THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.
2. ACCESSIBLE ROUTES, INCLUDING RAMPS AND SIDEWALKS, WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PER THE CITY'S STANDARD DRAWINGS AND SPECIFICATIONS. CITY'S ENGINEERING DEVELOPMENT REVIEW INSPECTOR WILL HAVE THE FINAL AUTHORITY ON ACCEPTING THE PUBLIC IMPROVEMENTS.
3. ACCESSIBLE PARKING SPACES, ACCESS AISLES, AND SIGNAGE SHALL MEET ALL APPLICABLE CITY CODE REQUIREMENTS INCLUDING:
 - PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING ONE TO FIFTY (1:50) (2 PERCENT) IN ALL DIRECTIONS.
 - ACCESSIBLE PARKING SPACES SHALL BE MARKED WITH FOUR INCH (4") LINES.
 - ACCESSIBLE AISLES SHALL BE OUTLINED AND DIAGONALLY STRIPED AT FORTY FIVE DEGREE (45°) ANGLES IN A CONTRASTING COLOR SUCH AS YELLOW, WHITE, OR BLUE.
 - EACH ACCESSIBLE PARKING SPACE SHALL BE DESIGNATED AS RESERVED BY A SIGN SHOWING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. VAN ACCESSIBLE SPACES SHALL HAVE AN ADDITIONAL SIGN CONTAINING THE DESIGNATION, "VAN ACCESSIBLE", MOUNTED BELOW THE SYMBOL OF ACCESSIBILITY. EACH ACCESSIBLE PARKING SPACE SIGN SHALL BE NO SMALLER THAN SIX INCHES (6") TALL BY TWELVE INCHES (12") WIDE. EACH VAN ACCESSIBLE SIGN SHALL BE NO SMALLER THAN SIX INCHES (6") TALL BY TWELVE INCHES (12") WIDE. SIGNS SHALL BE LOCATED AT THE HEAD OF THE SPACE WITH THE BOTTOM OF THE SIGN(S) BETWEEN FIVE FEET (5') AND SEVEN FEET (7') ABOVE THE FINISH FLOOR OR GROUND SURFACE.

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CONSTRUCTION DOCUMENT**
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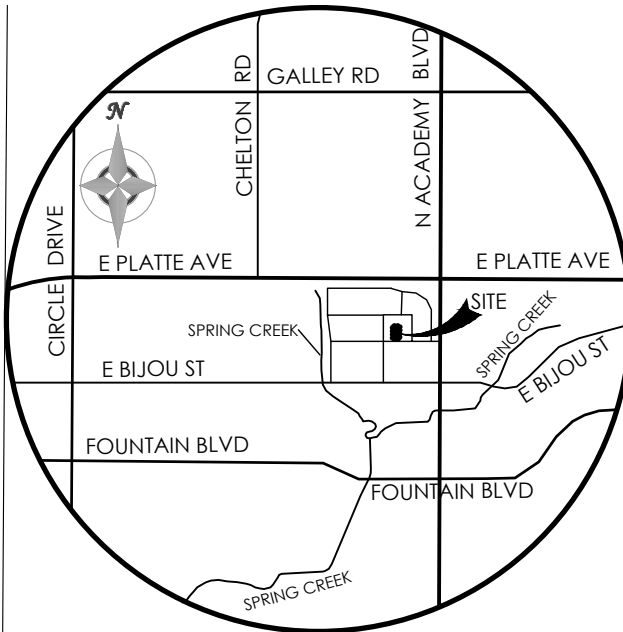
DEPN - 24 - 0182

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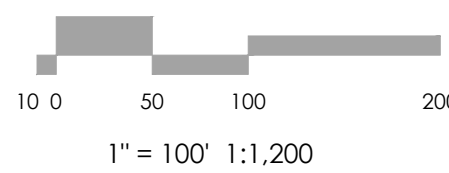
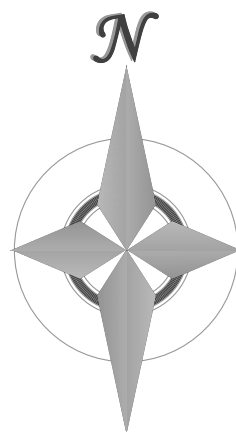
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VICINITY MAP
NOT TO SCALE

BENCHMARK
THE BENCHMARK FOR ELEVATIONS SHOWN ON THIS DRAWING IS THE NORTHEAST CORNER OF THE INLET AT THE NORTHWEST CORNER OF THE SITE. ELEVATION = 6097.98'.



REVISIONS

DESIGNED BY _____
DRAWN BY _____
CHECKED BY _____
AS-BUILTS BY _____
CHECKED BY _____

3760 E - BOULDER
DEVELOPMENT PLAN

PRELIMINARY
GRADING SHEET

DP-3 MVE PROJECT 51543
MVE DRAWING -DEV-PG

June 2, 2025
SHEET 3 OF 11

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DEPN - 24 - 0182

PROPERTY OWNER(S) ACKNOWLEDGE AND AGREE TO THE FOLLOWING UPON APPROVAL OF PRELIMINARY UTILITY PLAN:

PROPERTY OWNER(S) ACKNOWLEDGE AND AGREE TO THE FOLLOWING UPON APPROVAL OF PRELIMINARY UTILITY PLAN:

1. COLORADO SPRINGS UTILITIES (SPRINGS UTILITIES) SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION OF ALL WATER, WASTEWATER, ELECTRIC AND GAS FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THIS PRELIMINARY UTILITY PLAN.
2. PROPERTY OWNERS' ("OWNER") ACKNOWLEDGE THAT THE CONNECTION AND/OR EXTENSION OF UTILITY SERVICES TO THE PROPERTY (IDENTIFIED IN THIS PRELIMINARY UTILITY PLAN ("PROPERTY")) SHALL BE IN ACCORD WITH ALL APPLICABLE CODES AND REGULATIONS, SPRINGS UTILITIES' LINE EXTENSION AND SERVICE STANDARDS (STANDARDS), TARIFFS, COLORADO SPRINGS CITY CODE, RESOLUTIONS, AND POLICIES, AND PIKES PEAK REGIONAL BUILDING DEPARTMENT CODES, IN EFFECT AT THE TIME OF UTILITY SERVICE CONNECTION AND/OR EXTENSION.
3. OWNER ACKNOWLEDGES RESPONSIBILITY FOR THE COSTS OF EXTENSIONS OR UTILITY SYSTEM IMPROVEMENTS THAT SPRINGS UTILITIES DETERMINES NECESSARY TO PROVIDE UTILITY SERVICES TO THE PROPERTY OR TO ENHANCE THE DEVELOPMENT OF INTEGRATED UTILITY SYSTEMS SERVING THE PROPERTY AND AREAS OUTSIDE THE PROPERTY (INCLUDING THE COSTS TO DESIGN AND INSTALL WATER SYSTEMS, WASTEWATER COLLECTION SYSTEMS, AND ANY GAS OR ELECTRIC LINES TO AND WITHIN THE PROPERTY). OWNER MAY BE ELIGIBLE FOR A COST RECOVERY AGREEMENT AS PROVIDED IN UTILITIES' RULES AND REGULATIONS.
4. SPRINGS UTILITIES' UTILITY SERVICES ARE AVAILABLE ON A "FIRST-COME, FIRST-SERVED" BASIS, AND THEREFORE NO SPECIFIC ALLOCATIONS OR AMOUNTS OF UTILITY SERVICES, FACILITIES, CAPACITIES OR SUPPLIES ARE RESERVED FOR THE OWNER, AND SPRINGS UTILITIES MAKES NO COMMITMENT AS TO THE AVAILABILITY OF ANY UTILITY SERVICE UNTIL SUCH TIME AS AN APPLICATION FOR PERMANENT SERVICE IS APPROVED BY SPRINGS UTILITIES.
5. THE RELOCATION OR ALTERATION OF ANY EXISTING UTILITY FACILITIES WITHIN THE PROPERTY AT THE OWNER'S SOLE COST AND EXPENSE, IF SPRINGS UTILITIES DETERMINES THAT OWNER'S RELOCATION OR ALTERATION REQUIRES NEW OR UPDATED EASEMENTS, OWNER SHALL CONVEY THOSE EASEMENTS PRIOR TO RELOCATING OR ALTERING THE EXISTING UTILITY FACILITIES.
6. OWNER SHALL DEDICATE BY PLAT AND/OR CONVEY BY RECORDED DOCUMENT, ALL PROPERTY AND EASEMENTS THAT SPRINGS UTILITIES DETERMINES ARE REQUIRED FOR ALL UTILITY SYSTEM FACILITIES NECESSARY TO SERVE THE PROPERTY OR TO ENHANCE DEVELOPMENT OF AN INTEGRATED UTILITY SYSTEM. ALL EASEMENTS GRANTED BY SEPARATE INSTRUMENT SHALL UTILIZE SPRINGS UTILITIES' THEN-CURRENT PERMANENT EASEMENT AGREEMENT FORM.
7. THE WATER SYSTEM FACILITIES MUST MEET SPRINGS UTILITIES' CRITERIA FOR WATER QUALITY, RELIABILITY AND PRESSURE, INCLUDING LOOPING REQUIREMENTS (SEE SPRINGS UTILITIES' LINE EXTENSION AND SERVICE STANDARDS).
8. OWNER RECOGNIZES THAT THE EXTENSION OF WATER SYSTEM FACILITIES MAY AFFECT THE QUALITY OF WATER IN SPRINGS UTILITIES' WATER SYSTEM. WHEN WATER QUALITY IS AFFECTED, OWNER ACKNOWLEDGES RESPONSIBILITY FOR ANY COSTS THAT SPRINGS UTILITIES DETERMINES NECESSARY TO INCUR IN ORDER TO MAINTAIN WATER QUALITY IN ITS SYSTEM AS A RESULT OF OWNER'S WATER SYSTEM EXTENSIONS. OWNER MAY BE REQUIRED TO SUBMIT A WATER-QUALITY PLAN FOR THE PROJECT.
9. OWNER MUST CONTACT SPRINGS UTILITY FIELD ENGINEERING TO DETERMINE THE LOCATION OF ALL NATURAL GAS AND ELECTRIC METERS AND TRANSFORMERS AND TO SECURE APPROVAL OF GAS-SERVICE-LINE PRESSURES IN EXCESS OF SPRINGS UTILITIES STANDARD GAS SYSTEM PRESSURE. (CONTACT FIELD ENGINEERING NUMBER 688-4985 OR SOUTH 688-5564).
10. IT SHALL NOT BE PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH WITHIN ANY SPRINGS UTILITIES EASEMENT OR RIGHTS OF WAY WITHOUT THE WRITTEN APPROVAL OF SPRINGS UTILITIES. IMPROVEMENTS, STRUCTURES AND TRESS SHALL NOT BE LOCATED WITHIN UTILITY EASEMENT, SHALL NOT VIOLATE NATIONAL ELECTRIC SAFETY CODE (NEC) PROVISIONS AND CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.
11. SPRINGS UTILITIES' APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF SPRINGS UTILITIES TO APPLY ITS STANDARDS; AND IF THERE ARE ANY CONFLICTS BETWEEN ANY APPROVED DRAWINGS AND ANY PROVISION OF STANDARDS OR THE CITY CODE, THEN THE STANDARDS OR CITY CODE SHALL APPLY. SPRINGS UTILITIES' APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF THE CITY OF COLORADO SPRINGS OR THE SPRINGS UTILITIES TO ADOPT DIFFERENT ORDINANCES, REGULATIONS, RESOLUTIONS, POLICIES OR CODES WHICH CHANGE ANY OF THE PROVISIONS OF THE STANDARDS SO LONG AS THESE APPLY TO THE CITY GENERALLY AND ARE IN ACCORD WITH THE THEN-CURRENT TARIFFS, RATES, RULES, REGULATIONS AND POLICIES OF SPRINGS UTILITIES.

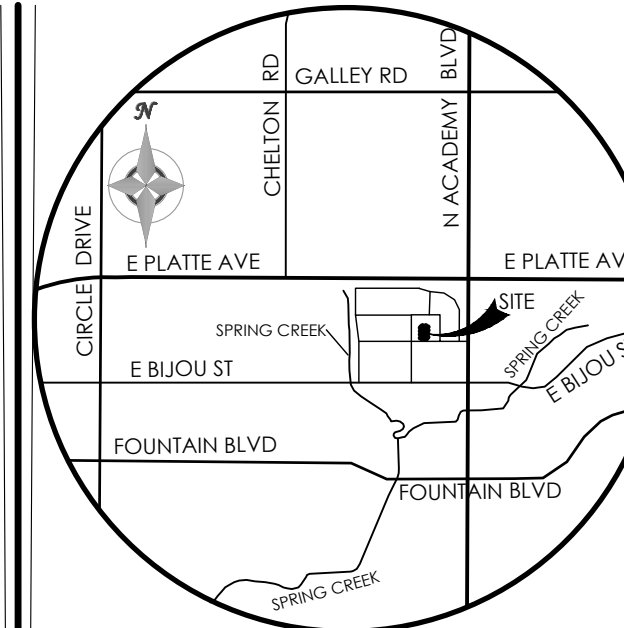
1. ALL NEW UTILITIES SHOWN ON THIS PRELIMINARY UTILITY PLAN ARE PRELIMINARY ONLY AND NOT FOR CONSTRUCTION. FINAL CONSTRUCTION DOCUMENTS SHALL BE PREPARED DURING FINAL DESIGN AND APPROVED BY COLORADO SPRINGS UTILITIES.
2. THE LOCATION OF ALL NEW GAS AND ELECTRIC FACILITIES SHOWN ON THIS PRELIMINARY UTILITY PLAN ARE SUBJECT TO COORDINATION WITH COLORADO SPRINGS UTILITIES FOR FINAL DETERMINATION. COLORADO SPRINGS UTILITIES PROVIDES SERVICE PLANS FOR THE SITE. FINAL LOCATIONS OF GAS AND ELECTRIC FACILITIES MAY NOT BE IN ACCORDANCE WITH THOSE SHOWN ON THIS PRELIMINARY UTILITY PLAN.
3. FIRE LINES SHOULD ENTER THE BUILDING PERPENDICULAR TO THE OUTSIDE WALL WHENEVER POSSIBLE, AND SHOULD NEVER BE UNDERGROUND FOR MORE THAN 3 FEET INSIDE THE BUILDING.
4. TREES SHALL MAINTAIN A 15-FOOT MINIMUM SEPARATION FROM WATER AND WASTEWATER MAINS AND A 6-FOOT MINIMUM SEPARATION FROM ELECTRIC AND GAS DISTRIBUTION LINES.
5. FENCING SHALL NOT STOP ACCESS TO UTILITY LINES OR CONFLICT WITH UTILITY EQUIPMENT.

1. THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED BY MVE, INC. USING DATA PROVIDED BY POLARIS SURVEYING, INC. (FIMS DATUM/NGVD 1929)

2. ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE FROM UTILITY MAIN RECORD MAPS AND UTILITY SERVICE LOCATION MAPS OBTAINED FROM COLORADO SPRINGS UTILITIES. THE LOCATION OF UTILITIES AS SHOWN ARE APPROXIMATE. ALL UTILITIES MAY NOT BE SHOWN OR MAY NOT HAVE BEEN LOCATED. BELOW GROUND UTILITY LOCATIONS WERE NOT PERFORMED.

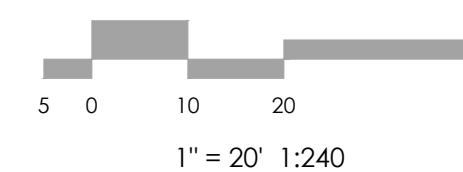
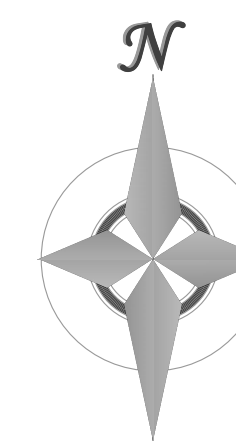
PROPOSED BUILDING - OFFICE WAREHOUSE STRUCTURE
GROSS BUILDING AREA = 5,000 SF
IBC BUILDING CONSTRUCTION TYPE = TYPE 11B

FIRE FLOW REQUIREMENTS:
 REQ. FIRE FLOW = 1,500 GPM
 REQ. NO. OF HYDRANTS = 1
 REQ. HOSE LAY DISTANCE = 250 FT



NOT TO SCALE

BENCHMARK
THE BENCHMARK FOR ELEVATIONS SHOWN ON
THIS DRAWING IS THE NORTHEAST CORNER OF
THE INLET AT THE NORTHWEST CORNER OF THE
SITE, ELEVATION = 6097.98'.



MVE, INC.
ENGINEERS' SURVEYORS

REVISIONS

DESIGNED BY _____
 DRAWN BY _____
 CHECKED BY _____
 AS-BUILTS BY _____
 CHECKED BY _____

3760 E - BOULDER DEVELOPMENT PLAN

PRELIMINARY UTILITIES & PUBLIC FACILITIES PLAN

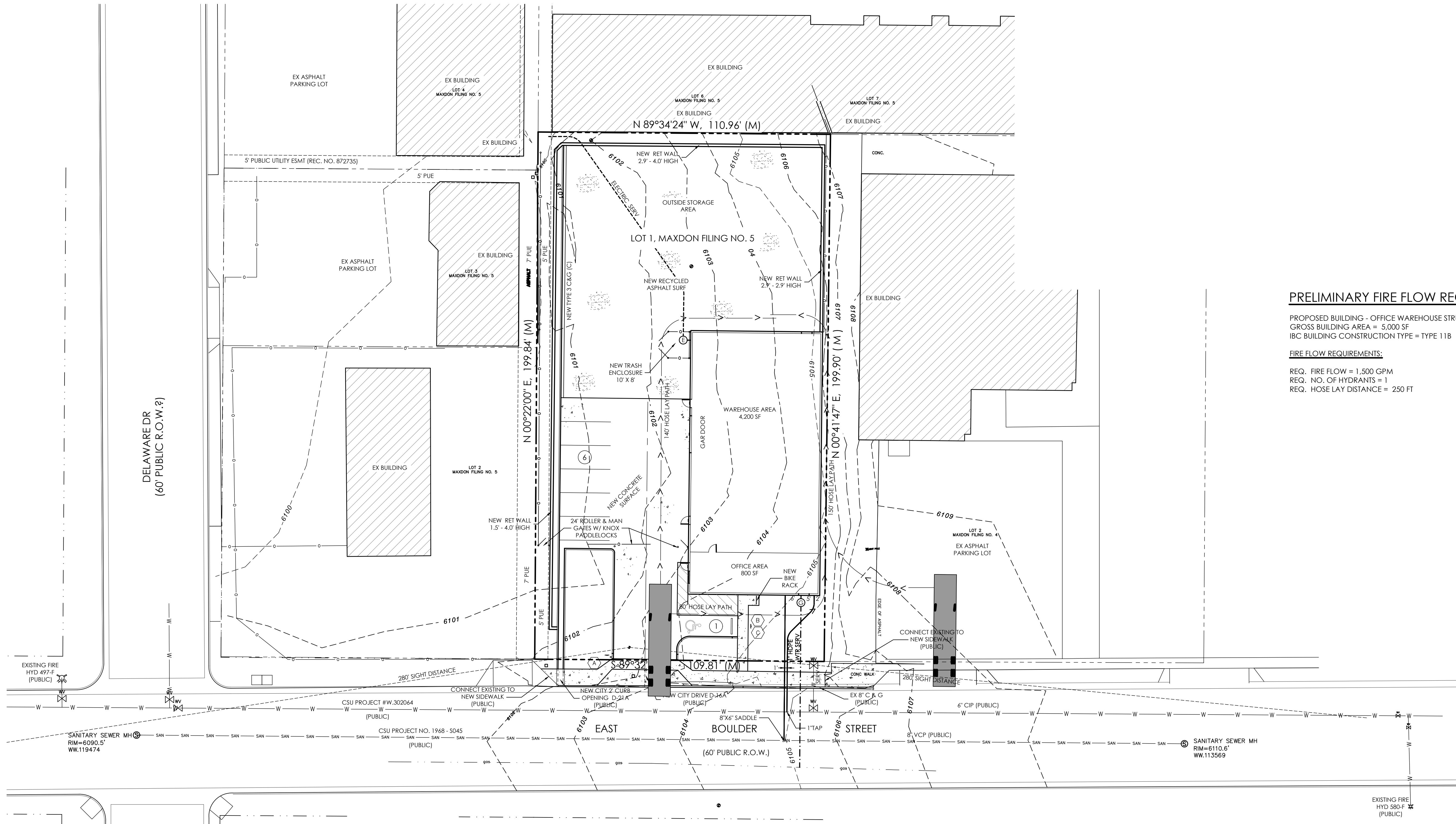
DP-4 MVE PROJECT 51543
MVE DRAWING -DEV-PU

June 2, 2025
SHEET 4 OF 11

DEPN - 24 - 0182

**NOT A
CONSTRUCTION DOCUMENT**

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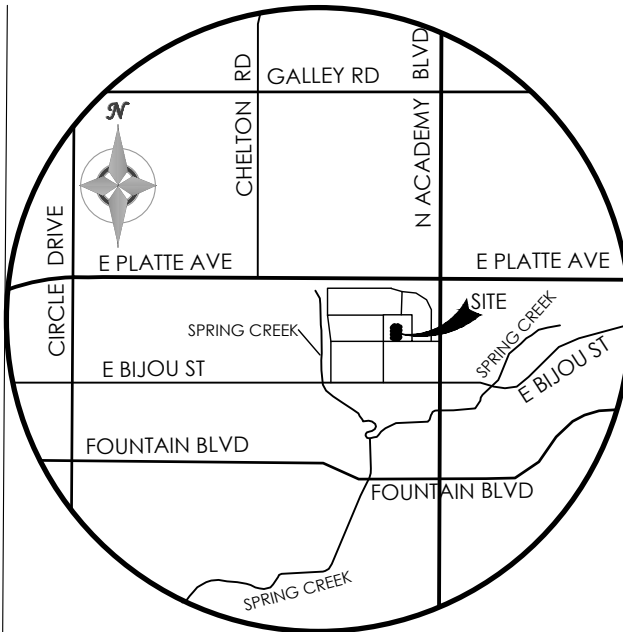


NOT A CONSTRUCTION DOCUMENT

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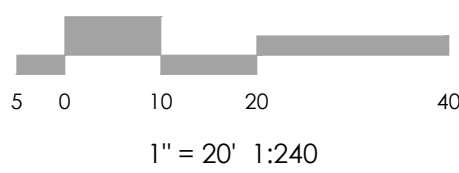
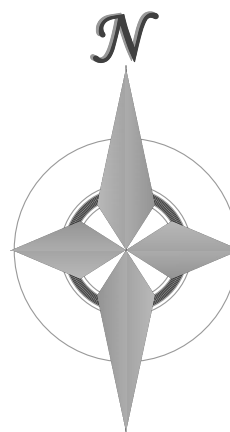
MAP NOTES

1. THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED BY MVE, INC. USING DATA PROVIDED BY ROCKY MOUNTAIN LAND SERVICES ON OCTOBER 24, 2023.
2. ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE FROM UTILITY MAIN RECORD MAPS AND UTILITY SERVICE LOCATION MAPS OBTAINED FROM COLORADO SPRINGS UTILITIES. THE LOCATION OF UTILITIES AS SHOWN ARE APPROXIMATE. ALL UTILITIES MAY NOT BE SHOWN OR MAY NOT HAVE BEEN LOCATED. BELOW GROUND UTILITY LOCATIONS WERE NOT PERFORMED.



VICINITY MAP
NOT TO SCALE

BENCHMARK
THE BENCHMARK FOR ELEVATIONS SHOWN ON THIS DRAWING IS THE NORTHEAST CORNER OF THE INLET AT THE NORTHWEST CORNER OF THE SITE. ELEVATION = 6097.98'.



PRELIMINARY FIRE FLOW REQUIREMENTS

PROPOSED BUILDING - OFFICE WAREHOUSE STRUCTURE
GROSS BUILDING AREA = 5,000 SF
IBC BUILDING CONSTRUCTION TYPE = TYPE 11B

FIRE FLOW REQUIREMENTS:

- REQ. FIRE FLOW = 1,500 GPM
- REQ. NO. OF HYDRANTS = 1
- REQ. HOSE LAY DISTANCE = 250 FT

REVISIONS

DESIGNED BY _____
DRAWN BY _____
CHECKED BY _____
AS-BUILT BY _____
CHECKED BY _____

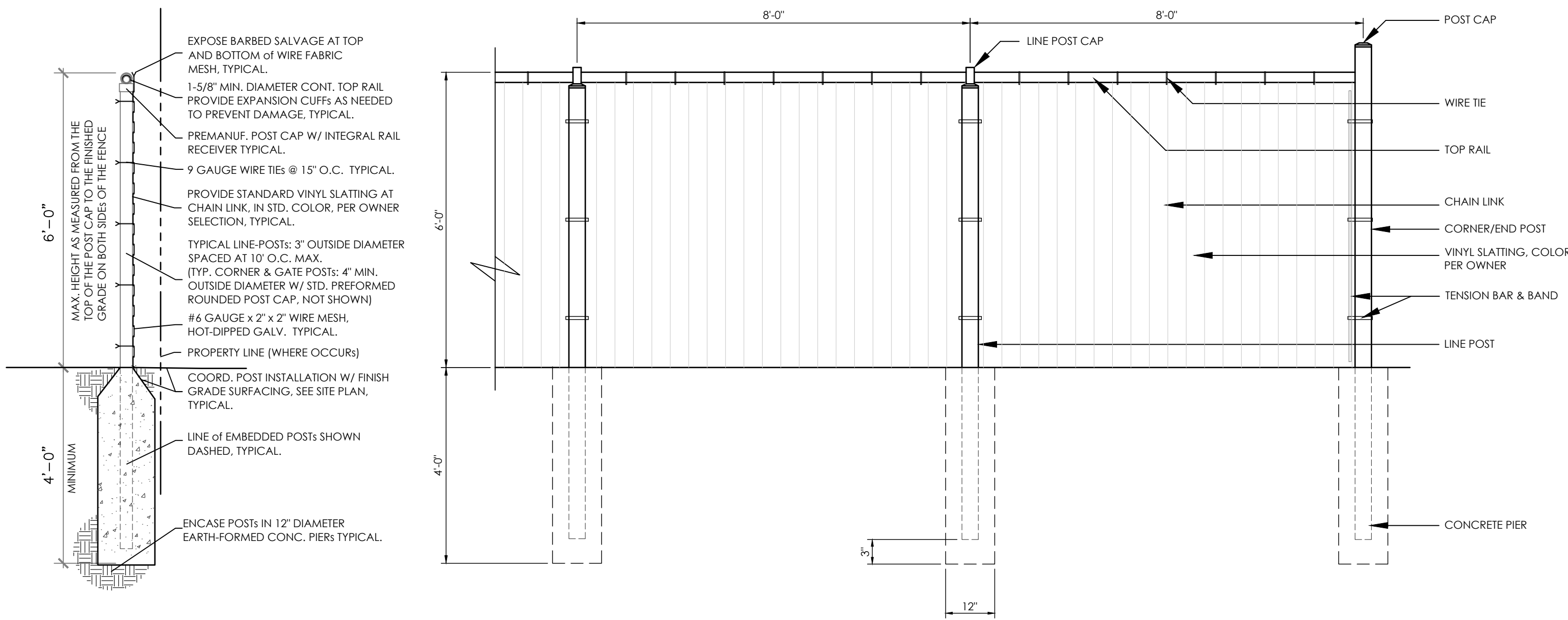
**3760 E - BOULDER
DEVELOPMENT PLAN**

**FIRE ACCESS / HYDRANT
PLAN**

DP-5 MVE PROJECT 51543
MVE DRAWING -DEV-FIRE

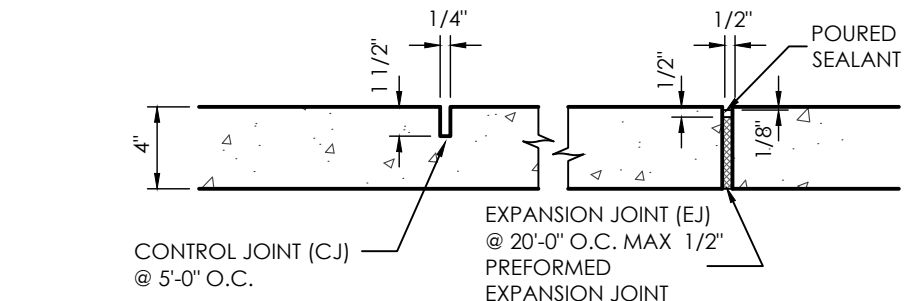
**June 2, 2025
SHEET 5 OF 11**

DEPN - 24 - 0182



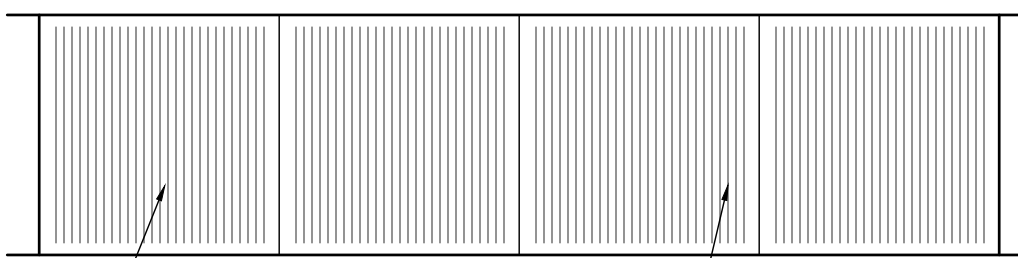
6' OPAQUE CHAIN LINK FENCE DETAIL

NOT TO SCALE



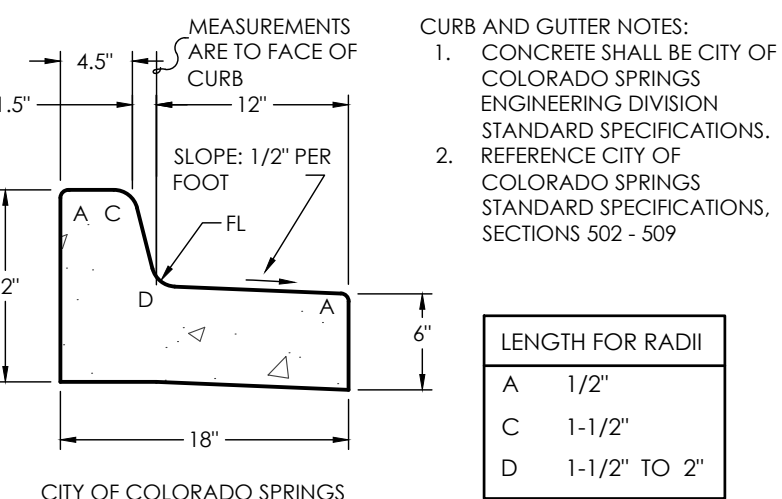
SIDEWALK JOINT DETAIL

NOT TO SCALE



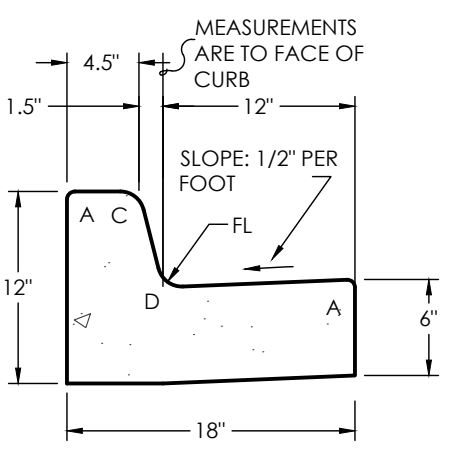
TYPICAL SIDEWALK DETAIL

NOT TO SCALE



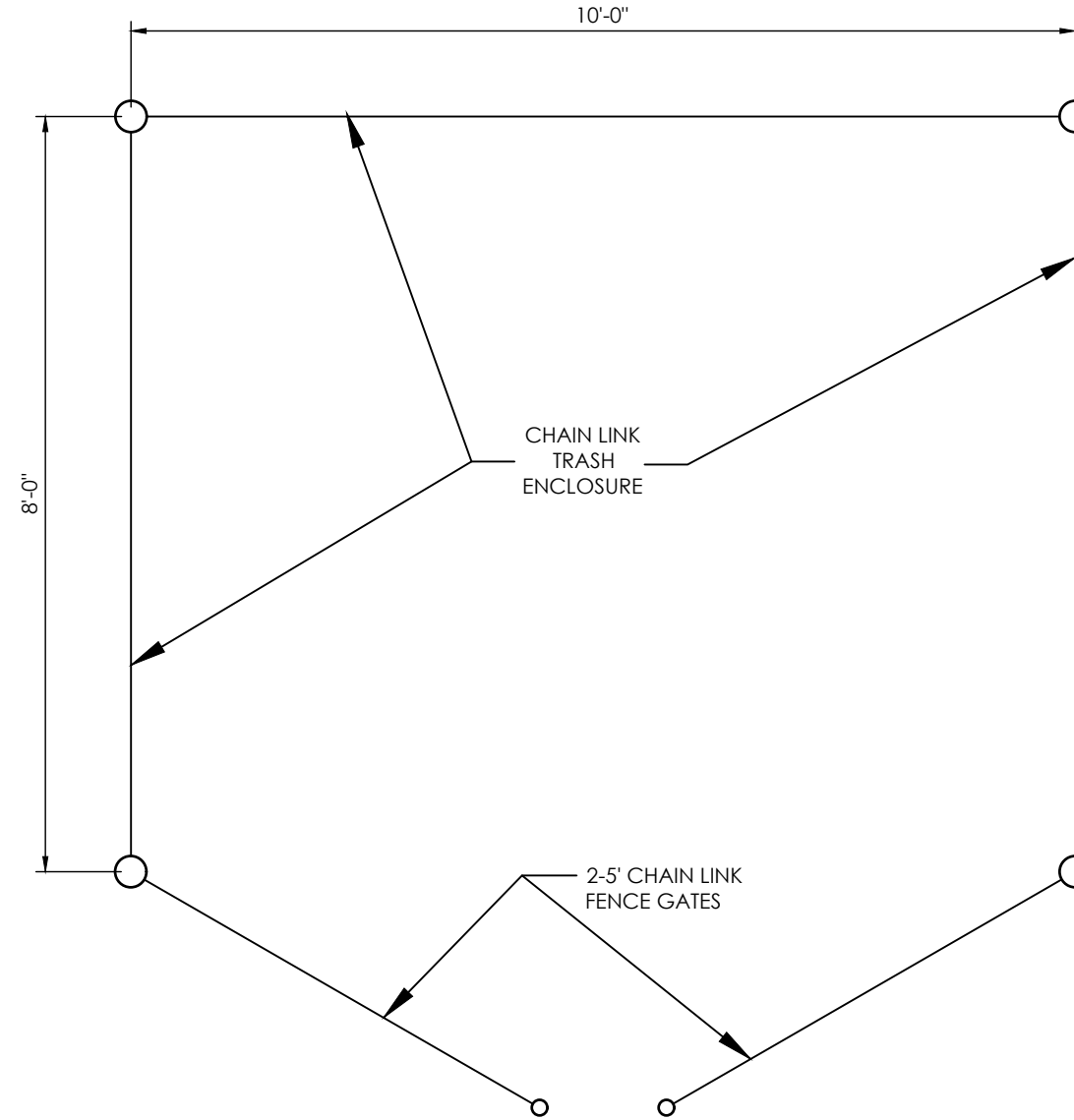
TYPE 3 CITY STD CURB & GUTTER (SPILL)

SCALE 1" = 1'



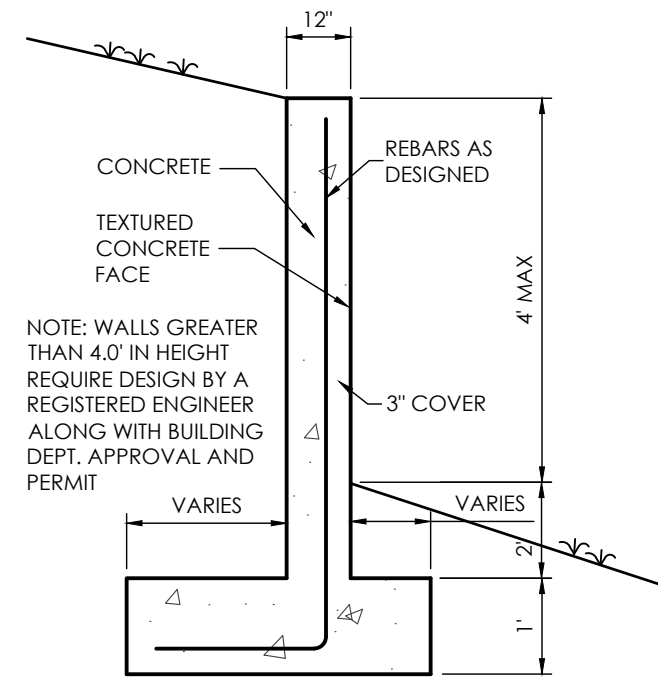
TYPE 3 CURB & GUTTER (CATCH)

SCALE 1" = 1'



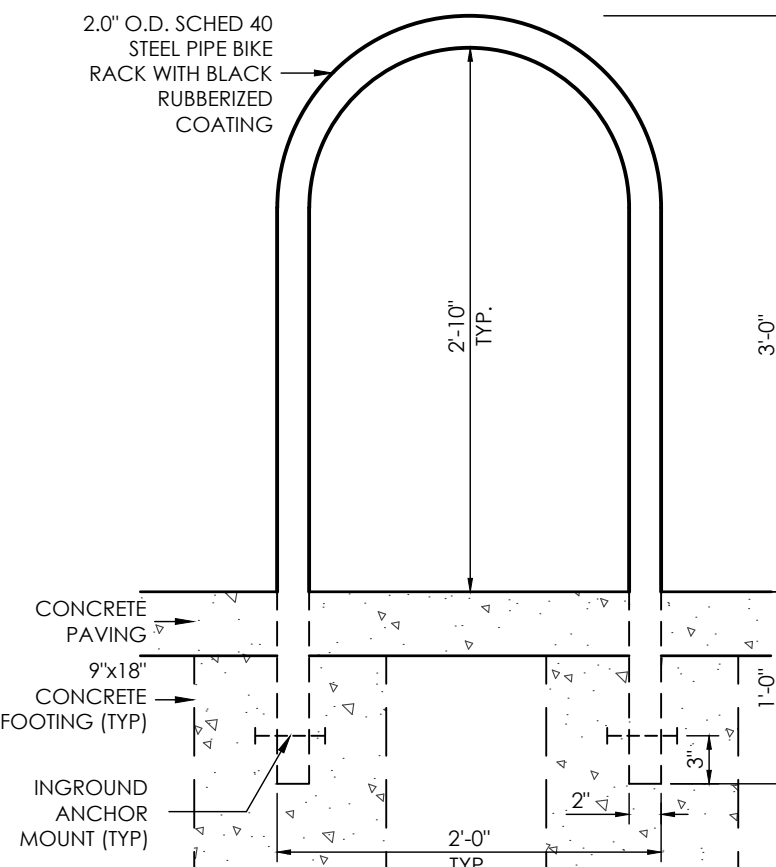
TRASH ENCLOSURE PLAN

SCALE 1" = 2'



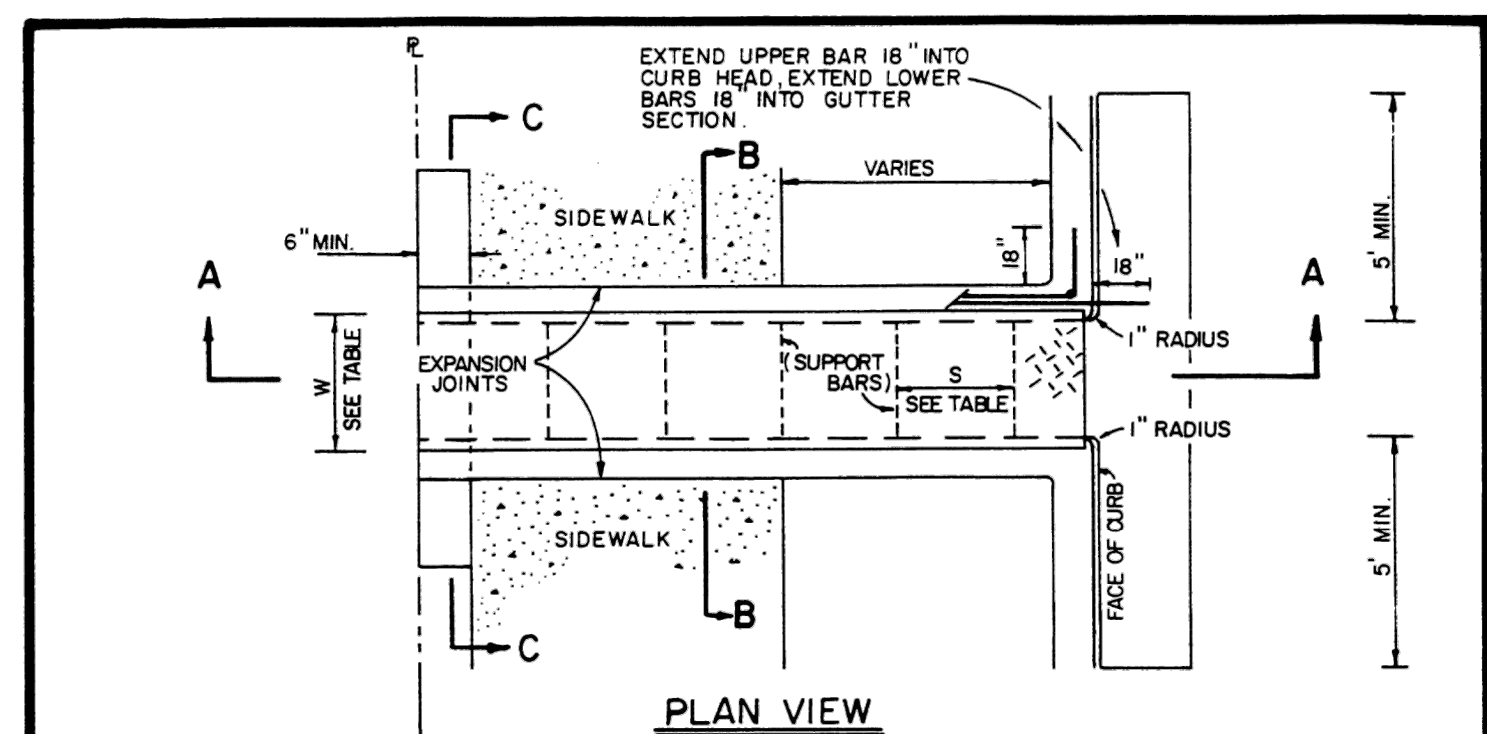
CONCRETE WALL SECTION

NOT TO SCALE

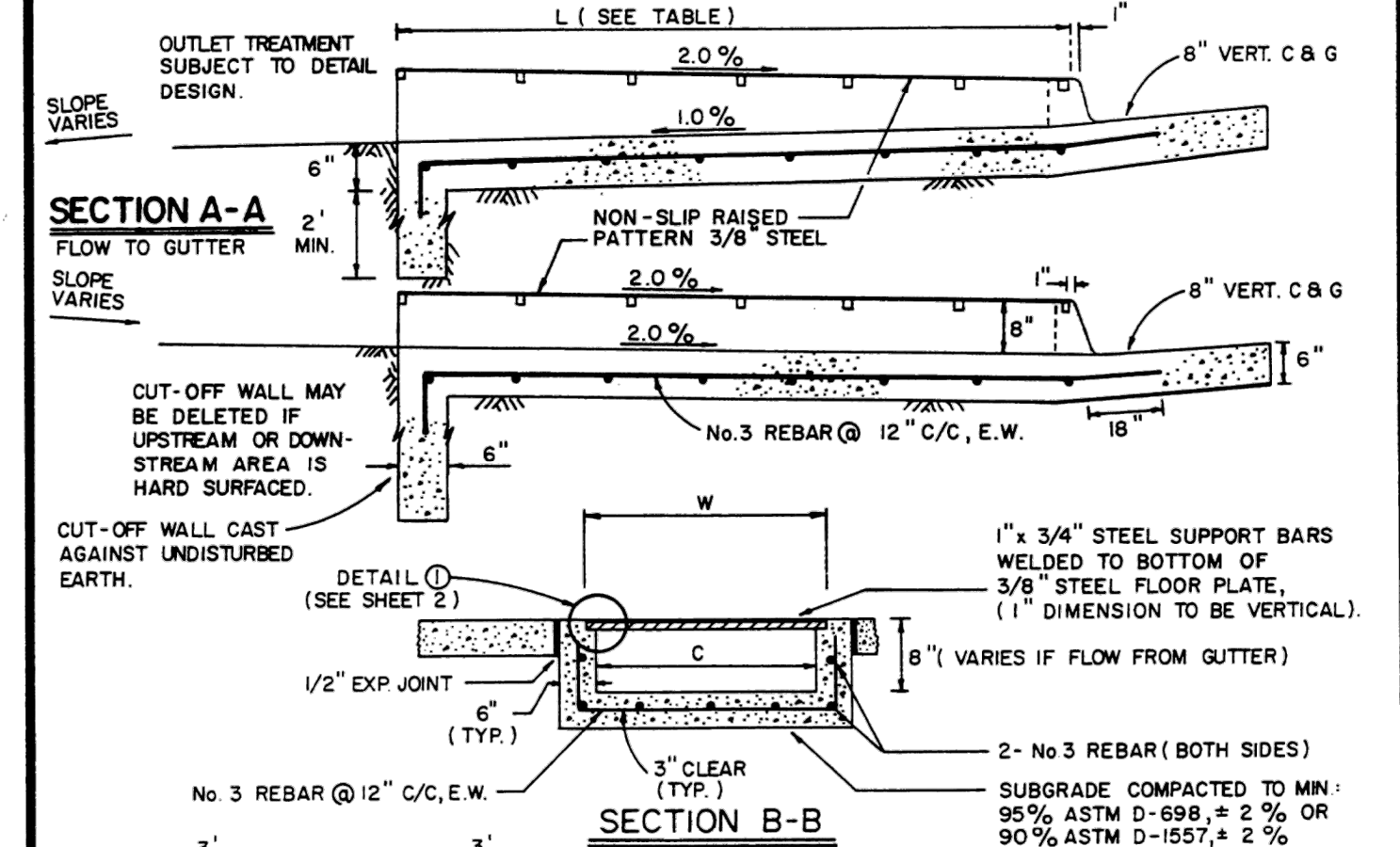


BIKE RACK DETAIL

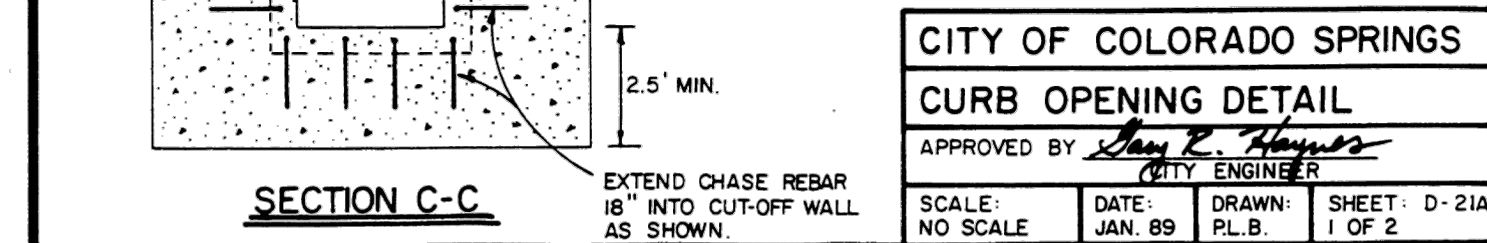
SCALE 1" = 1.0'



SECTION A-A FLOW FROM GUTTER

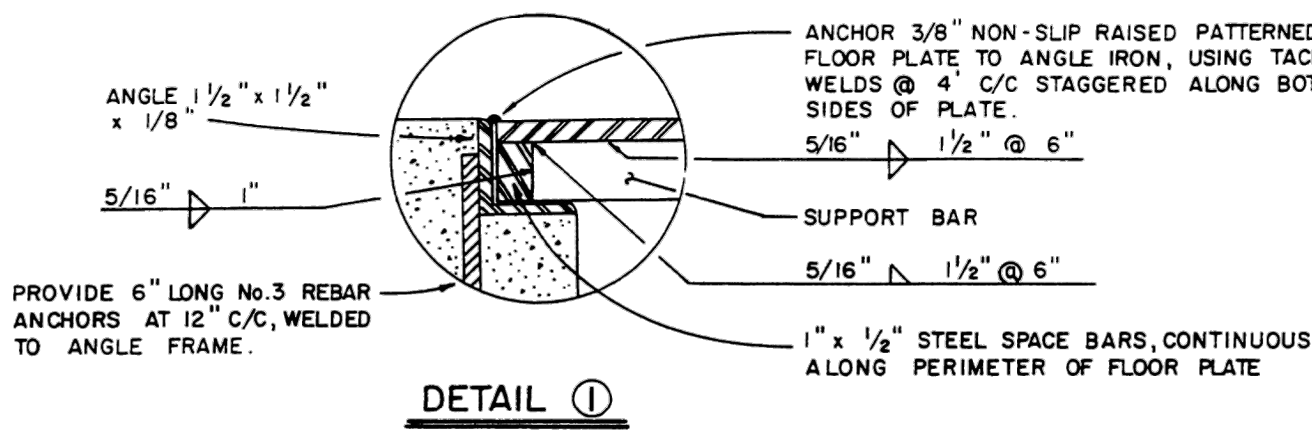


SECTION A-A FLOW TO GUTTER



SECTION C-C

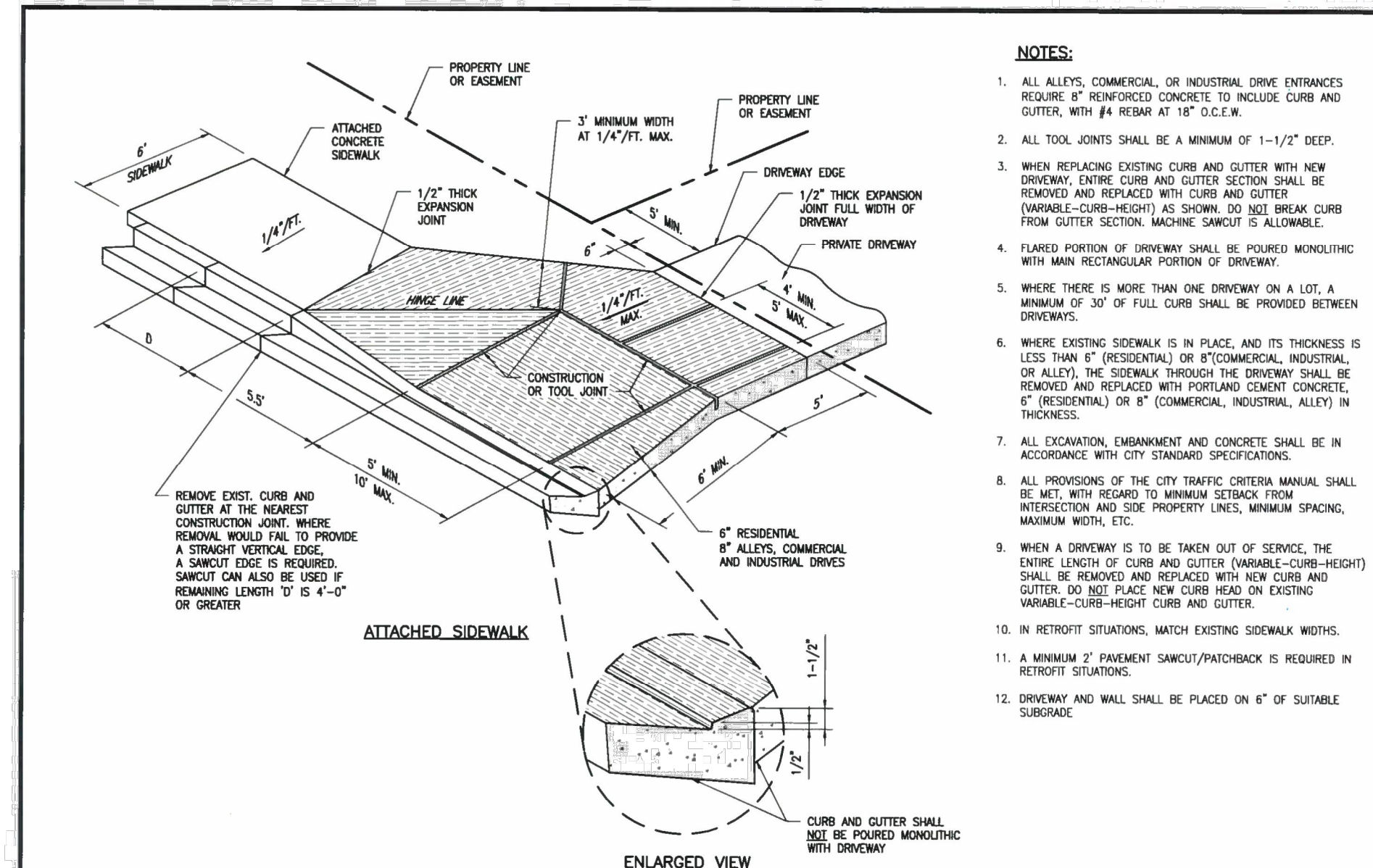
CITY OF COLORADO SPRINGS CURB OPENING DETAIL
APPROVED BY: [Signature]
SCALE: NO SCALE
DATE: JAN. 89
DRAWN: PL.B.
SHEET: D-21A
1 OF 2



TYPE OF WALK	MIN. TOTAL LENGTH (L) OF PLATE	1" x 3/4" SUPPORT BAR REQUIREMENTS
ATTACHED	WALK WIDTH + 10 1/2"	FLOOR PLATE WIDTH (W) SUPPORT SPACING (S)
		1' NONE REQUIRED
		2' 60" C/C
		3' 27" C/C
		4' 15" C/C
		5' 10" C/C
		6' 7" C/C

- NOTES:**
- ALL EXPOSED METAL TO BE HOT DIPPED ZINC COATED. FIELD WELDS TO BE TOUCH-UP WITH COLD ZINC COATING.
 - WHEN OTHER THAN TYPE 1 (8") CURB EXISTS, THE CONTRACTOR SHALL REMOVE THE EXISTING CURB TO ALLOW FOR THE REQUIRED TRANSITIONS, AS FOLLOWS: BEGINNING AT THE EDGE OF THE CHASE SECTION, THERE SHALL BE A MINIMUM OF 3 FEET OF TYPE 1 CURB PLUS 10 FEET OF TRANSITION TO EXISTING CURB TYPE.
 - ALL REMOVAL OF EXISTING CURB SHALL BE BY SAW-CUT, OR BY REMOVAL TO AN EXISTING EXPANSION OR COLD JOINT. REMAINING SECTION AFTER SAW CUTTING TO BE MINIMUM 4' IN LENGTH.
 - CHASE SECTION TO BE POURED MONOLITHICALLY WITH CURB & GUTTER SECTION AND CUT-OFF WALL.
 - WHEN CHASE SECTION LENGTH (L) EXCEEDS 15' PROVIDE TOOL JOINT IN CONCRETE AT MAXIMUM OF 10' SPACING FABRICATE FLOOR PLATES IN MULTIPLE SECTION NOT TO EXCEED 10' IN LENGTH.

CITY OF COLORADO SPRINGS CURB OPENING DETAIL
APPROVED BY: [Signature]
SCALE: NO SCALE
DATE: JAN. 89
DRAWN: PL.B.
SHEET: D-21B
2 OF 2



COLORADO SPRINGS

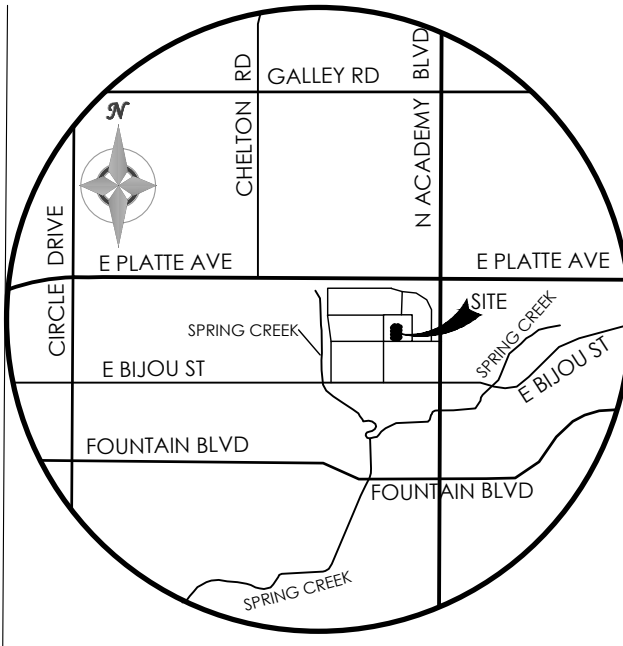
STANDARD DRIVEWAY WITH ATTACHED WALK DETAIL

ISSUED: 10/2017
REVISED: -
APPROVED BY: [Signature]
CITY-ENGINEER
DRAWING NO. D-16A

NOT A CONSTRUCTION DOCUMENT

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DEPN - 24 - 0182



VICINITY MAP
NOT TO SCALE

BENCHMARK

MVE, INC.
ENGINEERS, SURVEYORS

REVISIONS

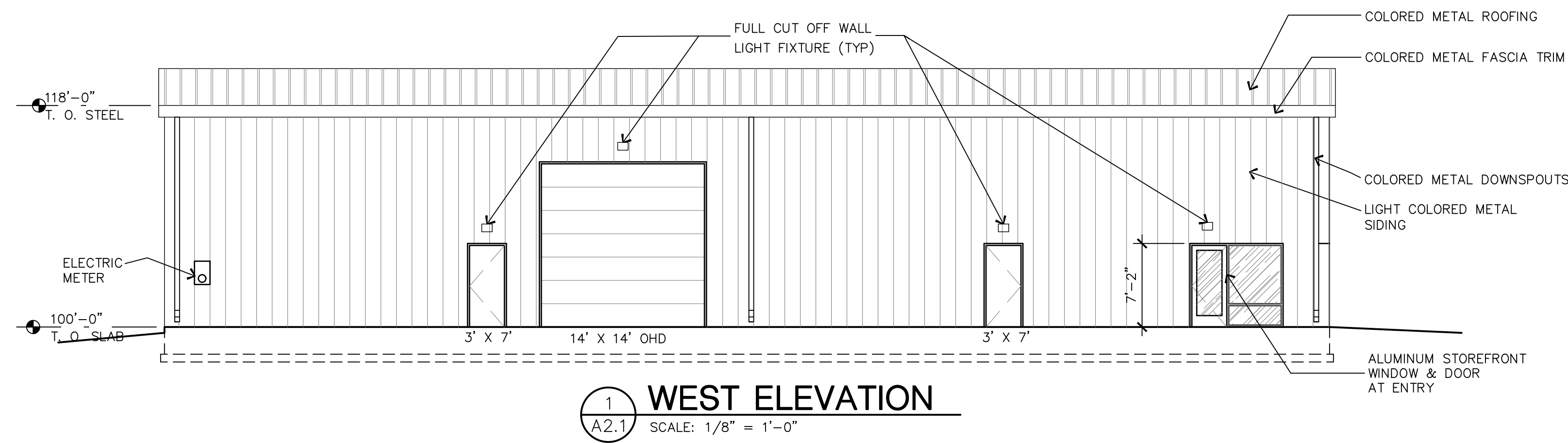
DESIGNED BY
DRAWN BY
CHECKED BY
AS-BUILT BY
CHECKED BY

3760 E - BOULDER DEVELOPMENT PLAN

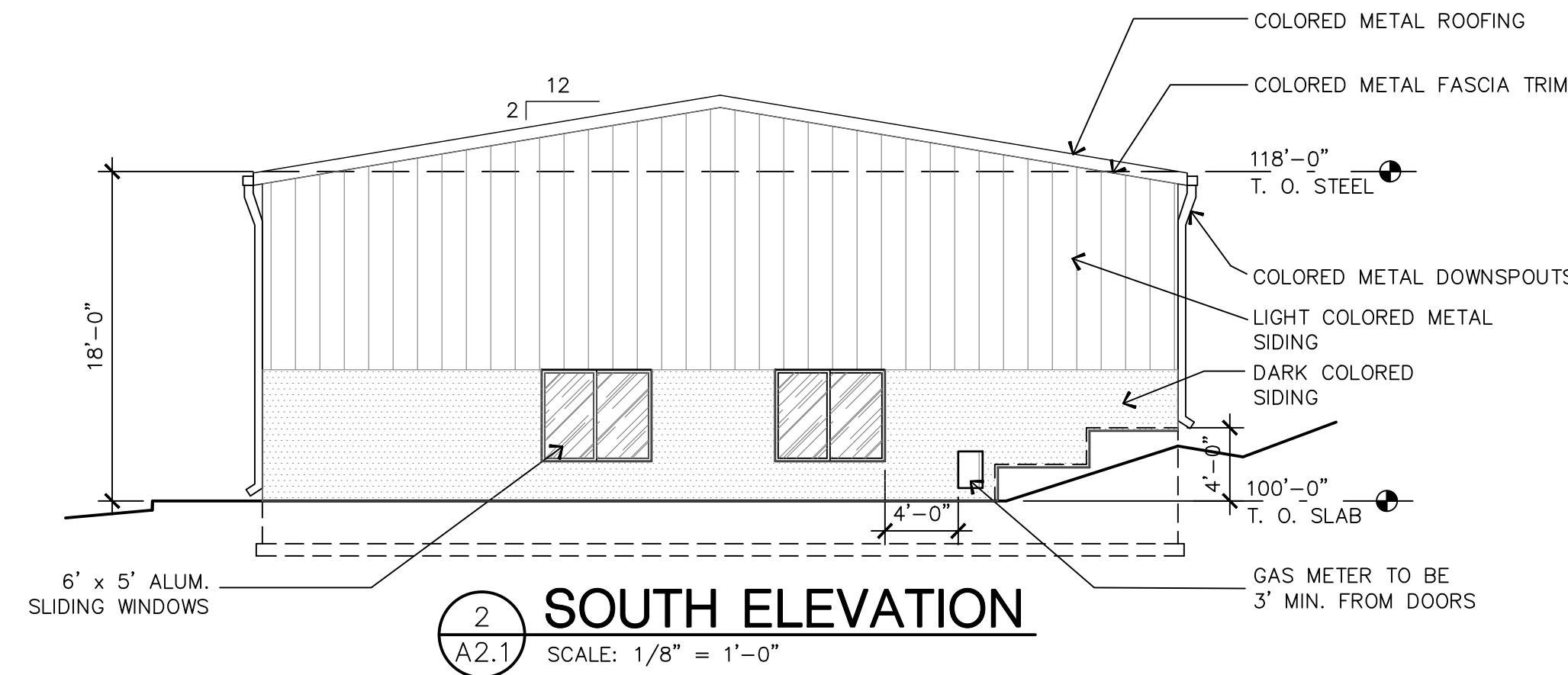
SITE DETAILS SHEET

DP-6 MVE PROJECT 51543
MVE DRAWING -DEV-SD

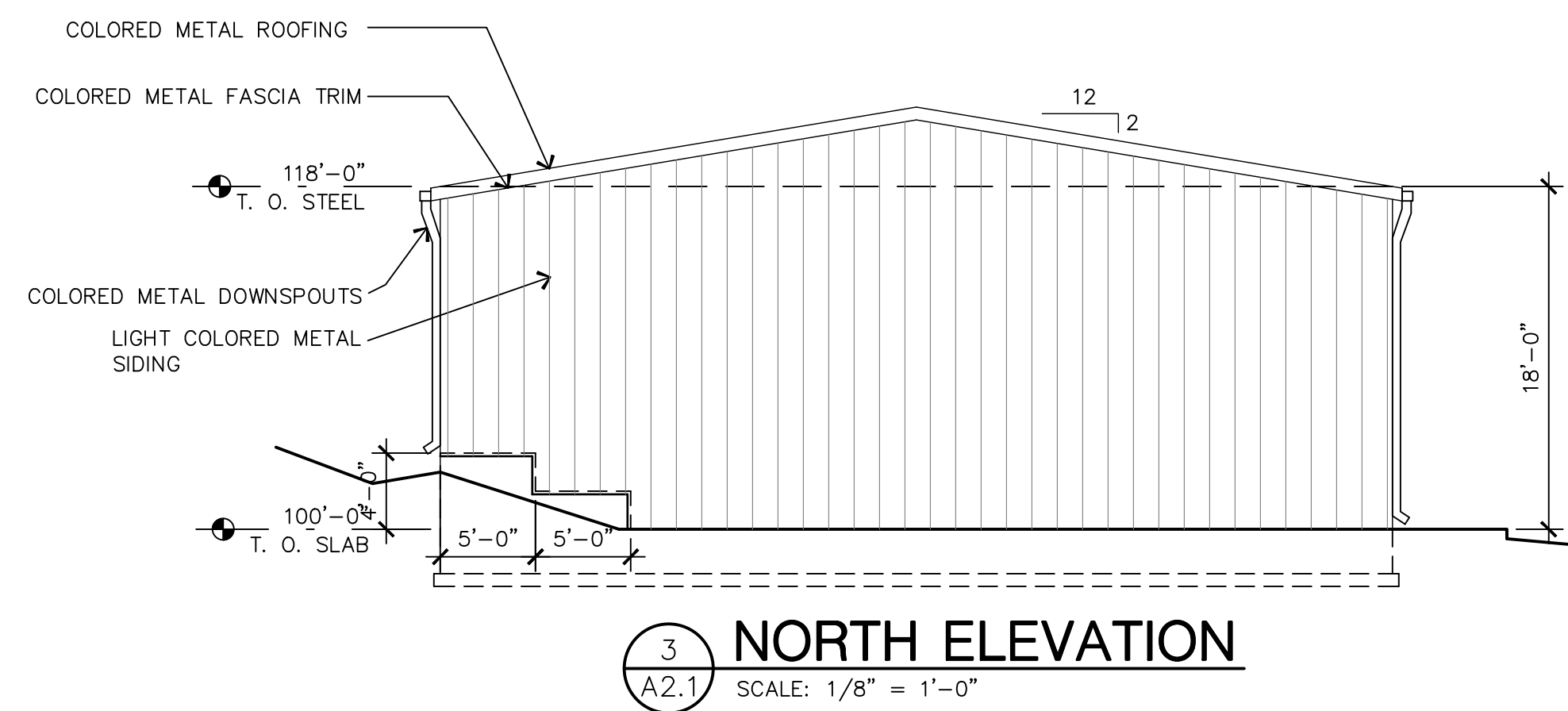
June 2, 2025
SHEET 6 OF 11



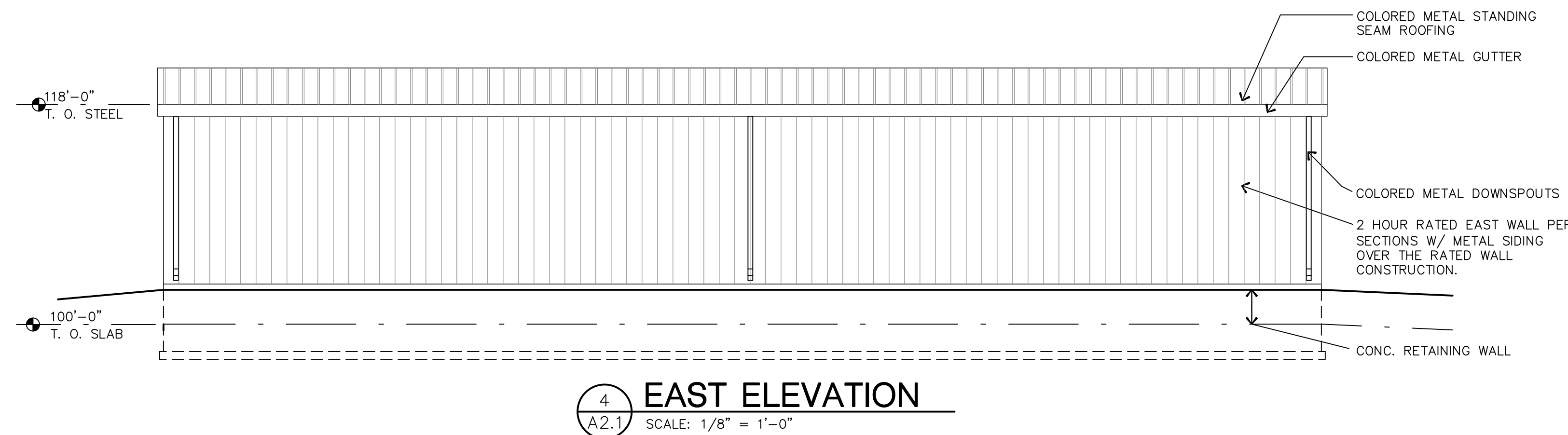
1 WEST ELEVATION
A2.1 SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION
A2.1 SCALE: 1/8" = 1'-0"



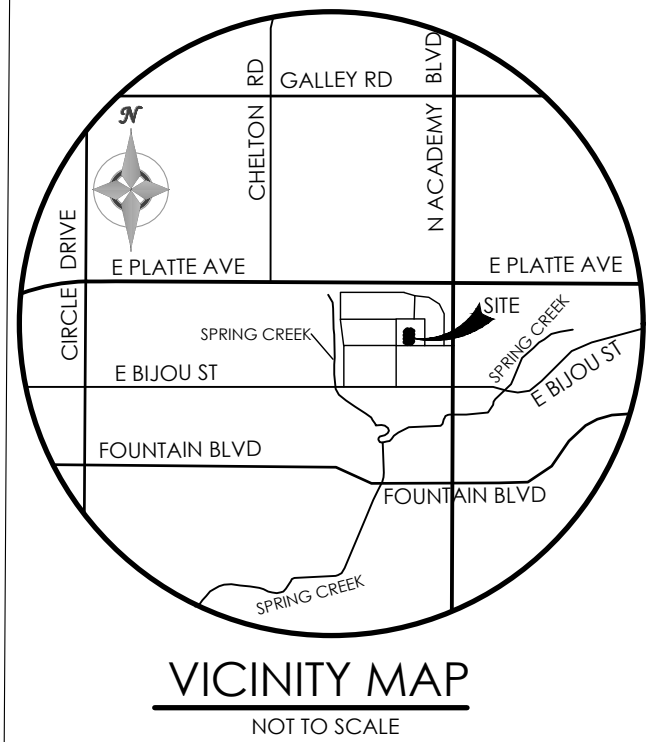
3 NORTH ELEVATION
A2.1 SCALE: 1/8" = 1'-0"



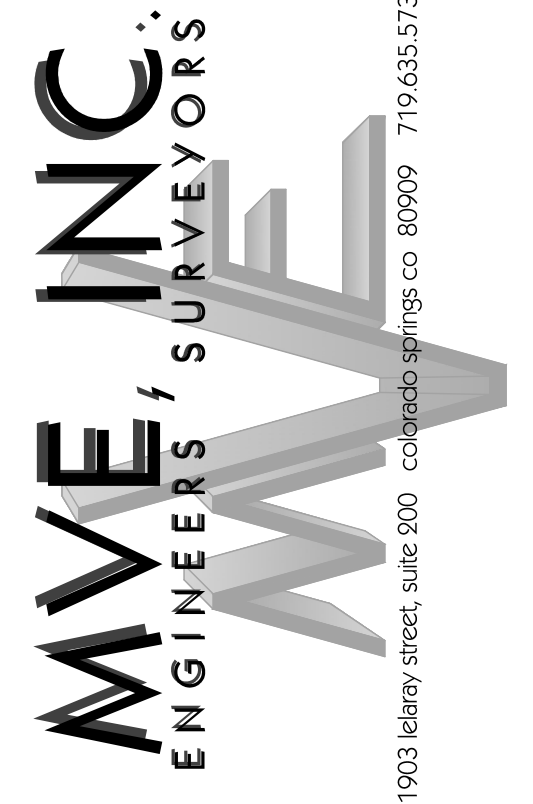
4 EAST ELEVATION
A2.1 SCALE: 1/8" = 1'-0"

NOT A CONSTRUCTION DOCUMENT
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DEPN - 24 - 0182



BENCHMARK



REVISIONS

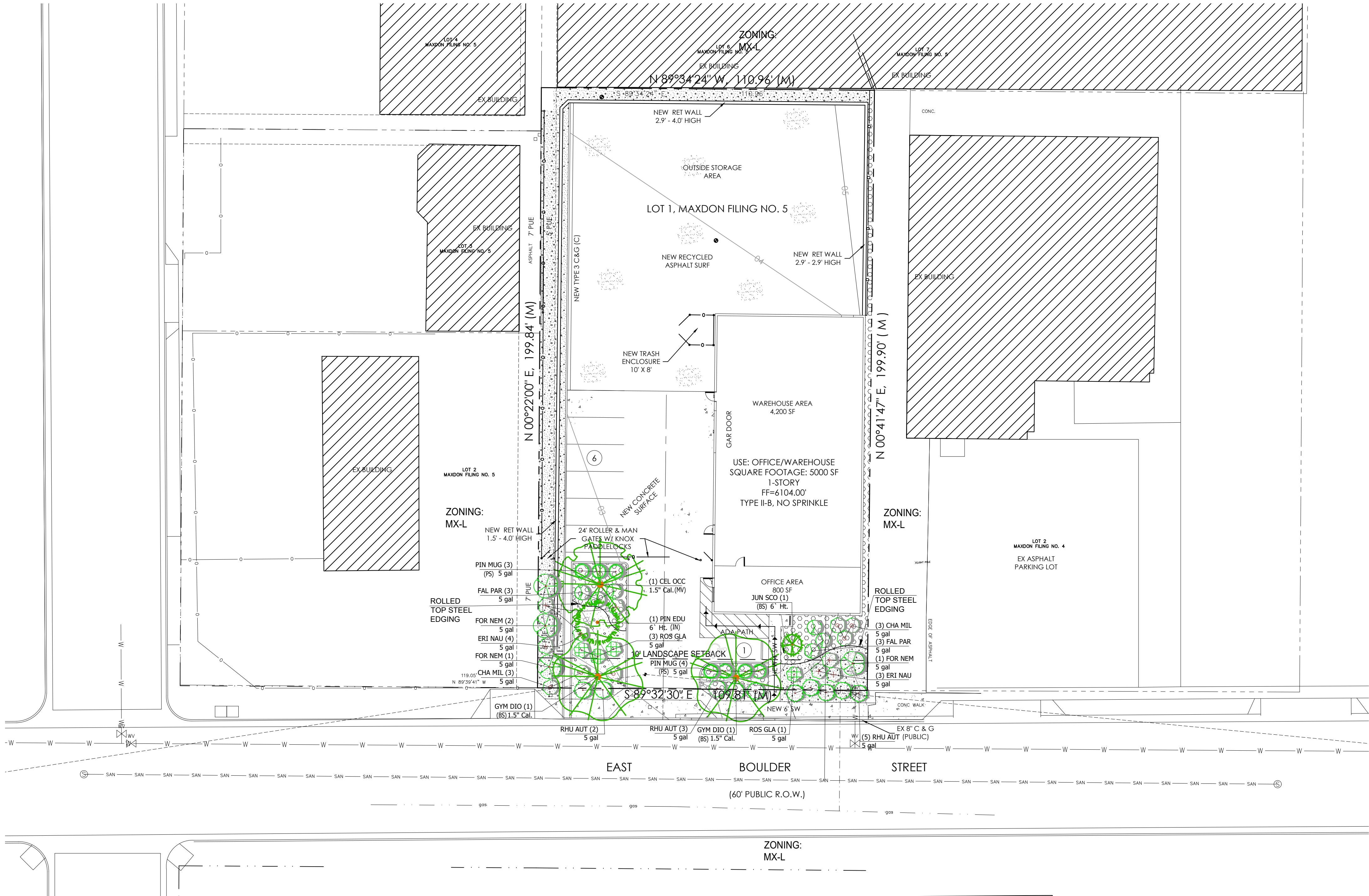
DESIGNED BY _____
DRAWN BY _____
CHECKED BY _____
AS-BUILT BY _____
CHECKED BY _____

3760 E - BOULDER
DEVELOPMENT PLAN

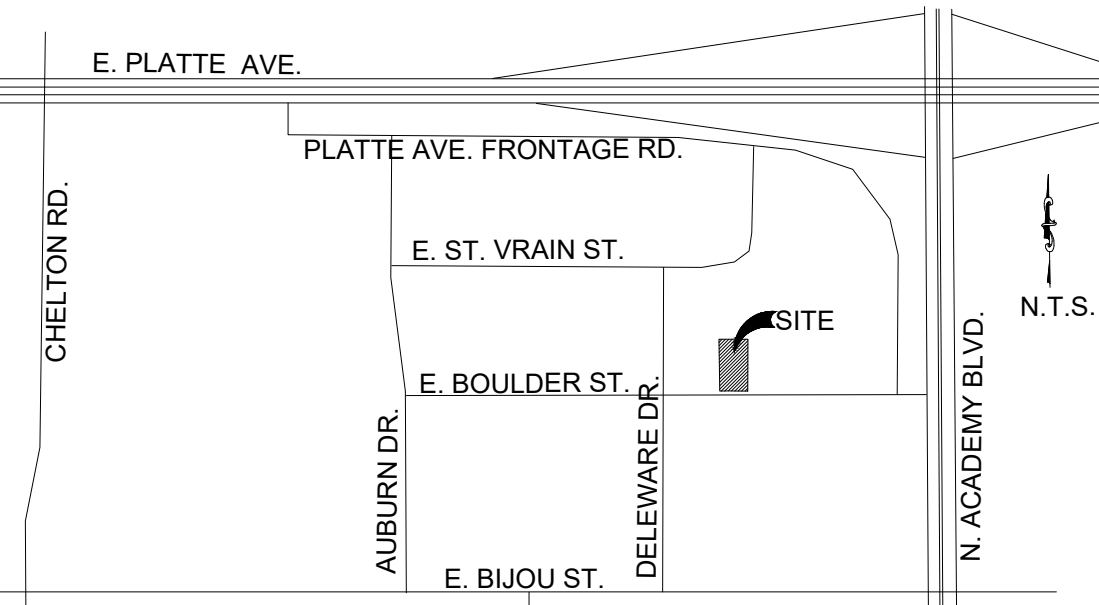
ELEVATIONS

DP-7 MVE PROJECT 51513
MVE DRAWING DEV-EL

June 2, 2025
SHEET 7 OF 11



VICINITY MAP



PLANT SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES	MATURE HEIGHT	CODE REQ.
DECIDUOUS TREES							
CEL OCC	1	Celtis occidentalis	Common Hackberry	1.5" Cal.	B & B	30'-40' x 30'-40'	Park/ROW/Median/Stream
GYM DIO	2	Gymnocladus dioica 'Espresso'	Espresso Kentucky Coffeetree	1.5" Cal.	B & B	40'-50' x 30'-40'	Park/ROW/Median/Stream
EVERGREEN TREES							
JUN SCO	1	Juniperus scopulorum	Rocky Mountain Juniper	6' Ht.		15'-25' x 8'-15'	Screen / Wall / Trash
PIN EDU	1	Pinus cembroides edulis	Pinyon Pine	6' Ht.	B & B	15'-20' x 15'-20'	Screen / Wall / Trash
TOTAL NUMBER OF TREES (100% SELECTED SPECIES- 70% MINIMUM)							
SHRUBS							
CHA MIL	6	Chamaebatiaria millefolium	Fernbush	5 gal		4'-6" x 4'-6"	Screen
ERI NAU	7	Ericameria nauseosa	Tall Green Rabbitbrush	5 gal		3'-6" x 4'-6"	Screen/Wall
FAL PAR	6	Fallugia paradoxa	Apache Plume	5 gal		4'-6" x 4'-6"	Screen/Wall
FOR NEM	4	Forestiera neomexicana	New Mexico Privet	5 gal		8'-10" x 8'-10"	Screen / Trash
PIN MUG	7	Pinus mugo 'Compacta'	Dwarf Mugo Pine	5 gal		3'-6" x 4'-6"	Screen / Trash
RHU AUT	10	Rhus trilobata 'Autumn Amber'	Autumn Amber Sumac	5 gal		6"-12" x 6"-8"	
ROS GLA	4	Rosa glauca	Redleaf Rose	5 gal		4'-6" x 4'-6"	
TOTAL NUMBER OF SHRUBS (100% SELECTED SPECIES- 70% MINIMUM)							

SITE CATEGORY CALCULATIONS

Landscape Setbacks					
Street Name or Boundary	Street Classification	Width (in Ft.) Req./Prov.	Linear Footage	Tree/Foot Required	No. of Trees Req./ Prov.
E. Boulder Street	Non-arterial	10' / 10' (average)	110'	1 / 30'	4 / 3
Shrub Substitutes Req. / Prov.	Orn Grass Subs Req. / Prov.	Plan Symbol Abbreviation	Percent Ground Plane Veg. Req. / Prov.		
10 / 10	0 / 0	(BS) E. Boulder St.	75% / 85%		

Property Edge Landscape Buffers

Property Line	Width Req./Prov.	Linear Footage	Tree/Foot Required	No. of Trees Req. / Prov.	Evergreen Trees Req. / Prov.
None	- / -	-	- / -	- / -	- / -

Shrub Substitutes Req. / Prov.	Orn Grass Subs Req. / Prov.	Plan Symbol Abbreviation	Percent Ground Coverage Req. / Prov.	Length of 6' Tall Fence Req. / Prov.
- / -	- / -	-	- / -	- / -

Parking Lot Landscaping

No. of Vehicles Spaces	Shade Trees (1 per 15) Required/Provided	Abbr. on Plan	Parking Lot Footage	Length of Frontage (Excluding entry access)	2/3 Length of Frontage
11	1 / 1	(MV)	E. Boulder St.	40'	26'

No. of 3' tall screening plants	Evergreen Plants Req. (50%) / Prov.	Plan Symbol Abbreviation	Percent Ground Plane Veg. Req. / Prov.	Length of screening wall / fence / berm
6 / 7	3 / 7	(PS)	75% / 85%	N / A

Interior Landscaping

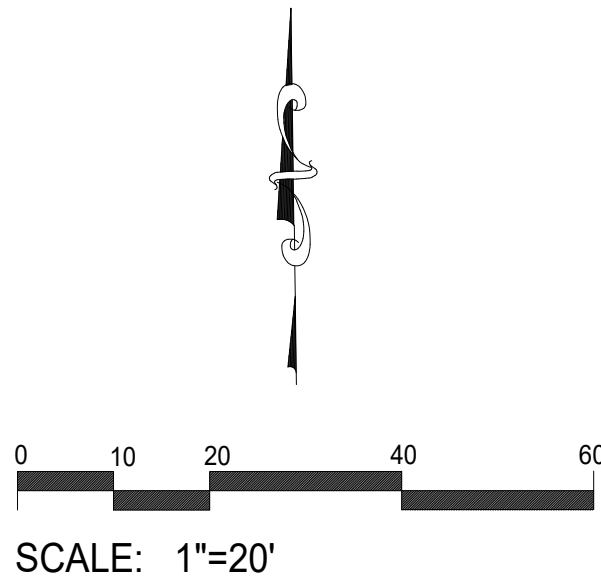
Gross Site Area (SF)	Percent Minimum Internal Area (%)	Internal Area (SF) Required /Provided	Internal Trees (1/500 SF) Required /Provided
22,075	5%	1,104 s.f. / 1,140 s.f.	2 / 1

Shrub Substitutes Required /Provided	Ornamental Grass Subs Required /Provided	Plan Symbol Abbreviation	Percent Ground Coverage Required / Provided
10 / 10	- / -	(IN)	75% / 85%

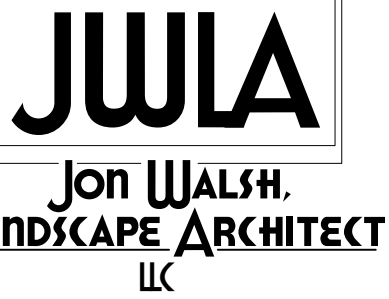
Green Space Required (Y / N)	Active Green Space Percent / SF Required / Provided	Non-Active Green Space Percent / SF Required / Provided	Active Green Space Design Elements
Yes	- / -	5% (1,104 s.f.) / 1,140 s.f.	-

LANDSCAPE MATERIALS LEGEND

SYMBOL	DESCRIPTION	QTY
	'Royal Granite', 1.5" diameter, crushed rock 3" depth over landscape fabric	2,926 sf
	Blue Gray river rock, 4" to 8" diameter over landscape fabric	1,277 sf



CITY PLANNING APPROVAL:



P.O. Box 354
Palmer Lake, CO 80133
(719) 640-9428
jwlandarch@gmail.com
www.jwlandscapearchitect.com

STAMP

PROJECT NAME

OFFICE / WAREHOUSE
3760 E. Boulder Street
Colorado Springs, CO

PLAN TITLE

FINAL
LANDSCAPE
PLAN

PLAN DATE

August 5, 2024

REVISIONS

January 14, 2025
June 4, 2025

SHEET NO.

LS-1

SHEET 8 OF 11

File No. DEPN-24-0182

Standard City of Colorado Springs Landscape Notes

- A FINAL LANDSCAPE AND IRRIGATION PLAN, WITH APPLICABLE SUPPORTING MATERIAL, SHALL BE SUBMITTED AT TIME OF BUILDING PERMIT APPLICATION AND SHALL BE APPROVED BEFORE ANY BUILDING PERMIT APPROVAL, ANY LANDSCAPE OR IRRIGATION CONSTRUCTION, AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- ALL PROPOSED LANDSCAPING SHALL BE WATERED BY AN AUTOMATIC IRRIGATION SYSTEM WHICH WILL PROVIDE DRIP IRRIGATION TO ALL SHRUB BEDS AND TREES WITHIN NATIVE SEED AREAS AND SPRAY IRRIGATION TO ALL HIGH-WATER USE TURF AND NATIVE SEED AREAS.
- THE OWNER OR DEVELOPER IS REQUIRED TO PROVIDE INSPECTION AFFIDAVITS EXECUTED BY THE COLORADO LICENSED LANDSCAPE ARCHITECT OR CERTIFIED IRRIGATION DESIGNER OF RECORD FOR THE PROJECT, WHICH CERTIFIES THAT THE PROJECT WAS INSTALLED AND IN COMPLIANCE WITH THE APPROVED FINAL LANDSCAPE AND IRRIGATION PLAN ON FILE IN CITY PLANNING. THIS SHOULD REQUIRE LIMITED CONSTRUCTION OBSERVATION VISITS TO ACCURATELY COMPLETE THE AFFIDAVITS. WHEN READY TO CALL FOR INSPECTION AND SUBMIT AFFIDAVITS, FIRST CONTACT THE CITY PLANNER OF RECORD FOR THE PROJECT (719-385-5905) AND AS NECESSARY OUR DRE OFFICE (719-385-5982).
- COPIES OF RECEIPTS/DELIVERY TICKETS FOR SOIL AMENDMENTS INSTALLED ON THE PROJECT ARE REQUIRED TO BE PROVIDED WITH THE INSPECTION AFFIDAVITS.
- IF SOIL IN THE PARKING LOT HAS BEEN COMPACTED BY GRADING OPERATIONS, THE SOIL WITHIN THE PLANTER SHALL BE TILLED, OR REMOVED TO A DEPTH OF THIRTY (30) INCHES AND REPLACED WITH AN ACCEPTABLE GROWING MEDIUM FOR THE SPECIES BEING INSTALLED.
- TILLING OF THE EXISTING SOIL TO INCORPORATE AMENDMENTS AND COUNTER ANY COMPACTION OR SOIL CONSOLIDATION SHALL BE REQUIRED FOR ALL LANDSCAPE PLANTING AREAS.

General Notes

- ALL REFERENCES TO 'CONTRACTOR' REFER TO LANDSCAPE CONTRACTOR, UNLESS OTHERWISE NOTED.
- CONTRACTOR IS RESPONSIBLE FOR GETTING ALL UTILITY LOCATES PRIOR TO STARTING ANY WORK ON SITE AND ALSO HAVING ALL UTILITIES RELOCATED AS NECESSARY FOR THE DURATION OF CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL LANDSCAPE SHOWN ON THIS PLAN. ANY DEFICIENCIES OR DEVIATIONS FROM THIS PLAN ARE TO BE APPROVED BY OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT. ANY CHANGES FROM THE APPROVED PLANS MAY REQUIRE APPROVAL FROM THE CITY OF COLORADO SPRINGS PLANNING DEPARTMENT AND MAY DELAY COMPLETION OF PROJECT.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF MATERIALS NEEDED TO COMPLETE THIS PLAN IN THE FIELD. NOTIFY OWNER'S REPRESENTATIVE OF DISCREPANCIES BETWEEN THE DRAWINGS AND CONDITIONS IN THE FIELD. SUBSTITUTIONS OF LANDSCAPE MATERIALS ARE NOT ALLOWED WITHOUT APPROVAL FROM LANDSCAPE ARCHITECT GIVEN PRIOR TO INSTALLATION. NOTIFY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION IF LANDSCAPE MATERIAL LOCATIONS NEED TO BE ALTERED DUE TO ON-SITE CONDITIONS.
- CONTRACTOR IS TO PROVIDE A ONE YEAR WARRANTY ON ALL PLANT MATERIALS, IRRIGATION COMPONENTS, AND WORKMANSHIP. CONTRACTOR IS TO PROVIDE OWNER WITH WARRANTY CONDITIONS AND COMMENCE WARRANTY PERIOD UPON FINAL ACCEPTANCE OF LANDSCAPE INSTALLATION.
- THE OWNER OF THIS PROPERTY AND ANY FUTURE OWNERS SHALL BE RESPONSIBLE FOR THE PROPER LANDSCAPE AND IRRIGATION MAINTENANCE OF THIS SITE. MAINTENANCE OF THIS SITE INCLUDES, BUT IS NOT LIMITED TO, IRRIGATION INSPECTIONS AND ADJUSTMENTS, IRRIGATION SYSTEM SHUT DOWN AND START UP, IRRIGATION LEAK REPAIR, LANDSCAPE WEEDING, FERTILIZATION, WOOD MULCH AND ROCK COVER REPLACEMENT, PRUNING, AND PLANT MATERIAL REPLACEMENT.
- ALL PROPOSED PLANTINGS AND IRRIGATED SEEDED AREAS ARE TO BE WATERED BY A PERMANENT UNDERGROUND IRRIGATION SYSTEM. NEW PLANTINGS TO BE WATERED BY DRIP IRRIGATION. REFER TO IRRIGATION PLANS.

Project Notes

- ALL FINISHED GRADES ARE TO HAVE A MINIMUM 2% SLOPE. CONTRACTOR IS TO REPORT POOR DRAINAGE CONDITIONS OR ANY GRADES IN LANDSCAPE AREAS LESS THAN 2% TO GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT PRIOR TO LANDSCAPE CONSTRUCTION WORK. FINISHED GRADES SHALL BE FREE OF WEEDS AND FREE OF DEBRIS AND ROCKS GREATER THAN ONE INCH.
- ROCK COVER AREAS TO CONSIST OF 1.5" DIAMETER ROYAL GRANITE (C & C SAND) AND 4" TO 8" DIAMETER BLUE GRAY RIVER ROCK SPREAD OVER WATER PERMEABLE LANDSCAPE FABRIC. FABRIC TO OVERLAP 6" MINIMUM AT ALL SEAMS. 6" STEEL ANCHOR PINS TO BE INSTALLED 6' O.C. MAX.
- ALL PROPOSED PLANTING BEDS ARE TO BE ROTO-TILLED TO A 6" DEPTH AND SOIL AMENDMENTS ARE TO BE INSTALLED ACCORDING TO SOIL PREPARATION NOTES ON THIS SHEET. LANDSCAPE BEDS ARE TO BE RAKED SMOOTH AND FINISHED GRADES ARE TO BE ESTABLISHED AND VERIFIED TO THE TOLERANCES SHOWN ON THE GRADING PLAN. PLANT MATERIALS ARE TO BE INSTALLED USING ADDITIONAL 'BIOCOMP' SOIL AMENDMENTS (C&C SAND). AMENDED BACKFILL FOR PLANTING TO BE ONE-THIRD 'BIOCOMP' SOIL AMENDMENTS THOROUGHLY INCORPORATED INTO TWO-THIRDS EXISTING ON-SITE SOIL.
- ALL PLANTINGS TO HAVE WOOD MULCH RINGS PLACED AROUND THE BASE OF THE PLANTS. REFER TO PLANTING DETAILS FOR SIZE OF WOOD MULCH RINGS AND DEPTH. WOOD MULCH TO CONSIST OF CASCADE CEDAR WOOD MULCH (C&C SAND).
- AFTER PLANTING, BUT BEFORE MULCH IS INSTALLED, ALL PLANTING BEDS ARE TO RECEIVE A GRANULAR PRE-EMERGENT HERBICIDE (PREEN OR SNAPSHOT). APPLY PER MANUFACTURER'S INSTRUCTIONS. CONTRACTOR IS TO SPRAY ALL PLANTING BEDS WITH WATER IMMEDIATELY AFTER MULCH IS INSTALLED TO REMOVE PRE-EMERGENT FROM FOLIAGE AND ACTIVATE HERBICIDE.
- STEEL EDGING IS TO CONSIST OF 14 GAUGE PERFORATED GALVANIZED ROLLED-TOP STEEL EDGING. EDGING IS TO BE USED TO SEPARATE ROCK COVER AREAS. EDGING IS TO BE PARTIALLY BURIED SO THAT HALF OF EDGING HEIGHT IS BELOW FINISHED SOIL GRADE. 12" STEEL EDGING PINS TO BE INSTALLED EVERY 4' O.C. MAX. ENDS OF STEEL EDGING TO OVERLAP 6" MINIMUM WITH AND HAVE TWO PINS SECURING OVERLAPPED ENDS.
- LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF OWNER, AND/OR THEIR ASSIGNS.
- STREET TREES, STREETScape IMPROVEMENTS, AND VEGETATION WITHIN THE CITY R.O.W. SHALL BE MAINTAINED BY THE ABUTTING PROPERTY OWNER.

Grading / Drainage Notes

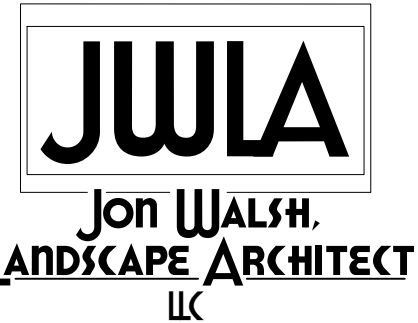
- LANDSCAPE CONTRACTOR IS TO VERIFY THAT ALL FINISHED GRADES COMPLY WITH GRADING PLAN PREPARED BY CIVIL ENGINEER. VERIFY THAT ALL SLOPES DRAIN AWAY FROM BUILDING AND THAT DRAINAGE SWALES ARE CORRECTLY LOCATED AND CARRY WATER AS INTENDED. NOTIFY GENERAL CONTRACTOR PRIOR TO CONSTRUCTION IF STANDING WATER IS PRESENT (OTHER THAN DETENTION FACILITIES) OR IF SLOPES ARE NOT GRADED AS PER APPROVED GRADING PLAN.
- LANDSCAPE CONTRACTOR IS TO LOCATE ALL DOWNSPOUTS AND DOWNSPOUT EXTENSIONS AND VERIFY THAT NO OBSTRUCTIONS ARE IMPEDING THE FLOW OF WATER AWAY FROM THE BUILDING. CONTRACTOR IS RESPONSIBLE FOR ADDING ROCK WHERE DOWNSPOUTS FLOW ONTO FINISHED GRADES IF EROSION IS POSSIBLE.
- GENERAL CONTRACTOR AND LANDSCAPE CONTRACTOR ARE TO PROVIDE TEMPORARY EROSION MITIGATION MEASURES FOR THE DURATION OF LANDSCAPE CONSTRUCTION. THIS INCLUDES PLACEMENT OF WATLES AND/OR EROSION BLANKET WHEREVER DRAINAGE ERODES BARE SOIL AND RUNOFF CAN POTENTIALLY DAMAGE NEIGHBORING PROPERTIES OR SEDIMENT COULD POTENTIALLY FLOW OUTSIDE OF PROPERTY LINES.

Required Soil Amendments & Fertilizers

GROUND PLANE TREATMENT	CLASS 1 OM SOIL AMENDMENT	NITROGEN (15 TO 20 PPM)	PHOSPHORUS (10 TO 15 PPM)	POTASSIUM (10 TO 15 PPM)	OTHER (K, ZN, FE, MN, B, CU, & BIOSOL)	ROTO TILL DEPTH
SHRUB BEDS	3 CU / YD PER 1,000 SF	0.3 LB PER 1,000 SF	N / A	N / A	N / A	6" TO 8" MIN.
CLASS 1 ORGANIC MATTER (OM) SOIL AMENDMENT TO CONSIST OF 'BIOCOMP 1' SOIL AMENDMENTS (PIONEER SAND). SOIL AMENDMENTS MUST BE PROVIDED BY A CSU APPROVED SUPPLIER.						

CITY PLANNING APPROVAL:

SHEET NO.



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www.jwlandscapearchitect.com

STAMP

PROJECT NAME

OFFICE / WAREHOUSE
3670 E. Boulder Street
Colorado Springs, CO

PLAN TITLE

FINAL
LANDSCAPE
PLAN

PLAN DATE

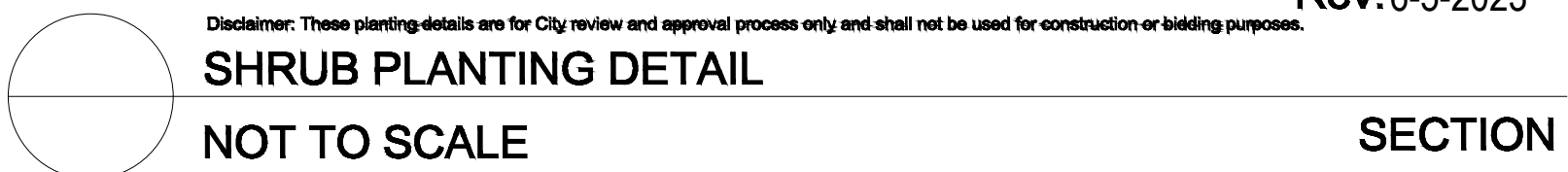
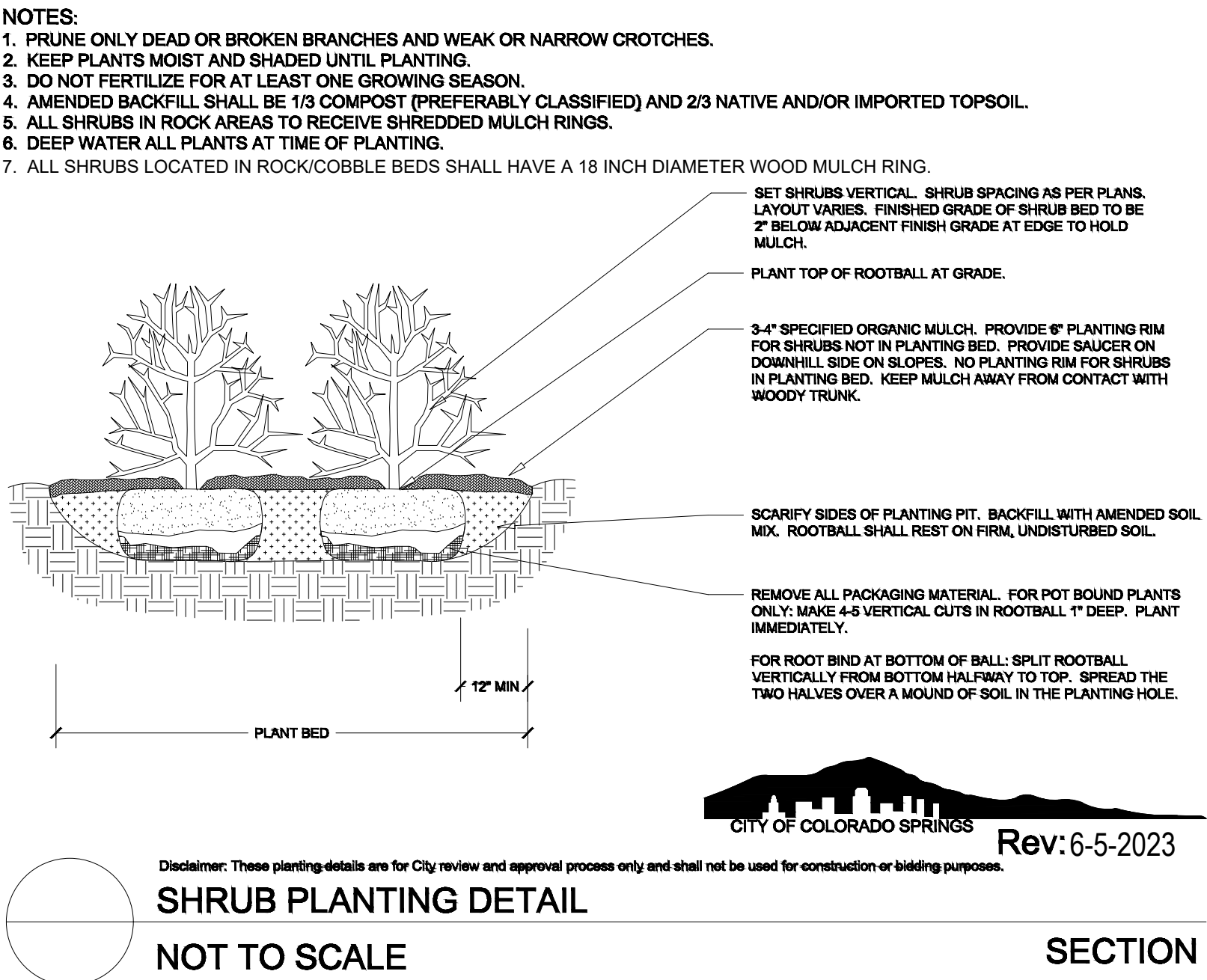
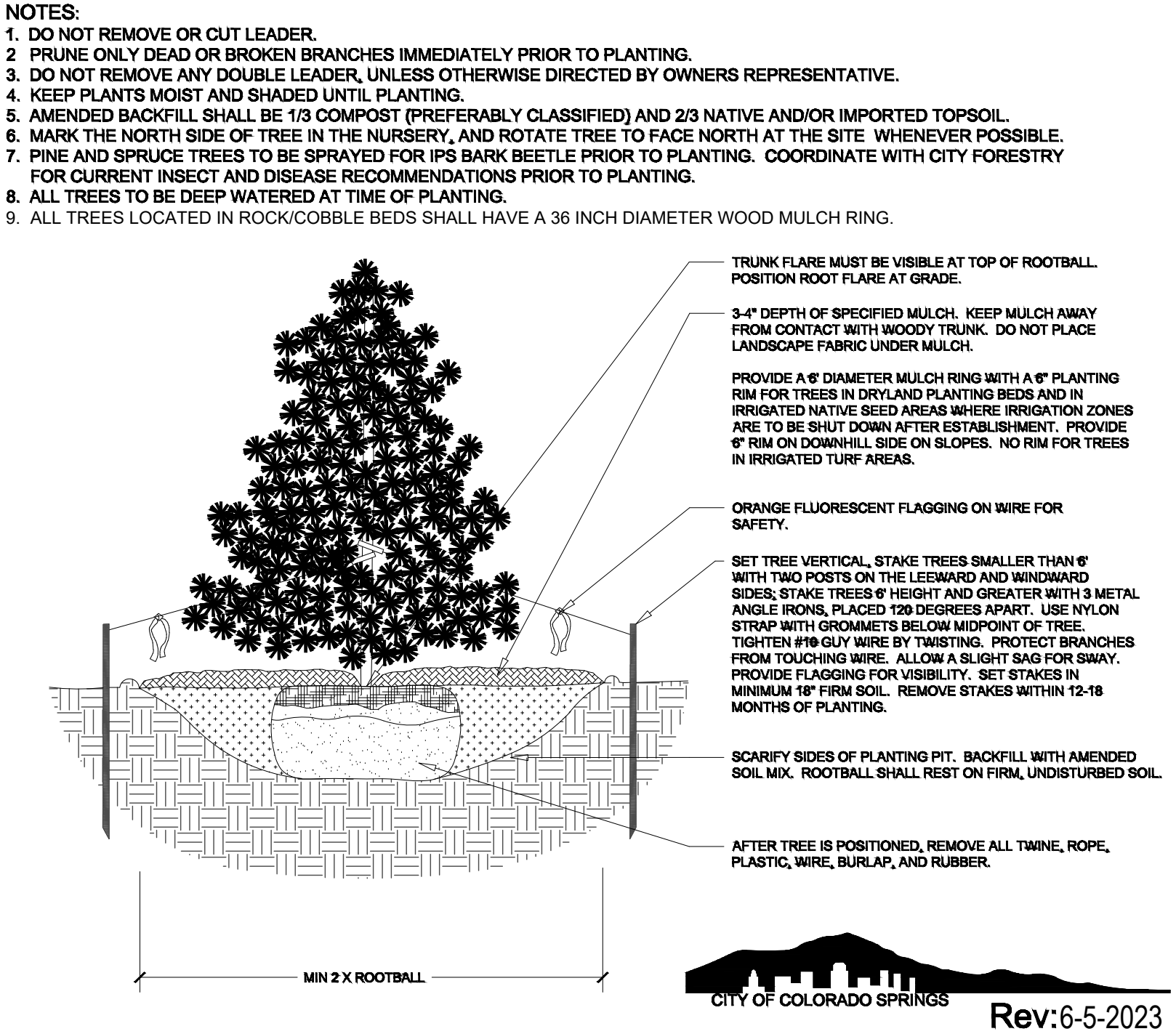
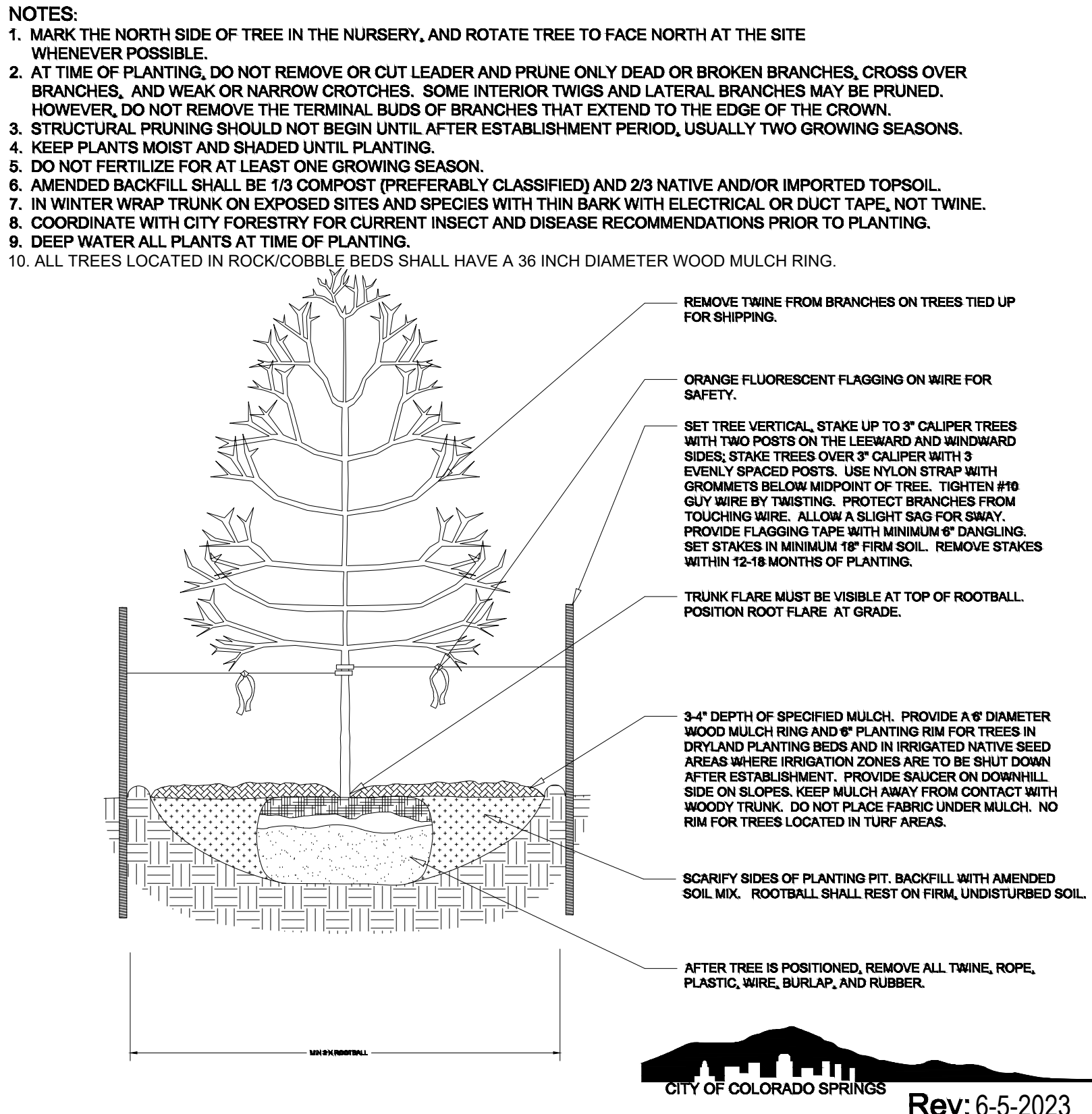
August 5, 2024

REVISIONS

January 14, 2025
June 4, 2025

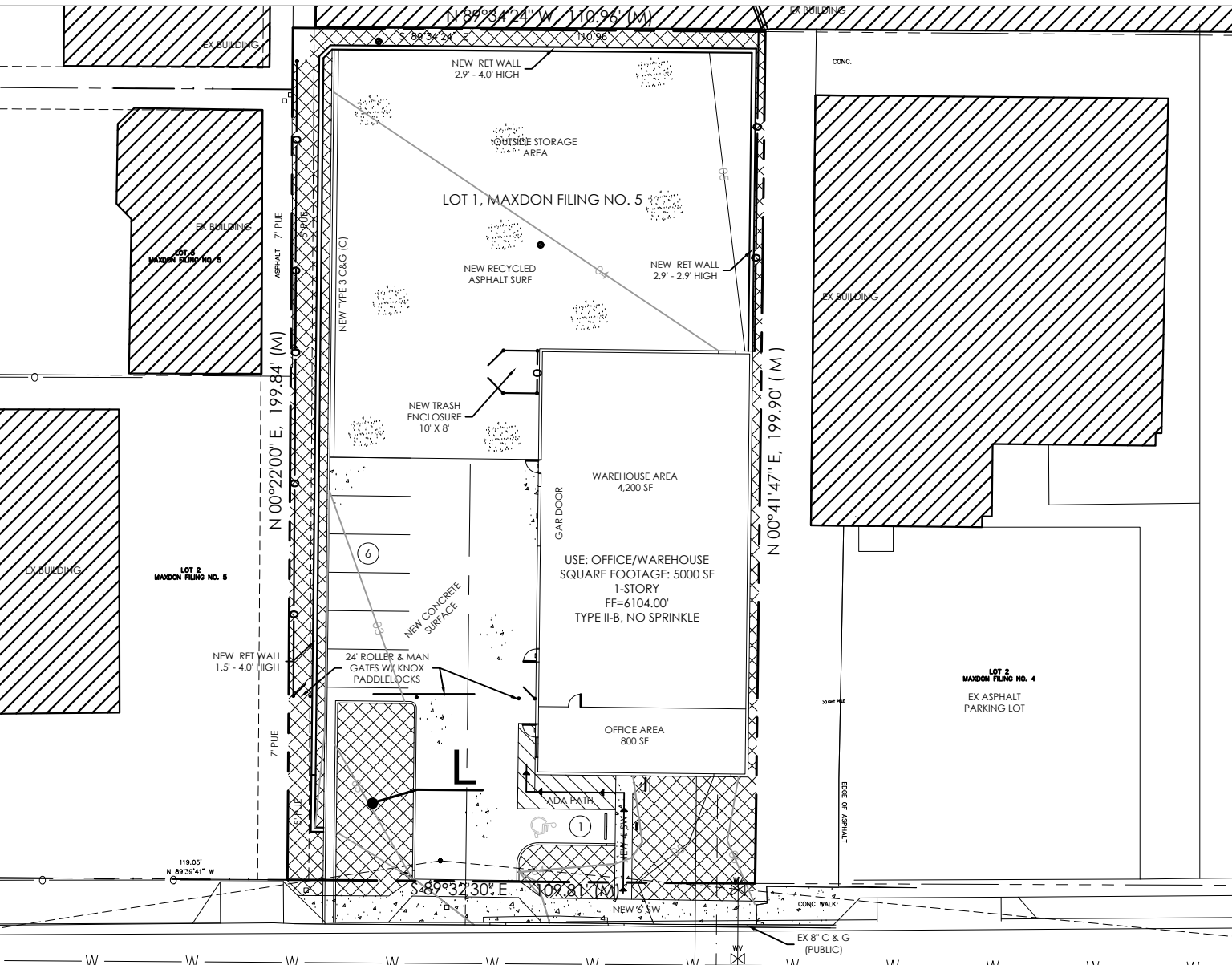
LS-2

SHEET 9 OF 11



Hydrozone Diagram

Legend		
	HIGH WATER USE (H)	0 SF
	MEDIUM WATER USE (M)	0 SF
	LOW WATER USE (L)	4,217 SF
SUB-TOTAL:		4,217 SF



SYSTEM DESCRIPTION

IRRIGATION FOR NEW PLANTINGS TO BE PROVIDED FROM AN AUTOMATED SPRINKLER SYSTEM CONNECTING TO PROPOSED 3/4" IRRIGATION LINE LOCATED AT EAST SIDE OF BUILDING. THE BACKFLOW PREVENTER TO BE INSTALLED INSIDE OF BUILDING. CONTROLLER TO BE INSTALLED INSIDE OF BUILDING AND RAIN SENSOR TO BE INSTALLED ON ROOF EVE. THE SYSTEM IS DESIGNED FOR A MINIMUM 40 PSI IN THE MAIN LINE, AND A MINIMUM FLOW OF 6 GPM. COORDINATE INSTALLATION OF ALL IRRIGATION COMPONENTS WITH OWNER'S REPRESENTATIVE AND OTHER TRADES. BALL VALVES ARE PROVIDED BEFORE EACH ZONE VALVE FOR MAINTENANCE OF SYSTEM. POTABLE WATER TO BE USED FOR ALL IRRIGATION.

IRRIGATION NOTES

- THE IRRIGATION SYSTEM IS TO RUN OFF A 3/4" DEDICATED COPPER IRRIGATION LINE INSIDE OF WAREHOUSE BUILDING. COORDINATE WITH OWNER'S REPRESENTATIVE AND OTHER TRADES TO VERIFY LOCATION OF CONTROLLER AND BACKFLOW DEVICE. BACKFLOW DEVICE TO BE INSTALLED PER REGIONAL BUILDING DEPARTMENT CODES. A MINIMUM STATIC WATER PRESSURE OF 60 PSI IS REQUIRED (SYSTEM IS DESIGNED FOR OPERATING PRESSURE OF 30 PSI AFTER PRESSURE REGULATOR FOR DRIP ZONE). VERIFY PRESSURE AND DISCHARGE RATE ON SITE PRIOR TO CONSTRUCTION OF IRRIGATION SYSTEM BEYOND THE BACKFLOW DEVICE.
- CONTRACTOR IS TO VERIFY THAT ALL PROPOSED PIPES ARE FULLY OPERATIONAL AND OPERATING WITHOUT ANY LEAKS. AFTER INSTALLATION OF NEW IRRIGATION CONTRACTOR IS TO TEST ALL ZONES CHECKING AND FIXING ANY LEAKS AND VERIFYING FULL OPERATION OF ZONE.
- AFTER CONSTRUCTION, CONTRACTOR IS TO SET CONTROLLER TO RUN ZONE PER IRRIGATION SCHEDULE. CONTROLLER WATERING DAYS AND TIMES ARE TO BE REDUCED IN SPRING AND FALL. CONTRACTOR IS TO MONITOR PLANT HEALTH AND ADJUST CONTROLLER AS NECESSARY THROUGHOUT WARRANTY PERIOD.
- ALL UNDERGROUND UTILITIES ARE TO BE LOCATED AND CLEARLY MARKED PRIOR TO ANY DIGGING ON SITE. UTILITY LOCATIONS ARE TO REMAIN CLEARLY MARKED AND VISIBLE THROUGHOUT CONSTRUCTION OF LANDSCAPE AND IRRIGATION. ALL MATERIALS AND INSTALLATION PRACTICES ARE TO BE IN COMPLIANCE WITH LOCAL CODES. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ALL IRRIGATION SLEEVING. SLEEVING FOR DRIP LATERAL LINES IS TO BE 12" BELOW FINAL GRADE. ALL SLEEVING IS TO EXTEND 8" BEYOND EDGE OF CONCRETE OR ASPHALT. ENDS OF SLEEVING ARE TO BE SECURELY COVERED AFTER INSTALLATION, AND SLEEVE LOCATIONS ARE TO BE CLEARLY MARKED WITH PAINTED STAKES. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL SLEEVE LOCATIONS PRIOR TO CONSTRUCTION AND INSTALL ANY MISSING SLEEVES, AS NECESSARY.
- IRRIGATION PLAN IS DIAGRAMMITIC. ANY COMPONENTS SHOWN ON PLAN OUTSIDE OF LANDSCAPE AREAS ARE SHOWN FOR CLARITY ONLY. USE ONLY STANDARD FITTINGS. 3/4" POLY DRIP LINE IS TO BE SECURED AT FINAL SOIL GRADE IN ROCK OR MULCH BEDS, UNLESS OTHERWISE NOTED, AND BE COVERED BY ROCK OR WOOD MULCH.
- NOTIFY LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN PLAN DRAWINGS AND CONDITIONS IN THE FIELD PRIOR TO CONSTRUCTION OF ANY PROPOSED IRRIGATION.
- JON WALSH, LANDSCAPE ARCHITECT, LLC. (JWLA) PREPARED THIS PLAN BASED ON SITE LAYOUT AND SITE GRADING PLANS PROVIDED BY OTHERS. JWLA ASSUMES NO LIABILITY FOR ANY WATER DAMAGE ON THIS SITE.
- CONTRACTOR IS TO PROVIDE A ONE YEAR WARRANTY FOR IRRIGATION SYSTEM TO COMMENCE UPON COMPLETION OF LANDSCAPE AND IRRIGATION CONSTRUCTION. WARRANTY SHALL COVER ALL MATERIALS AND WORKMANSHIP RELATED TO IRRIGATION SYSTEM.

STANDARD CITY OF COLORADO SPRINGS IRRIGATION NOTES

- THE CITY HAS ADOPTED PERMANENT WATER-WISE REGULATIONS AS OF JANUARY 1, 2020, WHICH WILL AFFECT THE OVERALL OPERATION OF THE IRRIGATION SYSTEM. FROM MAY 1 TO OCTOBER 15, SPRINKLERS CAN BE OPERATED BEFORE 10 A.M. AND AFTER 6 P.M. WATERING IS LIMITED TO THREE DAYS A WEEK (DRIP IRRIGATION IS ALLOWED AT ANY TIME). ESTABLISHMENT PERMITS ARE REQUIRED FROM COLORADO SPRINGS UTILITIES FOR CUSTOMERS WHO NEED TO TEMPORARILY WATER MORE THAN THREE DAYS A WEEK TO ESTABLISH NEW LANDSCAPES. ALLOCATION PLANS ARE AVAILABLE FOR CUSTOMERS WHO NEED MORE WATERING SCHEDULE FLEXIBILITY FROM COLORADO SPRINGS UTILITIES.
- FOR ALL DESIGN IRRIGATION SYSTEMS, IF MORE THAN THREE DAYS A WEEK ARE REQUIRED TO PROVIDE REQUIRED COVERAGE WITH SPRAY/ROTOR STATIONS/VALVES, A WATER ALLOCATION PLAN IS REQUIRED FROM COLORADO SPRINGS UTILITIES.
- CITY AFFIDAVIT NOTE - THE DESIGN PROFESSIONAL OF RECORD IS TO COMPLETE THE IRRIGATION INSPECTION AFFIDAVIT BASED ON APPROVED IRRIGATION PLAN. THIS SHOULD REQUIRE LIMITED CONSTRUCTION OBSERVATION VISITS AND A FUNCTIONAL TEST OF THE IRRIGATION SYSTEM SHALL BE PERFORMED TO ACCURATELY COMPLETE THE AFFIDAVIT. FINAL CO OR FINANCIAL ASSURANCES RELEASE SHALL NOT BE PROCESSED UNTIL AN EXECUTED AND APPROVED AFFIDAVIT IS SUBMITTED TO CITY STAFF. WHEN READY TO CALL FOR INSPECTION AND SUBMIT AFFIDAVITS, FIRST CONTACT THE CITY PLANNER OF RECORD FOR THE PROJECT (719-385-5905) AND AS NECESSARY OUR DRE OFFICE (719-385-5982).

CRITICAL ANALYSIS

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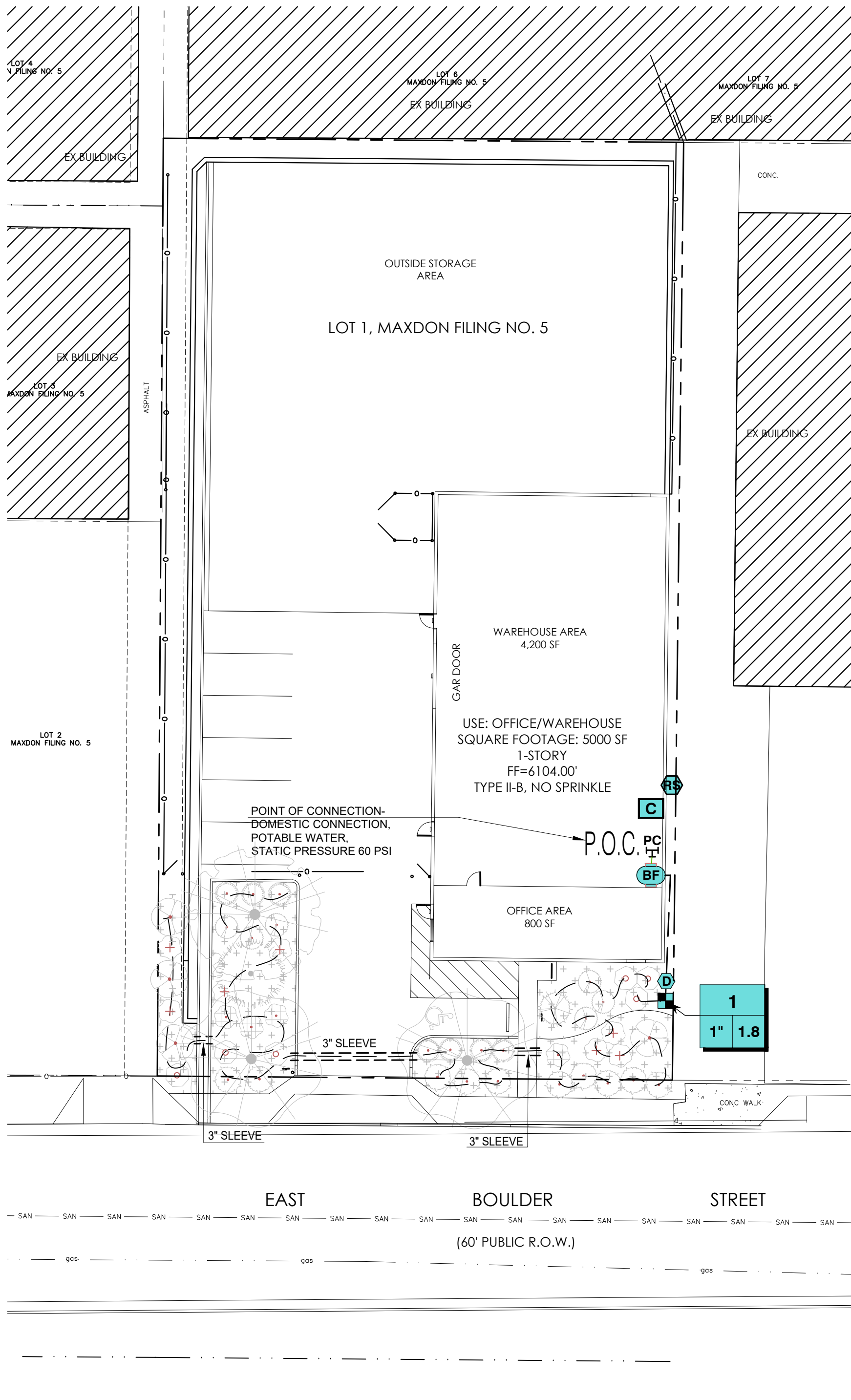
P.O.C. NUMBER: 01
Water Source Information:

FLOW AVAILABLE
Point of Connection Size: 3/4"
Flow Available: 6.8 GPM

PRESSURE AVAILABLE
Static Pressure at POC: 60 PSI
Pressure Available: 60 PSI

DESIGN ANALYSIS
Maximum Station Flow: 1.8 GPM
Flow Available at POC: 6.8 GPM
Residual Flow Available: 5.0 GPM

Design Pressure: 30 PSI
Friction Loss: 1.2 PSI
Fittings Loss: 0.7 PSI
Elevation Loss: 0 PSI
Loss through Valve: 4.4 PSI
Pressure Req. at Critical Station: 30 PSI
Loss for Fittings: 0.9 PSI
Loss for Main Line: 0.4 PSI
Loss through pipe: 4 PSI
Loss for Backflow: 11 PSI
Critical Station Pressure at POC: 11 PSI
Pressure Available: 60 PSI
Residual Pressure Available: 7.4 PSI



IRRIGATION SCHEDULE									
ZONE	PLANT MATERIAL	IRRIGATION TYPE	OPERATING PRESSURE	APPLICATION RATE	FLOW RATE	RUN TIME	NUMBER OF CYCLES	NUMBER OF IRRIGATION DAYS PER WEEK	ESTIMATE WATER USE
1	TREES / SHRUBS	DRIP	30 PSI	.15 IN./HR.	1.80 GPM	35 MIN.	1	3	189 GAL./WK

ANNUAL IRRIGATION WATER USE		
LANDSCAPE AREAS	AREA (SQ. FT.)	WATER USE (GALLONS)
TURF GRASS	0	0
NATIVE GRASS	0	0
SHRUB BEDS	2,151	4,914
TOTAL:		4,914

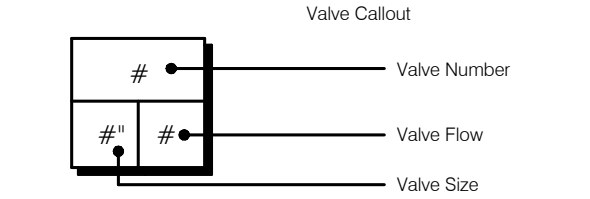
IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	Rain Bird XZLF-100-PRF 1" Low Flow, 0.2-10 GPM, with 1in. Low Flow Valve valve and 1in. Pressure Regulating RBY filter and 40psi pressure regulator.	1
	Area to Receive Drip Emitters Rain Bird XB-PC Single Outlet, Pressure Compensating Drip Emitters. Flow rates of 1.0 GPH=black, Comes with a self-piercing barb inlet x barb outlet. Emitter Notes: 10PC emitters (2 assigned to each 5 gal plant) 10PC emitters (4 assigned to each 1.5" cal. & 6' ht. plant)	2,151 sf 88 20

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	Drain Valve Manual Drain Valve- 3/4" Febco 624-BS Brass Gate Valve with Cross Handle. To be placed at low points along main line	1
	Febco 825Y 3/4" Reduced Pressure Backflow Preventer	1
	Rain Bird TM2-4-120V 4 station 120v model. Suitable for indoor or outdoor installations Factory-installed outdoor-rated power cord. LNK WiFi ready	1
	Rain Bird RSD-BEx Rain Sensor, with metal latching bracket, extension wire. Point of Connection 3/4"	1

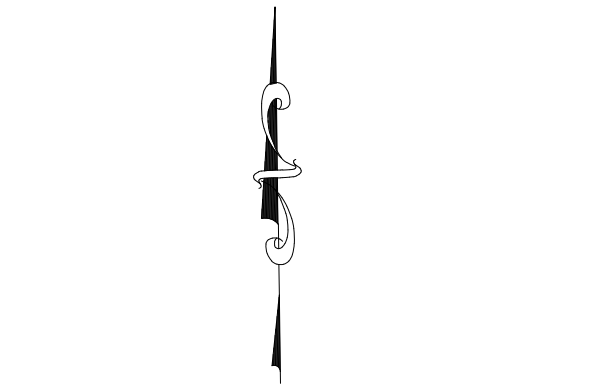
Irrigation Mainline: PVC Class 200 SDR 21 3/4" 30.9 lf

Pipe Sleeve: PVC Class 200 SDR 21 36.0 lf



Drip 3/4" diameter drip tubing (Rain Bird XBS 940) (.940 o.d., route accordingly to plant materials) 262 l.f.

3/4" Drip tubing compression end plug (Install in 6" min. valve box)

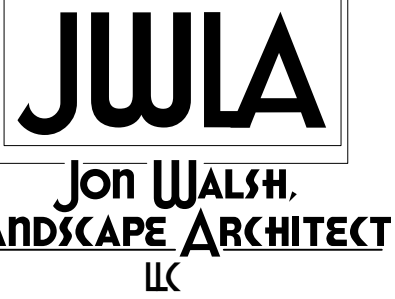


0 10 20 40 60

SCALE: 1"=20'

CITY PLANNING APPROVAL:

File No. DEPN-24-0182



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www.jwlandscapearchitect.com

STAMP

PROJECT NAME

OFFICE / WAREHOUSE
3760 E. Boulder Street
Colorado Springs, CO

PLAN TITLE

IRRIGATION
PLAN

PLAN DATE

August 2, 2024

REVISIONS

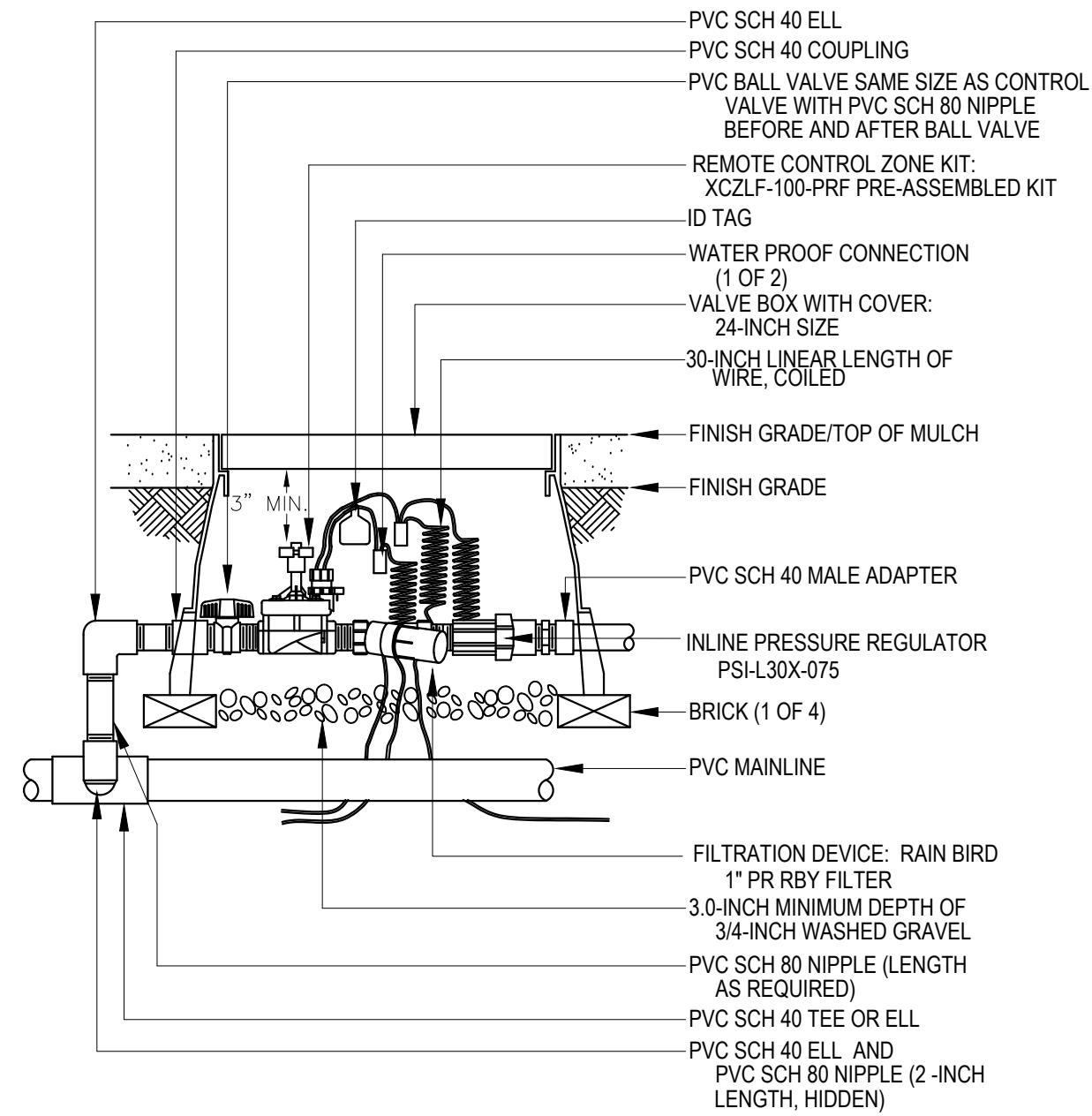
January 14, 2025

June 4, 2025

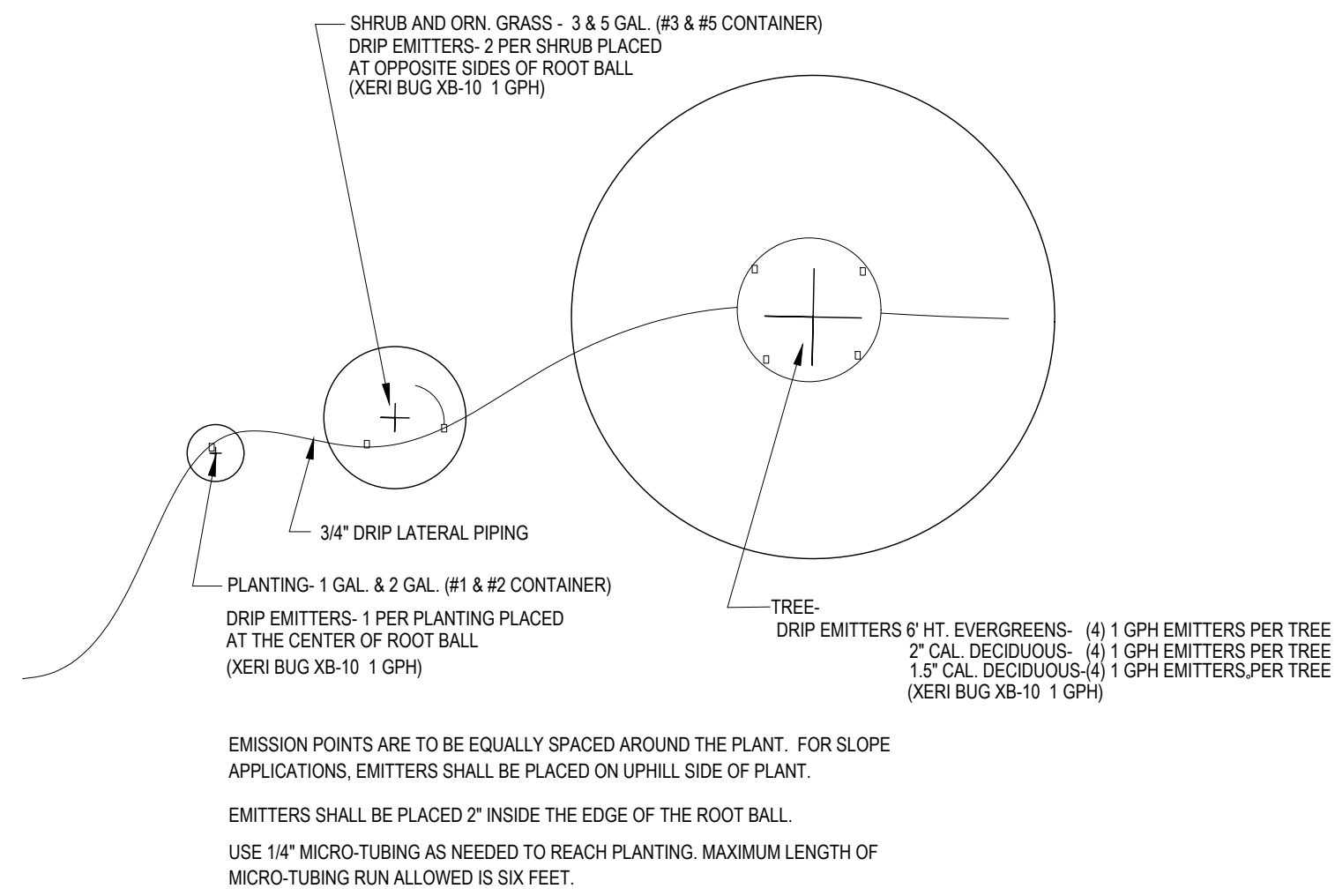
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LS-3

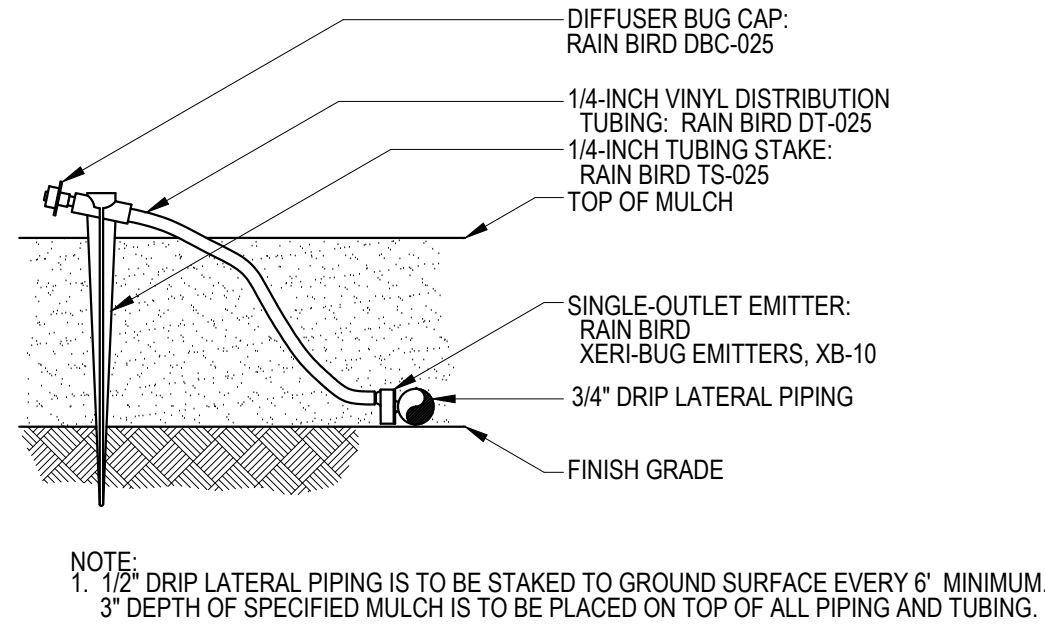
SHEET 10 OF 11



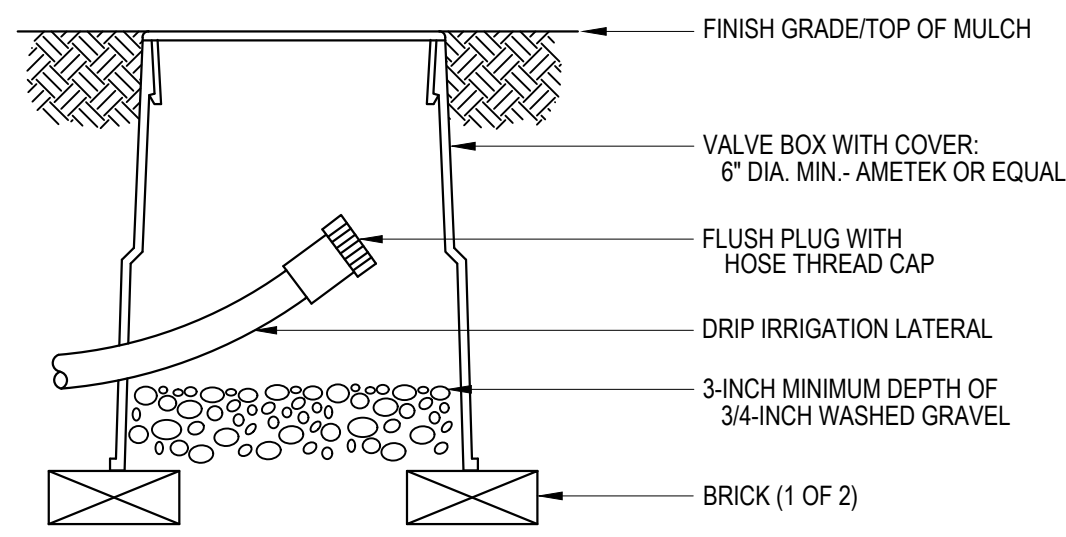
1 DRIP IRRIGATION VALVE ASSEMBLY



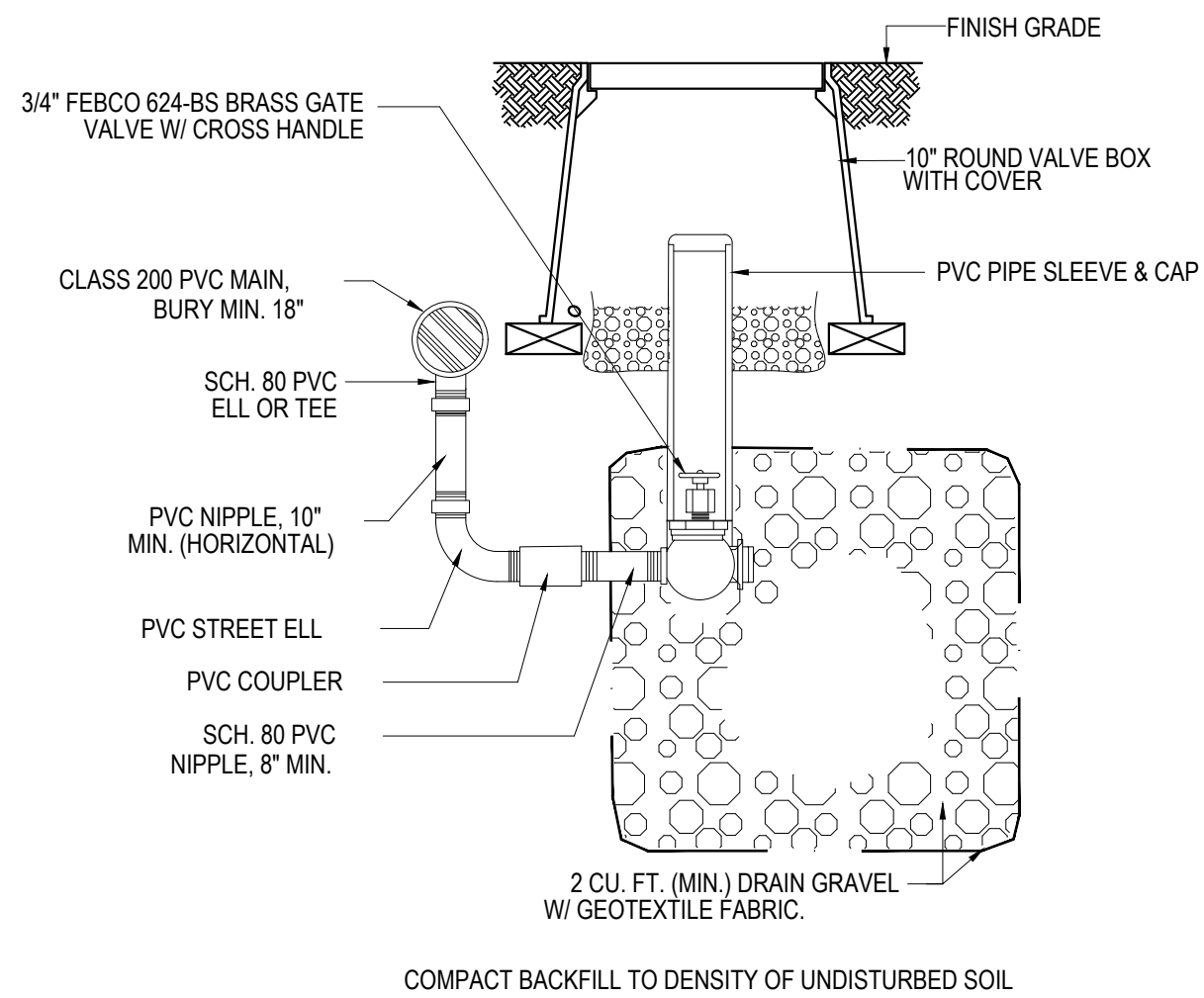
2 DRIP EMITTER PLACEMENT



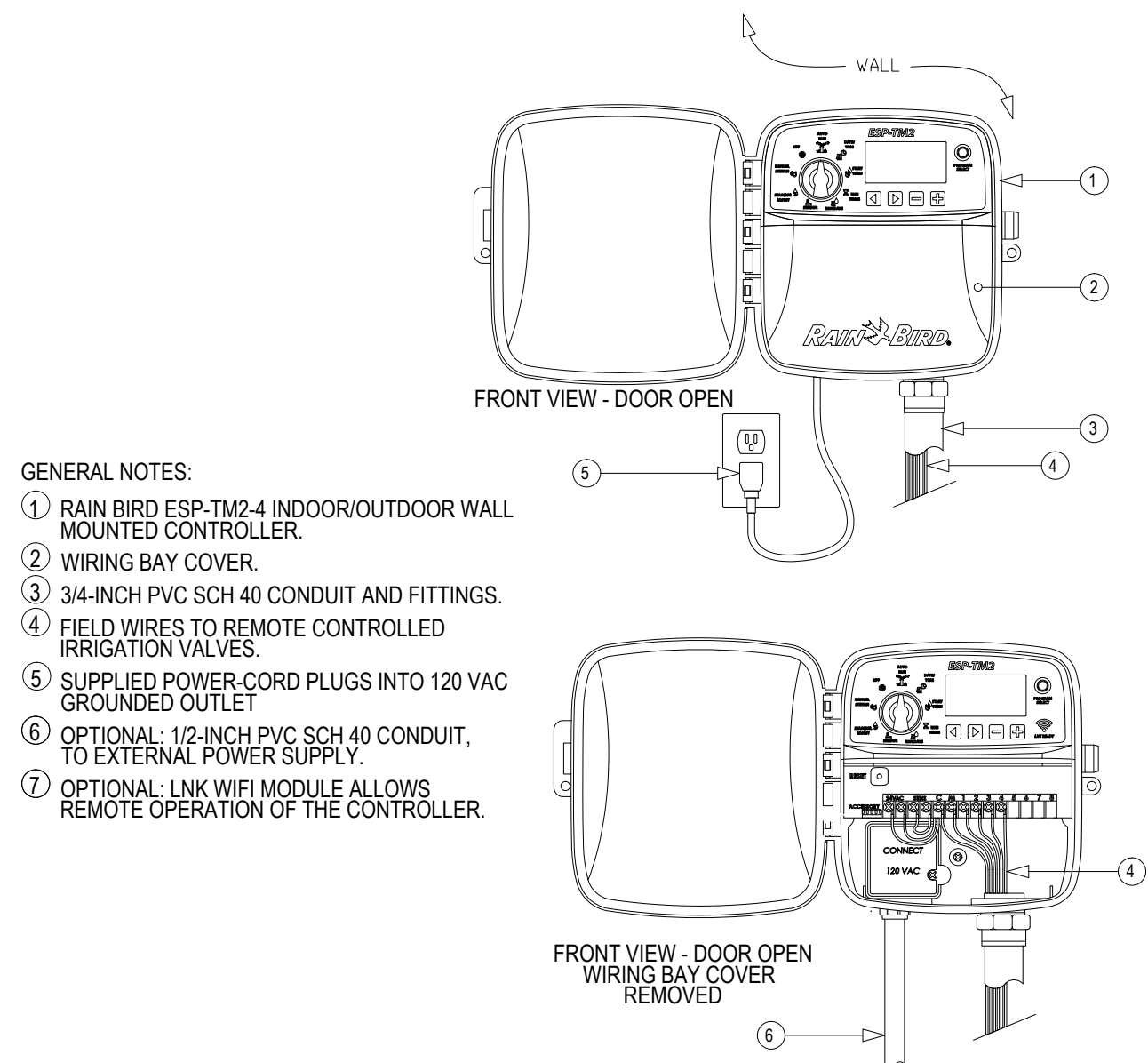
3 TYPICAL EMITTER ASSEMBLY



4 DRIP FLUSH CAP



5 MANUAL DRAIN VALVE



6 CONTROLLER

CITY PLANNING APPROVAL:

File No. DEPN-24-0182

STAMP

PROJECT NAME

OFFICE / WAREHOUSE
3670 E. Boulder Street
Colorado Springs, CO

PLAN TITLE

IRRIGATION
PLAN

PLAN DATE

August 2, 2024

REVISIONS

January 14, 2025

June 4, 2025

SHEET NO.

LS-4

SHEET 11 OF 11