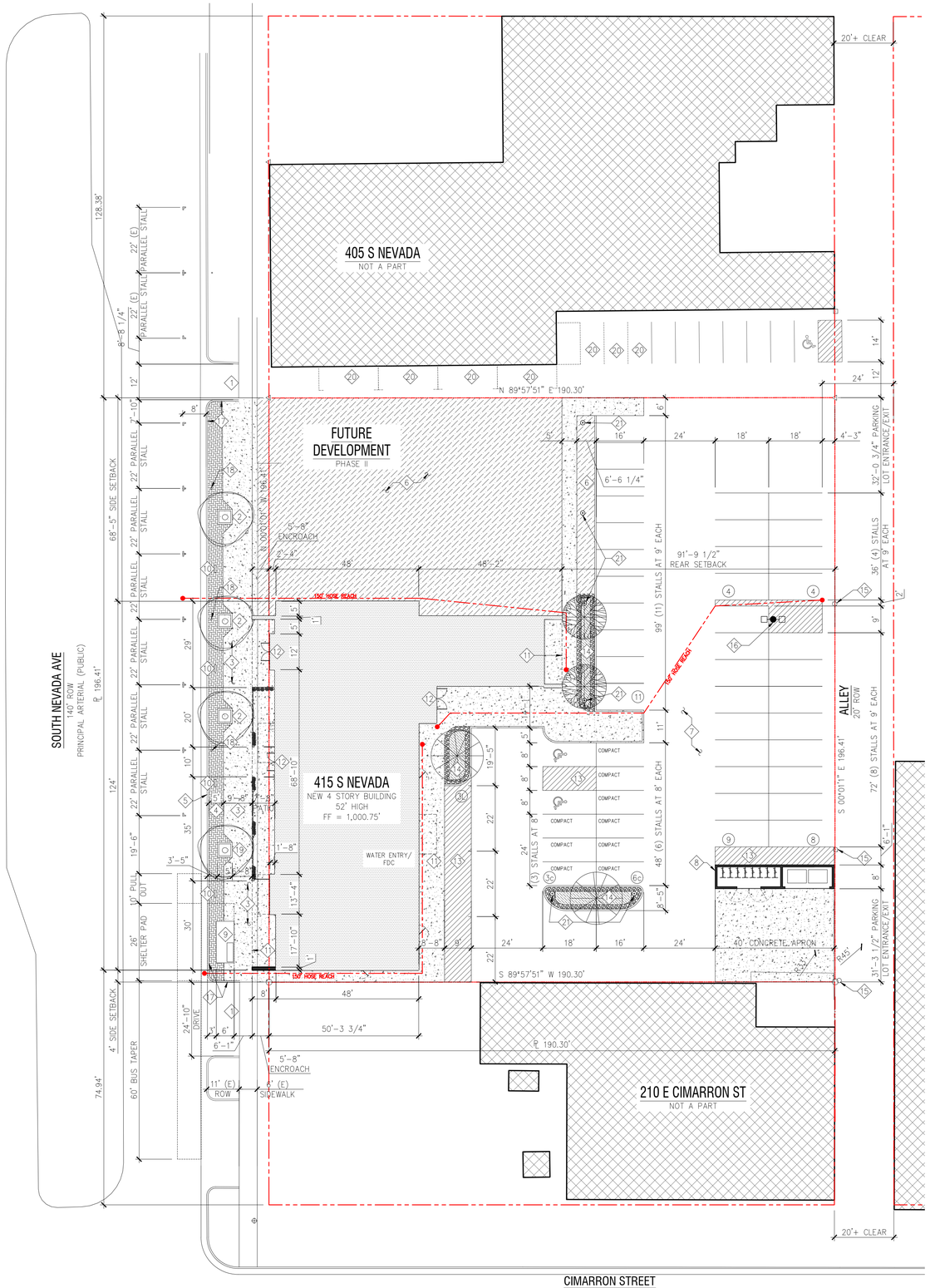



1 SITE PLAN
1" = 20'

## SITE PLAN LEGEND

- NEW BUILDING
- EXISTING BUILDING (NOT A PART)
- NEW CONCRETE
- SOFTSCAPE (3/8"– CRUSHED ROCK)
- NEW PAVERS IN HOLLAND PATTERN PER CITY STANDARD
- 1"–2" DECORATIVE ROCK
- MULCH
- PROPERTY LINE
- 48"h FULL CUT–OFF PEDESTRIAN LOW VOLTAGE LED LIGHT BOLLARD (TYP OF 6)
- 150' FIRE HOSE REACH

## SITE PLAN NOTES

1. REFER TO SHEETS 5&6 of 10 FOR CIVIL INFORMATION INCLUDING GRADING AND UTILITIES.
2. REFER TO SHEET 7&8 of 10 FOR ALL LANDSCAPING INFORMATION.
3. INFORMATIONAL ONLY: SIGNAGE IS NOT APPROVED WITH THIS CONCEPT/DEVELOPMENT PLAN.
4. FLOOD LIGHTING IS PROHIBITED.
5. ALL LIGHTING SHALL BE ARRANGED TO REFLECT AWAY FROM ADJOINING PROPERTIES AND PUBLIC RIGHT–OF–WAYS AND SHALL BE SHIELDED TO CONTAIN ALL DIRECT RAYS ON SITE. ALL LIGHTING FIXTURES SHALL BE FULL SHIELD CUT–OFF.
6. ALL EXISTING CURB, GUTTER, AND SIDEWALK POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATION OR NOT MEETING CURRENT CITY ENGINEERING STANDARDS ALONG SOUTH NEVADA AVENUE ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED PRIOR TO ISSUING THE CERTIFICATE OF OCCUPANCY (C.O.). AN ON–SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW INSPECTOR TO DETERMINE WHAT, IF ANY, IMPROVEMENTS ARE REQUIRED. THE INSPECTOR CAN BE REACHED AT 719–385–5977
7. ALL BUILDINGS ASSOCIATED WITH THIS DEVELOPMENT PLAN ARE LOCATED OUTSIDE OF THE FLOODWAY.

## FLOODPLAIN NOTE

1. NO PORTION OF THE SUBJECT PROPERTY IS LOCATED WITHIN THE 100 YEAR FLOOD PLAIN, ACCORDING TO FIRM #08041C0729 F EFFECTIVE 03/17/17.

## SITE PLAN KEYNOTES

1. PORTION OF (E) CURB CUT TO REMAIN (IN USE BY NEIGHBORING PROPERTY)
2. EXISTING STREET TREE IN 4'x4' CAST IRON TREE GRATE W/ RAISED 6" CURB AROUND PERIMETER
3. NEW CONCRETE SIDEWALK
4. NEW 5' WIDE INTERLOCKING PAVER AMENITY ZONE LAID IN HOLLAND PATTERN PER CITY STANDARD
5. (E) TYPE 1 CURB AND GUTTER TO REMAIN (TYP U.N.O.)
6. 1/4"– CRUSHED ROCK (BREEZE)
7. NEW ASPHALT PARKING W/ 4" WIDE WHITE STRIPING
8. TRASH ENCLOSURE / GEAR STORAGE IN 8'x9'x40' SHIPPING CONTAINER
9. NEW BUS SHELTER
10. INVERTED 'U' BIKE RACK
11. LINE OF UPPER FLOOR/CANOPY OVERHANG ABOVE
12. PEDESTRIAN ENTRY
13. STRIPED FOR "NO PARKING" OR "LOADING ZONE"
14. NEW LANDSCAPING AND GROUNDCOVER PER LANDSCAPE PLAN
15. EXISTING UTILITY POLE TO REMAIN
16. FULL CUT–OFF POLE MOUNTED SITE LIGHT PER ELECTRICAL DRAWINGS
17. NEW TYPE 1 CURB AND GUTTER
18. PROPOSED PARKING METER
19. NEW STREET TREE IN 4'x4' CAST IRON TREE GRATE W/ RAISED 6" CURB AROUND PERIMETER
20. EXISTING PARKING STALL (ON ADJACENT PROPERTY TO BE REMOVED)
21. 27"h PEDESTRIAN LIGHT BOLLARD PER ELECTRICAL DRAWINGS

## PARKING SUMMARY

REQUIRED: (PER COS FBZ SECTION 2.6)
LODGING: ONE STALL PER UNIT X 40 UNITS = 40 STALLS

PROVIDED:
36 STANDARD PARKING STALLS
9 COMPACT PARKING STALLS
3 PARALLEL "LOADING ZONE" STALLS
2 ACCESSIBLE PARKING STALLS
TOTAL: 50 STALLS PROVIDED

## ZONING DATA

| | |
|---|---|
| ZONE: | FBZ–COR |
| SITE AREAS: | |
| TOTAL SITE AREA: | 37,240 S.F. |
| AREA OF WORK: | 37,240 S.F. |
| BUILDING AREA (GROSS): | 23,986 S.F. |
| BUILDING TYPE: | MIXED–USE |
| ALLOWABLE BUILDING HEIGHT: (CH 2.3.4) | 10 STORIES |
| ACTUAL BUILDING HEIGHT: | 4 STORIES (52') |
| SETBACKS REQUIRED: (CH 2.3.3) | FRONT: 0' MAX<br>SIDE: 10' MAX<br>REAR: 0' MIN |
| SETBACKS PROPOSED: | |
| S NEVADA AVE: | FRONT: 0'–0"<br>SIDE (NORTH): 68'–5"<br>SIDE (SOUTH): 4'–0"<br>REAR: 91'–9 1/2" |

WARRANT NOTE: A WARRANT HAS BEEN REQUESTED FOR THE INCREASED SIDE SETBACK AT THE NORTH PROPERTY LINE.

ENCROACHMENTS PROPOSED:
FOUR ENCROACHMENTS ARE PROPOSED AT THE WEST PROPERTY LINE:

| | |
|---|---|
| CANOPY: | 5'–8" |
| PATIO: | 5'–8" |
| BUILDING OVERHANG: | 3'–8" |
| BALCONY OVERHANG: | 1'–8" |

REVOCABLE PERMIT NOTE: A REVOCABLE PERMIT HAS BEEN REQUESTED FOR THE FOUR ENCROACHMENTS AT THE WEST PROPERTY LINE.

FRONTAGE TYPE (CH 2.4): SHOPFRONT

GLAZING: THE PERCENTAGE OF FIRST FLOOR GLAZING EQUALS THE PERCENTAGE OF TRANSPARENT GLASS ALONG THAT PORTION OF THE FACADE BETWEEN 18" AND 10' IN HEIGHT RUNNING PARALLEL TO THE FRONT PROPERTY LINE.

LINEAR FOOTAGE OF GLAZING: 75'
LINEAR FOOTAGE OF BUILDING RUNNING PARALLEL TO THE FRONT PROPERTY LINE: 124'

PERCENTAGE GLAZING: 75/124 = 60%

PERCENTAGE GLAZING REQ'D FOR SHOPFRONT FRONTAGE TYPE: 60%

ACCESSIBILITY: ALL NEW ACCESS POINTS WILL MEET ADA STANDARDS.

THE DESIGN PROFESSIONAL RESPONSIBLE FOR THIS PLAN HAS FAMILIARIZED THEMSELVES WITH ALL CURRENT ADA CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS REQUIRED SITE ELEMENTS.

## PHASING NOTES

1. PHASE 1: NEW 4–STORY BUILDING AS SHOWN, PARKING LOT AND STREETSCAPE IMPROVEMENTS.
   SCHEDULE: START CONSTRUCTION EARLY 2019, COMPLETE SPRING 2020
2. PHASE 2: NEW BUILDING TBD ON NORTH PORTION OF LOT.
   SCHEDULE: START CONSTRUCTION BY FOURTH QUARTER 2021.

## PROJECT DATA

| | |
|---|---|
| PROJECT TYPE: | COMMERCIAL |
| PROJECT SUMMARY: | NEW (4) STORY HOTEL BUILDING<br>FIRST FLOOR: LOBBY AND CAFE<br>FLOORS 2–4: HOTEL UNITS |
| ROOM COUNTS: | DORM ROOMS: 6 (48 BEDS)<br>PRIVATE ROOMS: 27<br>PRIVATE SUITES: 7<br>TOTAL: 40 ROOMS |
| PROJECT ADDRESS: | 415 SOUTH NEVADA AVE<br>COLORADO SPRINGS, CO 80903 |
| TSN: | 6418411009 |
| LEGAL DESCRIPTION: | LOTS 4, 5, 6 AND THE SOUTH 21' OF LOT 3 AND THE NORTH 25' OF LOT 7, ALL IN BLOCK 133, IN THE CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK A AT PAGE 1 OF THE RECORDS OF SAID COUNTY, AND CONTAINING 0.86 ACRES. |
| PLAT #: | 54 |
| LUR FILE #: | AR DP 18–00302 |

## SHEET INDEX


| | |
|---|---|
| 1 of 10 | GENERAL INFORMATION / ARCHITECTURAL SITE PLAN |
| 2 of 10 | EXTERIOR ELEVATIONS |
| 3 of 10 | EXTERIOR ELEVATIONS |
| 4 of 10 | EXTERIOR RENDERINGS |
| 5 of 10 | PRELIMINARY UTILITY PLAN |
| 6 of 10 | PRELIMINARY GRADING PLAN |
| 7 of 10 | LANDSCAPE AND SITE FURNISHING PLAN |
| 8 of 10 | SITE DETAILS |
| 9 of 10 | SITE LIGHTING PLAN |
| 10 of 10 | ELECTRICAL DETAILS |


## CONTACTS


OWNER: KINSHIP LANDING LTD
415 SOUTH NEVADA AVE
COLORADO SPRINGS, CO 80903

CONTACT: BOBBY & BROOKE MIKULAS
p. 719.650.4887
e. bobby@kinshiplanding.com
brooke@kinshiplanding.com

ARCHITECT: ECHO ARCHITECTURE
4 SOUTH WAHSATCH AVENUE #120
COLORADO SPRINGS, CO 80903

CONTACT: RYAN LLOYD
p. 719.387.7836
e. ryan@echo–arch.com

CIVIL: TERRA NOVA ENGINEERING, INC.
721 S. 23RD STREET
COLORADO SPRINGS, CO 80904

CONTACT: LUANNE DUCETT
p. 719.635.6422
e.

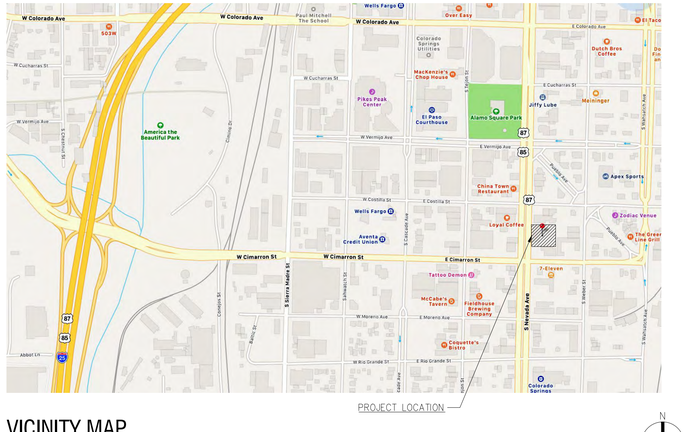
MEP: FARNSWORTH GROUP
4755 FORGE ROAD, SUITE 150
COLORADO SPRINGS, CO 80907

CONTACT: AMANDA OCCHI
p. 719.301.1818
e.

STRUCTURAL: HCDA ENGINEERING
545 EAST PIKES PEAK AVE. #100
COLORADO SPRINGS, CO 80903

CONTACT: STEVE HORNER
p. 719.633.7784
q. shorner@hcdaengineering.com


# KINSHIP LANDING
## 415 SOUTH NEVADA AVE
## COLORADO SPRINGS, CO 80903




VICINITY MAP

SITE PLAN/GENERAL INFO
LUR FILE #: AR DP 18-00302

ECHO ARCHITECTURE

415 S NEVADA AVE
COLORADO SPRINGS

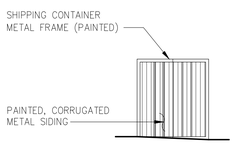
date: 09.28.2018
phase: DEV. PLAN
drawn by: RCL
sheet #: 1 of 10


ECHO ARCHITECTURE
4 south wahsatch ave #120
colorado springs, co 80903
www.echo-arch.com
t 719.387.7836

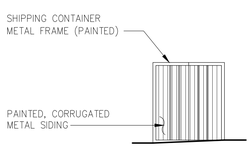
## ELEVATION NOTES:

1. EXTENT, SIZE, AND LOCATION OF SIGNAGE IS TO BE DETERMINED.
2. SIGN SUBMITTAL, REVIEW, AND APPROVAL WILL OCCUR AT A LATER DATE.

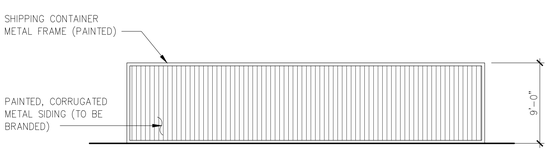
2 EAST ELEVATION
1/8" = 1'-0"



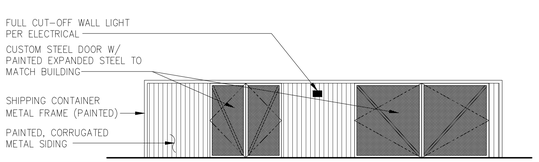

6 EAST ELEVATION: TRASH ENCLOSURE
1/8" = 1'-0"




5 WEST ELEVATION: TRASH ENCLOSURE
1/8" = 1'-0"




4 NORTH ELEVATION: TRASH ENCLOSURE
1/8" = 1'-0"




3 SOUTH ELEVATION: TRASH ENCLOSURE
1/8" = 1'-0"

1 WEST ELEVATION
1/8" = 1'-0"

# KINSHIP LANDING
421 SOUTH NEVADA AVE
COLORADO SPRINGS, CO 80903

EXTERIOR ELEVATIONS
LUR FILE #: AR DP 18-00302

ECHO ARCHITECTURE

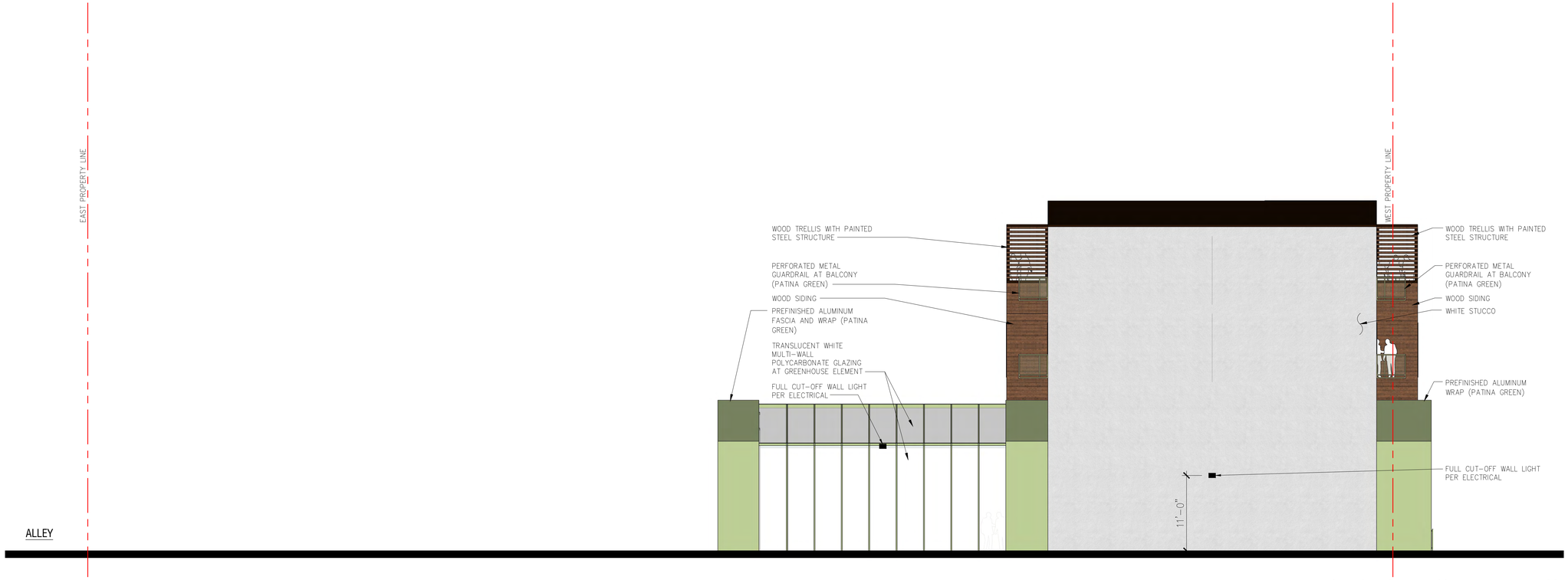
415 S NEVADA AVE
COLORADO SPRINGS

date: 09.28.2018
phase: DEV. PLAN
drawn by: RCL
sheet #: 2 of 10

ECHO ARCHITECTURE
4 south wahsatch ave #120
colorado springs, co 80903
www.echo-arch.com
t 719.387.7836

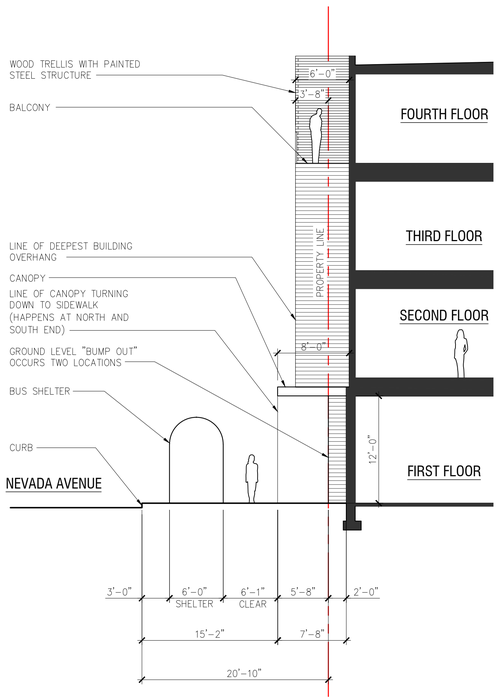
## ELEVATION NOTES:

1. EXTENT, SIZE, AND LOCATION OF SIGNAGE IS TO BE DETERMINED.
2. SIGN SUBMITTAL, REVIEW, AND APPROVAL WILL OCCUR AT A LATER DATE.

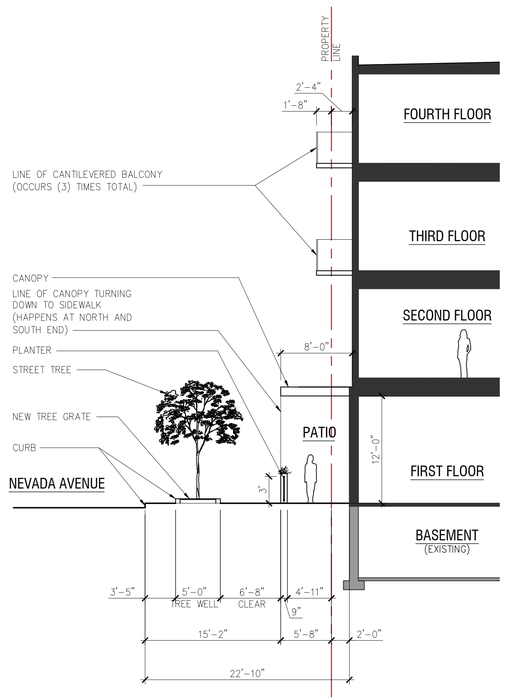



2 NORTH ELEVATION
1/8" = 1'-0"

0 4' 8' 16' 32'




4 SECTION AT STREETFRONT (BUS SHELTER)
1/8" = 1'-0"




3 CROSS SECTION AT STREETFRONT (TREE WELL)
1/8" = 1'-0"

1 SOUTH ELEVATION
1/8" = 1'-0"

0 4' 8' 16' 32'

# KINSHIP LANDING

415 SOUTH NEVADA AVE
COLORADO SPRINGS, CO 80903

EXTERIOR ELEVATIONS
LUR FILE #: AR DP 18-00302

ECHO ARCHITECTURE

415 S NEVADA AVE
COLORADO SPRINGS

date: 09.28.2018
phase: DEV. PLAN
drawn by: RCL
sheet #: 3 of 10

ECHO ARCHITECTURE
4 south wahsatch ave #120
colorado springs, co 80903
www.echo-arch.com
t 719.387.7836

2 RENDERING LOOKING SOUTHEAST FROM NEVADA
NOT TO SCALE

1 RENDERING LOOKING NORTHWEST FROM PARKING LOT
NOT TO SCALE

ELEVATION NOTES:

1. EXTENT, SIZE, AND LOCATION OF SIGNAGE IS TO BE DETERMINED.
2. SIGN SUBMITTAL, REVIEW, AND APPROVAL WILL OCCUR AT A LATER DATE.

# KINSHIP LANDING

421 SOUTH NEVADA AVE
COLORADO SPRINGS, CO 80903

EXTERIOR RENDERINGS
LUR FILE #: AR DP 18-00302

ECHO ARCHITECTURE

415 S NEVADA AVE
COLORADO SPRINGS

ECHO ARCHITECTURE
4 south wahsatch ave #120
colorado springs, co 80903
www.echo-arch.com
t 719.387.7836

date: 09.28.2018
phase: DEV. PLAN
drawn by: RCL
sheet #: 4 of 10

# KINSHIP LANDING

## COLORADO SPRINGS, CO

# PRELIMINARY UTILITY & PUBLIC FACILITIES PLAN

## SEPTEMBER 2018

*PROPERTY OWNERS ACKNOWLEDGE AND AGREE TO THE FOLLOWING UPON APPROVAL OF PRELIMINARY UTILITY PLAN:*

1. COLORADO SPRINGS UTILITIES (SPRINGS UTILITIES) SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION OF ALL WATER, WASTEWATER, ELECTRIC AND GAS FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THIS PRELIMINARY UTILITY PLAN.

2. PROPERTY OWNER(S) ("OWNER") ACKNOWLEDGES THAT THE CONNECTION AND/OR EXTENSION OF UTILITY SERVICES TO THE PROPERTY IDENTIFIED IN THIS PRELIMINARY UTILITY PLAN ("PROPERTY") SHALL BE IN ACCORD WITH ALL APPLICABLE CODES AND REGULATIONS, SPRINGS UTILITIES LINE EXTENSION AND SERVICE STANDARDS ("STANDARDS"), TARIFFS, COLORADO SPRINGS CITY CODE, RESOLUTIONS, AND POLICIES, AND PIKES PEAK REGIONAL BUILDING DEPARTMENT CODES, IN EFFECT AT THE TIME OF UTILITY SERVICE CONNECTION AND/OR EXTENSION.

3. OWNER ACKNOWLEDGES RESPONSIBILITY FOR THE COSTS OF EXTENSIONS OR UTILITY SYSTEM IMPROVEMENTS THAT SPRINGS UTILITIES DETERMINES NECESSARY TO PROVIDE UTILITY SERVICES TO THE PROPERTY OR TO ENSURE TIMELY DEVELOPMENT OF INTEGRATED UTILITY SYSTEMS SERVING THE PROPERTY AND AREAS OUTSIDE THE PROPERTY (INCLUDING THE COSTS TO DESIGN AND INSTALL WATER SYSTEMS, WASTEWATER COLLECTION SYSTEMS, AND ANY GAS OR ELECTRIC LINES TO AND WITHIN THE PROPERTY). OWNER MAY BE ELIGIBLE FOR A COST RECOVERY AGREEMENT AS PROVIDED IN UTILITIES RULES AND REGULATIONS.

4. SPRINGS UTILITIES UTILITY SERVICES ARE AVAILABLE ON A "FIRST-COME, FIRST-SERVED" BASIS, AND THEREFORE NO SPECIFIC ALLOCATIONS OR AMOUNTS OF UTILITY SERVICES, FACILITIES, CAPACITIES OR SUPPLIES ARE RESERVED FOR THE OWNER, AND SPRINGS UTILITIES MAKES NO COMMITMENT AS TO THE AVAILABILITY OF ANY UTILITY SERVICE UNTIL SUCH TIME AS AN APPLICATION FOR PERMANENT SERVICE IS APPROVED BY SPRINGS UTILITIES.

5. THE RELOCATION OR ALTERATION OF ANY EXISTING UTILITY FACILITIES WITHIN THE PROPERTY WILL BE AT THE OWNER'S SOLE COST AND EXPENSE. IF SPRINGS UTILITIES DETERMINES THAT OWNER'S RELOCATION OR ALTERATION REQUIRES NEW OR UPDATED EASEMENTS, OWNER SHALL CONVEY THOSE EASEMENTS PRIOR TO RELOCATION OR ALTERING THE EXISTING UTILITY FACILITIES.

6. OWNER SHALL DEDICATE BY PLAT AND/OR CONVEY BY RECORDED DOCUMENT, ALL PROPERTY AND EASEMENTS THAT SPRINGS UTILITIES DETERMINES ARE REQUIRED FOR ALL UTILITY SYSTEM FACILITIES NECESSARY TO SERVE THE PROPERTY OR TO ENSURE DEVELOPMENT OF AN INTEGRATED UTILITY SYSTEM. ALL EASEMENTS GRANTED BY SEPARATE INSTRUMENT SHALL UTILIZE SPRINGS UTILITIES' THEN-CURRENT PERMANENT EASEMENT AGREEMENT FORM.

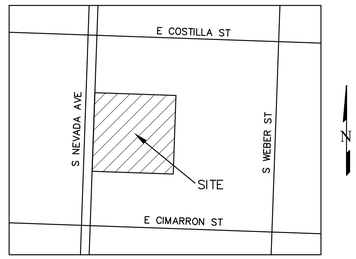
7. THE WATER SYSTEM FACILITIES MUST MEET SPRINGS UTILITIES CRITERIA FOR WATER QUALITY, RELIABILITY AND PRESSURE, INCLUDING LOOPING REQUIREMENTS (SEE SPRINGS UTILITIES LINE EXTENSION AND SERVICE STANDARDS).

8. OWNER RECOGNIZES THAT THE EXTENSION OF WATER SYSTEM FACILITIES MAY AFFECT THE QUALITY OF WATER IN THE SPRINGS UTILITIES WATER SYSTEM. WHEN WATER QUALITY IS AFFECTED, OWNER ACKNOWLEDGES RESPONSIBILITY FOR ANY COSTS THAT SPRINGS UTILITIES DETERMINES NECESSARY IN ORDER TO MAINTAIN WATER QUALITY IN ITS SYSTEM AS A RESULT OF OWNER'S WATER SYSTEM EXTENSIONS. OWNER MAY BE REQUIRED TO SUBMIT A WATER QUALITY PLAN FOR THE PROJECT.

9. OWNER MUST CONTACT SPRINGS UTILITIES FIELD ENGINEERING TO DETERMINE THE LOCATION OF ALL NATURAL GAS AND ELECTRIC METERS AND TRANSFORMERS AND TO SECURE APPROVAL OF GAS-SERVICE-LINE PRESSURES IN EXCESS OF SPRINGS UTILITIES STANDARD GAS SYSTEM PRESSURE. (CONTACT FIELD ENGINEERING NORTH 668-4985 OR SOUTH 668-5564).

10. IT SHALL NOT BE PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH WITHIN ANY SPRINGS UTILITIES EASEMENT OR RIGHTS OF WAY WITHOUT THE WRITTEN APPROVAL OF SPRINGS UTILITIES. IMPROVEMENTS, STRUCTURES AND TREES SHALL NOT BE LOCATED WITHIN UTILITY EASEMENT, SHALL NOT VIOLATE NATIONAL ELECTRIC SAFETY CODE (NESC) PROVISIONS AND CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.

11. SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF SPRINGS UTILITIES TO APPLY ITS STANDARDS; AND IF THERE ARE ANY CONFLICTS BETWEEN ANY APPROVED DRAWINGS AND ANY PROVISION OF STANDARDS OR CITY CODE, THEN THE STANDARDS OR CITY CODE SHALL APPLY. SPRINGS UTILITIES' APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF THE CITY OF COLORADO SPRINGS OR SPRINGS UTILITIES TO ADOPT DIFFERENT ORDINANCES, RULES, REGULATIONS, RESOLUTIONS, POLICIES OR CODES WHICH CHANGE ANY OF THE PROVISIONS OF THE STANDARDS SO LONG AS THESE APPLY TO THE CITY GENERALLY AND ARE IN ACCORD WITH THE THEN-CURRENT TARIFFS, RATES AND POLICIES OF SPRINGS UTILITIES.

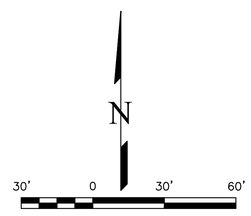



VICINITY MAP
NOT TO SCALE

***FIRE INFORMATION***

| | |
|---|---|
| SF | 22,971± SF |
| BLDG TYPE | V-A |
| SPRINKLERED | YES |
| GPM REQ'D | 1500* |
| GPM PROVIDED | 2700 |
| FH REQUIRED | 1 |
| FH PROVIDED | 1 |
| FIRE FLOW | 2 HRS |
| AVE FH SPACING | 500' |
| HOSE LAY | 250' |

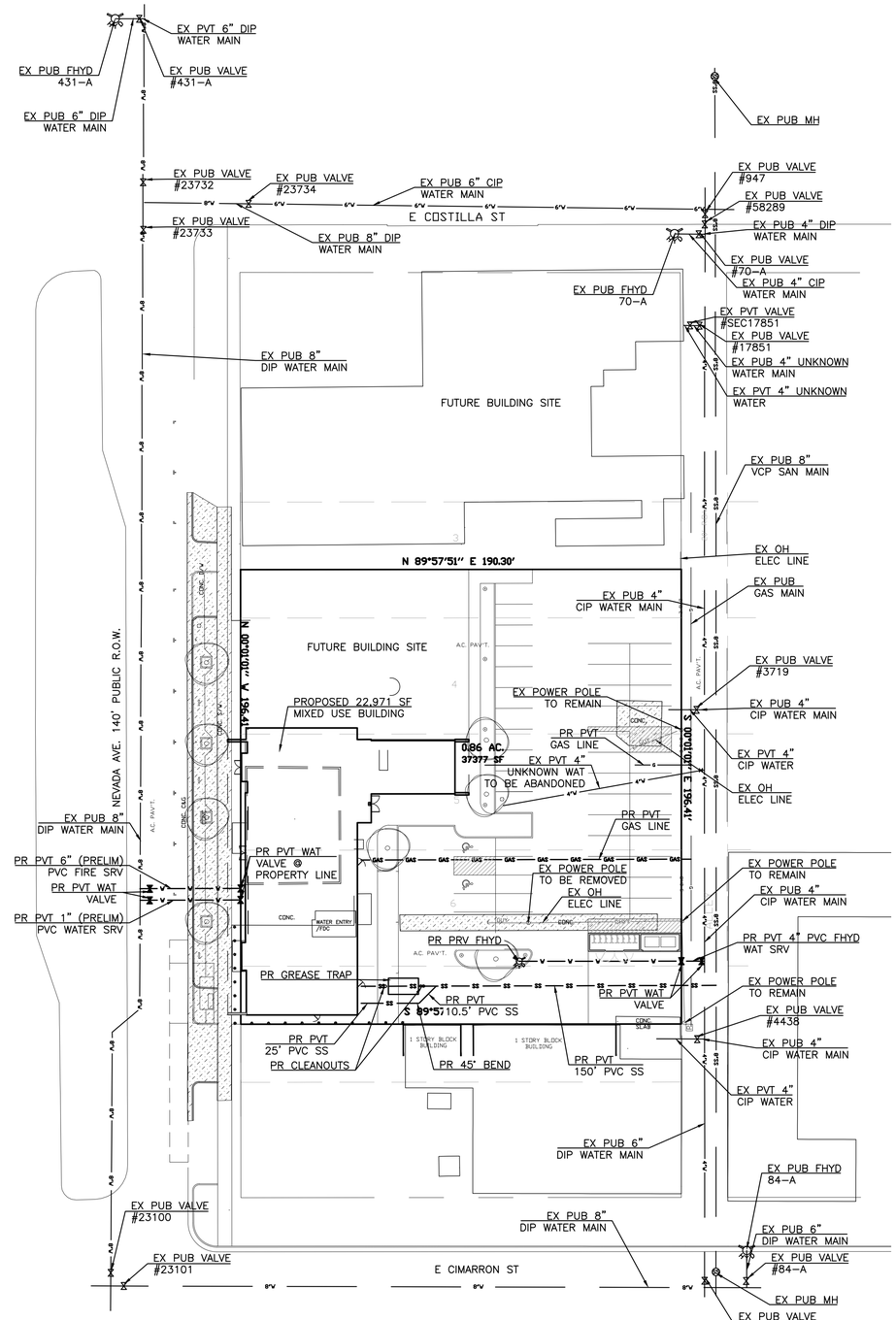
PRESSURE ZONE: LOWLINE
*SPRINKLER REDUCTION




SCALE: 1"=30'

## UTILITY PLAN LEGEND:

- SIGN POST MOUNTED AS NOTED
- EXISTING ELECTRIC TRANSFORMER
- EXISTING STORM DRAIN
- NEW LIGHT POLE
- EXISTING LIGHT POLE
- EXISTING POWER POLE
- EXISTING UNDERGROUND GAS LINE
- EXISTING OVERHEAD ELECTRIC LINE
- EXISTING CONCRETE
- PROPOSED CONCRETE
- PROPOSED CLEANOUT
- PROPOSED GREASETRAP SERVICE
- WATER LINE
- SANITARY SEWER LINE
- FIRE HYDRANT
- WATER VALVE
- TREE (EXISTING OR PROPOSED)




AR DP 18-00302

| REVISIONS | | |
|---|---|---|
| NO. | DESCRIPTION | DATE |

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, TERRA NOVA ENGINEERING, INC. APPROVES THEIR USE ONLY FOR DESIGNATED BY WRITTEN AUTHORIZATION.


PREPARED FOR:
ECHO ARCHITECTURE
ATTN: RYAN LLOYD
4 S WAHSATCH AVENUE #120
COLORADO SPRINGS, CO 80903
(719) 387-7836 EXT #1

Terra Nova Engineering, Inc.
"Creative Civil Engineering Solutions"
721 S. 23RD STREET
COLORADO SPRINGS, CO 80904
OFFICE: 719-635-6422
FAX: 719-635-6426
www.tnesinc.com


KINSHIP LANDING

PRELIMINARY UTILITY AND PUBLIC FACILITIES PLAN

| | |
|---|---|
| DESIGNED BY | LD |
| DRAWN BY | JGF |
| CHECKED BY | LD |
| H-SCALE | AS NOTED |
| V-SCALE | N/A |
| JOB NO. | 1747.00 |
| DATE ISSUED | 09/26/18 |
| SHEET NO. | 5 OF 10 |


N:\jobs\1747.00\Drawings\174700 DP.dwg, PRELIM-UTIL, 9/26/2018 2:46:25 PM

# KINSHIP LANDING

## COLORADO SPRINGS, CO

# PRELIMINARY GRADING PLAN

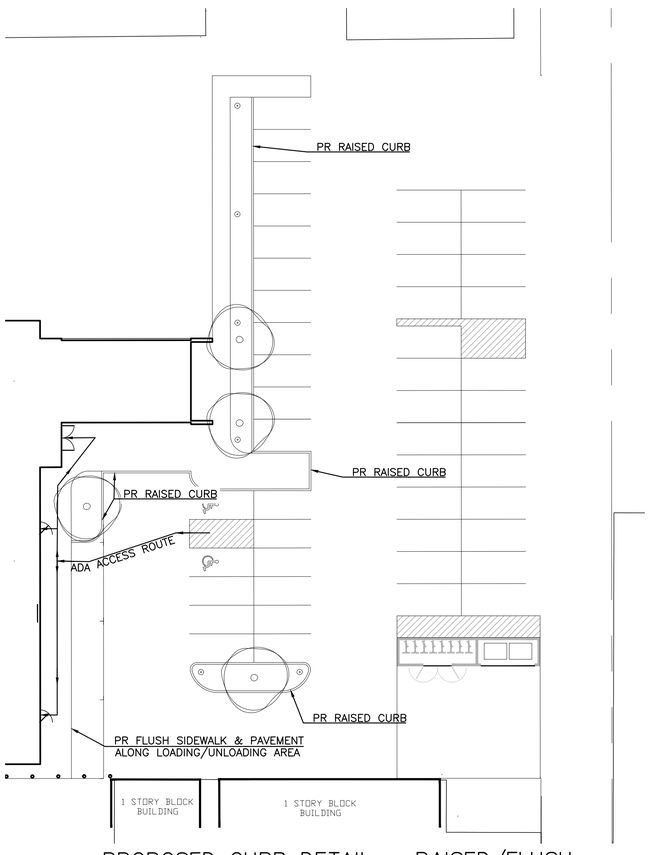
## SEPTEMBER 2018

### NOTES

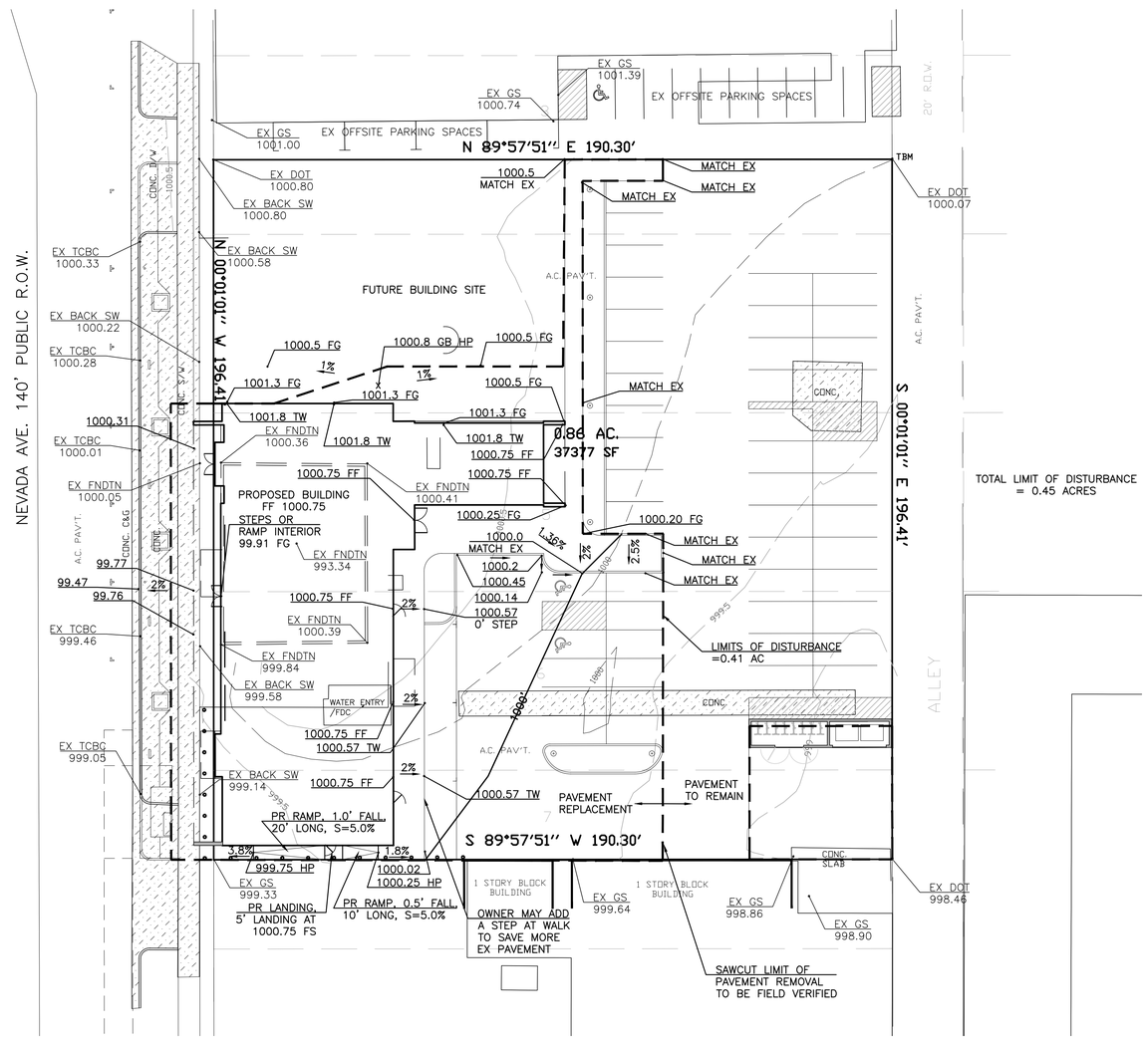
1. PROPOSED EARTHWORK VOLUME IS LESS THAN 500 CY.

### GRADING LEGEND

| | |
|---|---|
| EXISTING CONTOURS – MINOR | 6132 |
| EXISTING CONTOURS – MAJOR | 6130 |
| CONCRETE EDGE | CE |
| UNDERGROUND LOCATES (YELLOW FLAGS) | ULL(Y) |
| UNDERGROUND LINE LOCATES (RED FLAGS) | ULL(R) |
| UNDERGROUND LINE LOCATES (BLUE FLAGS) | ULL(B) |
| UNDERGROUND LINE LOCATES (ORANGE FLAGS) | ULL(O) |
| PROPOSED FINISHED GROUND | FG |
| PROPOSED FINISHED SURFACE | FS |
| PROPOSED FLOWLINE | FL |
| SPOT ELEVATION | SE |
| ASPHALT EDGE | AE |
| LOW POINT | LP |
| HIGH POINT | HP |
| EXISTING ELEVATION | 12.00 |
| GRADE & DIRECTION | 2.2% |
| TERRAIN STRING | TS |
| BOUNDARY MONUMENT | BM |
| BUILDING CORNER | BC |
| PROPOSED CONTOUR | 62 |
| EXISTING SPOT GRADE | × EX 7314.00 |
| PROPOSED SPOT GRADE | × 7314.00 |
| PROPOSED TOP OF WALK | TW |
| PROPOSED HIGH POINT | HP |
| EXISTING CONCRETE | |
| PROPOSED CONCRETE | |




PROPOSED CURB DETAIL – RAISED/FLUSH




AR DP 18-00302

REVISIONS

| NO. | DESCRIPTION | DATE |
|---|---|---|
| | | |

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, TERRA NOVA ENGINEERING, INC. APPROVES THEIR USE ONLY FOR THE PURPOSES DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR:
ECHO ARCHITECTURE
ATTN: RYAN LLOYD
4 S WAHSATCH AVENUE #120
COLORADO SPRINGS, CO 80903
(719) 387-7836 EXT #1


Terra Nova Engineering, Inc.
Creative Civil Engineering Solutions
721 S. 23RD STREET
COLORADO SPRINGS, CO 80904
OFFICE: 719-635-6422
FAX: 719-635-6426
www.tneinc.com


KINSHIP LANDING

PRELIMINARY GRADING PLAN

DESIGNED BY LD
DRAWN BY JGF
CHECKED BY LD
H-SCALE AS NOTED
V-SCALE N/A
JOB NO. 1747.00
DATE ISSUED 09/26/18
SHEET NO. 6 OF 10

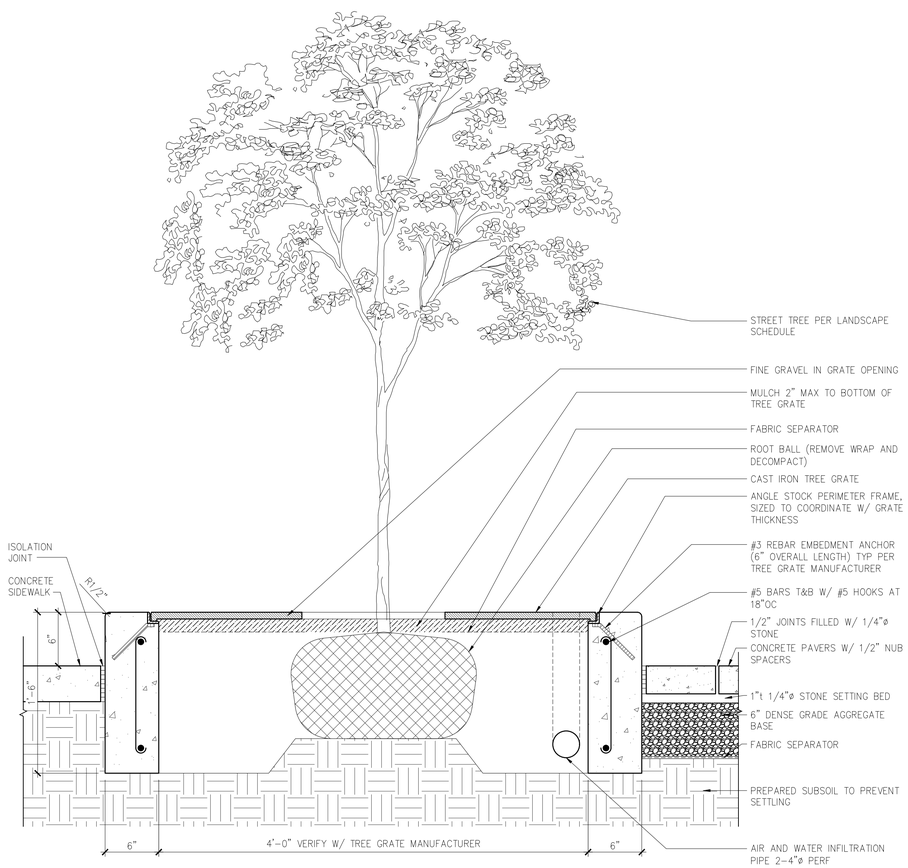

N:\jobs\1747.00\Drawings\174700 DP.dwg, PRELIM-GRAD, 9/26/2018 2:46:34 PM

## LANDSCAPE GENERAL NOTES

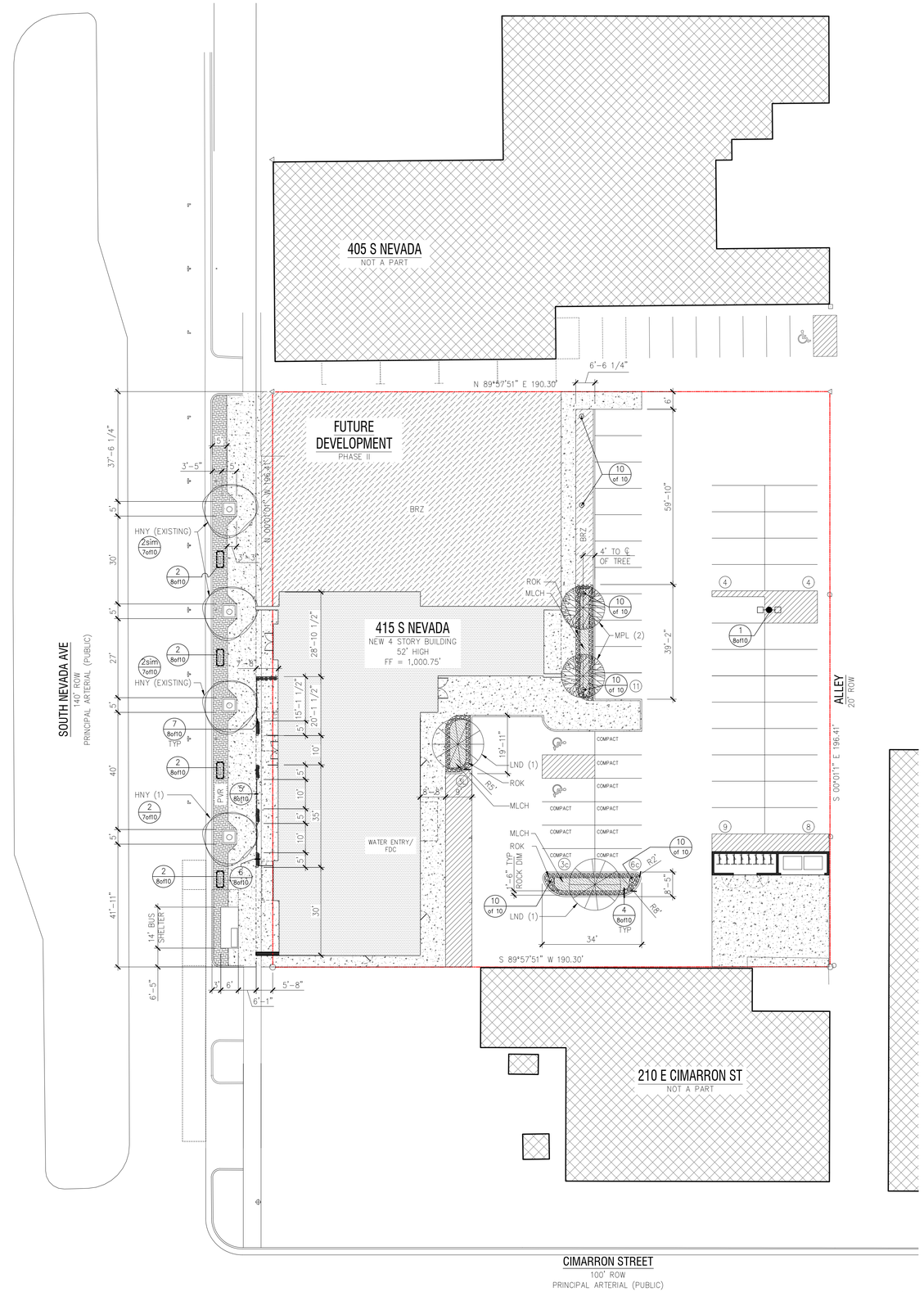
1. PROTECT ALL EXISTING STREET TREES SHOWN TO REMAIN FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE IS TO BE REPAIRED AND RESTORED BY THE CONTRACTOR TO ORIGINAL CONDITION.
2. LOCATE UTILITIES AND MAINTAIN THEIR LOCATION DURING ALL PHASES OF WORK. DO NOT DAMAGE UTILITY LINES/STRUCTURES.
3. ENSURE THAT ALL CONSTRUCTION INSTALLATION, MATERIALS, TESTING AND INSPECTION SHALL COMPLY WITH APPLICABLE CODES AND ORDINANCES.
4. TAKE ALL NECESSARY STEPS AS REQUIRED TO PROPERLY PROTECT AND MAINTAIN THIS WORK FOR THE DURATION OF THE CONTRACT.
5. ALL PLANTS WILL BE BALLED AND BURLAPPED OR CONTAINER GROWN. BARE ROOT OR SPADED PLANTS WILL NOT BE ACCEPTED.
6. PROPOSED SUBSTITUTIONS OF PLANT MATERIALS SHALL BE APPROVED BY THE ARCHITECT PRIOR TO ORDERING.
7. EXISTING STREET TREES TO REMAIN TO BE PRUNED.
8. ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET BY THE "COLORADO NURSERY ASSOCIATION AND THE "AMERICAN STANDARD OF NURSERY STOCK". ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES, FULLY BRANCHED IN PROPORTION TO WIDTH AND HEIGHT AND HAVE A RELATIVELY STRAIGHT TRUNK WITH A CENTRAL LEADER.
9. CONTRACTOR SHALL AMEND PLANTING AREAS AS FOLLOWS: ADD MINIMUM OF 3 CUBIC YARDS OF WELL-COMPOSTED AGED MANURE OR PREMIUM COMPOST PER 1,000 S.F.
10. ALL AMENDED AREAS SHALL BE TILLED TO A DEPTH OF 6"PRIOR TO PLANTING.
11. ALL NEW TREES SHALL BE IRRIGATED BY AN AUTOMATIC DRIP IRRIGATION SYSTEM EQUIPPED WITH A RAIN SENSOR SHUTOFF DEVICE. ALL IRRIGATION PIPES TO BE SLEEVED.

## PLANT SCHEDULE

| SYMBOL | MARK | QNTY | GENUS | SPECIES | COMMON NAME | SIZE | SPACING | NOTES |
|---|---|---|---|---|---|---|---|---|
| | TREES | | | | | | | |
| | HNY | 1 | GLEDITSIA | TRIACANTHOS | HONEY LOCUST | 6" MIN | AS SHOWN | (1) NEW (3) EXISTING |
| | MPL | 2 | ACER | TATARICUM | TATARIAN MAPLE | 6" MIN | AS SHOWN | |
| | LND | 2 | TILIA | CORDATA | LITTLELEAF LINDEN | 6" MIN | AS SHOWN | |
| | BRZ | | CRUSHED ROCK | COTTONWOOD BREEZE | BREEZE | 3/8"– | 1 1/2" THICK MIN | |
| | MLCH | | MULCH | GOLD METRO MULCH | BARK MULCH | | 3" THICK MIN | |
| | ROK | | DECORATIVE ROCK | 2" BLACK MEXICAN BEACH PEBBLES | ROCK | 1–2" | | |
| | PVR | | PAVER | – | – | – | PER DETAIL | PAVERS TO MATCH EXISTING AMENITY ZONE PAVERS ON WEST SIDE OF NEVADA AVE |




2 STREET TREE DETAIL (NEW TREE SHOWN, EXISTING SIMILAR)
1 1/2" = 1'-0"




1 LANDSCAPE AND SITE FURNISHING PLAN
1" = 20'

0 10' 20' 40' 80'

## SITE PLAN LEGEND

- NEW BUILDING
- EXISTING BUILDING (NOT A PART)
- NEW CONCRETE
- SOFTSCAPE (3/8"– CRUSHED ROCK)
- NEW PAVERS IN HOLLAND PATTERN PER CITY STANDARD
- 1"–2" DECORATIVE ROCK
- MULCH
- PROPERTY LINE
- 27"h FULL CUT-OFF PEDESTRIAN LOW VOLTAGE LED LIGHT BOLLARD (TYP OF 6)

# KINSHIP LANDING

415 SOUTH NEVADA AVE
COLORADO SPRINGS, CO 80903

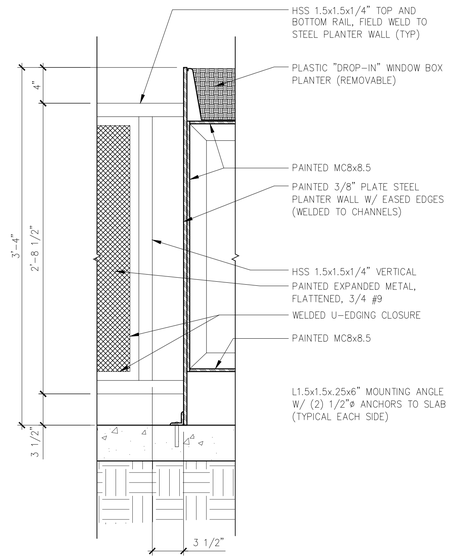
SITE PLAN/GENERAL INFO
LUR FILE #: AR DP 18-00302

ECHO ARCHITECTURE

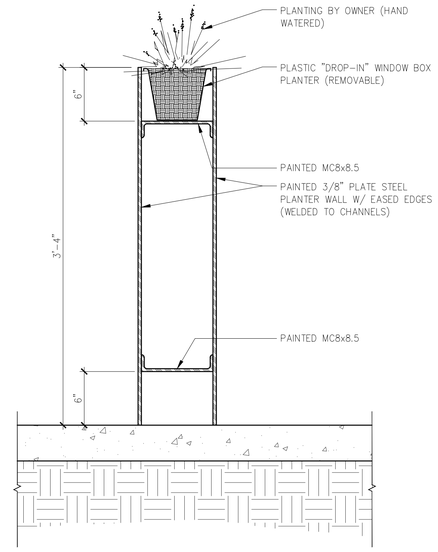
415 S NEVADA AVE
COLORADO SPRINGS


ECHO ARCHITECTURE
4 south wahsatch ave #120
colorado springs, co 80903
www.echo-arch.com
t 719.387.7836

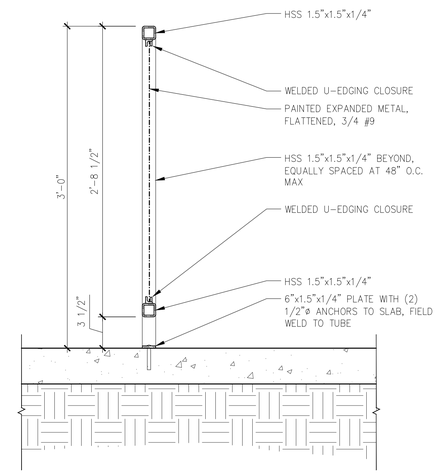

date: 09.28.2018
phase: DEV. PLAN
drawn by: RCL
sheet #: 7 of 10



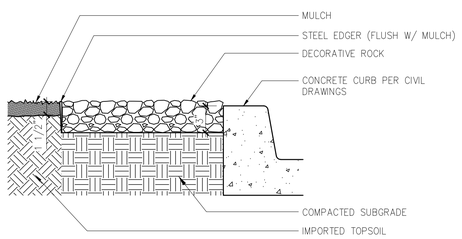

7 SITE PLANTER DETAIL (LONGITUDINAL SECTION)
1 1/2" = 1'-0"



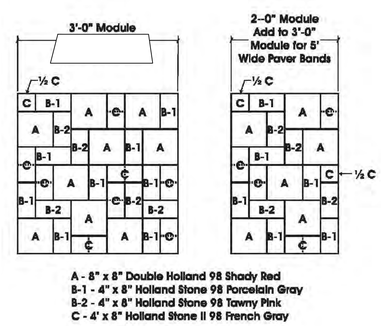

6 SITE PLANTER DETAIL (CROSS SECTION)
1 1/2" = 1'-0"



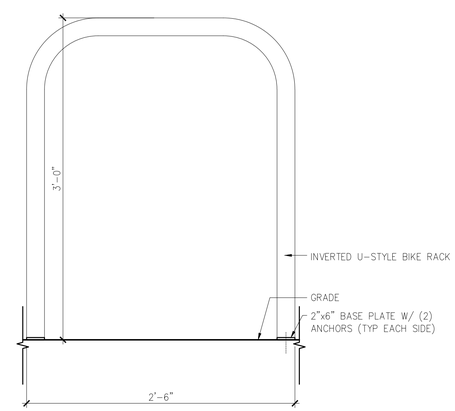

5 SITE RAIL DETAIL
1 1/2" = 1'-0"



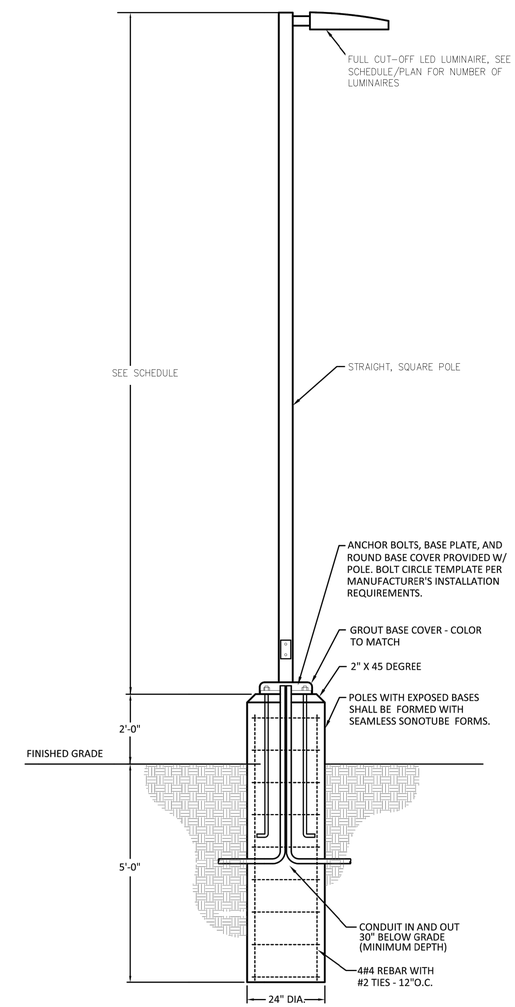

4 EDGE CONDITION - ROCK ADJACENT TO MULCH
1 1/2" = 1'-0"




3 AMENITY ZONE PAVER LAYOUT
NTS




2 INVERTED U-STYLE BIKE RACK ELEVATION
1 1/2" = 1'-0"




1 DETAIL - ELEVATED BASE
NOT TO SCALE

# KINSHIP LANDING

415 SOUTH NEVADA AVE
COLORADO SPRINGS, CO 80903

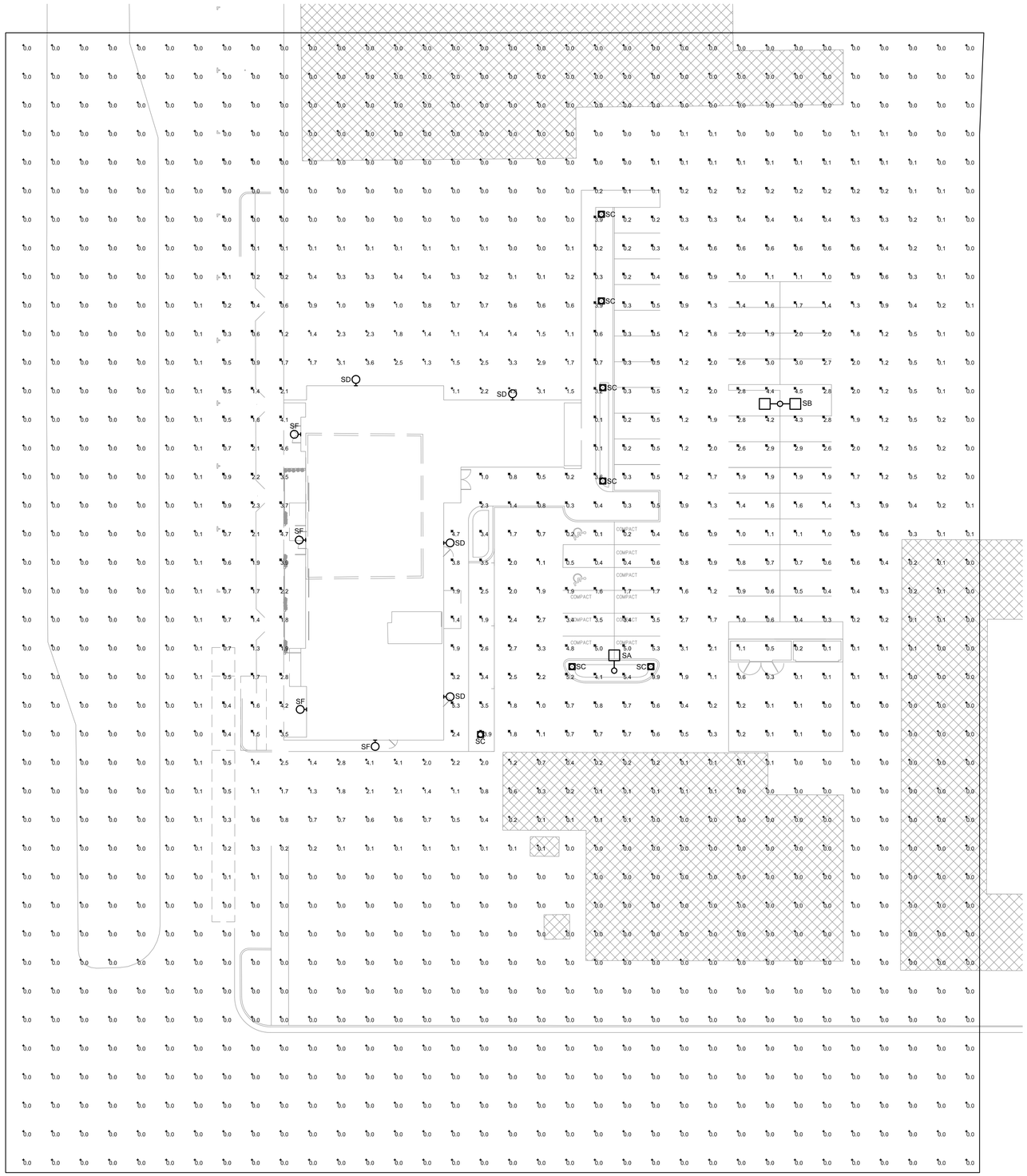
SITE PLAN/GENERAL INFO
LUR FILE #: AR DP 18-00302

ECHO ARCHITECTURE

415 S NEVADA AVE
COLORADO SPRINGS

date: 09.28.2018
phase: DEV. PLAN
drawn by: RCL
sheet #: 8 of 10

ECHO ARCHITECTURE
4 south wahsatch ave #120
colorado springs, co 80903
www.echo-arch.com
t 719.387.7836




## GENERAL NOTES

A. NOT USED.

1 **ELECTRICAL SITE PLAN**

SCALE: 1' = 20'

0 10' 20' 40' 80'

NORTH

Farnsworth GROUP
4755 FORGE ROAD, SUITE 150
COLORADO SPRINGS, COLORADO 80907
(719) 590-9194 / info@f-w.com

www.f-w.com
Engineers | Architects | Surveyors | Scientists

# KINSHIP LANDING

415 SOUTH NEVADA AVE
COLORADO SPRINGS, CO 80903

SITE PHOTOMETRIC PLAN
LUR FILE #: AR DP 18-00302

ARCHITECTURE

| | |
|---|---|
| 415 S NEVADA AVE | date: 09.13.2018 |
| COLORADO SPRINGS | phase: DEV. PLAN |
| ECHO ARCHITECTURE<br>4 south wahsatch ave #120<br>colorado springs, co 80903<br>www.echo-arch.com<br>t.719.387.7836 | drawn by: JPG |
| | sheet #: 9 of 10 |

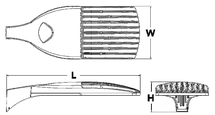
# D-Series Size 1
## LED Area Luminaire

Catalog Number
Notes
Type TYPE SA / TYPE SB

Hit the Tab key or mouse over this page to see all interactive elements.

### Specifications

| | |
|---|---|
| EPA: | 1.01 ft² (0.09 m²) |
| Length: | 33" (83.8 cm) |
| Width: | 13" (33.0 cm) |
| Height: | 7-1/2" (19.0 cm) |
| Weight (max): | 27 lbs (12.2 kg) |




### Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is A+ Certified when ordered with DTL® controls marked by a shaded background. DTL DLL equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability1
- This luminaire is part of an A+ Certified solution for ROAM® or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background[1]

To learn more about A+, visit www.acuitybrands.com/aplus.

1. See ordering tree for details.
2. A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately: Link to Roam; Link to DTL DLL

A+ Capable options indicated by this color background.

## Ordering Information

**EXAMPLE:** DSX1 LED P7 40K T3M MVOLT SPA DDBXD

**DSX1LED**

| Series | LEDs | Color temperature | Distribution | Voltage | Mounting |
|---|---|---|---|---|---|
| DSX1 LED | **Forward optics**<br>P1 P4 P7<br>P2 P5 P8<br>P3 P6 P9<br>**Rotated optics**<br>P10[7] P12[7]<br>P11[7] P13[7] | 30K 3000 K<br>40K 4000 K<br>50K 5000 K<br>AMBPC Amber phosphor converted[8] | T1S Type I short<br>T2S Type II short<br>T2M Type II medium<br>T3S Type III short<br>T3M Type III medium<br>T4M Type IV medium<br>TFTM Forward throw medium<br>T5VS Type V very short<br>T5S Type V short<br>T5M Type V medium<br>T5W Type V wide<br>BLC Backlight control[1,2]<br>LCCO Left corner cutoff[1,2]<br>RCCO Right corner cutoff[1,2] | MVOLT[4,5]<br>120[5]<br>208[5,6]<br>240[5,6]<br>277[5]<br>347[5,6,7]<br>480[5,6,7] | **Shipped included**<br>SPA Square pole mounting<br>RPA Round pole mounting<br>WBA Wall bracket<br>SPUMBA Square pole universal mounting adaptor[9]<br>RPUMBA Round pole universal mounting adaptor[9]<br>**Shipped separately**<br>KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish)[9] |

| Control options | | Other options | Finish required |
|---|---|---|---|
| **Shipped installed**<br>NLTAIR2 nLight AIR generation 2 enabled[10]<br>PER NEMA twist-lock receptacle only (controls ordered separately) [7]<br>PER5 Five-wire receptacle only (controls ordered separately) [7,11]<br>PER7 Seven-wire receptacle only (controls ordered separately) [7,11]<br>DMG 0-10V dimming extend out back of housing for external control (leads exit fixture)<br>DS Dual switching[12,13]<br>PIR Bi-level, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 5fc[3,6,14]<br>PIRH Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 5fc[3,6,14]<br>PIRHN Network, Bi-Level motion/ambient sensor[3]<br>PIR1FC3V Bi-level, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc[3,6,14,15]<br>PIR1H1FC3V Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc[3,6,14,15]<br>BL30 Bi-level switched dimming, 30%[3,14,16]<br>BL50 Bi-level switched dimming, 50%[3,14,16]<br>PNMTD03 Part night, dim till dawn[3,19]<br>PNMT5D3 Part night, dim 5 hrs[3,19]<br>PNMT6D3 Part night, dim 6 hrs[3,19]<br>PNMT7D3 Part night, dim 7 hrs[3,19]<br>FAO Field adjustable output[20] | **Shipped installed**<br>HS House-side shield[9]<br>SF Single fuse (120, 277, 347V)[1,9]<br>DF Double fuse (208, 240, 480V)[1,9]<br>L90 Left rotated optics[7]<br>R90 Right rotated optics[7]<br>**Shipped separately**<br>BS Bird spikes[21]<br>EGS External glare shield[21] | DDBXD Dark bronze<br>DBLXD Black<br>DNAXD Natural aluminum<br>DWHXD White<br>DDBTXD Textured dark bronze<br>DBLBXD Textured black<br>DNATXD Textured natural aluminum<br>DWHGXD Textured white<br>DSSTXD Textured sandstone |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# D-Series Size 1
## LED Wall Luminaire

Catalog Number
Notes
Type TYPE SD / TYPE SF

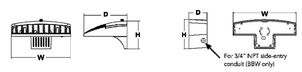
Hit the Tab key or mouse over this page to see all interactive elements.

### Specifications
#### Luminaire

| | | | |
|---|---|---|---|
| Width: | 13-3/4" (34.9 cm) | Weight: | 12 lbs (5.4 kg) |
| Depth: | 10" (25.4 cm) | | |
| Height: | 6-3/8" (16.2 cm) | | |

#### Back Box (BBW, ELCW)

| | | | |
|---|---|---|---|
| Width: | 13-3/4" (34.9 cm) | BBW Weight: | 5 lbs (2.3 kg) |
| Depth: | 4" (10.2 cm) | ELCW Weight: | 10 lbs (4.3 kg) |
| Height: | 6-3/8" (16.2 cm) | | |




### Introduction

The D-Series Wall luminaire is a stylish, fully integrated LED solution for building-mount applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.

With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

## Ordering Information

**EXAMPLE:** DSXW1 LED 20C 1000 40K T3M MVOLT DDBTXD

**DSXW1 LED**

| Series | LEDs | Drive Current | Color temperature | Distribution | Voltage | Mounting | Control Options |
|---|---|---|---|---|---|---|---|
| DSXW1 LED | 10C 10 LEDs (one engine)<br>20C 20 LEDs (two engines)[7] | 350 350 mA<br>530 530 mA<br>700 700 mA<br>1000 1000 mA (1 A)[1] | 30K 3000 K<br>40K 4000 K<br>50K 5000 K<br>AMBPC Amber phosphor converted | T2S Type I Short<br>T2M Type I Medium<br>T3S Type II Short<br>T3M Type II Medium<br>T4M Type III Medium<br>TFTM Forward Throw Medium<br>ASYZE Asymmetric diffuse | MVOLT[2,3]<br>120[3]<br>208[3,4]<br>240[3,4]<br>277[3]<br>347[3,4]<br>480[3,4] | **Shipped included**<br>(blank) Surface mounting bracket<br>BBW Surface-mounted back box (for conduit entry)[5] | **Shipped Installed**<br>PE Photoelectric cell, button type[6]<br>DMG 0-10V dimming driver (no controls; wires pulled outside fixture)[7]<br>PIR 180° motion/ambient light sensor, <15' mtg ht[1,2]<br>PIRH 180° motion/ambient light sensor, 15-30' mtg ht[1,2]<br>PIR1FC3V Motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc[1,2]<br>PIRH1FC3V Motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc[1,2]<br>ELCW Emergency battery backup (includes external component enclosure), non CEC compliant[8] |

| Other Options | | Finish required |
|---|---|---|
| **Shipped Installed**<br>SF Single fuse (120, 277 or 347V)[1,9]<br>DF Double fuse (208, 240 or 480V)[1,9]<br>HS House-side shield[10]<br>SPD Separate surge protection | **Shipped separately**[10]<br>BSW Bird-deterrent spikes<br>WG Wire guard<br>VG Vandal guard<br>DDL Diffused drop lens | DDBXD Dark bronze<br>DBLXD Black<br>DNAXD Natural aluminum<br>DWHXD White<br>DDBTXD Textured dark bronze<br>DBLBXD Textured black<br>DNATXD Textured natural aluminum<br>DSSTXD Textured sandstone<br>DWHGXD Textured white |

### Accessories
Ordered and shipped separately.

| | |
|---|---|
| DSHW1S U | House-side shield (one per light engine) |
| DSBWSW U | Bird-deterrent spikes |
| DSGWTUNE U | Wire guard accessory |
| DSVWTYG U | Vandal guard accessory |

### NOTES

1. 20C 1000 is not available with PIR, PIRH, PIR1FC3V or PIRH1FC3V.
2. MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
3. Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
4. Only available with 20C, 700mA or 1000mA. Not available with PIR or PIRH.
5. Back box ships installed on fixture. Cannot be field installed. Cannot be ordered as an accessory.
6. Photocontrol (PE) requires 120, 208, 240, 277 or 347 voltage option. Not available with motion/ambient light sensors (PIR or PIRH).
7. Reference Motion Sensor table on page 3.
8. Cold weather (-20C) rated. Not compatible with conduit entry applications. Not available with BBW mounting option. Not available with fusing. Not available with 347 or 480 voltage options. Emergency components located in back box housing. Emergency mode IES files located on product page at www.lithonia.com.
9. Not available with ELCW.
10. Also available as a separate accessory; see Accessories information.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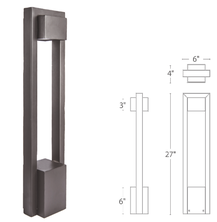
# PARK 12V/120V/277V LED BOLLARD
## 6641/6642/6643

WAC LANDSCAPE LIGHTING

Fixture Type: TYPE SC
Catalog Number:
Project:
Location:




**PRODUCT DESCRIPTION**

Sleek linear design blends seamlessly into pathways while providing soft, even illumination

**FEATURES**

- IP66 rated, Protected against powerful water jets
- Factory sealed water tight fixtures
- Mounting accessories included
- UL & cUL 1838 Listed (12V); 1598 Listed (120V/277V)

**SPECIFICATIONS**

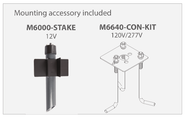
**6641**
**Input:** 9-15VAC (Transformer is required)
**Power:** 5.5W / 6.0VA
**Brightness:** Up to 150 lm
**CRI:** 90
**Rated Life:** 60,000 hours
**Dimming:** MLV dimming only

**6642**
**Input:** 120V
**Power:** 12.5W
**Brightness:** Up to 390 lm
**CRI:** 90
**Rated Life:** 60,000 hours
**Dimming:** TRIAC or ELV dimming

**6643**
**Input:** 277V
**Power:** 10.5W
**Brightness:** Up to 430 lm
**CRI:** 90
**Rated Life:** 60,000 hours
**Dimming:** ELV dimming only

| *Model* | | *Color Temp* | | *Finishes* | |
|---|---|---|---|---|---|
| **6641** | *12V* | **27** | *2700K Warm White* | **BZ** | *Bronze on Aluminum* |
| | | **30** | *3000K Pure White* | **BK** | *Black on Aluminum* |
| **6642** | *120V* | **27** | *2700K Warm White* | **BZ** | *Bronze on Aluminum* |
| | | **30** | *3000K Pure White* | **BK** | *Black on Aluminum* |
| **6643** | *277V* | **27** | *2700K Warm White* | **BZ** | *Bronze on Aluminum* |
| | | **30** | *3000K Pure White* | **BK** | *Black on Aluminum* |

Mounting accessory included




**6643-____BZ**

Example: **6643-30BZ**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*WAC Lighting retains the right to modify the design of our products at any time as part of the company's continuous improvement program.*

| LUMINAIRE SCHEDULE | | | | | | | |
|---|---|---|---|---|---|---|---|
| Mark | Symbol | Qty | Label | Distribution Type | Lamp Lumens | Watts | Description |
| SA | | 1 | LITHONIA - DSX1 LED P4 30K T3M MVOLT | Type 3 Medium | 13,064 Lumens | 125 | LED LOW PROFILE DESIGN POLE MOUNTED LUMINAIRE, MOUNTED ON 15.0 FT SQUARE STRAIGHT STEEL POLE, BLACK COLOR |
| SB | | 2 | LITHONIA - DSX1 LED P3 30K T3M MVOLT | Type 3 Medium | 11,338 Lumens | 204 | LED LOW PROFILE DESIGN POLE MOUNTED LUMINAIRE, MOUNTED ON 20.0 FT SQUARE STRAIGHT STEEL POLE, BLACK COLOR |
| SC | | 7 | WAC - 6642-30BZ | Type 5 | 477 Lumens | 12 | LANDSCAPE BOLLARD LUMINAIRE, BRONZE ON ALUMINUM |
| SD | | 4 | LITHONIA - DSXW1 LED 20C 700 30K TFTM MVOLT | Fwd Throw Medium | 5,172 Lumens | 46 | EXTERIOR WALL MOUNTED LUMINAIRE, MOUNTED AT 10.0 FT AFF, BLACK COLOR |
| SF | | 4 | LITHONIA - DSXW1 LED 20C 700 30K T3M MVOLT | Type 3 Medium | 5,078 Lumens | 46 | EXTERIOR WALL MOUNTED LUMINAIRE, MOUNTED AT 10.0 FT AFF, BLACK COLOR |


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ELECTRICAL SCHEDULES
LUR FILE #: AR DP 18-00302

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date: 09.13.2018
phase: DEV. PLAN
drawn by: JPG
sheet #: 10 of 10