

# 524 S. CASCADE SUBDIVISION

A REPLAT OF LOTS 13 THROUGH 16, BLOCK 264, ADD. NO. 1 TO THE TOWN OF COLORADO SPRINGS  
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

## FBZ-CEN DEVELOPMENT PLAN

TITLE SHEET  
OCTOBER 2024

### LEGAL DESCRIPTION:

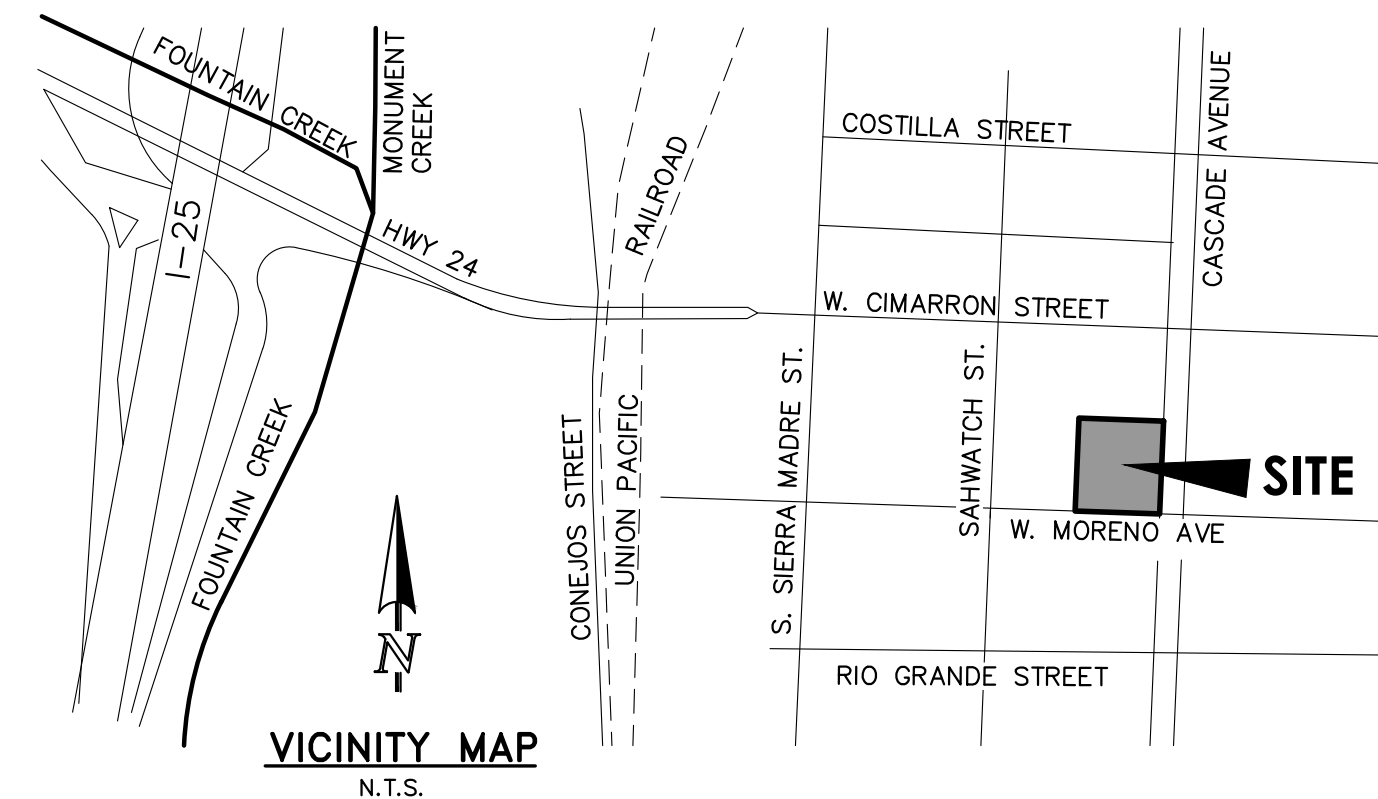
LOTS 13 TO 16, BLOCK 264 ADDITION NO. 1 CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO RECORDED IN PLAT BOOK A AT PAGE 7. TO BE REPLATTED AS LOTS 1 & 2, 524 S. CASCADE SUBDIVISION.

### ADA STATEMENT:

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.

### GENERAL NOTES:

- ALL PROPOSED CURB & GUTTER, SIDEWALK AND PEDESTRIAN RAMPS WITHIN THE RIGHT-OF-WAY SHALL MEET CURRENT CITY STANDARDS. ALL CURB, GUTTER, PEDESTRIAN RAMPS AND SIDEWALK POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATION OR DOES NOT MEET CURRENT CITY STANDARDS ALONG CASCADE AVENUE AND MORENO AVENUE ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED. AN ON-SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW INSPECTOR TO DETERMINE WHAT, IF ANY IMPROVEMENTS ARE REQUIRED. THE INSPECTOR CAN BE REACHED AT 719-385-5977.
- ALL ON-SITE UTILITIES ARE PRIVATE UNLESS OTHERWISE NOTED.
- A MINIMUM OF 3-FOOT CLEARANCE AROUND THE CIRCUMFERENCE OF ALL FIRE HYDRANTS WILL BE KEPT CLEAR OF ANY PHYSICAL OR VISUAL OBSTRUCTIONS TO THE HYDRANT.
- PER CITY CODE SECTION 7.4.102.D ALL LIGHTING FIXTURES SHALL BE CUT-OFF OR HAVE SHIELDING TO REDUCE OFF-SITE LIGHTING IMPACTS ONTO ADJACENT PROPERTIES AND ROADWAYS. ALL EXTERIOR LIGHTING SHALL BE ARRANGED TO MITIGATE LIGHT DIRECTED AWAY FROM ADJACENT PROPERTIES AND ANY PUBLIC RIGHT-OF-WAY. AN AMENDMENT TO THIS PLAN MAY BE REQUIRED IF THE LIGHTING TYPE IS CHANGED.
- FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE SURFACED SO AS TO PROVIDE ALL WEATHER DRIVING CAPABILITIES (2018 CSFC 503.2.3)
- ALL "STOP SIGNS" AND PAVEMENT MARKINGS WILL BE INSTALLED BY THE DEVELOPER AT THE LOCATIONS SHOWN ON THE DEVELOPMENT PLAN TO MEET MUTCD STANDARDS. CONTACT TRAFFIC ENGINEERING, SIGNS & MARKINGS AT 719-385-6720 FOR ASSISTANCE. ALL PUBLIC ROADWAY SIGNING AND STRIPING IMPROVEMENTS TO BE ADDRESSED DURING THE CONSTRUCTION DRAWING PLAN REVIEW.
- THERE SHALL BE NO DIRECT VEHICLE ACCESS TO WEST MORENO AVENUE AND SOUTH CASCADE AVENUE EXCEPT AS SHOWN ON THIS DEVELOPMENT PLAN FOR THIS SITE.
- ON-SITE LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF OWNER, AND/OR THEIR ASSIGNS.
- STREET TREES, STREETSCAPE IMPROVEMENTS, AND VEGETATION WITHIN THE CITY ROW SHALL BE MAINTAINED BY THE ADJUTING PROPERTY OWNER.
- SIGNAGE IS NOT APPROVED WITH THIS PLAN; A SEPARATE SIGN PERMIT IS REQUIRED PRIOR TO CONSTRUCTION.
- ALL PUBLIC AND PRIVATE PEDESTRIAN RAMPS TO BE CONSTRUCTED PER CITY STD. DETAIL D-8.
- ALL IMPROVEMENTS WITHIN THE CASCADE AVENUE RIGHT-OF-WAY TO BE CONSTRUCTED BY THE DEVELOPER IN CONJUNCTION WITH SITE DEVELOPMENT, AND COMPLETED PRIOR TO CERTIFICATE OF OCCUPANCY (CO). IMPROVEMENTS ALONG MORENO AVENUE ARE PART OF A LARGER MORENO AVENUE STREETSCAPE DESIGN EFFORT (BY OTHERS). PRIOR TO BUILDING PERMIT ISSUANCE ON LOT 1 AND LOT 2, FULL PUBLIC STREET IMPROVEMENT SURETIES FOR THE DIRECT FRONTAGE WILL BE POSTED REFLECTING THE ANTICIPATED DESIGN EFFORT FOR THE CORRIDOR AT THAT TIME (NEW CURB & GUTTER, SIDEWALK, LIGHTING, ETC.). ALL PUBLIC IMPROVEMENT WORK ALONG LOT 1 AND LOT 2 FRONTAGE TO BE COMPLETED PRIOR TO CO.
- ALL IMPROVEMENTS DEPICTED WITHIN THIS PLAN ARE REQUIRED BY CITY CODE AND/OR ARE A CONDITION OF APPROVAL TO ENSURE COMPLIANCE WITH THE CITY'S REVIEW CRITERIA. ANY PRIVATE IMPROVEMENTS PROVIDED AS EXTRA, WILL BE LABELED AS SUCH AND WILL NOT BE INCLUDED IN THE CALCULATED AMOUNT REQUIRED FOR A FINANCIAL ASSURANCE.
- PLANNED INFILTRATION AREAS ARE NOT REQUIRED FOR THIS REDEVELOPMENT AS LESS THAN 1 ACRE IS BEING DISTURBED.
- INSTALLATION OF ELECTRICAL DEVICES IN THE PUBLIC ROW SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY SPECIFICATION SECTION 1001 AND COMPLETE THE COLORADO SPRINGS UTILITIES "ELECTRIC INSPECTION IN THE RIGHT-OF-WAY CERTIFICATE" IN ACCORDANCE WITH UTILITIES' REQUIREMENTS FOR ELECTRIFICATION. THE CERTIFICATE SHALL ALSO BE PROVIDED TO THE CITY INSPECTOR.
- PROPOSED ROOF TOP SCREENING WILL ALSO BE PROVIDED FOR TELECOM EQUIPMENT AND/OR SATELLITE DISH SCREENING.
- THIS EXISTING PLATTED LOT IS NOT WITHIN THE HILLSIDE OR STREAMSIDE OVERLAY ZONE, THEREFORE A LAND SUITABILITY ANALYSIS IS NOT REQUIRED.
- THE DETAILS OF THE SIGNING AND STRIPING OF THE FUTURE PUBLIC ROADWAY IMPROVEMENTS WILL BE ADDRESSED DURING THE CONSTRUCTION PLAN REVIEW.
- TREES SHOWN TO BE REMOVED FROM THE CITY ROW REQUIRE A PERMIT FROM THE FORESTRY DIVISION AND THE WORK MUST BE COMPLETED BY A TREE SERVICE LICENSED BY THE CITY OF COLORADO SPRINGS. PAYMENT FOR THE APPRAISED VALUE OF THE TREES TO BE REMOVED SHALL BE RECEIVED IN FULL BEFORE THE ISSUANCE OF THE PERMIT.



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### PROJECT TEAM:

**OWNER / APPLICANT / DEVELOPER**  
DAVID JENKINS C/O NORWOOD DEVELOPMENT GROUP  
111 S TEJON ST SUITE 222  
COLORADO SPRINGS, COLORADO 80903  
MR. JEFF FINN  
(719) 593-2600

**ARCHITECT**  
JNS ARCHITECTURE  
1600 WYNKOOP STREET, SUITE 100  
DENVER, COLORADO 80202  
MS. HEATHER VASQUEZ JOHNSON  
(303) 892-7062

### CIVIL ENGINEER

CLASSIC CONSULTING ENGINEERS & SURVEYORS, LLC  
619 N. CASCADE AVENUE, SUITE 200  
COLORADO SPRINGS, COLORADO 80903  
MR. KYLE CAMPBELL, P.E.  
(719) 785-0790

### LANDSCAPE ARCHITECT

DIG STUDIOS  
1521 15TH STREET  
DENVER, COLORADO 80202  
MR. PAUL STEWART  
(720) 788-0656

### SITE DATA:

TAX SCHEDULE NO.:	64183-20-019	
SITE ADDRESS:	LOT 1: 524 S. CASCADE AVENUE LOT 2: 12 W. MORENO AVENUE	
LOT AREA:	0.876 ACRES (38,159 SF)	
MASTER PLAN:	EXPERIENCE DOWNTOWN PLAN (2016)	
EXISTING ZONING:	FBZ-CEN (ZONING ORDINANCE 09-83 & 12-13)	
SECTOR:	CENTRAL SECTOR	
FRONTAGE:	SHOPFRONT	
BUILDING TYPE:	LOT 1: MIXED USE LOT 2: MIXED USE	
EXISTING LAND USE:	COMMERCIAL	
PROPOSED LAND USE:	LOT 1: 180 GUEST ROOM HOTEL LOT 2: GUEST HOUSE FOR HOTEL	
DEVELOPMENT SCHEDULE:	COMMENCE FALL 2025	
MAX. BUILDING HEIGHT ALLOWED:	N/A	
PROPOSED BUILDING HEIGHT:	LOT 1: 7 STORIES LOT 2: 2 STORIES	
TYPICAL DRIVE AISLE:	24'	
DRAINAGE BASIN:	MONUMENT CREEK	
PROPOSED LOT COVERAGE:	LOT 1: 34,897 SF / 0.809 AC 100.0% ASPHALT/CONCRETE/BUILDING COVERAGE: 34,897 SF / 0.799 AC 98.8% LANDSCAPE: 422 SF / 0.010 AC 1.2%	
LOT 2:	3,268 SF / 0.075 AC 100.0% ASPHALT/CONCRETE/BUILDING COVERAGE: 2,462 SF / 0.056 AC 75.3% LANDSCAPE: 806 SF / 0.019 AC 24.7%	
<b>BUILDING SETBACKS</b>	REQUIRED	PROPOSED
LOT 1		
CASCADE AVENUE	N/A	VARIES-1.1'-11.4'
W MORENO AVENUE	N/A	VARIES-0.7'-34.3'
PUBLIC ALLEY (N)	N/A	VARIES-9.1'-16.5'
WEST PROPERTY LINE	N/A	VARIES-0.4'-5.2'
LOT 2		
W. MORENO AVENUE	N/A	3.35'
WEST PROPERTY LINE	N/A	1.35'
PARKING REQUIRED:	NONE PER FBZ 2.6.2.1	
PARKING PROVIDED:	25 TOTAL PARKING SPACES INTERIOR TO BUILDING 6 STANDARD STALLS 9 TANDEM STALLS (18 TOTAL) 1 ADA STALL (VAN)	
TYPICAL PARKING SPACE:	9' X 18'	
TYPICAL HANDICAPPED PARKING SPACE:	8' X 18'	
TYPICAL HANDICAPPED ZONE:	8' X 18' OR 5' X 18'	
<b>BIKE PARKING:</b>	REQUIRED: NOT APPLICABLE IN FORM BASED ZONE PROVIDED: 22 INTERIOR WALL MOUNTED BIKE RACKS 6 BIKE PARKING SPACES IN PUBLIC ROW	

**FLOODPLAIN STATEMENT:**  
ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP PANEL 080410729C WITH AN EFFECTIVE DATE OF DECEMBER 7, 2018, THE SUBJECT PROPERTY IS LOCATED IN ZONE X (AN AREA DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN).

### CITY WIDE DEVELOPMENT IMPACT FEE:

<b>COMMERCIAL TIER:</b>	LOT 1: HOTEL (TIER 1)	129,582 SF
	LOT 2: HOTEL UNIT (TIER 1)	1,430 SF
	EX. OFFICE BUILDING (TIER 3)	13,272 SF
	EX. STORAGE BUILDING (TIER 4)	1,608 SF

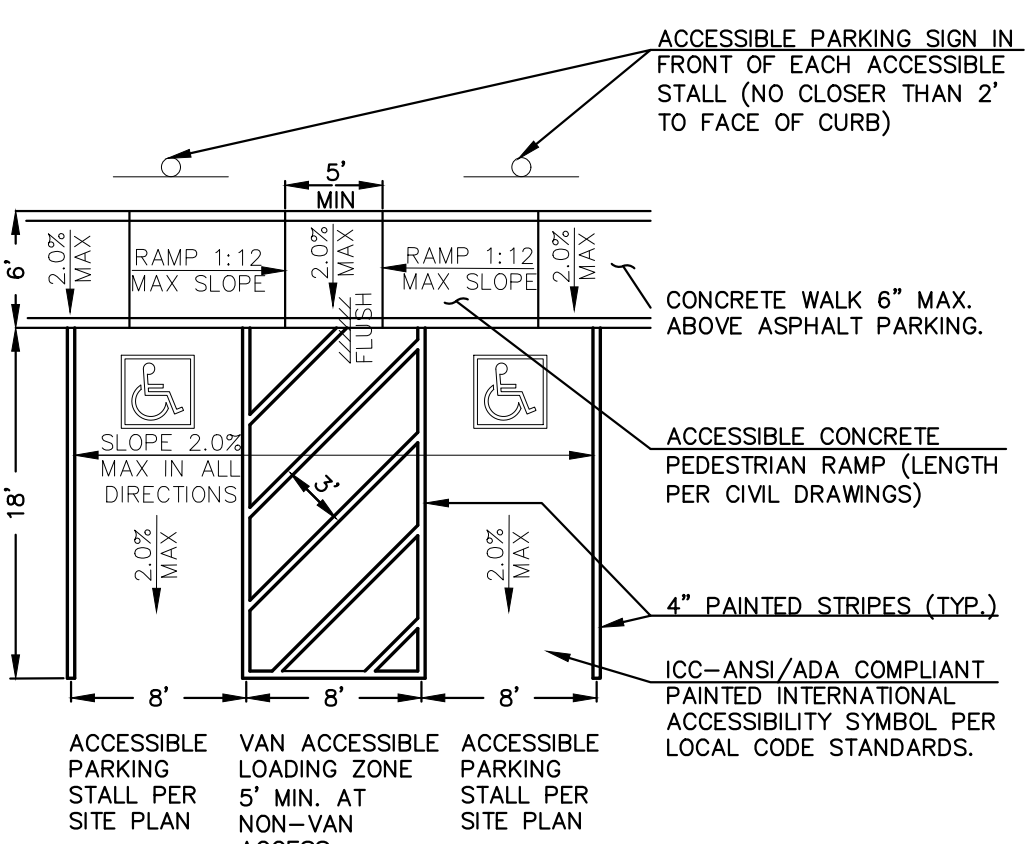
### WARRANTS:

FBZ SECTION	STANDARD	MODIFICATION	JUSTIFICATION
1 FBZ SECTION 2.3.3.3 BUILDING ENVELOPE, MEASURING SETBACKS	0' MINIMUM FRONT SETBACK	LOT 1 BUILDING SETBACK ALONG MORENO AVENUE IS 34.3' WITH A SCREEN WALL (SETBACK 2.7') ENCLING AN OUTDOOR PATIO	12" HEIGHT PATIO SCREEN WALL IS ANCHORED TO BUILDING FACADE AND SERVES AS AN EXTENSION OF THE MAIN HOTEL BUILDING, THEREFORE SATISFYING THE INTENDED ENVELOPE/SETBACK INTENT
2 FBZ SECTION 2.4.7 GLAZING	60% GLAZING WITH TRANSPARENT GLASS	LOT 2 CONTAINS GUEST HOUSE BUILDING WITH 28% GLAZING	GLAZING PERCENTAGE IS CONSISTENT WITH RESIDENTIAL DESIGN AND SECURES PRIVACY FOR GROUND FLOOR USE ASSOCIATED WITH THE GUEST HOUSE UNIT

**ADDITIONAL NOTES:** A REVOCABLE PERMIT WILL BE REQUIRED TO ALLOW FOR THE PRIVATE HANDRAIL AND RELATED INFRASTRUCTURE IN THE PUBLIC RIGHT OF WAY.

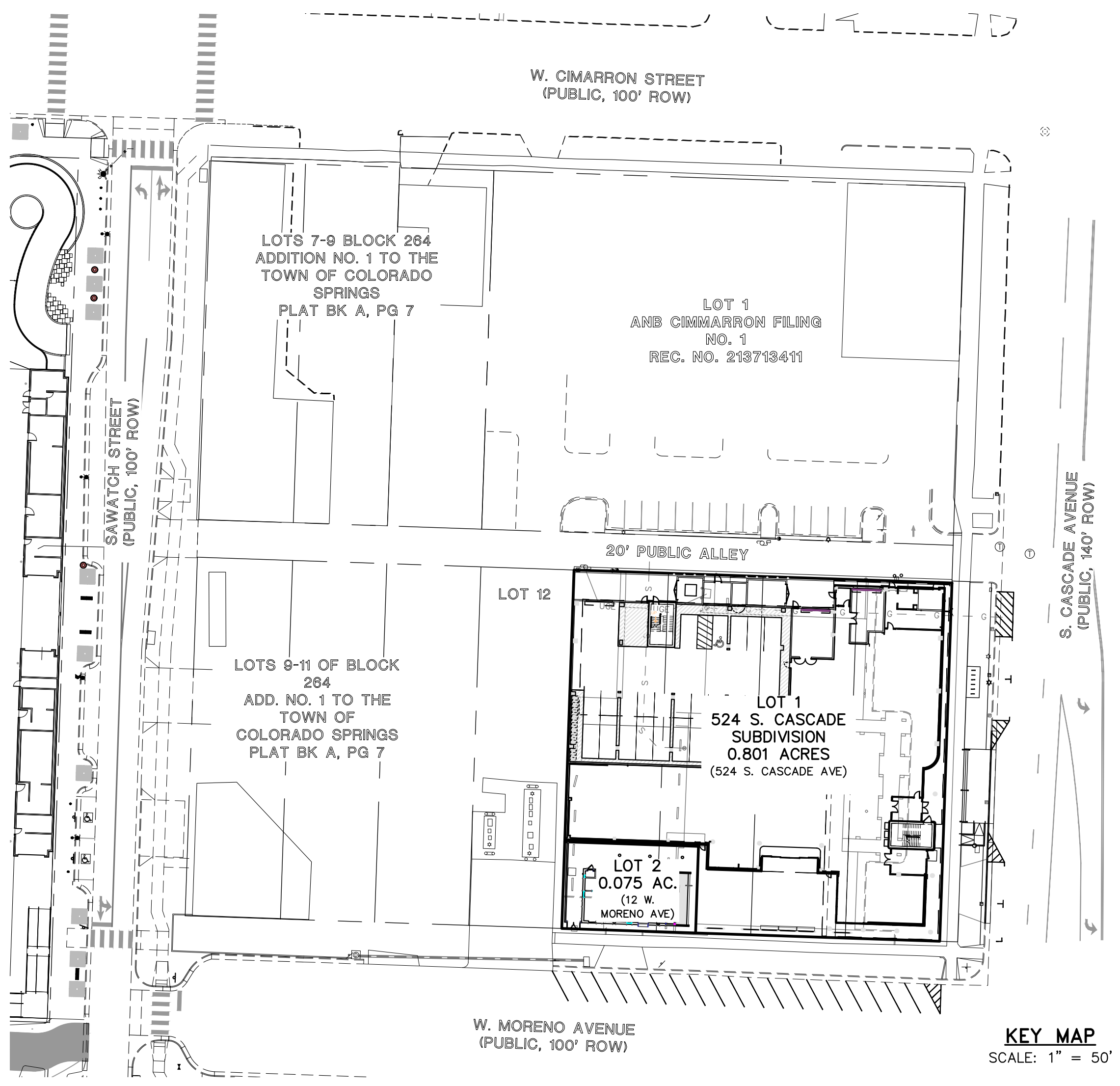
**FOR CITY USE:**

FBZN-24-0013



### HANDICAP PARKING SPACE DESIGN CRITERIA:

- RAMPS SHALL NOT BE PLACED IN HANDICAPPED ACCESS AISLE, BUT SHALL BE PLACED WITHIN THE ADJOINING SIDEWALKS
- ACCESS AISLES MAY NOT EXCEED A 2% SLOPE IN ANY DIRECTION
- HANDICAPPED RAMPS MAY NOT EXCEED A SLOPE OF 8%
- THE MINIMUM WIDTH FOR HANDICAPPED RAMPS IS 36 INCHES
- THE SIDES OF RAMPS MAY NOT EXCEED A SLOPE OF 10% UNLESS PROTECTED WITH A HANDRAIL
- HANDICAPPED PARKING SHALL MEET ALL OTHER APPLICABLE CITY AN ADA CODE REQUIREMENTS
- SIGNAGE IS REQUIRED FOR ACCESSIBLE SPACES AS SHOWN IN DETAIL, HOWEVER ONLY ONE SPACE NEEDS TO BE SIGNED AS VAN ACCESSIBLE
- ACCESSIBLE ROUTES, INCLUDING RAMPS AND SIDEWALKS WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PER THE CITY'S STANDARD DRAWINGS AND SPECIFICATIONS. CITY'S ENGINEERING DEVELOPMENT REVIEW INSPECTOR WILL HAVE THE FINAL AUTHORITY ON ACCEPTING THE PUBLIC IMPROVEMENTS.



### NOTICE TO THE ARCHITECT/CONTRACTOR/ENGINEER:

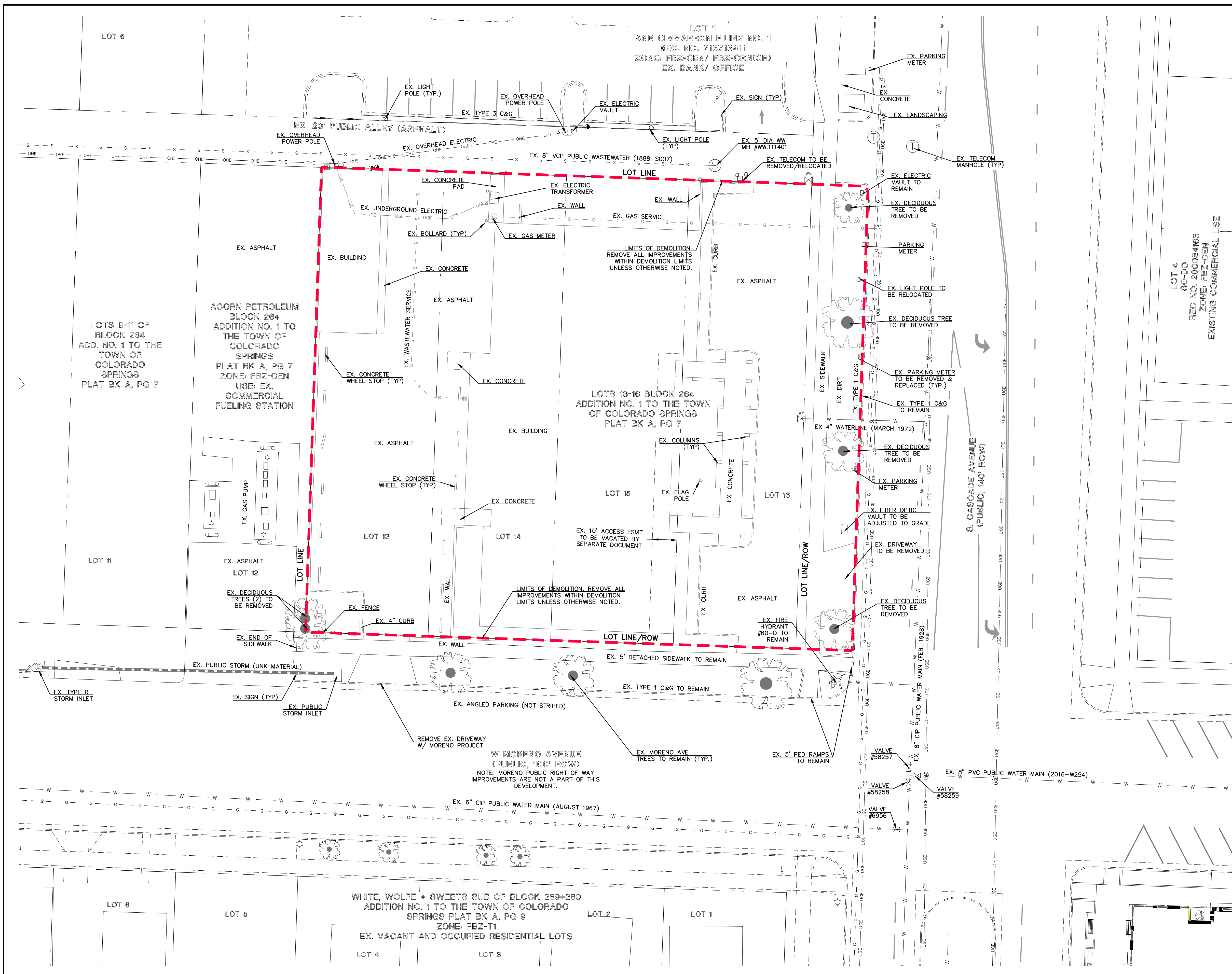
THE DETAILS SHOWN ON THIS DEVELOPMENT PLAN ARE FOR PLANNING PURPOSES ONLY. DO NOT USE THIS PLAN SET FOR PRODUCT SPECS, ENGINEERING DETAILS, OR CONSTRUCTION PURPOSES. A PRE-CONSTRUCTION MEETING MUST BE SCHEDULED TO REVIEW ALL APPROVALS AND DESIGN CRITERIA PRIOR TO STARTING ANY SITE WORK.



524 S. CASCADE SUBDIVISION			
FBZ-CEN DEVELOPMENT PLAN			
TITLE SHEET			
DESIGNED BY	EAS	SCALE	DATE 10/15/2024
DRAWN BY	EAS	(H) 1" = 50'	SHEET 1 OF 18
CHECKED BY	(V) 1" = N/A	JOB NO.	2539.66

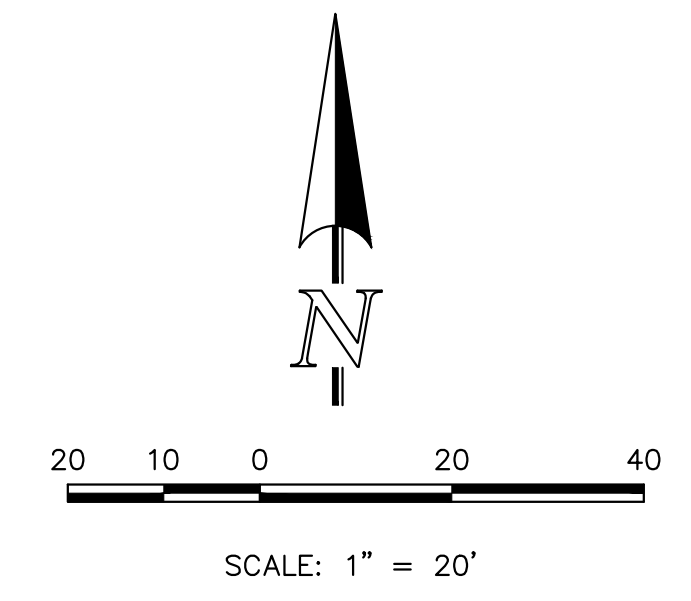
619 N. Cascade Avenue, Suite 200  
Colorado Springs, Colorado 80903  
(719) 785-0790





**LEGEND:**

DESCRIPTION	SYMBOL
EXISTING STORM SEWER	
EXISTING STORM INLET	
EXISTING FIRE HYDRANT	
EXISTING WATER MAIN	
EXISTING WASTEWATER MAIN	
EXISTING GAS MAIN	
EXISTING ELECTRIC	
BOUNDARY LINE	
EXISTING FENCE	
EXISTING LIGHT POLE	



FOR CITY USE:

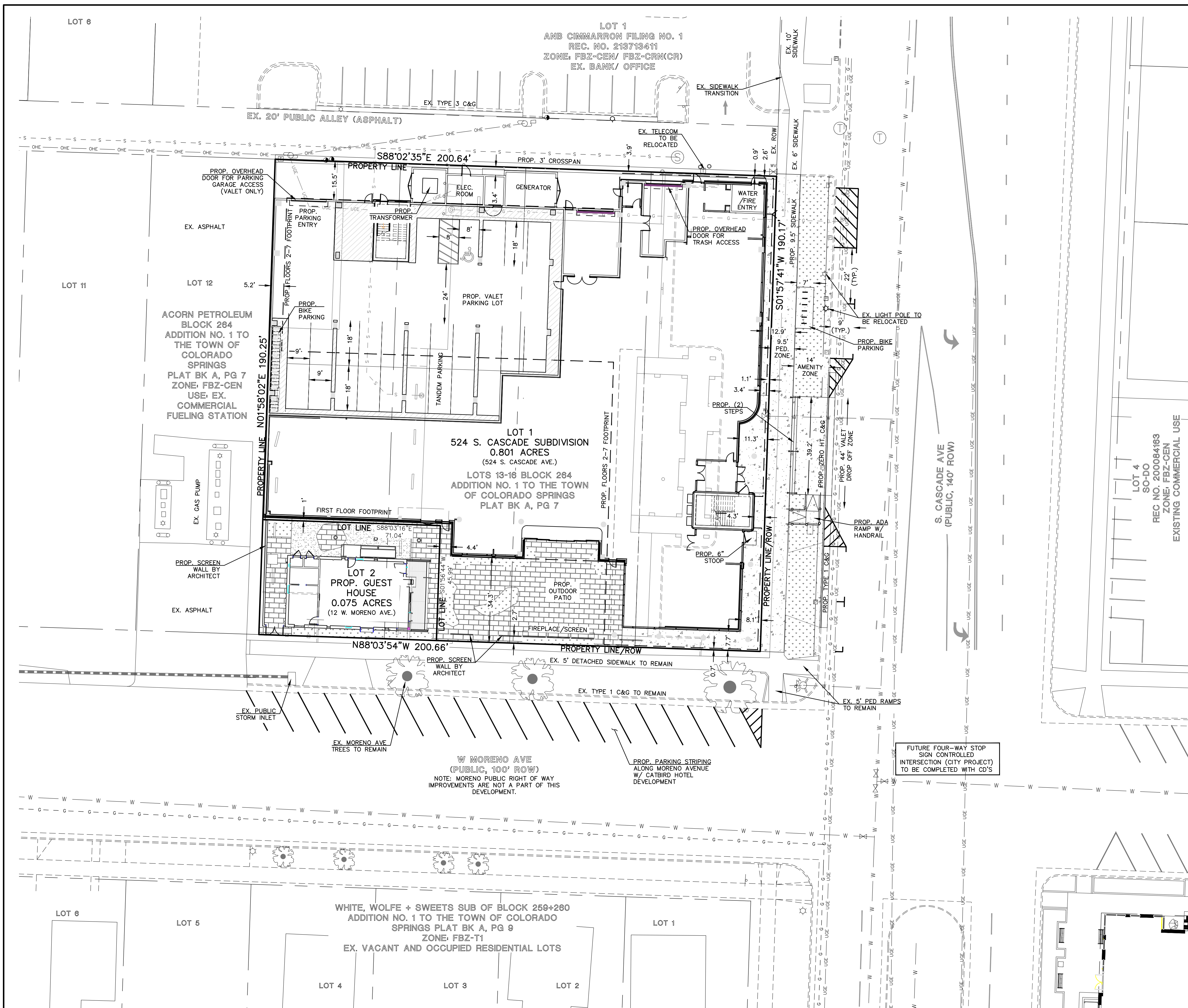
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FBZN-24-0013

	524 S. CASCADE SUBDIVISION			
	FBZ-CEN DEVELOPMENT PLAN			
	EXISTING CONDITIONS/DEMOLITION PLAN			
	DESIGNED BY	EAS	SCALE	DATE 10/15/2024
DRAWN BY	EAS	(H) 1" = 20'	SHEET 2 OF 18	
CHECKED BY	(V) 1" = N/A	JOB NO.	2539.66	

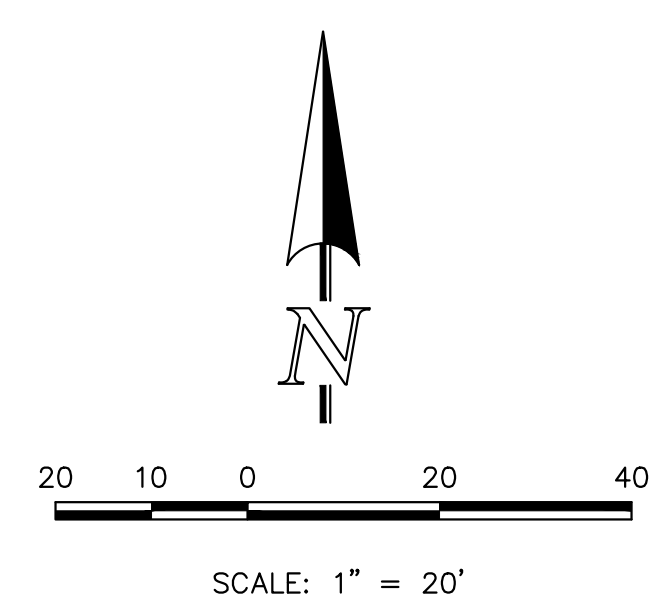
619 N. Cascade Avenue, Suite 200 Colorado Springs, Colorado 80903 (719) 785-0790

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**VALET NOTE:**  
 ALL VALET OPERATIONS TO COMPLY WITH THE CITY OF COLORADO SPRINGS VALET PARKING PERMIT REQUIREMENTS.

**NOTE:**  
 S. CASCADE AVENUE IS SCHEDULED FOR A CITY 2C PAVEMENT OVERLAY IN 2025-26. THE TIMING OF ALL PUBLIC IMPROVEMENTS TO BE COORDINATED WITH CITY OF COLORADO SPRINGS STREETS DEPARTMENT. CONTACT MICHAEL.HENSLEY@COLORADOSPRINGS.GOV AND COLE.PLATT@COLORADO SPRINGS.GOV



FOR CITY USE:

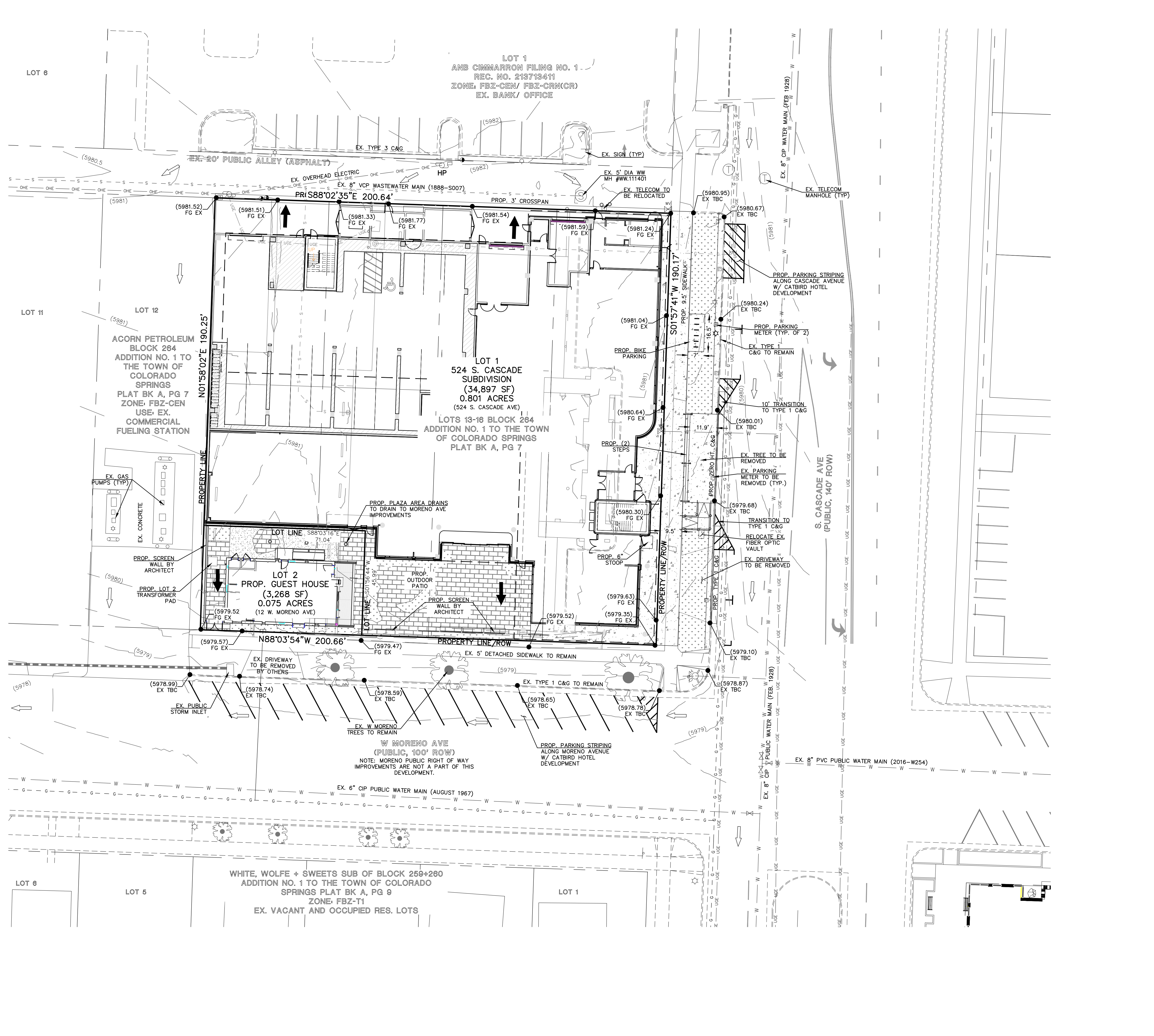
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FBZN-24-0013

	524 S. CASCADE SUBDIVISION			
	FBZ-CEN DEVELOPMENT PLAN			
	SITE PLAN			
	DESIGNED BY	EAS		SCALE
DRAWN BY	EAS	(H) 1" = 20'	SHEET	3 OF 18
CHECKED BY	(V) 1" = N/A	JOB NO.	2539.66	

619 N. Cascade Avenue, Suite 200  
 Colorado Springs, Colorado 80903 (719) 785-0790

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**LEGEND**

- (6770) EXISTING CONTOUR
- 6770 PROPOSED CONTOUR
- BOUNDARY/FILING LINE
- EXISTING FLOW DIRECTION
- PROPOSED FLOW DIRECTION
- PROPOSED INLET
- PROPOSED STORM PIPE
- EXISTING STORM PIPE
- HP PROPOSED HIGH POINT
- LP PROPOSED LOW POINT

**STANDARD GRADING AND EROSION CONTROL PLANS NOTES:**  
 ANY LAND DISTURBANCE BY ANY OWNER, DEVELOPER, BUILDER, CONTRACTOR, OR OTHER PERSON SHALL COMPLY WITH THE BASIC GRADING, EROSION AND STORMWATER QUALITY CONTROL REQUIREMENTS AND GENERAL PROHIBITIONS NOTED IN THE DRAINAGE CRITERIA MANUAL VOLUME 2 AND THE OWNER INSPECTION REQUIREMENTS (D.C.M.VOL. 2, SEC. 3.2)

NO CLEARING, GRADING, EXCAVATING, FILLING OR OTHER LAND DISTURBING ACTIVITIES SHALL BE PERMITTED UNTIL SIGNOFF AND ACCEPTANCE OF THE GRADING PLAN AND EROSION AND STORMWATER QUALITY CONTROL PLAN IS RECEIVED FROM CITY ENGINEERING.

THE INSTALLATION OF THE FIRST LEVEL OF TEMPORARY EROSION CONTROL FACILITIES AND BMP'S SHALL BE INSTALLED AND INSPECTED PRIOR TO ANY EARTH DISTURBANCE OPERATIONS TAKING PLACE. CALL CITY STORMWATER INSPECTIONS, 385-5980, 48 HOURS PRIOR TO CONSTRUCTION.

SEDIMENT (MUD AND DIRT) TRANSPORTED ONTO A PRIVATE ROAD, REGARDLESS OF THE SIZE OF THE SITE, SHALL BE CLEANED AT THE END OF EACH DAY.

CONCRETE WASH WATER SHALL NOT BE DISCHARGED TO OR ALLOWED TO RUNOFF TO STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES.

SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN TWENTY-ONE (21) CALENDAR DAYS AFTER FINAL GRADING OR FINAL EARTH DISTURBANCE HAS BEEN COMPLETED. DISTURBED AREAS AND TOCKPILES WHICH ARE NOT AT FINAL GRADE BUT WILL REMAIN DORMANT FOR LONGER THAN 30 DAYS SHALL ALSO BE MULCHED WITHIN 21 DAYS AFTER INTERIM GRADING. AN AREA THAT IS GOING TO REMAIN IN AN INTERIM STATE FOR MORE THAN 60 DAYS SHALL ALSO BE SEEDED. ALL TEMPORARY SOIL EROSION CONTROL MEASURES AND BMP'S SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED.

THE GRADING AND EROSION CONTROL PLAN WILL BE SUBJECT TO RE-REVIEW AND RE-ACCEPTANCE BY THE CITY OF COLORADO SPRINGS ENGINEERING SHOULD ANY OF THE FOLLOWING OCCUR: GRADING DOES NOT COMMENCE WITHIN 12 MONTHS OF THE CITY ENGINEER'S ACCEPTANCE OF THE PLAN, A CHANGE IN PROPERTY OWNERSHIP, PROPOSED DEVELOPMENT CHANGES, OR PROPOSED GRADING REVISIONS.

THE PLAN SHALL NOT SUBSTANTIALLY CHANGE THE DEPTH OF COVER, OR ACCESS TO UTILITY FACILITIES. ADDITIONALLY, THE PLAN SHALL NOT INCREASE OR DIVERT WATER TOWARDS UTILITY FACILITIES. ANY CHANGES TO UTILITY FACILITIES TO ACCOMMODATE THE PLAN, MUST BE DISCUSSED AND AGREED TO BY THE AFFECTED UTILITY PRIOR TO IMPLEMENTING THE PLAN. THE RESULTING COST TO RELOCATE OR PROTECT UTILITIES, OR PROVIDE INTERIM ACCESS IS AT THE EXPENSE OF THE PLAN APPLICANT.

**EROSION CONTROL CRITERIA:**

EROSION CONTROL MEASURES SHALL BE IMPLEMENTED IN A MANNER THAT WILL PROTECT PROPERTIES AND PRIVATE FACILITIES FROM THE ADVERSE EFFECTS OF EROSION AND SEDIMENTATION AS A RESULT OF CONSTRUCTION AND EARTHWORK ACTIVITIES WITHIN THE PROJECT SITE.

UPON COMPLETION OF GRADING OPERATIONS, LOCATE AND SET THE PERIMETER BMP'S AS SHOWN ON THE EROSION CONTROL PLAN. AT THIS TIME, RESEED ALL DISTURBED AREAS WITH AN ACCEPTABLE SEED MIX.

THE PERIMETER BMP'S SHALL BE KEPT IN PLACE AND MAINTAINED UNTIL EROSION AND SEDIMENTATION POTENTIAL IS MITIGATED. REMOVAL OF SILT AND SEDIMENT COLLECTED BY THE PERIMETER BMP'S IS REQUIRED ONCE IT REACHES HALF THE HEIGHT OF THE PERIMETER BMP'S.

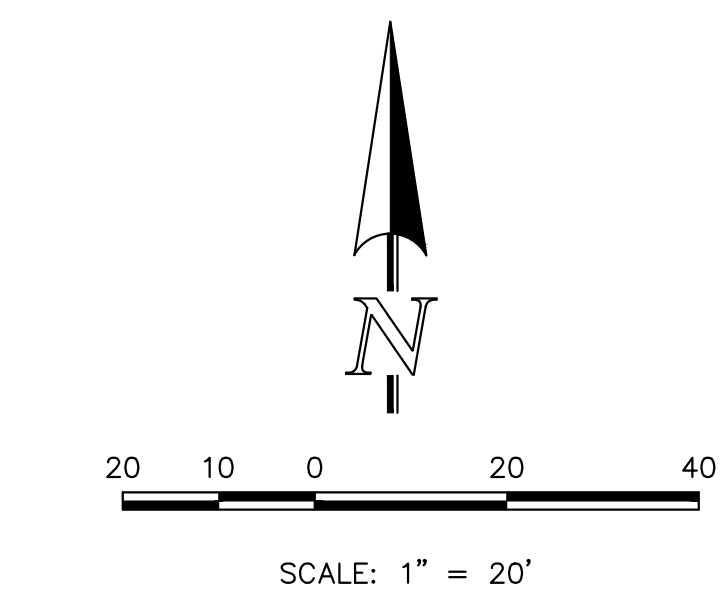
EROSION CONTROL DEVICES SHOULD BE CHECKED AFTER EVERY STORM. REPAIRS OR REPLACEMENT SHOULD BE MADE AS NECESSARY TO MAINTAIN PROPER PROTECTION.

**ADA STATEMENT:**

THE DESIGN PROFESSIONAL RESPONSIBLE FOR THIS PLAN HAS FAMILIARIZED THEMSELVES WITH ALL CURRENT ADA CRITERIA AND SPECIFICATIONS, AND THE PROPOSED PLAN REFLECTS REQUIRED SITE ELEMENTS.

ACCESSIBLE ROUTES, INCLUDING RAMPS AND SIDEWALKS, WITHIN THE PUBLIC RIGHT OF WAY SHALL BE PER THE CITY'S STANDARD DRAWINGS AND SPECIFICATIONS. CITY'S ENGINEERING DEVELOPMENT REVIEW INSPECTOR WILL HAVE FINAL AUTHORITY ON ACCEPTING THE PUBLIC IMPROVEMENTS.

ALL CURB, GUTTER, DRIVEWAY APRONS, PEDESTRIAN RAMPS AND SIDEWALKS POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATION OR DOES NOT MEET CURRENT CITY ENGINEERING STANDARDS ALONG S. CASCADE AVENUE AND MORENO AVENUE ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (C.O.). AN ONSITE MEETING CAN BE SET UP WITH CITY ENGINEERING DEVELOPMENT REVIEW INSPECTOR TO DETERMINE WHAT, IF ANY IMPROVEMENTS ARE REQUIRED. THE INSPECTOR CAN BE REACHED AT 719-385-5977.



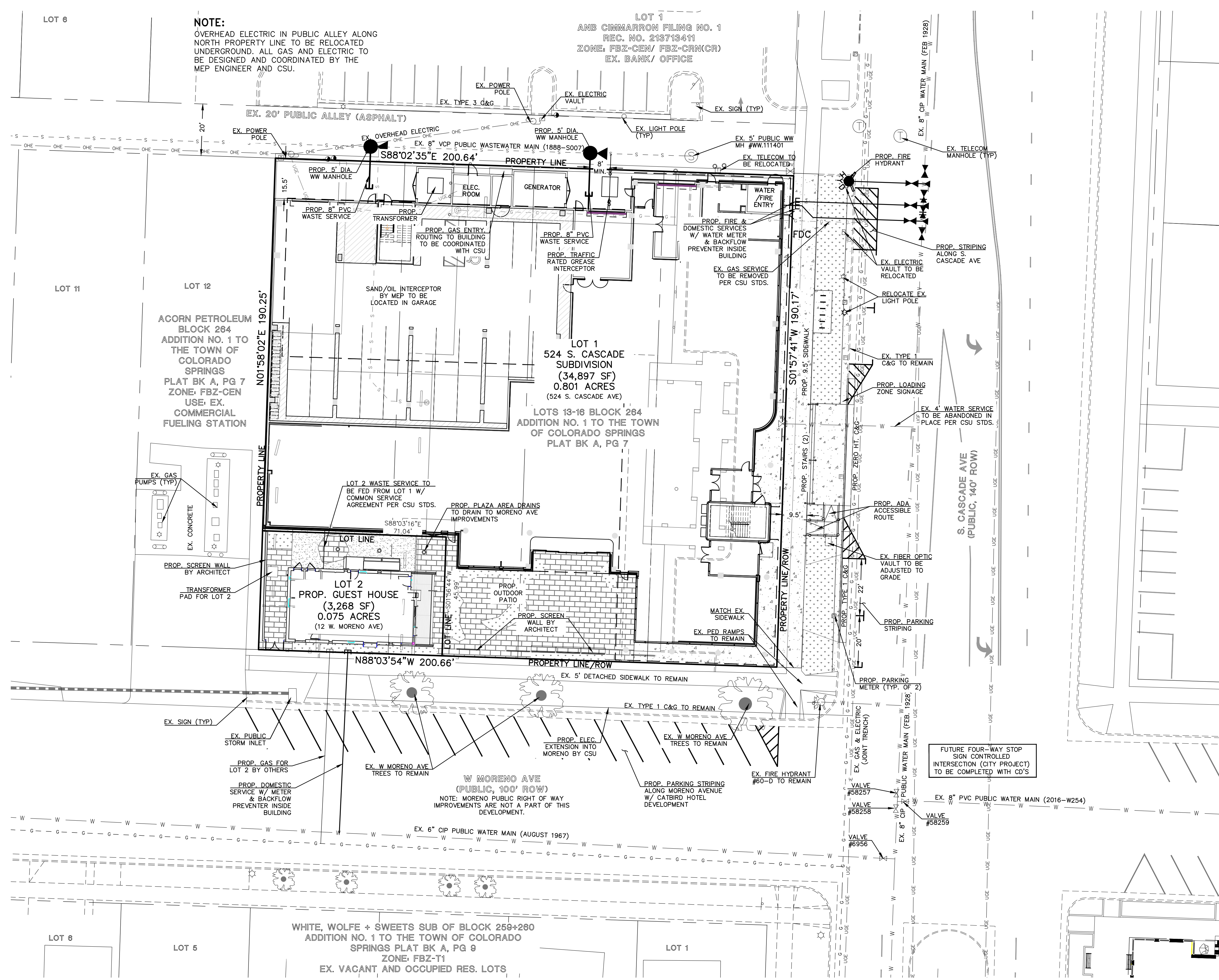
FOR CITY USE:

FBZN-24-0013

	<b>524 S. CASCADE SUBDIVISION</b>			
	FBZ-CEN DEVELOPMENT PLAN			
	PRELIMINARY GRADING PLAN			
	DESIGNED BY	EAS	SCALE	DATE
DRAWN BY	EAS	(H) 1" = 20'	SHEET	4 OF 18
CHECKED BY	(V) 1" = N/A	JOB NO.	2539.66	

619 N. Cascade Avenue, Suite 200 (719)785-0790 Colorado Springs, Colorado 80903

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**NOTE:**  
OVERHEAD ELECTRIC IN PUBLIC ALLEY ALONG NORTH PROPERTY LINE TO BE RELOCATED UNDERGROUND. ALL GAS AND ELECTRIC TO BE DESIGNED AND COORDINATED BY THE MEP ENGINEER AND CSU.

**LOT 1**  
AND CMMARRON FILING NO. 1  
REC. NO. 213718411  
ZONE: FBZ-CEN/ FBZ-CR(NCR)  
EX. BANK/ OFFICE

**ACORN PETROLEUM**  
BLOCK 264  
ADDITION NO. 1 TO  
THE TOWN OF  
COLORADO  
SPRINGS  
PLAT BK A, PG 7  
ZONE: FBZ-CEN  
USE: EX.  
COMMERCIAL  
FUELING STATION

**LOT 1**  
524 S. CASCADE  
SUBDIVISION  
(34,897 SF)  
0.801 ACRES  
(524 S. CASCADE AVE)  
LOTS 13-18 BLOCK 264  
ADDITION NO. 1 TO THE TOWN  
OF COLORADO SPRINGS  
PLAT BK A, PG 7

**LOT 2**  
PROP. GUEST HOUSE  
(3,268 SF)  
0.075 ACRES  
(12 W. MORENO AVE)

**LOT 1**  
PROP. CATBIRD HOTEL  
(129,582 SF)  
0.003 ACRES  
(524 S. CASCADE AVE)

**WHITE, WOLFE + SWEETS SUB OF BLOCK 258+280**  
ADDITION NO. 1 TO THE TOWN OF COLORADO  
SPRINGS PLAT BK A, PG 9  
ZONE: FBZ-T1  
EX. VACANT AND OCCUPIED RES. LOTS

DESCRIPTION	SYMBOL
PROPOSED FIRE HYDRANT	
PROPOSED WATER MAIN	
PROPOSED WATER SERVICES	
PROPOSED WASTEWATER MAIN	
PROPOSED WASTEWATER SERVICE	
PROPOSED STORM SEWER	
PROPOSED STORM INLET	
EXISTING STORM SEWER	
EXISTING STORM INLET	
EXISTING FIRE HYDRANT	
EXISTING WATER MAIN	
EXISTING WASTEWATER MAIN	
EXISTING GAS MAIN	
EXISTING ELECTRIC	
BOUNDARY LINE	
FIRE LANE - CURB STRIPING	
PROPOSED FENCE	
PROPOSED LIGHT POLE	

**GENERAL NOTES FOR ALL PRELIMINARY UTILITY PLANS**  
(REQUIRED FOR ALL DEVELOPMENT PLAN SUBMITTALS)

PROPERTY OWNER(S) ACKNOWLEDGE AND AGREE TO THE FOLLOWING UPON APPROVAL OF PRELIMINARY UTILITY PLAN:

- COLORADO SPRINGS UTILITIES (SPRINGS UTILITIES) SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION OF ALL WATER, WASTEWATER, ELECTRIC AND GAS FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THIS PRELIMINARY UTILITY PLAN.
- PROPERTY OWNER(S) ("OWNER") ACKNOWLEDGES THAT THE CONNECTION AND/OR EXTENSION OF UTILITY SERVICES TO THE PROPERTY IDENTIFIED IN THIS PRELIMINARY UTILITY PLAN ("PROPERTY") SHALL BE IN ACCORD WITH ALL APPLICABLE CODES AND REGULATIONS, SPRINGS UTILITIES LINE EXTENSION & SERVICE STANDARDS ("STANDARDS"), TARIFFS, COLORADO SPRINGS CITY CODE, RESOLUTIONS, AND POLICIES, AND Pikes Peak REGIONAL BUILDING DEPARTMENT CODES, IN EFFECT AT THE TIME OF UTILITY SERVICE CONNECTION AND/OR EXTENSION.
- OWNER ACKNOWLEDGES RESPONSIBILITY FOR THE COSTS OF EXTENSIONS OR UTILITY SYSTEM IMPROVEMENTS THAT SPRINGS UTILITIES DETERMINES NECESSARY TO PROVIDE UTILITY SERVICES TO THE PROPERTY OR TO ENSURE TIMELY DEVELOPMENT OF INTEGRATED UTILITY SYSTEMS SERVING THE PROPERTY AND AREAS OUTSIDE THE PROPERTY (INCLUDING THE COSTS TO DESIGN AND INSTALL WATER SYSTEMS, WASTEWATER COLLECTION SYSTEMS, AND ANY GAS OR ELECTRIC LINES TO AND WITHIN THE PROPERTY). OWNER MAY BE ELIGIBLE FOR A COST RECOVERY AGREEMENT AS PROVIDED IN UTILITIES' RULES AND REGULATIONS.
- SPRINGS UTILITIES UTILITY SERVICES ARE AVAILABLE ON A "FIRST-COME, FIRST-SERVED" BASIS, AND THEREFORE NO SPECIFIC ALLOCATIONS OR AMOUNTS OF UTILITY SERVICES, FACILITIES, CAPACITIES OR SUPPLIES ARE RESERVED FOR THE OWNER, AND SPRINGS UTILITIES MAKES NO COMMITMENT AS TO THE AVAILABILITY OF ANY UTILITY SERVICE UNTIL SUCH TIME AS AN APPLICATION FOR PERMANENT SERVICE IS APPROVED BY SPRINGS UTILITIES.
- THE RELOCATION OR ALTERATION OF ANY EXISTING UTILITY FACILITIES WITHIN THE PROPERTY WILL BE AT THE OWNER'S SOLE COST AND EXPENSE. IF SPRINGS UTILITIES DETERMINES THAT OWNER'S RELOCATION OR ALTERATION REQUIRES NEW OR UPDATED EASEMENTS, OWNER SHALL CONVEY THOSE EASEMENTS PRIOR TO RELOCATING OR ALTERING THE EXISTING UTILITY FACILITIES.
- OWNER SHALL DEDICATE BY PLAT AND/OR CONVEY BY RECORDED DOCUMENT, ALL PROPERTY AND EASEMENTS THAT SPRINGS UTILITIES DETERMINES ARE REQUIRED FOR ALL UTILITY SYSTEM FACILITIES NECESSARY TO SERVE THE PROPERTY OR TO ENSURE DEVELOPMENT OF AN INTEGRATED UTILITY SYSTEM. ALL EASEMENTS GRANTED BY SEPARATE INSTRUMENT SHALL UTILIZE SPRINGS UTILITIES' THEN-CURRENT PERMANENT EASEMENT AGREEMENT FORM.
- THE WATER SYSTEM FACILITIES MUST MEET SPRINGS UTILITIES CRITERIA FOR WATER QUALITY, RELIABILITY AND PRESSURE, INCLUDING LOOPING REQUIREMENTS (SEE SPRINGS UTILITIES LINE EXTENSION AND SERVICE STANDARDS).
- OWNER RECOGNIZES THAT THE EXTENSION OF WATER SYSTEM FACILITIES MAY AFFECT THE QUALITY OF WATER IN THE SPRINGS UTILITIES WATER SYSTEM. WHEN WATER QUALITY IS AFFECTED, OWNER ACKNOWLEDGES RESPONSIBILITY FOR ANY COSTS THAT SPRINGS UTILITIES DETERMINES NECESSARY IN ORDER TO MAINTAIN WATER QUALITY IN ITS SYSTEM AS A RESULT OF OWNER'S WATER SYSTEM EXTENSIONS. OWNER MAY BE REQUIRED TO SUBMIT A WATER QUALITY PLAN FOR THE PROJECT.
- OWNER MUST CONTACT SPRINGS UTILITIES FIELD ENGINEERING TO DETERMINE THE LOCATION OF ALL NATURAL GAS AND ELECTRIC METERS AND TRANSFORMERS AND TO SECURE APPROVAL OF GAS-SERVICE-LINE PRESSURES IN EXCESS OF SPRINGS UTILITIES STANDARD GAS SYSTEM PRESSURE. (CONTACT FIELD ENGINEERING NORTH 668-4985 OR SOUTH 668-5564).
- IT SHALL NOT BE PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH WITHIN ANY SPRINGS UTILITIES EASEMENT OR RIGHTS OF WAY WITHOUT THE WRITTEN APPROVAL OF SPRINGS UTILITIES. IMPROVEMENTS, STRUCTURES AND TREES SHALL NOT BE LOCATED WITHIN UTILITY EASEMENT, SHALL NOT VIOLATE NATIONAL ELECTRIC SAFETY CODE (NEC) PROVISIONS AND CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.
- SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF SPRINGS UTILITIES TO APPLY ITS STANDARDS; AND IF THERE ARE ANY CONFLICTS BETWEEN ANY APPROVED DRAWINGS AND ANY PROVISION OF STANDARDS OR THE CITY CODE, THEN THE STANDARDS OR CITY CODE SHALL APPLY. SPRINGS UTILITIES' APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF THE CITY OF COLORADO SPRINGS OR SPRINGS UTILITIES TO ADOPT DIFFERENT ORDINANCES, RULES, REGULATIONS, RESOLUTIONS, POLICIES OR CODES WHICH CHANGE ANY OF THE PROVISIONS OF THE STANDARDS SO LONG AS THESE APPLY TO THE CITY GENERALLY AND ARE IN ACCORD WITH THE THEN-CURRENT TARIFFS, RATES AND POLICIES OF SPRINGS UTILITIES.

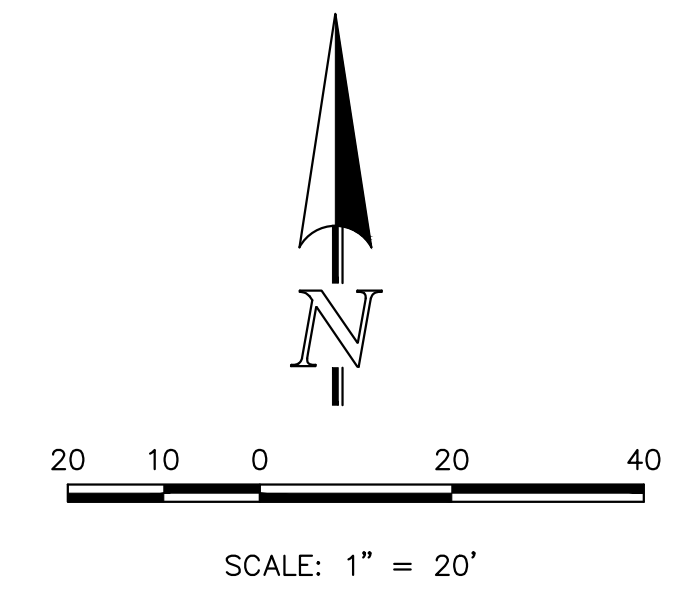
**FUTURE FOUR-WAY STOP**  
SIGN CONTROLLED  
INTERSECTION (CITY PROJECT)  
TO BE COMPLETED WITH CD'S

**BUILDING DATA**  
BUILDING NAME: KLEE HOUSE  
ADDRESS: 12 W. MORENO AVE.  
TAX ID NUMBER: 6418320019  
GROSS SQ FOOTAGE: 3,045 SF  
TYPE CONSTRUCTION: V-B  
BUILDING SPRINKLED: NO  
FIRE WALLS: NO  
REQ. GPM FIRE FLOW: 1500 GPM  
REQ. MIN. NUMBER HYDRANTS: 1  
AVG. DIST. BETWEEN HYD.: 500'  
MAX. HOSE LAY DIST.: 250'

**BUILDING DATA**  
BUILDING NAME: CATBIRD HOTEL  
ADDRESS: 524 S. CASCADE AVE.  
TAX ID NUMBER: 6418320019  
GROSS SQ. FOOTAGE: 129,582 SF  
TYPE CONSTRUCTION: I-B  
BUILDING SPRINKLED: YES  
FIRE WALLS: NO  
REQ. GPM FIRE FLOW: 2000 GPM (50% REDUCTION)  
REQ. MIN. NUMBER HYDRANTS: 2  
AVG. DIST. BETWEEN HYD.: 450'  
MAX. HOSE LAY DIST.: 225'

**NOTE:**  
FIRE SERVICE LINE CANNOT EXTEND MORE THAN 3' UNDER THE BUILDING SLAB.  
  
NO TREES ALLOWED WITHIN 15 LF OF A WATER OR WASTEWATER MAIN OR WITHIN 6 LF OF A ELECTRIC OR GAS DISTRIBUTION LINE.  
  
GAS METERS MUST BE A MINIMUM OF 3 LF FROM DOORS, OPERABLE WINDOWS, OR ANY VENTS OR OPENINGS IN WALLS.  
  
**NOTE:**  
EXISTING PARKING METERS TO BE REMOVED AND STORED BY CITY DURING CONSTRUCTION AND RELOCATED WITH SITE DEVELOPMENT.

- SWENT NOTES:**
- PROPOSED STORM SEWER INLETS, MANHOLES, AND PIPES ARE ALL PRIVATE UNLESS OTHERWISE INDICATED.
  - ALL STORM SEWER PIPE MATERIALS TO BE DWPP HDPE OR RCP AS ALLOWED BY THE CURRENT CITY OF COLORADO SPRINGS DCM.
  - ALL MANHOLES ARE TYPE I OR TYPE II AS ALLOWED BY THE CURRENT COLORADO SPRINGS DCM.
  - ALL INLETS TO BE D-10-R OR D-9 STANDARD DETAIL AS ALLOWED BY CURRENT COLORADO SPRINGS DCM.
  - ALL CURBS ARE CITY STANDARD TYPE 3 (6" VERTICAL), TYPE 1 (8" VERTICAL) OR ZERO HEIGHT AS INDICATED PER PLAN.
  - ALL PED. RAMPS AND CROSSPANS ARE CITY PER CITY STANDARD DETAILS.



**FOR CITY USE:**

FBZN-24-0013

619 N. Cascade Avenue, Suite 200  
Colorado Springs, Colorado 80903

524 S. CASCADE SUBDIVISION

FBZ DEVELOPMENT PLAN

PRELIMINARY UTILITY & PUBLIC FACILITY PLAN

DESIGNED BY	EAS	SCALE	DATE	10/15/2024
DRAWN BY	EAS	(H) 1" = 20'	SHEET	5 OF 18
CHECKED BY	(V) 1" = N/A	JOB NO.	2539.66	

N:\253966\DRAWINGS\DEVELOPMENT\05-253966-P01.dwg, 1/9/2025 1:00:04 PM, 1/1

# SITE SPECIFIC NOTES

THOSE RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE AA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OF STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.

REVOCABLE PERMITS REQUIRED FOR ALL SURFACE LEVEL (e.g. SIDEWALK STEPS) AND ELEVATED (e.g. AWNINGS) ENCROACHMENTS INTO THE PUBLIC RIGHT-OF-WAY, INCLUDING ART OR SCULPTURES.

ACCESSIBLE ROUTES, INCLUDING RAMPS AND SIDEWALKS, WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PER THE CITY'S STANDARD DRAWINGS AND SPECIFICATIONS. CITY'S ENGINEERING DEVELOPMENT REVIEW INSPECTOR WILL HAVE THE FINAL AUTHORITY ON ACCEPTING THE PUBLIC IMPROVEMENTS.

INSTALLATION OF ELECTRICAL DEVICES IN THE PUBLIC ROW SHALL BE PREFORMED IN ACCORDANCE WITH THE CITY SPECIFICATION SECTION 1001 AND COMPLETE THE COLORADO SPRINGS UTILITIES "ELECTRIC INSPECTION IN THE RIGHT-OF-WAY CERTIFICATE" IN ACCORDANCE WITH UTILITIES' REQUIREMENTS FOR ELECTRIFICATION. THE CERTIFICATE SHALL ALSO BE PROVIDED TO CTHE CITY INSPECTOR.

ALL STREET TREES AND STREETScape IMPROVEMENTS LOCATED IN THE ROW SHALL BE MAINTAINED BY THE ABUTTING PROPERTY OWNER.

# LEGAL DESCRIPTION & OWNER

THOSE RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE AA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OF STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.

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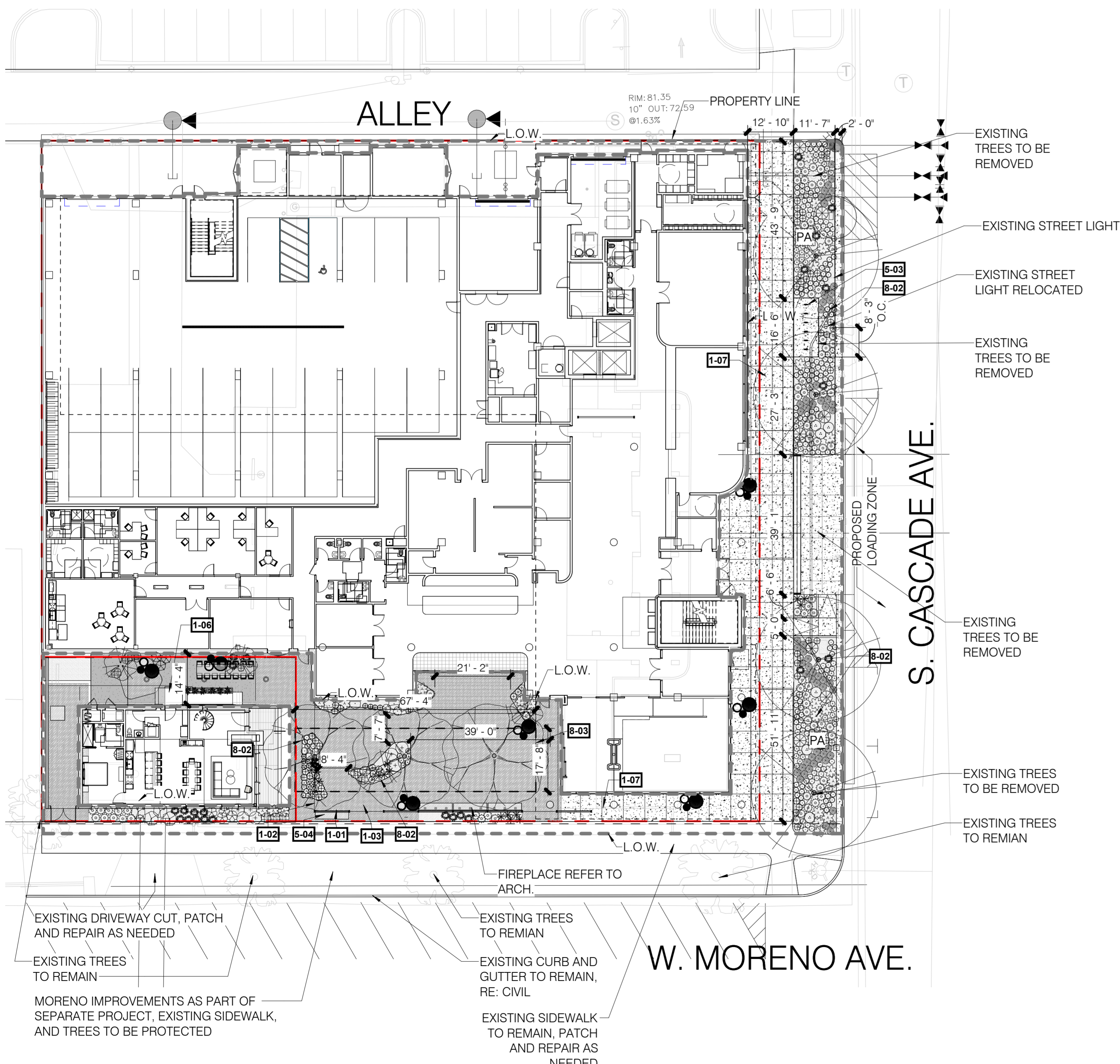
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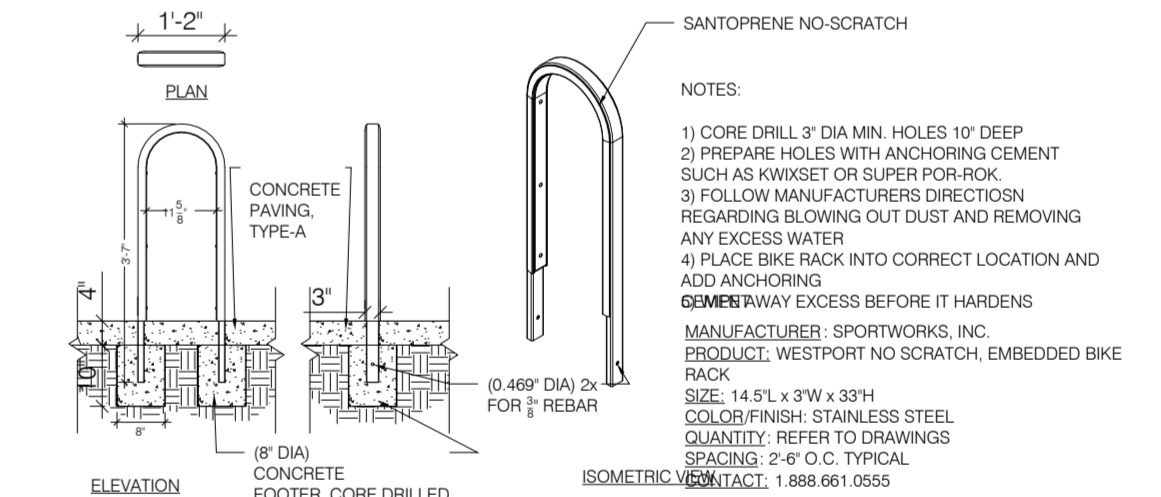
# MAINTENANCE STATEMENTS:

ALL LANDSCAPING SHOWN ON THIS PLAN SHALL BE MAINTAINED BY OWNER IN A NEAT AND ADEQUATE MANNER. REQUIRED MAINTENANCE ACTIVITIES SHALL INCLUDE, BUT NOT LIMITED TO, TRIMMING OG HEDGES, ADEQUATE IRRIGATION, REPLACEMENT OF DEAD, DISEASED OR UNSIGHTLY LANDSCAPING, REMOVAL OF WEEDS FROM PLANTED AREAS, AND APPROPRIATE PRUNING OF PLANT MATERIALS.



## STREETSCAPE & COURTYARD MATERIALS SCHEDULE

SYMBOL	DESCRIPTION
<b>1 - Paving &amp; Surfacing</b>	
1-01	Paver Type 1
1-02	Paver Type 2
1-03	Paver Type 3
1-06	Decomposed Granite
1-07	Concrete Type 1
<b>2 - Wall &amp; Fences</b>	
2-03	Build-in Planter Wall
<b>5 - Furnishings</b>	
5-03	Trio-Bike-Rack
5-04	Bench
5-05	Tournesol-Urban-TYPE A
5-06	Tournesol-Urban-TYPE B
5-07	Tournesol-Urban-TYPE C
<b>8 - Planting</b>	
8-02	Shredded Wood Mulch
8-03	Stratavault



**2 BIKE RACK**  
3/8" = 1'-0"

## SHEET INDEX

Sheet Number	Sheet Name
06	SITE PLAN
07	ROOFTOP PLAN
08	LANDSCAPE PLAN
09	HYDROZONE PLAN

**1 PRELIMINARY SITE PLAN**  
1" = 20'-0"

524 S. CASCADE AVENUE  
FBZ-CEN DEVELOPMENT PLAN  
PRELIMINARY SITE PLAN

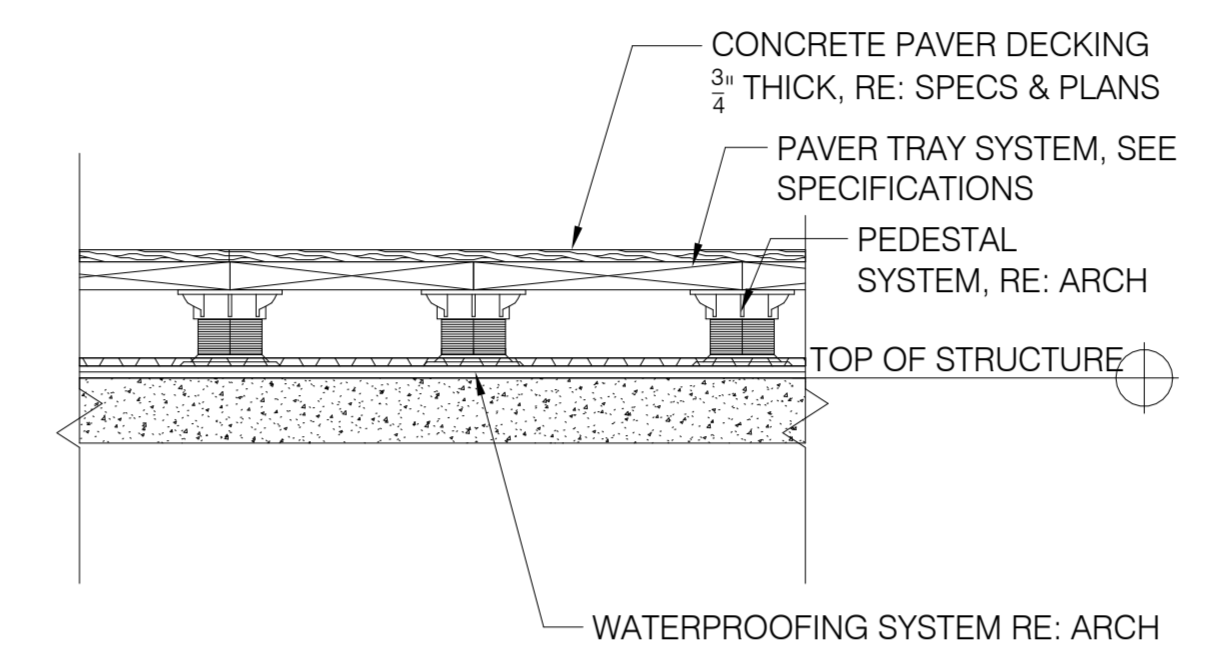
DESIGNED BY: TM/RZ  
DRAWN BY: TM/RZ  
CHECKED BY: TM/PS

SCALE: (+) 1" = 20'  
(V) 1" = N/A

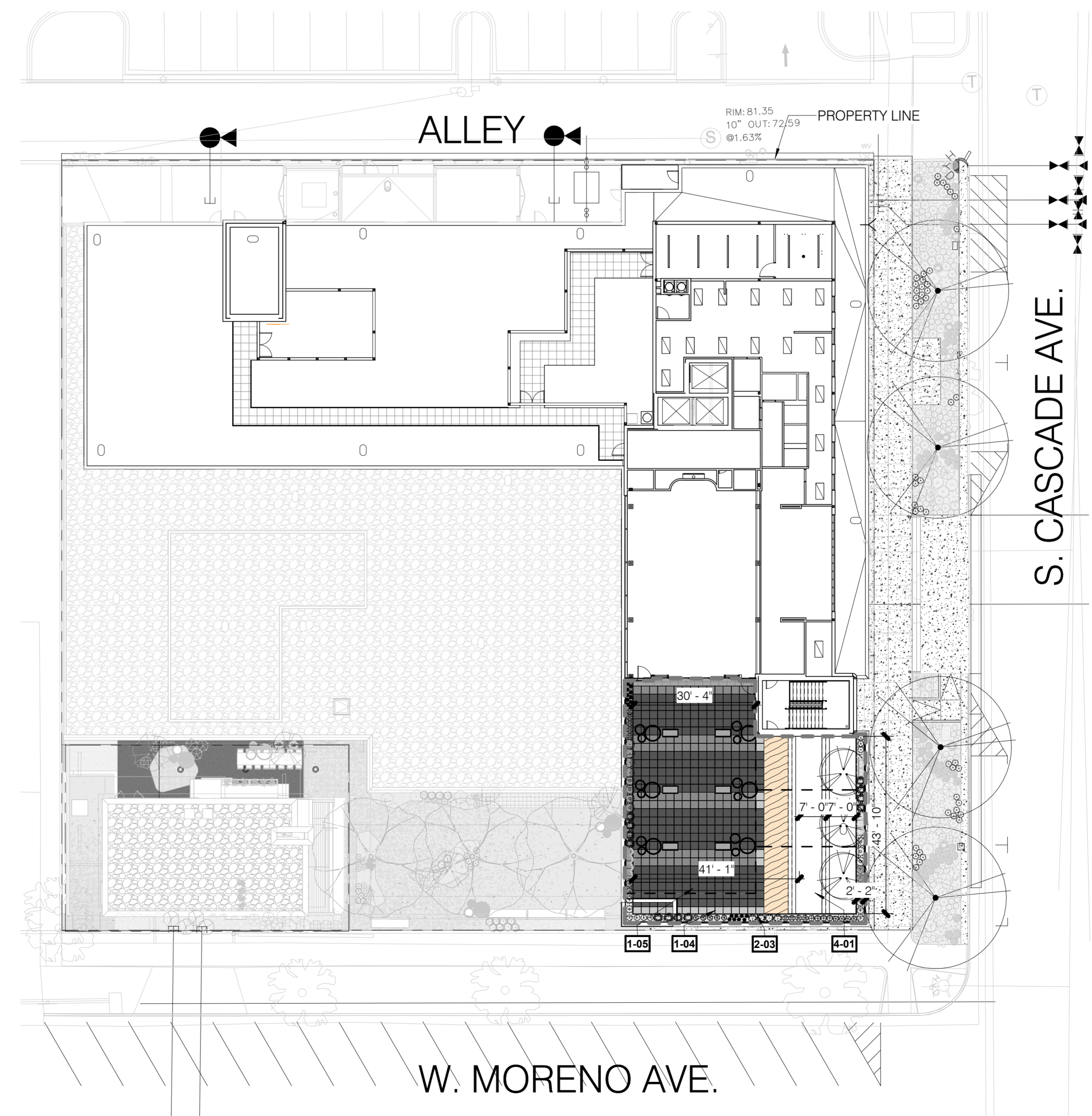
DATE: 10/15/2024  
SHEET: 6 OF 18  
JOB NO.: 2539.66

CITY FILE NUMBER

NOTE:  
 MANUFACTURER: ATLAS CONCORDE  
 PRODUCT: VARIES, REFER TO MATERIALS SCHEDULE  
 COLOR: VARIES, REFER TO MATERIALS SCHEDULE  
 LAYOUT & INSTALL PER MANUFACTURE'S SPECIFICATIONS.



**2** CONCRETE PAVER ON STRUCTURE  
 1" = 1'-0"



**1** PRELIMINARY AMENITY DECK  
 1" = 20'-0"

**ROOFTOP MATERIALS SCHEDULE**

SYMBOL	DESCRIPTION
<b>1 - Paving &amp; Surfacing</b>	
1-04	Roof Top Paver Type 1
1-05	Roof Top Paver Type 2
<b>2- Wall &amp; Fences</b>	
2-03	Build-in Planter Wall
<b>4 - Wood, Plastics and Composites</b>	
4-01	Roof Top Wood Deck
<b>5 - Furnishings</b>	
5-05	Tournesol-Urban-TYPE A
5-06	Tournesol-Urban-TYPE B
5-07	Tournesol-Urban-TYPE C
<b>8 - Planting</b>	
8-01	Planter Soil

FOR CITY USE:

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CITY FILE NUMBER

1521 15th Street  
Denver, Colorado 80202

524 S. CASCADE AVENUE

FBZ-CEN DEVELOPMENT PLAN  
PRELIMINARY AMENITY DECK

DESIGNED BY	TM/RZ	SCALE	DATE	10/15/2024
DRAWN BY	TM/RZ	(H) 1" = 20'	SHEET	7 OF 18
CHECKED BY	TM/PS	(V) 1" = N/A	JOB NO.	2539.66

### OVERALL PLANT SCHEDULE

Symbol	Plant Code	Botanical Name	Common Name	Size	Count
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Deciduous Trees					
	GLE SKY	Gleditsia triacanthos 'Skyline'	Skyline Honey Locust	3.5-4" CAL	3
	QUE RUB	Quercus rubra	Red Oak	3" Cal	4
7					

Ornamental Trees					
	AME GRA	Amelanchier x grandiflora 'Autumn Brilliance'	'Autumn Brilliance' Serviceberry	8" Clump	3
	CER CAN	Cercis canadensis	Eastern Redbud	10" Clump	4
7					

Annuals/Perennials					
	ACH MIL	Achillea millefolium	Common Yarrow	1 Gal	50
	AMS HUB	Amsonia hubrichtii	Arkansas Blue-star	1 Gal	7
	GER ROZ	Geranium x 'Rozanne' TM	Hybrid Cranesbill	1 Gal	25
	MON PE5	Monarda fistulosa 'Peter's Purple'	Peters Purple Bee Balm	1 Gal	14

### OVERALL PLANT SCHEDULE

Symbol	Plant Code	Botanical Name	Common Name	Size	Count
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	NEP WA2	Nepeta mussinii 'Walker's Low'	Walker's Low Catmint	1 Gal	8
	PER LIT	Perovskia atriplicifolia 'Little Spire' TM	Little Spire Russian Sage	2 Gal	4
	RUD G19	Rudbeckia fulgida 'Goldstrum'	Black Eyed Susan	1 Gal	7
	SAL BL2	Salvia x sylvestris 'Blue Hill'	Sage	2 Gal	5
	SAL CAR	Salvia nemorosa 'Caradonna'	Cardonna Perennial Salvia	2 Gal	9
	SAL MA3	Salvia x sylvestris 'May Night'	Sage	2 Gal	71
	SED AU3	Sedum x 'Autumn Joy'	Autumn Joy Sedum	5 Gal	94
294					

Evergreen Shrubs					
	ARC PAN	Arctostaphylos x 'Panchito'	Panchito Manzanita	5 Gal	8
	PIN WH2	Pinus mugo 'Whitebud'	Mugo Pine	5 Gal	7
15					

### OVERALL PLANT SCHEDULE

Symbol	Plant Code	Botanical Name	Common Name	Size	Count
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Grasses					
	BOU BL3	Bouteloua gracilis 'Blonde Ambition'	Blue Grama	1 Gal	63
	DES TU2	Deschampsia cespitosa	Tufted Hair Grass	1 Gal	14
	HEL BLU	Helictotrichon sempervirens 'Blue Oats'	Blue Oat Grass	1 Gal	28
	MUH CAP	Muhlenbergia capillaris	Pink Muhly	1 Gal	16
	PAN SH4	Panicum virgatum 'Shenandoah'	Switch Grass	1 Gal	37
	SCH PR2	Schizachyrium scoparium 'Prairie Blues'	Little Bluestem Grass	1 Gal	66
	SPO HET	Sporobolus heterolepis	Prairie Dropseed	1 Gal	98
322					

### OVERALL PLANT SCHEDULE

Symbol	Plant Code	Botanical Name	Common Name	Size	Count
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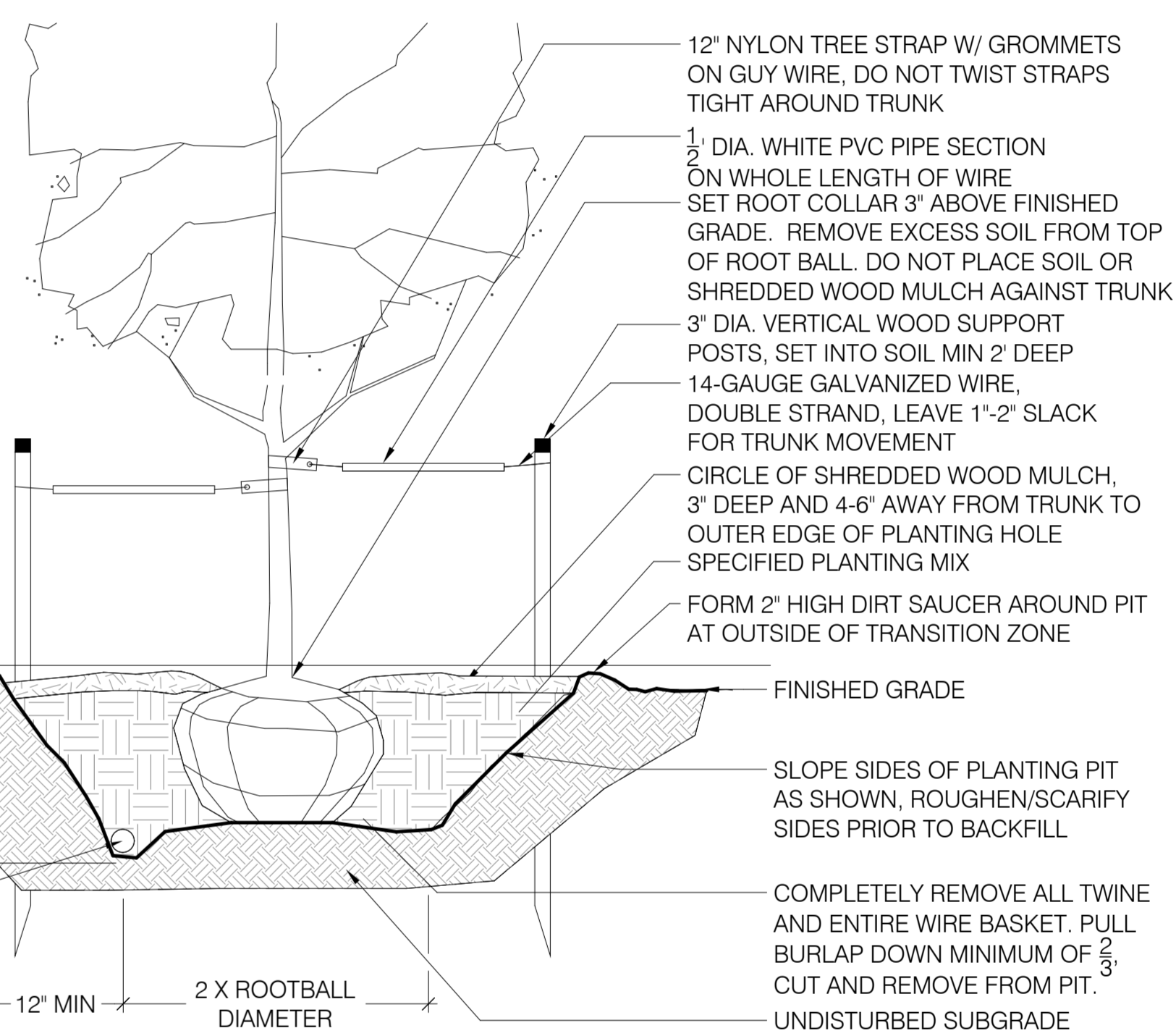
Shrubs					
	CAR CLA	Caryopteris x clandonensis 'Blue Mist'	Blue Mist Shrub	5 Gal	3
	COR ACT	Cornus stolonifera 'Arctic Fire'	Arctic Fire Dogwood	5 Gal	26
	HYD L58	Hydrangea paniculata 'Little Lime'	Little Lime Hydrangea	5 Gal	7
	PHY MON	Physocarpus monogynus	Mountain Ninebark	5 Gal	3
	RHU GRO	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	5 gal	9
	RIB AU2	Ribes alpinum 'Aureum'	Dwarf Golden Alpine Currant	5 Gal	4
	SYR MEY	Syringa meyeri 'Palibin'	Dwarf Korean Lilac	5 gal	4
56					

## LANDSCAPE NOTES

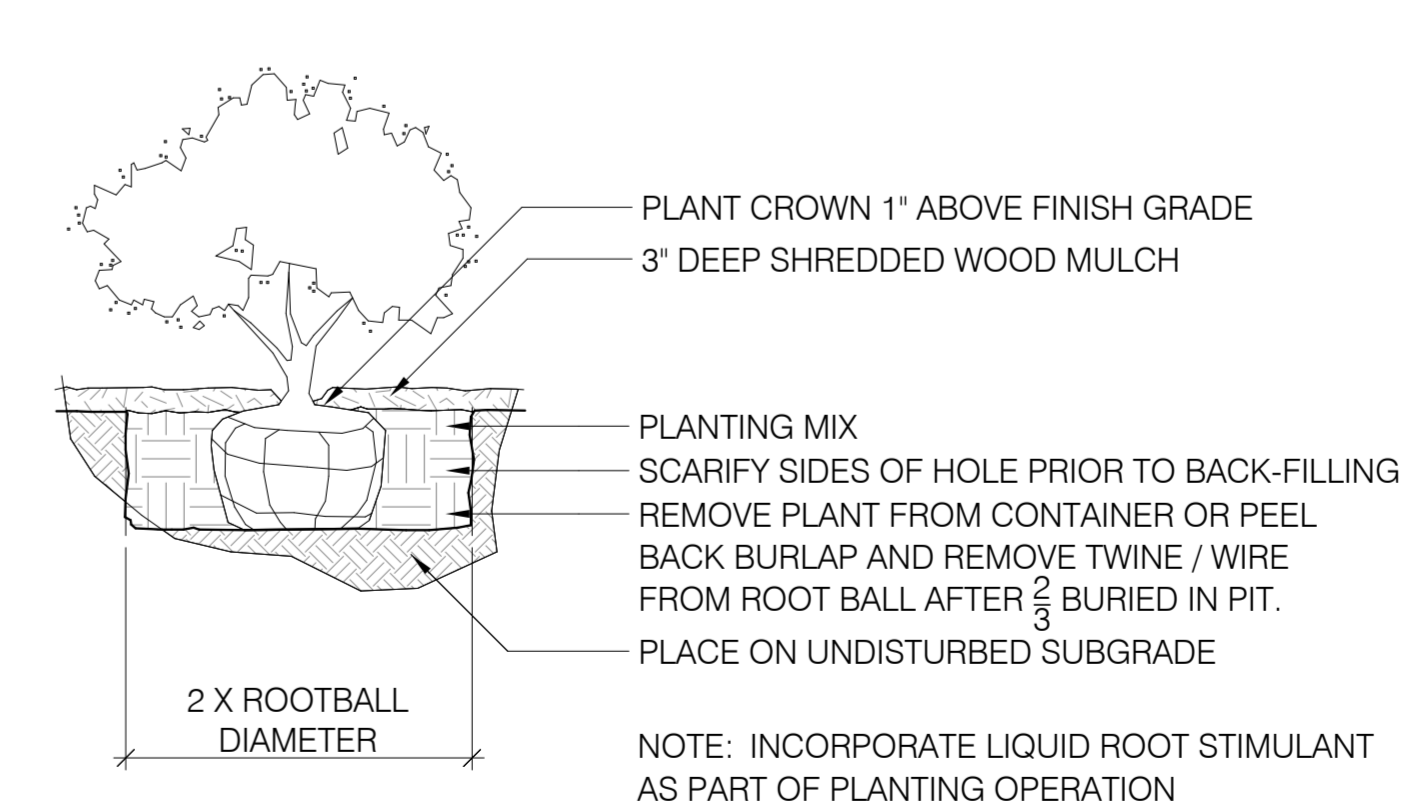
- A FINAL LANDSCAPE AND IRRIGATION PLAN, WITH APPLICABLE SUPPORTING MATERIAL, SHALL BE SUBMITTED AT THE TIME OF BUILDING PERMIT APPLICATION AND SHALL BE APPROVED BEFORE ANY BUILDING PERMIT APPROVAL, ANY LANDSCAPE OR IRRIGATION CONSTRUCTION, AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- ALL PROPOSED LANDSCAPING SHALL BE WATERED BY AN AUTOMATIC IRRIGATION SYSTEM WHICH WILL PROVIDE DRIP IRRIGATION TO ALL SHRUB BEDS AND TREES WITHIN NATIVE SEED AREAS AND SPRAY IRRIGATION TO ALL HIGH WATER USE TURF AND NATIVE SEED.
- THE OWNER OR DEVELOPER IS REQUIRED TO PROVIDE INSPECTION AFFIDAVITS EXECUTED BY THE COLORADO LICENSED LANDSCAPE ARCHITECT OR CERTIFIED IRRIGATION DESIGNER OF RECORD FOR THE PROJECT, WHICH CERTIFIES THAT THE PROJECT WAS INSTALLED AND IN COMPLIANCE WITH THE APPROVED FINAL LANDSCAPE AND IRRIGATION PLAN ON FILE IN CITY PLANNING. THIS SHOULD REQUIRE LIMITED CONSTRUCTION OBSERVATION VISITS TO ACCURATELY COMPLETE THE AFFIDAVITS. WHEN READY TO CALL FOR INSPECTION AND SUBMIT AFFIDAVITS, FIRST CONTACT THE CITY PLANNER OF RECORD FOR THE PROJECT (719-385-5905) AND AS NECESSARY OUR DRE OFFICE (719-385-5982).
- COPIES OF RECEIPTS/DELIVERY TICKETS FOR SOIL AMENDMENTS INSTALLED ON THE PROJECT ARE REQUIRED TO BE PROVIDED WITH THE INSPECTION AFFIDAVITS.
- IF SOIL IN THE PARKING LOT HAS BEEN COMPACTED BY GRADING OPERATIONS, THE SOIL WITHIN THE PLANTER SHALL BE TILLED, OR REMOVED TO A DEPTH OF THIRTY (30) INCHES AND REPLACED WITH AN ACCEPTABLE GROWING MEDIUM FOR THE SPECIES BEING INSTALLED.
- TILLING OF THE EXISTING SOIL TO INCORPORATE AMENDMENTS AND COUNTER ANY COMPACTION OR SOIL CONSOLIDATION SHALL BE REQUIRED FOR ALL LANDSCAPE PLANTING AREAS.
- ACCESSIBLE ROUTES, INCLUDING RAMPS AND SIDEWALKS, WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PER CITY ENGINEERING STANDARD DRAWINGS AND SPECIFICATIONS. ENGINEERING DEVELOPMENT REVIEW DIVISION INSPECTOR WILL HAVE THE FINAL AUTHORITY ON ACCEPTING THE PUBLIC IMPROVEMENTS.
- TREES SHALL MAINTAIN A 15'-0" SEPARATION FROM WATER AND WASTEWATER MAINS AND A 6'-0" MINIMUM SEPARATION FROM ELECTRIC AND GAS DISTRIBUTION LINES.
- LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF OWNER, AND/OR THEIR ASSIGNS.

#### NOTES:

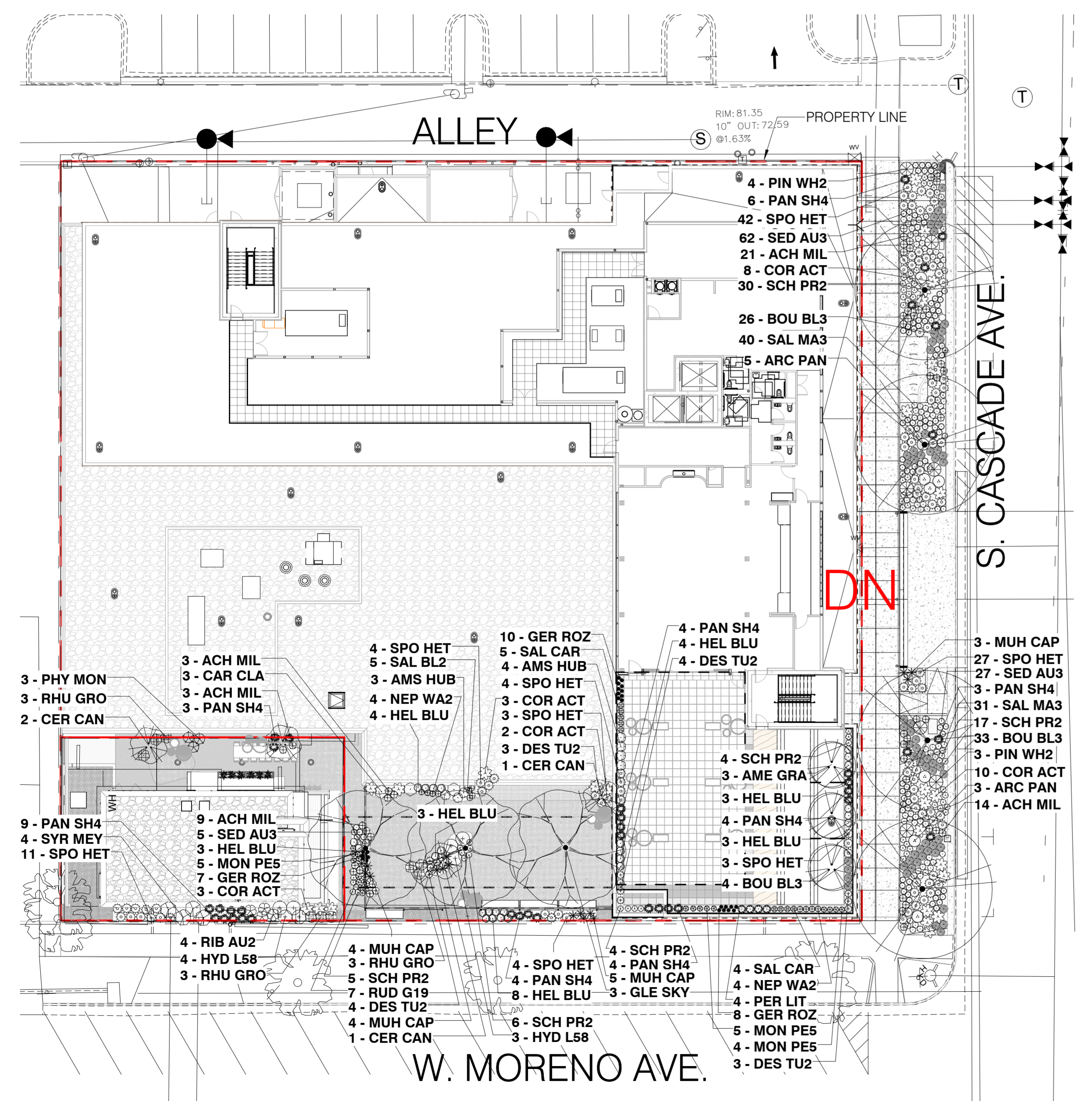
- DO NOT CUT SINGLE LEADER. PRUNE ONLY DAMAGED, DEAD WOOD, OR CO-DOMINANT LEADERS AT CITY FORESTER'S DIRECTION.
- ANY BROKEN, CRUMBLING OR OTHERWISE DAMAGED ROOTBALL WILL BE REJECTED. DAMAGE DURING PLANTING OPERATIONS WILL NOT BE EXCUSSED.
- FOR FALL PLANTING OF DECIDUOUS TREES: WRAP TRUNK TO FIRST BRANCH WITH SPECIFIED TREE WRAP MATERIAL. SECURE AT TOP WITH MASKING TAPE. DO NOT WRAP ROUGH BARK, POPULUS, OR GLEDITSIA TREES. REMOVE IN SPRING AS SPECIFIED.



2 DECIDUOUS TREE PLANTING (Development Plan)  
1/2" = 1'-0"



3 SHRUB PLANTING (Development Plan)  
1/2" = 1'-0"



1 PRELIMINARY LANDSCAPE PLAN  
1" = 20'-0"

CLASSIC CONSULTING

1521 15th Street  
Denver, Colorado 80202

(720)328-1986

524 S. CASCADE AVENUE

FBZ-CEN DEVELOPMENT PLAN  
PRELIMINARY LANDSCAPE PLAN

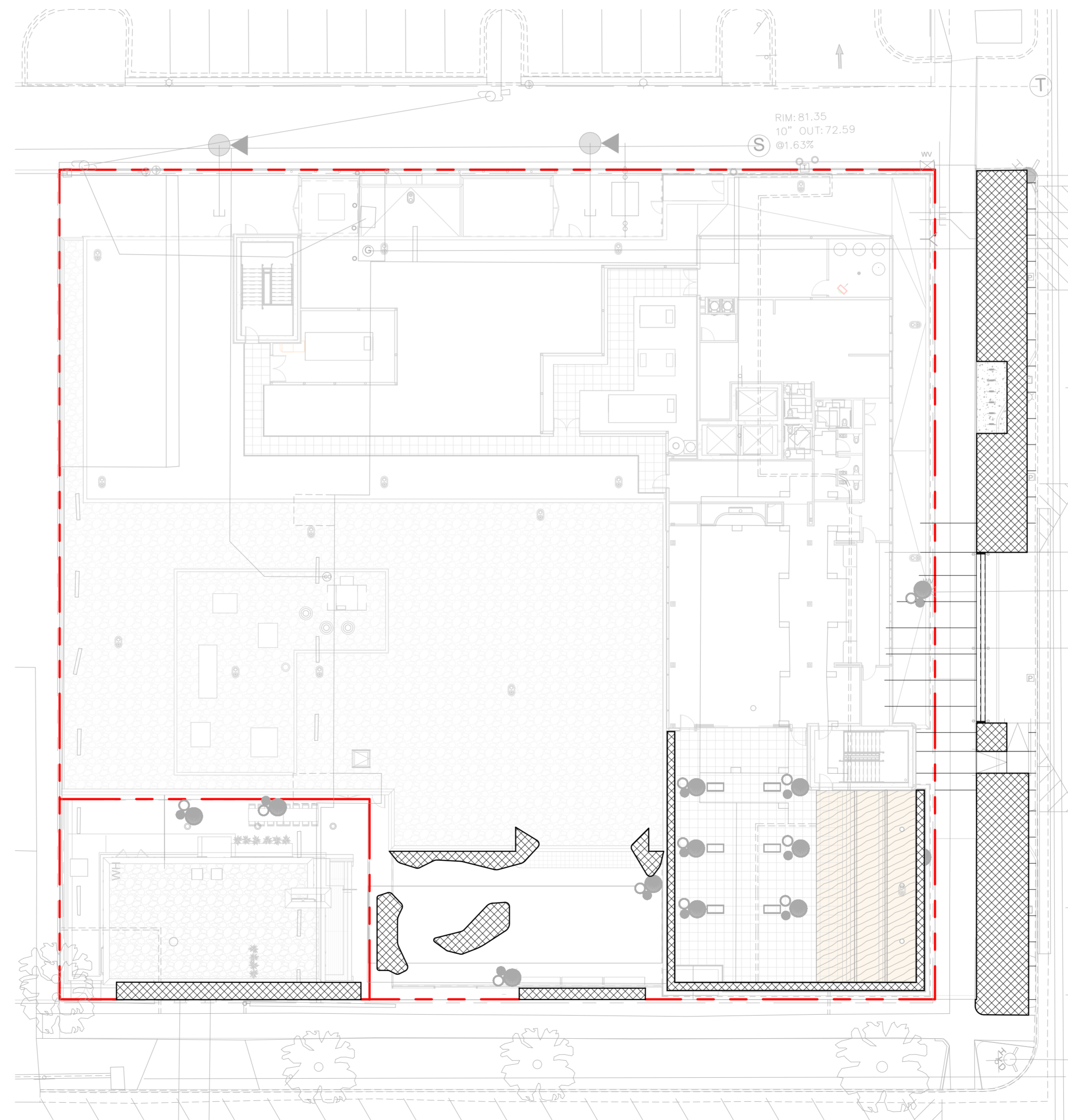
DESIGNED BY: TM/RZ SCALE: DATE: 10/15/2024

DRAWN BY: TM/RZ (+) 1" = 20' SHEET: 8 OF 18

CHECKED BY: TM/PS (V) 1" = N/A JOB NO.: 2539.66

CITY FILE NUMBER





### LEGEND

SITE WATER USE AREA TOTALS

 MED WATER USE(M) - 2528.26 SF

**1** Hydrozone  
1" = 20'-0"

FOR CITY USE:  
  
CITY FILE NUMBER



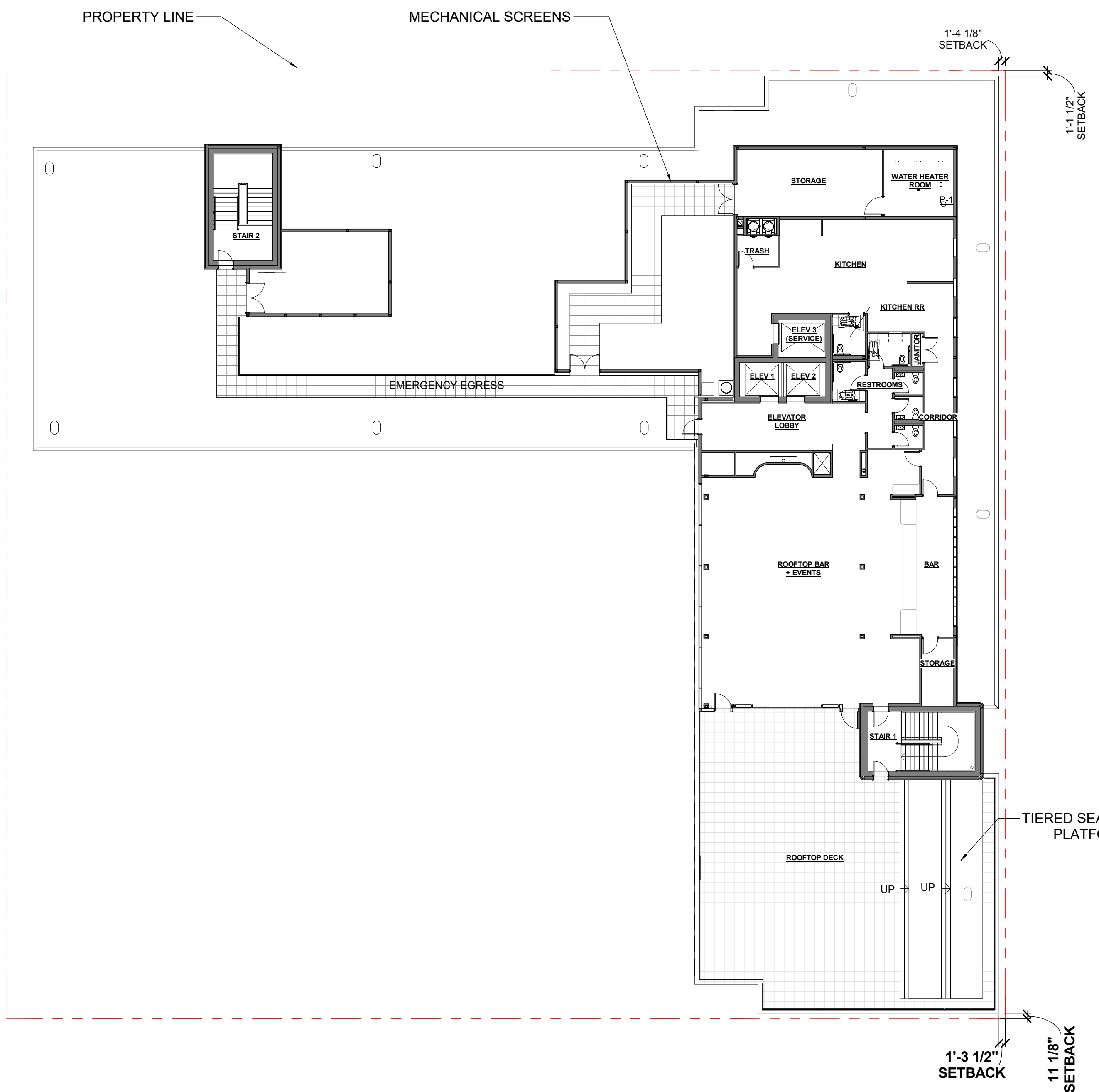
524 S. CASCADE AVENUE

FBZ-CEN DEVELOPMENT PLAN  
PRELIMINARY LANDSCAPE PLAN

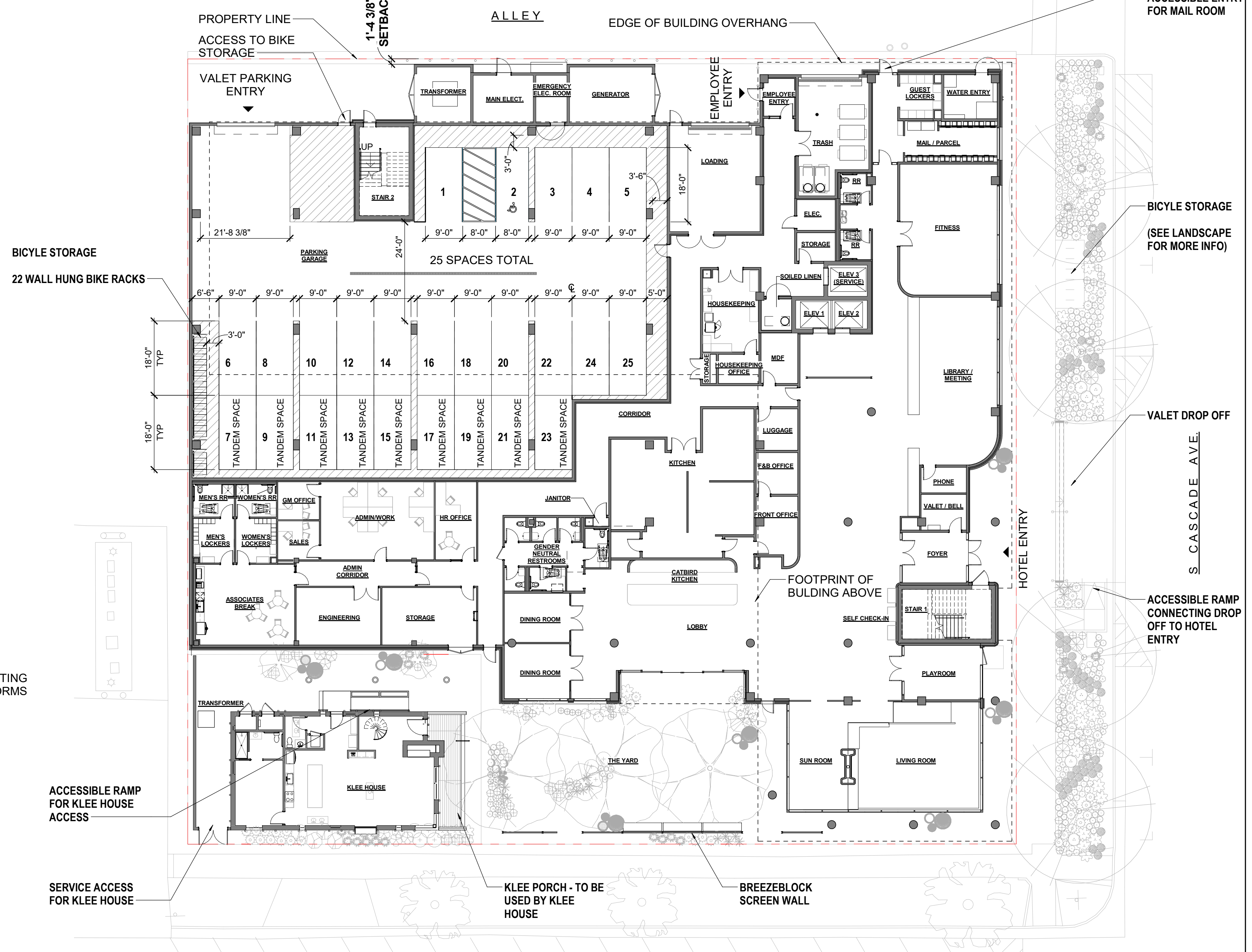
1521 15th Street  
Denver, Colorado 80202 (720)328-1886

DESIGNED BY	TM/RZ	SCALE	DATE	10/15/2024
DRAWN BY	TM/RZ	(H) 1"= 20'	SHEET	9 OF 18
CHECKED BY	TM/PS	(V) 1"= N/A	JOB NO.	2539.66





2 LEVEL 7 OVERALL FLOOR PLAN  
1/16" = 1'-0"

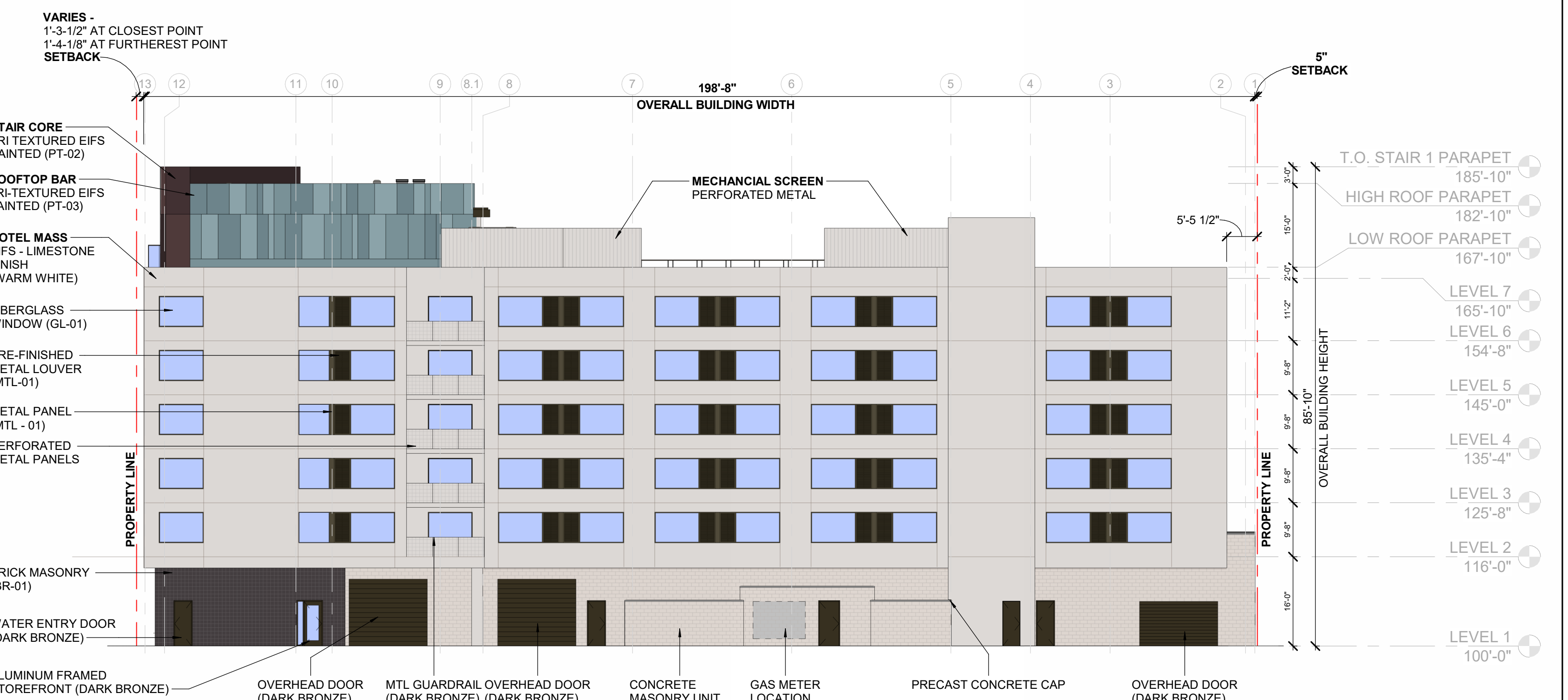
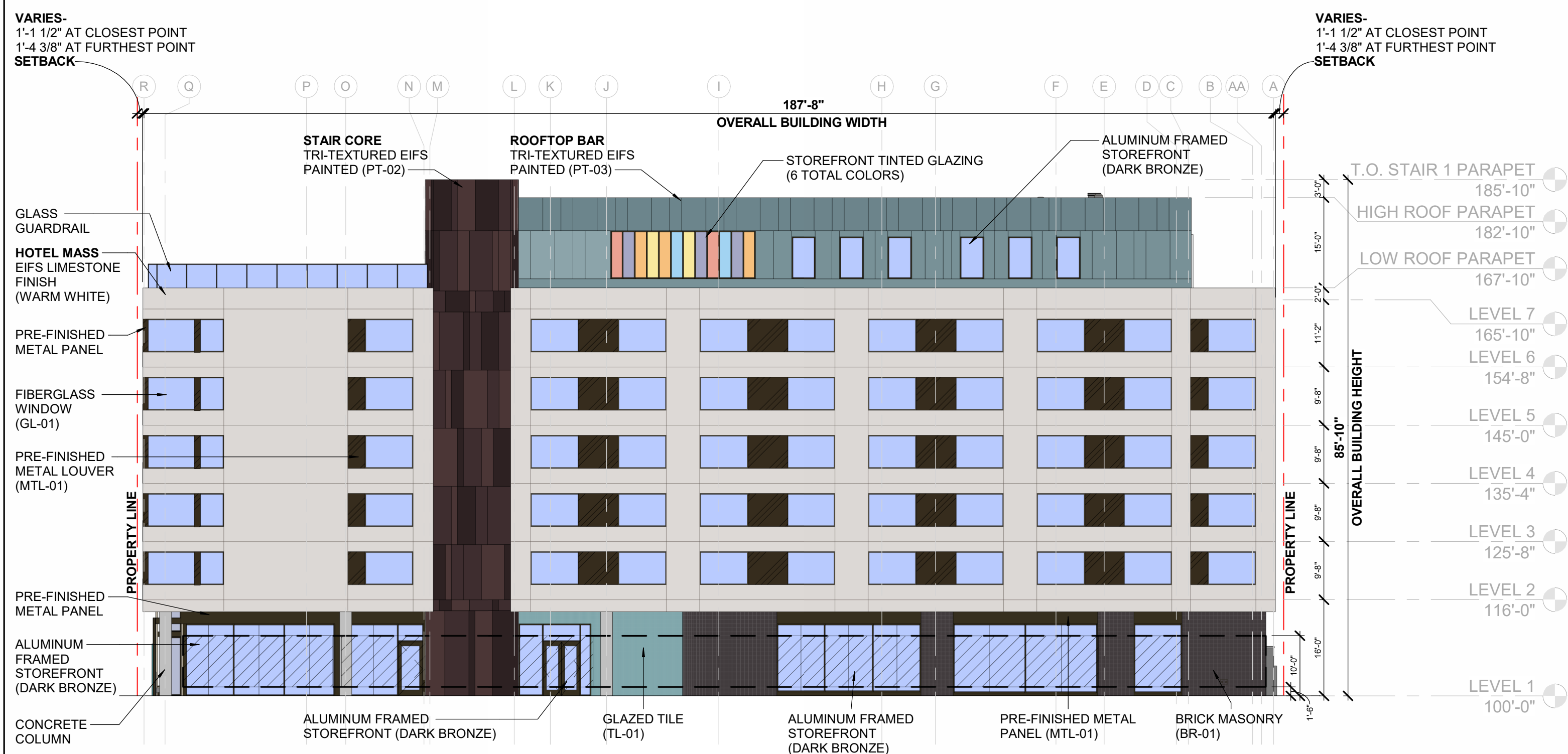
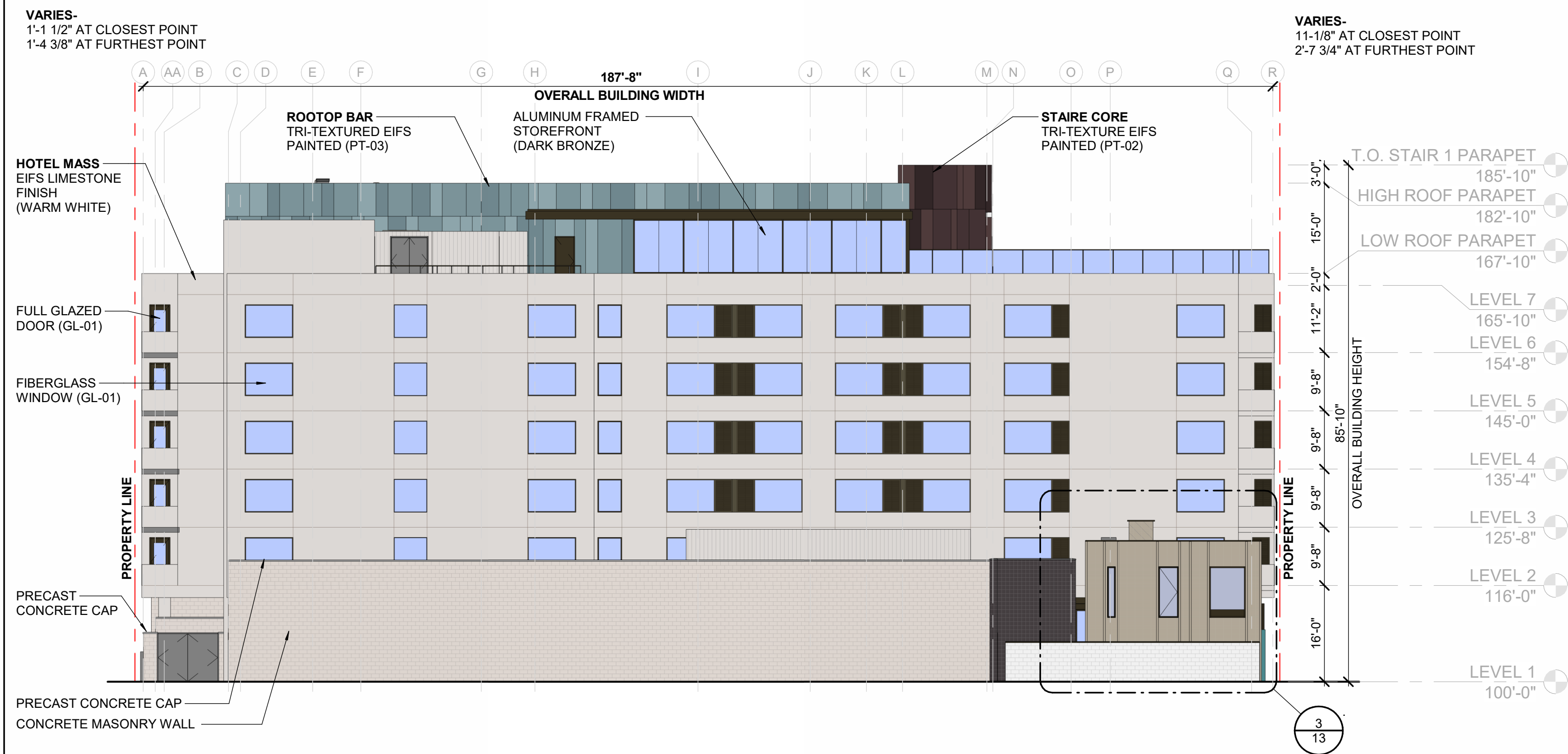


1 LEVEL 1 OVERALL FLOOR PLAN  
1/16" = 1'-0"



	524 S. CASCADE AVENUE	
	FBZ-CEN DEVELOPMENT PLAN	
	HOTEL - OVERALL PLANS	
	DESIGNED BY: JNS SCALE: DATE: 10/01/2024	
DRAWN BY: GG (H) 1" = 1/4" SHEET: 10 OF 18	CITY FILE NUMBER	
CHECKED BY: JZ (V) 1" = 1/4" JOB NO.: 2539.66		

618 N. Cascade Avenue, Suite 200  
Colorado Springs, Colorado 80903 (719) 785-0790



**CASCADE AVE. STREET-LEVEL TRANSPARENCY PERCENTAGES**

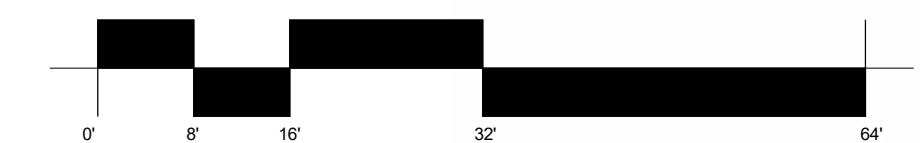
	TOTAL FACADE SQ.FT.	1523 SF
	TRANSPARENT GLAZING	908 SF
<b>MINIMUM REQ. %</b>	<b>PROVIDED %</b>	
SHOPFRONT GLAZING = 60%	GLAZING = 60%	

ACCORDING TO THE FORM BASED CODE 2.4.7 GLAZING AND FENESTRATION

**MORENO ST. STREET-LEVEL TRANSPARENCY PERCENTAGES (HOTEL)**

	TOTAL FACADE SQ.FT.	1,212 SF
	TRANSPARENT GLAZING	395 SF
<b>MINIMUM REQ. %</b>	<b>PROVIDED %</b>	
SHOPFRONT GLAZING = 60%	GLAZING = 32%	

ACCORDING TO THE FORM BASED CODE 2.4.7 GLAZING AND FENESTRATION



524 S. CASCADE AVENUE  
FBZ-CEN DEVELOPMENT PLAN  
HOTEL - OVERALL ELEVATIONS

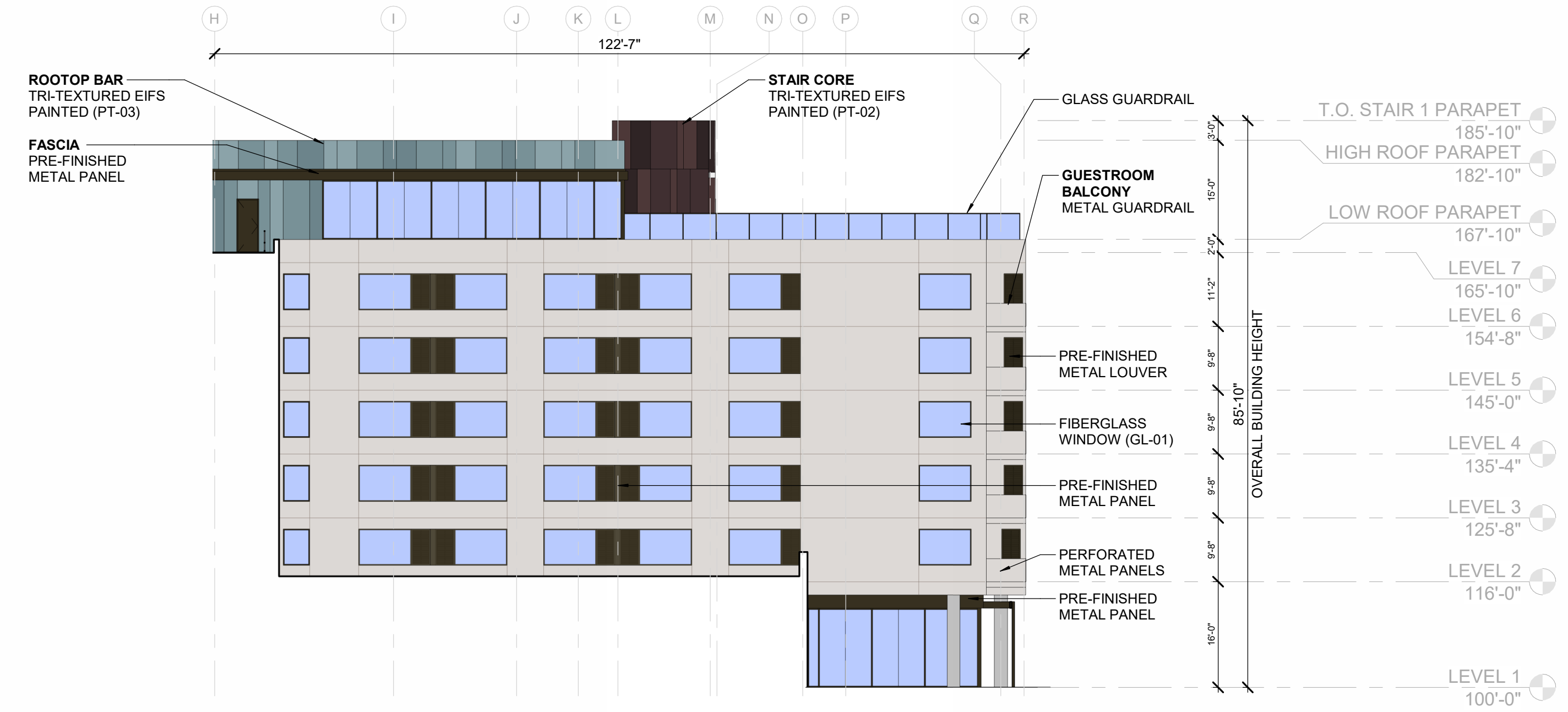
DESIGNED BY	JNS	SCALE	DATE	10/01/2024
DRAWN BY	GG	(H) 1" = 1/4"	SHEET	11 OF 18
CHECKED BY	JZ	(V) 1" = 1/4"	JOB NO.	2539.66

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Colorado Springs, Colorado 80903

(719) 785-0790

FOR CITY USE:  
  
CITY FILE NUMBER

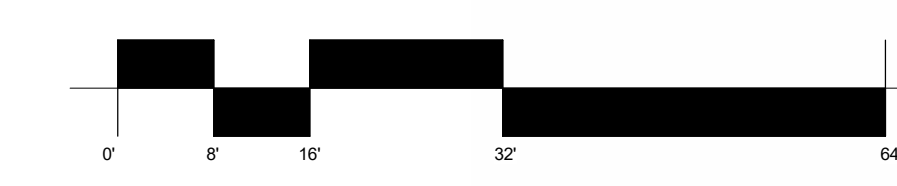




2 INTERNAL EAST ELEVATION  
1/16" = 1'-0"



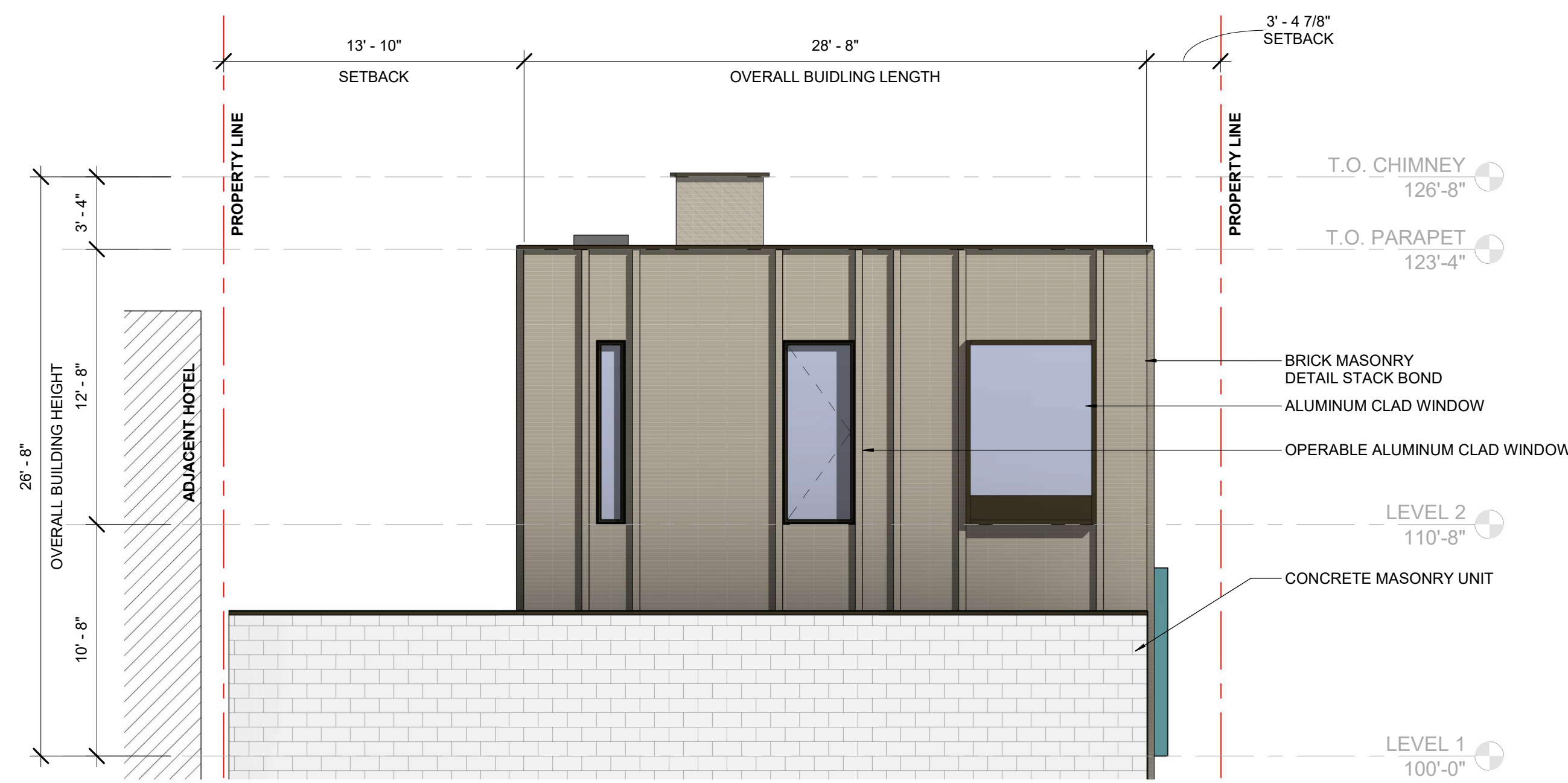
1 INTERNAL NORTH ELEVATION  
1/16" = 1'-0"



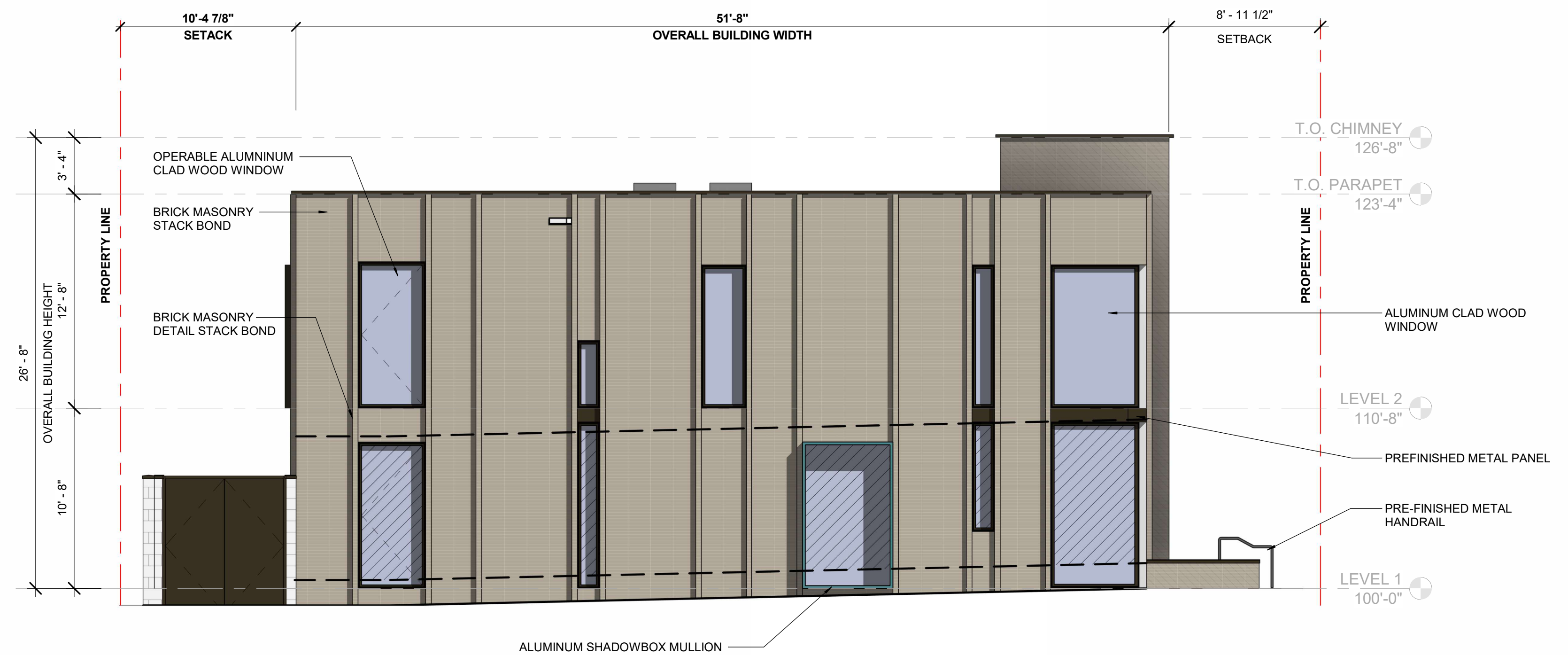
FOR CITY USE:  
  
CITY FILE NUMBER

	524 S. CASCADE AVENUE					
	FBZ-CEN DEVELOPMENT PLAN					
HOTEL - OVERALL ELEVATIONS		DESIGNED BY	JNS	SCALE	DATE	10/01/2024
		DRAWN BY	GG	(H) 1" = 1/4"	SHEET	12 OF 18
		CHECKED BY	JZ	(V) 1" = 1/4"	JOB NO.	2539.66

618 N. Cascade Avenue, Suite 200  
Colorado Springs, Colorado 80903 (719) 785-0790



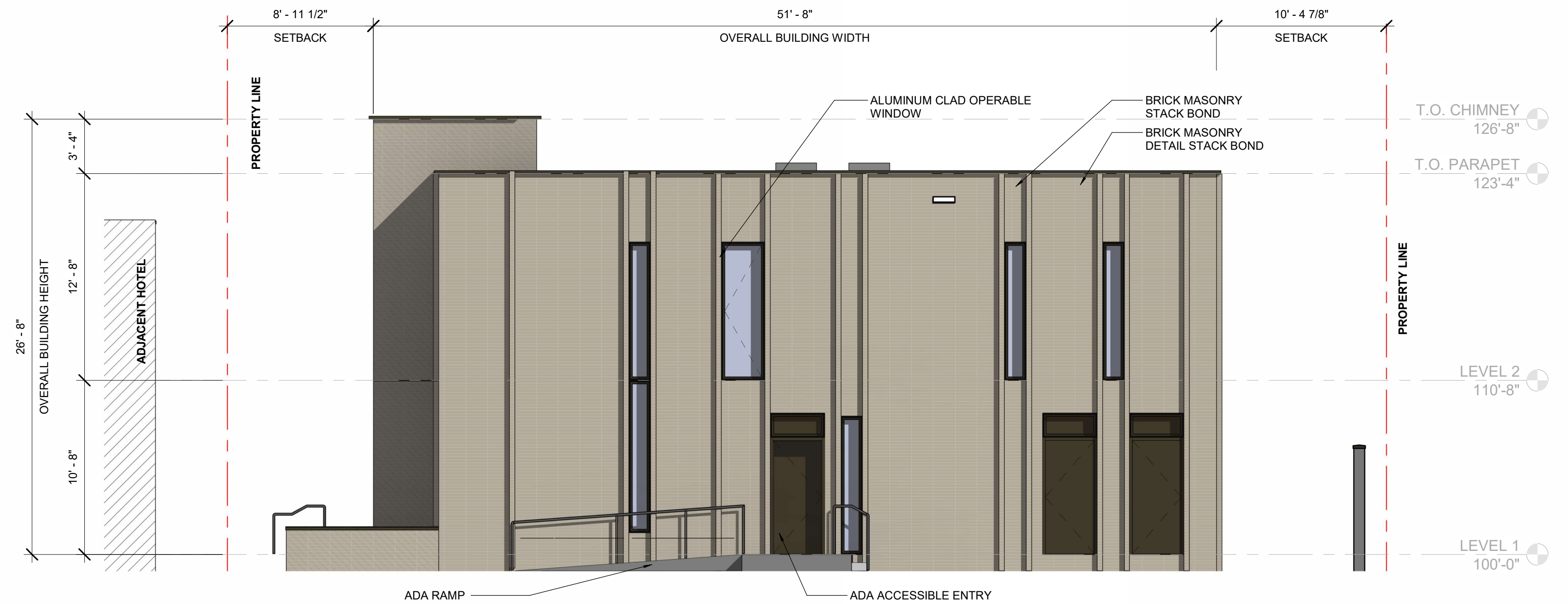
**3 KLEE HOUSE - WEST ELEVATION**  
3/16" = 1'-0"



**2 KLEE HOUSE - SOUTH ELEVATION (MORENO)**  
3/16" = 1'-0"



**4 KLEE HOUSE - EAST ELEVATION**  
3/16" = 1'-0"



**1 KLEE HOUSE - NORTH ELEVATION**  
3/16" = 1'-0"

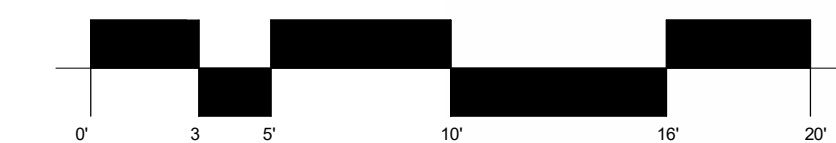
MINIMUM REQ. %		PROVIDED %
SHOPFRONT GLAZING = 60%		GLAZING = 28%

ACCORDING TO THE FORM BASED CODE 24.7 GLAZING AND FENESTRATION

**MORENO ST. STREET-LEVEL TRANSPARENCY PERCENTAGES (KLEE)**

TOTAL FACADE SQ.FT. 428 SF  
15' ABOVE GRADE AND TEN FEET IN HEIGHT RUNNING PARALLEL TO THE FRONT PROPERTY LINE

TRANSPARENT GLAZING 170 SF



524 S. CASCADE AVENUE  
 FBZ-CEN DEVELOPMENT PLAN  
 KLEE - OVERALL ELEVATIONS

618 N. Cascade Avenue, Suite 200  
 Colorado Springs, Colorado 80903

(719)785-0790

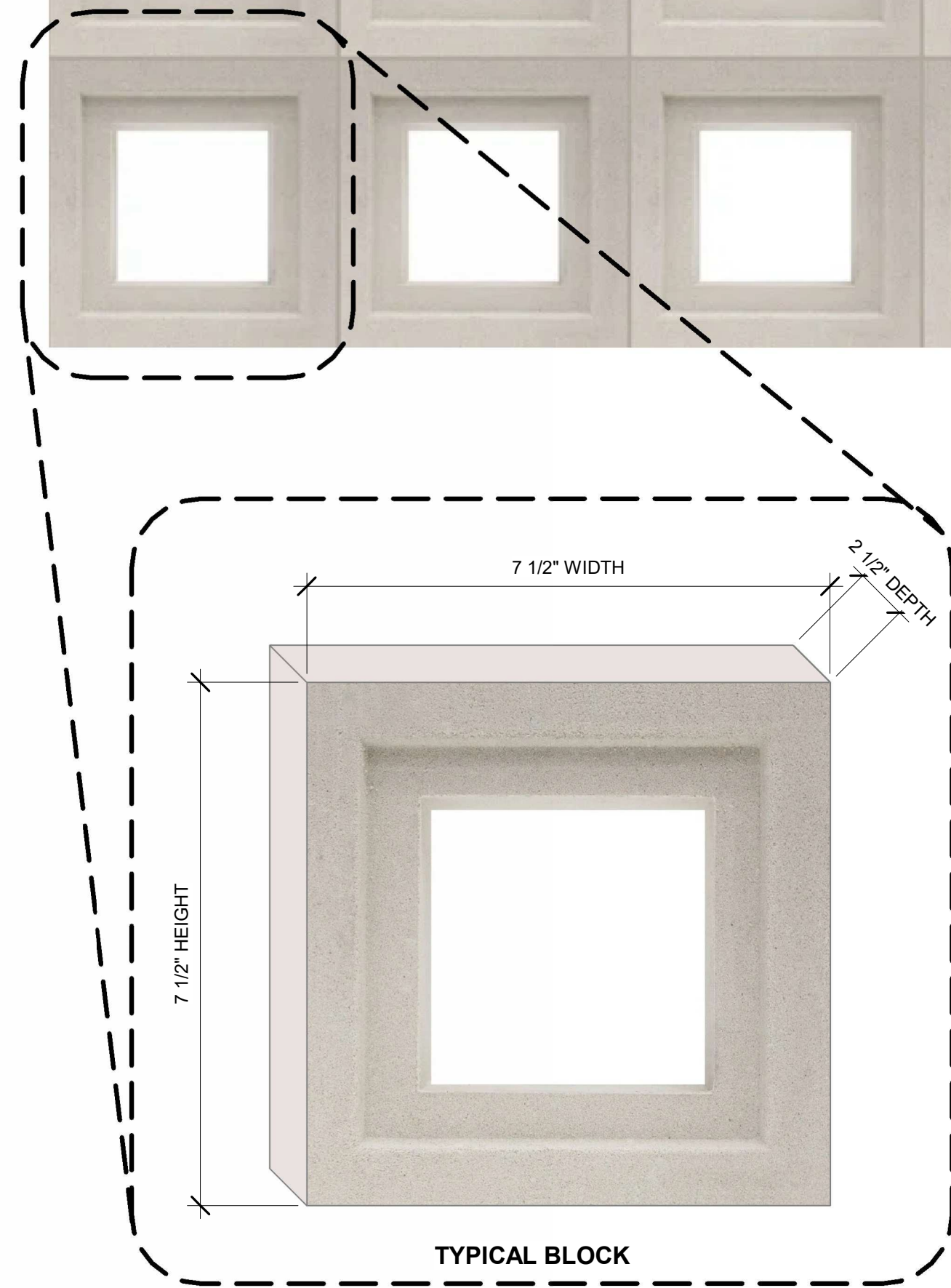
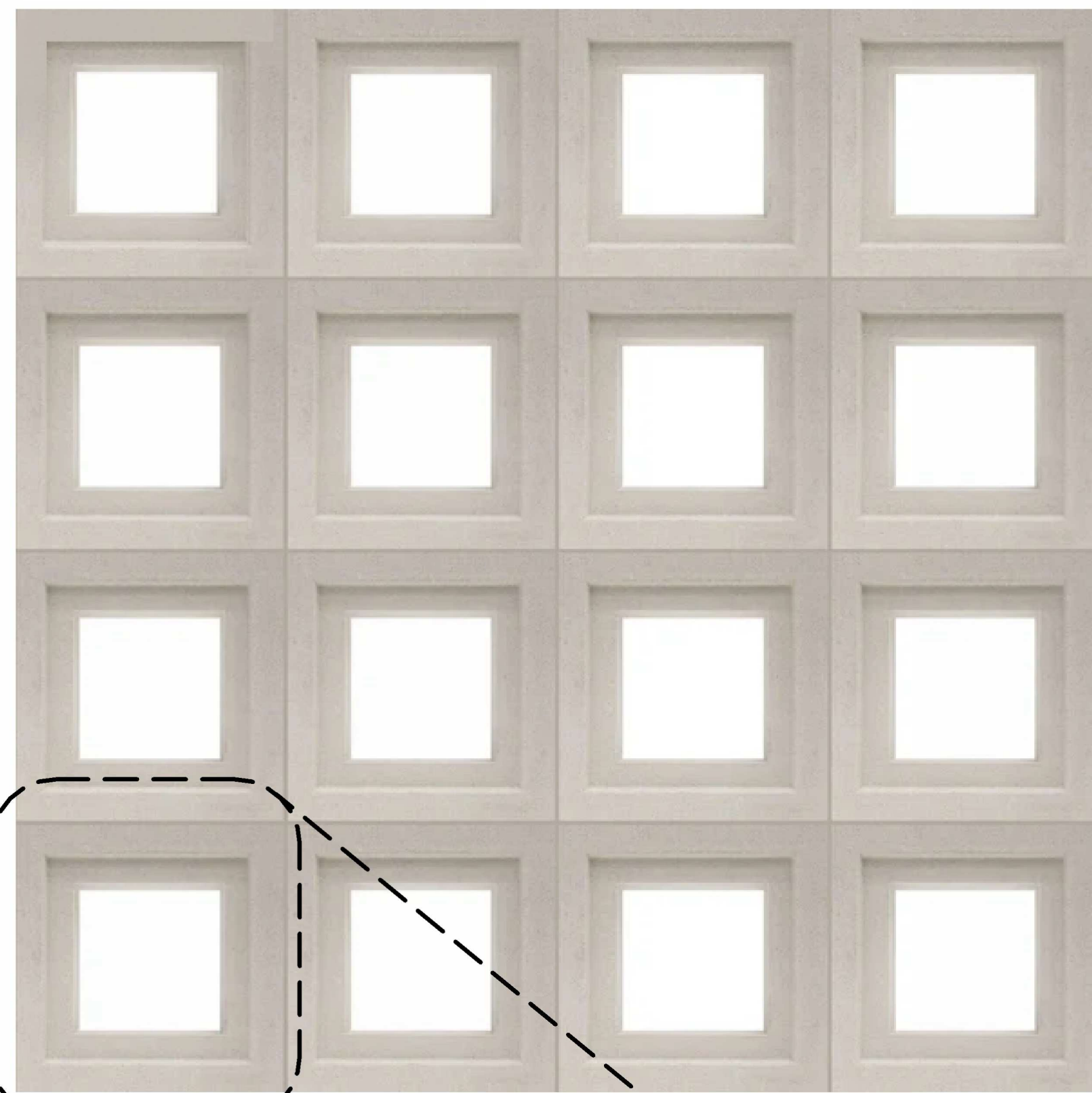
DESIGNED BY	JNS	SCALE	DATE	10/01/2024
DRAWN BY	GG	(H) 1" = 1/4"	SHEET	13 OF 18
CHECKED BY	JZ	(V) 1" = 1/4"	JOB NO.	2539.66

FOR CITY USE:

CITY FILE NUMBER

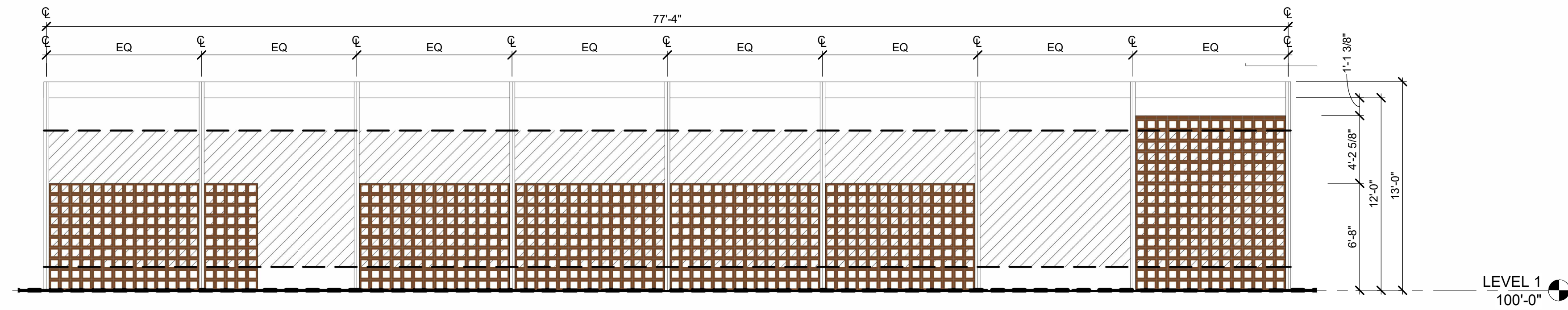


PRODUCT: BREEZEBLOCK  
 MANUFACTURER: TESELLE  
 COLOR: TERRACOTTA



2 BREEZEBLOCK IMAGES  
 6" = 1'-0"

MORENO ST. STREET-LEVEL POROSITY PERCENTAGES (BREEZEBLOCK)	
	TOTAL FAÇADE SQ.FT. 660 SF <small>16" ABOVE GRADE AND TEN FEET IN HEIGHT, RUNNING PARALLEL TO THE FRONT PROPERTY LINE</small>
	TRANSPARENT GLAZING 431 SF
	<b>PROVIDED %</b>
	POROSITY = 66%



3 BREEZEBLOCK ELEVATION  
 3/16" = 1'-0"



1 VIEW FROM MORENO  
 N.T.S.

FOR CITY USE:  
  
CITY FILE NUMBER

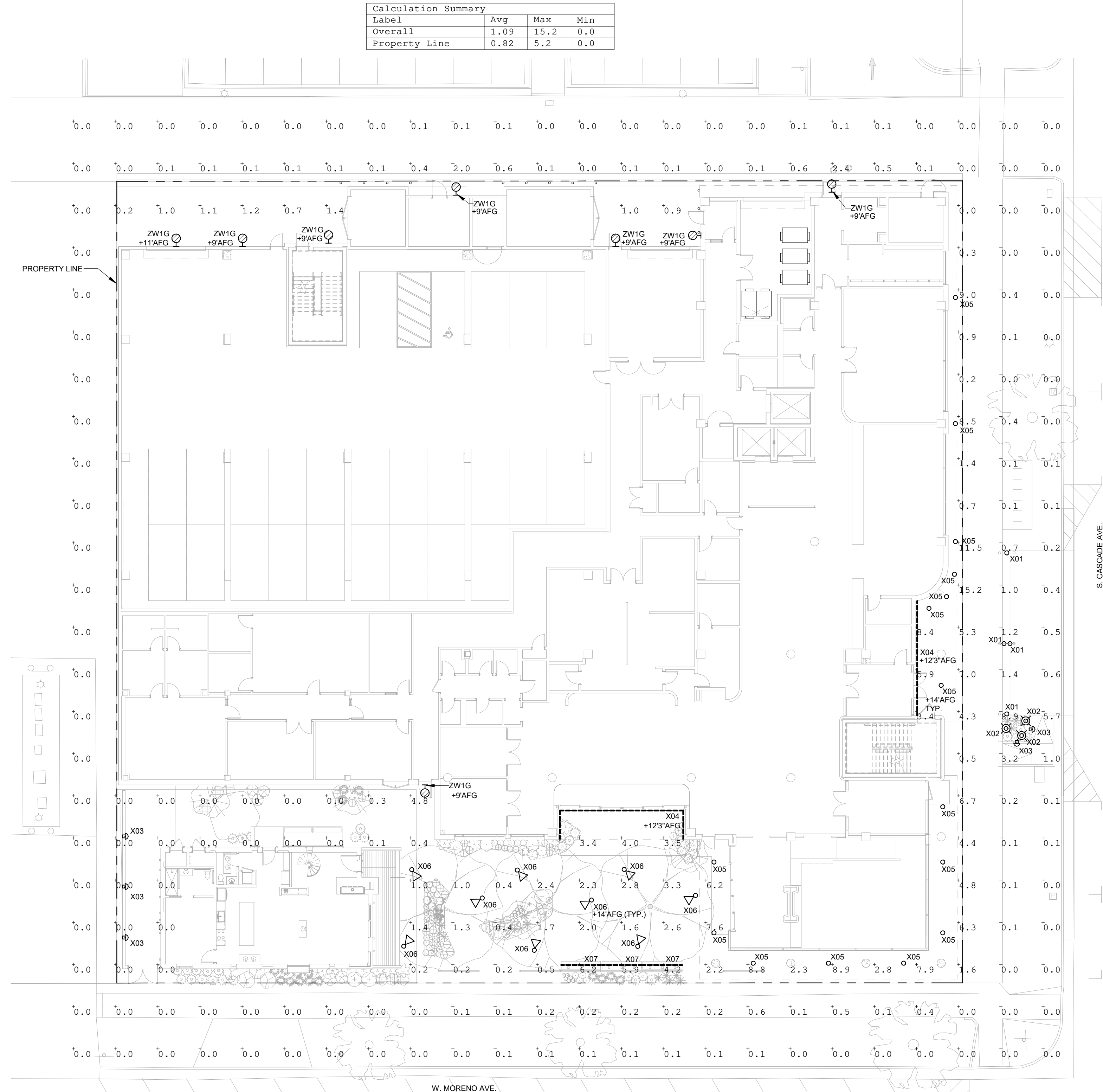
	524 S. CASCADE AVENUE			
	FBZ-CEN DEVELOPMENT PLAN BREEZEBLOCK DETAILS			
DESIGNED BY	JNS	SCALE	DATE	10/01/2024
DRAWN BY	GG	(H) 1" = N/A	SHEET	14 OF 18
CHECKED BY	JZ	(V) 1" = N/A	JOB NO.	2539.66

618 N. Cascade Avenue, Suite 200  
 Colorado Springs, Colorado 80903 (719)785-0790

**NOTES:**

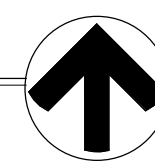
1. CALCULATION POINTS ARE BASED ON A 10' X 10' GRID.
2. LIGHT TRESPASS CALCULATIONS POINTS ARE BASED ON A 5' ON CENTER SPACING AT A HEIGHT OF 3'-0" ABOVE FINISH GROUND.
3. ALL ILLUMINANCE VALUES IN CALCULATION GRID ARE SHOWN AT GRADE AND WERE CALCULATED USING A LIGHT LOSS FACTOR OF 1.0.
4. PER CITY OF COLORADO SPRINGS UDC CODE SECTION 7.4.1203 C.1: ALL LIGHTING FIXTURES SHALL BE INSTALLED SO THAT LIGHT TRESPASS FROM ANY PROPERTY LINE, EXCEPT A PROPERTY LINE ADJACENT TO A PUBLIC STREET, SHALL NOT EXCEED ONE (1) FOOTCANDLE AT THE PROPERTY LINE. IT IS ASSUMED THE ALLEY TO THE NORTH IS A PUBLIC STREET IN ADDITION TO S. CASCADE AVE. AND W. MORENO AVE.
5. ALL LIGHTS ARE AIMED DOWN TO REDUCE GLARE BEYOND THE PROPERTY LINE. REFER TO LUMINAIRE SCHEDULE FOR BUG RATINGS.
6. ALL EXTERIOR LIGHTING TO BE CONTROLLED ACCORDING TO 2021 IECC REQUIREMENTS.

Calculation Summary			
Label	Avg	Max	Min
Overall	1.09	15.2	0.0
Property Line	0.82	5.2	0.0



SITE LUMINAIRE SCHEDULE											
TYPE	DESCRIPTION	MOUNTING					INPUT WATTS	MANUFACTURER	CATALOG NUMBER	SPECIFIC NOTES	
			TYPE	INITIAL LUMENS	CRI	CCT					
X01	HANDRAIL LIGHT	HANDRAIL	LED	160	80	2700K	B0-U1-G0	1.5	WILA	PUCK-XT SERIES	
X02	LANDSCAPE LIGHT	STAKE	LED	540	80	2700K	B0-U0-G0	8.4	ZANEEN	FONT POST SERIES	
X03	STEP LIGHT	IN WALL	LED	46	90	2700K	B0-U1-G0	46	DESIGNPLAN	NAKA 2.1 SERIES	
X04	LINEAR LED IN ROUND LENS CHANNEL CONCEALED IN WALL	SURFACE	LED	300 LMFT	90	2700K	B1-U2-G1	2.5 W/FT	KELVIX	OUTDOOR WHITE LIGHT TAPE SERIES WITH CH-016	
X05	RECESSED LED DOWNLIGHT	RECESSED	LED	1100	90	2700K	B1-U0-G0	13.4	USAI	BEVELLED MINI BASIC SERIES	
X06	MOONLIGHTS MOUNTED HIGH IN TREES	TREE	LED	189	80	2700K	B0-U3-G0	2.3	SPJ	LIL BEAST SERIES	
X07	LINEAR LED IN ROUND LENS CHANNEL UNDER BENCH	SURFACE	LED	100 LMFT	90	2700K	B1-U2-G1	2.5 W/FT	KELVIX	OUTDOOR WHITE LIGHT TAPE SERIES WITH CH-016	
ZW1G	EXTERIOR WALL PACK WITH FULL CUTOFF DISTRIBUTION	WALL	LED	1024	80	2700K	B1-U0-G0	20.5	BEGA	B22360-2700K*	

**SITE PHOTOMETRIC PLAN**  
SCALE: 1/16" = 1'-0"



FOR CITY USE:

CITY FILE NUMBER



524 S. CASCADE AVENUE  
FBZ-CEN DEVELOPMENT PLAN  
SITE PHOTOMETRIC PLAN



619 N. Cascade Avenue, Suite 200  
Colorado Springs, Colorado 80903

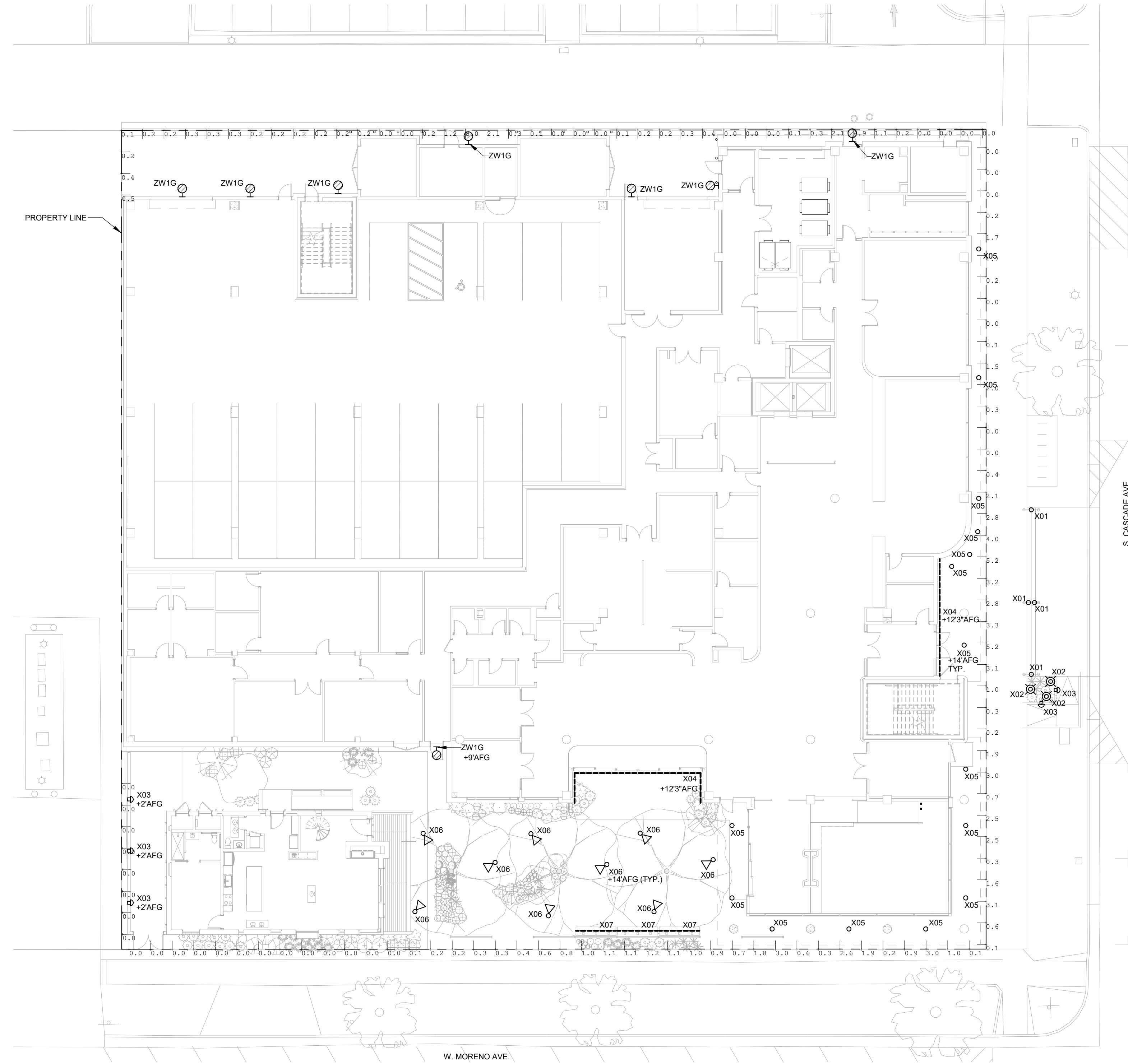
(719)785-0790

DESIGNED BY	TLN	SCALE	DATE	10/15/2024
DRAWN BY	TLN	(H) 1"= N/A	SHEET	15 OF 18
CHECKED BY		(V) 1"= N/A	JOB NO.	2539.66

**NOTES:**

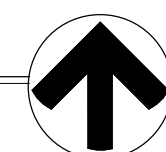
1. CALCULATION POINTS ARE BASED ON A 10' X 10' GRID.
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4. PER CITY OF COLORADO SPRINGS UDC CODE SECTION 7.4.1203 C.1: ALL LIGHTING FIXTURES SHALL BE INSTALLED SO THAT LIGHT TRESPASS FROM ANY PROPERTY LINE, EXCEPT A PROPERTY LINE ADJACENT TO A PUBLIC STREET, SHALL NOT EXCEED ONE (1) FOOTCANDLE AT THE PROPERTY LINE. IT IS ASSUMED THE ALLEY TO THE NORTH IS A PUBLIC STREET IN ADDITION TO S. CASCADE AVE. AND W. MORENO AVE.
5. ALL LIGHTS ARE AIMED DOWN TO REDUCE GLARE BEYOND THE PROPERTY LINE. REFER TO LUMINAIRE SCHEDULE FOR BUG RATINGS.
6. ALL EXTERIOR LIGHTING TO BE CONTROLLED ACCORDING TO 2021 IECC REQUIREMENTS.

Calculation Summary			
Label	Avg	Max	Min
Overall	1.09	15.2	0.0
Property Line	0.82	5.2	0.0



**SITE PHOTOMETRIC PLAN - PROPERTY LINE**

SCALE: 1/16" = 1'-0"



FOR CITY USE:

CITY FILE NUMBER



524 S. CASCADE AVENUE  
 FBZ-CEN DEVELOPMENT PLAN  
 SITE PHOTOMETRIC PLAN - PROPERTY LINE



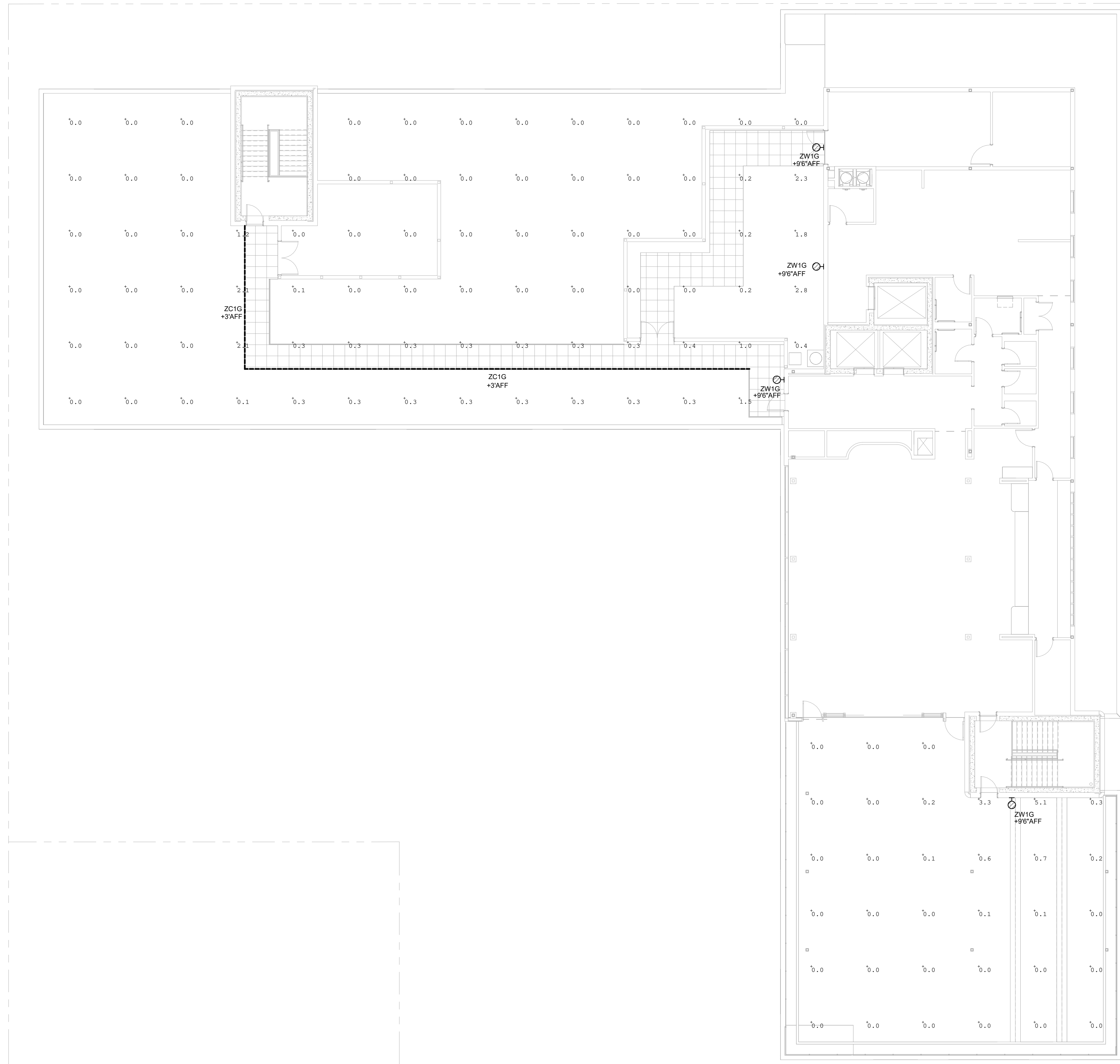
619 N. Cascade Avenue, Suite 200  
 Colorado Springs, Colorado 80903

(719)785-0790

DESIGNED BY	TLN	SCALE	DATE	10/15/2024
DRAWN BY	TLN	(H) 1"=	N/A	SHEET 16 OF 18
CHECKED BY		(V) 1"=	N/A	JOB NO. 2539.66



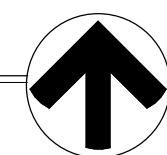
Calculation Summary			
Label	Avg	Max	Min
Roof Top Deck	0.32	5.1	0.0
Roof Top Egress	0.28	2.8	0.0



**NOTES:**

1. CALCULATION POINTS ARE BASED ON A 10' X 10' GRID.
2. LIGHT TRESPASS CALCULATIONS POINTS ARE BASED ON A 5' ON CENTER SPACING AT A HEIGHT OF 3'-0" ABOVE FINISH GROUND.
3. ALL ILLUMINANCE VALUES IN CALCULATION GRID ARE SHOWN AT GRADE AND WERE CALCULATED USING A LIGHT LOSS FACTOR OF 1.0.
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6. ALL EXTERIOR LIGHTING TO BE CONTROLLED ACCORDING TO 2021 IECC REQUIREMENTS.

**ROOF TOP PHOTOMETRIC PLAN**  
SCALE: 3/32" = 1'-0"



FOR CITY USE:  
  
CITY FILE NUMBER



524 S. CASCADE AVENUE  
FBZ-CEN DEVELOPMENT PLAN  
ROOF TOP PHOTOMETRIC

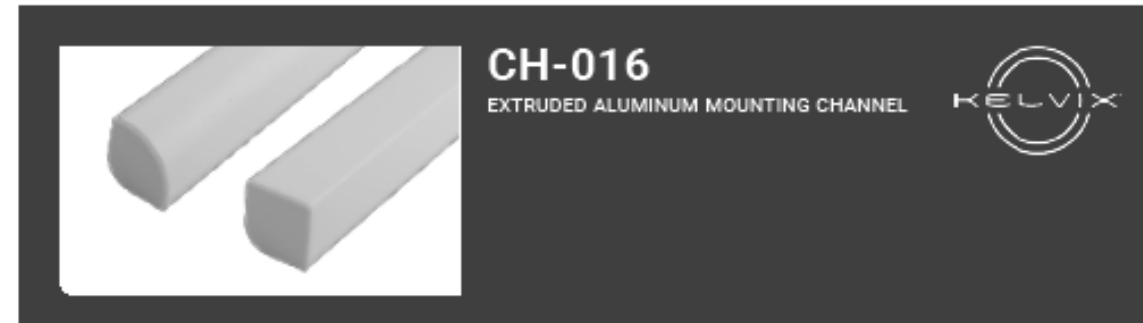


619 N. Cascade Avenue, Suite 200  
Colorado Springs, Colorado 80903

(719)785-0790

DESIGNED BY	TLN	SCALE	DATE	10/15/2024
DRAWN BY	TLN	(H) 1"=	N/A	SHEET 17 OF 18
CHECKED BY		(V) 1"=	N/A	JOB NO. 2539.66

FIXTURE TYPE \_\_\_\_\_  
PROJECT NAME \_\_\_\_\_  
LOCATION \_\_\_\_\_



### CH-016

EXTRUDED ALUMINUM MOUNTING CHANNEL

#### I Features

- Available in 2 Meter Sections
- Extruded Aluminum Construction
- Anodized Matte Finish
- Consult Factory for Custom Lengths & Finishes
- For Indoor Use Only

#### I Specifications

Series CH-016

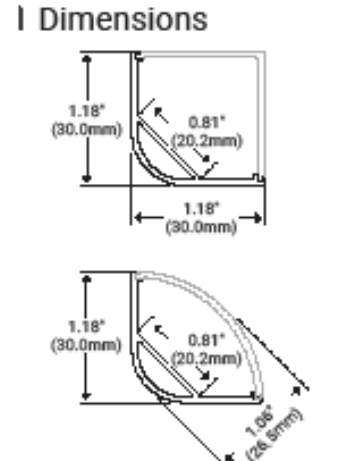
Length 78.74" (2M)

Width 1.18" (30.0mm)

Height 1.18" (30.0mm)

Internal Width 0.81" (20.2mm)

#### I Dimensions



#### I Options

Description	Unit	Light Transmission
White Round Lens	WHR	38%
Frosted Round Lens	FRR	88%
White Square Lens	WHS	39%
Frosted Square Lens	FRS	77%
Round End Cap With Hole		
Round End Cap Without Hole		
Square End Cap With Hole		
Square End Cap Without Hole		
Mounting Clips	CP	

#### I Product Code Builder

Series Length Lens Mounting End Cap

CH-016 - CH-016 2 - 2 Meters WHR - White Round FRR - Frosted Round WHS - White Square FRS - Frosted Square CP - Mounting Clip EC - End Caps (included)

Example: CH-016-2-WHR-CP-EC


1/1 | CH-016 | quotes@helix.com | 800.789.3810 Specification & Instruction Subject to Change 1072404.H

TYPE X04

designplan® datasheet

### NAKA 2.1

Naka is a asymmetric, recessed wall step or pathway light with an all-glass cover that are suitable for outdoor installation on footpaths, steps, stairs and corridors of private homes and hospitality venues. It is available in 2 sizes, with a flush or recessed versions for each, 3 color temperatures, and black or white standard finishes. Naka 2.1 is the larger recessed with fixing springs version.



#### TECHNICAL DATA

Wattage / Input	2W (700mA)
Power Supply	Remote, not included. See page 2.
Construction	Body: Die-cast Aluminum Lens: Swirgraphed, Tempered, Transparent Extra-clear Glass
CCT	2700K, 3000K, 4000K
CRI	>90
BUG Rating	B0-U1-G0 (3000K)
Delivered Lumens	46 lm (3000K)
Efficacy	23 lm/W
Optics	Asymmetrical
Finishes	Black, White
Fixture Dimensions	4.5" x 3.0" x 1.9"
Fixture Weight	0.44 lbs
LED Source	1 Power LED
Lumen Maintenance	L80, B10 >60,000 hrs (Ta 25°C)
Color Consistency	2-step MacAdam
Operating Temp.	32°F to +122°F
IP Rating	IP66
Impact Rating	IK07
JAS	Exempt

#### ORDERING INFORMATION

Example: NK211000S

Model No.	CCT	Optics	Finish
NK211000	F9 - 2700K	A - Asymmetrical	E - White
	90 - 3000K		N - Black
	90 - 4000K		C - Custom RAL (consult factory for "C")


90 Trenton Avenue, Frenchtown NJ 08825  
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P: 908-996-7710 F: 908-996-7042 1 of 2

TYPE X03

ZANEEN®

### FONT POST

E9B277-



#### GENERAL

Series Font  
Brand Finish: Black, White  
Material: Extruded Aluminum  
Mounting Type: Post  
Mounting Location: Above Ground  
Substrate: Recessed

#### PHYSICAL

Shape: Drum  
Diameter (incl. post): 204  
Diameter (excl. post): 8 1/2"  
Height (incl. post): 500  
Height (excl. post): 19 1/2"  
Light Distribution: Direct  
Screens: Anodized Matte  
Diffuser: Extra-Clear Flat Tempered Glass - 12mm / 1/2" Thick  
Color Options: 2700K, 3000K, 4000K / CDM, 4000K / R90  
Fixture Material: Metal

#### ELECTRICAL

Lamp Type: LED  
Input Voltage: 120V-277V  
Dimming: Tri-Modal (Non-Dimming and Phase Dimming [120Vac only] and 0-10V Dimming)  
Solar Included: Yes  
Driver Location: Integrated  
Driver Type: Constant Current - Universal  
Driver Class: Class 2  
Input Voltage: 120-277  
Constant Current (mA): 300  
Spot Request: Dimming upon request

#### LED

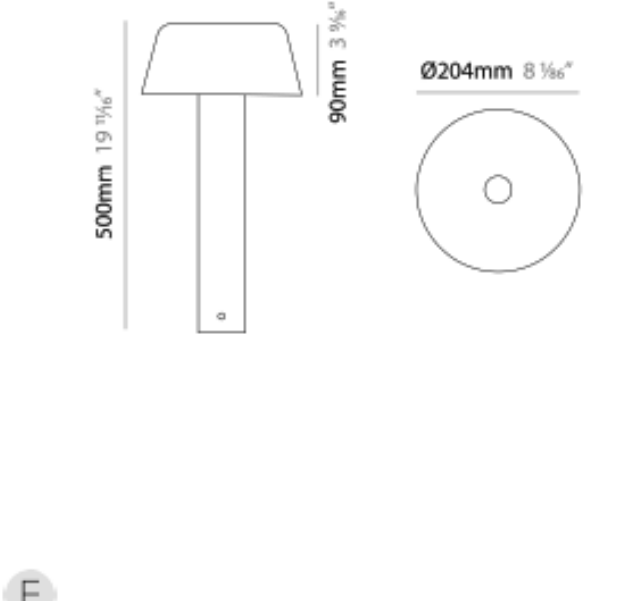
Number of LEDs: 4  
Color Temperature: 2700/3000/4000  
Max. Delivered Lumens (lm): 330 / 500 / 540  
Nominal Lumens (lm): 850 / 820 / 860  
CRI: >90  
Lamp Life (hrs): 60000

#### OPTICAL

Cut-off: Street  
Beam Angle: 180

#### RATINGS AND CERTIFICATIONS

Certified by: Certified for North American Standards  
IP Rating: IP66  
IK Rating: IK07  
Spot Request: Higher Maximum Ambient Temperature



500mm 19 1/2"  
90mm 3 1/2"  
Ø204mm 8 1/2"


www.zaneen.com December 1, 2024, 3:50A, 3:17 PM

TYPE X02

WILA

### PUCK XT

Recessed LED Handrail Luminaire



#### DESCRIPTION

Puck XT is a self-contained recessed luminaire for installation into round or square metal handrail profiles or similar metallic structures. The lighting module is available in warm or neutral color temperatures with a choice of light distributions to satisfy a variety of installation conditions.

#### FEATURES

- Self-contained stainless steel IP66 rated LED module
- Remote driver allows up to 15 PUCK XT modules per circuit
- Stunt bypass allows remaining modules to operate in case of single failure
- Three light distributions to meet varying applications
- 2700K, 3000K, or 4000K color temperatures, or True Amber

#### ORDERING INFORMATION


MODEL	APPLICATION	CCT	OPTIC
PUCKXT	RD	27K	ASB
LED Handrail Module	Round Handrail	2700K	Asymmetric Beam
	SD	300K	DSB
	Square Handrail	3000K	Coska-Spot Beam
		40K	OSB*
		4000K	One-Side Beam (For round handrail applications only)

www.wilathatronics.com  
For other Experience® Brands contact, please visit www.ExperienceBrands.com

TYPE X01

Wall luminaire - Light emission on one side

TYPE ZW1G



#### I Features

- Available in 2 Meter Sections
- Extruded Aluminum Construction
- Anodized Matte Finish
- Consult Factory for Custom Lengths & Finishes
- For Indoor Use Only

#### I Specifications

Series CH-016


Length 78.74" (2M)

Width 1.18" (30.0mm)

Height 1.18" (30.0mm)

Internal Width 0.81" (20.2mm)

#### I Dimensions



#### I Options

Description	Unit	Light Transmission
White Round Lens	WHR	38%
Frosted Round Lens	FRR	88%
White Square Lens	WHS	39%
Frosted Square Lens	FRS	77%
Round End Cap With Hole		
Round End Cap Without Hole		
Square End Cap With Hole		
Square End Cap Without Hole		
Mounting Clips	CP	

#### I Product Code Builder

Series Length Lens Mounting End Cap

CH-016 - CH-016 2 - 2 Meters WHR - White Round FRR - Frosted Round WHS - White Square FRS - Frosted Square CP - Mounting Clip EC - End Caps (included)

Example: CH-016-2-WHR-CP-EC

1/1 | CH-016 | quotes@helix.com | 800.789.3810 Specification & Instruction Subject to Change 1072404.H

TYPE ZW1G


SPJ LIGHTING Inc.

ARCHITECTURAL, LANDSCAPE & OUTDOOR LIGHTING

SPECIFICATION SHEET

Directional Light

### L/L' BEAST



#### MODEL: L/L' BEAST

MATERIAL: Solid Brass  
FINISH: Matte Brass  
ELECTRICAL: 12-15V  
WATTAGE: 6W  
DIMMING: FS-0W-CYL-TAB  
LUMENS: 300  
MOUNTING: 1/2" NPT, Solid Pin  
Splice Included

#### FINISHES

- Matte Brass (MR)
- White (W)
- Black (B)
- Ruby (R)
- Satin Brass (SB)
- Agel Brass (AG)
- Raw Copper (RC)
- Natural Copper (NC)

#### PRODUCT FINISHES

- PVD Polished (PVD)
- PVD Satin (PVDS)
- PVD Granite (PVDG)
- PVD Bronze (PVDZ)
- PVD Black (PVDK)

#### WATTAGE LUMENS

6W	300
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Custom lumen packages are available upon request

#### COLOR TEMPERATURE

- 2700K
- 3000K
- 4000K
- WARM DIMMING

Custom options are available

#### ELECTRICAL

12-15V	120V
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#### OPTICS

SPOT	19K
BEAM	30K
WIDE FLOOD	54K
WIDE ANGLE FLOOD	120K

Ordering Example: L/L' BEAST-MR-0W-27K-12-15V


1/1 | CH-016 | quotes@helix.com | 800.789.3810 Specification & Instruction Subject to Change 1072404.H

TYPE X06

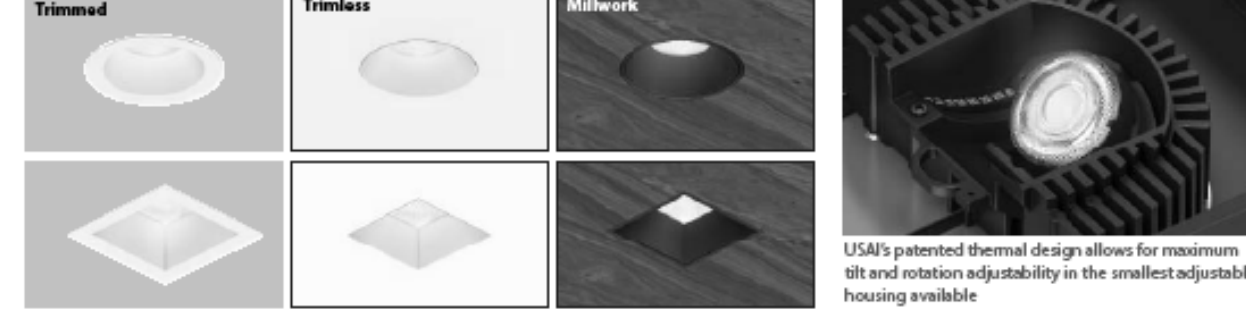
TIER 2

BeveLED Mini® Basic PANCAKE-

3" Aperture All-In-One Adjustable Downlight + Wall Wash



Field changeable between Trimmed / Trimless / Millwork



USA Lighting

#### FEATURES

- Available in a full range of Classic White and Dim to Warm color temperature options
- Universally adjustable all-in-one fixture can perform in accent, downlight, or wall wash configurations with 0-40° lockable tilt and 360° rotation
- Dry/damp/wet location rated for bathrooms and showers
- IC-rated for direct contact with insulation with no increase to housing size
- 0-10V DALI, and Phase dimming available with integral drivers
- All of USA's dimming driver options including 0-10V, digital, and phase dimming available with remote drivers
- All housings are field coverable from brass or millwork to binned installations in the field
- Extremely low glare ratings with UGR < 5.5 for all adjustable beamspread configurations
- Clear oversize protector for installation convenience
- Full family platform
- Double lid for replaceable two head fixture configuration installations

#### PERFORMANCE DATA

See Page 5 for Details

Color	Beam	15W	16W
Classic White	80+	85+	90+

Color Rendering Index (CRI): 80+ 85+ 90+

Source Lumens: 1175 1700 1100

Delivered Lumens: 575 - 975 850 - 1400 625 - 850

USA LIGHTING COLLABORATORY 13 Crandall Street New York, NY 10013 845-234-4900 www.usalighting.com

USA LIGHTING HEADQUARTERS 1126 River Road New Windsor, NY 12553 914-543-8200 P: 845-665-1139 www.usalighting.com

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FOR CITY USE: \_\_\_\_\_


CITY FILE NUMBER \_\_\_\_\_

TYPE X05

524 S. CASCADE AVENUE

FBZ-CEN DEVELOPMENT PLAN

SITE LUMINAIRE CUTSHEETS



DESIGNED BY	TLN	SCALE	DATE	10/15/2024
DRAWN BY	TLN	(H) 1"=	N/A	SHEET 18 OF 18
CHECKED BY		(V) 1"=	N/A	JOB NO. 2539.66

610 N. Cascade Avenue, Suite 200 Colorado Springs, Colorado 80903 (719)785-0790