LOTS 5, 6 AND A PORTION OF LOTS 7 AND 8, MAP OF THE TOWN OF COLORADO SPRINGS LOCATED IN THE NORTHEAST CORNER OF SECTION 13, TOWNSHIP 14 SOUTH, RANGE 67 WEST CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

### LIST OF CONTACTS

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LANDSCAPE ARCHITECT GALLOWAY & COMPANY, INC. 6162 SOUTH WILLOW DRIVE, SUITE 320 GREENWOOD VILLAGE, COLORADO 80111 TEL: (303) 770-8884 FAX: (303) 770-3636 CONTACT: TIM NELSON

SURVEYOR GALLOWAY & COMPANY, INC. 1755 TELSTAR DRIVE, SUITE 10 COLORADO SPRINGS, COLORADO 80920 TEL: (719) 900-7220 FAX: (303) 770-3636 CONTACT: BRIAN DENNIS EMAIL: BRIANDENNIS@GALLOWAYUS.COM

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CITY PLANNING CITY OF COLORADO SPRINGS 30 S NEVADA, SUITE 105 COLORADO SPRINGS, COLORADO 80901 TEL: (719) 385-5383 CONTACT: LONNA THELEN EMAIL: LTHELEN@SPRINGSGOV.COM

CITY ENGINEERING ENGINEERING DEPARTMENT CITY ADMINISTRATION BUILDING, SUITE 401 MC140 30 S NEVADA, SUITE 105 COLORADO SPRINGS, COLORADO 80901 CONTACT: JOEL DAGNILLIO

**UTILITY REVIEW** 1521 HANCOCK EXPRESSWAY COLORADO SPRINGS, COLORADO 80903 CONTACT: AL JUVERA

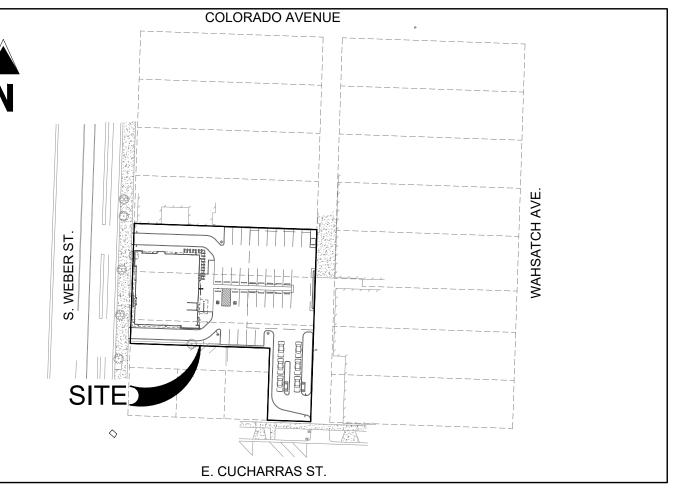
### **GENERAL NOTES**

- REQUIREMENTS SHOWN ON SITE PLAN SHALL GOVERN, DRAWINGS AND SPECIFICATIONS SHOWING OTHERWISE NOTWITHSTANDING. CONTRACTOR TO POINT OUT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO BID AND CONSTRUCTION.
- 2. NO WORK IS TO BEGIN UNTIL ALL PERMITS HAVE BEEN OBTAINED.
- CONTRACTOR TO PROVIDE ALL EQUIPMENT AND PERSONNEL REQUIRED FOR FINAL CHECKOUT OF ALL FACILITIES BY OWNER'S REPRESENTATIVE.
- 4. ENTIRE INSTALLATION SHALL MEET ALL APPLICABLE CODES.
- 5. VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE.
- ANY PROPOSED CHANGES TO THE DESIGN GRADES SHALL BE SUBMITTED TO THE OWNER AND THE ENGINEER OF RECORD FOR APPROVAL PRIOR TO CONSTRUCTION.THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE COSTS OF CORRECTING ANY INSTALLATION NOT CONFORMING TO WITHIN ONE-QUARTER INCH OF THE DESIGN GRADES WHERE CONSTRUCTED WITHOUT PRIOR APPROVAL. FURTHER, NO DEVIATION CAUSING NON-COMPLIANCE WITH ADA GUIDELINES IS ACCEPTABLE ALONG ACCESSIBLE
- 7. CONTRACTOR SHALL RECEIVE, UNLOAD, STORE IN WEATHER TIGHT CONTAINERS AND UNCRATE ALL EQUIPMENT FURNISHED BY
- 8. LANDSCAPING AND IRRIGATION SYSTEM BY GENERAL CONTRACTOR, UNLESS OTHERWISE NOTED.
- 9. CONTRACTOR TO PERFORM GENERAL YARD AND BUILDING CLEAN-UP DAILY AT COMPLETION OF WORK.
- 10. ALL TOP OF CURB GRADES ARE 6" HIGHER THAN FLOWLINE GRADES SHOWN ON DRIVE UNLESS OTHERWISE NOTED.
- 11. CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID DAMAGE TO ADJACENT PROPERTIES DURING ALL CONSTRUCTION PHASES OF THIS PROJECT.
- 12. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND/OR FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND ARE TO BE CONSIDERED APPROXIMATE LOCATIONS ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE EXACT LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS
- OR NOT. PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.
- 14. CONTRACTOR SHALL REMOVE AND REPLACE EXISTING CONDITIONS AS NECESSARY TO FACILITATE CONSTRUCTION IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS. ANY PROPOSED INCREASE IN THE LIMITS OF CONSTRUCTION OR DEMOLITION AS INDICATED ON THE PLANS SHALL BE REVIEWED AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO
- 15. CONTRACTOR RESPONSIBLE FOR ALL WORK NECESSARY FOR FINAL ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY, INCLUDING BUT NOT LIMITED TO AS-BUILT DRAWINGS, INSPECTIONS, TESTING REPORTS AND
- 16. ALL SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE SPECIFICATIONS OF THE RELEVANT UTILITY COMPANY OR
- CONTRACTOR IS REQUIRED TO KEEP A SET OF REDLINED AS-BUILT DRAWINGS THROUGHOUT CONSTRUCTION TO DENOTE ANY VARIATIONS FROM PLAN. CONTRACTOR SHALL SUBMIT A SET OF THE AS-BUILT DRAWINGS TO THE ENGINEER AND OWNER'S REPRESENTATIVE AT LEAST TWO WEEKS PRIOR TO OBTAINING CERTIFICATE OF OCCUPANCY.
- 18. SURVEYOR TO OBTAIN AutoCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK
- SITE COMPLIANCE NOTE: A CERTIFICATE OF OCCUPANCY SHALL NOT BE ISSUED BY THE CITY OF COLORADO SPRINGS UNTIL ALL ON-SITE AND PUBLIC IMPROVEMENTS SUCH AS GRADING, DRAINAGE, PARKING, SIDEWALKS, LANDSCAPING, CURB AND GUTTER, SPECIALTY PAVING AND ALL OTHER FEATURES THAT APPEAR ON THE APPROVED SITE PLAN ARE COMPLETED. IN THE EVENT CONDITIONS PRECLUDE THE COMPLETION OF ANY REQUIRED ON-SITE OR PUBLIC IMPROVEMENTS THE PROVISIONS THE CITY OF
- 20. LIGHTING NOTE: IN THE INTEREST OF COMPATIBILITY OF SURROUNDING LAND USES. ILLUMINATION OF ANY KIND ON PRIVATE PROPERTY SHALL BE DIRECTED AND CONTROLLED IN SUCH A MANNER SO THAT THERE SHALL BE NO DIRECT RAYS OF LIGHT. WHICH EXTEND BEYOND THE BOUNDARIES OF THE PROPERTY FROM WHERE IT ORIGINATES.
- TRASH ENCLOSURE NOTE: TRASH ENCLOSURES SHALL BE CONSTRUCTED TO CONCEAL THE FOUIPMENT WITHIN AND OF THE SAME MATERIAL AND COLOR AS THE MAIN BUILDING. IN NO CASE, SHALL THE ENCLOSURE BE LESS THAN THE HEIGHT OF THE EQUIPMENT LOCATED WITHIN.
- 22. SCREENING NOTE: ROOF MOUNTED ELECTRICAL AND MECHANICAL EQUIPMENT SHALL BE PLACED OR SCREENED SUCH THAT THE EQUIPMENT IS NOT VISIBLE FROM ANY POINT FROM THE GROUND FROM ADJACENT PUBLIC RIGHT OF WAYS OR ADJACENT PROPERTIES. SUCH EQUIPMENT SHALL BE SCREENED WITH THE SAME MATERIALS AND COLORS AS THE MAIN BUILDING. THE CONTRACTOR SHALL CONFIRM WITH THE ARCHITECT AND THE CITY THAT THE SCREENING IS ADEQUATE PRIOR TO THE CERTIFICATE OF OCCUPANCY IS ISSUED BY THE CITY.
- 23. MAINTENANCE RESPONSIBILITY NOTES:
- A. THE OWNER OF THE PROPERTY, HIS SUCCESSORS, HEIRS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO AN APPROVED SITE PLAN. THAT AREA SHALL BE DEEMED TO INCLUDE AN AREA AS MEASURED FROM THE BACK OF THE CURB LINE TO, AND INCLUDING, ALL AREAS SUBJECT TO THE APPROVED SITE PLAN AND
- B. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. REPLACEMENT FOR DEAD OR DISEASED PLANT MATERIAL SHALL BE OF THE SAME TYPE OF PLANT MATERIAL AS SET FORTH IN THE APPROVED SITE PLAN; FOR EXAMPLE, A TREE MUST REPLACE A TREE, A SHRUB MUST REPLACE A SHRUB, A GROUND COVER MUST REPLACE A GROUND COVER, ETC. REPLACEMENT SHALL OCCUR IN THE NEXT PLANTING SEASON, BUT IN ANY EVENT, SUCH REPLACEMENT TIME SHALL NOT EXCEED ONE (1) YEAR. ANY REPLACEMENT, WHICH CONFORMS TO THE REQUIREMENTS OF THIS SECTION, SHALL NOT BE CONSIDERED AN AMENDMENT TO THE SITE PLAN.
- C. ANY OFF SITE LANDSCAPING DISTURBED BY THE DEVELOPMENT OF THIS SITE WILL BE REPLACED TO ITS ORIGINAL CONDITION PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- D. LANDSCAPING SHALL BE WATERED BY AN AUTOMATIC IRRIGATION SYSTEM WITH RAIN SENSOR.
- 25. SIGNAGE NOTE: APPROVAL OF A SEPARATE SIGN PERMIT IS REQUIRED IN ADDITION TO SITE PLAN APPROVAL. SIGN LOCATIONS SHOWN ON THE SITE PLAN WILL BE REVIEWED FOR CONFLICTS WITH SIGHT TRIANGLES AND UTILITY EASEMENTS; HOWEVER, THESE SIGNS ARE NOT APPROVED BY THIS SITE PLAN.
- 26. SITE CLEAN UP NOTE: THE SITE SHALL BE CLEANED OF ALL CONSTRUCTION DEBRIS, MUD, BUILDING MATERIALS, DUMPSTERS, CONSTRUCTION FENCING AND CONSTRUCTION TRAILERS PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. IF ANY CIRCUMSTANCES OCCUR THAT DO NOT ALLOW THEM TO BE REMOVED, APPROVAL FROM THE CASE PLANNER WILL BE REQUIRED AFTER AN INSPECTION OF THE SITE.
- 27. ON-SITE TRAFFIC/HANDICAPPED SIGNS NOTE: ALL FREESTANDING SIGNS SHALL BE PLACED AT LEAST 84" ABOVE SURROUNDING GRADE TO PREVENT CONFLICTS WITH PEDESTRIANS ON THE SITE.

### **ADDITIONAL NOTES:**

- NO KNOWN EXISTING OR PROPOSED EASEMENTS PERMITTING THE USE OF PROPERTY BY OTHERS OCCURS ON SITE, UNLESS
- 2. NO ADDITIONAL STANDARDS FOR SPECIFIC USES IS PROPOSED, OTHER THAN SHOWN IN THIS DEVELOPMENT PLAN.
- 3. NO KNOWN APPROVED VARIANCES APPLY TO THE PROPERTY, OTHER THAN SHOWN IN THIS DEVELOPMENT PLAN.
- 4. ALL EXISTING CURB, GUTTER, SIDEWALKS, PEDESTRIAN RAMPS AND CROSSPANS POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATION OR NOT MEETING CURRENT CITY ENGINEERING STANDARDS ALONG COLORADO AVE. ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED PRIOR TO ISSUING THE CERTIFICATE OF OCCUPANCY (C.O.). AN ON-SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW INSPECTOR TO DETERMINE WHAT, IF ANY, IMPROVEMENTS ARE REQUIRED. THE INSPECTOR CAN BE REACHED AT 719-385-5977.





# SCALE: 1" = 100'

### APPROXIMATE SCHEDULE OF DEVELOPMENT

INITIAL DEVELOPMENT PLAN SUBMITTAL: SEPTEMBER 2019 ANTICIPATED DEVELOPMENT PLAN APPROVAL: JANUARY 2020 CONSTRUCTION COMMENCEMENT: MAY 2020 STORE OPENING: OCTOBER 2020

### FLOODPLAIN STATEMENT

THE PROPERTY DESCRIBED AND SHOWN HEREON LIES WITHIN FLOOD HAZARD AREA ZONE X, ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY NATIONAL FLOOD INSURANCE PROGRAM "FLOOD INSURANCE RATE MAP" COMMUNITY PANEL NO. 08041C0729G FOR EL PASO COUNTY, COLORADO WITH A REVISED DATE OF DECEMBER 7, 2018.

### SHEET INDEX

SHEET NO.	TITLE
1	COVER SHEET
2	SITE PLAN
3	SITE DETAILS
4	GRADING PLAN
5	PRELIMINARY UTILITY AND PUBLIC FACILITIES PLAN
6	PHOTOMETRIC PLAN
7	PHOTOMETRIC DETAILS
8	LANDSCAPE PLAN
9	LANDSCAPE DETAILS & NOTES
10	BUILDING ELEVATIONS

### DEVELOPMENT STANDARDS TABLE

PROJECT NAME: Ent CREDIT UNION DESCRIPTION: REMODLE OF AN EXISTING 4,800 SQUARE FOOT BANK BUILDING WITH ASSOCIATED LANDSCAPING, PARKING, AND DRIVES.

TAX SCHEDULE NUM	MBER	6418403027 & 6418403028 & 6418403017				
LOT SIZE		27,198 SF	0.624 AC			
DEVELOPMENT PLA	N AREA	27,198 SF	0.624 AC			
FACILITY AREA		4,80	0 SF			
BUILDING CONSTRU	ICTION TYPE	SINGLE ST	ORY BANK			
ZONING DISTRICT		FBZ-	-CEN			
LAND USE		FINANCIAL INST	TITUTION (BANK)			
ORDINANCE #						
		ALLOWED/REQUIRED	PROPOSED			
BUILDING HEIGHT		45'	26'			
DIW DIVIO	FRONT	0'	1.2' (WEST)			
BUILDING SETBACKS	SIDE	0'	28.1' (NORTH) 17.7' (SOUTH)			
	REAR	0'	118.7' (EAST)			
	REGULAR SPACES	1 PER 400 SQ FT OF BUILDING 12 SPACES	30 SPACES			
	HANDICAP SPACES	1	2			
OFF-STREET PARKING	TOTAL SPACES	13	32			
	LOADING SPACES	0	0			
	BICYCLE STALLS	1	2			
LAND COVER TABLE	:					
SITE FEATURE		AREA (SF)	PERCENTAGE OF COVERAGE			
BU	ILDING	4,800	17.6%			
PARKING	& DRIVEWAYS	16,758	61.6%			
OPE	N AREA	5,640	20.8%			
Т	OTAL	27,198	100.0%			

### ADA DESIGN NOTE

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.

### LEGAL DESCRIPTION

LOT 5 AND THE NORTH 12 ½ FEET OF LOT 6, BLOCK 104, IN THE CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO.

THE SOUTH 37  $\frac{1}{2}$  FEET OF LOT 6 AND THE NORTH 25 FEET OF LOT 7, BLOCK 104, IN THE CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO.

THE EAST 45 FEET OF THE SOUTH 25 FEET OF LOT 7 AND THE EAST 45 FEET OF LOT 8, BLOCK 104, IN THE CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO.

### BASIS OF BEARING

BASIS OF BEARING: ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. DESCRIBED AS THE EAST LINE OF BLOCK 104, MAP OF THE TOWN OF COLORADO SPRINGS, ALSO BEING THE WEST RIGHT OF WAY LINE OF WAHSATCH AVENUE AND IS CONSIDERED TO BEAR S01°51'47"W, MONUMENTED AS

ELEVATIONS (NAVD 88) FOR THE SITE WERE BASED ON THE FIMS MONUMENT, 'OTC1' (ELEV=6096.79'). 'OTC1' IS DESCRIBED A ZAPIT WITH FIMS WASHER MKD OTC 1 IN A CONCRETE SEWER VAULT.

ON-SITE BENCHMARK CHISELED 'X' ON CURB

ELEV=5999.38'

COVER SHEET

Checked By

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Greenwood Village, CO 80111

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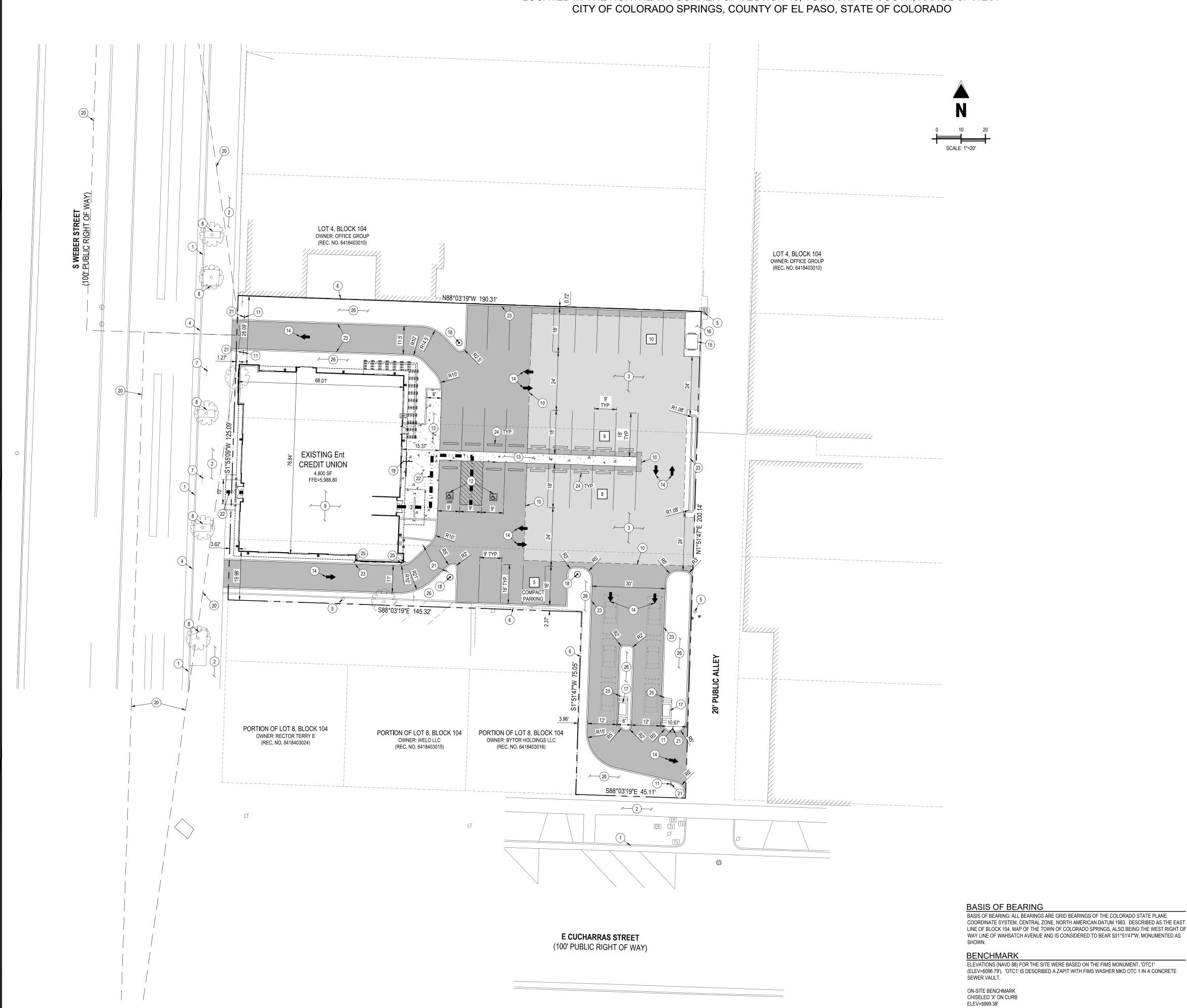
SPACE RESERVED FOR CITY STAMP

# Date Issue / Description Init.

CPC DP XX-XXXX

AUGUST 30, 2019

LOTS 5, 6 AND A PORTION OF LOTS 7 AND 8, MAP OF THE TOWN OF COLORADO SPRINGS
LOCATED IN THE NORTHEAST CORNER OF SECTION 13, TOWNSHIP 14 SOUTH, RANGE 67 WEST
CITY OF COLORADO SPRINGS, COUNTY OF FLIPASO, STATE OF COLORADO



LEGEND PROPERTY BOUNDARY LINE

— — — — — — ADJACENT PROPERTY BOUNDARY LINE
— — EASEMENT BOUNDARY LINE
— EXISTING TO REMAIN

EXISTING TO REMAIN

EXISTING TO BE REMOVED

PROPOSED CURB AND GUTTER

PROPOSED ADA ROUTE

PROPOSED NEW

EXISTING FIRE HYDRANT

EXISTING SEWER MANHOLE

EXISTING STORM SEWER MANHOLE

EXISTING ELECTRICAL VAULT

EXISTING TRANSFORMER

EXISTING ELECTRICAL CABINET

EXISTING ELECTRICAL CAB

EXISTING LIGHT POLE

PROPOSED SITE LIGHTING

TRAFFIC DIRECTION

PARKING COUNT

BIKE RACK

EXISTING STANDARD DUTY ASPHALT TO REMAIN

PROPOSED STANDARD DUTY ASPHALT

PROPOSED STANDARD DUTY CONCRETE

### **SCHEDULE**

- 1) EXISTING VERTICAL CURB AND GUTTER TO REMAIN
- 2 EXISTING CONCRETE SIDEWALK TO REMAIN
- 3 EXISTING ASPHALT PAVING TO REMAIN
- (4) EXISTING DRIVE ACCESS TO REMAIN(5) EXISTING POWER POLE TO REMAIN
- 6 EXISTING FENCE TO REMAIN
- 7 EXISTING PARKING METER TO REMAIN
- 8 EXISTING TREE GRATE TO REMAIN
- (9) EXISTING BUILDING TO BE RENOVATED (REF ARCH PLANS)
- (10) PROPOSED SAWCUT LINE
- AA PROPOSED 2011 2011 DA 4 HOTODII CION
- (11) PROPOSED 30"x30" R1-1 "STOP" SIGN
- (12) PROPOSED 9'x18' ADA PARKING STALL W/ 9'x18' PAINTED ACCESS AISLE AND SIGNAGE
- (13) PROPOSED CONCRETE SIDEWALK (SIZE AS NOTED)
- 14) PROPOSED DIRECTIONAL ARROW
- (15) PROPOSED DUMPSTER
- (16) PROPOSED HEAVY DUTY CONCRETE PAVING AT DUMPSTER
- 17) PROPOSED DRIVE-THRU ATM AREA. (REF ARCH PLANS)
- 18 PROPOSED SITE LIGHT
- 19) PROPOSED "U" SHAPED BIKE RACK
- (20) PROPOSED SIGHT VISIBILITY TRIANGLE (56' x 355' AND 23' x 355' PER AASHTO)
- (21) PROPOSED "DO NOT ENTER" SIGN(22) PROPOSED ADA ROUTE
- 23) PROPOSED TYPE 1 CURB AND GUTTER PER CITY STANDARD D-6
- (24) PROPOSED WHEELSTOP
- 25) PROPOSED BOLLARD
- (26) PROPOSED LANDSCAPE AREA (REF LANDSCAPE PLANS)

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55, 6 AND A PORTION OF LOTS 7 AND 8
OF THE TOWN OF COLORADO SPRING

# Date Issue / Description Init.

Project No: KEL000006

Drawn By: STF

Checked By: JRR

Date: AUGUST 30, 2019

SITE PLAN

**2** 

CPC DP XX-XXXX

SPACE RESERVED FOR CITY STAMP

LOTS 5, 6 AND A PORTION OF LOTS 7 AND 8, MAP OF THE TOWN OF COLORADO SPRINGS LOCATED IN THE NORTHEAST CORNER OF SECTION 13, TOWNSHIP 14 SOUTH, RANGE 67 WEST CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



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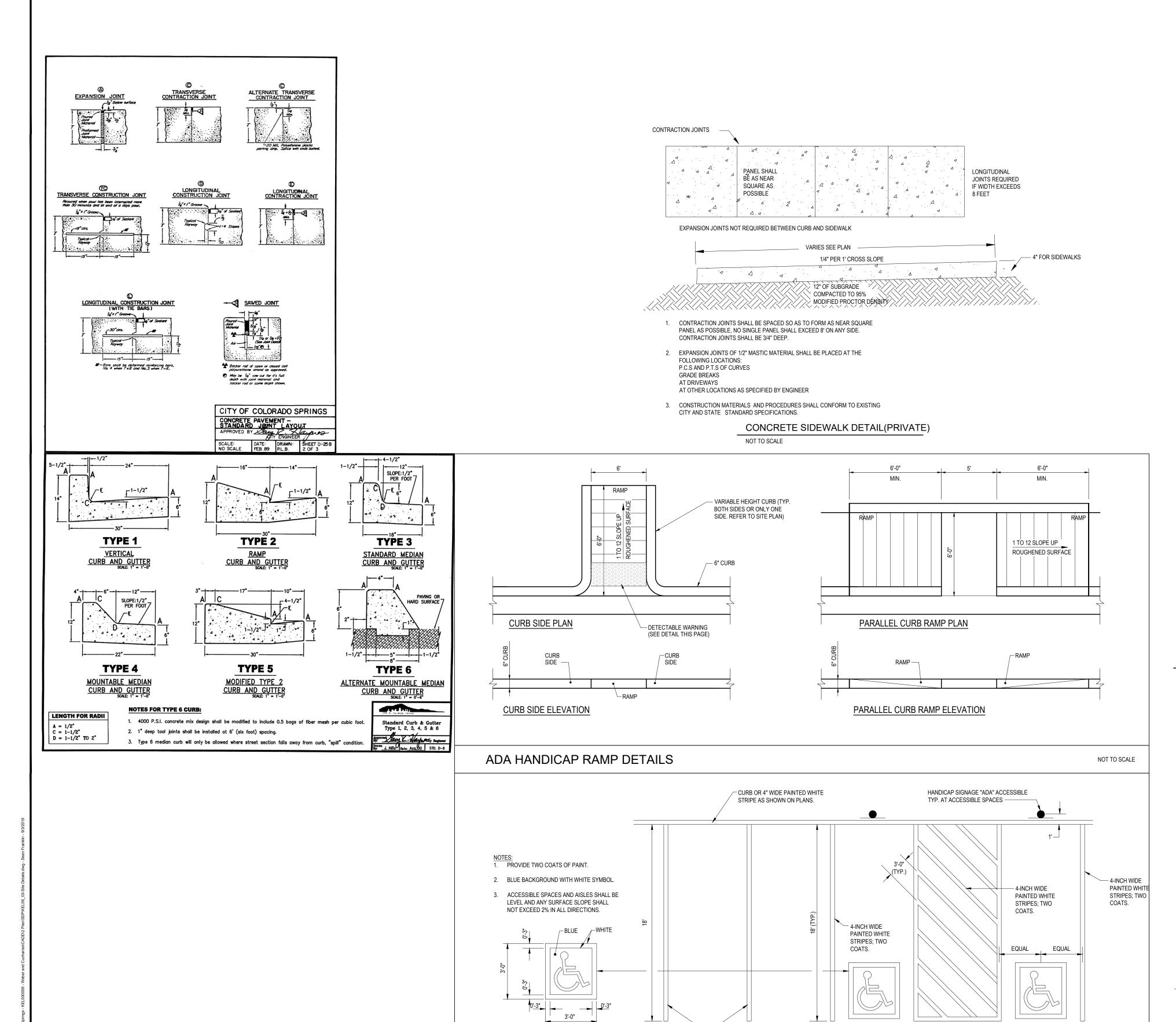
BE ENFORCED AND PROSECUTED.

# Date Issue / Description Init.

AUGUST 30, 2019

CPC DP XX-XXXX

SITE DETAILS



4-INCH WIDE PAINTED WHITE

8'-0" (UNLESS

OTHERWISE NOTED)

ACCESSIBLE SPACE

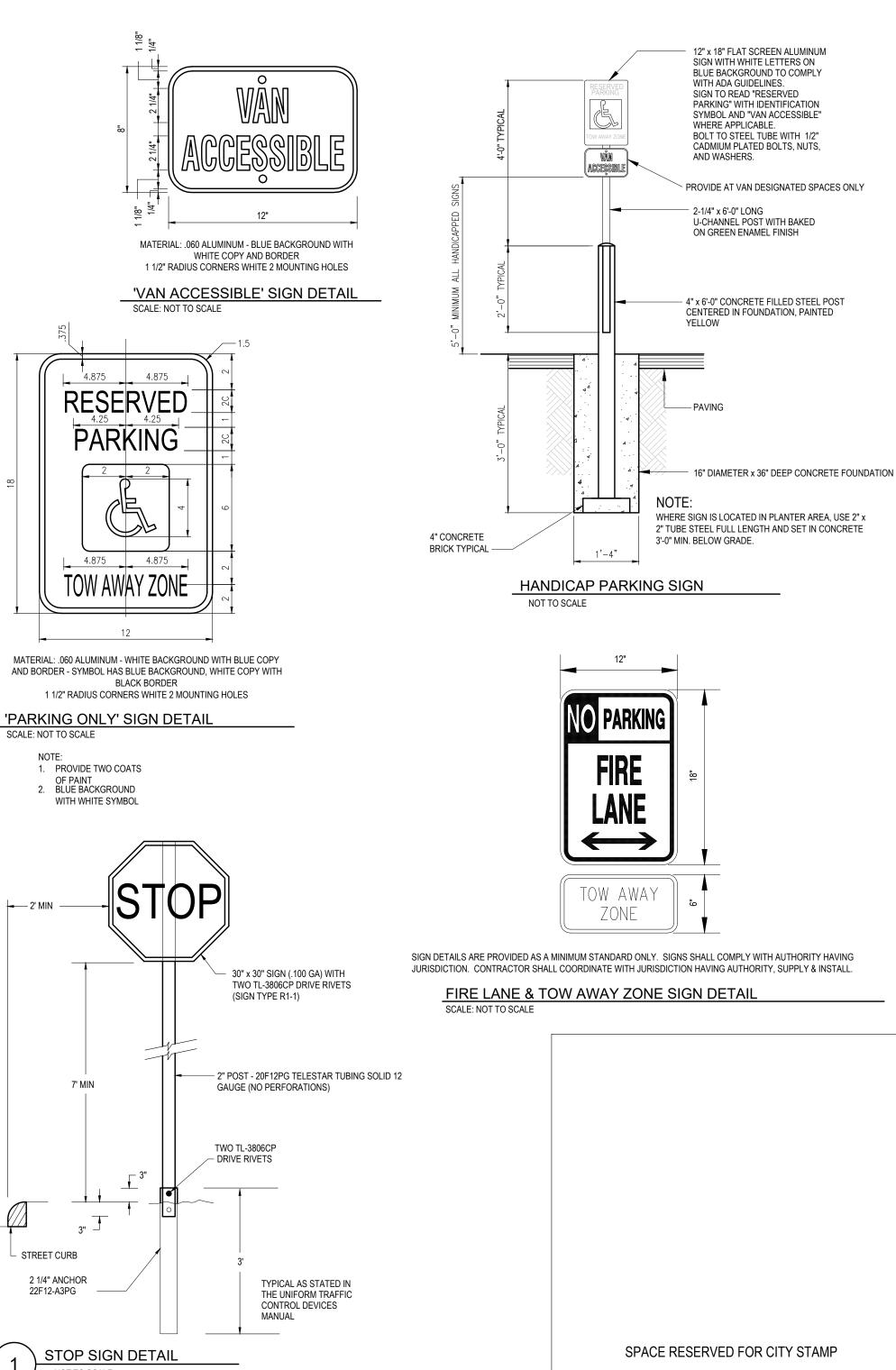
8'-0" (UNLESS

OTHERWISE NOTED) ACCESSIBLE SPACE

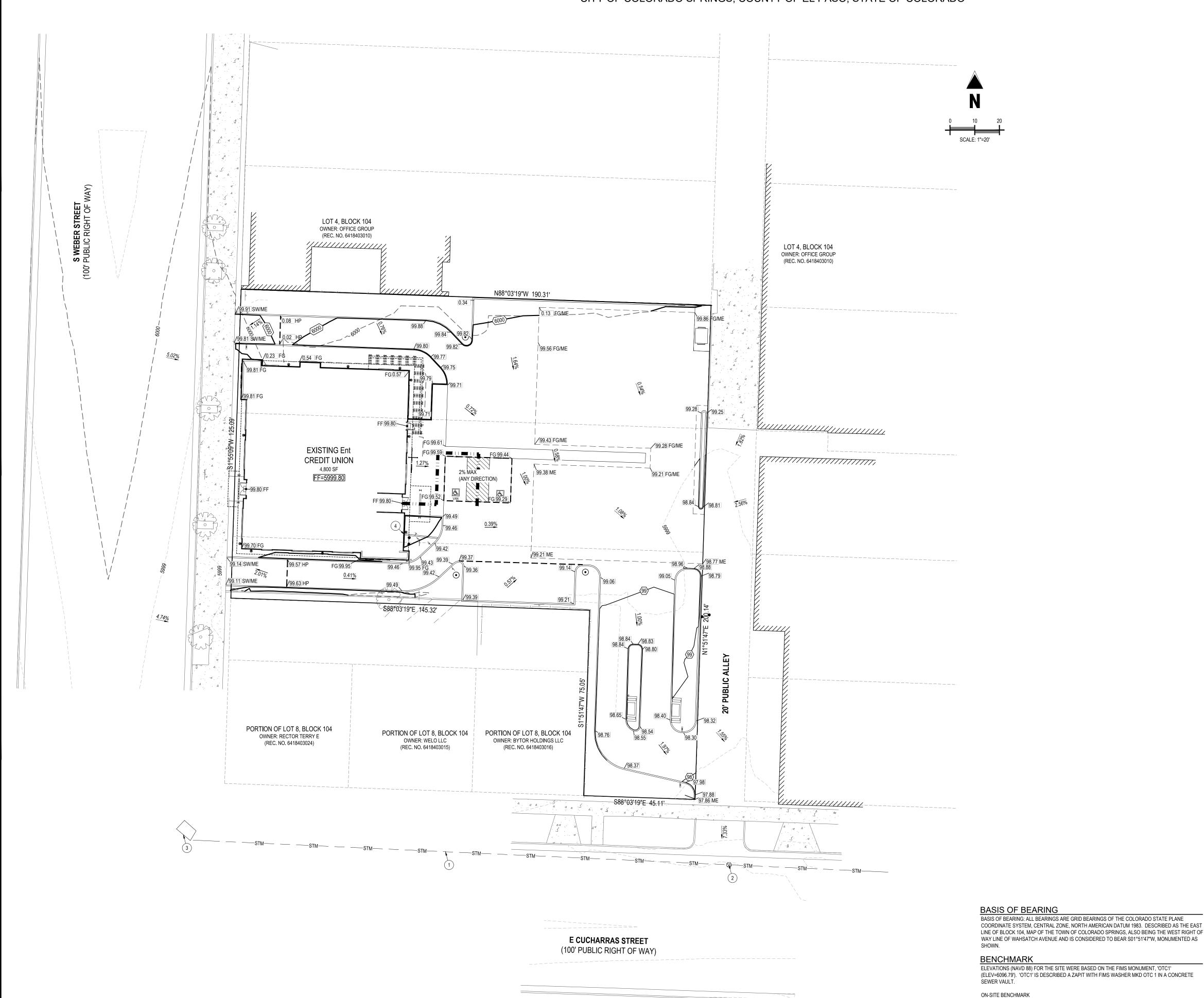
NOT TO SCALE

STRIPES; TWO COATS.

TYPICAL ACCESSIBLE PARKING STALLS



LOTS 5, 6 AND A PORTION OF LOTS 7 AND 8, MAP OF THE TOWN OF COLORADO SPRINGS LOCATED IN THE NORTHEAST CORNER OF SECTION 13, TOWNSHIP 14 SOUTH, RANGE 67 WEST CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



### **GRADING LEGEND**

PROPERTY BOUNDARY LINE

ADJACENT PROPERTY BOUNDARY LINE

EASEMENT BOUNDARY LINE

PROPOSED MAJOR CONTOUR

PROPOSED MINOR CONTOUR

EXISTING MAJOR CONTOUR

EXISTING MINOR CONTOUR

EXISTING STORM SEWER

ASD

PROPOSED SPOT ELEVATION

FF FINISHED FLOOR

FG FINISHED GRADE

ME MATCH EXISTING

LOW POINT

TOP OF SIDEWALK

### SCHEDULE

- EXISTING STORM SEWER TO REMAIN
- (2) EXISTING STORM SEWER MANHOLE TO REMAIN
- (3) EXISTING STORM SEWER INLET TO REMAIN
- 4 PROPOSED ROOF DRAIN (PRIVATE)

### **GRADING NOTES**

A REGISTERED SURVEYOR.

CHISELED 'X' ON CURB ELEV=5999.38'

- 1. ADD 6000 TO ALL SPOT GRADE ELEVATIONS LESS THAN 50.
- 2. ADD 5900 TO ALL SPOT GRADE ELEVATIONS GREATER THAN 50.
- 3. REQUIREMENTS SHOWN ON SITE PLAN SHALL GOVERN. DRAWINGS AND SPECIFICATIONS SHOWING OTHERWISE NOTWITHSTANDING. CONTRACTOR TO POINT OUT ANY DISCREPANCIES TO THE OWNERS REPRESENTATIVE PRIOR TO BID.
- 4. CONTRACTOR MUST OBTAIN ALL STATE AND CITY STORM WATER DISCHARGE AND EROSION CONTROL PERMITS PRIOR TO ANY DISTURBANCE AND/OR GRADING ACTIVITY.
- 5. ALL FILL IN OLD TANK AREAS, OLD BASEMENTS, CESSPOOLS, OTHER EXCAVATIONS AND
- 6. FINAL GRADES ARE SUBJECT TO MINOR CHANGE BY COMPANY REPRESENTATIVE. NO GRADE CHANGES IN EXCESS OF 0.05' WITHOUT COMPANY APPROVAL.

INSIDE BUILDING TO BE APPROVED BY GEOTECHNICAL ENGINEER.

- 7. ANY FILL MATERIAL REQUIRED TO BRING THE SITE TO GRADE SHALL BE CLEAN FILL DIRT APPROVED BY GEOTECHNICAL ENGINEER AND SHALL BE PLACED AND COMPACTED PER
- GEOTECHNICAL REPORT RECOMMENDATIONS.

  8. SET PROPERTY CORNER PINS IN CONCRETE. IF PROPERTY CORNERS ARE DESTROYED BY CONTRACTOR, THE CONTRACTOR SHALL BEAR THE EXPENSE OF RELOCATION CORNERS BY
- 9. THIS DESIGN IS BASED ON A GEOTECHNICAL INVESTIGATION. A COPY OF THIS REPORT IS AVAILABLE FOR INSPECTION BY THE CONTRACTORS.
- 10. ALL SPOT GRADES ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
- 11. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MINIMIZING DEPOSITION OF ONSITE SEDIMENTS ONTO SURROUNDING PUBLIC STREETS DURING CONSTRUCTION.
- 12. ALL LANDSCAPING AREAS SHALL BE GRADED TO WITHIN 0.10' WITH COMPANY APPROVED
- TOP SOIL TO A MINIMUM 6" DEPTH.

  13. GENERAL CONTRACTOR TO PROVIDE BARRICADE PROTECTION WITH FLASHING LIGHTS
- AROUND ALL FOOTINGS, EXCAVATIONS AND ALL OFFSITE WORK.

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SAND A PORTION OF LOTS 7 AND 8 THE TOWN OF COLORADO SPRING

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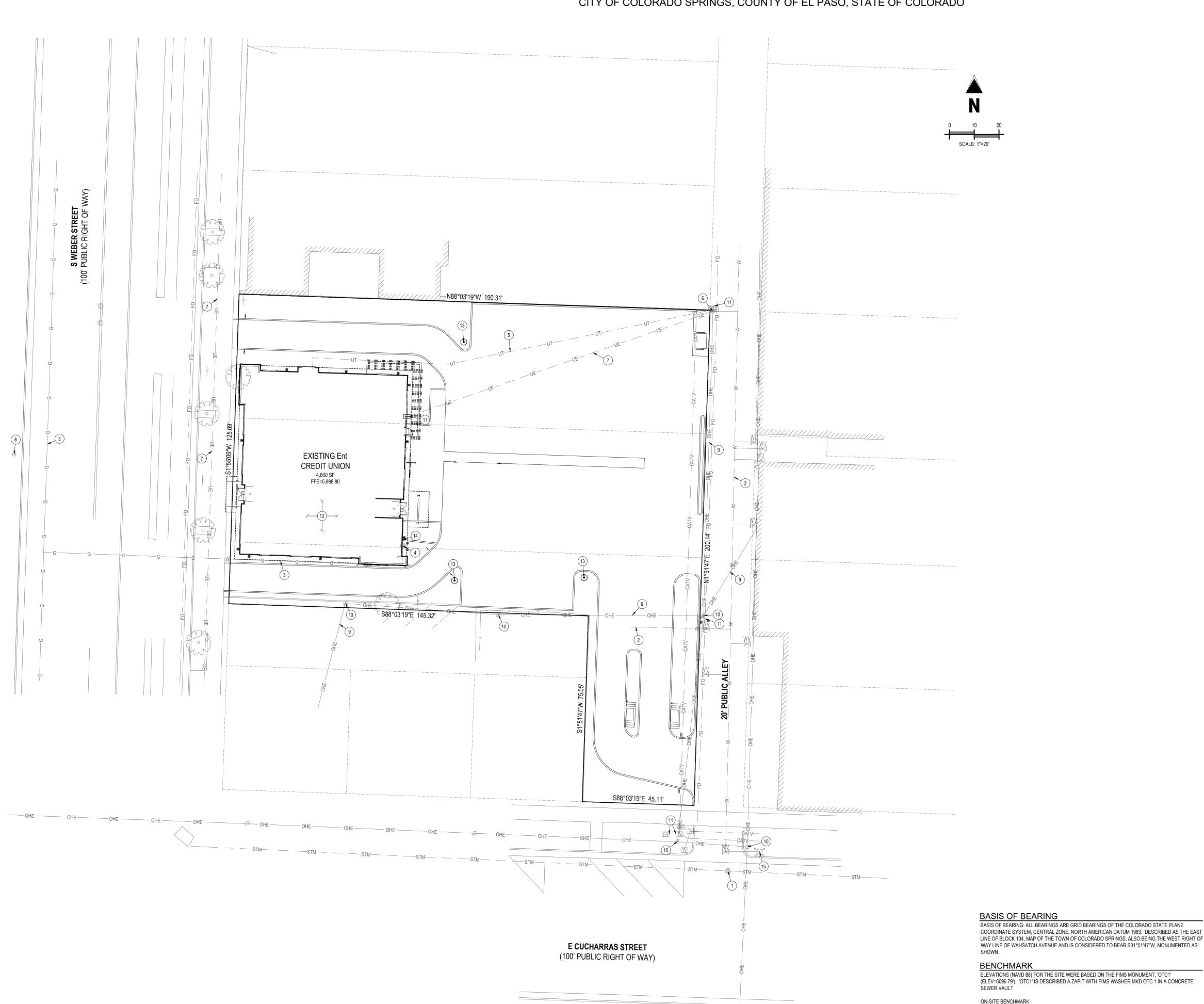
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GRADING PLAN

**4** 4 of 10

SPACE RESERVED FOR CITY STAMP

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LLGLIND	
	PROPERTY BOUNDARY LINE
	ADJACENT PROPERTY BOUNDARY LINE
	EASEMENT BOUNDARY LINE
	EXISTING WATER LINE
— — — X" SS— — — —	EXISTING SANITARY SEWER
— — — — X" STM— — — —	EXISTING STORM SEWER
	EXISTING UNDERGROUND GAS LINE
— — — UE— — — —	EXISTING UNDERGROUND ELECTRICAL
UT	EXISTING UNDERGROUND TELEPHONE
F0	EXISTING FIBER OPTIC LINE
UE	PROPOSED UNDERGROUND ELECTRICAL
wv 	EXISTING WATER VALVE
IR	EXISTING IRRIGATION VALVE
<u>(S)</u>	EXISTING SEWER MANHOLE
(SD)	EXISTING STORM SEWER MANHOLE
<b>X</b>	EXISTING FIRE HYDRANT
EVT.	EXISTING ELECTRICAL VAULT
	EXISTING LIGHT POLE

PROPOSED SITE LIGHTING

### UTILITY SCHEDULE

- EXISTING STORM SEWER MANHOLE TO REMAIN
- EXISTING CIP WATER LINE TO REMAIN
- 3 EXISTING GAS LINE TO REMAIN
- (4) EXISTING GAS METER TO REMAIN
- (5) EXISTING UNDERGROUND TELEPHONE TO REMAIN
- 6 EXISTING TELEPHONE POLE TO REMAIN
- 7 EXISTING ELECTRIC LINE TO REMAIN
- (8) EXISTING STREET LIGHT TO REMAIN
- (9) EXISTING OVERHEAD ELECTRICAL LINE TO REMAIN
- (10) EXISTING POWER POLE TO REMAIN
- (11) EXISTING UTILITY OBJECT TO REMAIN
- 12) EXISTING 4,800 S.F. BANK BUILDING TO BE RENOVATED
- PROPOSED SITE LIGHT; REFERENCE PHOTOMETRIC PLANS FOR DETAILS (TYP.)
- (14) PROPOSED ROOF DRAIN DOWNSPOUT (PRIVATE)
- (15) EXISTING FIRE HYDRANT TO REMAIN

### COLORADO SPRINGS **UTILITIES GENERAL NOTES**

PROPERTY OWNER(S) ACKNOWLEDGE AND AGREE TO THE FOLLOWING UPON APPROVAL OF PRELIMINARY UTILITY

- 1. THIS DRAWING IS A PRELIMINARY UTILITY PLAN AND THEREFORE, COLORADO SPRINGS UTILITIES SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION OF ALL WATER, WASTEWATER, ELECTRIC, AND GAS FACILITIES,
- WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THIS PRELIMINARY UTILITY PLAN. PROPERTY OWNER(S) ("OWNER") ACKNOWLEDGE THAT THE CONNECTION AND/OR EXTENSION OF UTILITY SERVICES TO THE PROPERTY IDENTIFIED IN THIS PRELIMINARY UTILITY PLAN ("PROPERTY") SHALL BE IN ACCORD WITH ALL APPLICABLE CODES AND REGULATIONS, SPRINGS UTILITIES' LINE EXTENSION AND SERVICE STANDARDS ("STANDARDS"), TARIFFS, RULES, REGULATIONS, AND POLICIES, CITY ORDINANCES, RESOLUTIONS, AND POLICIES. AND PIKES PEAK REGIONAL BUILDING DEPARTMENT CODES. IN EFFECT AT THE TIME OF UTILITY
- ENSURE TIMELY DEVELOPMENT OF INTEGRATED UTILITY SYSTEMS SERVING THE PROPERTY AND AREAS OUTSIDE THE PROPERTY (INCLUDING THE COSTS TO DESIGN AND INSTALL ALL POTABLE AND NON-POTABLE WATER SYSTEM FACILITIES AND APPURTENANCES, AND ALL WASTEWATER COLLECTION SYSTEM FACILITIES AND APPURTENANCES, AND ANY WATER OR WASTEWATER SERVICE LINES TO AND WITHIN THE PROPERTY). OWNER
- 4. SPRINGS UTILITIES' UTILITY SERVICES ARE AVAILABLE ON A "FIRST-COME, FIRST-SERVED" BASIS, AND THEREFORE NO SPECIFIC ALLOCATIONS OR AMOUNTS OF UTILITY SERVICES, FACILITIES, CAPACITIES OR SUPPLIES ARE RESERVED FOR THE OWNER, AND SPRINGS UTILITIES MAKES NO COMMITMENT AS TO THE AVAILABILITY OF ANY UTILITY SERVICE UNTIL SUCH TIME AS PERMANENT SERVICE IS INITIATED.

MAY BE ELIGIBLE FOR A COST RECOVERY AGREEMENT AS PROVIDED IN UTILITIES' RULES AND REGULATIONS.

- 5. ONLY WITH THE PRIOR WRITTEN APPROVAL BY SPRINGS UTILITIES, OWNER MAY CAUSE THE RELOCATION OR ALTERATION OF ANY EXISTING UTILITY FACILITIES WITHIN THE PROPERTY AT THE OWNER'S SOLE COST AND EXPENSE. IF SPRINGS UTILITIES DETERMINES THAT OWNER'S RELOCATION OR ALTERATION REQUIRES NEW OR UPDATED EASEMENTS, OWNER SHALL CONVEY THOSE EASEMENTS PRIOR TO RELOCATING OR ALTERING THE EXISTING UTILITY FACILITIES.
- 6. OWNER, AT ITS SOLE COST AND EXPENSE, SHALL DEDICATE BY PLAT AND/OR CONVEY BY RECORDED DOCUMENT, ALL PROPERTY AND EASEMENTS THAT SPRINGS UTILITIES DETERMINES ARE REQUIRED FOR ALL UTILITY SYSTEM FACILITIES NECESSARY TO SERVE THE PROPERTY OR TO ENSURE DEVELOPMENT OF AN INTEGRATED UTILITY SYSTEM. ALL EASEMENTS GRANTED BY SEPARATE INSTRUMENT SHALL UTILIZE SPRINGS UTILITIES' THEN-CURRENT PERMANENT EASEMENT AGREEMENT FORM (OR EXECUTIVE AGREEMENT FORM) WITHOUT MODIFICATION UNLESS APPROVED BY SPRINGS UTILITIES.
- 7. THE WATER DISTRIBUTION SYSTEM FACILITIES MUST MEET SPRINGS UTILITIES' CRITERIA FOR WATER QUALITY, RELIABILITY AND PRESSURE, INCLUDING LOOPING REQUIREMENTS (SEE SECTION 4.08 OF SPRINGS UTILITIES' WATER STANDARDS).
- 8. OWNER RECOGNIZES THAT THE EXTENSION OF WATER SYSTEM FACILITIES MAY AFFECT THE QUALITY OF WATER IN SPRINGS UTILITIES' WATER SYSTEM. WHEN WATER QUALITY IS AFFECTED, OWNER ACKNOWLEDGE RESPONSIBILITY FOR ANY COSTS THAT SPRINGS UTILITIES DETERMINES NECESSARY TO INCUR IN ORDER TO MAINTAIN WATER QUALITY IN ITS SYSTEM AS A RESULT OF OWNER' WATER SYSTEM EXTENSIONS. (WATER-QUALITY MAINTENANCE COSTS). OWNER SHALL REIMBURSE SPRINGS UTILITIES FOR SUCH WATER-QUALITY MAINTENANCE COSTS WITHIN THIRTY (30) DAYS OF RECEIPT OF AN INVOICE FOR SUCH COSTS.

9. OWNER MUST CONTACT SPRINGS UTILITIES FIELD ENGINEERING TO SECURE APPROVAL OF GAS-SERVICE-LINE

- PRESSURES IN EXCESS OF SPRINGS UTILITIES' STANDARD GAS-SYSTEM PRESSURE, AND THE LOCATION OF ALL METERS AND TRANSFORMERS. (CONTACT NORTH WORK CENTER 668-4985 OR SOUTH WORK CENTER 668-5564). 10. IT SHALL NOT BE PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH ON ANY SPRINGS UTILITIES EASEMENT OR RIGHTS OF WAY WITHOUT THE WRITTEN APPROVAL OF SPRINGS UTILITIES (CITY CODE
- 11. SPRINGS UTILITIES' APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF SPRINGS UTILITIES TO APPLY ITS STANDARDS; AND IF THERE ARE ANY CONFLICTS BETWEEN ANY APPROVED DRAWINGS AND ANY PROVISION OF STANDARDS OR THE CITY CODE, THEN THE STANDARDS SHALL APPLY. SPRINGS UTILITIES' APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF THE CITY OR THE SPRINGS UTILITIES TO ADOPT DIFFERENT ORDINANCES, RULES, REGULATIONS, RESOLUTIONS, POLICIES OR CODES WHICH CHANGE ANY OF THE PROVISIONS OF THE STANDARDS SO LONG AS THESE APPLY TO THE CITY GENERALLY AND ARE IN ACCORD WITH THE THEN-CURRENT TARIFFS, RATES, RULES, REGULATIONS AND POLICIES OF SPRINGS UTILITIES.

**COLORADO SPRINGS UTILITIES** COMMERCIAL UTILITY SERVICE PLAN APPROVAL

APPROVAL EXPIRES ONE (1) YEAR FROM THE DATE ABOVE AND RESUBMITTAL OF THESE PLANS FOR REVIEW AND APPROVAL IS REQUIRED IF CONSTRUCTION DOES NOT BEGIN DURING THIS PERIOD.

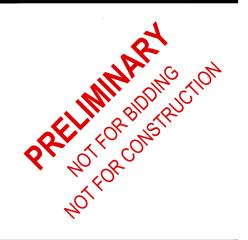
PROJECT NUMBER:\_\_ WORK ORDER NUMBER: \_\_\_\_N/A\_\_\_\_\_ CSU SHEET \_\_\_\_\_ OF \_\_\_\_

CHISELED 'X' ON CURB ELEV=5999.38'

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# Date Issue / Description Init.

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PRELIMINARY UTILITY &

PUBLIC FACILITIES PLAN

CPC DP XX-XXXX

LOTS 5, 6 AND A PORTION OF LOTS 7 AND 8, MAP OF THE TOWN OF COLORADO SPRINGS LOCATED IN THE NORTHEAST CORNER OF SECTION 13, TOWNSHIP 14 SOUTH, RANGE 67 WEST CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

OWNER: OFFICE GROUP

|| ATM □||

### **GENERAL NOTES:**

PLAN WAS BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS, LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.

THE STUDY IS BASED ON REQUESTED ILLUMINATION LEVELS, LUMINAIRE LOCATIONS, OR ADDITIONAL CRITERIA BY THE AUTHORITIES HAVING JURISDICTION.

THE CALCULATED PHOTOMETRIC LEVELS MAY OR MAY NOT MEET CERTAIN SAFETY STANDARDS OR RECOMMENDED PRACTICES OF IESNA.

THE PHOTOMETRIC PLAN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS UTILIZING CURRENT INDUSTRY STANDARD LAMP RATINGS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY (IES) APPROVED METHODS. LABORATORY TESTS ARE MADE UNDER OPTIMUM CONDITION, WITH LAMP OUTPUT AT RATED VALUE, AND IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS.

ACTUAL ILLUMINANCE LEVELS MAY DIFFER DUE TO VARIABLE FIELD CONDITIONS SUCH AS (BUT NOT LIMITED TO): VARIANCE IN LAMP LUMEN OUTPUT; LAMP TILT FACTOR; BALLAST WATTAGE OUTPUT; LINE VOLTAGE AT BALLAST; REFLECTOR SPECULARITY; LAMP LUMEN DEPRECIATION; AND LUMINAIRE

THE 14'-6" MOUNTING HEIGHT IS THE ACTUAL ASSEMBLY (POLE, BASE, AND FIXTURE) AND MAY DIFFER FROM THE FROM THE LUMINAIRE'S LUMINOUS APERTURE.

THIS PLAN IS FOR RELATIVE LAYOUT AND SCOPE OF WORK PURPOSES ONLY. REFER TO SITE PLAN PREPARED BY LOCAL CONSULTANT FOR RELATIONSHIP OF THESE LUMINAIRES AND THEIR LOCATIONS TO EXISTING STRUCTURES AND REFERENCE.

THIS PLAN REPRESENTS A SOFTWARE SIMULATED PHOTOMETRIC STUDY OF THE EXTERIOR SITE LIGHTING. THIS PLAN INDICATES THE SIMULATED LIGHT INTENSITY CALCULATED IN FOOT CANDLES AT GRADE LEVEL, UNLESS NOTED OTHERWISE. LIGHT LEVELS ARE CALCULATED ON A HORIZONTAL

SITE LIGHTING DESIGN USES FIXTURES THAT MAY APPEAR VISUALLY IDENTICAL BUT EMPLOY DIFFERENT OPTICS THAT DISTRIBUTE THE LIGHT IN DIFFERENT MANNERS OR DIFFER IN LIGHTING INTENSITY CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING THE DIFFERENT DISTRIBUTION PATTERNS AND LUMEN PACKAGES AND MATCHING THE LOCATIONS OF THESE AS SHOWN IN PLANS. DEVIATION FROM PLANS WILL RESULT IN FAILURE TO MEET LOCAL LIGHTING ORDINANCES AND DESIGN INTENT AND WILL NEED TO BE CORRECTED BY CONTRACTOR AT NO ADDITIONAL EXPENSE TO OWNER OR LIGHTING DESIGNER.

LUMINAIRE SCHEDULE												
SYMBOL	QTY	LABEL	MOUNTING	HEIGHT	LLF	SOURCE	MODEL NUMBER	DESCRIPTION	LUMENS	WATTS		
$\odot$	3	S1	POLE	14'-6"	1.0	LED	CC17P-4-E35-60L3K-NFO-BZ	KIM LIGHTING, CC17 LED AREA LUMINAIRE, 3000K CCT, NEIGHBORHOOD FRIENDLY OPTIC TYPE IV DISTRIBUTION, BRONZE COLOR	4905	67		
180	10	G	WALL	6'-0"	1.0	LED	55786WGBO	MAXIM LIGHTING, OAKVILLE LED DECORATIVE WALL LIGHT, OPAQUE WATER GLASS, BLACK OXIDE FINISH	1,100	11		
	3	WE	WALL	9'-0"	1.0	LED	TRP1-12L-30-4K7-4-U-DB	HUBBELL LIGHTING, GEOPAK SERIES SIZE 1 LED WALLPACK, 12 LED'S, 700 mA DRIVE, 4000K CCT, DARK BRONZE COLOR	2789	30		
	4	ATM	CANOPY	10'-3"	1.0	LED	CRUS-SC-LED-SS-40-UE-WHT	LSI LIGHTING, LEGACY LED CANOPY LIGHT, SUPER SAVER DRIVE, 4000K CCT, FURNISHED WITH ATM	11860	114		
	2	J	SOFFIT	12'-0"	1.0	LED	EX3-WET-N-30-8-IND-W-EPF	PINNACLE LIGHTING, EDGE SUSPENDED DIRECT LINEAR LED FIXTURE, 8' LENGTH, 3000K CCT, END POWER FEED	1797	26		

VERIFY EXACT FIXTURES CATALOG NUMBER, FINISH, VOLTAGE, LAMP(S), LENGTHS AND OPTIONS WITH OWNER AND ARCHITECT PRIOR TO ORDERING ANY EQUIPMENT

ALL SITE/AREA LIGHTS ARE MOUNTED ON 14'-0" POLES WITH 6" CONCRETE BASES. TOTAL MOUNTING HEIGHT = 14'-6". REFER TO SHEET E-601, ELECTRICAL DETAILS IN ARCHITECTURAL SET FOR POLE BASE DETAIL

CONTRACTOR TO VERIFY COMPATIBLE DIMMER TYPE AND MANUFACTURER FROM LUMINAIRE CUT SHEET.

# Date Issue / Description Init.

REDIT UNION 6, 6 AND A PORT F THE TOWN OF

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PHOTOMETRIC PLAN

PHOTOMETRIC SITE PLAN SCALE: 1"=20'-0"

OWNER: BYTOR HOLDINGS LLC 1.3

0.0 (REC. NO. 6418403010) +0.0 +0.0 ↑0.0 ↑0.0 ↑0.0 ↓ 0.0 LO 10.0

**EXISTING Ent** CREDIT UNION

FFE=5,988.80

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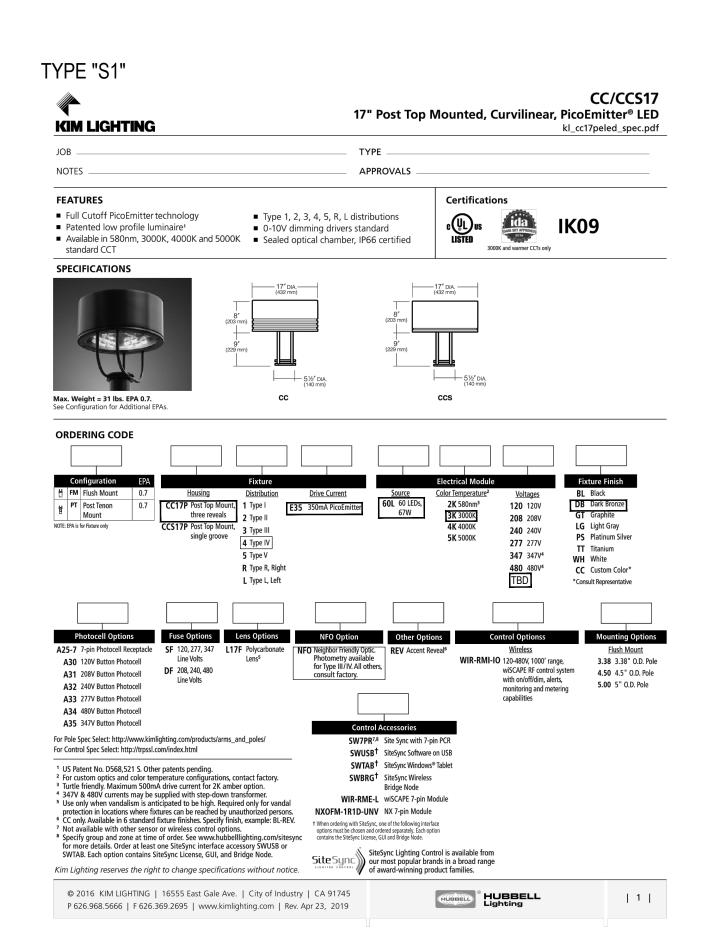
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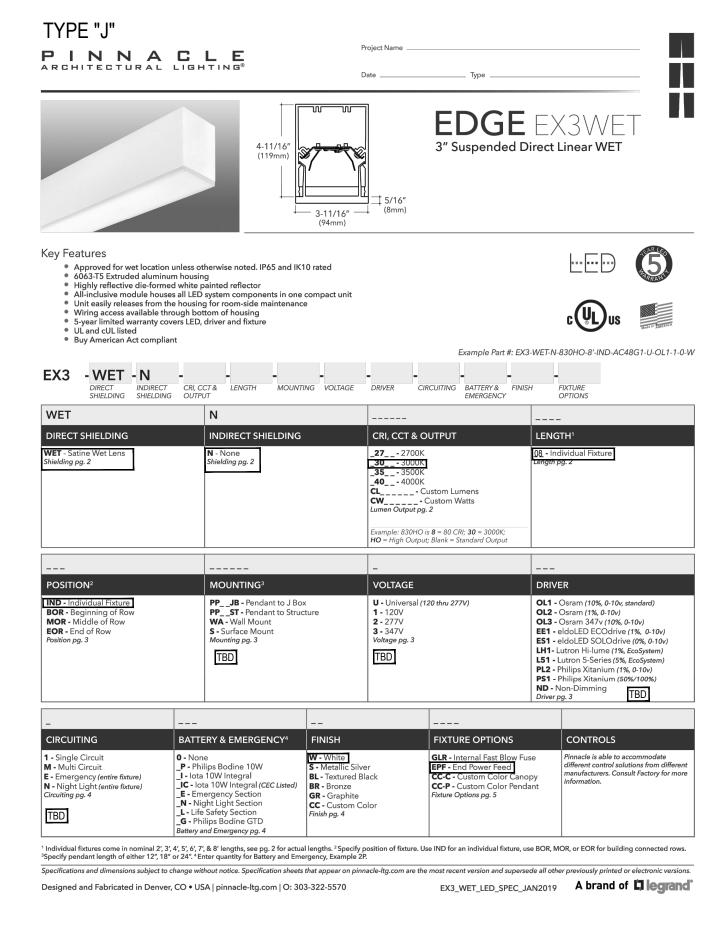
SPACE RESERVED FOR CITY STAMP

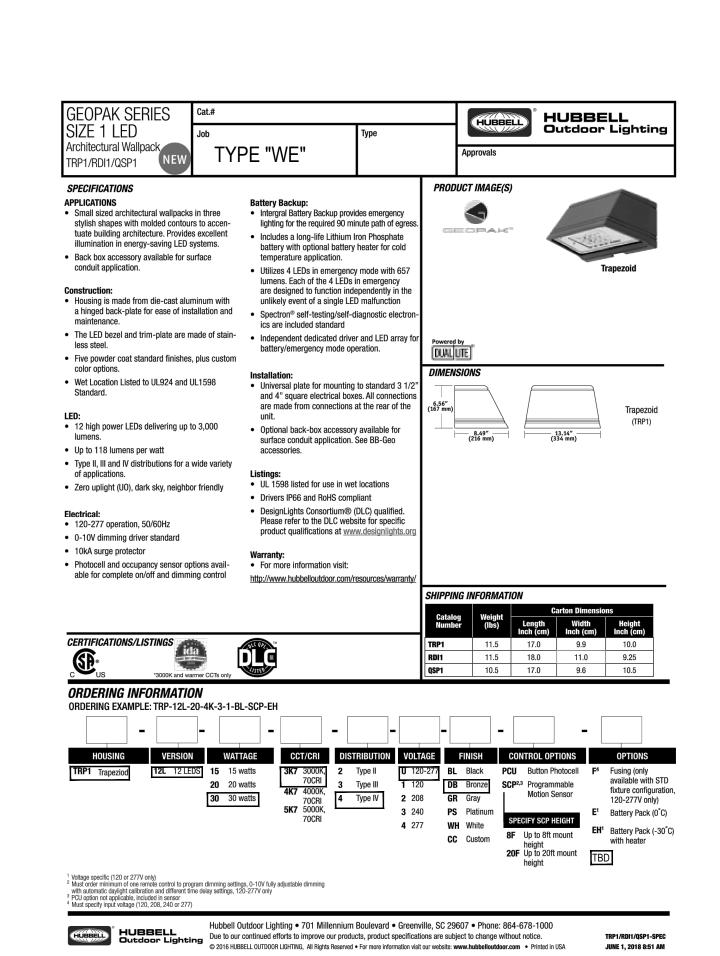
CPC DP XX-XXXX

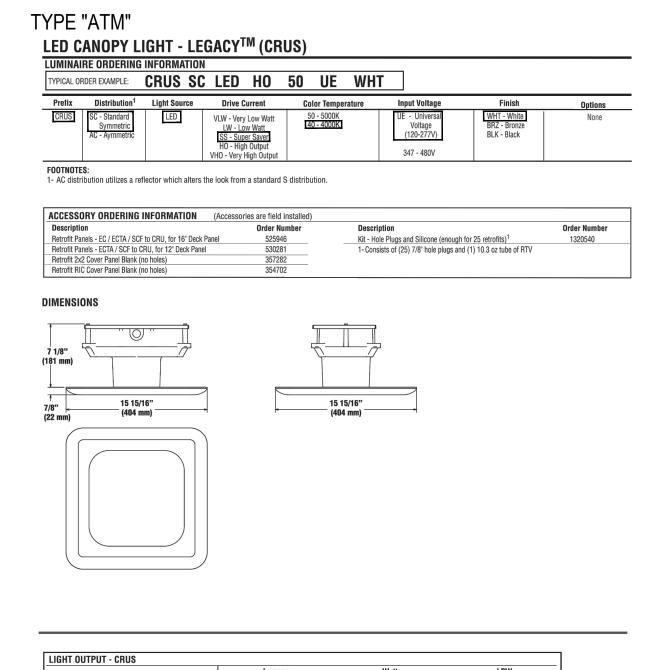
LOTS 5, 6 AND A PORTION OF LOTS 7 AND 8, MAP OF THE TOWN OF COLORADO SPRINGS LOCATED IN THE NORTHEAST CORNER OF SECTION 13, TOWNSHIP 14 SOUTH, RANGE 67 WEST CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



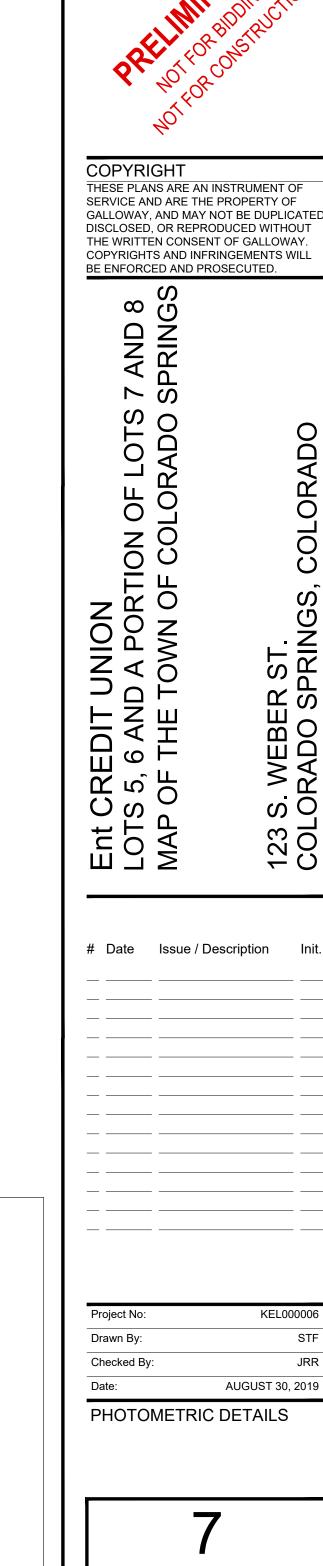








		Lun	nens	Wa	tts	LI	LPW	
		SC	AC	SC	AC	SC	AC	
90	VLW - Very Low Watt	8842	-	79	-	112	-	
Cool White	LW - Low Watt	10871	8746	88	83	124	105	
69	SS - Super Saver	13554	11518	114	111	119	104	-
	HO - High Output	18633	-	132	-	141	-	
-	VHO - Very High Output	22418	17262	159	157	141	110	-
	viio - very mgii output	22410	17202	100	107	141	110	
		'		139	107	141	110	04/90/1
<b>S</b> i)	Project NameCatalog #	'			ire Type	<u>'</u>	110	04/29/1 © 2016



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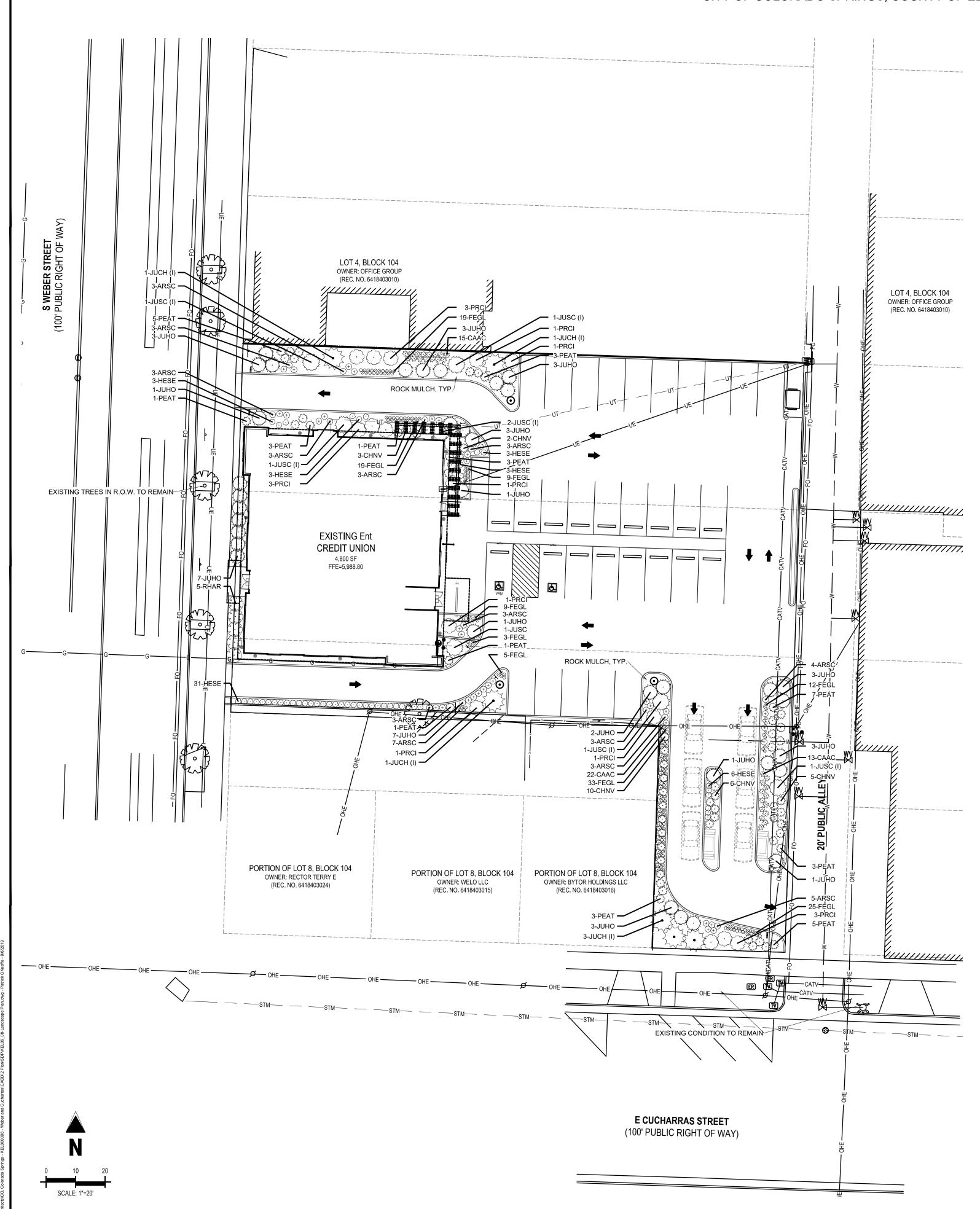
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roject No:	KE	L000006
rawn By:		STF

AUGUST 30, 2019 PHOTOMETRIC DETAILS

SPACE RESERVED FOR CITY STAMP

LOTS 5, 6 AND A PORTION OF LOTS 7 AND 8, MAP OF THE TOWN OF COLORADO SPRINGS LOCATED IN THE NORTHEAST CORNER OF SECTION 13, TOWNSHIP 14 SOUTH, RANGE 67 WEST CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



### PLANTING LEGEND

PERENNIALS

MULCH

4760 SF

	LEGEND			PLANTING SIZE	MATURE	WATER USE		
QTY	ABBREV	. BOTANIC NAME	COMMON NAME	(MINIMUM)	SIZE	(VL, L, M, H)	SUN/SHADE	PLANT CODE
UPRIGI	HT JUNIP	ERS						
6	JUCH	JUNIPERUS CHINENSIS 'BLUE POINT'	BLUE POINT JUNIPER	#5 CONT. 3' HEIGHT	12' <b>X</b> 6'	VL	SUN/PART SHADE	DA
8	JUSC	JUNIPERUS SCOPULORUN 'MEDORA'	MEDORA JUNIPER	#10 CONT. 5' HEIGHT	10' <b>X</b> 5'	VL	SUN/PART SHADE	125678D
DECID	UOUS SF	IRUBS						
22	CHNV	CHRYSOTHAMNUS NAUSEOSUS VAR. NAUSEOSUS	DWARF RABBITBRUSH	#5 CONT. 18-24"	2' <b>X</b> 3'	VL	SUN	1235D
36	PEAT	PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	#5 CONT.	4'X4'	VL	SUN/PART SHADE	12D
15	PRCI	PRUNUS CISTENA	PURPLELEAF SAND CHERRY	#5 CONT. 18-24"	5' <b>X</b> 6'	VL	SUN	1245678AD
5	RHAR	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	#5 CONT. 18-24"	3' <b>X</b> 6'	VL/L	SUN	23456AD
EVERG	REEN S	HRUBS						
35	JUHO	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	BLUE CHIP JUNIPER	#5 CONT. 18-24"	10" <b>X</b> 6'	VL	SUN/PART SHADE	
ORNAN	//ENTAL (	GRASSES						
59	CAAC	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	#5 CONT.	3'X3'	L	SUN/PART SHADE	А
139	FEGL	FESTUCA GLAUCA 'ELIJAH BLUE'	BLUE FESCUE	#1 CONT.	1'X1'	L	SUN/PART SHADE	23568D

BLUE AVENA

SILVERMOUND SAGE

2"-4" ROCK COBBLE MULCH WITH WOOD

MULCH RING AROUND ALL PLANT MATERIAL,

SEE PLANTING NOTES & DETAILS CLIMATE ZONE: FOOTHILLS & PLAINS FOOTHILLS HYDROZONES (SUPPLEMENTAL WATER) PLANT COMMUNITIES V-VERY LOW (0 TO 7 INCHES PER YEAR) 1-SEMIARID SHRUBLANDS L-LOW (7 TO 15 INCHES PER YEAR) 3-PRAIRIE 4-LOWER ELEVATION RIPARIAN 5-FOOTHILL SHRUBLANDS M-MODERATE (15 TO 25 INCHES PER YEAR) 6-PONDEROSA PINE FOREST

H-HIGH (MORE THAN 25 INCHES PER YEAR)

SITE SOILS SOIL TEST T.B.D. DURING SUBMITTAL PROCESS. PREVAILING WINDS
TYPICAL PREVAILING WINDS ARE FROM THE NORTH - REF. WESTERN REGIONAL CLIMATE CENTER.

WATER SUPPLY IRRIGATION SUPPLY SHALL BE PROVIDED. TAP SIZE T.B.D. DURING SUBMITTAL PROCESS.

HELICTOTRICHON SEMPERVIRENS

ARTEMISIA SCHMIDTIANA

ROCK COBBLE MULCH

7-UPPER ELEVATION RIPARIAN

8-DOUGLAS-FIR FOREST

PERCENT SIGNATURE PLANTS AND GROUND COVERAGE

2.5'X2.5'

10"X2"

VL

N/A

SHRUBS TOTAL SHRUBS: TOTAL SIGNATURE SHRUBS: SIGNATURE SHRUBS: ORNAMENTAL GRASSES, GROUND COVERS & PERENNIALS
TOTAL ORNAMENTAL GRASSES AND PERENNIALS: 293
TOTAL SIGNATURE ORNAMENTAL GRASSES: 293
% SIGNATURE ORNAMENTAL GRASSES: 100% GROUND COVERAGE

#3 CONT.

#1 CONT.

MULCH

TOTAL LIVING MATERIAL GROUND COVERAGE: TOTAL ROCK MULCH AREA: % LIVING MATERIAL GROUND COVERAGE: +/- 4,046 SF

**SOIL TESTING NOTE** THE LANDSCAPE CONTRACTOR SHALL COORDINATE WITH THE DESIGN LANDSCAPE ARCHITECT REGARDING THE REQUIRED SOIL ANALYSIS REPORT AND IS RESPONSIBLE FOR COMPLETING THE SOIL SAMPLING AND SUBMITTING THE SAMPLES TO A SOILS TESTING LAB FOR TESTING. THIS WOULD INCLUDE A SEPARATE LAB TEST REPORT AND RECOMMENDATIONS (AMENDMENT/FERTILIZER AMOUNTS AND APPLICATION RATES) FOR EACH TYPE OF PROPOSED LANDSCAPING (SHRUB BEDS/SOD/NATIVE SEED). THE SOILS LAB RESULTS AND RECOMMENDATIONS ARE REQUIRED TO BE REVIEWED AND APPROVED BY THE DESIGN LANDSCAPE ARCHITECT AND THE CITY OF COLORADO SPRINGS PRIOR TO INSTALLING ANY

LANDSCAPING (PLANTS/SOD/NATIVE SEED) ONSITE.

**IRRIGATION NOTE** IRRIGATION PLANS WILL NEED TO BE SUBMITTED WITHIN 3 MONTHS OF THE DATE OF APPROVAL OF THE DP (OR SOONER). THE PLANS MUST BE APPROVED PRIOR TO THE

PARKING LOT ISLAND NOTE THE SOIL OF ANY PLANTER WITHIN THE PARKING LOT SHALL BE STRUCTURALLY RENOVATED (TILLED) OR REMOVED TO A DEPTH OF THIRTY INCHES (30") AND REPLACED WITH AN ACCEPTABLE GROWING MEDIUM FOR THE SPECIES INDICATED FOR THE INSTALLATION.

INSTALLATION OF ANY IRRIGATION COMPONENTS.

CAUTION UTILITIES EXIST WITHIN CONSTRUCTION (
LIMITS, CONTRACTOR IS RESPONSIBLE
FOR IDENTIFYING THEIR LOCATION
PRIOR TO CONSTRUCTION. ~~~~~~~

LANDSCAPE SETBACKS (L)

STREET NAME OR BOUNDARY ZONE	STREET CLASSIFICATION	WIDTH REQ/PROV	LINEAR FOOTAGE	TREE/FEET REQ	No. OF TREES REQ/PROV	SHRUB SUBS REQ/PROV	ORNAMENTAL GRASS/PERENNIALS SUBS REQ/PROV	SETBACK PLANT ABBREVIATION ON PLAN	% GROUND PLANE VEG REQ/PROV
S WEBER STREET	MINOR ARTERIAL	20'	125.00'	N/A*	N/A*	N/A*	N/A*	N/A*	N/A*
E CUCHARRAS STREET	MINOR ARTERIAL	20'	45.00'	N/A*	N/A*	N/A*	N/A*	N/A*	N/A*

MOTOR VEHICLE LOTS (P)

# OF VEHICLE SPACES PROVIDED	SHADE TREES (1/15 SPACES) REQ/PROV	VEHICLE LOT FRONTAGES	LENGTH OF FRONTAGE (EXCLUDING DRIVEWAY)	2/3 LENGTH OF FRONTAGE	MIN. 3' SCREENING PLANTS REQUIRED	EVERGREEN PLANTS REQUIRED (50%)	LENGTH OF SCREEN WALL OR BERM PROVIDED	VEHICLE LOT PLANT ABBREVIATION ON PLAN	PERCENT GROUND PLANE
32	2	N/A**	N/A**	N/A**	N/A**	N/A**	N/A**	N/A**	N/A**

INTERNAL LANDSCAPING (I)

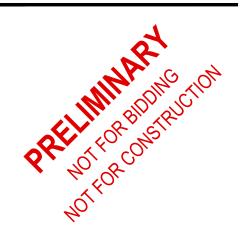
NET SITE AREA (SF) (LESS PUBLIC ROW)	PERCENT MINIMUM INTERNAL AREA (%)	INTERNAL AREA (SF) REQ/PROV	INTERNAL TREES (1/500 SF) REQ/PROV	SHRUB SUBSTITUTE REQ/PROV	ORNAMENTAL GRASS SUBS REQ/PROV	INTERNAL PLANT ABBREVIATION ON PLAN
22,204 SF DISTURBED AREA	5%	1.110/4760	3/14	l N/A	N/A	

\* THE PROJECT DOES NOT REQUIRE DESIGN CHANGES/ADDITIONS/ALTERATIONS TO THE LANDSCAPE WITHIN THE R.Q \*\* THE SITE DOES NOT INCLUDE ANY VEHICLE LOT FRONTAGES

LANDSCAPE BUFFERS AND SCREENS - N/A SINCE LOT DOESN NOT ABUT ANY INCOMPATIBLE LAND USES

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BE ENFORCED AND PROSECUTED.

# Date Issue / Description Init.

KEL000006

AUGUST 30, 2019

LANDSCAPE PLAN

LOTS 5, 6 AND A PORTION OF LOTS 7 AND 8, MAP OF THE TOWN OF COLORADO SPRINGS LOCATED IN THE NORTHEAST CORNER OF SECTION 13. TOWNSHIP 14 SOUTH, RANGE 67 WEST CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

### PLANTING NOTES

- ALL WORK SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES, STANDARDS, AND SPECIFICATIONS.
- LANDSCAPE DESIGN IS DIAGRAMMATIC IN NATURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN TAKEOFFS AND QUANTITY CALCULATIONS. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE LANDSCAPE LEGEND. THE PLANT QUANTITY AS SHOWN ON THE PLAN SHALL TAKE PRECEDENCE AND NOTIFY THE LANDSCAPE ARCHITECT OF THESE DISCREPANCIES. MINOR ADJUSTMENTS TO THE LANDSCAPE MATERIAL AND LOCATIONS MAY BE PROPOSED FOR CITY CONSIDERATION AT THE CONSTRUCTION DOCUMENT STAGE TO RESPOND TO MARKET AND FIELD CONDITIONS. HOWEVER, THERE SHALL BE NO REDUCTION IN THE NUMBER AND SIZE OF MATERIALS.
- CONTRACTOR SHALL MAKE HIMSELF AWARE OF THE LOCATIONS OF EXISTING AND PROPOSED UTILITIES, AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE UTILITIES AND/OR ANY INJURY TO ANY PERSON. THIS DRAWING IS PART OF A COMPLETE SET OF CONTRACT DOCUMENTS. UNDER NO CIRCUMSTANCES SHOULD THIS PLAN BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE AND REVIEW ALL RELATED PLANS AND
- ALL UTILITY EASEMENTS SHALL REMAIN UNOBSTRUCTED AND FULLY ACCESSIBLE ALONG THEIR ENTIRE LENGTH FOR MAINTENANCE EQUIPMENT
- THE CONTRACTOR SHALL TAKE EXTREME CARE NOT TO DAMAGE ANY EXISTING PLANTS INDICATED AS "TO REMAIN". ANY SUCH PLANTS DAMAGED BY THE CONTRACTOR SHALL BE REPLACED WITH THE SAME SPECIES, SIZE, AND QUANTITY AT THE CONTRACTOR'S OWN EXPENSE. AND AS ACCEPTABLE TO THE OWNER. REFER TO THE TREE PROTECTION NOTES ON THE PLANS (AS APPLICABLE)
- LANDSCAPE CONTRACTOR SHALL EXAMINE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND NOTIFY THE GENERAL CONTRACTOR IN WRITING OF UNSATISFACTORY CONDITIONS. IF SITE CONDITIONS OR PLANT AVAILABILITY REQUIRE CHANGES TO THE PLAN, THEN AN APPROVAL WILL BE OBTAINED FROM THE CITY. DO NOT PROCEED UNTIL CONDITIONS HAVE BEEN CORRECTED.
- ALL CONSTRUCTION DEBRIS AND MATERIAL SHALL BE REMOVED AND CLEANED OUT PRIOR TO INSTALLATION OF TOPSOIL.
- FOR ALL INFORMATION ON SURFACE MATERIAL OF WALKS, DRIVES, AND PARKING LOTS, SEE THE SITE PLAN. SEE PHOTOMETRIC PLAN FOR FREE STANDING LIGHTING INFORMATION.
- THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT ONE WEEK PRIOR TO BEGINNING CONSTRUCTION.
- 10. WINTER WATERING SHALL BE AT THE EXPENSE OF THE CONTRACTOR UNTIL SUCH TIME AS FINAL ACCEPTANCE IS RECEIVED.
- ALL LANDSCAPE CONSTRUCTION PRACTICES, WORKMANSHIP, AND ETHICS SHALL, BE IN ACCORDANCE WITH INDUSTRY STANDARDS SET FORTH IN THE CONTRACTORS HANDBOOK PUBLISHED BY THE COLORADO LANDSCAPE CONTRACTORS
- 12. LANDSCAPE AND IRRIGATION WORK SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF THE FINAL CERTIFICATE OF
- 13. CONTRACTOR SHALL CONSTRUCT AND MAINTAIN FINISH GRADES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL
- LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT. AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT, THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.
- AFTER FINISH GRADES HAVE BEEN ESTABLISHED, IT IS RECOMMENDED THAT THE CONTRACTOR SHALL HAVE SOIL SAMPLES TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY FOR THE FOLLOWING: GENERAL SOIL FERTILITY, PH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT. EACH SAMPLE SUBMITTED SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL. CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): GENERAL SOIL PREPARATION AND BACKFILL MIXES, PRE-PLANT FERTILIZER APPLICATIONS, AND ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
- 15. THE CONTRACTOR SHALL RECOMMEND INSTALLATION OF SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT FOR THE THE OWNER/OWNER'S REPRESENTATIVE CONSIDERATION.
- 16. AT A MINIMUM, ALL TOPSOIL SHALL BE AMENDED WITH NITROGEN STABILIZED ORGANIC AMENDMENT COMPOST AT A RATE OF 5.0 CUBIC YARDS AND AMMONIUM PHOSPHATE 16-20-0 AT A RATE OF 15 POUNDS PER THOUSAND SQUARE FEET OF LANDSCAPE AREA. COMPOST SHALL BE MECHANICALLY INTEGRATED INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING. GROUND COVER & PERENNIAL BED AREAS SHALL BE AMENDED AT A RATE OF 8 CUBIC FEET PER THOUSAND SQUARE FEET OF NITROGEN STABILIZED ORGANIC AMENDMENT AND 10 LBS. OF 12-12-12 FERTILIZER PER CU. YD., ROTOTILLED O A DEPTH OF 8". NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED FOR ORGANIC AMENDMENT:

### **PLANTING**

OCCUPANCY

- 17. ALL DECIDUOUS TREES SHALL HAVE FULL, WELL-SHAPED HEADS/ALL EVERGREENS SHALL BE UNSHEARED AND FULL TO THE GROUND; UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
- 18. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT SHALL BE THE SOLE JUDGE AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
- 19. ALL TREES SHALL BE GUYED AND WOOD STAKED AS PER DETAILS. NO 'T-STAKES' SHALL BE USED FOR TREES.
- ALL PLANT MATERIALS SHALL BE TRUE TO TYPE, SIZE, SPECIES, QUALITY, AND FREE OF INJURY, BROKEN ROOT BALLS, PESTS, AND DISEASES, AS WELL AS CONFORM TO THE MINIMUM REQUIREMENTS DESCRIBED IN THE "AMERICAN STANDARD FOR NURSERY STOCK". FOLLOW GREENCO TREE PLANTING RECOMMENDATIONS FOR MINIMUM QUALITY REQUIREMENTS FOR
- 21. ALL TREE AND SHRUB BED LOCATIONS ARE TO BE STAKED OUT ON SITE FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR
- 22. ALL TREES PLANTED ADJACENT TO PUBLIC AND/OR PEDESTRIAN WALKWAYS SHALL BE PRUNED CLEAR OF ALL BRANCHES BETWEEN GROUND AND A HEIGHT OF EIGHT (8) FEET FOR THAT PORTION OF THE PLAN LOCATED OVER THE SIDEWALK AND/OR
- 23. ALL PLANT MATERIAL SHALL NOT BE PLANTED PRIOR TO INSTALLATION OF TOPSOIL.
- 24. ALL PLANT BEDS SHALL BE CONTAINED WITH STEEL EDGER. STEEL EDGER IS NOT REQUIRED ALONG CURBS, WALKS OR BUILDING FOUNDATIONS. ALL EDGING SHALL OVERLAP AT JOINTS A MINIMUM OF 6-INCHES, AND SHALL BE FASTENED WITH A MINIMUM OF 4 PINS PER EACH 10 FOOT SECTION. THE TOP OF ALL EDGING MATERIAL SHALL BE A ROLLED TOP AND 1/2 INCH ABOVE THE FINISHED GRADE OF ADJACENT LAWN OR MULCH AREAS. COLOR: GREEN.
- 25. THE DEVELOPER, HIS SUCCESSOR, OR ASSIGNEE SHALL BE RESPONSIBLE FOR ESTABLISHING AND CONTINUING A REGULAR PROGRAM OF MAINTENANCE FOR ALL LANDSCAPED AREAS. SEE LANDSCAPE GUARANTEE AND MAINTENANCE NOTE.
- 26. A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF ALL FIRE HYDRANTS.
- 27. LANDSCAPE CONTRACTOR TO SUBMIT SAMPLES OF MISCELLANEOUS LANDSCAPING MATERIALS TO THE LANDSCAPE ARCHITECTS AND OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION, IE.; MULCH, EDGER, LANDSCAPE

### MUI CHING

- AFTER ALL PLANTING IS COMPLETE, THE CONTRACTOR SHALL INSTALL A MINIMUM 4" THICK LAYER OF MULCH AS SPECIFIED IN THE PLANTING LEGEND. INSTALL A 4" THICK RING OF DOUBLE SHREDDED CEDAR BARK MULCH AROUND ALL PLANT MATERIAL IN ROCK MULCH BEDS WHERE LANDSCAPING IS SHOWN ON THE PLANS. WOOD MULCH RING SIZE SHALL BE THE CONTAINER SIZE OF THE SHRUBS, PERENNIALS, AND ORNAMENTAL GRASSES. TREE RING SIZE SHALL BE GREEN INDUSTRIES OF COLORADO INDUSTRY STANDARD WIDTH.
- ALL MULCH SHALL BE HARVESTED IN A SUSTAINABLE MANNER FROM A LOCAL SOURCE.
- INSTALL DEWITT PRO-5 WEED BARRIER FABRIC UNDER ALL ROCK MULCH SHRUB BEDS SPECIFIED ON THE PLANS ONLY. NO LANDSCAPE FABRIC SHALL BE USED IN WOOD MULCH AREAS. NO PLASTIC WEED BARRIERS SHALL BE SPECIFIED.
- ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN
- ALL PLANTING AREAS WITH LESS THAN A 4:1 GRADIENT SHALL RECEIVE A LAYER OF MULCH, TYPE AND DEPTH PER PLANS. SUBMIT 1 CUBIC FOOT SAMPLE OF MULCH (ONE SAMPLE PER TYPE) TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. THE MULCH SHALL BE SPREAD EVENLY THROUGHOUT ALL PLANTING AREAS EXCEPT SLOPES 4:1 OR STEEPER, OR AS OTHERWISE DENOTED ON THE PLAN. ABSOLUTELY NO EXPOSED GROUND SHALL REMAIN IN AREAS TO RECEIVE MULCH AFTER MULCH HAS BEEN INSTALLED.
- ALL PLANTING AREAS ON SLOPES OVER 4:1 SHALL RECEIVE COCONUT FIBER EROSION CONTROL NETTING FROM ROLLS. NETTING SHALL BE #CT-125, AS MANUFACTURED BY NORTH AMERICAN GREEN (OR EQUAL). INSTALL AND STAKE PER MANUFACTURER'S SPECIFICATIONS. SEE ALSO THE CIVIL ENGINEER'S EROSION CONTROL PLAN.

### IRRIGATION CONCEPT

HEAD COVERAGE.

- . AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A QUALIFIED IRRIGATION CONTRACTOR.
- 2. THE IRRIGATION SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE WATER
- 3. ALL NON-TURF/SEED PLANTED AREAS WILL BE DRIP IRRIGATED. TURF SOD/SEED SHALL RECEIVE POP-UP SPRAY IRRIGATION FOR HEAD TO
- 4. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
- 5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED. TO THE MAXIMUM EXTENT POSSIBLE. TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE) RAIN SENSORS, AND SMART MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

### LANDSCAPE GUARANTEE AND MAINTENANCE

- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, SEEDED AREAS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S ACCEPTANCE. THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
- 2. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A NEAT, CLEAN, AND HEALTHY CONDITION FOR A PERIOD OF 90 DAYS THIS SHALL INCLUDE PROPER PRUNING, MOWING AND AERATION OF LAWNS, WEEDING, REPLACEMENT OF MULCH, REMOVAL OF LITTER, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. IRRIGATION SHALL BE MAINTAINED IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON AND TO MAXIMIZE WATER CONSERVATION. IF SITE OPENS DURING WINTER, TO AVOID FREEZE DAMAGE ON PLANTINGS, THE 90 DAYS SHOULD BEGIN AFTER ACCEPTANCE OF THE WORK.
- DURING THE LANDSCAPE MAINTENANCE PERIOD, THE LANDSCAPE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM STRUCTURES IN ALL LANDSCAPE AREAS AT THE MINIMUM SLOPE SPECIFIED IN THE GEOTECHNICAL REPORT. LANDSCAPE AREAS WHICH SETTLE AND CREATE THE POTENTIAL FOR PONDING SHALL BE REPAIRED TO ELIMINATE PONDING POTENTIAL AND BLEND IN WITH THE SURROUNDING GRADES. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT. THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.

### TREE PROTECTION NOTES

- 1. USE EL PASO COUNTY TREE PROTECTION NOTES (IF AVAILABLE). TREE PROTECTION NOTES BELOW SHALL BE USED FOR FURTHER INTEGRATION.
- 2. "PROTECTED ZONE" FOR EXISTING TREES: BEFORE BEGINNING ANY DEMOTION OR CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALI INSTALL TEMPORARY FENCING AROUND ALL EXISTING TREES WITHIN THE CONSTRUCTION ZONE THAT ARE TO BE SAVED. THE FENCE SHALL BE INSTALLED NO CLOSER TO THE TREE THAN THE EDGE OF THE TREE'S PROTECTED ZONE. GENERALLY DEFINED AS THE AREA BEGINNING FIVE FEET OUTSIDE OF THE TREE'S DRIPLINE AND EXTENDING TOWARDS THE TREE (OR AS FAR AWAY FROM THE TRUNK AS PRACTICABLE). THE FENCING SHALL BE OF A MATERIAL AND HEIGHT ACCEPTABLE TO THE LANDSCAPE ARCHITECT. ALL CONTRACTORS AND THEIR CREWS SHALL NOT BE ALLOWED INSIDE THIS "PROTECTED ZONE" NOR SHALL THEY BE ALLOWED TO STORE OR DUMP FOREIGN MATERIALS WITHIN THIS AREA. NO WORK OF ANY KIND, INCLUDING TRENCHING, SHALL BE ALLOWED WITHIN THE PROTECTED ZONE EXCEPT AS DESCRIBED BELOW. THE FENCING SHALL REMAIN AROUND EACH TREE TO BE SAVED UNTIL THE COMPLETION OF CONSTRUCTION OPERATIONS.
- 3. TEMPORARY MULCH: TO ALLEVIATE SOIL COMPACTION IN ANTICIPATED AREAS OF HIGH CONSTRUCTION TRAFFIC, AND ONLY WHERE FENCING CANNOT BE SET FIVE FEET OUTSIDE OF THE DRIPLINE, THE CONTRACTOR SHALL INSTALL A LAYER OF MULCH, 9"-12" THICK, OVER ALL EXPOSED EARTH FROM THE TREE TRUNK TO 5' OUTSIDE OF THE DRIPLINE. THIS LAYER SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION. WHEN PLANTING OPERATIONS ARE COMPLETED, THE MULCH SHALL BE REDISTRIBUTED THROUGHOUT ALL PLANTING AREAS IN A 3" THICK "PERMANENT" MULCH LAYER.
- 4 NECESSARY WORK: WHEN IT BECOMES NECESSARY TO ENTER THE "PROTECTED ZONE" SUCH AS FOR FINE GRADING IRRIGATION INSTALLATION, AND PLANTING OPERATIONS, THE CONTRACTOR SHALL STRICTLY ADHERE TO THE FOLLOWING RULES:
- A. EVERY EFFORT SHALL BE MADE TO PRESERVE THE EXISTING GRADE AROUND PROTECTED TREES IN AS WIDE AN AREA AS POSSIBLE.
- B. TRENCHING WITHIN THE PROTECTED ZONE OF EXISTING TREES SHALL BE PERFORMED BY HAND, AND WITH EXTREME CARE NOT TO SEVER ROOTS 1-1/2" IN DIAMETER AND LARGER. WHERE ROOTS 1-1/2" IN DIAMETER AND LARGER ARE ENCOUNTERED. THE CONTRACTOR SHALL TUNNEL UNDER SAID ROOTS. EXPOSED ROOTS THAT HAVE BEEN TUNNELED UNDER SHALL BE WRAPPED IN WET BURLAP AND KEPT MOIST WHILE THE TRENCH IS OPEN.
- C. WHERE ROOTS 1-1/2" IN DIAMETER OR LARGER MUST BE CUT DUE TO EXTENSIVE GRADE CHANGES, THOSE ROOTS MUST BE EXPOSED BY HAND DIGGING AND CUT CLEANLY. RAGGED CUTS GENERALLY DO NOT HEAL PROPERLY, AND MAY LEAVE THE TREE OPEN TO PESTS AND
- D. WHERE TRENCHING NEAR TREES HAS ALREADY OCCURRED FROM PREVIOUS CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL MAKE EVERY EFFORT TO CONFINE HIS TRENCHING OPERATIONS TO THE PREVIOUSLY-CREATED TRENCHES, WHILE ADHERING TO THE
- 4. POTENTIAL CONFLICTS: THE CONTRACTOR SHALL NOTIFY THE OWNER AND ARBORIST SHOULD ANY POTENTIAL CONFLICTS ARISE BETWEEN THESE SPECIFICATIONS AND/OR LARGE ROOTS ENCOUNTERED IN THE FIELD, AND CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL NOT TAKE ANY ACTION IN SUCH CONFLICTS WITHOUT THE ARBORIST'S WRITTEN APPROVAL. THE ARBORIST SHALL HAVE FINAL AUTHORITY OVER ALL METHODS NECESSARY TO HELP ENSURE THE PROTECTION AND SURVIVAL OF EXISTING TREES.
- 5. PRUNING: PRUNE ONLY THE TREES THAT ARE INDICATED ON THE PLANS AS REQUIRING PRUNING. PRUNE TREES ACCORDING TO INTERNATIONAL SOCIETY OF ARBORICULTURE / ANSI A300 STANDARDS:
- A. REMOVE ALL DEAD WOOD.
- B. PRUNE LIVE WOOD FOR HEALTH OR STRUCTURAL REASONS ONLY, INCLUDING THE NEED TO ELIMINATE DISEASED OR DAMAGED GROWTH, ELIMINATE STRUCTURALLY UNSOUND GROWTH, REDUCE THE POTENTIAL FOR WIND TOPPLING OR WIND DAMAGE, OR TO MAINTAIN GROWTH WITHIN LIMITED SPACE. DO NOT REMOVE MORE THAN 25% OF ANY TREE'S LIVE FOLIAGE IN ANY ONE GROWING SEASON. PRUNE ONLY TO INTERNATIONAL SOCIETY OF ARBORICULTURE/ANSI A300 STANDARDS, AND ONLY UNDER THE DIRECT SUPERVISION OF A
- C. FINAL CUTS SHALL BE MADE JUST OUTSIDE THE SHOULDER RING AREA. EXTREMELY FLUSHED CUTS WHICH PRODUCE LARGE WOUNDS
- D. ALL TRIMMING CUTS SHALL BE PERFORMED IN SUCH A MANNER AS TO PROMOTE THE NATURAL GROWTH AND SHAPE OF EACH TREE
- E. IMPROPER PRUNING METHODS INCLUDING. BUT NOT LIMITED TO, "TOPPING", "TIPPING", "HEADING BACK", "DEHORNING", AND "LIONTAILING" WILL NOT BE ALLOWED. THE CONTRACTOR SHALL PAY FOR ALL WORK NECESSARY TO CORRECT SUCH PRUNING WHEN PERFORMED BY
- F. SHOULD THE CONTRACTOR REQUIRE MORE INFORMATION, THE CONTRACTOR SHALL CONTACT THE ISA AT (217) 355-9411 FOR A COPY OF THE ANSI A300 PRUNING STANDARDS. CONTRACTOR SHALL ADHERE TO THE METHODS AND PRACTICES SET FORTH IN THIS DOCUMENT
- 6. LANDSCAPE AND IRRIGATION (NATIVE TREES ONLY): ANY FUTURE LANDSCAPE AND IRRIGATION SHOULD ADHERE TO THE FOLLOWING
- A. NO IRRIGATION OR PLANTING SHOULD OCCUR CLOSER THAN 8'-10' FROM THE TRUNK.
- B. WHERE IRRIGATION DOES OCCUR WITHIN THE PROTECTED ZONE, DRIP IRRIGATION SHOULD BE USED WHEREVER POSSIBLE ADDITIONALLY, ONLY PLANTS WITH LOW WATER NEEDS SHOULD BE PLANTED WITHIN THE PROTECTED ZONE, SPACED FAR APART WHERE CLOSE TO THE TREE. PLANTS MAY BE SPACED CLOSER TOGETHER NEAR THE EDGE OF THE PROTECTED ZONE.

### **UTILITY NOTES**

- 1. THE LANDSCAPE CONTRACTOR IS REQUIRED TO CONTACT THE COUNTY PUBLIC WORKS DEPARTMENT, AND ANY OTHER PUBLIC OR PRIVATE AGENCY NECESSARY FOR UTILITY LOCATION PRIOR TO ANY CONSTRUCTION.
- 2. THIS DRAWING IS A PART OF A COMPLETE SET OF BID DOCUMENTS, SPECIFICATIONS, ADDITIONAL DRAWINGS, AND EXHIBITS. UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE, AND REVIEWING ALL RELATED DOCUMENTS.
- 3. THE LOCATION OF THE ALL UNDERGROUND UTILITIES ARE LOCATED ON THE ENGINEERING DRAWINGS FOR THIS PROJECT. THE MOST CURRENT REVISION IS HERE IN MADE PART OF THIS DOCUMENT. UNDERGROUND UTILITIES EXIST THROUGHOUT THIS SITE AND MUST BE LOCATED PRIOR TO ANY CONSTRUCTION ACTIVITY. WHERE UNDERGROUND UTILITIES EXIST, FIELD ADJUSTMENT MAY BE NECESSARY AND MUST BE APPROVED BY A REPRESENTATIVE OF THE OWNER. NEITHER THE OWNER NOR THE LANDSCAPE ARCHITECT ASSUMES ANY RESPONSIBILITY WHATSOEVER, IN RESPECT TO THE CONTRACTORS ACCURACY IN LOCATING THE INDICATED PLANT MATERIAL, AND UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED WITHOUT REFERENCING THE ABOVE MENTIONED DOCUMENTS.

### **SOIL TESTING NOTE**

THE LANDSCAPE CONTRACTOR SHALL COORDINATE WITH THE DESIGN LANDSCAPE ARCHITECT REGARDING THE REQUIRED SOIL ANALYSIS REPORT AND IS RESPONSIBLE FOR COMPLETING THE SOIL SAMPLING AND SUBMITTING THE SAMPLES O A SOILS TESTING LAB FOR TESTING. THIS WOULD INCLUDE A SEPARATE LAB TEST REPORT AND RECOMMENDATIONS (AMENDMENT/FERTILIZER AMOUNTS AND APPLICATION RATES) FOR EACH TYPE OF PROPOSED LANDSCAPING (SHRUB BEDS/SOD/NATIVE SEED). THE SOILS LAB RESULTS AND RECOMMENDATIONS ARE REQUIRED TO BE REVIEWED AND APPROVED BY THE DESIGN LANDSCAPE ARCHITECT AND THE CITY OF COLORADO SPRINGS PRIOR TO INSTALLING ANY LANDSCAPING (PLANTS/SOD/NATIVE SEED) ONSITE.

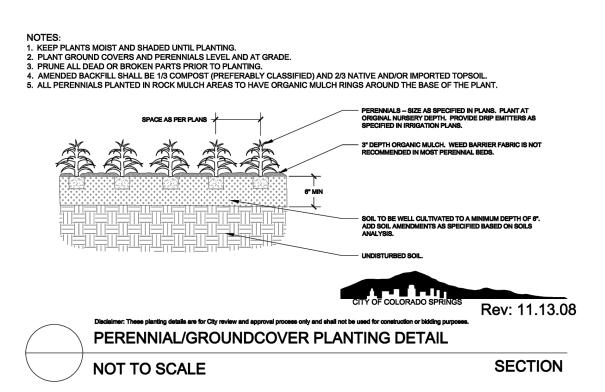
### IRRIGATION NOTE IRRIGATION PLANS WILL NEED TO BE SUBMITTED WITHIN 3 MONTHS OF THE DATE OF

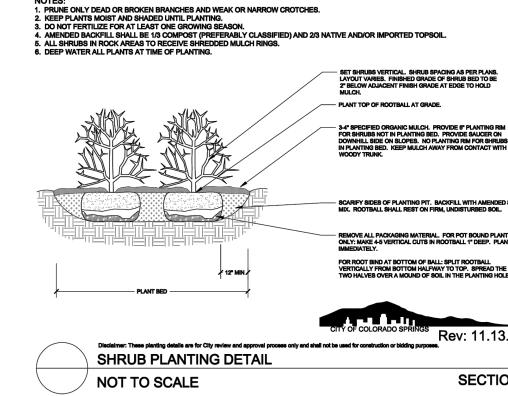
APPROVAL OF THE DP (OR SOONER), THE PLANS MUST BE APPROVED PRIOR TO THE INSTALLATION OF ANY IRRIGATION COMPONENTS.

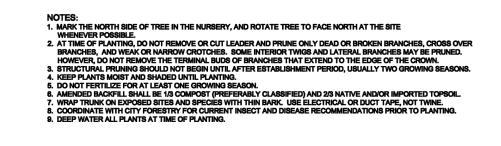
### PARKING LOT ISLAND NOTE THE SOIL OF ANY PLANTER WITHIN THE PARKING LOT SHALL BE STRUCTURALLY

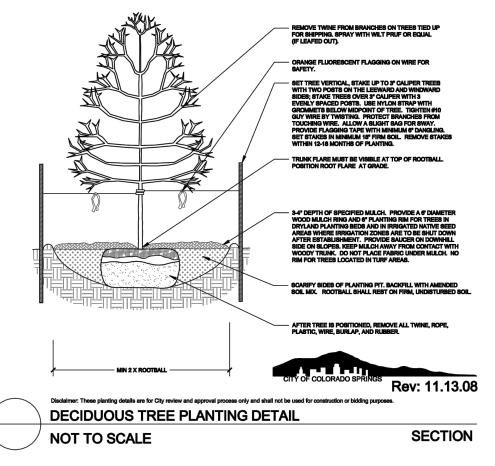
RENOVATED (TILLED) OR REMOVED TO A DEPTH OF THIRTY INCHES (30") AND REPLACED WITH AN ACCEPTABLE GROWING MEDIUM FOR THE SPECIES INDICATED FOR THE INSTALLATION.

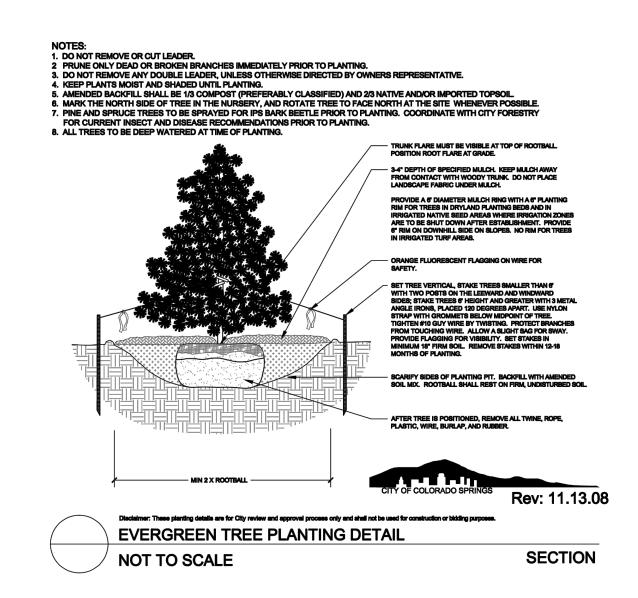
> ~~~~~~ CAUTION UTILITIES EXIST WITHIN CONSTRUCTION LIMITS. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THEIR LOCATION PRIOR TO CONSTRUCTION.











Greenwood Village, CO 8011 303.770.8884 O www.gallowavUS.com

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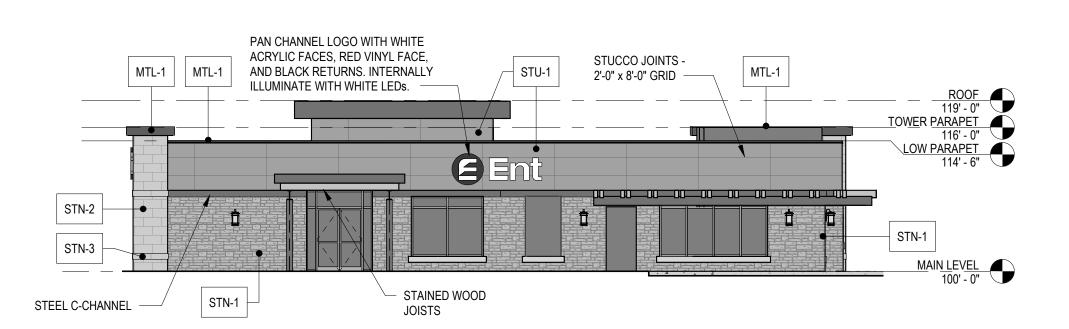
# Date Issue / Description

KEL000006 Drawn Bv:

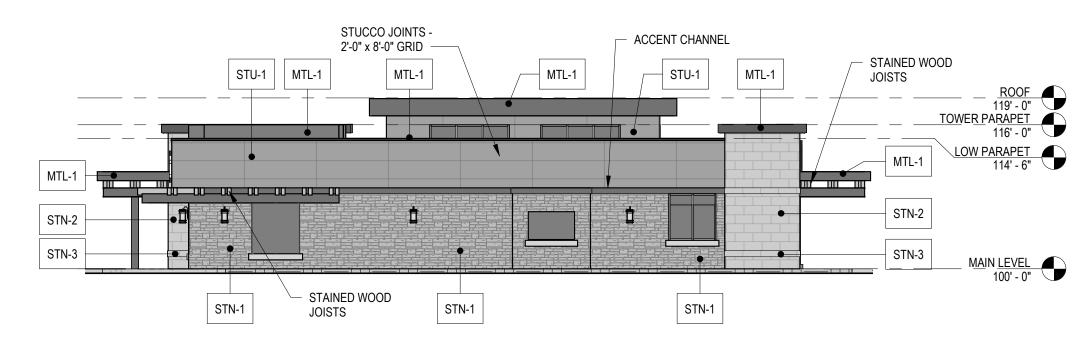
AUGUST 30, 2019 LANDSCAPE NOTES & DETAILS

Checked By

LOTS 5, 6 AND A PORTION OF LOTS 7 AND 8, MAP OF THE TOWN OF COLORADO SPRINGS LOCATED IN THE NORTHEAST CORNER OF SECTION 13, TOWNSHIP 14 SOUTH, RANGE 67 WEST CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

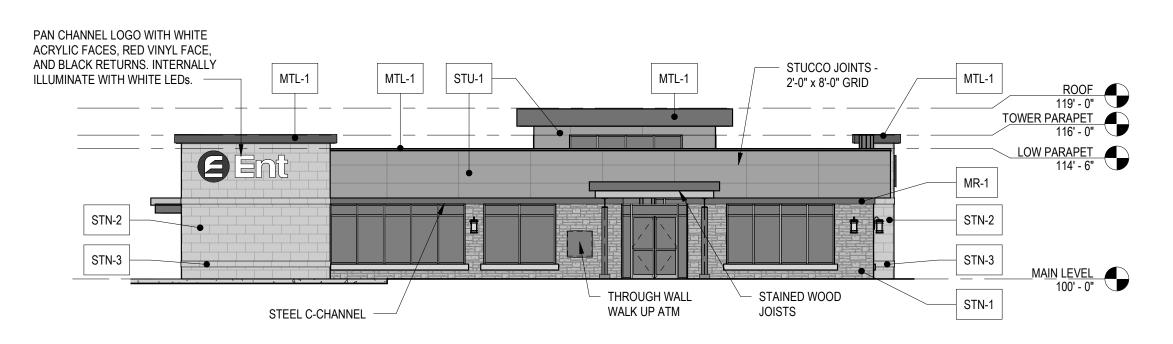


# 4 EAST ELEVATION (SDP) 3/32" = 1'-0"

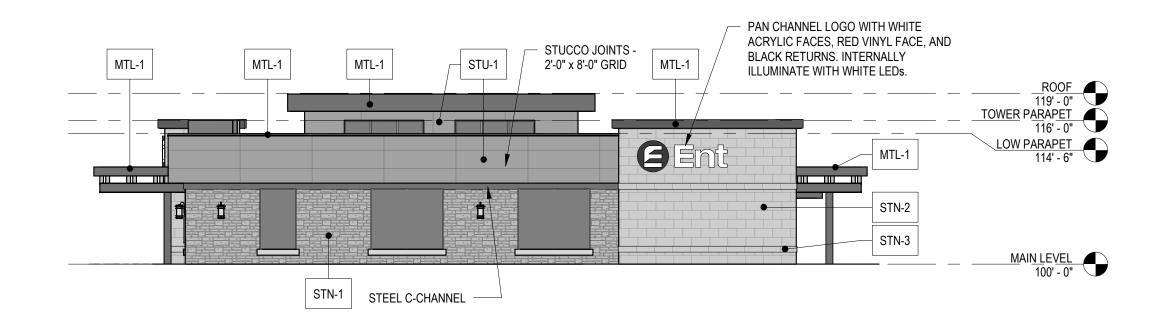


NORTH ELEVATION (SDP)

3/32" = 1'-0"



# $2 \overline{\frac{\text{WEST ELEVATION (SDP)}}{3/32" = 1'-0"}}$



### **GLAZING REQUIREMENTS**

REQUIRED GLAZING: 60% TRANSPARENT GLASS ON FIRST FLOOR BETWEEN EIGHTEEN INCHES AND

PROPOSED GLAZING: 650 TOTAL SQUARE FEET BETWEEN EIGHTEEN INCHES AND TEN FEET IN HEIGHT 262.5 SQUARE FEET OF GLAZING 40% TOTAL TRANSPARENT GLASS

## TEN FEET IN HEIGHT RUNNING PARALLEL TO THE FRONT PROPERTY LINE.

### **BUILDING DESIGN NOTES**

1. SHAPES AND MATERIALS OF THE BUILDING CREATE A CONTEMPORARY MOUNTAIN

2. MATERIALS CONSIST OF STONE AND STUCCO WITH METAL ACCENTS.

3. STACKED STONE AND STUCCO AREAS CREATE HORIZONTAL ELEMENTS WHILE SMOOTH STONE AREAS CREATE VERITCAL ELEMENTS.

4. BANDING ON SMOOTH STONE AREAS BREAK UP LARGE SURFACES AND CREATE MORE VISUAL INTEREST.

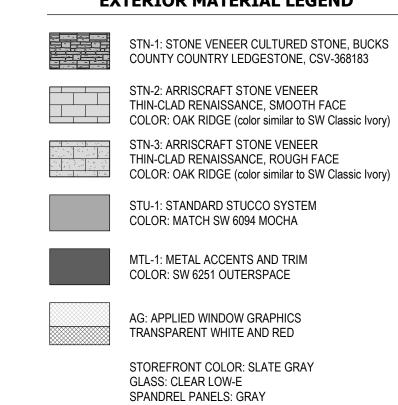
5. PARAPET HEIGHTS ARE BROKEN UP AT MATERIAL CHANGES. SOME CONSISTENT PARAPET LINES ARE USED TO KEEP SMALL, SINGLE BUILDING FROM LOOKING TOO BUSY AND CHOPPED UP.

6. BUILDING HAS A DEFINED TOP, MIDDLE, AND BASE. THE BASE IS DEFINED BY THE STACKED STONE AND IS SCALED TO A PEDESTRIAN LEVEL. THE SCONCES AT THIS LEVEL CREATE A MORE INTIMATE FEEL. THE MIDDLE IS DEFINED BY THE CHANNEL BANDING AND FLAT METAL/WOOD AWNINGS. THE TOP IS DEFINTED BY THE STUCCO AND PROJECTS OUT SLIGHTLY. THE LARGE SMOOTH STONE AREAS CREATE BREAKS IN THIS PATTERN AND ADD A VERTICAL ELEMENT TO THE HORIZONTAL BAND OF TOP.

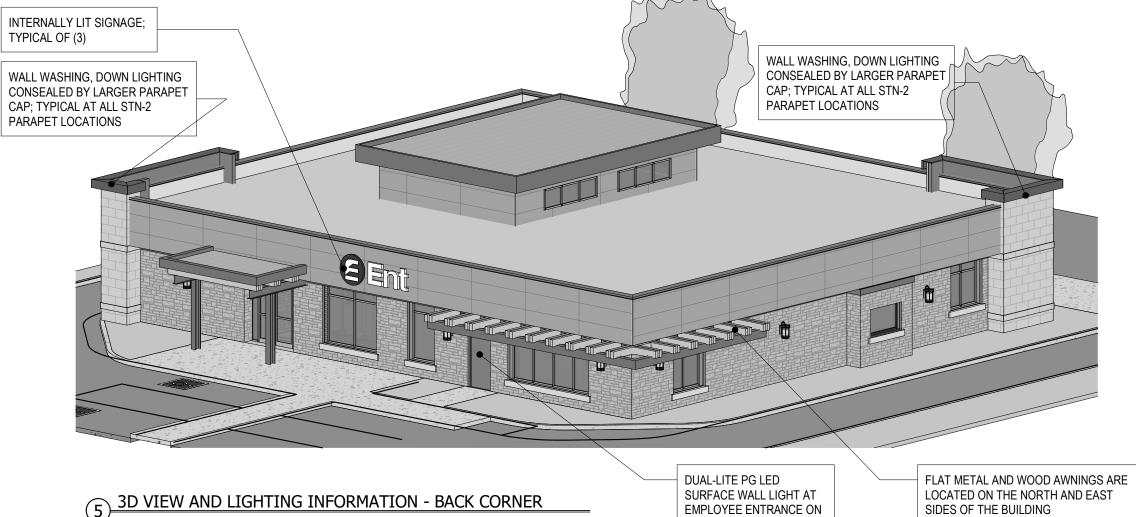
7. ALL EXPOSED METAL SHALL BE PREFINISHED OR PAINTED. METAL TRIM AND ACCENTS SHALL ALL BE MTL-1. ELECTRICAL EQUIPMENT, PIPES, AND OTHER BUILDING REQUIREMENTS SHALL BE PAINTED TO MATCH THE WALL BEHIND. THERE SHALL BE NO EXPOSED METAL OR STAINLESS STEEL.

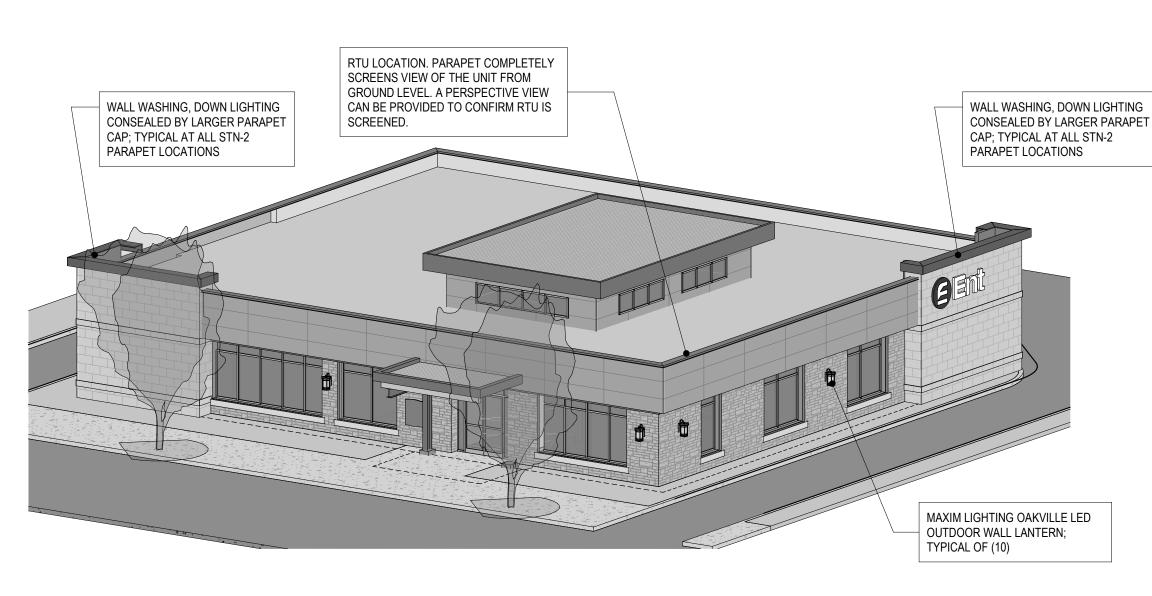
MIDDLE, BASE.

### **EXTERIOR MATERIAL LEGEND**



SIGNAGE: SIGN REVIEW AND APPROVAL IS TO BE PROCESSED AT A LATER DATE





SOUTH WALL

(6) 3D VIEW AND LIGHTING INFORMATION - FRONT CORNER

SPACE RESERVED FOR CITY STAMP

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> KEYS+LAUER ARCHITECTS

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7 AND 8 SPRINGS

S 5, 6 AND A PORTION OF THE TOWN OF CO

# Date Issue / Description

KEL000006

Checked By

CPC DP XX-XXXX

AUGUST 30, 2019

SOUTH ELEVATION (SDP)