

**SITE PLAN LEGEND**

- NEW BUILDING
- EXISTING BUILDING (SCOPE OF WORK)
- EXISTING BUILDING (NOT A PART)
- NEW CONCRETE
- NEW PAVERS IN HOLLAND PATTERN PER CITY STANDARD
- EASEMENT
- PROPERTY LINE
- 48" FULL CUT-OFF PEDESTRIAN LOW VOLTAGE LED LIGHT BOLLARD (TYP OF 6)
- ORNAMENTAL TREE, 1.5" CALIPER, MAX HEIGHT: 30'
- TALL GRASS, 18"-24"
- FLOWERING SHRUB, 24"-36"
- TALL SHRUB, 6'-8" MAX
- ACCESSIBLE ROUTE

**SITE PLAN KEY NOTES**

- 1 (E) STREET TREE TO REMAIN (NO CHANGE)
- 2 INFILL EXISTING CURB CUT WITH INTERLOCKING PAVER AMENITY ZONE LAID IN HOLLAND PATTERN PER CITY STANDARD (MATCH (E) ADJACENT PAVERS)
- 3 REMOVE EXISTING DRIVEWAY APRON, REPLACE WITH NEW TYPE "1" CURB AND GUTTER
- 4 (E) TYPE 1 CURB AND GUTTER TO REMAIN
- 5 NEW CONCRETE STAIR
- 6 NEW CONCRETE RAMP
- 7 STEEL AND WIRE 42" GUARD RAIL
- 8 NEW CONCRETE RAMP SIDEWALK ENTRY
- 9 NEW ELEVATED CONCRETE PATIO; 2'-8" FROM SIDEWALK FINISH GRADE
- 10 STUCCO FINISHED WALL WITH PLANTING BED; TOP AT 6'-0" H FROM SIDEWALK FINISH GRADE
- 11 NEW BOARD FORM CONCRETE WALL WITH PLANTER BED; TOP AT 3'-0" H FROM SIDEWALK FINISH GRADE
- 12 NEW GAS FIRE PIT
- 13 NEW WOOD BURNING FIRE PLACE
- 14 NEW SITE LIGHTING
- 15 RUBBER WHEEL STOP
- 16 NEW ELECTRICAL VAULT
- 17 NEW PARKING STALLS
- 18 (E) STREET LIGHTING
- 19 (E) PARKING STALLS
- 20 NEW TRASH ENCLOSURE
- 21 (E) MOTORCYCLE PARKING TO REMAIN (ONE ONLY)
- 22 LINE OF OVERHANG ABOVE
- 23 VAN ACCESSIBLE PARKING STALL ACCESS AISLE
- 24 VAN ACCESSIBLE PARKING STALL SIGNAGE
- 25 PLANTER
- 26 NEW PARKING METER
- 27 NEW PRIVATE PARKING STALLS
- 28 (E) PARKING METER
- 29 (E) TRASH CAN
- 30 GAS METERS (RECESSED)
- 31 OUTDOOR DINING AREA (COVERED BY SOLID ROOF)
- 32 OUTDOOR DINING AREA (COVERED BY TRELLIS)
- 33 OUTDOOR DINING AREA (UNCOVERED)
- 34 VERTICAL TRELLIS (STEEL SLATS)
- 35 ELECTRIC GEAR AND TRANSFORMER
- 36 GAS METERS
- 37 ELECTRICAL METERS
- 38 STEEL DIAMOND PLATE GRATE O/ TRENCH DRAIN (DAYLIGHTING AT CURB/GUTTER AT TEJON)
- 39 TRENCH DRAIN (CAPTURING PATIO STORMWATER, DAYLIGHTING CURB/GUTTER AT TEJON)

**PARKING**

REQUIRED: (PER COS FBZ SECTION 2.6.2) PARKING EXEMPT

PROVIDED:  
STANDARD COVERED PARKING STALLS: 13  
5 COMPACT PARKING STALLS: (25%) 5  
1 ACCESSIBLE PARKING STALLS: 1  
TOTAL STALLS PROVIDED: 19

**FLOODPLAIN NOTE**

1. NO PORTION OF THE SUBJECT PROPERTY IS LOCATED WITHIN THE 100 YEAR FLOOD PLAIN, ACCORDING TO FIRM #08041C0729G EFFECTIVE 12/07/18.

**ADA STATEMENT**

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.

**ADMINISTRATIVE RELIEF**

THE DRIVE AISLE SERVING THE SURFACE PARKING IS 22'-8" WIDE WHICH IS 5% LESS THAN THE CODE REQUIRED 24'-0" WIDTH. THIS PROJECT IS REQUESTING ADMINISTRATIVE RELIEF TO ALLOW THIS.

**ZONING DATA**

ZONE: FBZ-T2A

SITE AREAS:  
TOTAL SITE AREA: 19,000 S.F.

BUILDING AREA (GROSS):  
316 N TEJON (EXISTING BUILDING): 10,978 S.F.  
316 N TEJON (NEW PATIO): 3,974 S.F.  
310 N TEJON (NEW BUILDING): 23,380 S.F.

BUILDING TYPE:  
316 N TEJON (EXISTING BUILDING): MIXED USE  
310 N TEJON (NEW BUILDING): MULTI-FAMILY

ALLOWABLE BUILDING HEIGHT: (CH 2.3.4)  
TOTAL: 5 STORIES

ACTUAL BUILDING HEIGHT:  
316 N TEJON (EXISTING BUILDING): NO CHANGE (<35')  
310 N TEJON (NEW BUILDING): 5 STORIES (66'-5")

SETBACKS REQUIRED: (CH 2.3.3)

SETBACKS PROPOSED:  
N TEJON STREET:

FRONT: 0' MAX.  
SIDE: 10' MAX  
REAR: 0' MIN

FRONT: 15'-0"  
SIDE (NORTH): 0'-0"  
SIDE (SOUTH): 0'-0"  
REAR: 0'-0"

FRONTAGE TYPE (CH 2.4): EXISTING NON-CONFORMING (SIMILAR TO 2.4.1. COMMON LAWN)

GLAZING & FENESTRATION: (SECTION 2.4.7)  
THE PERCENTAGE OF FIRST FLOOR GLAZING EQUALS THE PERCENTAGE OF TRANSPARENT GLASS ALONG THAT PORTION OF THE FACADE BETWEEN 18" AND 10' IN HEIGHT RUNNING PARALLEL TO THE FRONT PROPERTY LINE.

REQUIRED PERCENTAGE: 25%  
EXISTING PERCENTAGE: 44%  
PROPOSED PERCENTAGE: 59%

**DENSITY BONUS**

1 STORY DENSITY BONUS IS BEING REQUESTED PER CITY OF COLORADO SPRINGS FORM BASED ZONE SECTION 3.

THIS PROJECT QUALIFIES FOR THE FOLLOWING DENSITY BONUS POINTS PER FBC SECTION 3.2:

- MARKET RATE HOUSING: 2 POINTS
- 12 MARKET RATE UNITS ARE PROPOSED IN THIS PROJECT.
- REDUCE HEAT ISLAND EFFECT - ROOF SURFACE: 2 POINTS
- NEW BUILDING TO PROVIDE 100% HIGH ALBEDO SURFACE HAVING A SOLAR REFLECTIVE INDEX (SRI) OF 29 OR GREATER

PROJECT QUALIFIES FOR A TOTAL OF 4 DENSITY BONUS POINTS WHICH EXCEEDS THE REQUIRED POINT EXCHANGE RATE OF 3 (SECTION 3.3) FOR AN ADDITIONAL STORY.

**WAIVER OF REPLAT**

A WAIVER OF REPLAT IS CURRENTLY UNDER REVIEW, CITY FILE NO. AR WR 21-00501 FOR THE PROPERTY, ONCE WAIVER OF REPLAT IS RECORDED, THE LEGAL DESCRIPTION OF SAID PROPERTY WILL BE CONSIDERED AS ONE LOT FOR THE PURPOSES OF THE ZONING ORDINANCE (CHAPTER 7, ARTICLE 2, 3, 4 AND 5 OF THE CITY CODE), ONE LOT FOR THE APPLICABLE PROVISIONS OF THE CITY CODE AND/OR INCLUDING APPLICABLE CODES, RULES AND REGULATIONS ADOPTED PURSUANT TO THE CITY CODE.

**SITE PLAN GENERAL NOTES**

- REFER TO SHEET 2 of 4 FOR CIVIL INFORMATION INCLUDING GRADING AND UTILITIES.
- INFORMATIONAL ONLY: SIGNAGE IS NOT APPROVED WITH THIS CONCEPT/DEVELOPMENT PLAN.
- FLOOD LIGHTING IS PROHIBITED.
- ALL LIGHTING SHALL BE ARRANGED TO REFLECT AWAY FROM ADJOINING PROPERTIES AND PUBLIC RIGHT-OF-WAYS AND SHALL BE SHIELDED TO CONTAIN ALL DIRECT RAYS ON SITE. ALL LIGHTING FIXTURES SHALL BE FULL SHIELD CUT-OFF.
- ALL CURB, GUTTER, PEDESTRIAN RAMPS, DRIVEWAY AND SIDEWALK POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATION OR DOES NOT MEET CURRENT CITY ENGINEERING STANDARD ALONG PUBLIC RIGHT-OF-WAY ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY (CO). AN ON-SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW DIVISION (EDRD) INSPECTOR TO DETERMINE WHAT, IF ANY IMPROVEMENTS ARE REQUIRED. THE EDRD INSPECTOR CAN BE REACHED AT 719-385-5977.

**PROJECT DATA**

PROJECT SUMMARY: CONVERT EXISTING OFFICE BUILDING INTO RESTAURANT AND OFFICE. NEW CONSTRUCTION OF A (10) UNIT MARKET RATE RESIDENTIAL BUILDING

PROJECT ADDRESS: 316 N. TEJON STREET, COLORADO SPRINGS, CO 80903

TSN: 6418202003

LEGAL DESCRIPTION: LOTS 21, 22, 23 AND 24, BLOCK 51, IN THE CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO. AND CONTAINING 0.436 ACRES

CITY ZONING: FBZ T2A

PROJECT TYPE: COMMERCIAL MIXED USE (RESIDENTIAL, RESTAURANT, OFFICE)

**SHEET INDEX**

- 1 OF 6 GENERAL INFORMATION/SITE PLAN
- 2 OF 6 PRELIMINARY UTILITY AND PUBLIC FACILITIES PLAN
- 3 OF 6 PRELIMINARY GRADING PLAN
- 4 OF 6 EXTERIOR ELEVATIONS
- 5 OF 6 EXTERIOR ELEVATIONS
- 6 OF 6 PRELIMINARY LANDSCAPE PLAN

**CONTACTS**

OWNER: NIEBUR DEVELOPMENT  
524 SOUTH TEJON STREET  
COLORADO SPRINGS, CO 80903

CONTACT: TROY COATES  
p. 719.527.0313  
e. TROY@NIEBUREDEVELOPMENT.COM

ARCHITECT: ECHO ARCHITECTURE  
4 SOUTH WAHSATCH AVE #120  
COLORADO SPRINGS, CO 80903

CONTACT: RYAN LLOYD  
p. 719.387.7836  
e. ryan@echo-arch.com

CIVIL: OLIVER E. WATTS CONSULTING  
ENGINEER, INC.  
614 ELKTON DRIVE  
COLORADO SPRINGS, CO 80907

CONTACT: ERIK WATTS  
p. 719.593.0173  
e. OLLIEWATTS@AOL.COM

**BUILDING/SITE DATA**

TOTAL SITE AREA: 19,000 SF (4.36 ACRES)

BUILDING FOOTPRINT:  
316 N TEJON: 6,198 S.F.  
310 N TEJON: 4,696 S.F.

# OF STORIES:  
316 N TEJON: 2 STORIES  
310 N TEJON: 5 STORIES

PROPOSED LOT COVERAGE: 77%

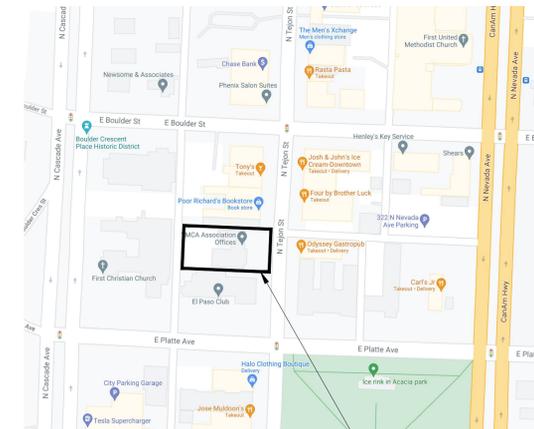
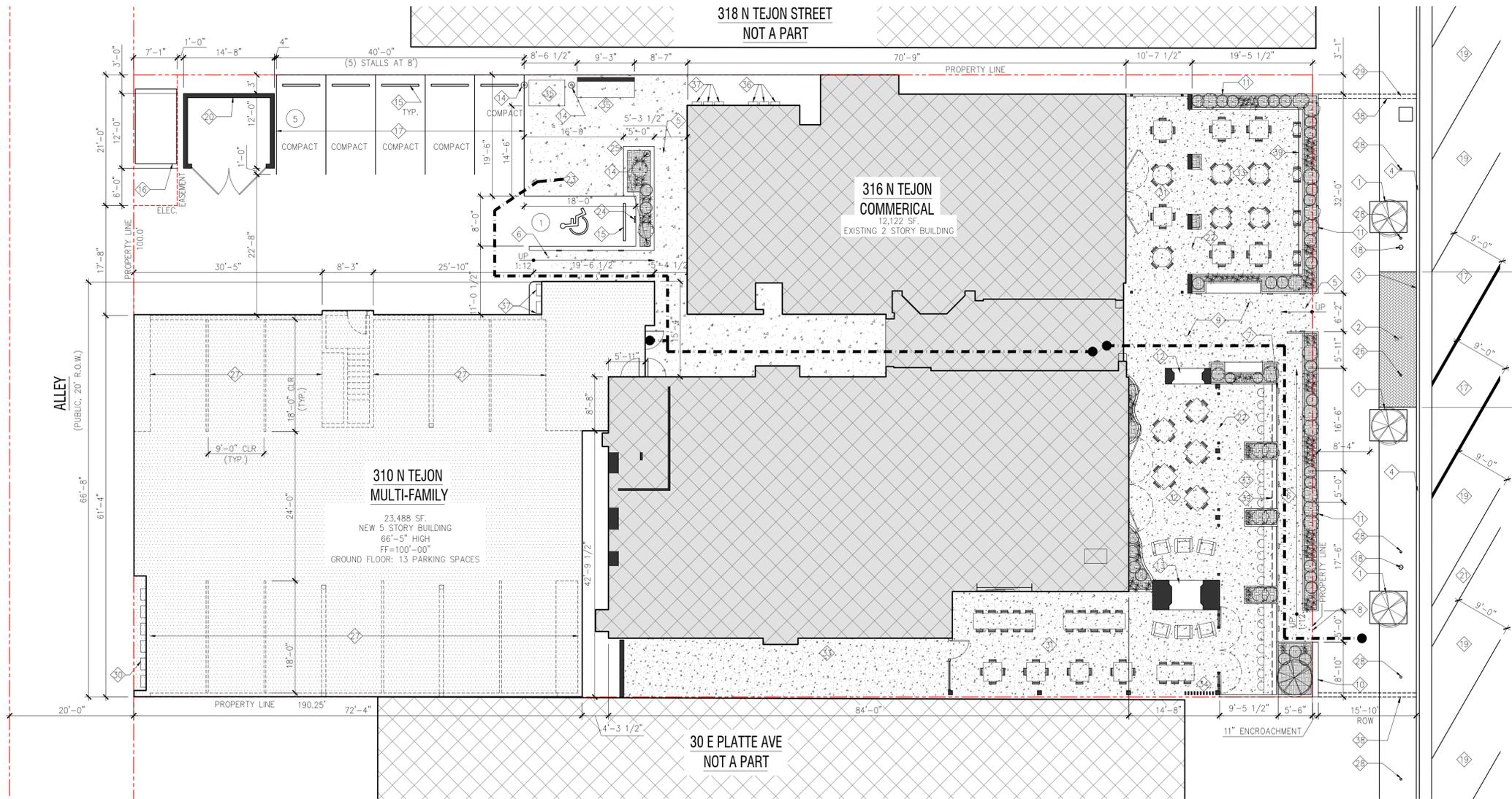
ACTUAL BUILDING HEIGHT (310 N TEJON): 66'-5"

BUILDING AREAS (310 N TEJON):  
FIRST FLOOR (PARKING): 4,696 S.F.  
SECOND FLOOR (RESIDENTIAL): 4,652 S.F. (4 UNITS)  
THIRD FLOOR (RESIDENTIAL): 4,767 S.F. (3 UNITS)  
FOURTH FLOOR (RESIDENTIAL): 4,767 S.F. (3 UNITS)  
FIFTH FLOOR (RESIDENTIAL): 4,606 S.F. (2 UNITS)  
TOTAL: 23,488 S.F. (12 UNITS)

BUILDING AREAS (310 N TEJON):  
FIRST FLOOR (RESTAURANT): 6,198 S.F.  
SECOND FLOOR (OFFICE): 5,924 S.F.  
TOTAL: 12,122 S.F.

**ENCROACHMENTS**

A REVOCABLE PERMIT WILL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMITS FOR ANY BUILT ENCROACHMENTS BEYOND THE PROPERTY LINE.



1 SITE PLAN  
1" = 10'

**MIXED-USE REMODEL & NEW BUILDING**  
**310 & 316 NORTH TEJON STREET**  
**COLORADO SPRINGS, CO**

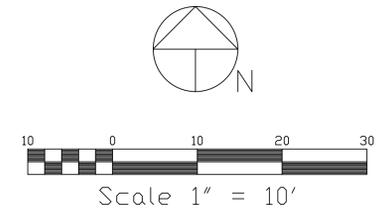
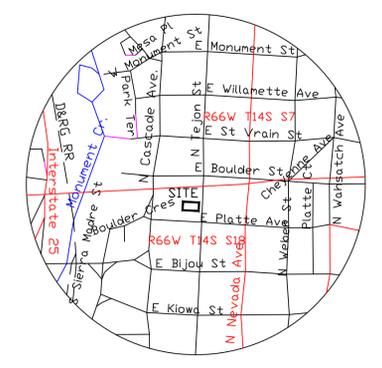
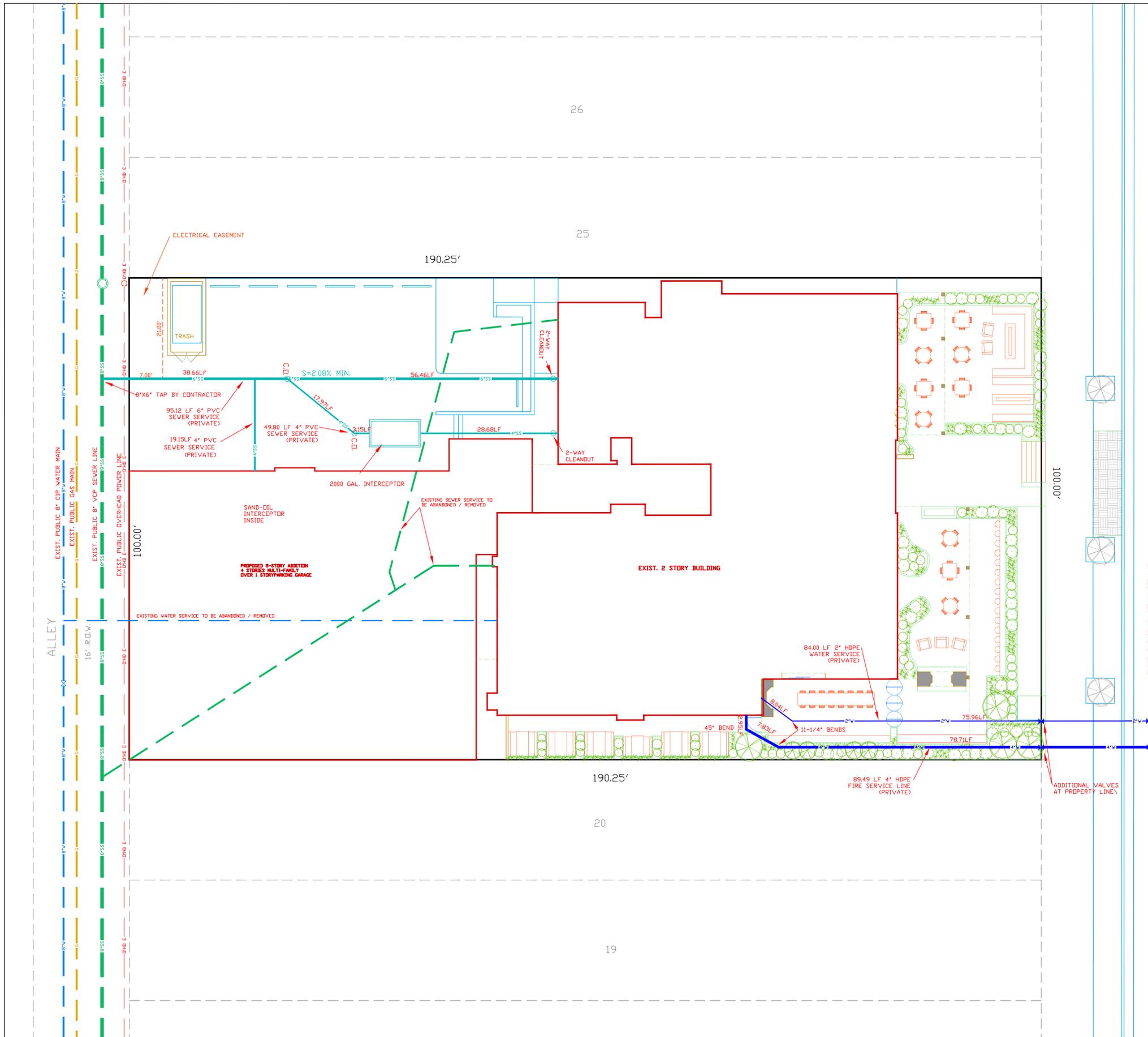
LUR FILE #: AR DP 21-00500  
AR WR 21-00501  
AR R 21-00502  
GENERAL INFO.

**ECHO**

2021-014-YMCA  
316 N. TEJON  
COLORADO SPRINGS,  
CO  
80903

date: 09.02.2021  
phase: DEVELOPMENT PLAN  
drawn by: SFH

Echo Architecture, LLC  
4-S Wahsatch Ave, #120  
Colorado Springs, CO 80903  
www.echo-arch.com  
t 719.387.7836

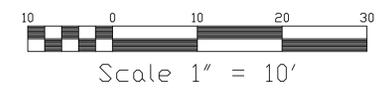
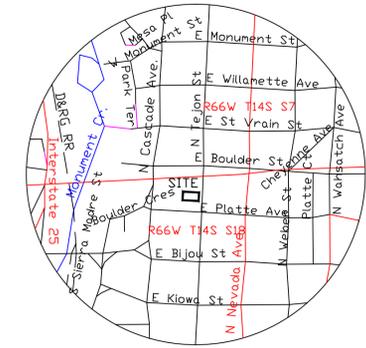
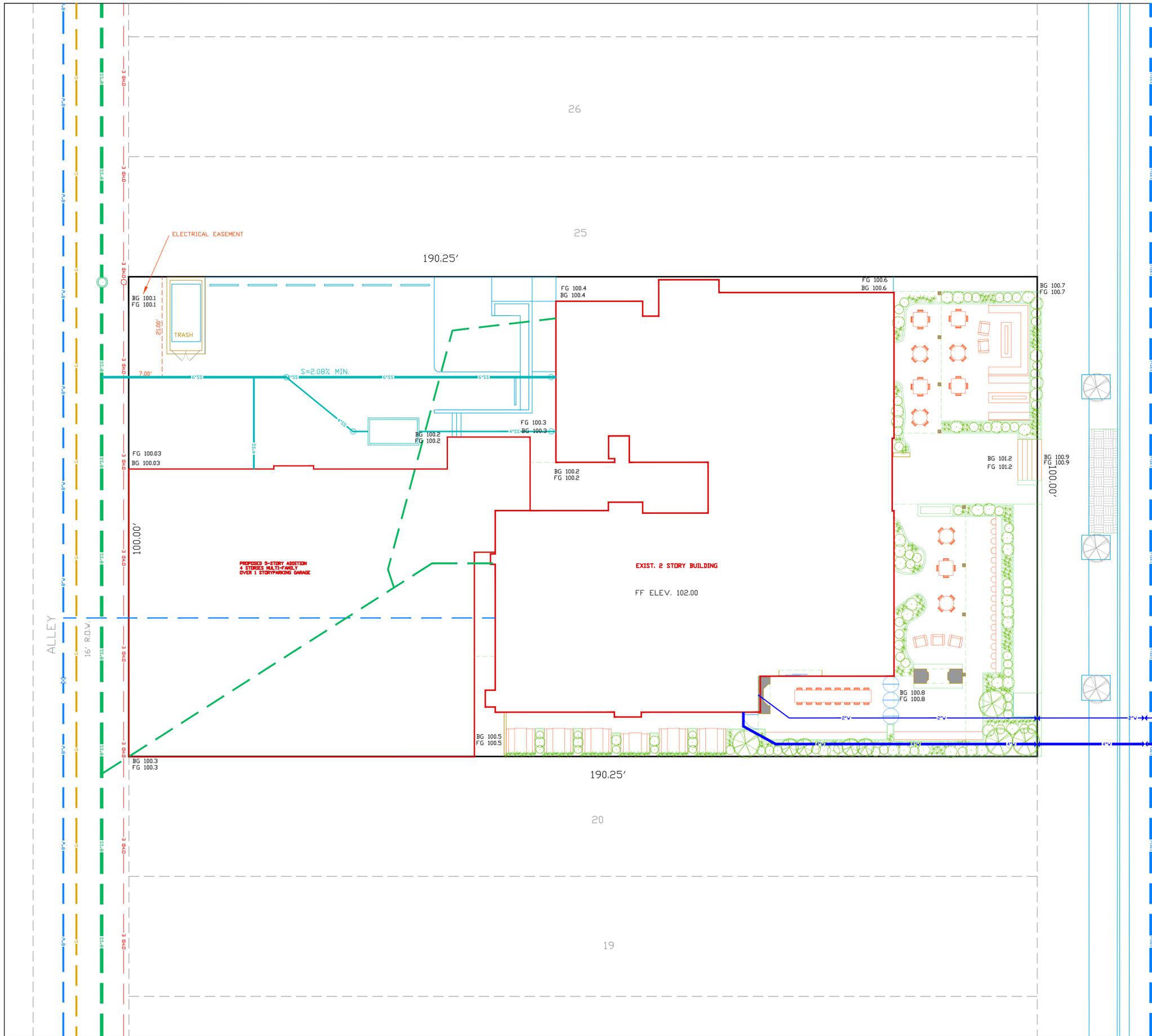


- LEGEND:**
- WATER LINE - EXIST
  - WATER LINE - NEW
  - ⊗ FIRE HYDRANT - EXIST.
  - ⊗ FIRE HYDRANT - NEW
  - ⊗ REDUCER - EXIST
  - ⊗ REDUCER - NEW
  - ⊗ PLUG - NEW
  - ⊗ SEWER MANHOLE
  - ⊗ POWER POLE
  - ⊗ ELECTRICAL VAULT
  - ⊗ GAS METER

- General Notes for all Preliminary Utility Plans**  
(Required for all Development Plan submittals)
- Property Owner(s) acknowledge and agree to the following upon approval of Preliminary Utility Plan:
- Colorado Springs Utilities (Springs Utilities) shall make the final determination of the location of all water, wastewater, electric, and gas facilities, which may not be the same location as shown on this Preliminary Utility Plan.
  - Property Owner(s) ("Owner") acknowledges that the connection and/or extension of utility services to the property identified in this Preliminary Utility Plan ("Property") shall be in accord with all applicable codes and regulations, Springs Utilities' Line Extension and Service Standards ("Standards"), Tariffs, Colorado Springs City Code, resolutions, and policies, and Pikes Peak Regional Building Department codes, in effect at the time of utility service connection and/or extension.
  - Owner acknowledges responsibility for the costs of extensions or utility system improvements that Springs Utilities determines necessary to provide utility services to the Property or to ensure timely development of integrated utility systems serving the Property and areas outside the Property including the costs to design and install water systems, wastewater collection systems and any gas or electric lines to and within the Property. Owner may be eligible for a cost Recovery Agreement as provided in Utilities' Rules and Regulations.
  - Springs Utilities' utility services are available on a "first-come, first-served" basis, and therefore no specific allocations or amounts of utility services, facilities, capacities or supplies are reserved for the Owner, and Springs Utilities makes no commitment as to the availability of any utility service until such time as an application for permanent service is approved by Springs Utilities.
  - The relocation or alteration of any existing utility facilities within the Property will be at the Owner's sole cost and expense. If Springs Utilities determines that Owner's relocation or alteration requires new or updated easements, Owner shall convey those easements prior to relocating or altering the existing utility facilities.
  - Owner shall dedicate by plat and/or convey by recorded document, all property and easements that Springs Utilities determines are required for all utility system facilities necessary to serve the Property or to ensure development of an integrated utility system. All easements granted by separate instrument shall utilize Springs Utilities' then-current Permanent Easement Agreement.
  - The water system facilities must meet Springs Utilities' criteria for water quality, reliability and pressure, including looping requirements (see Springs Utilities' Line Extension and Service Standards).
  - Owner recognizes that the extension of water system facilities may affect the quality of water in Springs Utilities' water system. When water quality is affected, Owner acknowledge responsibility for any costs that Springs Utilities determines necessary in order to maintain water quality in its system as a result of Owner's water system extensions. Owner may be required to submit a Water Quality Plan for the project.
  - Owner must contact Springs Utilities Field Engineering to determine the location of all natural gas and electric meters and transformers and to secure approval of gas-service-line pressures in excess of Springs Utilities standard gas system pressure. (Contact Field Engineering North 668-4985 or South 668-5564).
  - It shall not be permissible for any person to modify the grade of the earth within any Springs Utilities easement or rights of way without the written approval of Springs Utilities. Improvements, structures and trees shall not be located within utility easements, shall not violate National Electric Safety Code (NEC) provisions and clearances, and shall not impair access or the ability to maintain utility facilities.
  - Springs Utilities' approval of this Preliminary Utility Plan shall not be construed as a limitation upon the authority of Springs Utilities to apply its Standards and if there are any conflicts between any approved drawings and any provision of Standards or the City Code, then the Standards or City Code shall apply. Springs Utilities' approval of this Preliminary Utility Plan shall not be construed as a limitation upon the authority of the City of Colorado Springs or the Springs Utilities to adopt different ordinances, rules, regulations, resolutions, policies or codes which change any of the provisions of the Standards so long as these apply to the City generally and are in accord with the then-current tariffs, rates, and policies of Springs Utilities.

LUR FILE #: AR DP 21-00500  
AR WR 21-00501  
AR R 21-00502

DRAWN BY: D.E. WATTS	APPROVED BY:	REVISIONS: 09-22-21 REVISED PER CITY REVIEW COMMENTS EDEW	PROJECT: 316 NORTH TEJON STREET LOTS 21-24, BLOCK 51 COLORADO SPRINGS	SHT. NAME: PRELIMINARY UTILITY AND PUBLIC FACILITIES PLAN	SHT. NO.: 2 OF 6
DATE: 7-14-21	PROJ. NO.:				
DWG. NO.: 21-5598-04	DWG.:				
BASE PLAN BY LEVAD PARC SURVEYED BY DEW, LSW THRU 3-10-21					



N. TEJON STREET  
100' R.D.W.

LUR FILE #: AR DP 21-00500  
AR WR 21-00501  
AR R 21-00502

DRAWN BY: O.E. WATTS DATE: 9-2-21 DWG. NO.: 21-5598-08 BASE PLAN BY EDWD WARR SURVEYED BY DEW, ESW THRU 3-10-21	APPROVED BY: PROJ. NO. DWG.	REVISIONS 9-2-21 REVISED PER CITY REVIEW COMMENTS DEW	OLIVER E. WATTS CONSULTING ENGINEER COLORADO SPRINGS	PROJECT 316 NORTH TEJON STREET LOTS 21-24, BLOCK 51 COLORADO SPRINGS	SHEET NAME <b>PRELIMINARY GRADING PLAN</b>	SHIT. NO. 3 OF 6
---	-----------------------------------	---	--	--	---	---------------------------



2 NORTH EXTERIOR ELEVATION  
1/8" = 1'-0"



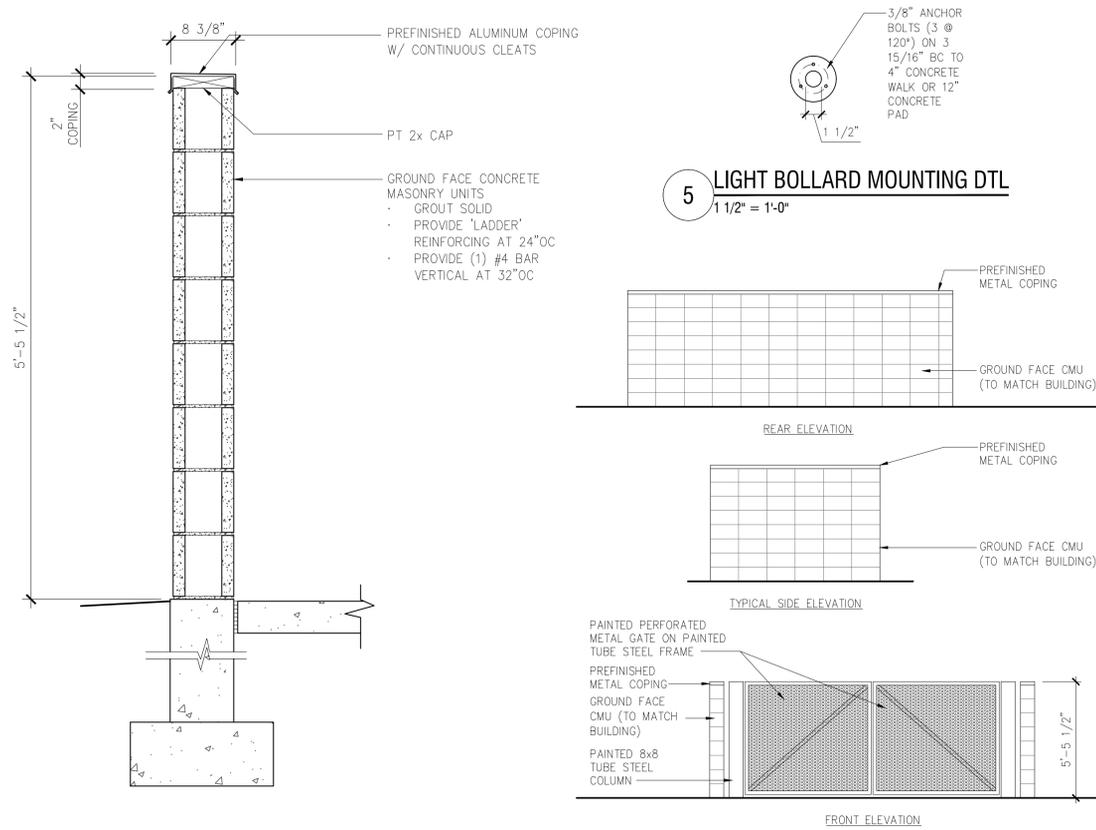
1 SOUTH EXTERIOR ELEVATION  
1/8" = 1'-0"

LUR FILE #: AR DP 21-00500  
AR WR 21-00501  
AR R 21-00502  
**EXTERIOR ELEVATIONS**

**ECHO**

2021-014-YMCA date: 09.02.2021  
316 N. TEJON phase: DEVELOPMENT PLAN  
COLORADO SPRINGS, CO drawn by: CJM  
80903

Echo Architecture, LLC  
4 S. Wainwright Ave., #120  
Colorado Springs, CO 80903  
www.echo-arch.com  
719.387.7536



**5 LIGHT BOLLARD MOUNTING DTL**  
1 1/2" = 1'-0"



**2 EAST EXTERIOR ELEVATION**  
1/8" = 1'-0"

**6 TRASH ENCLOSURE WALL**  
1" = 1'-0"

**4 DUMPSTER ENCLOSURE ELEVATIONS**  
1/4" = 1'-0"



**3 WEST EXTERIOR ELEVATION**  
1/8" = 1'-0"



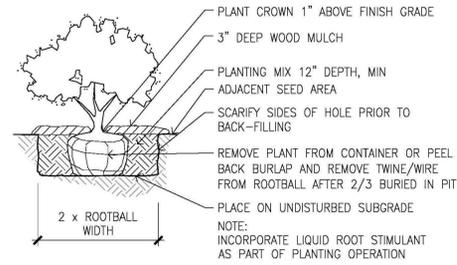
**1 EAST EXTERIOR ELEVATION**  
1/8" = 1'-0"

LUR FILE #:  
AR DP 21-00500  
AR WR 21-00501  
AR R 21-00502  
**EXTERIOR ELEVATIONS**

**ECHO**

2021-014-YMCA  
316 N. TEJON  
COLORADO SPRINGS,  
CO  
80903  
date:  
09.02.2021  
phase: DEVELOPMENT  
PLAN  
drawn by:  
CJM

Echo Architecture, LLC  
4 S. Wainwright Ave., #128  
Colorado Springs, CO 80903  
www.echo-arch.com  
t 719.387.7536



**2 SHRUB PLANTING DETAIL**  
1" = 10'

**PLANT SCHEDULE**

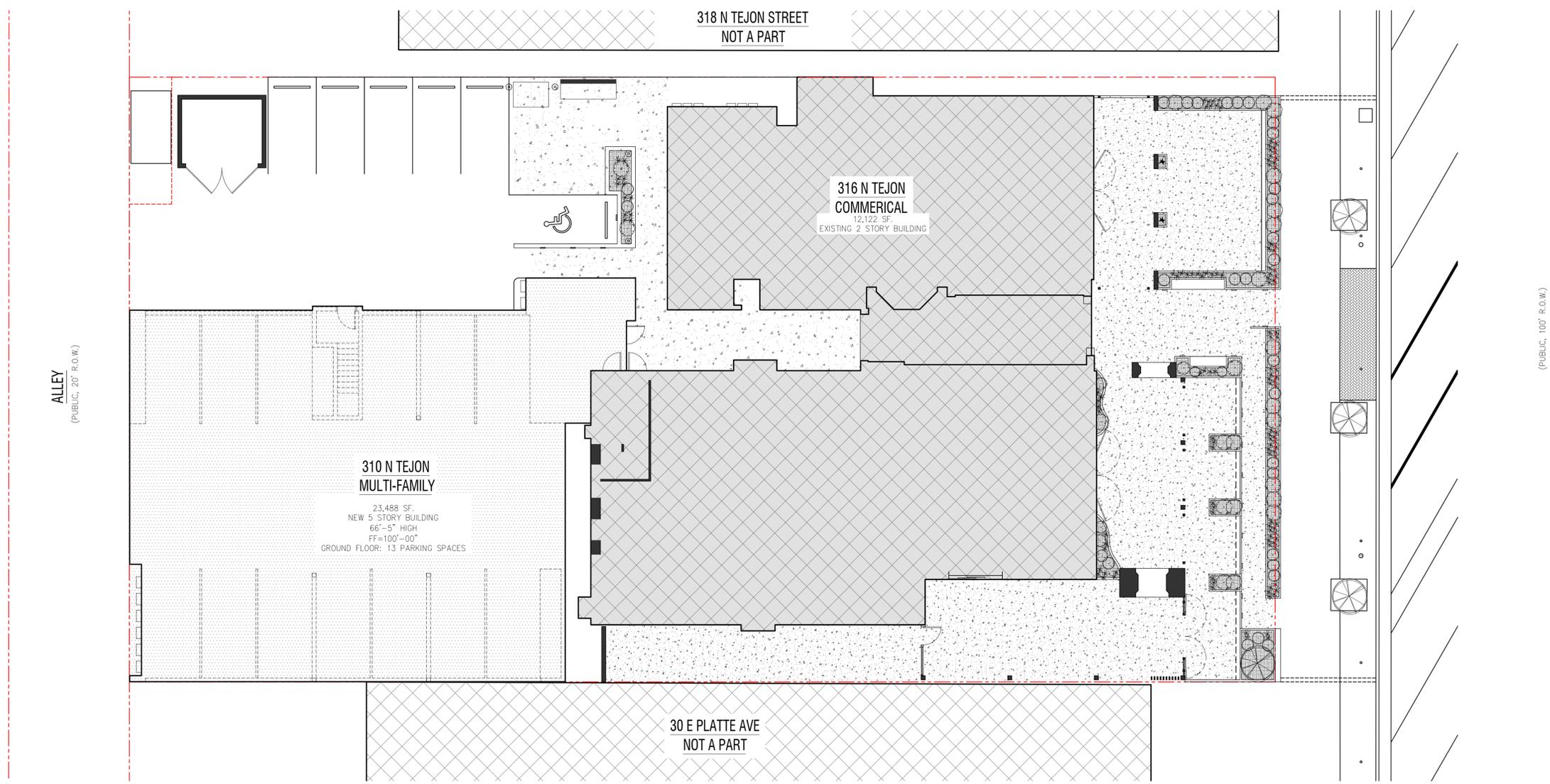
SYMBOL	MARK	QNTY	GENUS	SPECIES	COMMON NAME	SIZE	SPACING	NOTES
		1	RHUS	AROMATICA	FRAGRANT SUMAC	5 GAL	AS SHOWN	
		50%	FESTUCA	GLAUCA	BLUE FESCUE	1 GAL	AS SHOWN	
		50%	HELECTROTICHON	SEMPERVIRENS	BLUE AVENA	1 GAL	AS SHOWN	
		32	BUDDLEJA	DAVIDII	BUTTERFLY BUSH, SUMMER LILAC	1 GAL	AS SHOWN	
		21	PEROVSKIA ATRIPLICIFOLIA	AFFINA	RUSSIAN SAGE	5 GAL	AS SHOWN	
		2	LONICERA	PERICLYMENUM	HONEYSUCKLE WOOD-BINE	5 GAL	AS SHOWN	
			GROUND COVER		CRUSHED HAZELNUT SHELLS			
			PAVERS					MATCH EXISTING, ADJACENT

**LANDSCAPE GENERAL NOTES**

- PROTECT ALL EXISTING STREET TREES SHOWN TO REMAIN FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE IS TO BE REPAIRED AND RESTORED BY THE CONTRACTOR TO ORIGINAL CONDITION.
- LOCATE UTILITIES AND MAINTAIN THEIR LOCATION DURING ALL PHASES OF WORK. DO NOT DAMAGE UTILITY LINES/STRUCTURES.
- ENSURE THAT ALL CONSTRUCTION INSTALLATION, MATERIALS, TESTING AND INSPECTION SHALL COMPLY WITH APPLICABLE CODES AND ORDINANCES.
- TAKE ALL NECESSARY STEPS AS REQUIRED TO PROPERLY PROTECT AND MAINTAIN THIS WORK FOR THE DURATION OF THE CONTRACT.
- ALL PLANTS WILL BE BALLED AND BURLAPPED OR CONTAINER GROWN. BARE ROOT OR SPADED PLANTS WILL NOT BE ACCEPTED.
- PROPOSED SUBSTITUTIONS OF PLANT MATERIALS SHALL BE APPROVED BY THE ARCHITECT PRIOR TO ORDERING.
- ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET BY THE "COLORADO NURSERY ASSOCIATION AND THE "AMERICAN STANDARD OF NURSERY STOCK". ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES, FULLY BRANCHED IN PROPORTION TO WIDTH AND HEIGHT AND HAVE A RELATIVELY STRAIGHT TRUNK WITH A CENTRAL LEADER. THE CONTRACTOR SHALL PRUNE LOWER BRANCHES OF DECIDUOUS TREES TO 6 FEET ABOVE FINISH GRADE.
- CONTRACTOR SHALL AMEND PLANTING AREAS AS FOLLOWS: ADD MINIMUM OF 3 CUBIC YARDS OF WELL-COMPOSTED AGED MANURE OR PREMIUM COMPOST PER 1,000 S.F.
- ALL AMENDED AREAS SHALL BE TILLED TO A DEPTH OF 6" PRIOR TO PLANTING.
- AN AUTOMATIC IRRIGATION SYSTEM WILL BE PROVIDED TO WATER ALL PROPOSED LANDSCAPE PLANTINGS AND INCLUDE THE FOLLOWING - BACKFLOW, SYSTEM CONTROLLER, RAIN SENSOR, CONTROL VALVE(S), IRRIGATION SLEEVING, MAINLINE LATERAL(S) AND DRIP LINE.
- ALL PROPOSED SHRUB AND TREE PLANTINGS TO HAVE DRIP IRRIGATION TO EACH NEW TREE AND SHRUB PLANTING.
- IRRIGATION TO BE DESIGN/BUILD.
- LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF OWNER, AND/OR THEIR ASSIGNS.
- ALL STREET TREES AND STREETSCAPE IMPROVEMENTS LOCATED IN THE ROW WILL BE MAINTAINED BY THE ADJUTING PROPERTY OWNER.

**SITE PLAN LEGEND**

- NEW BUILDING
- EXISTING BUILDING (SCOPE OF WORK)
- EXISTING BUILDING (NOT A PART)
- NEW CONCRETE
- NEW PAVERS IN HOLLAND PATTERN PER CITY STANDARD
- EASEMENT
- PROPERTY LINE
- 48" FULL CUT-OFF PEDESTRIAN LOW VOLTAGE LED LIGHT BOLLARD (TYP OF 6)



**1 PRELIMINARY LANDSCAPE PLAN**  
1" = 10'

LUR FILE #: AR DP 21-00500  
AR WR 21-00501  
AR R 21-00502  
**LANDSCAPE PLAN**

**ECHO**

2021-014-YMCA date: 09.02.2021  
316 N. TEJON phase: DEVELOPMENT PLAN  
COLORADO SPRINGS, CO  
80903  
drawn by: RCL



Echo Architecture, LLC  
4 S. Nimbatach Ave., #128  
Colorado Springs, CO 80903  
www.echo-arch.com  
t 719.387.7836

**6of6**