ELLSTON PARK FILING NO. 1 & 1A

COLORADO SPRINGS, COLORADO

PUD DEVELOPMENT PLAN MINOR MODIFICATION

PART OF THE SOUTHEAST QUARTER OF SECTION 25 AND THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 36, TOWNSHIP 13 SOUTH, RANGE 67 WEST OF THE 6TH P.M., IN THE CITY OF COLORADO SPRINGS, EL PASO COUNTY, COLORADO

GENERAL DEVELOPMENT PLAN NOTES

- 1. PER CITY CODE SECTION 7.4.102.D, ALL LIGHTING FIXTURES SHALL BE FULL CUT-OFF OR HAVE SHIELDING TO REDUCE OFF-SITE LIGHTING IMPACTS ONTO ADJACENT PROPERTIES AND ROADWAYS. ALL EXTERIOR LIGHTING SHALL BE ARRANGED TO MITIGATE LIGHT DIRECTED AWAY FROM ADJACENT PROPERTIES AND ANY PUBLIC RIGHT-OF-WAY. AN AMENDMENT TO THIS PLAN MAY BE REQUIRED IF THE LIGHTING TYPE IS CHANGED.
- 2. SIGNAGE IS NOT APPROVED PER THIS PLAN. A SEPARATE SIGN PERMIT IS REQUIRED. CONTACT DEVELOPMENT REVIEW ENTERPRISE AT 719-385-5982 TO BEGIN A SIGN PERMIT APPLICATION.
- 3. ALL EXISTING CURB, GUTTER, PEDESTRIAN RAMPS AND CROSSPANS POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATING OR NOT MEETING CURRENT CITY ENGINEERING STANDARDS ALONG PUBLIC STREETS ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED PRIOR TO ISSUING THE CERTIFICATE OF OCCUPANCY. AN ON SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW INSPECTOR TO DETERMINE WHAT, IF ANY, IMPROVEMENTS ARE REQUIRED. THE INSPECTOR CAN BE REACHED AT 719-385-5977
- 4. ACCESS ROADS SHALL BE KEPT CLEAR OF ALL OBSTRUCTION SUCH AS , BUT NOT LIMITED TO, LOW HANGING WIRES, CONSTRUCTION MATERIALS, CONSTRUCTION EQUIPMENT, CONTRACTOR TRAILS AND CONTRACTOR VEHICLES AND IN ALL TYPES OF WEATHER.
- 5. ALL 'STOP SIGNS' WILL BE INSTALLED BY THE DEVELOPER AT THE LOCATIONS SHOWN ON THE DEVELOPMENT PLAN TO MEET MUTCD STANDARDS. CONTACT TRAFFIC ENGINEERING, SIGNS & MARKINGS AT 719-385-6720 FOR ASSISTANCE.
- 6. INSTALLATION OF ELECTRICAL DEVICES IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY SPECIFICATION SECTION 1001 AND COMPLETE THE COLORADO SPRINGS UTILITIES "ELECTRIC INSPECTION IN THE RIGHT-OF-WAY CERTIFICATE" IN ACCORDANCE WITH THE UTILITIES' REQUIREMENTS FOR ELECTRIFICATION. THE CERTIFICATE SHALL ALSO BE PROVIDED TO THE CITY INSPECTOR.

ADA NOTES

- 1. THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINE AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.
- 2. ACCESSIBLE ROUTES, INCLUDING RAMPS AND SIDEWALKS, WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PER THE CITY'S STANDARD DRAWINGS AND SPECIFICATIONS. CITY'S ENGINEERING DEVELOPMENT REVIEW INSPECTOR WILL HAVE THE FINAL AUTHORITY ON ACCEPTING THE PUBLIC IMPROVEMENTS.
- 3. ACCESSIBLE PARKING SPACES, ACCESS AISLES, AND SIGNAGE SHALL MEET ALL APPLICABLE CITY CODE REQUIREMENTS INCLUDING:
- 3.1. PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING ONE TO FIFTY (1:50) (2 PERCENT) IN ALL DIRECTIONS.
- 3.2. ACCESSIBLE PARKING SPACES SHALL BE MARKED WITH FOUR-INCH (4") LINES.
- 3.3. ACCESSIBLE AISLES SHALL BE OUTLINED AND DIAGONALLY STRIPED AT FORTY-FIVE-DEGREE (45°) ANGLES IN A CONTRASTING COLOR SUCH AS YELLOW, WHITE, OR BLUE.
- 3.4. EACH ACCESSIBLE PARKING SPACE SHALL BE DESIGNATED AS RESERVED BY A SIGN SHOWING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. VAN ACCESSIBLE SPACES SHALL HAVE AN ADDITIONAL SIGN CONTAINING THE DESIGNATION, "VAN ACCESSIBLE", MOUNTED BELOW THE SYMBOL OF ACCESSIBILITY. EACH ACCESSIBLE PARKING SPACE SIGN SHALL BE NO SMALLER THAN EIGHTEEN INCHES (18") TALL BY TWELVE INCHES (12") WIDE. EACH VAN ACCESSIBLE SIGN SHALL BE NO SMALLER THAN SIX INCHES (6") TALL BY TWELVE INCHES (12") WIDE. SIGNS SHALL BE LOCATED AT THE HEAD OF THE SPACES WITH THE BOTTOM OF THE SIGN(S) BETWEEN FIVE FEET (5') AND SEVEN FEET (7') ABOVE THE FINISH FLOOR OR GROUND

FIRE NOTES

- 1. FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE SURFACED SO AS TO PROVIDE ALL WEATHER DRIVING CAPABILITIES. ALL DRIVES WILL BE BUILT TO MEET A MINIMUM OF 27,000 LBS SINGLE AXLE WEIGHT AND 75,000LB TOTAL APPARATUS WEIGHT.
- 2. PRIOR TO CERTIFICATE OF OCCUPANCY, A FIRE INSPECTION IS REQUIRED TO VERIFY ALL FIRE LANE MARKINGS AND SIGNAGE HAVE BEEN INSTALLED. A FIRE INSPECTION MAYBE REQUESTED BY CALLING 719-385-5978.
- 3. A 3' DIAMETER CLEAR SPACE SPACE SHALL BE MAINTAINED AROUND ALL FIRE HYDRANTS.
- 4. ALL FIRE DEPARTMENT CONNECTIONS (FDC) SHALL NOT BE VISUALLY OR PHYSICALLY OBSTRUCTED BY LANDSCAPE.

WILDLAND URBAN INTERFACE

RESIDING IN OR NEAR WILDLAND URBAN INTERFACE OR INTERMIX AREAS INVOLVES INCREASED WILDFIRE RISKS THAT MAY NOT APPLY IN URBAN OR MORE URBANIZED TYPES OF DEVELOPED COMMUNITIES. ALL RESIDENTIAL LOTS WITHIN THE DEVELOPMENT ARE SUBJECT TO FUELS MANAGEMENT REQUIREMENTS. IT IS THE RESPONSIBILITY OF THE BUILDER TO IMPLEMENT FUELS MANAGEMENT PROCEDURES AS DEFINED IN CHAPTER 8 OF THE CITY CODE. REFER TO ADDITIONAL NOTES ON OP01.

FEMA NOTE

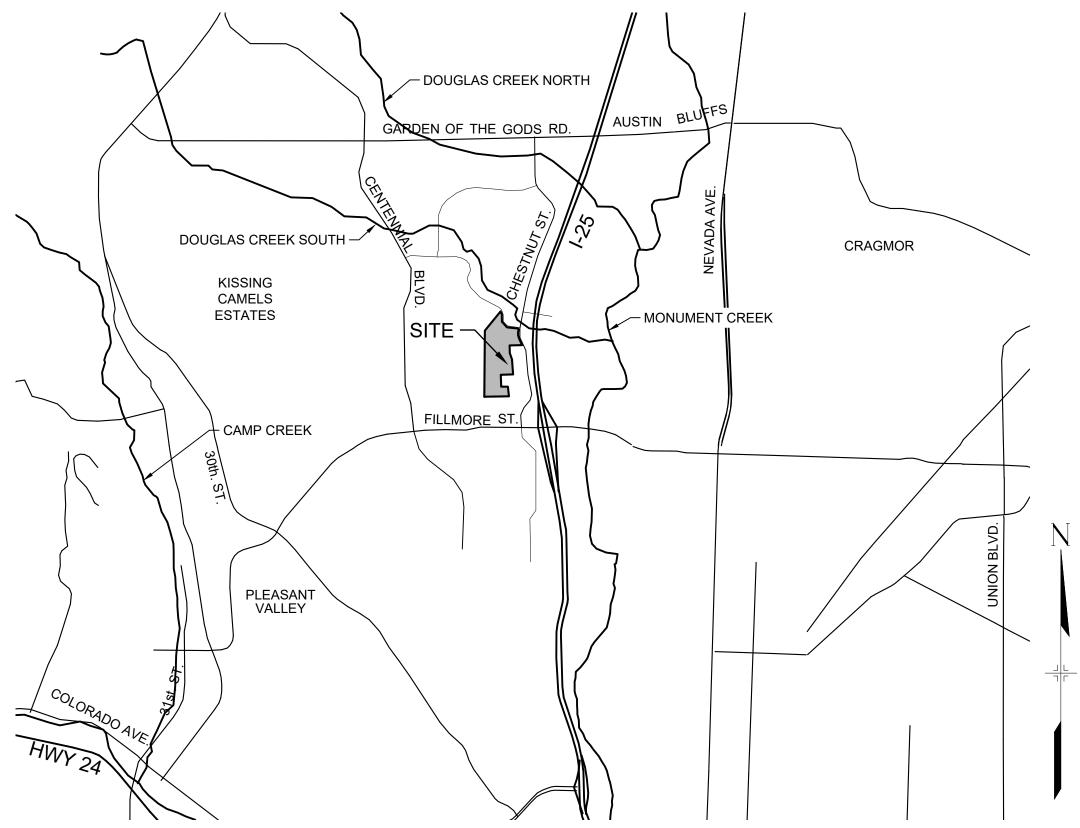
1. THIS PROPERTY IS NOT LOCATED WITHIN A DESIGNATED FEMA FLOODPLAIN AS DETERMINED BY THE FLOOD INSURANCE RATE MAP, COMMUNITY MAP NUMBER 08041C0514F, EFFECTIVE MARCH 17, 1997 AND RE-VALIDATED ON 'DECEMBER 8, 2018' - REF# 07-08-0392V-080060.

REPORTS AND REFERENCES

- 1. THIS PROPERTY IS SUBJECT TO THE FINDINGS, SUMMARY AND CONCLUSIONS OF A GEOLOGICAL HAZARD REPORT PREPARED BY CTL THOMPSON, DATED MAY 24, 2021, WITH AMENDMENT DATE OF MAY 20, 2022 WHICH IDENTIFIED THE FOLLOWING SPECIFIC GEOLOGICAL HAZARDS ON THE PROPERTY: POTENTIALLY UNSTABLE SLOPES, EXPANSIVE SOILS, BEDROCK, AND UNDOCUMENTED FILL. THESE CAN BE MITIGATED WITH ENGINEERING DESIGN AND CONSTRUCTION METHODS COMMONLY EMPLOYED IN THE AREA. IN ADDITION, THE REPORT RECOMMENDS THE FOLLOWING: ADDITIONAL GLOBAL STABILITY ANALYSIS SHOULD BE CONDUCTED AS PART OF THE WALL DESIGN AND TEMPORARY EXCAVATION CONDITIONS SHOULD BE FURTHER EVALUATED ONCE CONSTRUCTION PROCEDURES ARE KNOWN AND WALL DESIGNS PERFORMED. A COPY OF SAID REPORT HAS BEEN PLACED WITHIN FILE #AR PUD 22-00345 OF THE CITY OF COLORADO SPRINGS DEVELOPMENT SERVICES, 30 S. NEVADA AVE. SUITE 701, COLORADO SPRINGS, CO IF YOU WOULD LIKE TO REVIEW SAID REPORT.
- 2. REFER TO THE TRAFFIC IMPACT STUDY SUBMITTED WITH THE ELLSTON PARK CONCEPT PLAN (FILE # CPC PUP 21-00186) FOR MORE DETAIL REGARDING TRAFFIC VOLUMES, CIRCULATION, ETC. THE DEVELOPER WILL BE RESPONSIBLE TO CONSTRUCT FUTURE ANTICIPATED ROADWAY IMPROVEMENTS THAT WERE OUTLINED IN THE TRAFFIC IMPACT STUDY.
- 3. PUBLIC WORKS HAS GRANTED THE REQUEST FOR VARIANCE TO THE SIDEWALK REQUIREMENTS AND CITY'S TYPICAL STREET SECTION AS PROPOSED (SEE SITE PLAN AND STREET SECTIONS PROVIDED ON DT01) PER ELLSTON PARK VARIANCE REQUEST RESPONSE BY CITY ENGINEER DATED MARCH 9, 2023.

LANDSCAPE NOTES

- 1. ALL LANDSCAPE PLANTING AND IMPROVEMENTS WITHIN TRACTS SHALL BE OWNED AND MAINTAINED BY EITHER A HOMEOWNERS ASSOCIATION OR METROPOLITAN DISTRICT.
- 2. ALL LANDSCAPE PLANTING AND IMPROVEMENTS WITHIN PUBLIC R.O.W. ARE TO BE MAINTAINED BY THE ABUTTING PROPERTY OWNER, OR THEIR ASSIGNS.
- 3. LANDSCAPE SETBACKS ARE SHOWN ON THE PUD DEVELOPMENT PLAN.
- LANDSCAPING AND IRRIGATION TO BE FIELD MODIFIED TO ACCOMMODATE RETAINING WALL & LOT REVISIONS PER 2024 DP MODIFICATION. MODIFICATION IS NOT ANTICIPATED TO SIGNIFICANTLY CHANGE THE LAYOUT & INTENT OF THE LANDSCAPING PLANS.



PROJECT NOTES

- 1. THE DEVELOPER WILL BE RESPONSIBLE TO STRIPE A TWO WAY LEFT TURN LANE (TWLTL) ALONG VONDELPARK DRIVE BETWEEN THE EXISTING WESTBOUND LEFT TURN LANE AT THE SITE ACCESS AND THE EXISTING EASTBOUND LEFT TURN LANE AT CHESTNUT. IMPROVEMENTS IMPROVEMENTS ARE SHOWN ON DEVELOPMENT PLANS AND FURTHER DETAIL IS TO BE REVIEWED WITH CONSTRUCTION DOCUMENTS.
- 2. THERE WILL BE NO DIRECT RESIDENTIAL LOT ACCESS ONTO VONDELPARK DRIVE AND N. CHESTNUT STREET.
- 3. THE PARCELS WITHIN THIS DEVELOPMENT ARE SUBJECT TO THE FEES, RESTRICTIONS, AND COVENANTS OF THE ELLSTON PARK METROPOLITAN DISTRICT, WHICH IS CREATED BY ORDINANCE NO. 21-064AND RECORDED IN THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDER'S OFFICE UNDER RECEPTION NO. 221219966.
- 4. NO MORE THAN 70% OF THE REQUIRED FRONT YARD, AS MEASURED FROM THE FRONT LOT LINE TO THE 20' FRONT SETBACK LINE, SHALL BE USED AS DRIVEWAYS OR PARKING AREA.
- 5. DRIVEWAYS SHALL BE A MINIMUM OF 20' IN LENGTH FROM BACK OF SIDEWALK TO GARAGE DOOR OPENING.
- 6. RETAINING WALL DESIGN REQUIRES AN UPDATED SLOPE STABILITY ANALYSIS THAT WILL BE PROVIDED AT THE TIME OF BUILDING PERMIT.

LEGAL DESCRIPTION ELLSTON PARK FILING NO. 1 TO BE REPLATTED LEGAL DESCRIPTION ELLSTON PARK FILING NO. 1 & ELLSTON PARK FILING NO. 1 A

	AMENDMENT HISTORY			
	AMENDMENT	DATE	DESCRIPTION	
	ORIGINAL APPROVAL (PUDD-22-0005)	APRIL 2023	ORIGINAL PUD DEVELOPMENT PLAN	
(MINOR MODIFICATION (PUDD-24-0005)	CURRENT	ADJUSTMENT OF 4 LOTS (17-20) AND REVISION OF RETAINING WALLS TYPES/TIERS	

PROJECT TEAM
OWNER
FILLMORE HEIGHTS, LLC

14160 GLENEAGLE DRIVE COLORADO SPRINGS, CO 80921 DEVELOPER

9555 S KINGSTON CT ENGLEWOOD, CO 80112 PHONE: (303)488-0061

D.R. HORTON

APPLICANT
MATRIX DESIGN GROUP
2435 RESEARCH PKWY STE 300
COLORADO SPRINGS, CO 80920
PHONE: (719)575-0100

SUMMARY DATA

SUMMARY DATA	
PROPERTY SIZE	29.374 ACRES
TAX SCHEDULE NO.	7325415008, 7336100046
PROJECT ADDRESS	777 VONDELPARK DRIVE
DEVELOPMENT SCHEDULE	WINTER 2023 / SPRING 2024
DRAINAGE BASIN	MESA & DOUGLAS CREEK
MASTER PLAN	NONE
CONCEPT PLAN	ELLSTON PARK PUD CONCEPT PLAN (FILE # CPC PUP 21-00186)
PROPOSED ZONING	PUD (PLANNED UNIT DEVELOPMENT) SINGLE FAMILY RESIDENTIAL ATTACHED & DETACHED, 3.0-6.0 DU/AC, 35' MAX HEIGHT
PUD ORDINANCE	22-23
EXISTING LAND USE	VACANT COMMERCIAL
PROPOSED LAND USE	SINGLE-FAMILY ATTACHED RESIDENTIAL
PROPOSED LOT/UNIT COUNT	174 UNITS
PROPOSED TOTAL GROSS DENSITY	5.923 DU/AC
BUILDING SETBACKS	SEE LOT TYPICAL (OP01) AND DEVELOPMENT PLAN SHEETS (SP01-SP03)
LANDSCAPE SETBACKS	SEE SITE PLAN AND LANDSCAPE PLAN
MAX BUILDING HEIGHT	35'
PROPOSED BUILDING HEIGHT	30'
MAX. BLDG. LOT COVERAGE	60%
MIN. LOT SIZE	2,400 SF
	PROPERTY SIZE TAX SCHEDULE NO. PROJECT ADDRESS DEVELOPMENT SCHEDULE DRAINAGE BASIN MASTER PLAN CONCEPT PLAN PROPOSED ZONING PUD ORDINANCE EXISTING LAND USE PROPOSED LAND USE PROPOSED LOT/UNIT COUNT PROPOSED TOTAL GROSS DENSITY BUILDING SETBACKS LANDSCAPE SETBACKS MAX BUILDING HEIGHT PROPOSED BUILDING HEIGHT MAX. BLDG. LOT COVERAGE

LANDSCAPE ARCHITECT

MATRIX DESIGN GROUP

MATRIX DESIGN GROUP

PHONE: (719)575-0100

PHONE: (719)575-0100

CIVIL ENGINEER

2435 RESEARCH PKWY STE 300

COLORADO SPRINGS, CO 80920

2435 RESEARCH PKWY STE 300

COLORADO SPRINGS, CO 80920

PARKING SUMMARY

UNIT COUNT	PARKING FORMULA	PARKING REQUIRED	PARKING PROVIDED
174 SINGLE FAMILY RESIDENTIAL	2.0 SPACES PER DWELLING UNIT	348 SPACES	348 GARAGE
	GUEST PARKING FORMULA	GUEST PARKING	PROVIDED GUEST PARKING
	0.50 SPACES PER UNIT	174 SPACES	348 DRIVEWAY
_	-	·	_

PARK LAND DEDICATION ORDINANCE (PLDO)

DENSITY	8 DU/AC & UNDER
# OF UNITS PER STRUCTURE	2
# OF UNITS	174
LAND (ACRES/UNIT)	0.0117
LAND DEDICATION REQUIREMENT	12.0358 AC
FEES IN LIEU PER UNIT	\$1,363
FEES IN LIEU REQUIREMENT	\$237,162
PLDO REQUIREMENT MET BY:	\$237,162 FEE IN LIEU

SHEET INDEX

DESCRIPTION	NUMBER	TITLE
COVER SHEET	1	CS01
DEVELOPMENT PLAN - OVERALL	2	OP01
SITE & RETAINING WALL DETAILS	3	DT01
DEVELOPMENT PLAN	4 - 6	SP01-SP03
PRELIMINARY GRADING PLAN	7 - 9	GR01-GR03
PRELIMINARY UTILITY & PUBLIC FACILITIES PLAN	10 - 12	UT01-UT03
PRELIMINARY LANDSCAPE COVER	13	LS01
PRELIMINARY LANDSCAPE NOTES	14	LS02
PRELIMINARY LANDSCAPE DETAILS	15	LS03
PRELIMINARY LANDSCAPE PLAN	16 - 20	LS04-LS08
ARCHITECTURE ELEVATIONS	21 - 22	AE01-AE02
DUPLEX EXTERIOR ELEVATIONS	23 - 30	A2.9, A2.40

CONSULTANTS:

PLANNER/ LANDSCAPE ARCHITECT/ CIVIL ENGINEER



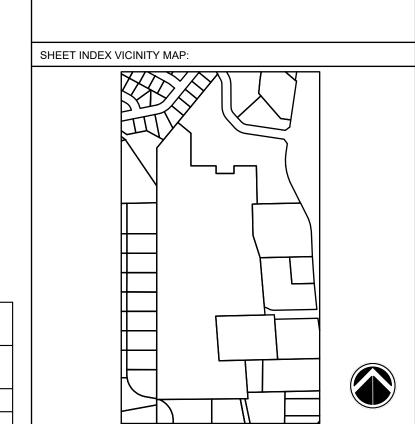
2435 RESEARCH PARKWAY, SUITE 300 COLORADO SPRINGS, CO 80920 PHONE: (719) 575-0100 FAX: (719) 575-0208

OWNER/DEVELOPER

OWNER
FILLMORE HEIGHTS, LLC
14160 GLENEAGLE DRIVE
COLORADO SPRINGS, CO 80921

DEVELOPER
D.R. HORTON
9555 S KINGSTON CT
ENGLEWOOD, CO 80112
PHONE: (303)488-0061





ELLSTON PARK FILING 1 & 1A
PUD DEVELOPMENT PLAN
MINOR MODIFICATION
CITY OF COLORADO SPRINGS
FEBRUARY 20, 2024

		,				
REV	REVISION HISTORY:					
NO.	DATE	DESCRIPTION	BY			
1	02/20/2024	INITIAL SUBMITTAL	KM			
2	03/27/2024	SECOND SUBMITTAL	KM			
3	04/23/2024	FOR APPROVAL	DW			
			###			
			###			
DRA	AWING INFORM	MATION:				
PROJECT NO:		21.1256.001				
DRAWN BY:		KMM				
CHECKED BY:		JAO				
APPROVED BY:		JAO				

COVER SHEET

CS01

SHEET 1 OF 30

CITY FILE NO.: PUDD-24-0005

SHEET TITLE:

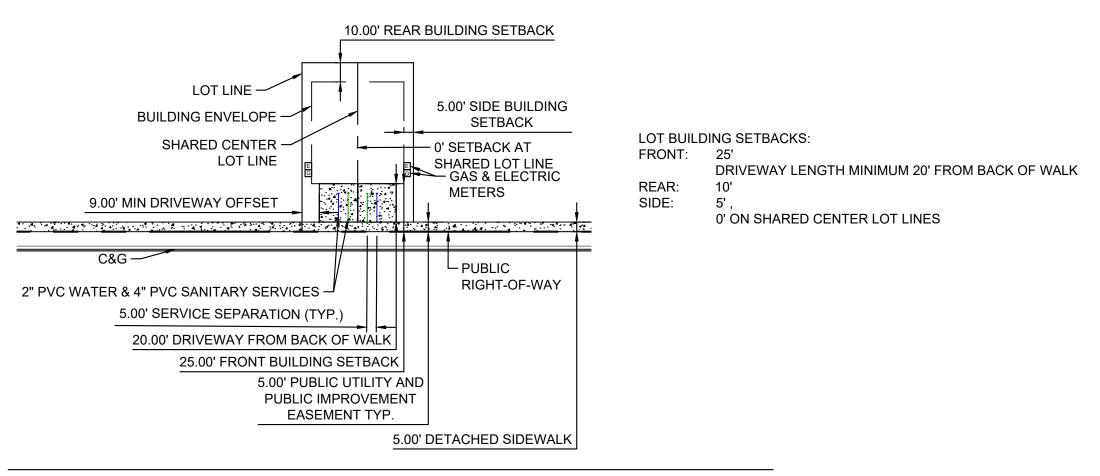
WILDLAND URBAN INTERFACE NOTES, CONTINUED

STRUCTURE PROTECTION. THE FOLLOWING REQUIREMENTS SHALL BE ENFORCED FOR ALL HOMES CONSTRUCTED OR RECONSTRUCTED, AFTER THE ADOPTION OF THIS ORDINANCE, WITHIN THE WILDLAND URBAN INTERFACE FOR IGNITION-RESISTANT CONSTRUCTION AND FUELS MANAGEMENT:

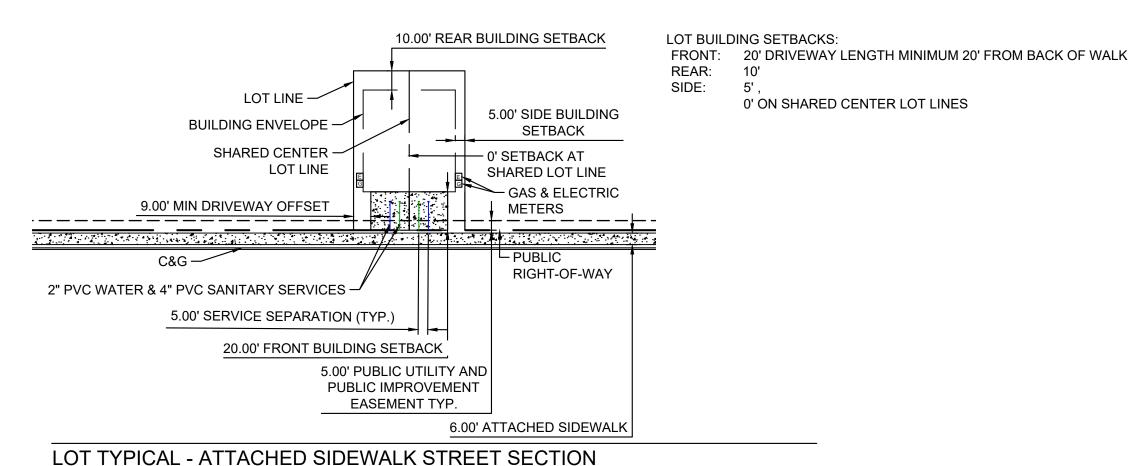
- 1. A CLASS A ROOF COVERING (EXCLUDING SOLID WOOD MATERIALS) SHALL BE INSTALLED ON ALL RESIDENTIAL OCCUPANCIES AND A MINIMUM CLASS B ROOF COVERING SHALL BE INSTALLED ON REMAINING OCCUPANCIES, UNLESS OTHERWISE PERMITTED.
- 2. EXTERIOR CLADDING, EAVES AND SOFFITS SHALL BE CONSTRUCTED OF IGNITION-RESISTANT MATERIALS APPROVED BY THE FIRE CODE OFFICIAL. APPROVED MATERIALS INCLUDE, BUT ARE NOT LIMITED TO: FIBER-CEMENT BOARD, STUCCO, MASONRY/BRICK, MANUFACTURED STONE, AND SIMILAR MATERIALS. NATURAL WOOD/CEDAR SIDING, HARDBOARD, VINYL, AND SIMILAR COMBUSTIBLE MATERIALS ARE NOT ALLOWED
 - EXCEPTION: NATURAL WOOD OR PLASTIC PRODUCTS USED FOR FASCIA, TRIM BOARD MATERIALS AND TRIM ACCENTS, SUCH AS CORBELS, FALSE RAFTER TAILS, FAUX TRUSSES. SHUTTERS AND DECORATIVE VENTS MATERIAL ARE ALLOWED WHEN PAINTED OR AS APPROVED.
- 3. FOR ANY PORTION OF THE ATTACHED STRUCTURE WITH PROJECTIONS OR OVERHANGS, THE AREA BELOW THE STRUCTURE SHALL HAVE ALL HORIZONTAL UNDER-FLOOR AREAS ENCLOSED WITH IGNITION RESISTIVE MATERIALS SUCH AS THOSE ALLOWED IN ITEM 2 ABOVE.
- EXCEPTION: HEAVY TIMBER OR DIMENSIONAL LOG CONSTRUCTION IS ALLOWED.
- 4. EXTERIOR DOORS SHALL BE NONCOMBUSTIBLE OR SOLID CORE NOT LESS THAN 1-3/4" THICK. WINDOWS WITHIN DOORS AND GLAZED DOORS SHALL BE TEMPERED SAFETY GLASS OR MULTILAYERED GLAZED PANELS.
- EXCEPTION: DECORATIVE SINGLE PANE GLAZING IN FRONT ENTRY DOORS IS ALLOWED.
- 5. EXTERIOR WINDOWS SHALL BE A MINIMUM DOUBLE PANE. TEMPERED PANES ARE PREFERABLE BUT NOT REQUIRED.
- 6. ALL ATTIC VENTS SHALL BE SCREENED WITH WIRE MESH OR HARDWARE CLOTH HAVING OPENINGS NO LARGER THAN 1/8-INCH UNLESS AN ALTERNATIVE DESIGN OR PRODUCT IS ALLOWED BY THE FIRE CODE OFFICIAL. SOFFIT VENTS ARE ALLOWED. GABLE VENTS MAY BE ALLOWED BY ONLY AS APPROVED BY THE FIRE CODE OFFICIAL.
- 7. GUTTERS AND DOWNSPOUTS THAT ARE OF NONCOMBUSTIBLE CONSTRUCTION SHALL BE INSTALLED SUCH THAT THE LEADING EDGE OF THE ROOF IS FINISHED WITH A METAL DROP EDGE SO THAT NO WOOD SHEATHING IS EXPOSED. THE DRIP EDGE SHALL EXTEND INTO THE GUTTER. VINYL GUTTERS MAY BE ALLOWED BUT MUST HAVE A NONCOMBUSTIBLE LANDING AREA BELOW THE ROOF LINE, THAT IS A MINIMUM 5 FOOT DISTANCE FROM THE SIDE OF THE STRUCTURE OR FOUNDATION.
- NOTE: GUTTER CAPS ARE HIGHLY ENCOURAGED AS A HOMEOWNER MAINTENANCE ITEM TO PREVENT COMBUSTIBLE DEBRIS FROM COLLECTING IN THE TROUGH.
- 8. DECKS AND OTHER HABITABLE SPACES SHALL BE OF IGNITION RESISTANT OR NON-COMBUSTIBLE DECKING MATERIALS, SUCH AS COMPOSITE OR METAL DECKING. WOOD IS NOT PERMITTED TO BE USED FOR THE DECKING SURFACE, BUT CAN BE USED FOR ALL LARGE STRUCTURAL COMPONENTS AND RAILING.
- 9. THE BASE OF EXTERIOR WALLS, POSTS OR COLUMNS SHALL BE PROTECTED ON THE BOTTOM SIDE WITH PROVISIONS SUCH AS FIRE-RESISTANT FOAM OR WIRE MESH HAVING OPENINGS NO LARGER THAN 1/8-INCH TO PROTECT THEM FROM EMBER INTRUSION AND STILL ALLOW FOR WEEPING AND MOISTURE CONTROL.
- 10. CHIMNEYS SERVING FIREPLACES, AS WELL AS OTHER HEATING APPLIANCES IN WHICH SOLID OR LIQUID FUELS ARE USED, SHALL HAVE AN APPROVED SPARK ARRESTOR OR CAP. (ORDINANCE 18-50, 8.4.105, K104.1).

TRACT INFORMATION

TRACT	SIZE	OWNER AND MAINTENANCE	PURPOSE
А	6.470 AC 281,851 SQ. FT.	ELLSTON PARK METRO DISTRICT	PRIVATE OPEN SPACE, PUBLIC IMPROVEMENT, PRIVATE INGRESS/EGRESS, PUBLIC AND PRIVATE UTILITIES AND ACCESS, PRIVATE ACCESS, PRIVATE STORM, DRAINAGE, LANDSCAPE, STRUCTURAL RETAINING WALLS, AND LANDSCAPE RETAINING WALLS
В	1.269 AC 56,139 SQ. FT.	ELLSTON PARK METRO DISTRICT	PRIVATE OPEN SPACE, PUBLIC IMPROVEMENT, PUBLIC AND PRIVATE UTILITIES, PUBLIC STORM, DRAINAGE, LANDSCAPE, MAIL KIOSKS, STRUCTURAL RETAINING WALLS, AND LANDSCAPE RETAINING WALLS
С	0.830 AC. 36,149 SQ. FT.	ELLSTON PARK METRO DISTRICT	PRIVATE OPEN SPACE, PUBLIC UTILITIES, PUBLIC STORM AND ACCESS, PRIVATE DETENTION, DRAINAGE, AND LANDSCAPE
D	0.055 AC 2,404 SQ. FT.	ELLSTON PARK METRO DISTRICT	PRIVATE OPEN SPACE, PUBLIC IMPROVEMENT, PUBLIC AND PRIVATE UTILITIES, DRAINAGE, AND LANDSCAPE
Е	0.836 AC 36,417 SQ. FT.	ELLSTON PARK METRO DISTRICT	PRIVATE OPEN SPACE, PUBLIC IMPROVEMENT, PUBLIC AND PRIVATE UTILITIES, DRAINAGE, LANDSCAPE, MAIL KIOSK, AND LANDSCAPE RETAINING WALLS
F	1,056 SQ. FT.	ELLSTON PARK METRO DISTRICT	PUBLIC IMPROVEMENT, PUBLIC AND PRIVATE UTILITIES, AND LANDSCAPE
G	1.891 AC. 82,380 SQ. FT.	ELLSTON PARK METRO DISTRICT	PRIVATE OPEN SPACE, PUBLIC IMPROVEMENT, PUBLIC AND PRIVATE UTILITIES, PUBLIC STORM, DRAINAGE, LANDSCAPE, STRUCTURAL RETAINING
Н	1.063 AC. 46,304 SQ. FT.	ELLSTON PARK METRO DISTRICT	PRIVATE OPEN SPACE, PUBLIC IMPROVEMENT, PUBLIC STORM AND ACCESS, PRIVATE DETENTION, DRAINAGE, AND LANDSCAPE
I	1.514 AC. 65,960 SQ. FT	ELLSTON PARK METRO DISTRICT	PRIVATE OPEN SPACE, PRIVATE UTILITIES, PUBLIC STORM AND ACCESS, PRIVATE ACCESS, PRIVATE DETENTION, AND DRAINAGE



LOT TYPICAL - DETACHED SIDEWALK STREET SECTION





CONSULTANTS: PLANNER/ LANDSCAPE ARCHITECT/ CIVIL ENGINEER:

2435 RESEARCH PARKWAY, SUITE 300 COLORADO SPRINGS, CO 80920 PHONE: (719) 575-0100 FAX: (719) 575-0208

OWNER/DEVELOPER:

FILLMORE HEIGHTS, LLC 14160 GLENEAGLE DRIVE COLORADO SPRINGS, CO 80921

D.R. HORTON 9555 S KINGSTON CT ENGLEWOOD, CO 80112 PHONE: (303)488-0061



SHEET INDEX VICINITY MAP:

ELLSTON PARK FILING 1 & 1A PUD DEVELOPMENT PLAN MINOR MODIFICATION CITY OF COLORADO SPRINGS FEBRUARY 20, 2024

REVISION HISTORY: DATE

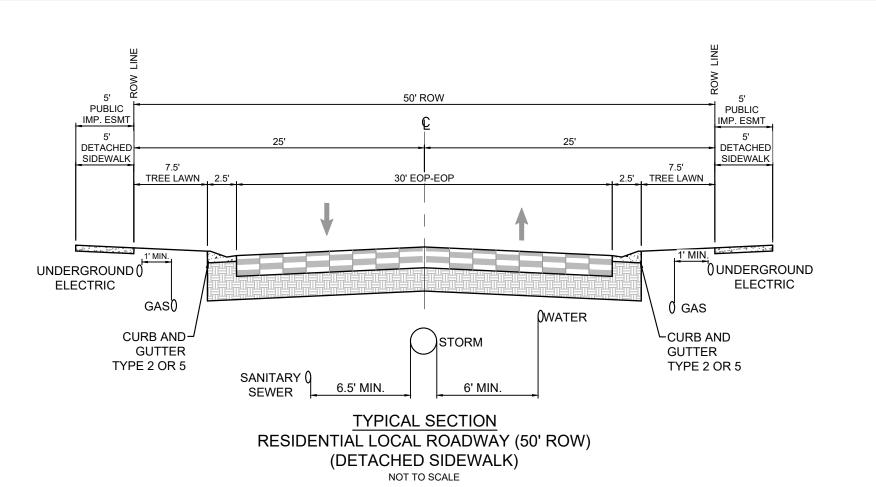
2	03/27/2024	SECOND SUBMITTAL	###
3	04/23/2024	FOR APPROVAL	###
			###
			###
DRA	WING INFORM	MATION:	
PRO	PROJECT NO: 21.1256.001		
DRAWN BY: KMM		КММ	
CHECKED BY:		КММ	
APPROVED BY:		GGS	
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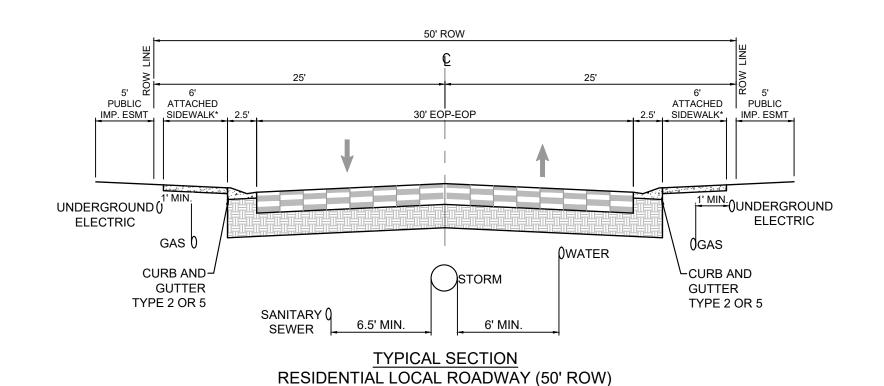
DESCRIPTION

DEVELOPMENT PLAN - OVERALL

OP01

SHEET 2 OF 30





(ATTACHED SIDEWALK*)

NOT TO SCALE *VARIANCE APPROVED BY PUBLIC WORKS

* Refer to design details: Allan Block

typical reinforced wall application

Non-wind loaded fence

Embedment

Depth

— Concrete post footing

or railing

railing

height

NOT TO SCALE

for all other notes, details and

Column tube or PVC pipe to

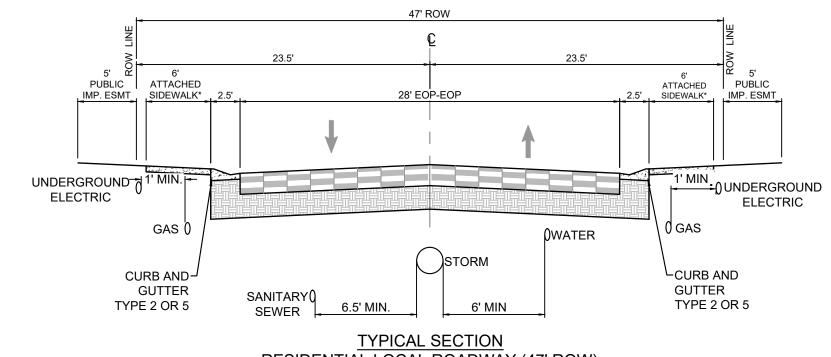
be installed during wall

construction (after wall

construction - post footing will require hand excavation

as to not damage geogrid)

specifications



RESIDENTIAL LOCAL ROADWAY (47' ROW) (ATTACHED SIDEWALK*) NOT TO SCALE

Allan Block

wall batter

from vertical -

Allan Block

unit -

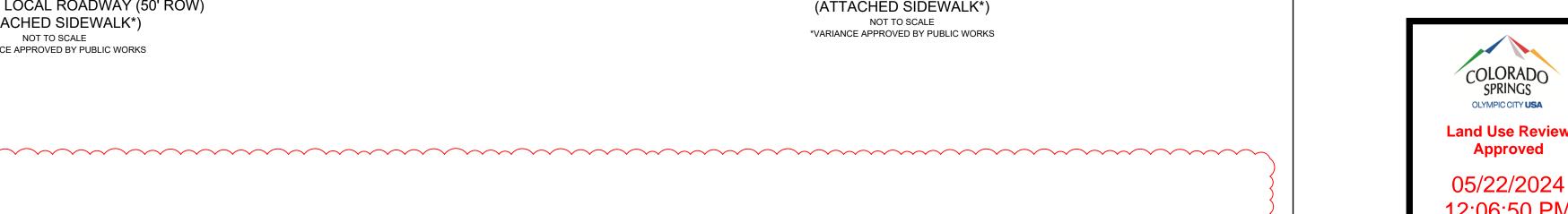
Finished grade –

4 in (100 mm)-

NOT TO SCALE

Exposed wall height

Embedment depth



Filter fabric to be

and wall rock

Well-graded granular wall

rock 0.25 in to 1.5 in

(5 mm to 38 mm)

less than 10% fines

2 in (300 mm)

placed between topsoil

 \sim Retained soil $^{\sim}$

CONSULTANTS:

PLANNER/ LANDSCAPE ARCHITECT/ CIVIL ENGINEER:

2435 RESEARCH PARKWAY, SUITE 300 COLORADO SPRINGS, CO 80920

FILLMORE HEIGHTS, LLC

PHONE: (719) 575-0100

OWNER/DEVELOPER:

14160 GLENEAGLE DRIVE

DEVELOPER

D.R. HORTON

9555 S KINGSTON CT

PHONE: (303)488-0061

ENGLEWOOD, CO 80112

SHEET INDEX VICINITY MAP:

PROJECT:

MINOR MODIFICATION

02/20/2024 INITIAL SUBMITTAL

03/27/2024 SECOND SUBMITTAL

3 04/23/2024 FOR APPROVAL

PROJECT NO: 21.1256.001

FEBRUARY 20, 2024

REVISION HISTORY:

DATE

DRAWING INFORMATION:

CHECKED BY: JAO

APPROVED BY: JAO

CITY FILE NO.: PUDD-24-0005

DRAWN BY:

SHEET TITLE:

CITY OF COLORADO SPRINGS

DESCRIPTION

SITE & RETAINING

WALL DETAILS

DT01

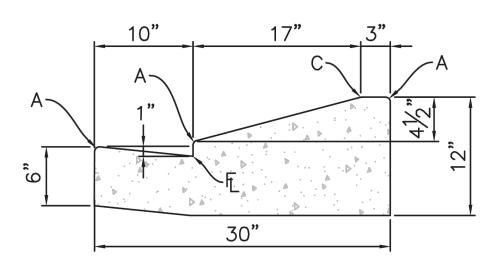
SHEET 3 OF 30

COLORADO SPRINGS, CO 80921

FAX: (719) 575-0208

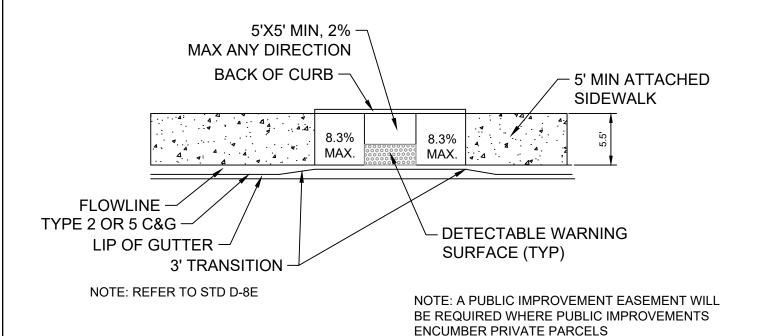
SPILL CONDITION ._____

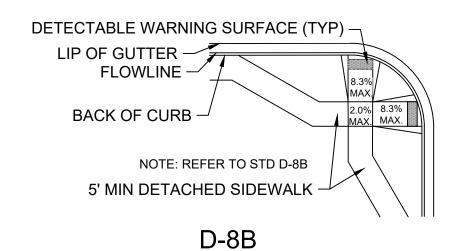
RADII	L	EGEND
Α		1/4"-1/2"
В		1½"
С		1½"-2"



TYPE 5 **RESIDENTIAL CURB & GUTTER ONLY**

TYPE 2 6" VERTICAL

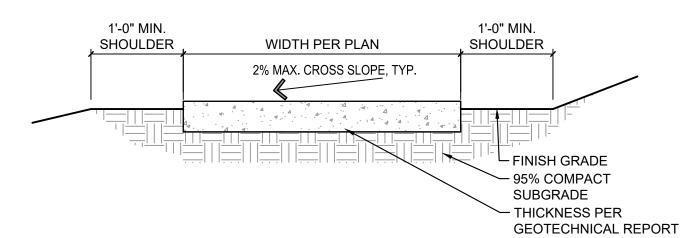




D-8E PEDESTRIAN RAMP DETAIL NOT TO SCALE

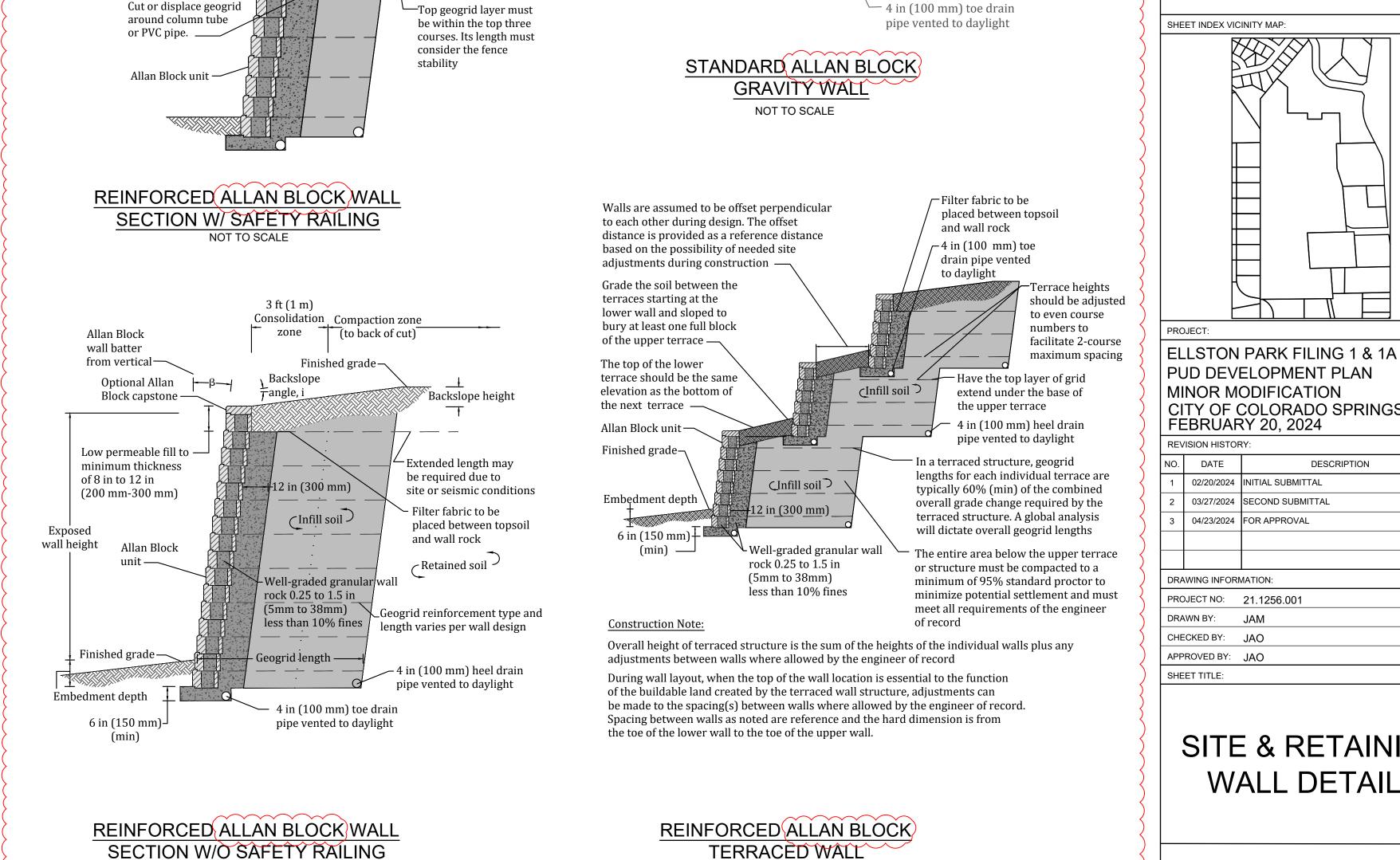
PEDESTRIAN NOT TO SCALE

NOTE: A PUBLIC IMPROVEMENT EASEMENT WILL BE REQUIRED WHERE PUBLIC IMPROVEMENTS **ENCUMBER PRIVATE PARCELS**



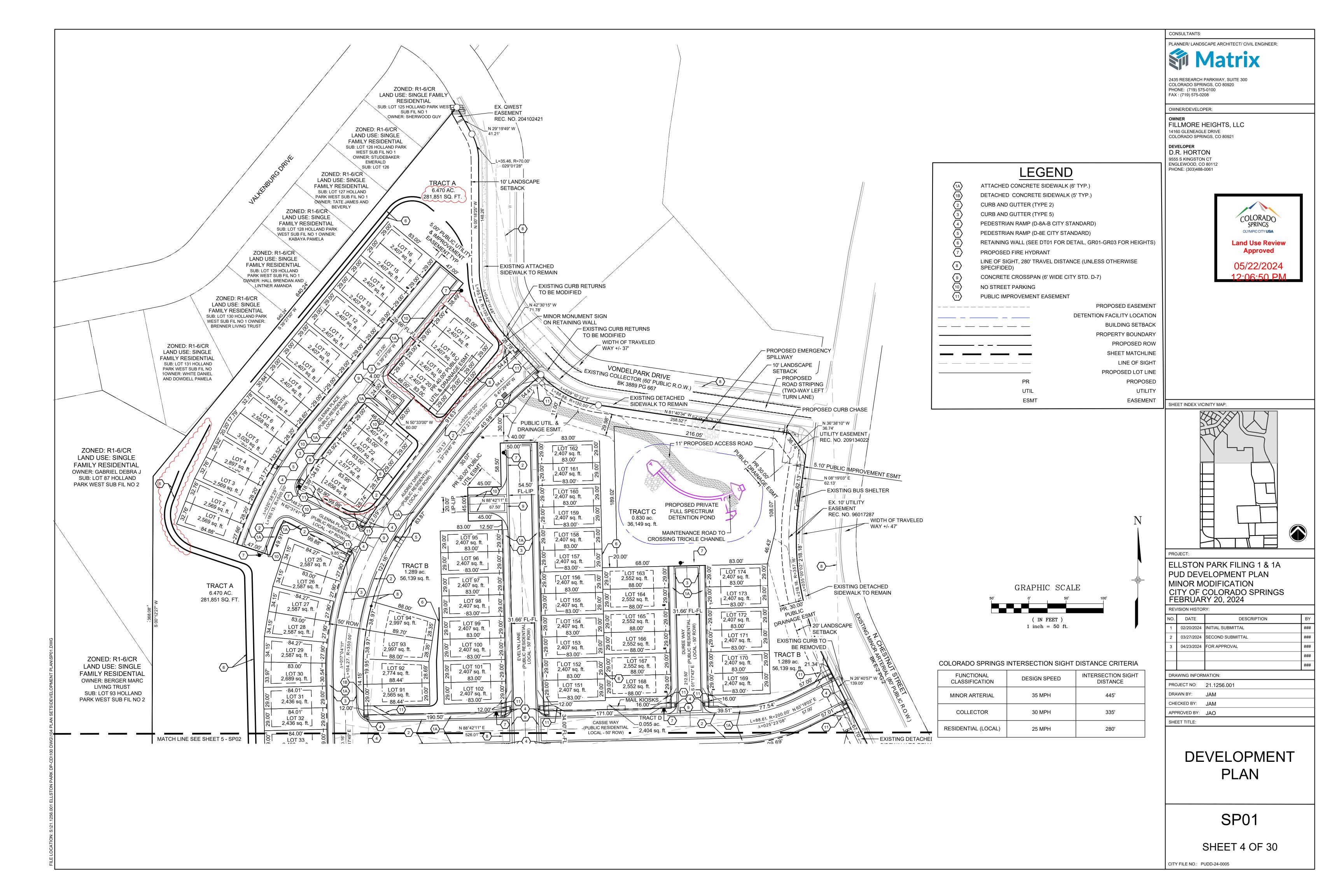
REFER TO GEOTECH FOR CONCRETE DEPTH AND SUBGRADE REQUIREMENTS. 2. MEDIUM BROOM FINISH PERPENDICULAR TO TRAFFIC FLOW. 3. ALL FINISHED CONCRETE SURFACES TO HAVE 2% CROSS SLOPE, MAX.

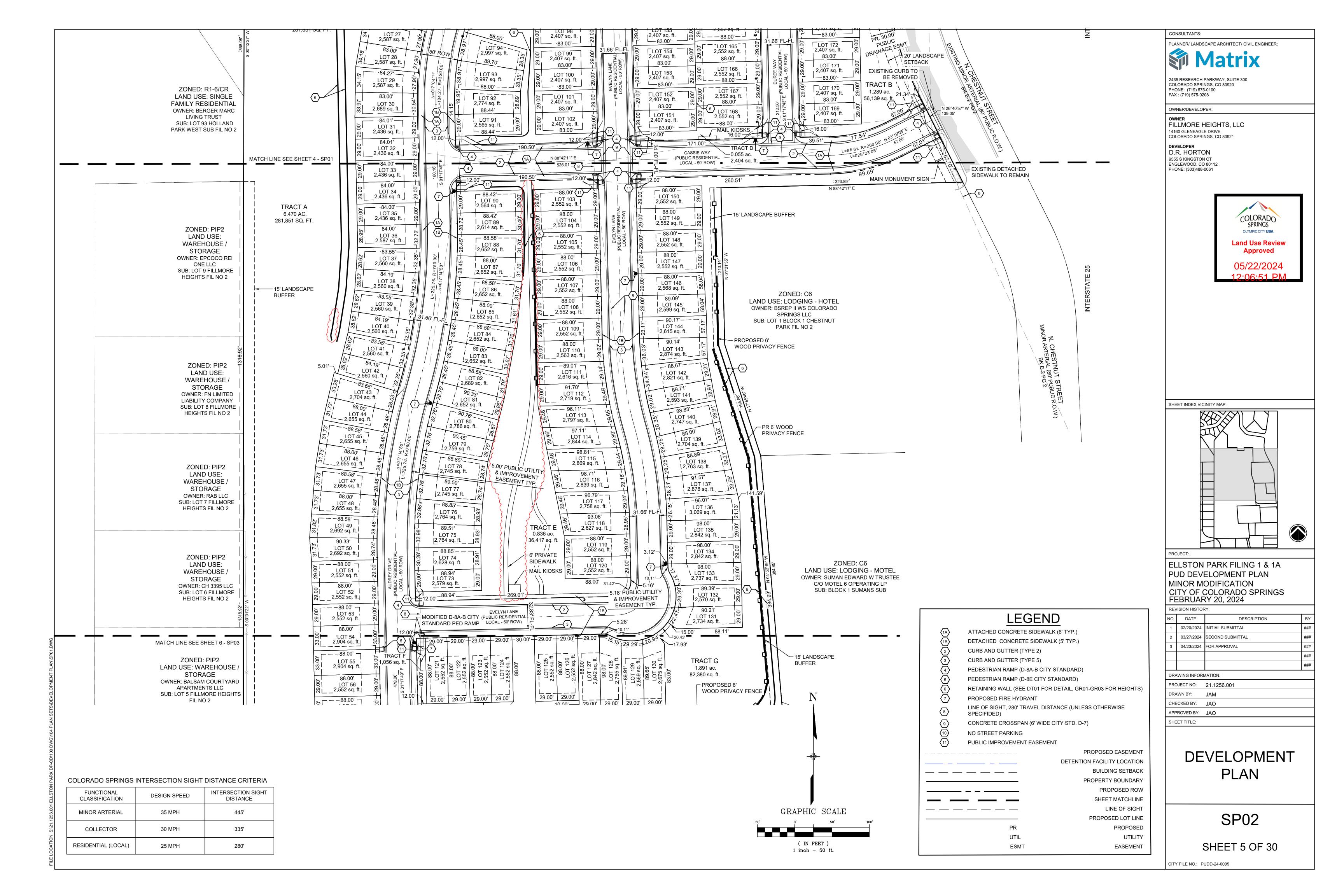
> PRIVATE SIDEWALK NOT TO SCALE

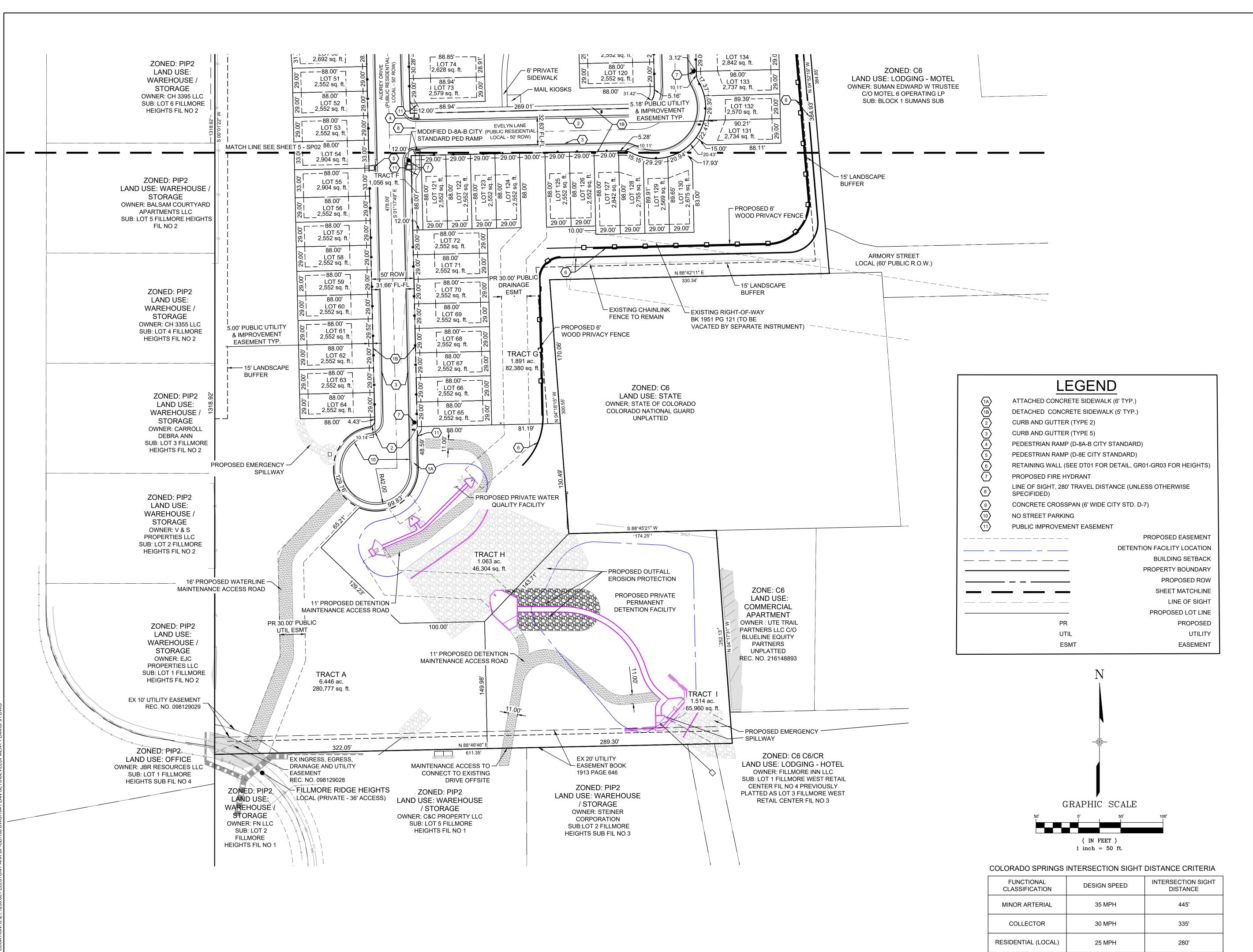


RETAINING WALL DETAILS ARE PROVIDED FOR ENTITLEMENT PURPOSES TO SHOW DESIGN INTENT ONLY AND

NOT TO BE REFERENCED FOR CONSTRUCTION







CONSULTANTS:

PLANNER/ LANDSCAPE ARCHITECT/ CIVIL ENGINEER:

White in the control of the control

OWNER/DEVELOPER:

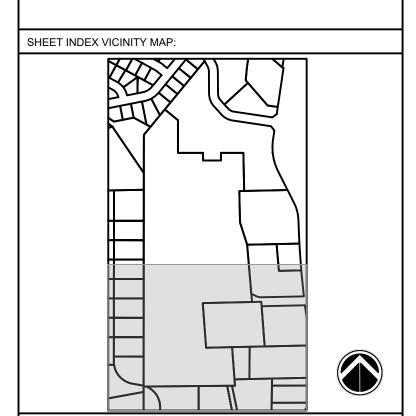
PHONE: (719) 575-0100

FAX: (719) 575-0208

OWNER
FILLMORE HEIGHTS, LLC
14160 GLENEAGLE DRIVE
COLORADO SPRINGS, CO 80921

DEVELOPER
D.R. HORTON
9555 S KINGSTON CT
ENGLEWOOD, CO 80112
PHONE: (303)488-0061





ELLSTON PARK FILING NO. 1 PUD DEVELOPMENT PLAN

PROJECT:

CITY OF COLORADO SPRINGS FEBRUARY 2023

	FEBRUARY 2023				
REV	REVISION HISTORY:				
NO.	DATE	DESCRIPTION	BY		
0	05/23/2022	INITIAL SUBMITTAL	###		
1	08/17/2022	PER CITY COMMENTS	###		
2	10/05/2022	PER CITY COMMENTS	###		
3	02/01/2023	PER CITY COMMENTS	###		
4	03/01/2023	PER CITY COMMENTS	###		
DRAWING INFORMATION:					
PROJECT NO: 21.1256.001 DRAWN BY: JAM		21.1256.001			
		JAM			

DEVELOPMENT PLAN

SP03

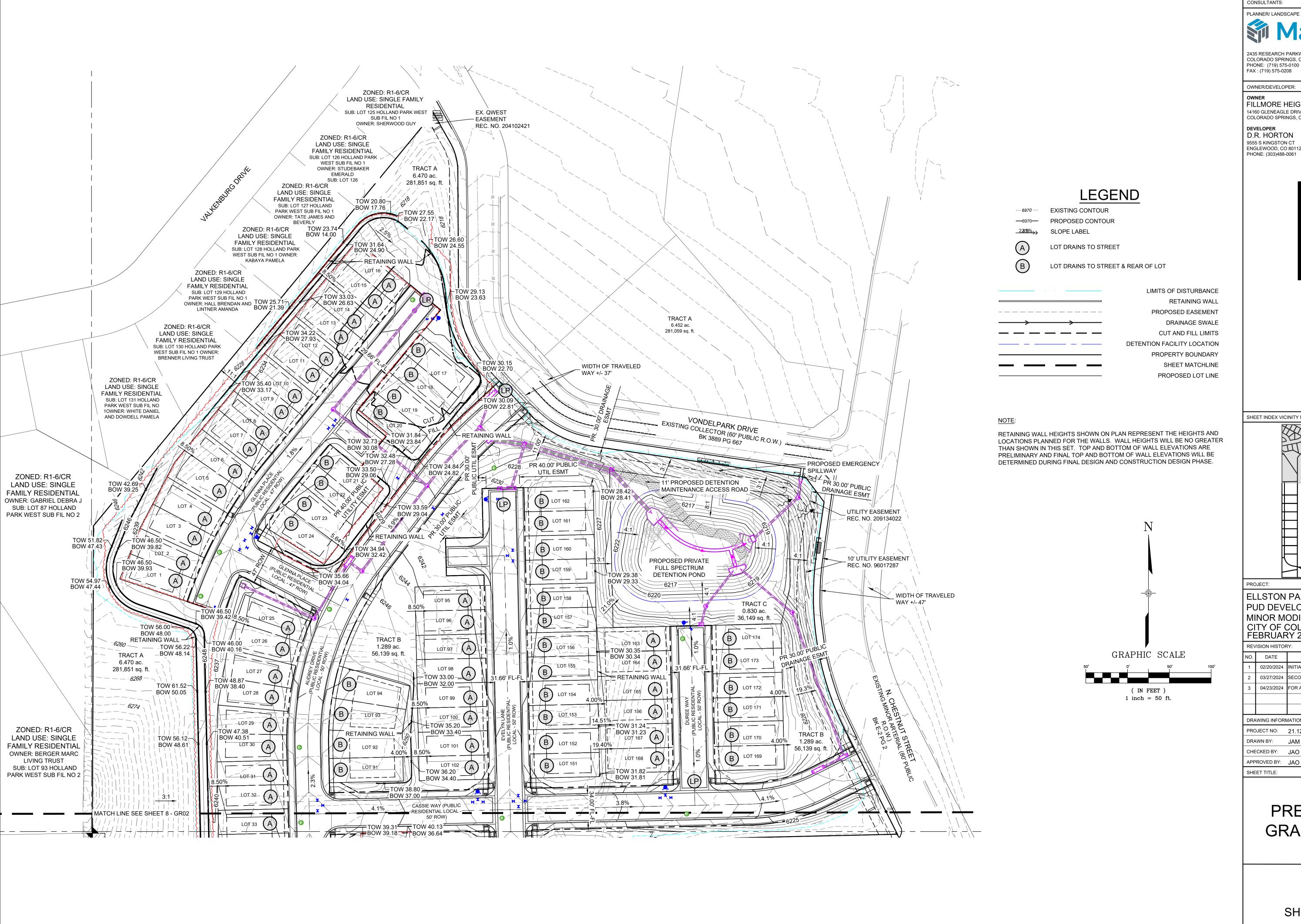
SHEET 6 OF 30

CITY FILE NO.: PUDD-22-0005

CHECKED BY: JAO

APPROVED BY: JAO

SHEET TITLE:



CONSULTANTS: PLANNER/ LANDSCAPE ARCHITECT/ CIVIL ENGINEER:

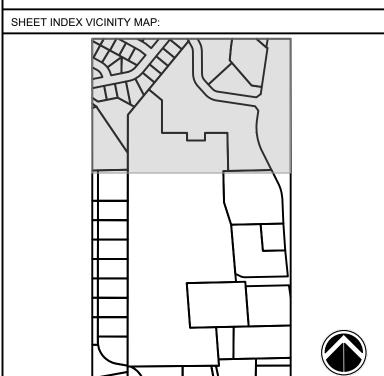
2435 RESEARCH PARKWAY, SUITE 300 COLORADO SPRINGS, CO 80920 PHONE: (719) 575-0100 FAX: (719) 575-0208

OWNER/DEVELOPER:

FILLMORE HEIGHTS, LLC 14160 GLENEAGLE DRIVE COLORADO SPRINGS, CO 80921

DEVELOPER D.R. HORTON 9555 S KINGSTON CT ENGLEWOOD, CO 80112 PHONE: (303)488-0061





ELLSTON PARK FILING 1 & 1A PUD DEVELOPMENT PLAN MINOR MODIFICATION CITY OF COLORADO SPRINGS FEBRUARY 20, 2024

REVISION HISTORY:

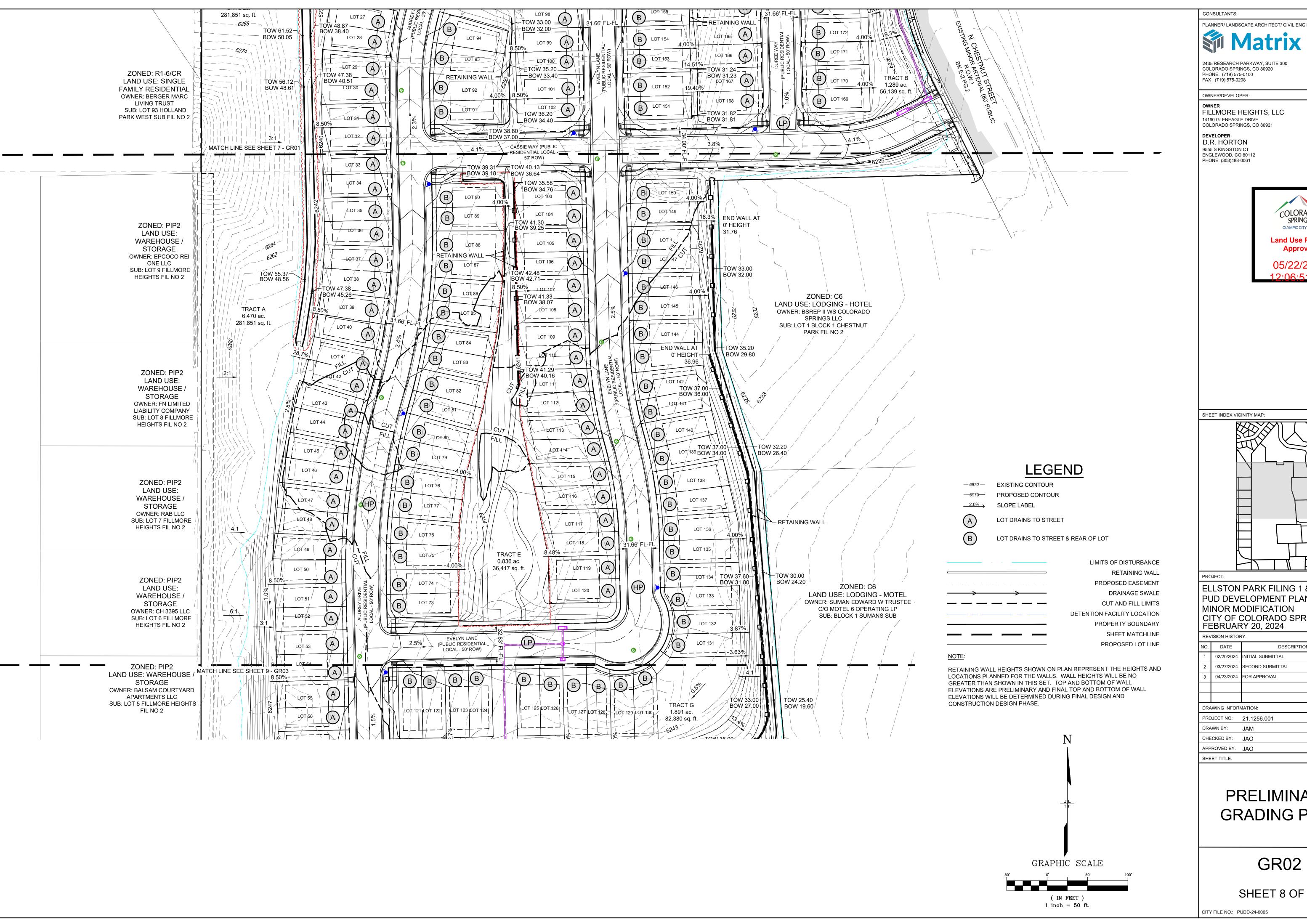
1	02/20/2024	INITIAL SUBMITTAL	###
2	03/27/2024	SECOND SUBMITTAL	###
3	04/23/2024	FOR APPROVAL	DW
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			###
DRA	AWING INFORM	MATION:	
PROJECT NO: 21.1256.001		21.1256.001	
DRAWN BY:		JAM	
CHECKED BY:		JAO	
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DESCRIPTION

PRELIMINARY **GRADING PLAN**

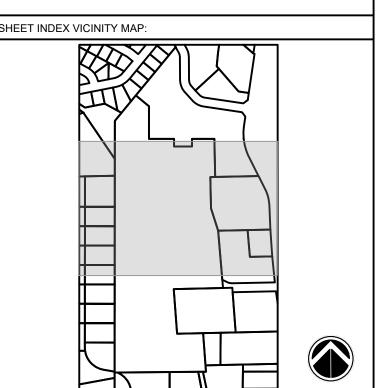
GR01

SHEET 7 OF 30







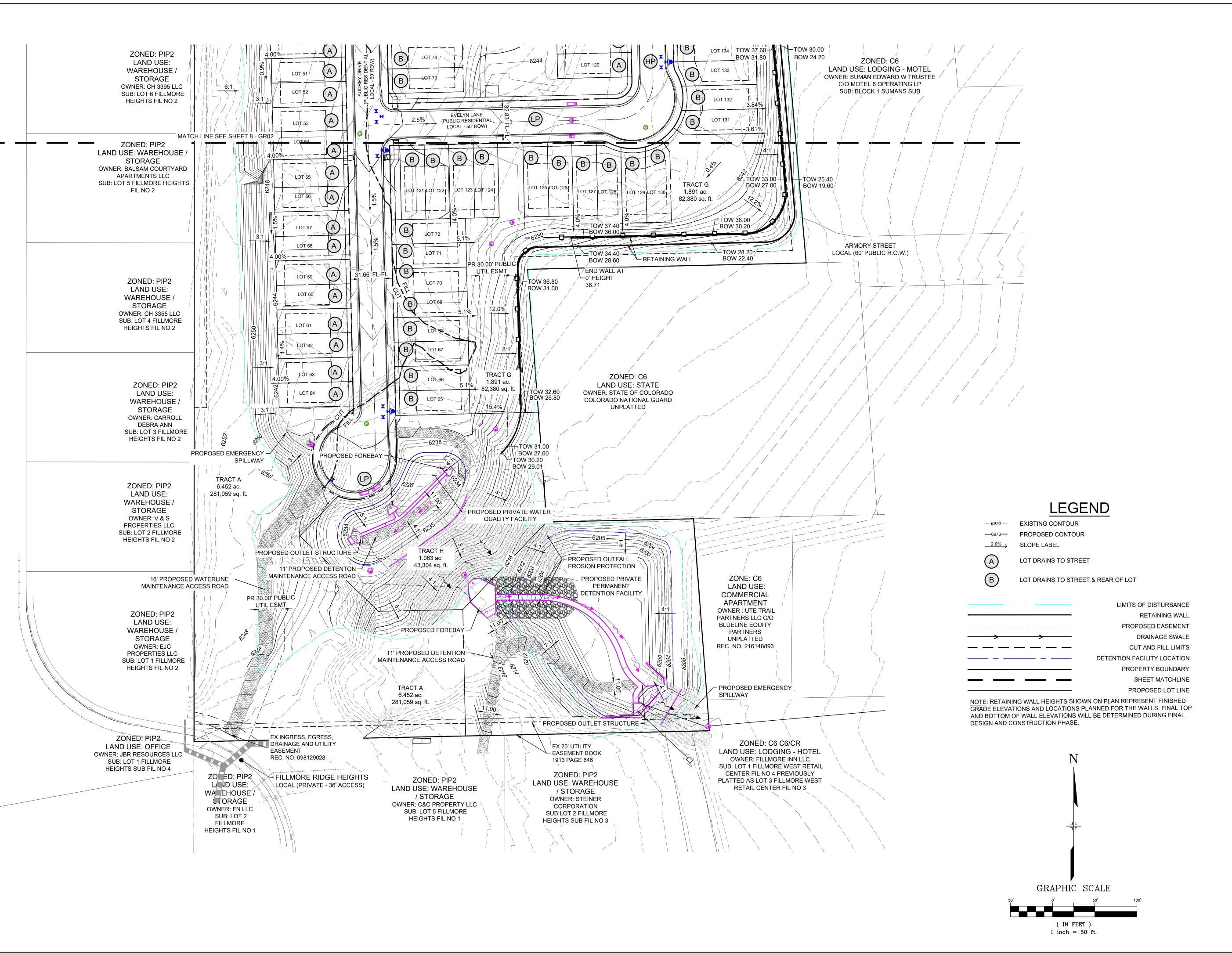


ELLSTON PARK FILING 1 & 1A PUD DEVELOPMENT PLAN CITY OF COLORADO SPRINGS FEBRUARY 20, 2024

NO.	DATE	DESCRIPTION	BY
1	02/20/2024	INITIAL SUBMITTAL	###
2	03/27/2024	SECOND SUBMITTAL	###
3	04/23/2024	FOR APPROVAL	###
			###
			###
DRA	AWING INFORM	MATION:	
PRC	PROJECT NO: 21.1256.001		
DRAWN BY:		JAM	
CHECKED BY:		JAO	
ADDDOVED DV		14.0	

PRELIMINARY **GRADING PLAN**

SHEET 8 OF 30



CONSULTANTS:

PLANNER/ LANDSCAPE ARCHITECT/ CIVIL ENGINEER:

Matrix

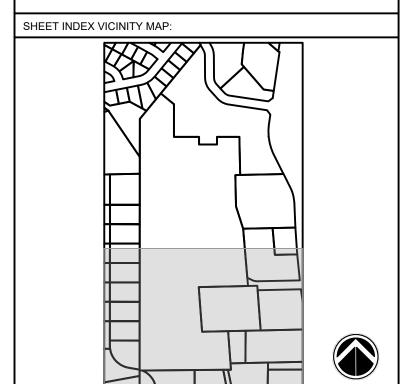
2435 RESEARCH PARKWAY, SUITE 300 COLORADO SPRINGS, CO 80920 PHONE: (719) 575-0100 FAX: (719) 575-0208

OWNER/DEVELOPER:

FILLMORE HEIGHTS, LLC
14160 GLENEAGLE DRIVE
COLORADO SPRINGS, CO 80921

DEVELOPER
D.R. HORTON
9555 S KINGSTON CT
ENGLEWOOD, CO 80112
PHONE: (303)488-0061





ELLSTON PARK FILING NO. 1 PUD DEVELOPMENT PLAN

CITY OF COLORADO SPRINGS FEBRUARY 2023

REVISION HISTORY:

PROJECT:

KEV	REVISION HISTORY:								
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4	03/01/2023	PER CITY COMMENTS	###						
DRA	DRAWING INFORMATION:								
PRC	DJECT NO:	21 1256 001							

PROJECT NO: 21.1256.001

DRAWN BY: JAM

CHECKED BY: JAO

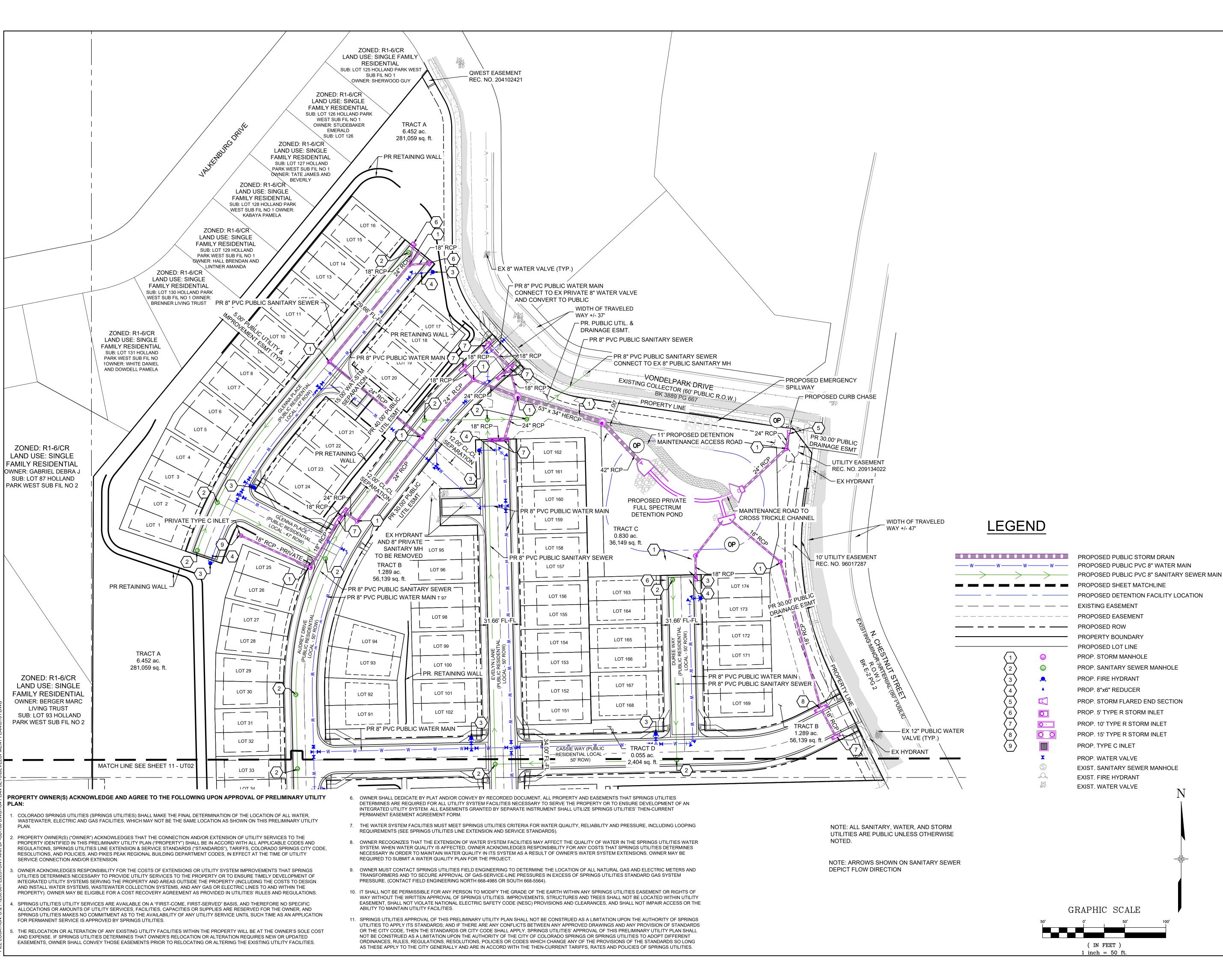
APPROVED BY: JAO

SHEET TITLE:

PRELIMINARY GRADING PLAN

GR03

SHEET 9 OF 30



CONSULTANTS:
PLANNER/ LANDSCAPE

PLANNER/ LANDSCAPE ARCHITECT/ CIVIL ENGINEER:

2435 RESEARCH PARKWAY, SUITE 300 COLORADO SPRINGS, CO 80920 PHONE: (719) 575-0100 FAX: (719) 575-0208

OWNER/DEVELOPER:

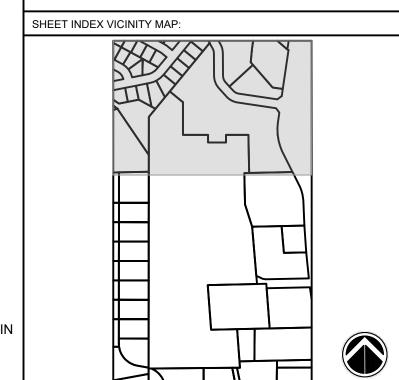
FILLMORE HEIGHTS, LLC

14160 GLENEAGLE DRIVE
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ELLSTON PARK FILING NO. 1 PUD DEVELOPMENT PLAN

PROJECT:

CITY OF COLORADO SPRINGS FEBRUARY 2023

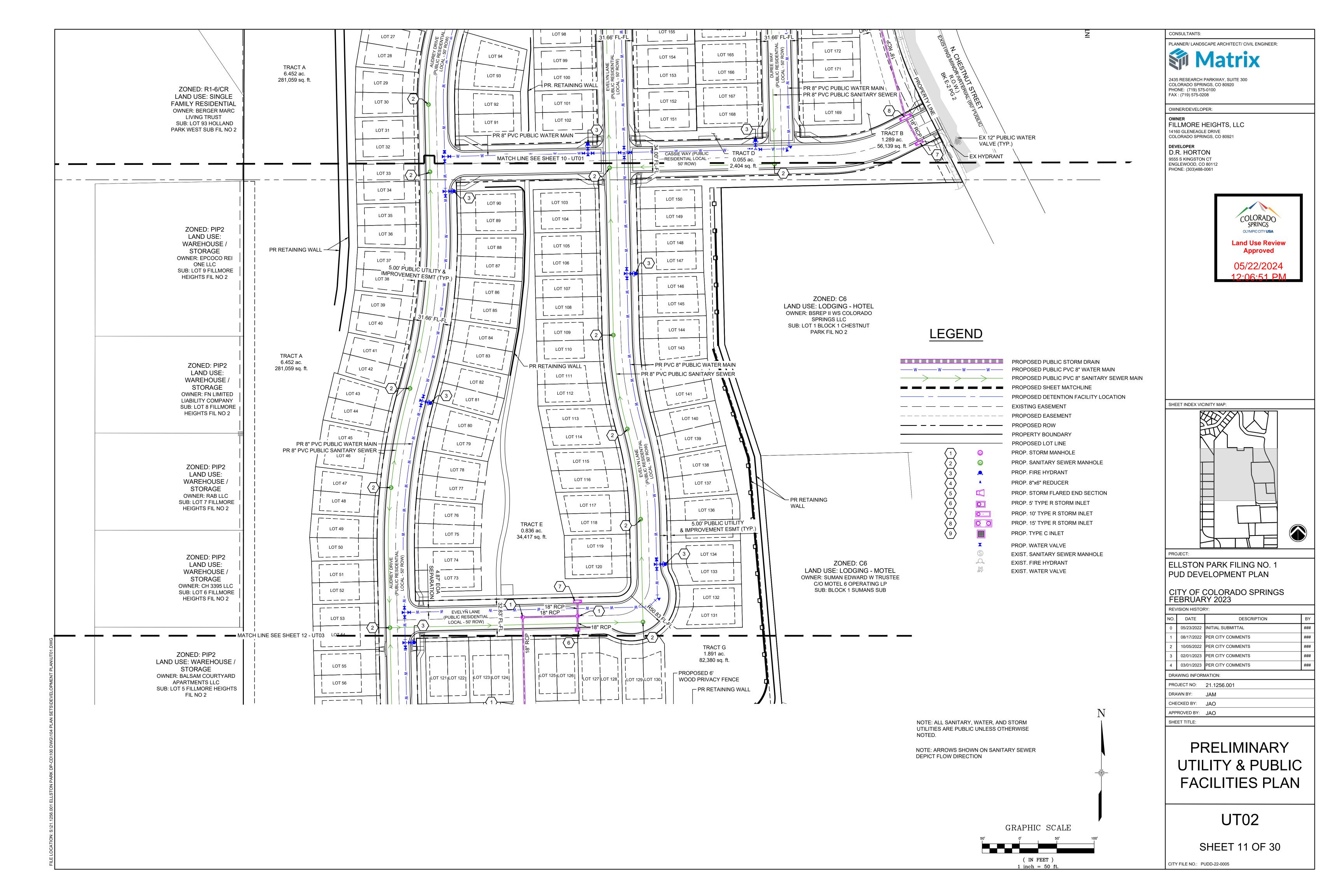
REV	ISION HISTOR	RY:				
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PRC	DJECT NO:	21 1256 001				

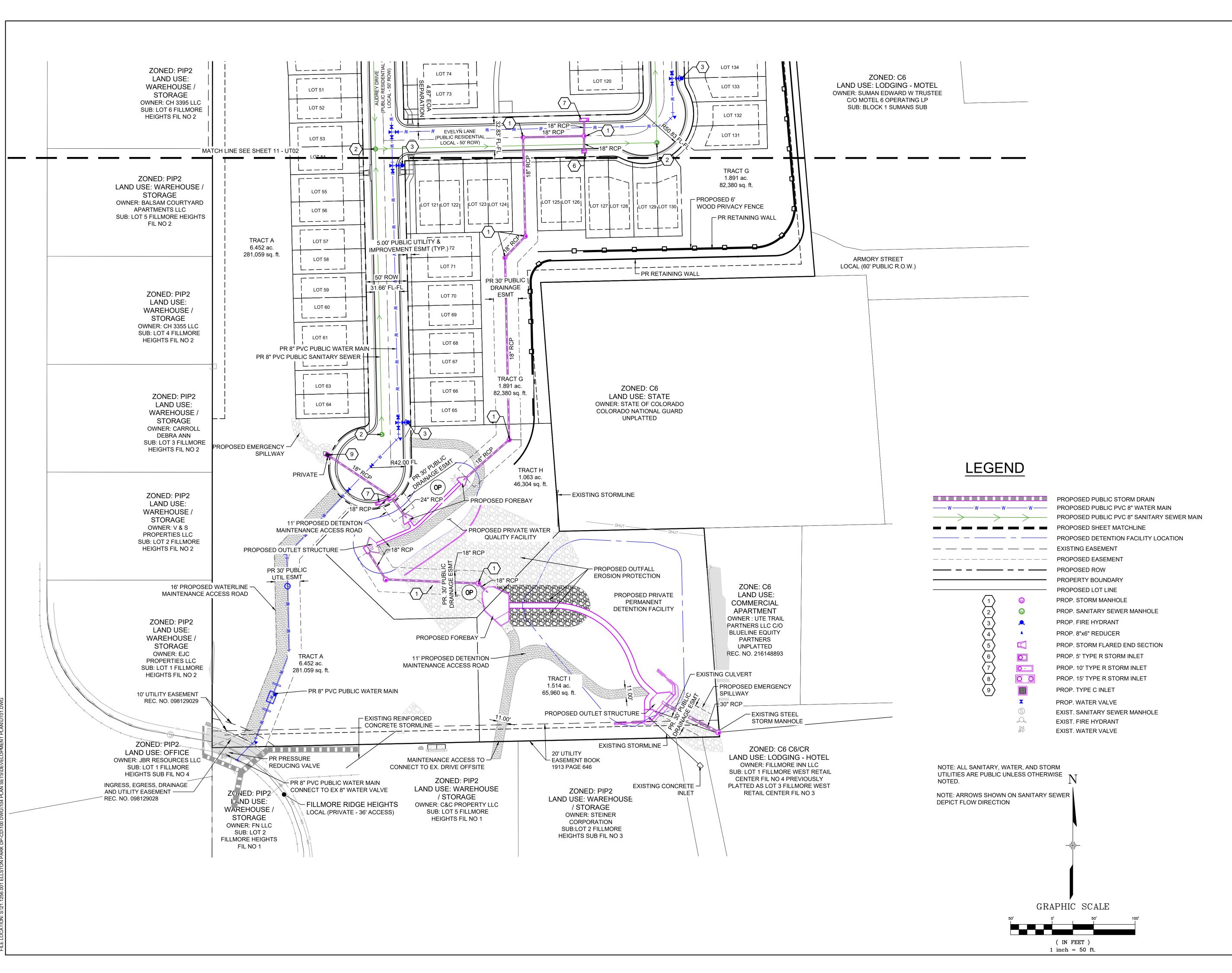
DRAWING INFORMATION:				
PROJECT NO:	21.1256.001			
DRAWN BY:	JAM			
CHECKED BY:	JAO			
APPROVED BY:	JAO			
SHEET TITLE:				

PRELIMINARY UTILITY & PUBLIC FACILITIES PLAN

UT0

SHEET 10 OF 30







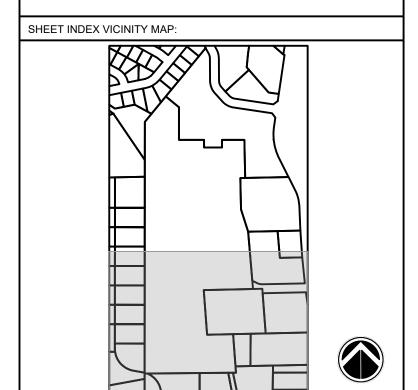
OWNER/DEVELOPER:

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14160 GLENEAGLE DRIVE
COLORADO SPRINGS, CO 80921

DEVELOPER
D.R. HORTON
9555 S KINGSTON CT
ENGLEWOOD, CO 80112
PHONE: (303)488-0061





PROJECT: ELLSTON PARK FILING NO. 1

PUD DEVELOPMENT PLAN

CITY OF COLORADO SPRINGS

FEBRUARY 2023
REVISION HISTORY:

REV	REVISION HISTORY:								
NO. DATE DESCRIPTION									
0	05/23/2022	INITIAL SUBMITTAL	###						
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DRA	DRAWING INFORMATION:								
DDC	DDO IECT NO: 24 4256 004								

PROJECT NO: 21.1256.001

DRAWN BY: JAM

CHECKED BY: JAO

APPROVED BY: JAO
SHEET TITLE:

SHEET TITLE:

PRELIMINARY
UTILITY & PUBLIC
FACILITIES PLAN

UT03

SHEET 12 OF 30

CLIMATE ZONE

FOOTHILLS AND PLAINS
PLAINS

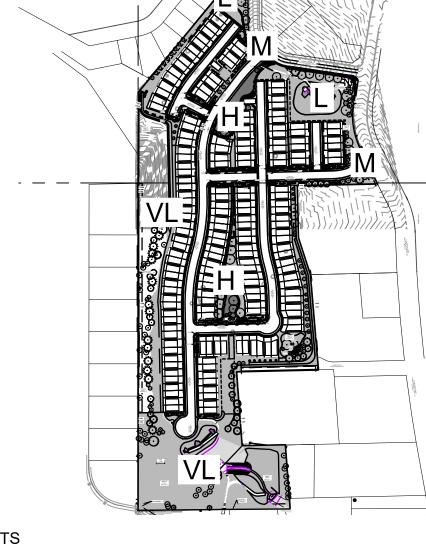
PLANT COMMUNITIES

- 1 SEMIARID SHRUBLANDS2 PINON-JUNIPER WOODLANDS
- 3 PRAIRIE
- 4 LOWER ELEVATION RIPARIAN 5 - FOOTHILL SHRUBLANDS
- 6 PONDEROSA PINE FOREST 7 - UPPER ELEVATION RIPARIAN

8 - DOUGLAS-FIR FOREST

HYDROZONESV - VERY LOW

- (0 TO 7 INCHES PER YEAR)
- L LOW (7 TO 15 INCHES PER YEAR)
- M MODERATE (15 TO 25 INCHES PER YEAR)
- (25+ INCHES PER YEAR)



LANDSCAPE SITE REQUIREMENTS

LANDSCAPE SETBACKS									
PLAN	STREET NAME/	STREET	SETBACI	K DEPTH	LINEAR	TREE/FEET			
ABREV	ZONE BOUNDARY	CLASSICIATION	REQ.	PROV.	FOOTAGE	REQUIRED			
VD	VONDELPARK DRIVE	COLLECTOR	10'	10'	762	1 / 30			
CS	CHESTNUT ST.	MINOR ARTERIAL	20'	20'	433	1 / 25			
SB	SOUTH BOUNDARY	ZONE BOUNDARY	0'	VARIES	1,560	1 / 30			
NW	NORTHWEST BOUNDARY	ZONE BOUNDARY	0'	15'	1,008	1 / 30			

	NO. OF TREES	6	SHRUB SUBSTITUTES		ORN GRASSES SUBS.		% LIVE GROUND PLANE	
	REQ.	PROV.	REQ.	PROV.	REQ.	PROV.	REQ.	PROV.
VD	26	16 (+10 EXISTING)	0				75%	75%
CS	18	18	0				75%	75%
SB	52	27 EXISTING					75%	100%
NI\A/	3/1	3/1					75%	95%

LANDSCAPE BUFFERS

PLAN STREET NAME/		BUFFER DEPTH		LINEAR	
ABREV	ZONE BOUNDARY	REQ.	PROV.	FOOTAGE	
EB	EAST BOUNDARY	15'	15'	1,252'	
WB	WEST BOUNDARY	15'	15'	927'	

	NO. OF TREES (1/20')		EVERGREEN TREES		% LIVE GROUND PLANE	
	REQ.	PROV.	REQ.(50%)	PROV.	REQ.	PROV.
EB	63	54*	31	41	75%	75%
WB	47	40*	23	38	75%	75%

- * ADMINISTRATIVE RELIEF
- ** ALTERNATIVE RELIEF

 ** ALTERNATIVE COMPLIANCE (TO BE REVIEWED WITH FINAL LANDSCAPE PLAN)

SMALL L	OT PUD GUI	DELINES						
174 UNITS			OF TREES REQ. PER 500SF)	SHRUB SUBSTITUTE TREES, 10 SHRUB	•	WITHIN L) BE PROVIDED OTS (SEE NOTE 7 BELOW)	
PLANT ABBREV	REQ.	PROV.	REQ.	PROV. (OPEN SPACE TRACTS)	ALLOWED	PROV. (OPEN SPACE TRACTS)	TREES	SHRUBS
SL	104,400 SF	104,400 SF +	209	79	1040 SHRUBS (REPLACES UP TO 104 TREE FOUIVALENT)	700 SHRUBS (70 TREE EQUIVALENT)	60 (26 MIN WITH SHRUB SUBS.)	340 SHRUBS (UP TO 34 TREE FOULVALENT

ENTITLEMENT NOTES

- 1. LANDSCAPE IMPROVEMENTS AND MAINTENANCE INTERNAL TO THIS PROJECT SHALL BE THE RESPONSIBILITY OF ELLSTON PARK METROPOLITAN DISTRICT OR THEIR ASSIGNS.
- 2. ALL STREET TREES AND LANDSCAPE IMPROVEMENTS LOCATED WITHIN THE R.O.W. WILL BE MAINTAINED BY THE ABUTTING LOT PROPERTY OWNER, OR THEIR ASSIGNED.
- 3. A FINAL LANDSCAPE AND IRRIGATION PLAN SHALL BE SUBMITTED AND REVIEWED CONCURRENT WITH BUILDING PERMIT SUBMITTAL AND APPROVED PRIOR TO ISSUANCE OF A BUILDING PERMIT.
- 4. THE FINAL LANDSCAPE PLAN SHALL BE REVIEWED AND APPROVED BY CSFD (COLORADO SPRINGS FIRE DEPARTMENT) PRIOR TO ISSUANCE OF BUILDING PERMITS.
- 5. SOD AREAS AS ILLUSTRATED ON THE DRAWINGS WILL BE IRRIGATED VIA AN AUTOMATED SYSTEM OF GEAR DRIVEN ROTORS AND/ OR POP-UP SPRAYS. ALL SHRUBS AND TREES (EXCEPT THOSE IN IRRIGATED SOD AREAS) SHALL BE DRIP IRRIGATED. AN AUTOMATIC IRRIGATION CONTROLLER AND RAIN SENSOR WILL BE IN THE IRRIGATION SYSTEM DESIGN.
- 6. ALL NATIVE SEED AREAS AS ILLUSTRATED ON THE DRAWINGS, UNLESS OTHERWISE NOTED, TO BE PERMANENTLY IRRIGATED VIA AN AUTOMATED SYSTEM OF GEAR DRIVEN ROTORS AND/ OR POP-UP SPRAYS. EXACT AREAS OF IRRIGATED NATIVE SEED TO BE DETERMINED WITH THE FINAL IRRIGATION PLAN.
- EACH LOT WILL BE REQUIRED TO PROVIDE ONE TREE OR TEN 5-GALLON SHRUBS WITHIN THEIR FRONT YARD. THIS WILL BE DECLARED IN CC&R'S
 AND ENFORCED BY THE ELLSTON PARK METRO-DISTRICT. LOTS ARE SUBJECT TO FUELS MANAGEMENT REQUIREMENTS (SEE LS02 WILDLAND
 URBAN INTERFACE NOTES) AND REVIEW BY CSFD.
 INDIVIDUAL LOTS OWNERS SHALL BE ALLOWED TO INSTALL A 3-RAIL WOODEN FENCE AT REAR LOT LINES OR A 42" SAFETY RAILING WHEN A
- RETAINING WALL GREATER THAN 3' IS LOCATED AT THE REAR OF THE LOT. SPECIFIC LIMITATIONS OR MANUFACTURE OPTIONS SHALL BE DEFIED IN CC&R'S AND ENFORCED BY THE ELLSTON PARK METRO-DISTRICT.

 9. EXISTING TREES SHALL COUNT TOWARD REQUIREMENT ONLY IF NON-INVASIVE OR PROBLEMATIC SPECIES (PER CURRENT FORESTRY LIST)
- SPECIES TO BE VERIFIED FOR FINAL LANDSCAPE PLAN.

 10. ALL EXISTING TREES BEING USED TO MEET SITE LANDSCAPE REQUIREMENTS SHALL BE REPLACED IF NOT IN A HEALTHY CONDITION.
- 11. SHRUB QUANTITIES AND LOCATION ARE PRELIMINARY AND SUBJECT TO CHANGE. SEE FINAL LANDSCAPE PLAN APPLICATION.



CONSULTANTS:

PLANNER/ LANDSCAPE ARCHITECT/ CIVIL ENGINEER:

2435 RESEARCH PARKWAY, SUITE 300 COLORADO SPRINGS, CO 80920 PHONE: (719) 575-0100 FAX: (719) 575-0208

OWNER/DEVELOPER:

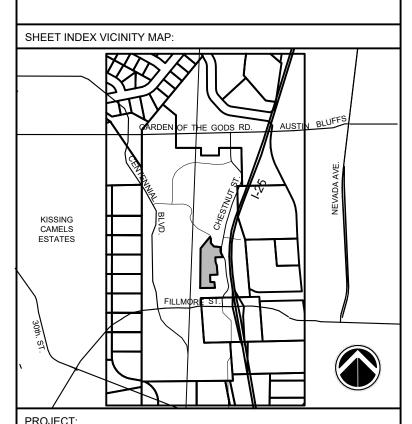
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DEVELOPER
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9555 S KINGSTON CT
ENGLEWOOD, CO 80112
PHONE: (303)488-0061



05/22/2024 12:06:51 PM



ELLSTON PARK FILING NO. 1 PUD DEVELOPMENT PLAN

CITY OF COLORADO SPRINGS

FEBRUARY 2023
REVISION HISTORY:

REV	ISION HISTOR	RY:	
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DRAWING INFORMATION:

PROJECT NO: 21.1256.001

DRAWN BY: JAM

CHECKED BY: JAO

APPROVED BY: JRA

PRELIMINARY LANDSCAPE COVER

LS01

SHEET 13 OF 30

GENERAL NOTES

- 1. PRIOR TO BEGINNING ANY WORK ON THE SITE, THE CONTRACTOR SHALL CONTACT THE OFFICE OF THE OWNER'S REPRESENTATIVE FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING OF WORK.
- 2. READ THOROUGHLY AND BECOME FAMILIAR WITH THE DRAWINGS, NOTATIONS, DETAILS AND SPECIFICATIONS FOR THIS AND RELATED WORK PRIOR TO CONSTRUCTION.
- 3. LANDSCAPE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND SERVICES NECESSARY TO FURNISH AND INSTALL LANDSCAPE ELEMENTS AND PLANTINGS AS SPECIFIED HEREIN AND AS SHOWN ON THESE PLANS.
- 4. REPORT ANY DISCREPANCIES IN THE LANDSCAPE PLANS IMMEDIATELY TO THE OWNER/ OWNER'S REPRESENTATIVE.
- NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT LANDSCAPE ARCHITECT'S APPROVAL. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CANNOT BE OBTAINED. OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REVISE PLANT LIST AS DEEMED NECESSARY.
- . ALL PLANT LOCATIONS ARE APPROXIMATE, ADJUST AS NECESSARY TO AVOID CONFLICTS.
- QUANTITIES OF MATERIALS SHOWN IN PLANT SCHEDULE TAKE PRECEDENCE OVER QUANTITIES SHOWN ON THE LANDSCAPE PLAN. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES IN PLANT SCHEDULE.
- 3. CONTRACTOR SHALL LOCATE ALL UTILITIES BEFORE WORK. UTILITIES HAVE BEEN SHOWN ON PLAN FOR ROUGH LOCATION OF SERVICES. LOCATE EXACT UTILITY LOCATIONS BY CONTACTING "CALL BEFORE YOU DIG" AT (800) 922-1987 OR 811. CONTRACTOR WILL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE HE MAY CAUSE TO LITTUTIES.
- 9. REMOVE ALL RUBBISH, EQUIPMENT AND MATERIAL AND LEAVE THE AREA IN A NEAT, CLEAN CONDITION EACH DAY.
 MAINTAIN PAVED AREAS UTILIZED FOR HAULING EQUIPMENT AND MATERIALS BY OTHER TRADES IN A CLEAN AND
 UNOBSTRUCTED CONDITION AT ALL TIMES.
- 10. STORAGE OF ANY MATERIALS, BUILDINGS, VEHICLES OR EQUIPMENT, FENCING AND WARNING SIGNS SHALL BE MAINTAINED THROUGHOUT THE SITE WORK AND CONSTRUCTION PERIODS BY THE CONTRACTOR.
- 11. CONTRACTOR TO UTILIZE STOCKPILED TOPSOIL FROM GRADING OPERATION AS AVAILABLE. TILL INTO TOP 6" OF SOIL. FOR GRADING SEE CIVIL ENGINEER DRAWINGS.
- 12. A 3' DIAMETER CLEAR SPACE SPACE SHALL BE MAINTAINED AROUND ALL FIRE HYDRANTS.

SOIL AMENDMENT NOTES

- CONTRACTOR TO APPLY TO ALL AREAS 3 CY/ 1,000 SF ORGANIC MATTER COMPOST. TILL INTO TOP 6-8" OF SOIL COMPOST TO BE TYPE I CONSISTING OF 1-YEAR OLD ORGANIC MATERIAL AND SHALL NOT INCLUDE CHICKEN
- 2. CONTRACTOR TO APPLY FERTILIZERS AS RECOMMENDED PER THE SOILS ANALYSIS.
- 3. FERTILIZER RECOMMENDATIONS:

NITRAT

- FOR HIGH MAINTENANCE TURF: ADD 1.33 LB N/1,000 SQ.FT IN EACH OF 4 APPLICATIONS: (1) MID-MARCH, (2)
- MAY-TO-MID-JUNE, (3) MID-AUG TO MID-SEPT., (4) AND EARLY OCT. TO EARLY NOV.

 FOR LOW MAINTENANCE TURF: REDUCE APPLICATIONS (1) AND (2) TO 0.5 LB N/1,000 SQ.FT; APPLICATION (4) IS OPTIONAL
- FOR SHRUB BEDS: ADD 4 LBS N/ 1,000 SF. WHEN CALCULATING FERTILIZER RATES TAKE THE AMOUNT OF N NEEDED AND DIVIDE BY THE % IN FERTILIZER.
- FOR EACH 1 LB OF N NEEDED, APPLY 2 LB UREA, OR 5 LB AMMONIUM SULFATE, OR 3 3/4 LB (27-3-4) LAWN
- FERTILIZER PER 1,000 SQ.FT.

 THE NUMBER OF NITROGEN APPLICATIONS CAN BE REDUCED OR DELAYED IF TURF GROWTH IS VIGOROUS IN THE

PHOSPHORUS: ADD 3 LBS P2O5/1,000 SF SULFATE: ADD 1 LBS/1,000 SF ZINC: ADD 0.2 LBS/1,000 SF IRON: ADD 0.04 LBS FESO4 / 1,000 SF MANGANESE: ADD 0.25 LBS/1,000 SF COPPER: ADD 0.13 LBS/1.000 SF

TREE AND SHRUB PLANTING NOTES

- 1. ALL TREE AND SHRUB LOCATIONS ARE APPROXIMATE; ADJUST AS NECESSARY TO AVOID CONFLICTS. PLANTING LOCATIONS OF SHRUBS, GRASSES, AND PERENNIALS AS SPECIFIED. OBTAIN OWNER'S REPRESENTATIVE'S APPROVAL OF LOCATIONS PRIOR TO PLANTING TREES AND SHRUBS.
- 2. ALL PLANT MATERIAL SHALL BE WELL-FORMED AND DEVELOPED IN GOOD CONDITION, HEALTHY AND DISEASE-FREE, AND BE TYPICAL OF THE SPECIES. PLANTS SHALL COMPLY IN ALL APPLICABLE RESPECTS WITH ACCEPTABLE STANDARDS AS SET FORTH IN THE COLORADO NURSERY ACT OF 1965 TITLE 35, ARTICLE 25, CRS 1974 (SEE LANDSCAPE THE NURSERY ACT).
- 3. OWNER AND OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT AT ANY TIME OR PLACE PRIOR TO FINAL ACCEPTANCE OF WORK, ANY AND ALL PLANTS WHICH, IN THEIR OPINION, FAIL TO MEET THE REQUIREMENTS OF THE SPECIFICATIONS.
- 4. AT THE COMPLETION OF PLANTING OPERATIONS ALL PLANTS SHALL BE INSPECTED BY THE OWNER AND OWNER'S REPRESENTATIVE. CONTRACTOR SHALL REPLACE IMMEDIATELY ANY PLANTS NOT IN HEALTHY AND VIGOROUS CONDITION AT THAT TIME AT NO EXPENSE TO THE OWNER. ANY PLANT NOT IN HEALTHY CONDITION DURING THE WARRANTY PERIOD SHALL BE REPLACED AS PER THE ORIGINAL SPECIFICATIONS, AT NO CHARGE TO THE OWNER.
- 5. PLANTING BEDS RECEIVING MULCH ARE TO BE FREE OF WEEDS AND GRASS. WOOD MULCH IS TO BE SHREDDED CEDAR WOOD MULCH UNLESS OTHERWISE SPECIFIED. POROUS WEED BARRIER FABRIC, SHALL BE INSTALLED WHERE NOTED IN THE DETAILS.
- PLANT GROUND COVER WITHIN ONE FOOT (1') OF TRUNK OF TREES OR SHRUBS PLANTED WITHIN AREA.
 PLANTING ARRANGEMENT SHALL BE PER DRAWINGS, WITH PROPER ON-CENTER SPACING BETWEEN PLANTS.
- TWO-THIRDS (2/3) DEPTH OF BALL, THEN THOROUGHLY SOAKED WITH WATER TO ALLOW SETTLEMENT. ALL WIRE, BURLAP FASTENERS AND LOOSE BURLAP AROUND BASE OF TRUNK SHALL BE REMOVED AT THIS TIME. REMAINDER OF PIT SHALL THEN BE BACKFILLED, ALLOWING FOR DEPTH OF MULCH, SAUCER AND SETTLEMENT OF BACKFILL. BACKFILL SHALL THEN BE THOROUGHLY WATERED AGAIN.

7. ALL PLANT MATERIALS SHALL HAVE BACKFILL CAREFULLY PLACED AROUND BASE AND SIDES OF BALL TO

- 8. LANDSCAPE CONTRACTOR TO REMOVE TREE STAKES, TREE WRAP, AND ALL DEAD WOOD ON TREES AND SHRUBS ONE YEAR AFTER PROVISIONAL ACCEPTANCE.
- 9. ALL WORK ON TREES TO REMAIN, INCLUDING CROWN AND ROOT PRUNING SHALL BE PERFORMED BY A TREE SERVICE LICENSED BY THE CITY FORESTER.
- 10. THE CONTRACTOR SHALL PROVIDE ALL WATER, WATERING DEVICES AND LABOR NEEDED TO IRRIGATE PLANT MATERIALS UNTIL AUTOMATIC IRRIGATION SYSTEMS ARE OPERATIONAL AND ACCEPTED. THE CONTRACTOR SHALL SUPPLY ENOUGH WATER TO MAINTAIN THE PLANT'S HEALTHY CONDITION BASED ON SEASONAL CONSIDERATIONS.
- 11. ALL PLANT MATERIALS SHALL BE PROTECTED FROM THE DRYING ACTION OF THE SUN AND WIND AFTER BEING DUG, WHILE BEING TRANSPORTED, AND WHILE AWAITING PLANTING. BALLS OF PLANTS THAT CANNOT BE PLANTED IMMEDIATELY SHALL BE PROTECTED FROM DRYING ACTION BY COVERING THEM WITH MOIST MULCH. PERIODICALLY, APPLY WATER TO MULCH-COVERED BALLS TO KEEP MOIST. IF PLANTING SHOULD OCCUR DURING GROWING SEASON, APPLY ANTI-DESICCANT TO LEAVES BEFORE TRANSPORT TO REDUCE LIKELIHOOD OF WINDBURN. REAPPLY ANTI-DESICCANT AFTER PLANTING TO REDUCE TRANSPIRATION.
- 12. AFTER PLANTING IS COMPLETED, REPAIR INJURIES TO ALL PLANTS AS REQUIRED. LIMIT AMOUNT OF PRUNING TO A MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS AND BRANCHES. PRUNE IN SUCH A MANNER AS NOT TO CHANGE NATURAL HABIT OR SHAPE OF PLANT. CENTRAL LEADERS SHALL NOT BE REMOVED.

EXISTING VEGETATION NOTES

- EXISTING TREES TO BE EVALUATED FOR HEALTH, PRUNING AND IMPACT TO HISTORIC VIEW CORRIDORS
 PLANT MATERIAL TO BE REMOVED IF THE SPECIES IS UNDESIRABLE IE: NOXIOUS WEED OR AN INVASIVE SHRUB OR TREE.
- ALL VEGETATION DESIGNATED TO REMAIN SHALL BE FENCED OFF DURING CONSTRUCTION TO MINIMIZE DISTURBANCE IN THESE AREAS. ALL FENCING IS TO BE INSTALLED PRIOR TO GRADING ON THE PROPERTY. A 4' ORANGE CONSTRUCTION SAFETY FENCE SHALL BE USED IN THIS APPLICATION.

SODDING AND SEEDING NOTES

- . CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EXISTING EROSION CONTROL MEASURES DURING THE DURATION OF WORK ON-SITE.
- 2. GENERAL CONTRACTOR SHALL PROVIDE 4" OF TOPSOIL AT ALL SOD AND PLANTING AREAS IN ADDITION TO ANY REQUIRED SOIL AMENDMENTS. GRADE SHALL BE ADJUSTED FOR SOD/ GROUND COVER THICKNESS. ALL FINISH GRADING SHALL BE PERFORMED BY LANDSCAPE CONTRACTOR.
- FINE GRADE SOD AREAS TO ELIMINATE IRREGULARITIES ON THE SURFACE. ROLL OR PERFORM ADDITIONAL FINE GRADING.
- 4. ALL AREAS TO BE SEEDED SHALL BE TILLED AS SPECIFIED AND THEN HARROWED, RAKED OR ROLLED TO PRODUCE A FIRM SEED BED FOR PLANTING. IMPORTED TOPSOIL MAY BE REQUIRED TO PROVIDE AN ACCEPTABLE PLANTING MEDIUM. LARGE ROCKS (1 INCH DIAMETER) AND DEBRIS THAT MAY IMPEDE SEEDING SHALL BE CLEARED FROM THE SITE. ANY REQUIRED EROSION CONTROL FEATURES (E.G., WATER BARS, BERMS, BASINS, TURNOUTS) SHALL BE CONSTRUCTED PRIOR TO SEEDING. SITES THAT ARE NOT ADEQUATELY PREPARED PRIOR TO SEEDING (E.G., COMPACTED SOIL, INSUFFICIENT TOPSOIL, ROCKY, ERODED SURFACE, ETC.) SHALL BE REJECTED.
- 5. ALL SPECIFIED SEED MIXES SHALL CONSIST OF CERTIFIED SEED VARIETIES THAT ARE FREE OF NOXIOUS WEEDS AND HAVE BEEN TESTED FOR PURITY AND GERMINATION WITHIN SIX MONTHS OF THE PLANTING DATE. CERTIFICATION LABELS WHICH INDICATE THE SPECIES, PURITY, GERMINATION, WEED CONTENT, ORIGIN, AND TEST DATE SHALL BE SUBMITTED FOR ALL SEED MATERIALS.
- 6. SEEDING SHALL OCCUR DEPENDING ON THE PROJECT SCHEDULE, IT IS PREFERABLE THAT SEEDING OCCUR DURING THE FALL (SEPTEMBER-NOVEMBER) OR SPRING (MARCH-MAY) TO MAXIMIZE PLANTING SUCCESS. IF THE PROJECT SCHEDULE DOES NOT COINCIDE WITH THE PREFERRED SEEDING PERIODS, OR IF THERE ARE UNSUITABLE SITE CONDITIONS (I.E. FROZEN GROUND), THEN SOIL STABILIZATION AND/OR STORM WATER BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED TO STABILIZE THE AREA UNTIL THE NEXT APPROPRIATE SEEDING DATE. ANY SEEDING CONDUCTED OUTSIDE THE PREFERRED MONTHS SHALL BE APPROVED BY THE OWNER.
- 7. SEEDING METHOD: DRILL SEEDING OR BROADCAST SEEDING SHALL BE USED. AS OUTLINED BELOW, THE SIZE AND SLOPE OF THE SEEDED AREA SHALL DETERMINE WHICH SEEDING METHOD(S) IS APPROPRIATE AND ACCEPTABLE. REFER TO MANUFACTURER'S SPECIFICATIONS FOR ADJUSTING SEEDING RATES FOR APPLICATIONS DIFFERING FROM THE SEED MIX
- A. SLOPES LESS THAN 3:1 SEED SHALL BE PLANTED USING A RANGELAND DRILL. SEEDING SHALL BE ACCOMPLISHED USING BI-DIRECTIONAL DRILLING AND FOLLOWING THE SLOPE CONTOUR. THE DRILL EQUIPMENT SHALL BE CALIBRATED EACH

DAY OR WHENEVER THERE IS A CHANGE IN THE SEED MIX TO ENSURE PROPER SEED DISTRIBUTION AND RATE.

- B. SLOPES GREATER THAN 3:1 OR AREAS LESS THAN 0.10 ACRE SEED SHALL BE BROADCAST BY HAND OR MECHANICAL SPREADER. BROADCAST SEEDED AREAS SHALL BE RAKED OR HARROWED TO INCORPORATE THE SEED INTO THE SOIL AT A DEPTH NOT EXCEEDING 0.75 INCHES.
- C. BROADCAST SEEDING SHALL BE AVOIDED WHEN WIND SPEED EXCEEDS 15 MILES PER HOUR
- ALTERNATIVE METHODS TO BE REVIEWED AND APPROVED BY OWNER OR LANDSCAPE ARCHITECT.
- 8. FINE GRADE SEED TO ELIMINATE IRREGULARITIES ON THE SURFACE. ROLL OR PERFORM ADDITIONAL FINE GRADING. SEED AREAS BY MEANS OF APPROVED BROADCAST OR HYDRAULIC-TYPE SPREADERS. DO NOT SEED DURING WINDY WEATHER.
- 9. WEED-FREE NATIVE HAY, WEED-FREE STRAW, OR VIRGIN WOOD FIBER HYDRO-MULCH SHALL BE USED PER NOTES BELOW TO CONTROL EROSION AND PROMOTE SEED GERMINATION AND PLANT ESTABLISHMENT. NATIVE HAY, STRAW, OR HYDRO-MULCH SHALL BE APPLIED PER SEED SUPPLIER'S RECOMMENDATIONS FOR OPTIMAL GROWTH PER SEED MIX TYPE AND SLOPE.
- SEEDED AREAS WITHIN 24 HOURS OF SEEDING. HYDRO-MULCH SHALL BE APPLIED USING A COLOR DYE AND THE MANUFACTURER'S RECOMMENDED RATE OF AN ORGANIC TACKIFIER.

HYRDO-MULCHING: ALL IRRIGATED SEEDING SHALL BE HYDRO MULCHED. ORGANIC TACKIFIER SHALL BE USED. MULCH

- B. STRAW CRIMPING: ALL NON-IRRIGATED OR TEMPORARILY IRRIGATED TO BE NATIVE HAY OR STRAW CRIMPED INTO THE
- SOIL TO A DEPTH OF AT LEAST 3 INCHES, AND SHALL PROTRUDE ABOVE THE GROUND AT LEAST 3 INCHES.

 C. ALTERNATIVE METHODS TO BE REVIEWED AND APPROVED BY OWNER OR LANDSCAPE ARCHITECT.
- D. EROSION CONTROL BLANKETS ARE TO BE APPLIED ON SLOPES 3:1 AND GREATER.
- 10. IF A WATER HOOK-UP IS AVAILABLE A SPRINKLER SYSTEM MAY BE USED TO PROMOTE RAPID PLANT ESTABLISHMENT.
 GENERALLY, WATERING AT 0.75-1.0 INCHES/WEEK IS RECOMMENDED DURING THE APRIL-OCTOBER GROWING SEASON
 DEPENDING ON NATURAL RAINFALL. THE USE OF WATER TRUCKS FOR IRRIGATION IS PROHIBITED DUE TO TRAFFIC IMPACTS
 ON THE SEEDED AREAS AND TYPICAL POOR WATER DISTRIBUTION OBSERVED WITH THIS TYPE OF WATERING.
- 11. APPROVAL OF SEEDED TURF AREAS SHALL BE BASED UPON THE SEED PRODUCERS GUARANTEED SEEDING GERMINATION RATE FOR A ONE SQUARE FOOT AREA. IF GUARANTEED GERMINATION RATE IS NOT ACHIEVED, THE CONTRACTOR SHALL OVERSEED UNTIL THE GERMINATION RATE IS ACHIEVED. REVEGETATION SHALL HAVE AT LEAST 3 NATIVE GRASS SEEDLINGS/SQUARE FOOT AND NO BARE AREAS EXCEEDING ONE SQUARE METER AFTER THE SECOND GROWING SEASON. FOR DRILL SEEDED AREAS, PLANTING ROWS SHALL BE NOTICEABLE BY THE END OF THE FIRST FULL GROWING SEASON. IF A PARTIAL OR TOTAL SEEDING FAILURE IS APPARENT AFTER THE SECOND GROWING SEASON, POORLY VEGETATED AREAS SHALL BE RESEEDED IN THE SAME MANNER DESCRIBED ABOVE. APPROPRIATE SITE PREPARATION PRACTICES SHALL BE USED TO CREATE A SUITABLE SEEDBED FOR PLANTING, BUT ANY ESTABLISHED NATIVE VEGETATION SHALL BE UNDISTURBED TO THE EXTENT POSSIBLE. AREAS THAT ERODE BEFORE GERMINATION AND ESTABLISHMENT CAN OCCUR SHALL BE REPAIRED AND IMMEDIATELY RESEEDED DURING THE SAME SEASON.
- 12. ALL BARE AREAS TO BE RESEEDED WITH PROPER REMOVAL OF WEEDS. ALL NATIVE SEED AREAS ARE TO MEET STANDARD LOCAL JURISDICTION REQUIREMENTS FOR GERMINATION AND ESTABLISHMENT.

WILDLIFE-URBAN INTERFACE (WUI) NOTES:

- 1. FUELS MANAGEMENT- SAFETY ZONE. ALL LOTS WITH HOMES CONSTRUCTED OR RECONSTRUCTED AFTER THE ADOPTION OF THE ORDINANCE, WITHIN THE WILDLAND URBAN INTERFACE, REGARDLESS OF DEVELOPMENT PLAN APPROVAL DATE, SHALL BE SUBJECT TO THE FOLLOWING FUELS MANAGEMENT REQUIREMENTS:
 - K102.1.1 SAFETY ZONE: BRUSH PATCHES OR CLUSTERS MAY BE LEFT IN THE SAFETY ZONE, BUT SHALL BE SEPARATED BY CLEAR AREAS OF AT LEAST TEN FEET (10') OR MORE OF NONCOMBUSTIBLE MATERIALS AND/OR GRASS MOWED TO NOT MORE THAN FOUR INCHES (4") IN HEIGHT. (ORDINANCE 18-50, 8.4.105, K102.1)
- 2. FUELS MANAGEMENT- CLEARANCE TO MAIN STRUCTURE. ALL LOTS WITH HOMES CONSTRUCTED OR RECONSTRUCTED AFTER THE ADOPTION OF THE ORDINANCE, WITHIN THE WILDLAND URBAN INTERFACE, REGARDLESS OF DEVELOPMENT PLAN APPROVAL DATE, SHALL BE SUBJECT TO THE FOLLOWING FUELS MANAGEMENT REQUIREMENTS:
 - K102.1.2 CLEARANCE TO MAIN STRUCTURE. NO HAZARDOUS BRUSH OR TREES (I.E. JUNIPERS AND CONIFERS) SHALL BE ALLOWED WITHIN FIFTEEN FEET (15') OF THE MAIN STRUCTURE OR SIGNIFICANT ACCESSORY STRUCTURE. CONIFERS OR OTHER SIMILARLY COMBUSTIBLE PLANTS SHALL NOT BE PLANTED UNDER SOFFIT VENTS.
 - EXCEPTION: WHEN APPROVED BY THE FIRE CODE OFFICIAL, SMALL BRUSH PATCHES OR TREES, NOT EXCEEDING ONE HUNDRED (100) SQUARE FEET IN SIZE AND NO MORE THAN FIFTEEN (15) LINEAR FEET IN ANY DIRECTION, MAY BE ALLOWED TO ENCROACH INTO THIS ZONE. VEGETATION MUST BE MAINTAINED IN ACCORDANCE WITH THE APPLICABLE COLORADO SPRINGS COMMUNITY WILDFIRE PROTECTION PLAN. PLANTS WITH FIRE RESISTANT CHARACTERISTICS FOUND ON THE COLORADO STATE FOREST SERVICE LIST OF FIREWISE PLANTS ARE ALLOWED WITHIN 15 FEET OF THE MAIN STRUCTURE OR SIGNIFICANT ACCESSORY STRUCTURE. (ORDINANCE 18-50, 8.4.105, K102.1.2)
- 3. PRUNING OF DEAD LIMBS. LARGE TREES SHALL NOT BE ALLOWED TO HAVE LIMBS OVERLAP ANOTHER TREE AND SHALL BE PRUNED OF DEAD LIMBS TO A HEIGHT OF UP TO TEN FEET (10') ABOVE THE GROUND. TREE CLUSTERS MAY BE ALLOWED IF SUFFICIENT CLEAR AREA IS PROVIDED AND APPROVED. (ORDINANCE 18-50, 8.4.105, K102.1.3)
- 4. CLEARANCE OF TREE BRANCHES TO STRUCTURES OR APPURTENANCES. TREE BRANCHES SHALL NOT EXTEND OVER OR UNDER THE ROOF OR EAVES, AND SHALL NOT BE WITHIN FIFTEEN FEET (15') OF A DECK OR SIMILAR COMBUSTIBLE PROJECTION, WOOD BURNING APPLIANCE OR CHIMNEY. (ORDINANCE 18-50, 8.4.105, K102.1.4)

SEED MIX SCHEDULE

MIX	SUPPLIER	SPECIES	CONDITION	APPLICATION RATE	APPLICATION METHOD	ł
ROCKY MOUNTAIN NATIVE SEED MIX	ARKANSAS VALLEY SEED	20% SLENDER WHEATGRASS 20% GREEN NEEDLEGRASS 20% MOUNTAIN BROME 15%THICKSPIKE WHEATGRASS 10% ROCKY MOUNTAIN FESCUE 5% BLUE GRAMA 5% INDIAN RICEGRASS 5% SANDBERG BLUEGRASS 5% BOTTLEBRUSH SQUIRRELTAIL	IRRIGATED	20 LBS/ACRE	PER SEEDING NOTES	
EL PASO COUNTY CONSERVATION DISTRICT ALL- PURPOSE LOW GROW MIX		25% BUFFALOGRASS 20% BLUE GRAMA 29% SIDEOATS GRAMA 5% GREEN NEEDLEGRASS 20% WESTERN WHEATGRASS 1% DROPSEED	IRRIGATED	42 PLS/ACRE	PER SEEDING NOTES	
EL PASO COUNTY CONSERVATION DISTRICT ALL- PURPOSE MIX		20% BIG BLUE STEM 10% BLUE GRAMA 10% GREEN NEEDLEGRASS 20% WESTERN WHEATGRASS 10% SIDEOATS GRAMA 10% SWITCHGRASS 10% PRAIRIE SANDREED 10% YELLOW INDIANGRASS	IRRIGATED	10 PLS/ACRE	PER SEEDING NOTES	

PLANT SCHEDULE **DECIDUOUS TREES** BOTANICAL / COMMON NAME CONTAINER MAT. W. CITY KEY CODE QTY 15 ACER GLABRUM 45678S **ROCKY MOUNTAIN MAPLE** CO CELTIS OCCIDENTALIS **COMMON HACKBERRY** GLEDITSIA TRIACANTHOS INERMIS THORNLESS HONEY LOCUST TILIA AMERICANA AMERICAN LINDEN **EVERGREEN TREES** BOTANICAL / COMMON NAME CONTAINER CITY KEY ABIES CONCOLOR 45678SA WHITE FIR 124567D JUNIPERUS SCOPULORUM ROCKY MOUNTAIN JUNIPER JUNIPERUS SCOPULORUM 'MOONGLOW' MOONGLOW JUNIPER PICEA ABIES NORWAY SPRUCE PICEA PUNGENS 'HOOPSII' HOOPSI BLUE SPRUCE PINUS PONDEROSA PONDEROSA PINE ORNAMENTAL TREES <u>QTY</u> **BOTANICAL / COMMON NAME** CITY KEY FRANGULA ALNUS 'COLUMNARIS' **COLUMNAR ALDER BUCKTHORN** MALUS X 'SPRING SNOW' SPRING SNOW CRABAPPLE CITY KEY **DECIDUOUS SHRUBS** BOTANICAL / COMMON NAME PHILADELPHUS LEWISII #5 CONT. CONT WILD MOCKORANGE PHYSOCARPUS OPULIFOLIUS 'DIABOLO' #5 CONT. CONT. DIABOLO NINEBARK 1245678AD PRUNUS X CISTENA #5 CONT. CONT. PURPLE LEAF SAND CHERRY RIA RIBES AUREUM #5 CONT. CONT **GOLDEN CURRANT** SPIRAEA JAPONICA 'MAGIC CARPET' #3 CONT. CONT MAGIC CARPET JAPANESE SPIREA SYMPHORICARPOS OCCIDENTALIS CONT. #5 CONT. WESTERN SNOWBERRY VIB CONT 10` VIBURNUM LANTANA #5 CONT. WAYFARING VIBURNUM **EVERGREEN SHRUBS** CODE QTY BOTANICAL / COMMON NAME MAT. H. MAT. W. CITY KEY 2568A CONT JUNIPERUS HORIZONTALIS 'LIMEGLOW' #5 CONT. LIMEGLOW CREEPING JUNIPER 78S PICEA ABIES 'REPENS' #5 CONT. CONT. **NEST NORWAY SPRUCE** 678S CONT. PICEA PUNGENS 'GLOBOSA' #5 CONT. DWARF GLOBE BLUE SPRUCE ORNAMENTAL GRASSES <u>QTY</u> BOTANICAL / COMMON NAME CITY KEY 23568D 152 FESTUCA OVINA GLAUCA #1 CONT. CONT BLUE SHEEP FESCUE 12346D PANICUM VIRGATUM 'SHENANDOAH' #1 CONT. CONT. SHENANDOAH SWITCH GRASS **PERENNIALS** CONTAINER <u>QTY</u> **BOTANICAL / COMMON NAME** CITY KEY 1356A 33 ACHILLEA MILLEFOLIUM #1 CONT. CONT 1.5` COMMON YARROW 578A 22 AQUILEGIA CAERULEA CONT #1 CONT. 1.5` **ROCKY MOUNTAIN COLUMBINE** 13568A LUA LUPINUS ARGENTEUS CONT #1 CONT. LUPINE 228/241 SHRUBS 772/1,050 73.5%

CONSULTANTS

PLANNER/ LANDSCAPE ARCHITECT/ CIVIL ENGINEER

Matrix

2435 RESEARCH PARKWAY, SUITE COLORADO SPRINGS, CO 80920 PHONE: (719) 575-0100 FAX: (719) 575-0208

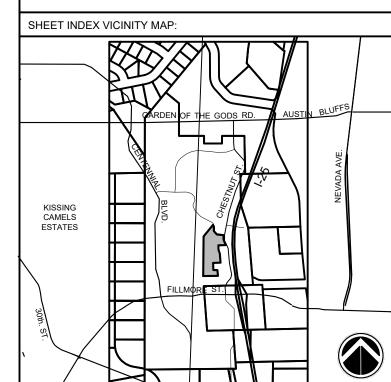
OWNER/DEVELOPER

FILLMORE HEIGHTS, LLC

14160 GLENEAGLE DRIVE
COLORADO SPRINGS, CO 80921

D.R. HORTON
9555 S KINGSTON CT
ENGLEWOOD, CO 80112
PHONE: (303)488-0061





ELLSTON PARK FILING NO. 1 PUD DEVELOPMENT PLAN

CITY OF COLORADO SPRINGS FEBRUARY 2023

 REVISION HISTORY:

 NO.
 DATE
 DESCRIPTION
 BY

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 05/23/2022
 INITIAL SUBMITTAL
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 PER CITY COMMENTS
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 2
 10/05/2022
 PER CITY COMMENTS
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 3
 02/01/2023
 PER CITY COMMENTS
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 4
 03/01/2023
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PROJECT NO: 21.1256.001

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CHECKED BY: JAO

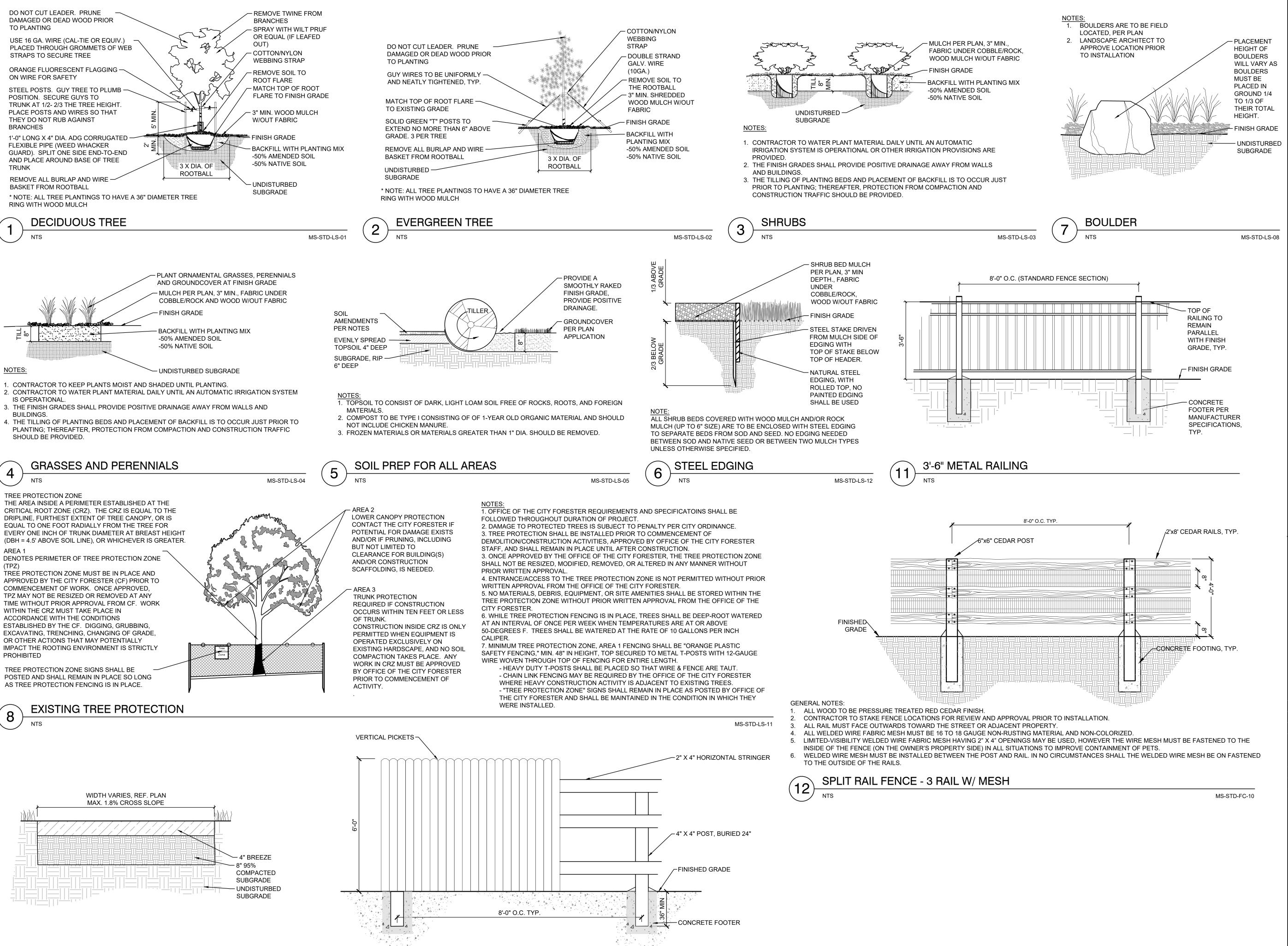
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PRELIMINARY LANDSCAPE NOTES

LS02

SHEET 14 OF 30



MS-STD-FC-04

BREEZE PATH

MS-STD-PV-02

CONSULTANTS:

PLANNER/ LANDSCAPE ARCHITECT/ CIVIL ENGINEER:

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OWNER/DEVELOPER:

FILLMORE HEIGHTS, LLC 14160 GLENEAGLE DRIVE COLORADO SPRINGS, CO 80921

DEVELOPER D.R. HORTON 555 S KINGSTON CT ENGLEWOOD, CO 80112

PHONE: (303)488-0061



SHEET INDEX VICINITY MAP: KISSING CAMELS ESTATES

ELLSTON PARK FILING NO. 1 PUD DEVELOPMENT PLAN

CITY OF COLORADO SPRINGS FEBRUARY 2023

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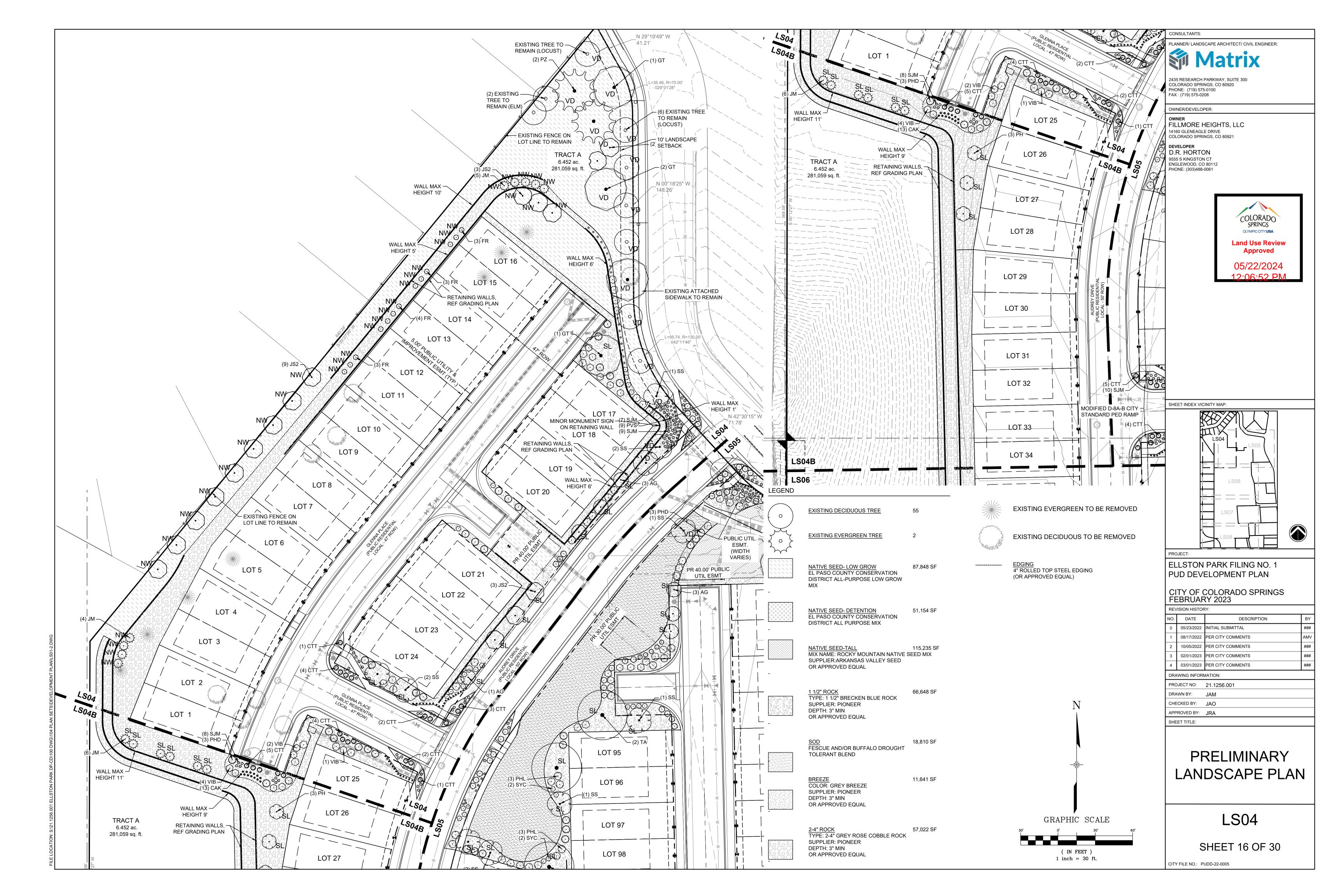
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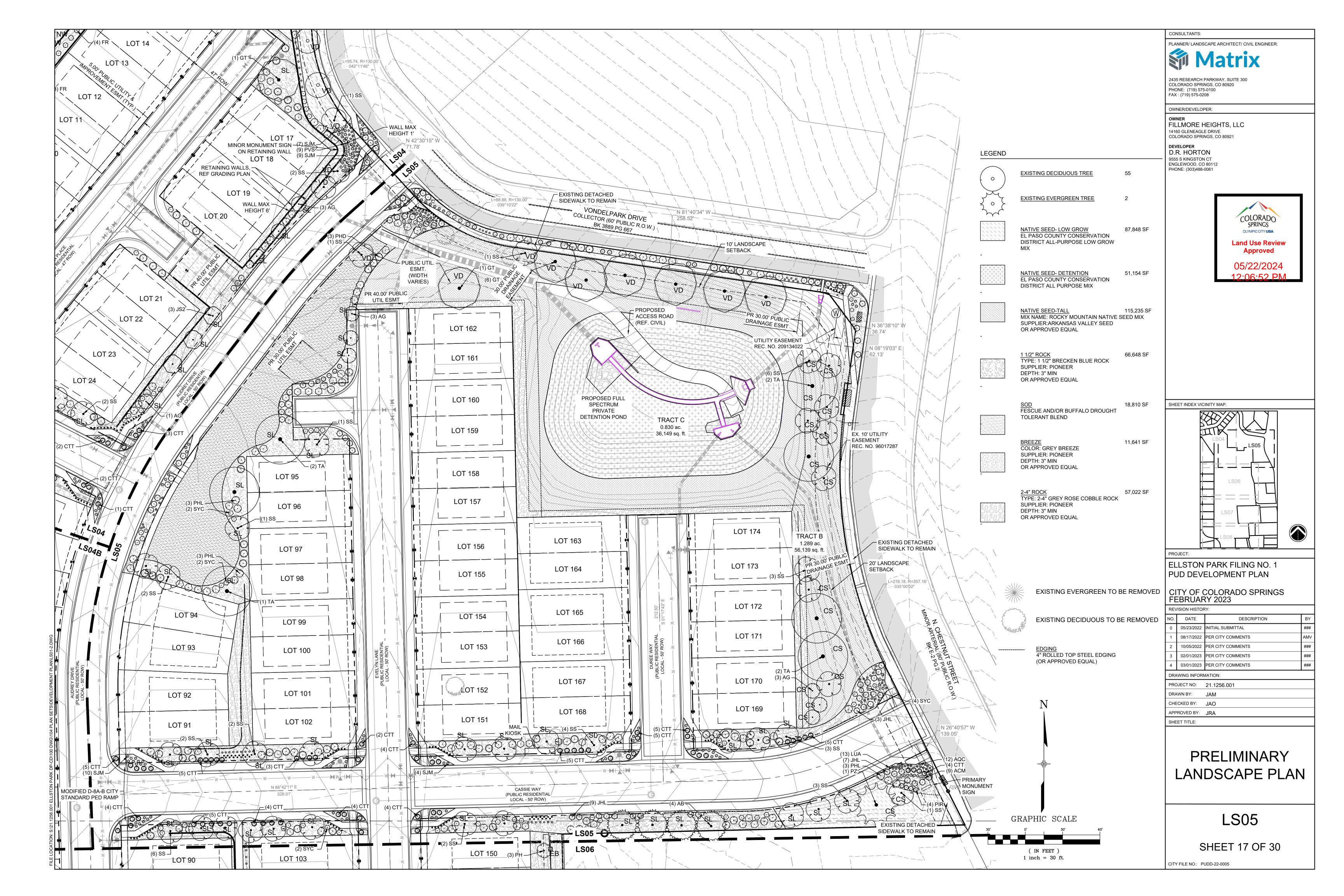
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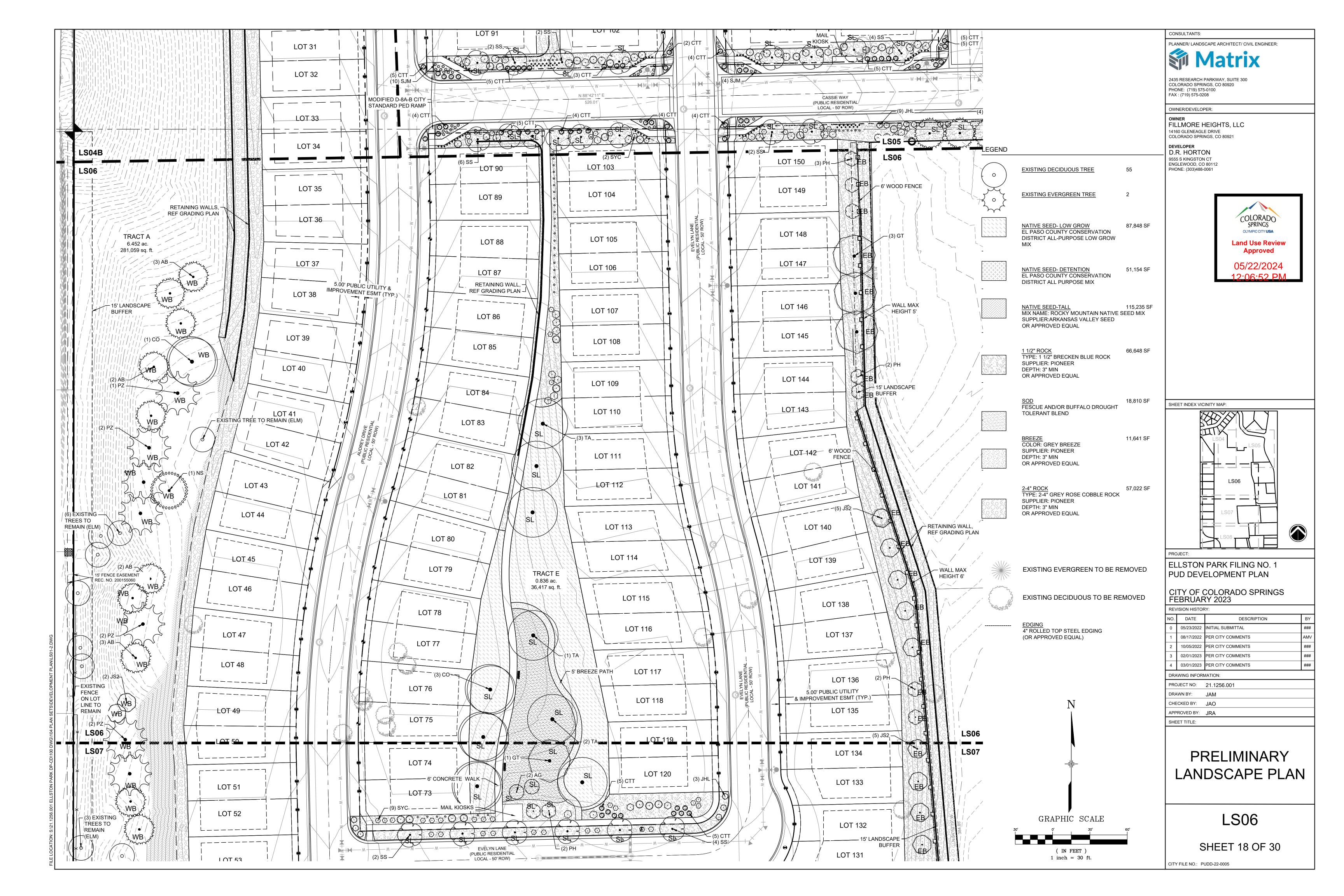
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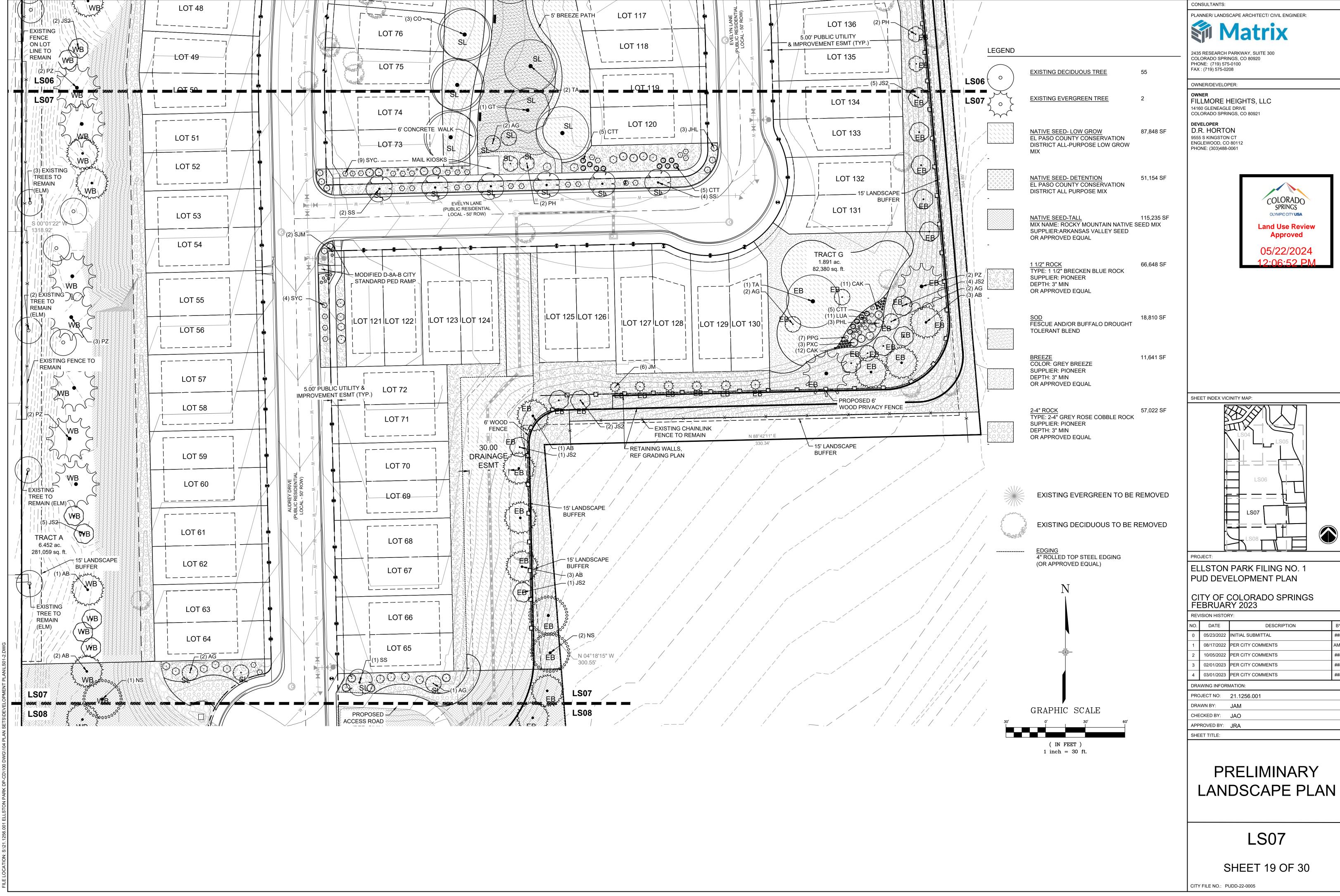
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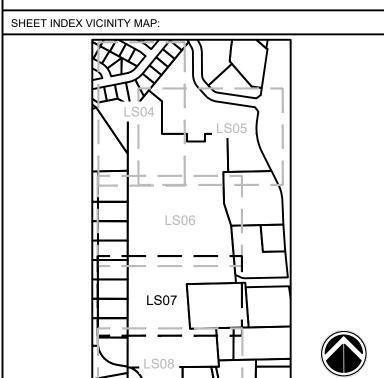
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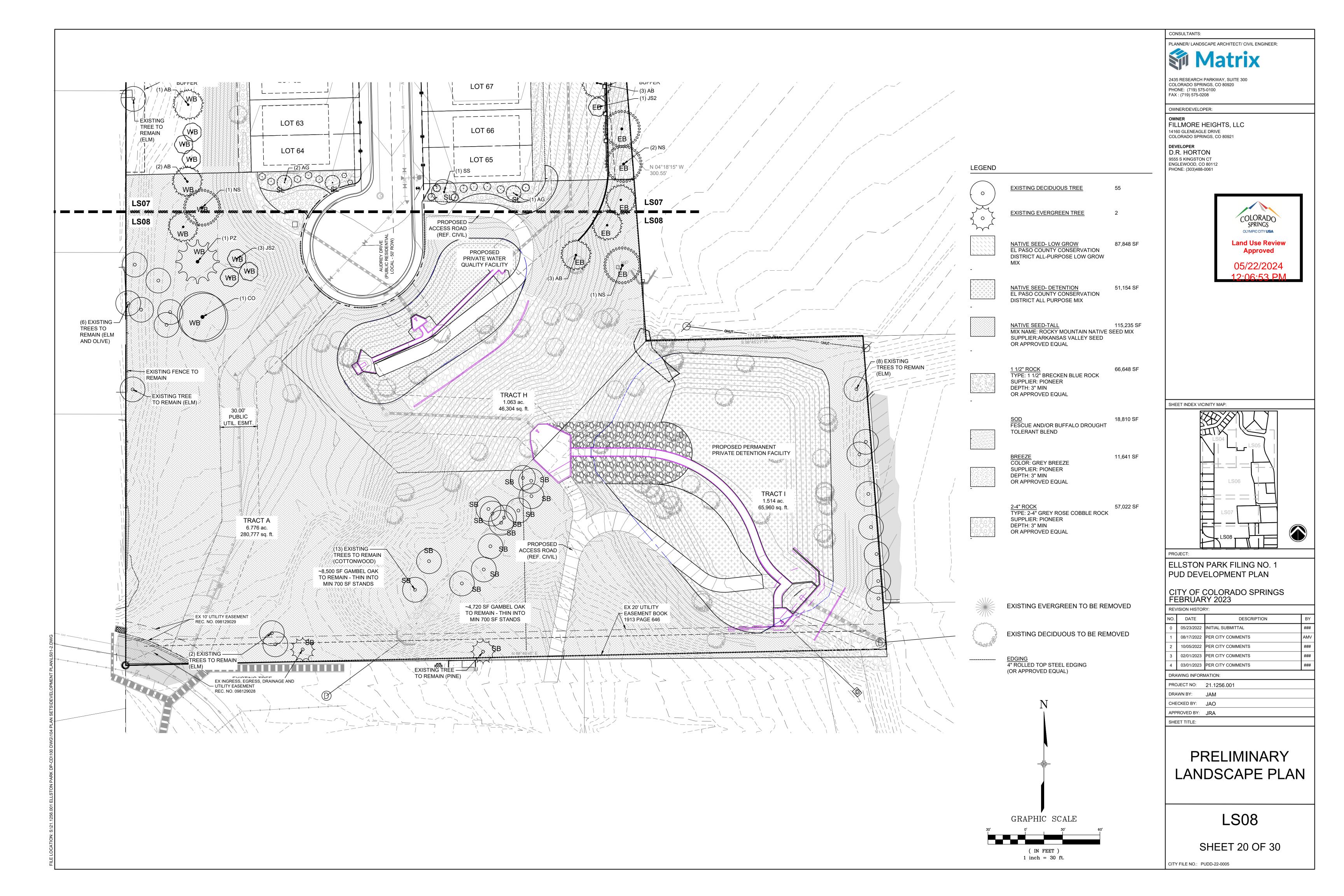








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PROJECT NO:		21.1256.001				



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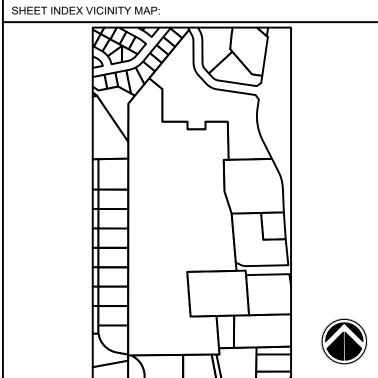
OWNER/DEVELOPER:

OWNER FILLMORE HEIGHTS, LLC

14160 GLENEAGLE DRIVE COLORADO SPRINGS, CO 80921

DEVELOPER D.R. HORTON 9555 S KINGSTON CT ENGLEWOOD, CO 80112 PHONE: (303)488-0061





ELLSTON PARK FILING NO. 1 PUD DEVELOPMENT PLAN

CITY OF COLORADO SPRINGS FEBRUARY 2023

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CHECKED BY: KMM APPROVED BY:

ARCHITECTURE **ELEVATIONS**

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SHEET 21 OF 30

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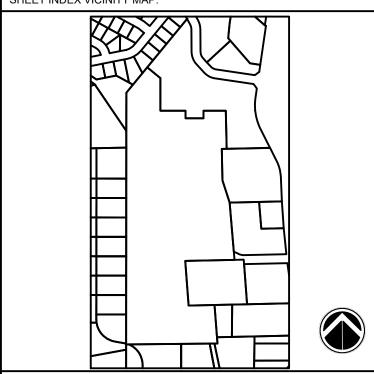
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SHEET INDEX VICINITY MAP:



PROJECT

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APPROVED BY: --

SHEET TITLE:

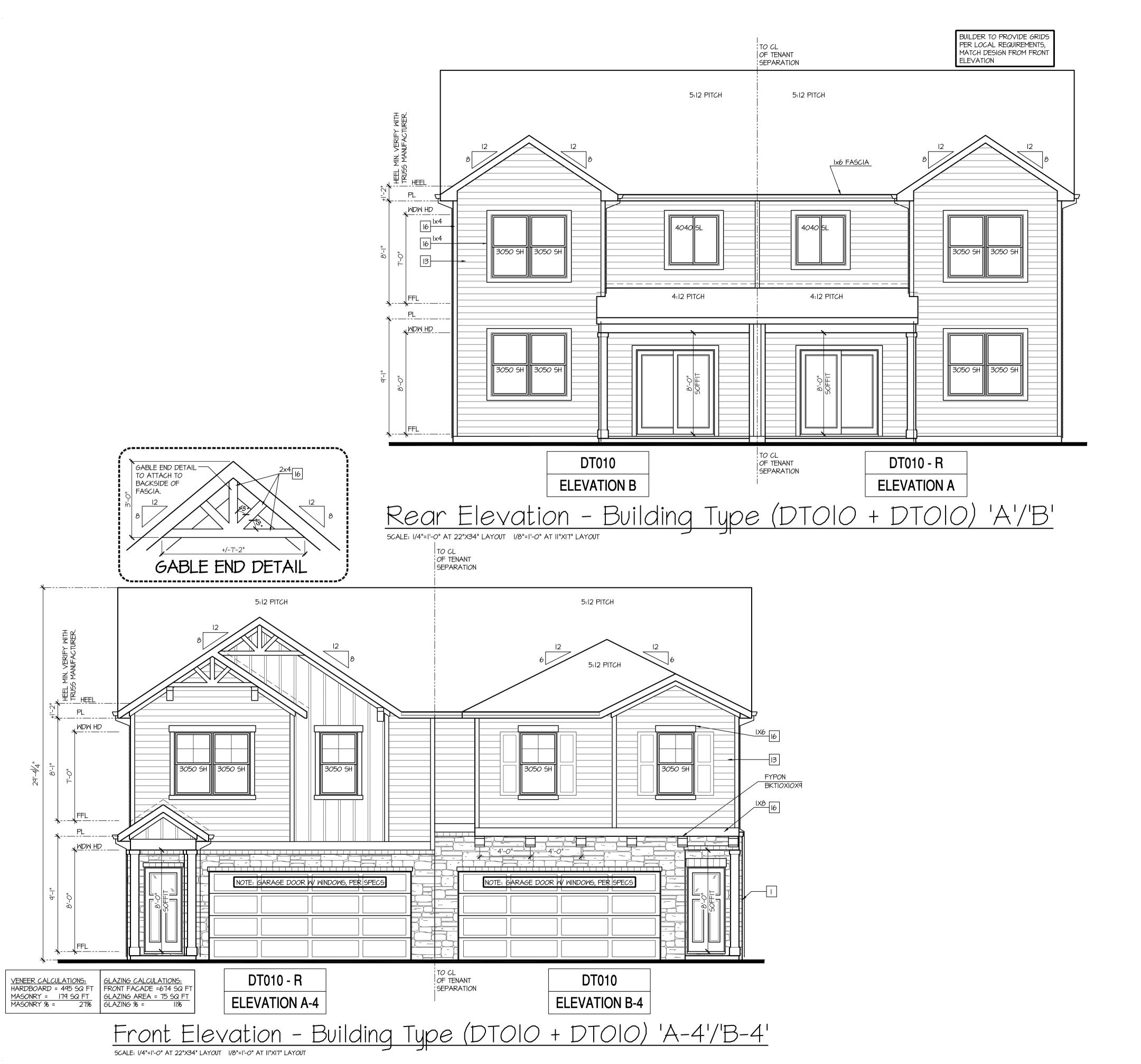
ARCHITECTURE ELEVATIONS

AE02

SHEET 22 OF 30

CITY FILE NO.: PUDD-22-0005

S:\21.1256.001 ELLSTON PARK DP-CD\100 DWG\104 PLAN SETS\DEVELOPMENT PLANAE01.DWG



NOTES: IRC GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS. - WINDOW HEAD HEIGHTS: IST FLOOR = 8'-0" U.N.O. ON ELEVATIONS. 2ND FLOOR = 7'-0" U.N.O. ON ELEVATIONS. - ROOFING: PITCHED SHINGLES PER DEVELOPER. - WINDOWS: MANUFACTURER PER DEVELOPER. DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS - ENTRY DOOR: AS SELECTED BY DEVELOPER. - GARAGE DOORS: AS SELECTED BY DEVELOPER, RAISED PANEL AS SHOWN. - CHIMNEY AS OCCURS: TOP OF CHIMNEYS TO BE A MINIMUM OF 24" ABOVE ANY ROOF WITHIN 10'-0" OF CHIMNEY. - ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS. PROTECTION AGAINST DECAY: (ALL PORTIONS OF A PORCH, SCREEN PORCH OR DECK FROM THE BOTTOM OF THE HEADER DOWN, INCLUDING POST, RAILS, PICKETS, STEPS AND FLOOR STRUCTURE.) SHINGLED ROOF PITCHES FROM 2/12 TO 4/12 TO HAVE (2) LAYERS OF UNDERLAYMENT APPLIED AND OVERLAPPED PER R905.2.7. KEY NOTES: ADHERED STONE VENEER AS SELECTED BY DEVELOPER. HEIGHT AS NOTED. 2 MASONRY FULL BRICK AS SELECTED BY DEVELOPER. HEIGHT AS NOTED. 3 MASONRY FULL STONE AS SELECTED BY DEVELOPER. HEIGHT AS NOTED. 4 8" SOLDIER COURSE. 5 ROWLOCK COURSE 6 DECORATIVE KEY. SEE DETAIL. 7 CORROSION RESISTANT SCREEN LOUVERED VENTS, SIZE AS NOTED. 8 CODE APPROVED TERMINATION CHIMNEY CAP. 4 CORROSION RESISTANT ROOF TO WALL FLASHING. CODE COMPLIANT FLASHING MUST BE INSTALLED AT ALL ROOF/WALL INTERSECTIONS. O STANDING SEAM METAL ROOF, INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS. III DECORATIVE WROUGHT IRON. SEE DETAILS. 12 FIBER CEMENT SHAKE SIDING PER DEVELOPER W/ 5/4x4 CORNER TRIM BOARDS. 13 FIBER CEMENT LAP SIDING PER DEVELOPER W/ 5/4x4 CORNER TRIM BOARDS. 14 FIBER CEMENT WAVY SIDING PER DEVELOPER W/ 5/4x4 CORNER TRIM BOARDS. 15 FIBER CEMENT PANEL SIDING W/ IX3 BATTS AT 12" O.C. (VINYL BOARD AND BATT SIDING) 16 IX FIBER CEMENT TRIM OR EQUAL, U.N.O. SIZE AS NOTED 17 FALSE WOOD SHUTTERS, TYPE AS SHOWN. SIZE AS NOTED.

ELLSTON PARK FILING NO 1

COLORADO SPRINGS OLYMPIC CITY USA

Land Use Review Approved

05/22/2024

12:06:53 PM

PROFESSIONAL SEAL:

PROJECT TITLE:

Duplex Series

Denver, CO Pike's Peak

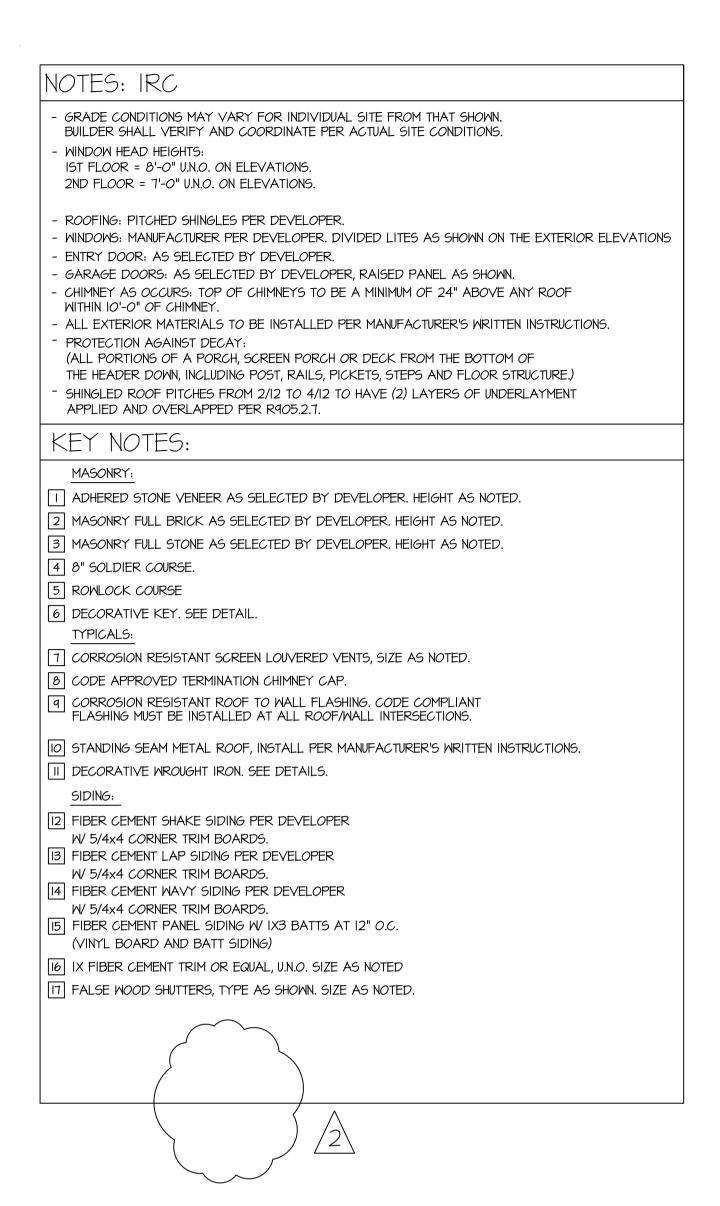
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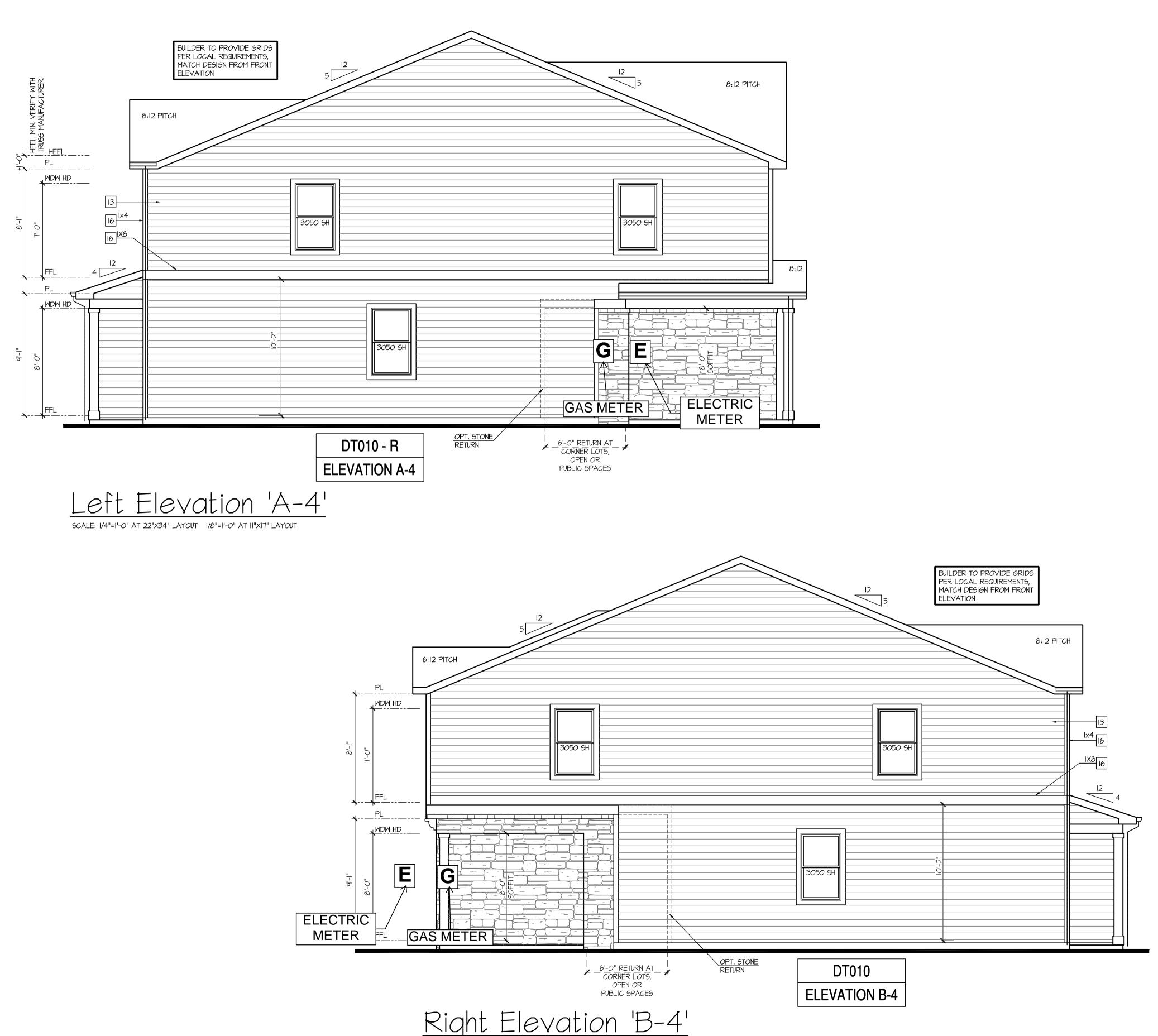
D·R·HORTON® America's Builder

PROJECT NO: GMD-GA20010

DUPLEX
EXTERIOR
ELEVATIONS

PRINT DATE:
November 13, 2020





SCALE: 1/4"=1'-0" AT 22"X34" LAYOUT 1/8"=1'-0" AT 11"X17" LAYOUT



Duplex Series

Denver, CO Pike's Peak

CLIENTS NAME:

D·R·HORTON° America's Builder

PROJECT NO: GMD-GA20010

SHEET TITLE:

DUPLEX **EXTERIOR ELEVATIONS**

November 13, 2020





ELLSTON PARK FILING NO 1

NOTES: IRC

- WINDOW HEAD HEIGHTS:

WITHIN 10'-0" OF CHIMNEY.

PROTECTION AGAINST DECAY:

IST FLOOR = 8'-0" U.N.O. ON ELEVATIONS. 2ND FLOOR = 7'-0" U.N.O. ON ELEVATIONS.

ROOFING: PITCHED SHINGLES PER DEVELOPER.

- ENTRY DOOR: AS SELECTED BY DEVELOPER.

APPLIED AND OVERLAPPED PER R905.2.7.

GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN.
 BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.

GARAGE DOORS: AS SELECTED BY DEVELOPER, RAISED PANEL AS SHOWN.

CHIMNEY AS OCCURS: TOP OF CHIMNEYS TO BE A MINIMUM OF 24" ABOVE ANY ROOF

SHINGLED ROOF PITCHES FROM 2/12 TO 4/12 TO HAVE (2) LAYERS OF UNDERLAYMENT

(ALL PORTIONS OF A PORCH, SCREEN PORCH OR DECK FROM THE BOTTOM OF THE HEADER DOWN, INCLUDING POST, RAILS, PICKETS, STEPS AND FLOOR STRUCTURE.)

WINDOWS: MANUFACTURER PER DEVELOPER. DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS

COLORADO SPRINGS
OLYMPICCITY USA

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PROFESSIONAL SEAL:

PROJECT TITLE:

Duplex Series Denver, CO Pike's Peak

CLIENTS NAME:

D·R·HORTON America's Builder

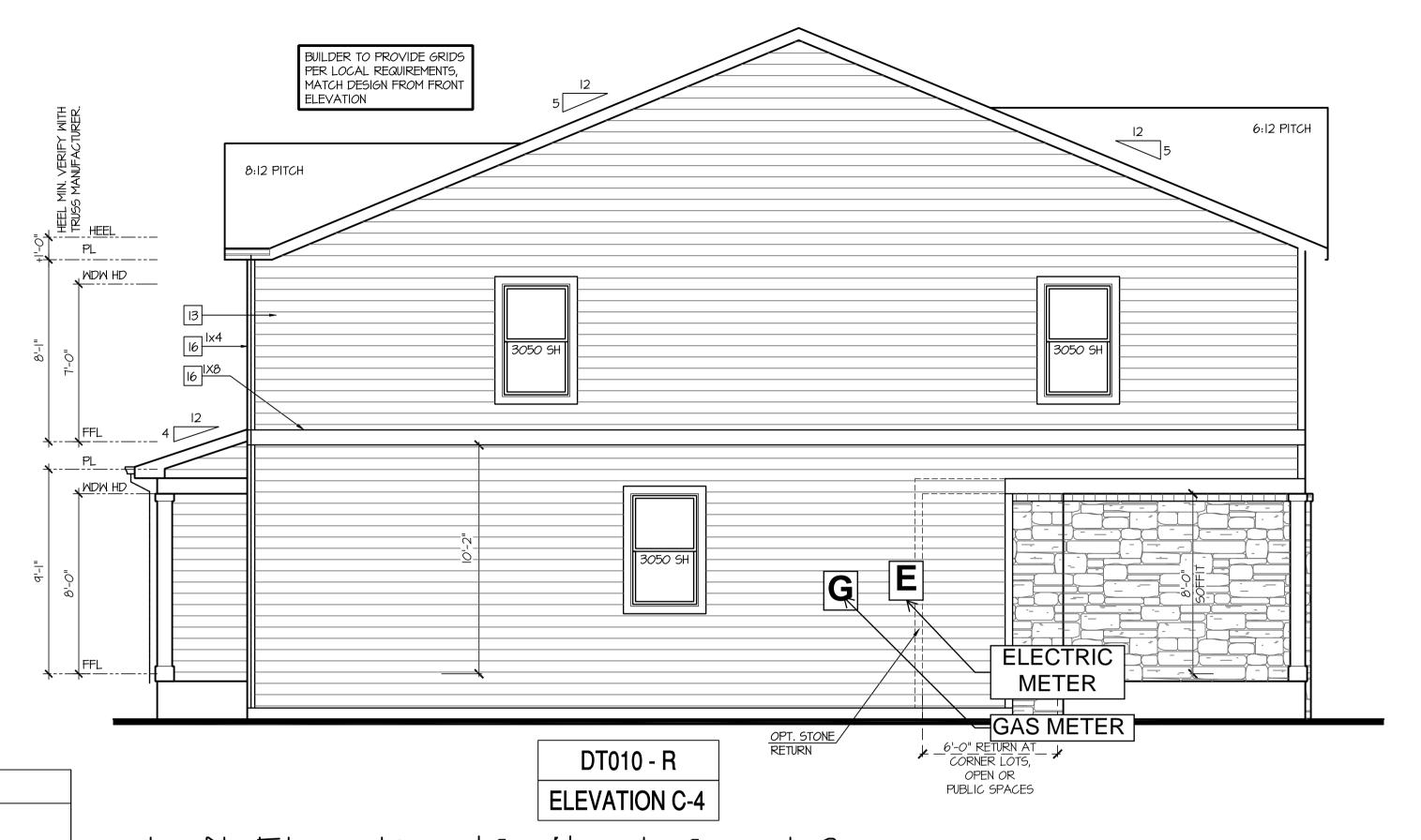
PROJECT NO: GMD-GA20010

SHEET TITLE:

DUPLEX

EXTERIOR ELEVATIONS 'C'

PRINT DATE:
November 13, 2020



NOTES: IRC

- GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.
- WINDOW HEAD HEIGHTS: IST FLOOR = 8'-0" U.N.O. ON ELEVATIONS.
- 2ND FLOOR = 7'-0" U.N.O. ON ELEVATIONS.
- ROOFING: PITCHED SHINGLES PER DEVELOPER.
- WINDOWS: MANUFACTURER PER DEVELOPER. DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS ENTRY DOOR: AS SELECTED BY DEVELOPER.
- GARAGE DOORS: AS SELECTED BY DEVELOPER, RAISED PANEL AS SHOWN.
- CHIMNEY AS OCCURS: TOP OF CHIMNEYS TO BE A MINIMUM OF 24" ABOVE ANY ROOF WITHIN 10'-0" OF CHIMNEY.
- ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- PROTECTION AGAINST DECAY:

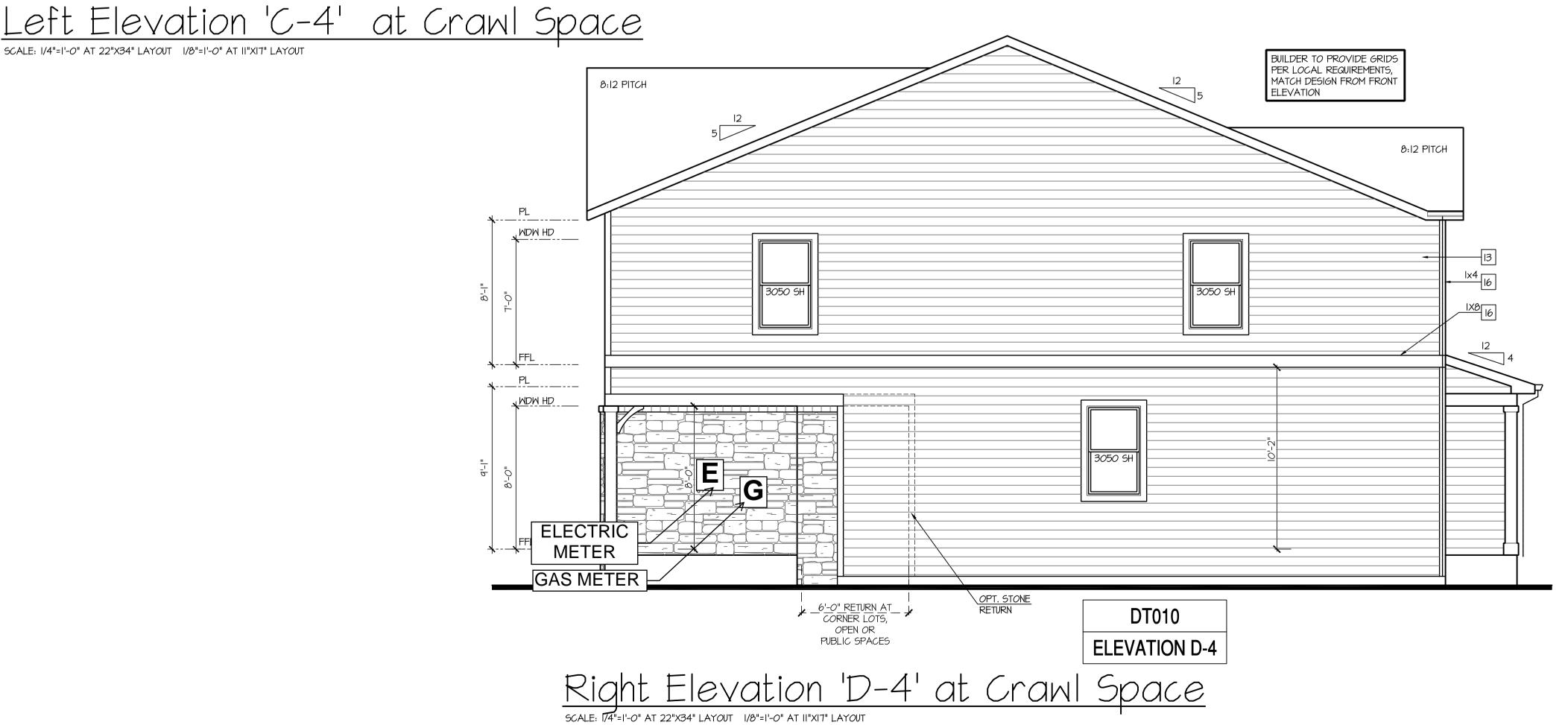
 (ALL PORTIONS OF A PORCH, SCREEN PORCH OR DECK FROM THE BOTTOM OF
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- APPLIED AND OVERLAPPED PER R905.2.7.

KEY NOTES:

- ADHERED STONE VENEER AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
- 2 MASONRY FULL BRICK AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
- 3 MASONRY FULL STONE AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
- 4 8" SOLDIER COURSE.
- 5 ROWLOCK COURSE
- 6 DECORATIVE KEY. SEE DETAIL.
- CORROSION RESISTANT SCREEN LOUVERED VENTS, SIZE AS NOTED.
- 8 CODE APPROVED TERMINATION CHIMNEY CAP.
- 4 CORROSION RESISTANT ROOF TO WALL FLASHING. CODE COMPLIANT FLASHING MUST BE INSTALLED AT ALL ROOF/WALL INTERSECTIONS.
- O STANDING SEAM METAL ROOF, INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- III DECORATIVE WROUGHT IRON. SEE DETAILS.
- SIDING:
- 12 FIBER CEMENT SHAKE SIDING PER DEVELOPER
- W 5/4x4 CORNER TRIM BOARDS.

 13 FIBER CEMENT LAP SIDING PER DEVELOPER
- W 5/4x4 CORNER TRIM BOARDS.

 14 FIBER CEMENT WAVY SIDING PER DEVELOPER
- ____W/ 5/4x4 CORNER TRIM BOARDS.
- FIBER CEMENT PANEL SIDING W IX3 BATTS AT 12" O.C.
- (VINYL BOARD AND BATT SIDING)
- 16 IX FIBER CEMENT TRIM OR EQUAL, U.N.O. SIZE AS NOTED
- T FALSE WOOD SHUTTERS, TYPE AS SHOWN. SIZE AS NOTED.



COLORADO SPRINGS OLYMPICCITY USA

Land Use Review Approved
05/22/2024
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PROFESSIONAL SEAL:

PROJECT TITLE:

Duplex Series Denver, CO

Pike's Peak

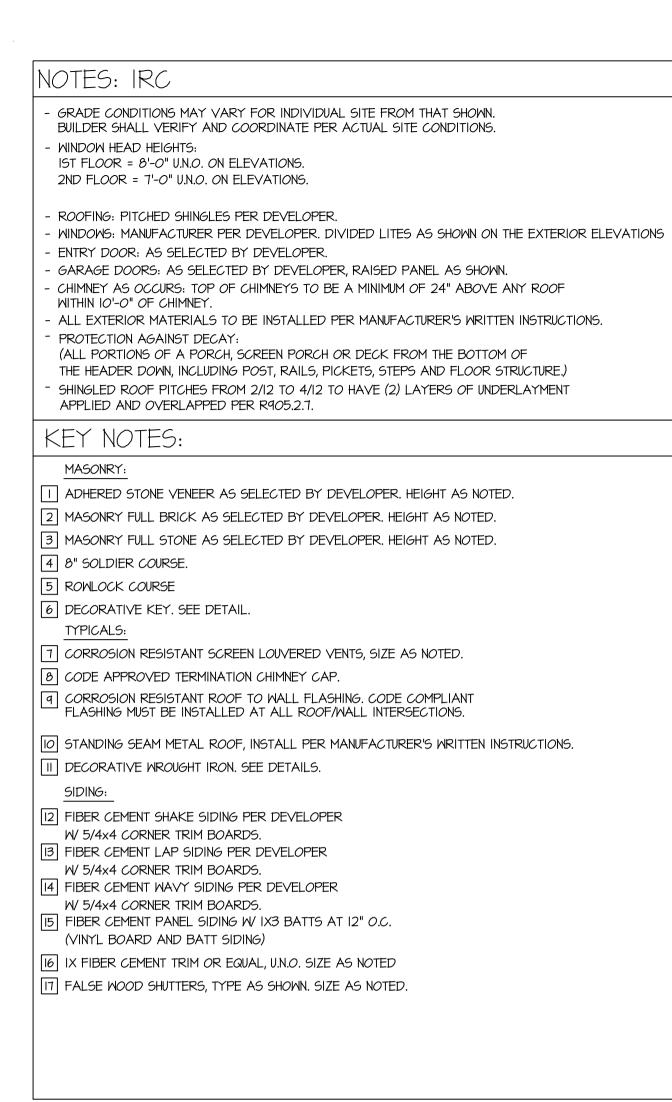
CLIENTS NAME:

D·R·HORTON® America's Builder

PROJECT NO: GMD-GA20010

DUPLEX
EXTERIOR
ELEVATIONS 'C'

PRINT DATE:
November 13, 2020







e's Peak

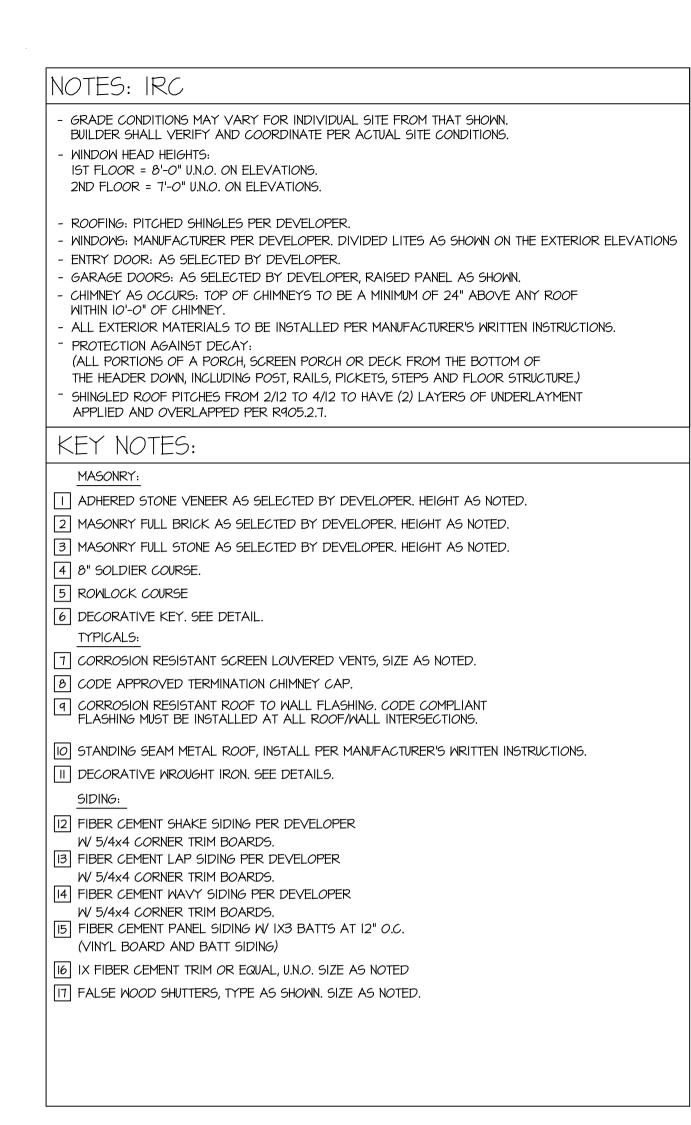
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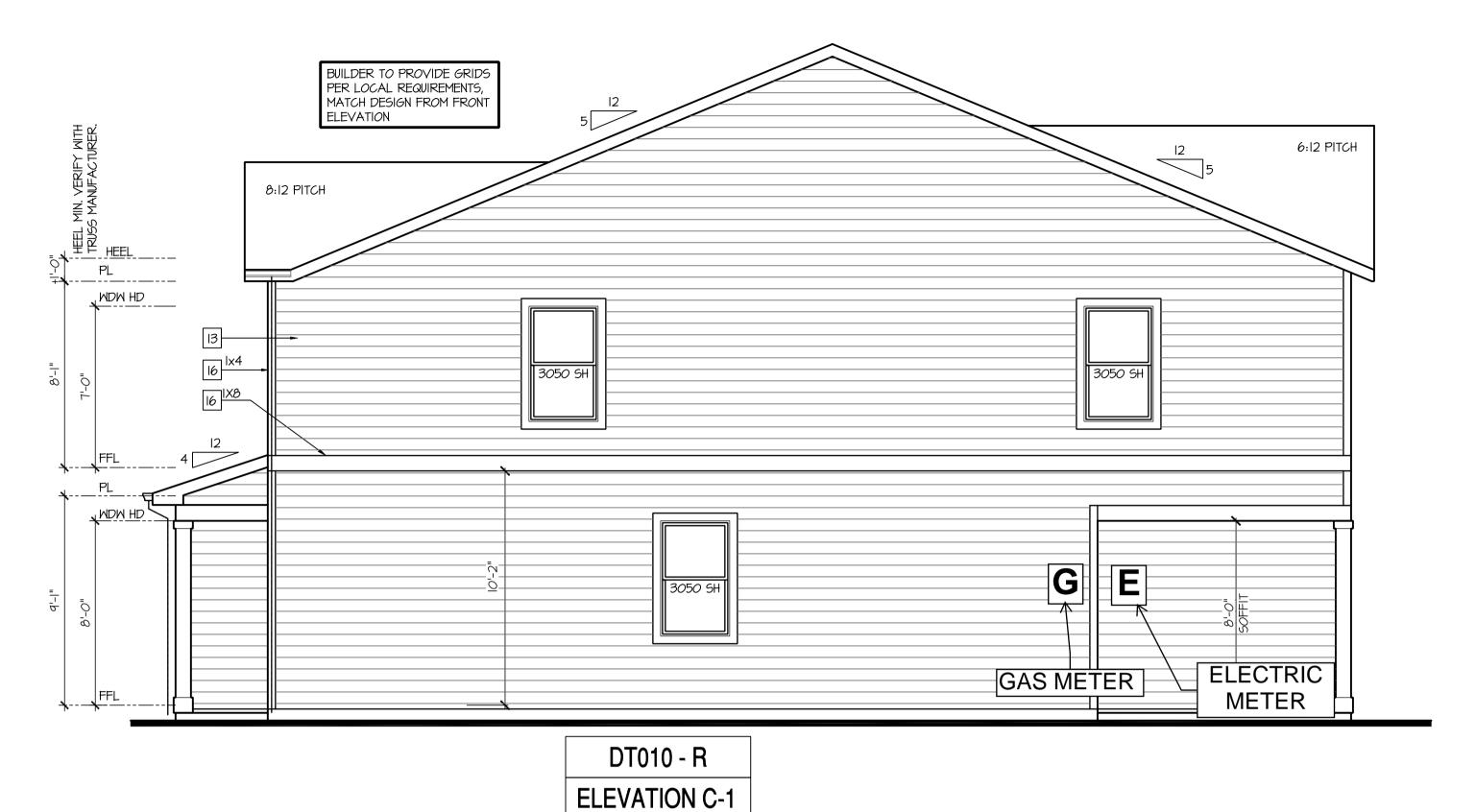
D'R'HORTON° America's Builder

PROJECT NO: GMD-GA20010

DUPLEX
EXTERIOR
ELEVATIONS

November 13, 2020





Left Elevation 'C-1'

SCALE: I/4"=1'-0" AT 22"X34" LAYOUT I/8"=1'-0" AT II"XI7" LAYOUT

BULER TO PROVIDE SKID?
PRE LOCAL REGIRES PROVIDED

ALD PITCH

ADDRESS PROVIDED

ADDR

ELEVATION B-1

Right Elevation 'B-1'
SCALE: 1/4"=1'-0" AT 22"X34" LAYOUT 1/8"=1'-0" AT 11"X17" LAYOUT



PROJECT TITLE:

Duplex Series Denver, CO

Pike's Peak

CLIENTS NAME:

D·R·HORTON° America's Builder

PROJECT NO: GMD-GA20010

SHEET TITLE:
DUPLEX
EXTERIOR
ELEVATIONS

November 13, 2020



ELLSTON PARK FILING NO 1
PUD DEVELOPMENT PLAN

COLORADO SPRINGS
OLYMPIC CITY USA

Land Use Review Approved

05/22/2024 12:06:54 PM

PROFESSIONAL SEAL:

PROJECT TITLE:

Duplex Series Denver, CO Pike's Peak

CLIENTS NAME:

D·R·HORTON America's Builder

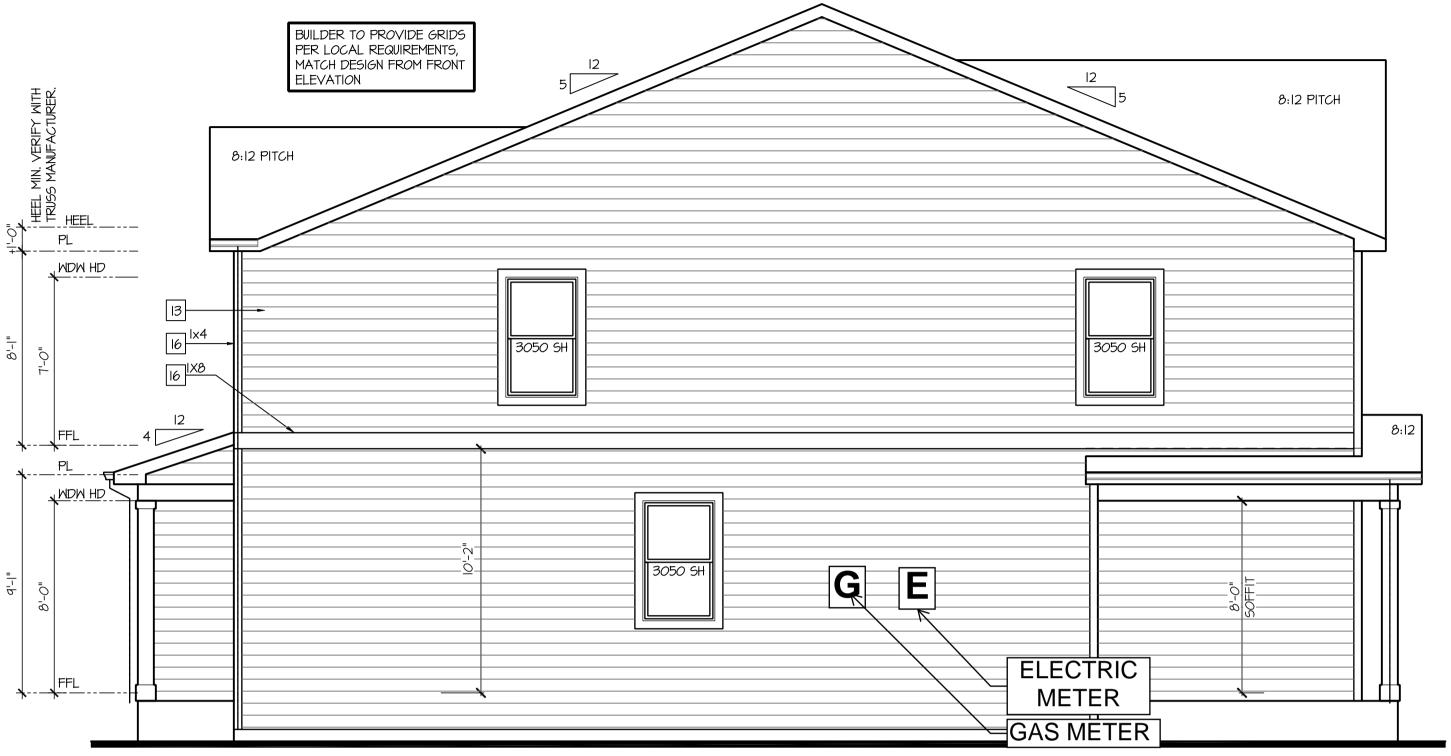
PROJECT NO: GMD-GA20010

SHEET TITLE:

DUPLEX

EXTERIOR ELEVATIONS 'D'

November 13, 2020



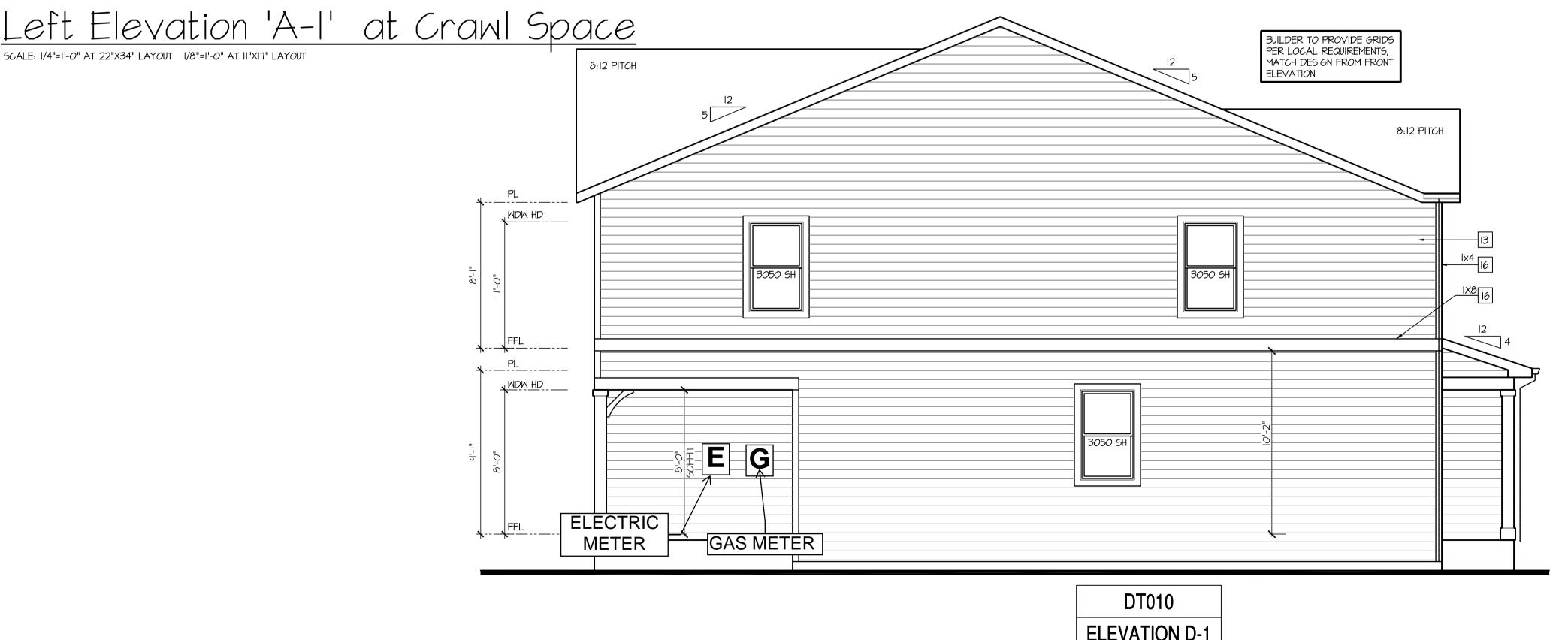
NOTES: IRC

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- WINDOW HEAD HEIGHTS: IST FLOOR = 8'-0" U.N.O. ON ELEVATIONS.
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KEY NOTES:

- MASONRY:
- ADHERED STONE VENEER AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
- 2 MASONRY FULL BRICK AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
- 3 MASONRY FULL STONE AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
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- 6 DECORATIVE KEY. SEE DETAIL.
- 7 CORROSION RESISTANT SCREEN LOUVERED VENTS, SIZE AS NOTED.
- 8 CODE APPROVED TERMINATION CHIMNEY CAP.
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- O STANDING SEAM METAL ROOF, INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
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- W/ 5/4x4 CORNER TRIM BOARDS. 13 FIBER CEMENT LAP SIDING PER DEVELOPER
- W/ 5/4x4 CORNER TRIM BOARDS.
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- 15 FIBER CEMENT PANEL SIDING W IX3 BATTS AT 12" O.C. (VINYL BOARD AND BATT SIDING)
- 16 IX FIBER CEMENT TRIM OR EQUAL, U.N.O. SIZE AS NOTED
- 17 FALSE WOOD SHUTTERS, TYPE AS SHOWN. SIZE AS NOTED.

DT010 - R ELEVATION A-1



ELEVATION D-1

Right Elevation 'D-1' at Crawl Space SCALE: 1/4"=1'-0" AT 22"X34" LAYOUT 1/8"=1'-0" AT 11"X17" LAYOUT

COLORADO OLYMPIC CITY **USA Land Use Review Approved** 05/22/2024 12:06:54 PM PROFESSIONAL SEAL:

PROJECT TITLE:

Duplex Series Denver, CO Pike's Peak

CLIENTS NAME:



PROJECT NO: GMD-GA20010

SHEET TITLE: DUPLEX **EXTERIOR ELEVATIONS 'D'**

November 13, 2020