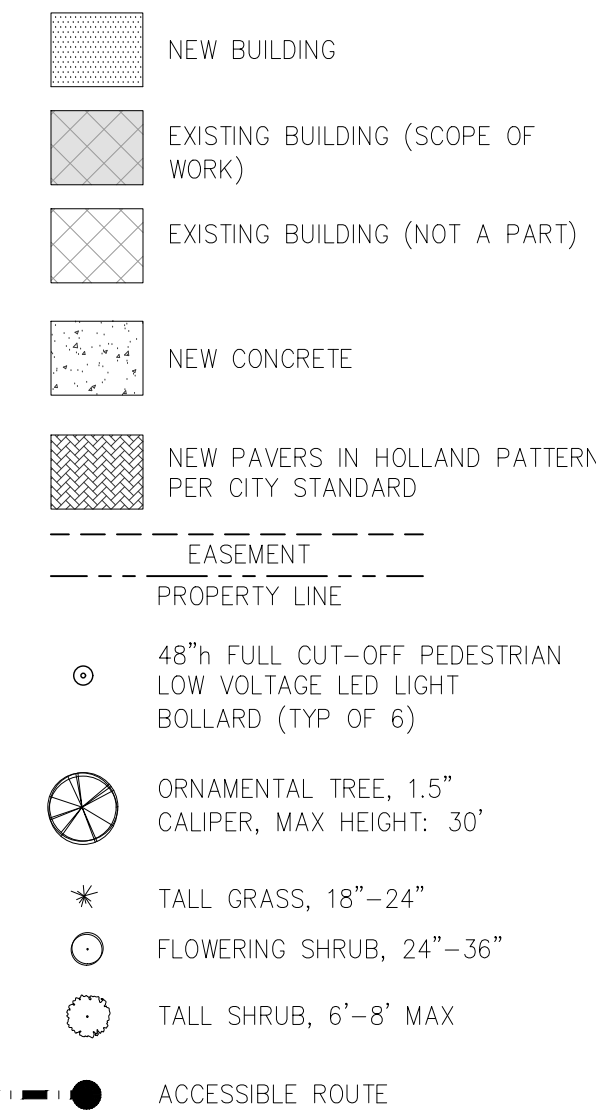


SITE PLAN LEGEND



SITE PLAN KEY NOTES

- 1

(E) STREET TREE TO REMAIN (NO CHANGE)

2

INFILL EXISTING CURB CUT WITH INTERLOCKING PAVER AMENITY ZONE LAID IN HOLLAND PATTERN PER CITY STANDARD (MATCH (E) ADJACENT PAVERS)

3

REMOVE EXISTING DRIVEWAY APRON, REPLACE WITH NEW TYPE 1\"/>

4

(E) TYPE 1 CURB AND GUTTER TO REMAIN

5

NEW CONCRETE STAIR

6

NEW CONCRETE RAMP

7

STEEL AND WIRE 42\"/>

8

NEW CONCRETE RAMP SIDEWALK ENTRY

9

NEW ELEVATED CONCRETE PATIO; 2\"/>

10

STUCCO FINISHED WALL WITH PLANTING BED; TOP AT 6\"/>

11

NEW BOARD FORM CONCRETE WALL WITH PLANTER BED; TOP AT 3\"/>

12

NEW GAS FIRE PIT

13

NEW WOOD BURNING FIRE PLACE

14

NEW SITE LIGHTING

15

RUBBER WHEEL STOP

16

NEW ELECTRICAL VAULT

17

NEW PARKING STALLS

18

(E) STREET LIGHTING

19

(E) PARKING STALLS

20

NEW TRASH ENCLOSURE

21

(E) MOTORCYCLE PARKING TO REMAIN (ONE ONLY)

22

LINE OF OVERHANG ABOVE

23

VAN ACCESSIBLE PARKING STALL ACCESS AISLE

24

VAN ACCESSIBLE PARKING STALL SIGNAGE

25

PLANTER

26

NEW PARKING METER

27

NEW PRIVATE PARKING STALLS

28

(E) PARKING METER

29

(E) TRASH CAN

30

GAS METERS (RECESSED)

31

OUTDOOR DINING AREA (COVERED BY SOLID ROOF)

32

OUTDOOR DINING AREA (COVERED BY TRELLIS)

33

OUTDOOR DINING AREA (UNCOVERED)

34

VERTICAL TRELLIS (STEEL SLATS)

35

ELECTRIC GEAR AND TRANSFORMER

36

GAS METERS

37

ELECTRICAL METERS

38

STEEL DIAMOND PLATE GRATE O/ TRENCH DRAIN (DAYLIGHTING AT CURB/GUTTER AT TEJON)

39

TRENCH DRAIN (CAPTURING PATIO STORMWATER, DAYLIGHTING CURB/GUTTER AT TEJON)

PARKING

REQUIRED: (PER COS FBZ SECTION 2.6.2) PARKING EXEMPT

PROVIDED:
STANDARD COVERED PARKING STALLS: 13
5 COMPACT PARKING STALLS: (25%) 5
1 ACCESSIBLE PARKING STALLS: 1
TOTAL STALLS PROVIDED: 19

FLOODPLAIN NOTE

1. NO PORTION OF THE SUBJECT PROPERTY IS LOCATED WITHIN THE 100 YEAR FLOOD PLAIN, ACCORDING TO FIRM #08041C0729G EFFECTIVE 12/07/18.

ADA COMPLIANCE

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.

ADMINISTRATIVE RELIEF

THE DRIVE AISLE SERVING THE SURFACE PARKING IS 22'-8" WIDE WHICH IS 5% LESS THAN THE CODE REQUIRED 24'-0" WIDTH. THIS PROJECT IS REQUESTING ADMINISTRATIVE RELIEF TO ALLOW THIS.

ZONING DATA

ZONE:	FBZ-T2A
SITE AREAS:	
TOTAL SITE AREA:	19,000 S.F.
BUILDING AREA (GROSS):	
316 N TEJON (EXISTING BUILDING):	10,978 S.F.
316 N TEJON (NEW PATIO):	3,974 S.F.
310 N TEJON (NEW BUILDING):	23,380 S.F.
BUILDING TYPE:	
316 N TEJON (EXISTING BUILDING):	MIXED USE
310 N TEJON (NEW BUILDING):	MULTI-FAMILY
ALLOWABLE BUILDING HEIGHT: (CH 2.3.4)	4 STORIES 1 STORY DENSITY BONUS REQUESTED
TOTAL:	5 STORIES
ACTUAL BUILDING HEIGHT:	
316 N TEJON (EXISTING BUILDING):	NO CHANGE (<35')
310 N TEJON (NEW BUILDING):	5 STORIES (66'-5")
SETBACKS REQUIRED: (CH 2.3.3)	
SETBACKS PROPOSED:	
N TEJON STREET:	FRONT: 0' MAX. SIDE: 10' MAX REAR: 0' MIN
FRONTAGE TYPE (CH 2.4):EXISTING NON-CONFORMING (SIMILAR TO 2.4.1. COMMON LAWN)	FRONT: 15'-0" SIDE (NORTH): 0'-0" SIDE (SOUTH): 0'-0" REAR: 0'-0"
GLAZING & FENESTRATION: (SECTION 2.4.7)	THE PERCENTAGE OF FIRST FLOOR GLAZING EQUALS THE PERCENTAGE OF TRANSPARENT GLASS ALONG THAT PORTION OF THE FACADE BETWEEN 18" AND 10' IN HEIGHT RUNNING PARALLEL TO THE FRONT PROPERTY LINE.
REQUIRED PERCENTAGE:	25%
EXISTING PERCENTAGE:	44%
PROPOSED PERCENTAGE:	59%

DENSITY BONUS

1 STORY DENSITY BONUS IS BEING REQUESTED PER CITY OF COLORADO SPRINGS FORM BASED ZONE SECTION 3.

THIS PROJECT QUALIFIES FOR THE FOLLOWING DENSITY BONUS POINTS PER FBC SECTION 3.2:

- MARKET RATE HOUSING: 2 POINTS
 - 12 MARKET RATE UNITS ARE PROPOSED IN THIS PROJECT.
 - REDUCE HEAT ISLAND EFFECT - ROOF SURFACE: 2 POINTS
 - NEW BUILDING TO PROVIDE 100% HIGH ALBEDO SURFACE HAVING A SOLAR REFLECTIVE INDEX (SRI) OF 29 OR GREATER

PROJECT QUALIFIES FOR A TOTAL OF 4 DENSITY BONUS POINTS WHICH EXCEEDS THE REQUIRED POINT EXCHANGE RATE OF 3 (SECTION 3.3) FOR AN ADDITIONAL STORY.

WAIVER OF REPLAT

A WAIVER OF REPLAT IS CURRENTLY UNDER REVIEW, CITY FILE NO. AR WR 21-00501 FOR THE PROPERTY, ONCE WAIVER OF REPLAT IS RECORDED, THE LEGAL DESCRIPTION OF SAID PROPERTY WILL BE CONSIDERED AS ONE LOT FOR THE PURPOSES OF THE ZONING ORDINANCE (CHAPTER 7, ARTICLE 2, 3, 4 AND 5 OF THE CITY CODE), ONE LOT FOR THE APPLICABLE PROVISIONS OF THE CITY CODE AND/OR INCLUDING APPLICABLE CODES, RULES AND REGULATIONS ADOPTED PURSUANT TO THE CITY CODE.

SITE PLAN GENERAL NOTES

1. REFER TO SHEET 2 of 4 FOR CIVIL INFORMATION INCLUDING GRADING AND UTILITIES.
 2. INFORMATIONAL ONLY: SIGNAGE IS NOT APPROVED WITH THIS CONCEPT/DEVELOPMENT PLAN.
 3. FLOOD LIGHTING IS PROHIBITED.
 4. ALL LIGHTING SHALL BE ARRANGED TO REFLECT AWAY FROM ADJOINING PROPERTIES AND PUBLIC RIGHT-OF-WAY ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY (CO), AN ON-SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW DIVISION (EDRD) INSPECTOR TO DETERMINE WHAT, IF ANY IMPROVEMENTS ARE REQUIRED. THE EDRD INSPECTOR CAN BE REACHED AT 719-385-5977.
 5. ALL CURB, GUTTER, PEDESTRIAN RAMPS, DRIVEWAY AND SIDEWALK POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATION OR DOES NOT MEET CURRENT CITY ENGINEERING STANDARD ALONG PUBLIC RIGHT-OF-WAY ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY (CO), AN ON-SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW DIVISION (EDRD) INSPECTOR TO DETERMINE WHAT, IF ANY IMPROVEMENTS ARE REQUIRED. THE EDRD INSPECTOR CAN BE REACHED AT 719-385-5977.

PROJECT DATA

PROJECT SUMMARY:	CONVERT EXISTING OFFICE BUILDING INTO RESTAURANT AND OFFICE. NEW CONSTRUCTION OF A (10) UNIT MARKET RATE RESIDENTIAL BUILDING
PROJECT ADDRESS:	316 N. TEJON STREET COLORADO SPRINGS, CO 80903
TSN:	6418202003
LEGAL DESCRIPTION:	LOTS 21, 22, 23 AND 24, BLOCK 51, IN THE CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO. AND CONTAINING 0.436 ACRES
CITY ZONING:	FBZ T2A
PROJECT TYPE:	COMMERCIAL MIXED USE (RESIDENTIAL, RESTAURANT, OFFICE)

SHEET INDEX

1 OF 6	GENERAL INFORMATION/SITE PLAN
2 OF 6	PRELIMINARY UTILITY AND PUBLIC FACILITIES PLAN
3 OF 6	PRELIMINARY GRADING PLAN
4 OF 6	EXTERIOR ELEVATIONS
5 OF 6	EXTERIOR ELEVATIONS
6 OF 6	PRELIMINARY LANDSCAPE PLAN

CONTACTS

OWNER:	NIEBUR DEVELOPMENT 524 SOUTH TEJON STREET COLORADO SPRINGS, CO 80903
CONTACT:	TROY COATES p. 719.527.0313 e. TROY@NIEBUREDEVELOPMENT.COM
ARCHITECT:	ECHO ARCHITECTURE 4 SOUTH WAHSATCH AVE #120 COLORADO SPRINGS, CO 80903
CONTACT:	RYAN LLOYD p. 719.387.7836 e. ryan@echo-arch.com
CIVIL:	OLIVER E. WATTS CONSULTING ENGINEER, INC. 614 ELKTON DRIVE COLORADO SPRINGS, CO 80907
CONTACT:	ERIK WATTS p. 719.593.0173 e. OLLIEWATTS@AOL.COM

BUILDING/SITE DATA

TOTAL SITE AREA:	19,000 SF (.436 ACRES)
BUILDING FOOTPRINT:	316 N TEJON: 6,198 S.F. 310 N TEJON: 4,696 S.F.
# OF STORIES:	316 N TEJON: 2 STORIES 310 N TEJON: 5 STORIES
PROPOSED LOT COVERAGE:	77%
ACTUAL BUILDING HEIGHT (310 N TEJON):	66'-5"
BUILDING AREAS (310 N TEJON):	
FIRST FLOOR (PARKING):	4,696 S.F.
SECOND FLOOR (RESIDENTIAL):	4,652 S.F. (4 UNITS)
THIRD FLOOR (RESIDENTIAL):	4,767 S.F. (3 UNITS)
FOURTH FLOOR (RESIDENTIAL):	4,767 S.F. (3 UNITS)
FIFTH FLOOR (RESIDENTIAL):	4,606 S.F. (2 UNITS)
TOTAL:	23,488 S.F.(12 UNITS)
BUILDING AREAS (310 N TEJON):	
FIRST FLOOR (RESTAURANT):	6,198 S.F.
SECOND FLOOR (OFFICE):	5,924 S.F.
TOTAL:	12,122 S.F.

ENCROACHMENTS

A REVOCABLE PERMIT WILL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMITS FOR ANY BUILT ENCROACHMENTS BEYOND THE PROPERTY LINE.

VICINITY MAP

SITE PLAN

1" = 10'

MIXED-USE REMODEL & NEW BUILDING
310 & 316 NORTH TEJON STREET
COLORADO SPRINGS, CO

LUR FILE #: AR DP 21-00500
AR WR 21-00501
AR R 21-00502
GENERAL INFO.

ECHO

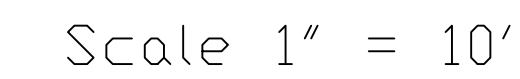
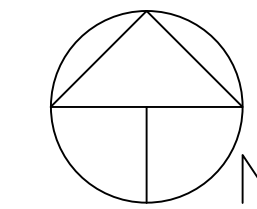
2021-014-YMCA
316 N. TEJON
COLORADO SPRINGS,
CO 80903

Echo Architecture, LLC
4 S Wahsatch Ave, #120
Colorado Springs, CO 80903
www.echo-arch.com
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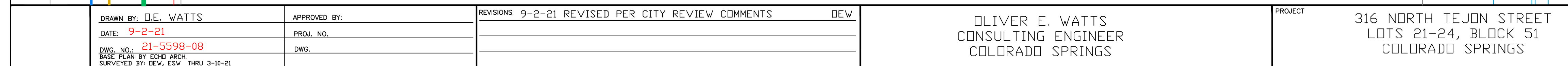
date: 09.02.2021
phase: DEVELOPMENT PLAN
drawn by: SFH

1 of 6

09.02.2021
DEVELOPMENT PLAN



EJON S
100' R.O.W.



NAME _____

PRELIMINARY GRADING PLAN

SHT. NO.	3
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LUR FILE #: AR DP 21-00500
AR WR 21-00501
AR R 21-00502



2 NORTH EXTERIOR ELEVATION
1/8" = 1'-0"



1 SOUTH EXTERIOR ELEVATION
1/8" = 1'-0"

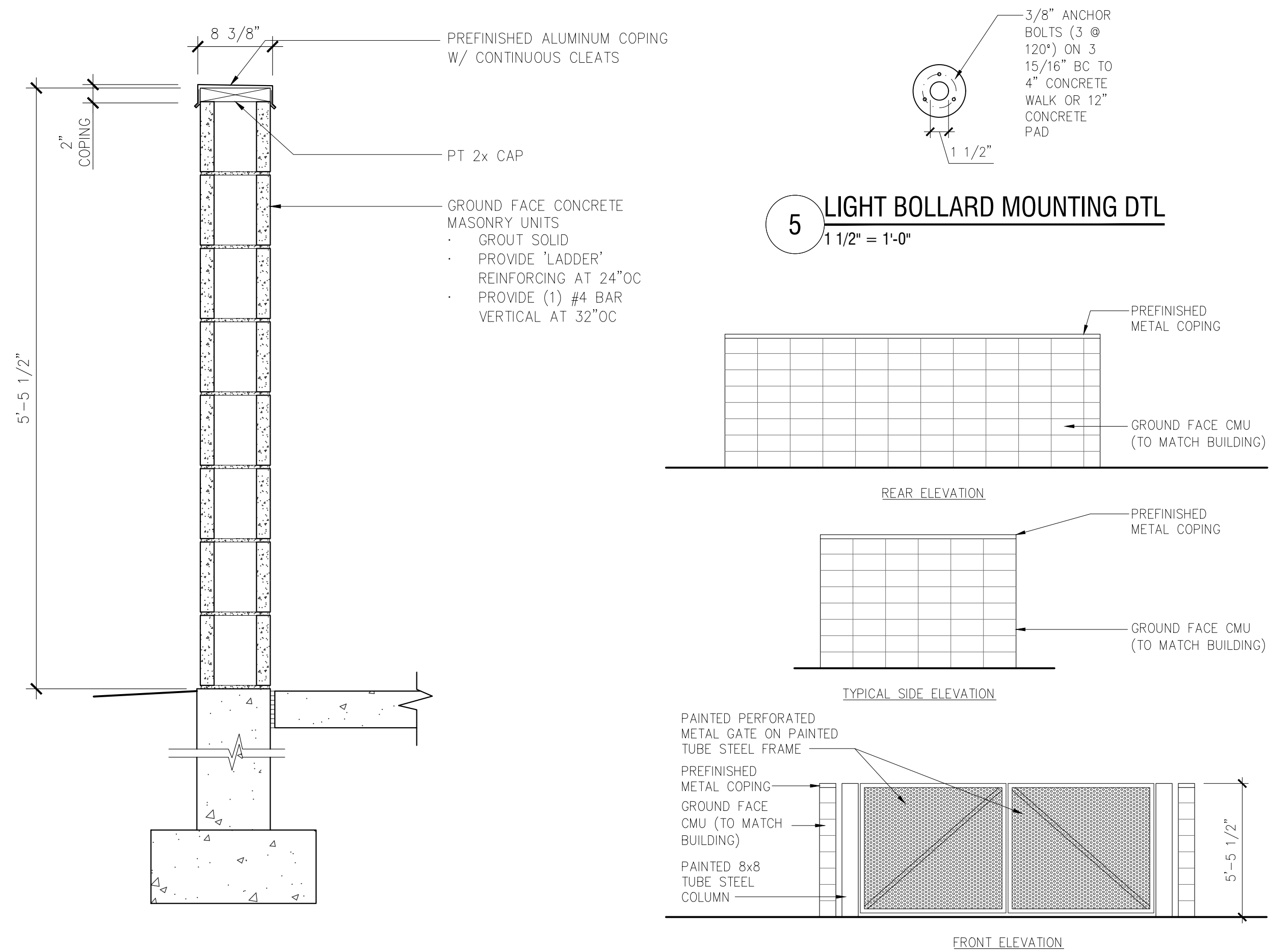
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AR WR 21-00501
AR R 21-00502
EXTERIOR ELEVATIONS

ECHO

2021-014-YMCA
316 N. TEJON
COLORADO SPRINGS,
CO
80903

date: 09.02.2021
phase:
DEVELOPMENT PLAN
drawn by:
CJM

Echo Architecture, LLC
4 S Main Street Ave, #328
Colorado Springs, CO 80903
www.echo-arch.com
t 719.387.7536



6 TRASH ENCLOSURE WALL
1" = 1'-0"

4 DUMPSTER ENCLOSURE ELEVATIONS
1/4" = 1'-0"

2 EAST EXTERIOR ELEVATION
1/8" = 1'-0"



3 WEST EXTERIOR ELEVATION
1/8" = 1'-0"



1 EAST EXTERIOR ELEVATION
1/8" = 1'-0"

LUR FILE #:
AR DP 21-00500
AR WR 21-00501
AR R 21-00502

EXTERIOR ELEVATIONS

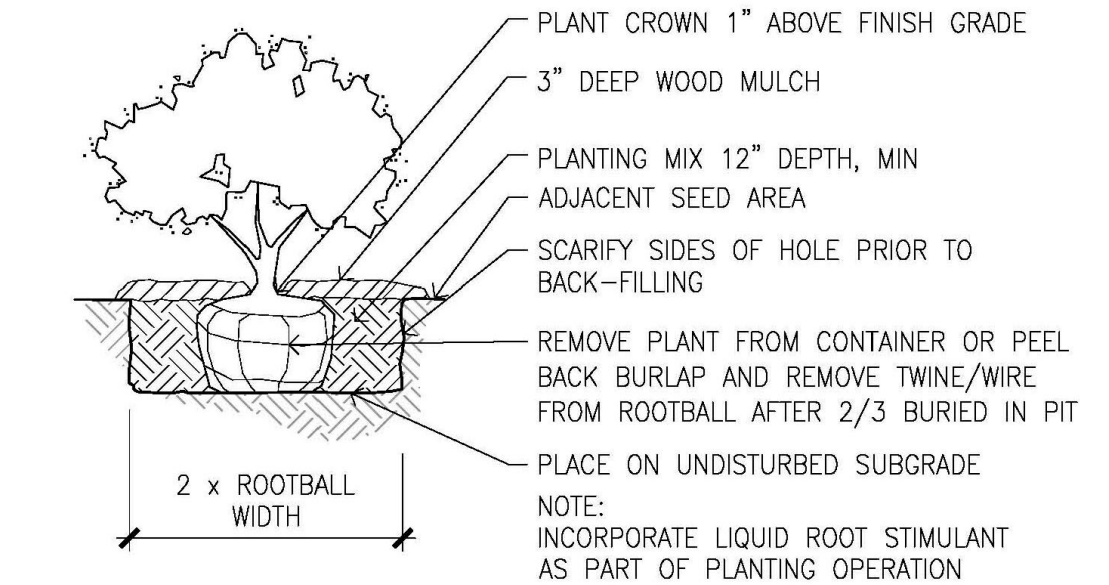
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5 of 6

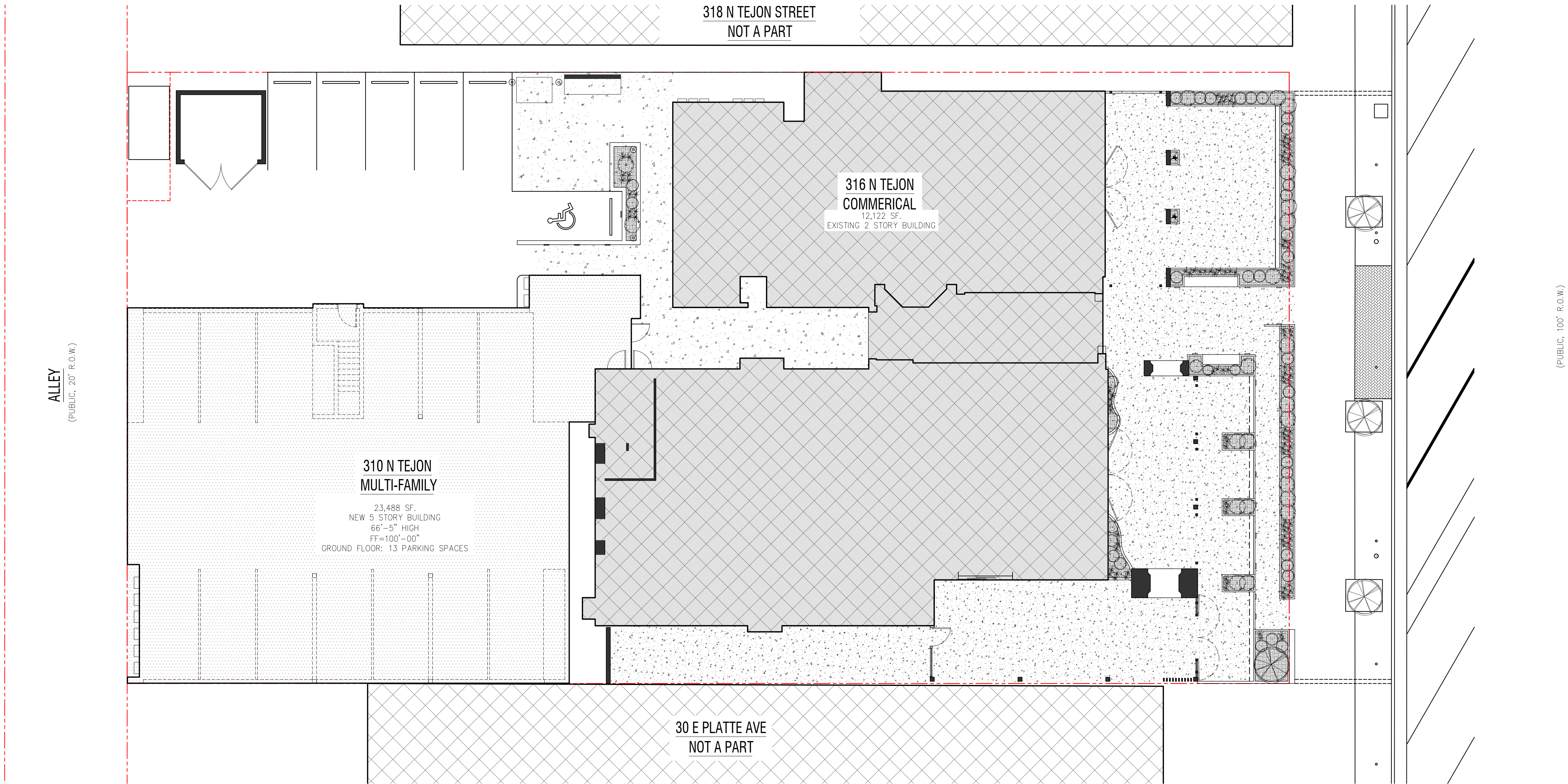


2 SHRUB PLANTING DETAIL
1" = 10'

PLANT SCHEDULE								
SYMBOL	MARK	QNTY	GENUS	SPECIES	COMMON NAME	SIZE	SPACING	NOTES
		1	RHUS	AROMATICA	FRAGRANT SUMAC	5 GAL	AS SHOWN	
		50%	FESTUCA	GLAUCA	BLUE FESCUE	1 GAL	AS SHOWN	
		50%	HELECTROTICHON	SEMPERVIRENS	BLUE AVENA	1 GAL	AS SHOWN	
		32	BUDDLEJA	DAVIDII	BUTTERFLY BUSH, SUMMER LILAC	1 GAL	AS SHOWN	
		21	PEROVSKIA ATRIPLICIFOLIA	AFFINA	RUSSIAN SAGE	5 GAL	AS SHOWN	
		2	LONICERA	PERICLYMENUM	HONEYSUCKLE WOOD-BINE	5 GAL	AS SHOWN	
			GROUND COVER		CRUSHED HAZELNUT SHELLS			
			PAVERS	-		-		MATCH EXISTING, ADJACENT

- LANDSCAPE GENERAL NOTES
1. PROTECT ALL EXISTING STREET TREES SHOWN TO REMAIN FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE IS TO BE REPAIRED AND RESTORED BY THE CONTRACTOR TO ORIGINAL CONDITION.
 2. LOCATE UTILITIES AND MAINTAIN THEIR LOCATION DURING ALL PHASES OF WORK. DO NOT DAMAGE UTILITY LINES/STRUCTURES.
 3. ENSURE THAT ALL CONSTRUCTION INSTALLATION, MATERIALS, TESTING AND INSPECTION SHALL COMPLY WITH APPLICABLE CODES AND ORDINANCES.
 4. TAKE ALL NECESSARY STEPS AS REQUIRED TO PROPERLY PROTECT AND MAINTAIN THIS WORK FOR THE DURATION OF THE CONTRACT.
 5. ALL PLANTS WILL BE BALLED AND BURLAPPED OR CONTAINER GROWN. BARE ROOT OR SPADED PLANTS WILL NOT BE ACCEPTED.
 6. PROPOSED SUBSTITUTIONS OF PLANT MATERIALS SHALL BE APPROVED BY THE ARCHITECT PRIOR TO ORDERING.
 7. ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET BY THE "COLORADO NURSERY ASSOCIATION AND THE "AMERICAN STANDARD OF NURSERY STOCK". ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES, FULLY BRANCHED IN PROPORTION TO WIDTH AND HEIGHT AND HAVE A RELATIVELY STRAIGHT TRUNK WITH A CENTRAL LEADER. THE CONTRACTOR SHALL PRUNE LOWER BRANCHES OF DECIDUOUS TREES TO 6 FEET ABOVE FINISH GRADE.
 8. CONTRACTOR SHALL AMEND PLANTING AREAS AS FOLLOWS: ADD MINIMUM OF 3 CUBIC YARDS OF WELL-COMPOSTED AGED MANURE OR PREMIUM COMPOST PER 1,000 S.F.
 9. ALL AMENDED AREAS SHALL BE TILLED TO A DEPTH OF 6" PRIOR TO PLANTING.
 10. AN AUTOMATIC IRRIGATION SYSTEM WILL BE PROVIDED TO WATER ALL PROPOSED LANDSCAPE PLANTINGS AND INCLUDE THE FOLLOWING - BACKFLOW, SYSTEM CONTROLLER, RAIN SENSOR, CONTROL VALVE(S), IRRIGATION SLEEVING, MAINLINE LATERAL(S) AND DRIP LINE.
 11. ALL PROPOSED SHRUB AND TREE PLANTINGS TO HAVE DRIP IRRIGATION TO EACH NEW TREE AND SHRUB PLANTING.
 12. IRRIGATION TO BE DESIGN/BUILD.
 13. LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF OWNER, AND/OR THEIR ASSIGNS.
 14. ALL STREET TREES AND STREETSCAPE IMPROVEMENTS LOCATED IN THE ROW WILL BE MAINTAINED BY THE ADJUTING PROPERTY OWNER.

- SITE PLAN LEGEND
- NEW BUILDING
 - EXISTING BUILDING (SCOPE OF WORK)
 - EXISTING BUILDING (NOT A PART)
 - NEW CONCRETE
 - NEW PAVERS IN HOLLAND PATTERN PER CITY STANDARD
 - EASEMENT
 - PROPERTY LINE
 - 48" h FULL CUT-OFF PEDESTRIAN LOW VOLTAGE LED LIGHT BOLLARD (TYP OF 6)



1 PRELIMINARY LANDSCAPE PLAN
1" = 10'



LUR FILE #: AR DP 21-00500
AR WR 21-00501
AR R 21-00502

LANDSCAPE PLAN

ECHO

2021-014-YMCA
316 N. TEJON
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CO
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date:
09.02.2021

phase:
DEVELOPMENT PLAN

drawn by:
RCL

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6of6