

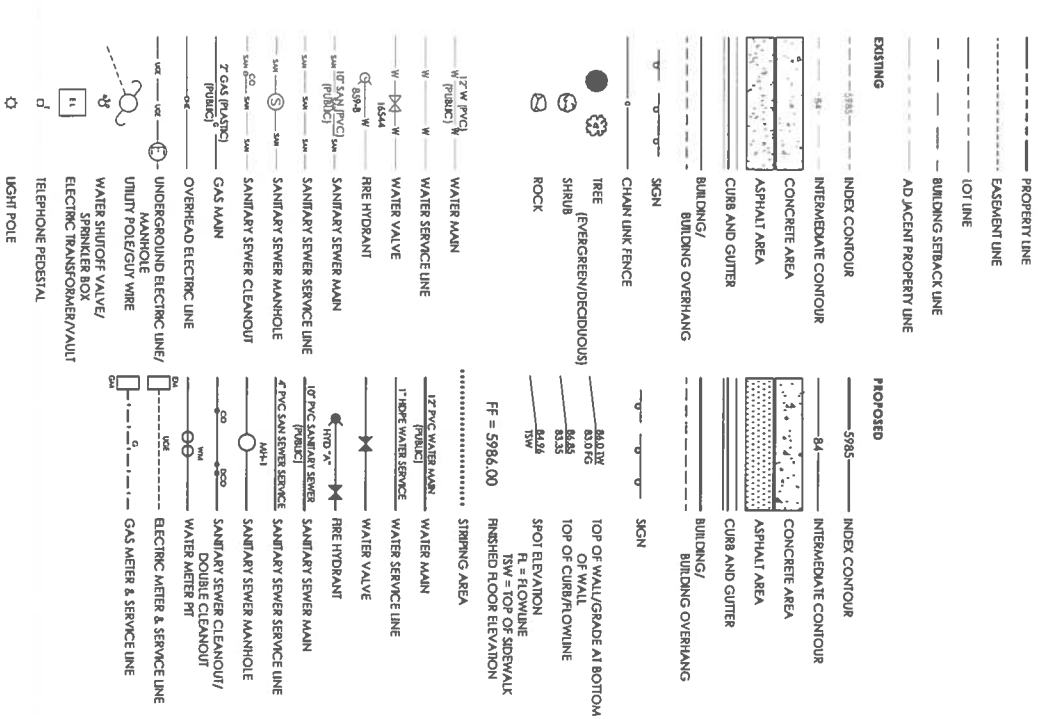
DEVELOPMENT PLAN FOR

SUN MOUNTAIN TOWNHOMES

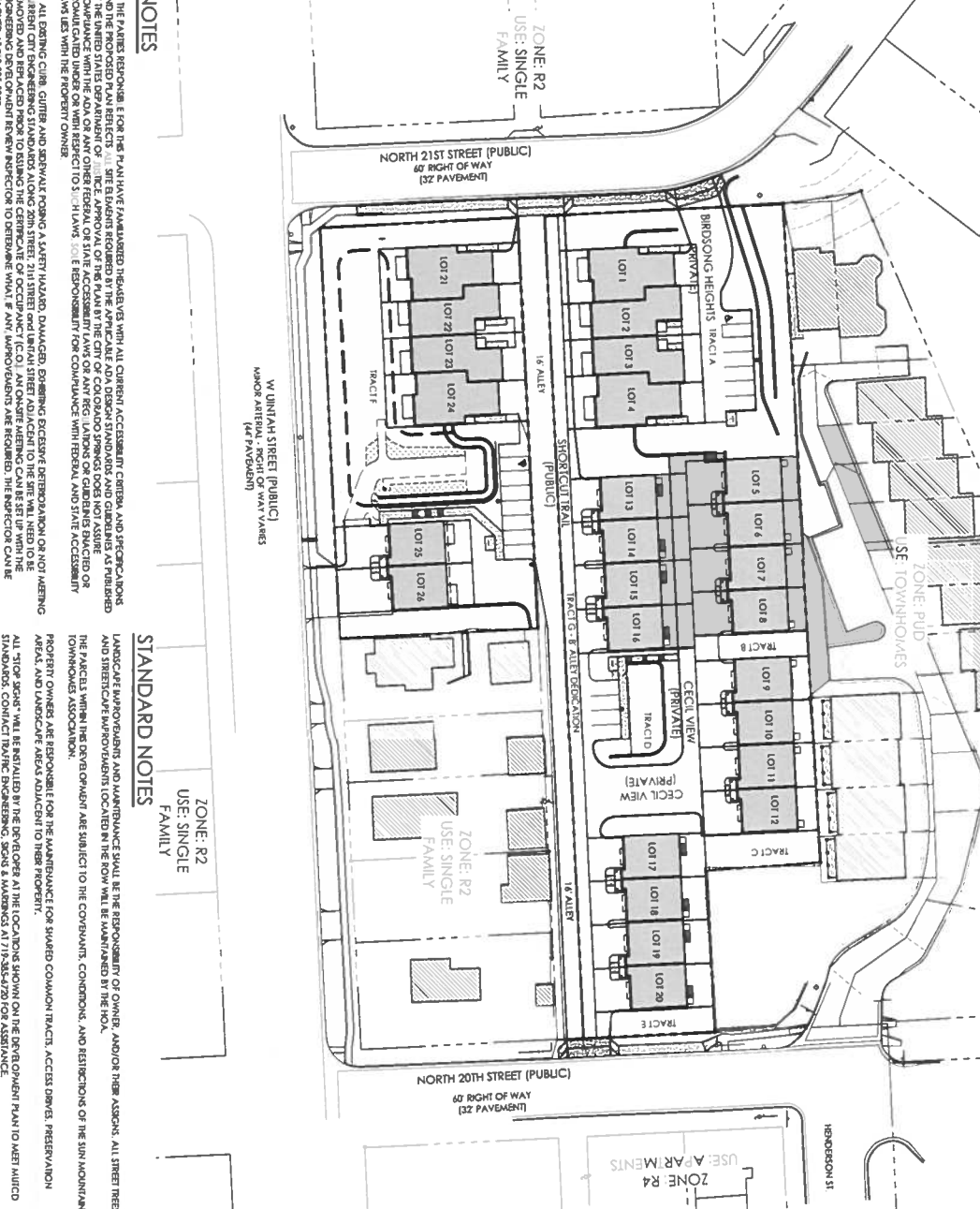
BLOCK 43, ADDITION NO. 2 TO THE TOWN OF WEST COLORADO SPRINGS, COLORADO SPRINGS, COUNTY OF EL PASO,

STATE OF COLORADO

LEGEND



PROPOSED



NOTES

1. THE OWNER'S RESPONSIBILITY FOR THE PLAN HAS BEEN FULLY EXAMINED AND FOUND TO BE IN ACCORDANCE WITH THE CITY'S STANDARDS AND REGULATIONS... 2. ALL EXISTING UTILITIES AND SERVICES SHALL BE MAINTAINED AT ALL TIMES... 3. THE PROPOSED DEVELOPMENT SHALL BE SUBJECT TO THE CITY'S STANDARDS AND REGULATIONS...

STANDARD NOTES

1. THE PROJECT OWNER IS RESPONSIBLE FOR THE MAINTENANCE OF ALL UTILITIES AND SERVICES... 2. THE PROPOSED DEVELOPMENT SHALL BE SUBJECT TO THE CITY'S STANDARDS AND REGULATIONS...

SHEET INDEX:

Table with columns: SHEET NO., COVER SHEET, SITE PLAN, ADJ. ACCESS PLAN, PRELIMINARY GRADING PLAN, FACILITIES PLAN, FEE ACCESS / EASEMENT PLAN, ELEVATIONS, LANDSCAPE & IRRIGATION, PHOTOGRAPHIC PLAN.

SITE DATA

OWNER: M4 DEVELOPMENT LLC, 50 POLO POINT DRIVE, COLORADO SPRINGS, CO 80906
APPLICANT: MAVE, INC.
CURRENT ADDRESS: 520 N. 20TH STREET, 527 N. 21ST STREET, 2024 W. URBAN STREET

COVERAGE DATA

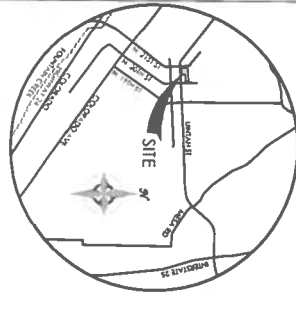
PROPOSED BUILDING (ROOM) 26,480 SF (72.4%)
PAYMENT (PARKING/WALK) 27,974 SF (28.9%)
LANDSCAPING 42,290 SF (43.7%)

PARKING DATA

REQUIRED SPACES: 52 SPACES (26 DWELING, SINGLE FAMILY ATTACHED UNITS [2 PER DWELING UNIT])
TOTAL PROVIDED SPACES: 57 SPACES

LEGAL DESCRIPTION

LOTS 1 THROUGH 14 AND 31 THROUGH 40, INCLUSIVE, AND THE SOUTHERN HALF OF VACATED HENDERSON STREET AND THE SOUTHERLY 80 FEET OF LOTS 17, 18, 19 AND 20, BLOCK 43, ADDITION NO. 2 TO THE TOWN OF WEST COLORADO SPRINGS, COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO.



MVE, INC. ENGINEERS, SURVEYORS
1903 lelay street, suite 200 colorado springs, co 80909 719.635.5736

DESIGNED BY: [Blank]
DRAWN BY: [Blank]
CHECKED BY: ASABULTS BY [Blank]
CHECKED BY: [Blank]

SUN MOUNTAIN TOWNHOMES DEVELOPMENT PLAN COVER SHEET

DP-1 MAVE PROJECT 51516 DEV-CS
DECEMBER 5, 2024 SHEET 1 OF 18

NOT A CONSTRUCTION DOCUMENT

THIS PLAN SHALL NOT BE USED FOR CONSTRUCTION PURPOSES. IT IS PREPARED FOR THE CITY OF COLORADO SPRINGS AND IS NOT TO BE USED FOR CONSTRUCTION PURPOSES. IT IS REQUIRED THAT ANY SUBSEQUENT CONSTRUCTION PLANS ADHERE TO THE APPROVED DEVELOPMENT PLAN.

FLOODPLAIN STATEMENT

THE PROPERTY IS LOCATED WITHIN FEMA DESIGNATED FLOOD ZONE X (AREA OF REMOTE FLOOD HAZARD) AS SHOWN ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR COLORADO SPRINGS, COLORADO AND FLOODPROOFED AREAS - MAP NUMBER 0801270400, EFFECTIVE DATE 12/16/11.

EASEMENT STATEMENT

EXISTING AIR RIGHTS, EASEMENTS, OR ENCUMBRANCES ARE NOT SHOWN ON THIS PLAN. THE PROPERTY OWNER, ALL OTHER OWNERS AND INTERESTS OF RECORD AND RECORD AFFECTING ANY OF THE PLATTED PROPERTY DEPICTED HEREON SHALL NOT BE AFFECTED AND SHALL REMAIN IN FULL FORCE AND EFFECT.

MAP NOTES

1. THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED BY MVE, INC. USING DATA PROVIDED BY POLARIS SURVEYING INC. (UNADJ. 2011).

MAP NOTES

1. THE PARTS RESPONSIBLE FOR THE PLAN HAVE EXAMINED THE DESIGN WITH ALL CURRENT ACCESSORY UTILITY, CEMENT AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL THE EASEMENTS REQUIRED BY THE APPLICABLE AEA DESIGN STANDARDS AND GENERALLY AS INDICATED BY THE PARTIAL PLAN REFLECTS THE APPLICABLE AEA DESIGN STANDARDS AND GENERALLY AS INDICATED BY THE PARTIAL PLAN REFLECTS THE APPLICABLE AEA DESIGN STANDARDS AND GENERALLY AS INDICATED BY THE PARTIAL PLAN...

GEOLOGIC HAZARD DISCLOSURE

THE PROPERTY IS SUBJECT TO THE RISK OF SEISMICITY AND CONSEQUENCES OF A GEOLOGIC HAZARD REPORT PREPARED BY BRICH INC. (UNADJ. 2011) AND THE PROPERTY IS SUBJECT TO THE RISK OF SEISMICITY AND CONSEQUENCES OF A GEOLOGIC HAZARD REPORT PREPARED BY BRICH INC. (UNADJ. 2011).

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NOTE: THE PARCEL AND DEED RECORD INFORMATION WILL BE LISTED BY TRACT NUMBER OF LAND.

ZONE: PUD
USE: TOWNHOMES



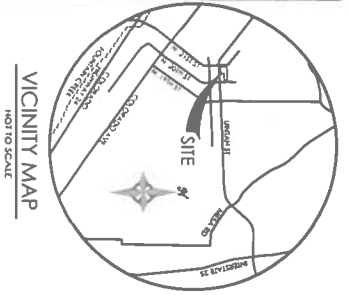
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W UINTAH STREET (PUBLIC)
MAJOR ARTERIAL
RIGHT OF WAY
(SEE DETAIL)

WARNING
THIS AREA IS A STORMWATER FACILITY AND IS SUBJECT TO PERIODIC FLOODING DO NOT PLAY WITH WATER PRESENT

POND SIGNAGE:
WHITE SIGN w/ RED LETTERS

DEPN-24-0111



MVE, INC.
ENGINEERS, SURVEYORS

1903 Melroy street, suite 200 colorado springs co 80909 719.635.5736

REVISIONS

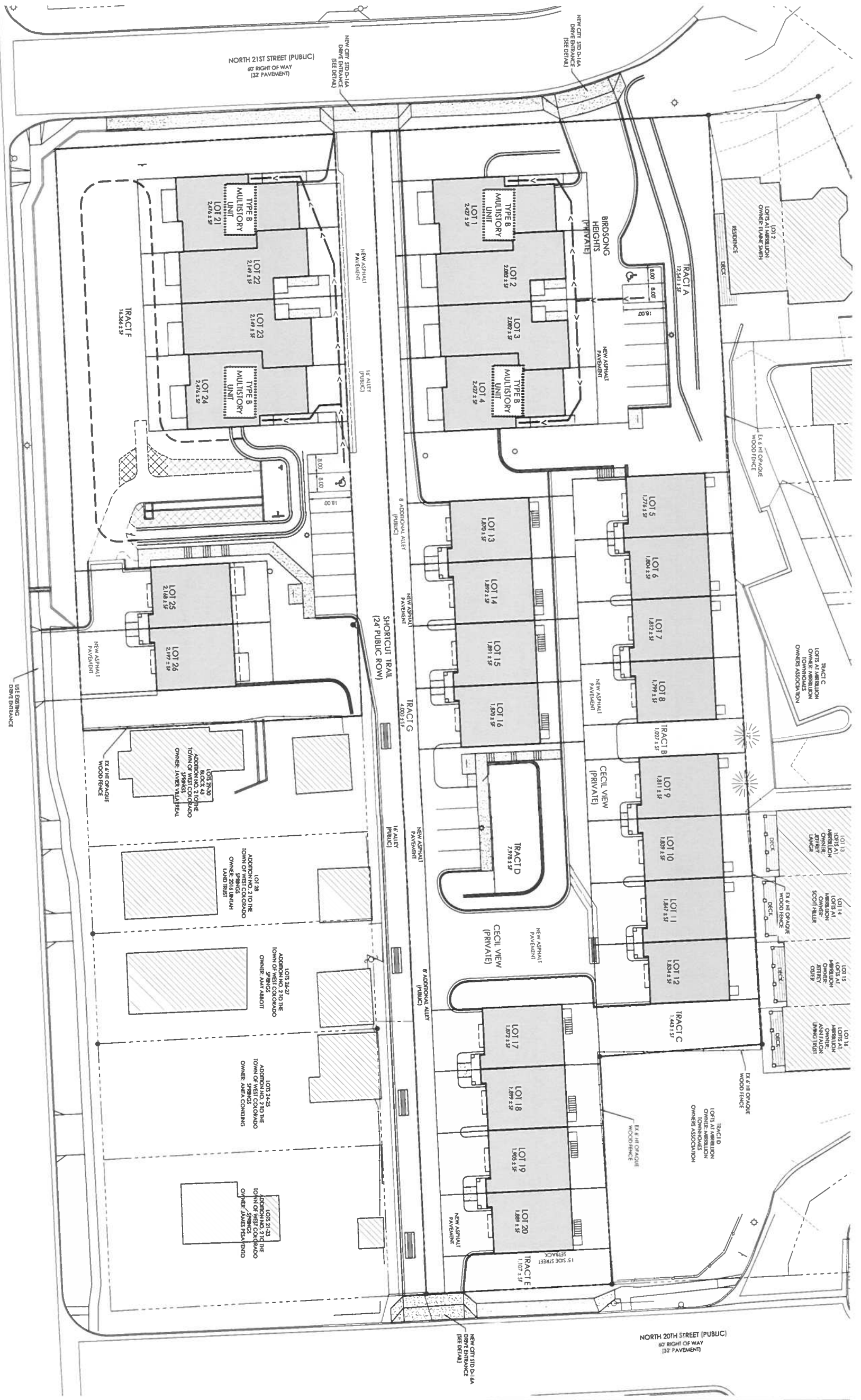
DESIGNED BY
DRAWN BY
CHECKED BY
AS BUILT BY
CHECKED BY

SUN MOUNTAIN
TOWNHOMES

DEVELOPMENT PLAN
SITE PLAN

DP-2 MVE PROJECT 51516
MVE DRAWING DEV-SP

DECEMBER 5, 2024
SHEET 2 OF 18



POINT CALCULATION:

REQUIRED:
 PER C.S. & A. 106, 12 POINTS ARE NEEDED FOR THIS SITE.
PROVIDED:
 15 - 26 UNITS (TYPE B MULTIFAMILY) = 12 POINTS REQUIRED
 4 TYPE B MULTIFAMILY UNITS = 12 POINTS PROVIDED
 DEFICIT OF UNITS COUNTY WITH R200 / MC 1107.

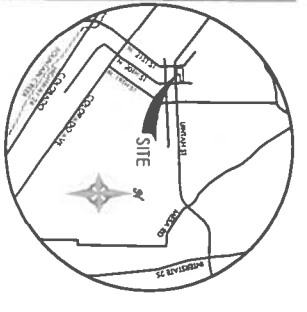
PARKING DATA

REQUIRED SPACES:
 24 DWELLING SINGLE FAMILY ATTACHED UNITS (2 PER DWELLING UNIT) = 52 SPACES
 GUEST PARKING (10% REQ SPACES) = 5 SPACES
 TOTAL REQUIRED SPACES = 57 + 5 = 62 SPACES
PROVIDED SPACES:
 52 SPACES
 5 SPACES
 70 SPACES

ADA NOTE

THE PLANNING RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS FURNISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE PLANNING BOARD DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR ORDINANCES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.
 ACCESSIBLE PARKING SPACES, ACCESSIBLE, AND SIGNAGE SHALL MEET ALL APPLICABLE CITY CODE REQUIREMENTS INCLUDING:
 1. ACCESSIBLE PARKING SPACES SHALL BE MARKED WITH FOUR INCH (4") LINES.
 2. ACCESSIBLE PARKING SPACES SHALL BE MARKED WITH FOUR INCH (4") LINES.
 3. ACCESSIBLE PARKING SPACES SHALL BE DESIGNATED AS RESERVED BY A SIGN SHOWING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY.
 4. ACCESSIBLE PARKING SPACES SHALL BE DESIGNATED AS RESERVED BY A SIGN SHOWING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY.
 5. ACCESSIBLE PARKING SPACES SHALL BE NO SMALLER THAN 8'6" INCHES (8'6") BY 13'0" INCHES (13'0") AND SHALL BE OCCUPIED AT THE REAR OF THE SPACE WITH THE BOTTOM OF THE SIGN BETWEEN FIVE FEET (5') AND SEVEN FEET (7') ABOVE THE FINISH FLOOR OR GRADING SURFACE.

NOT A CONSTRUCTION DOCUMENT
 THIS PLAN SHALL NOT BE USED FOR CONSTRUCTION PURPOSES. IT IS THE RESPONSIBILITY OF THE DEVELOPER TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. IT IS REQUIRED THAT ANY SUBSEQUENT CONSTRUCTION PLANS ADHERE TO THE APPROVED DEVELOPMENT PLAN.



MVE, INC.
 ENGINEERS, SURVEYORS

1903 kelaray street, suite 200 colorado springs co 80909 719.635.5736

DESIGNED BY _____
 DRAWN BY _____
 CHECKED BY _____
 ASSAULTS BY _____
 CHECKED BY _____

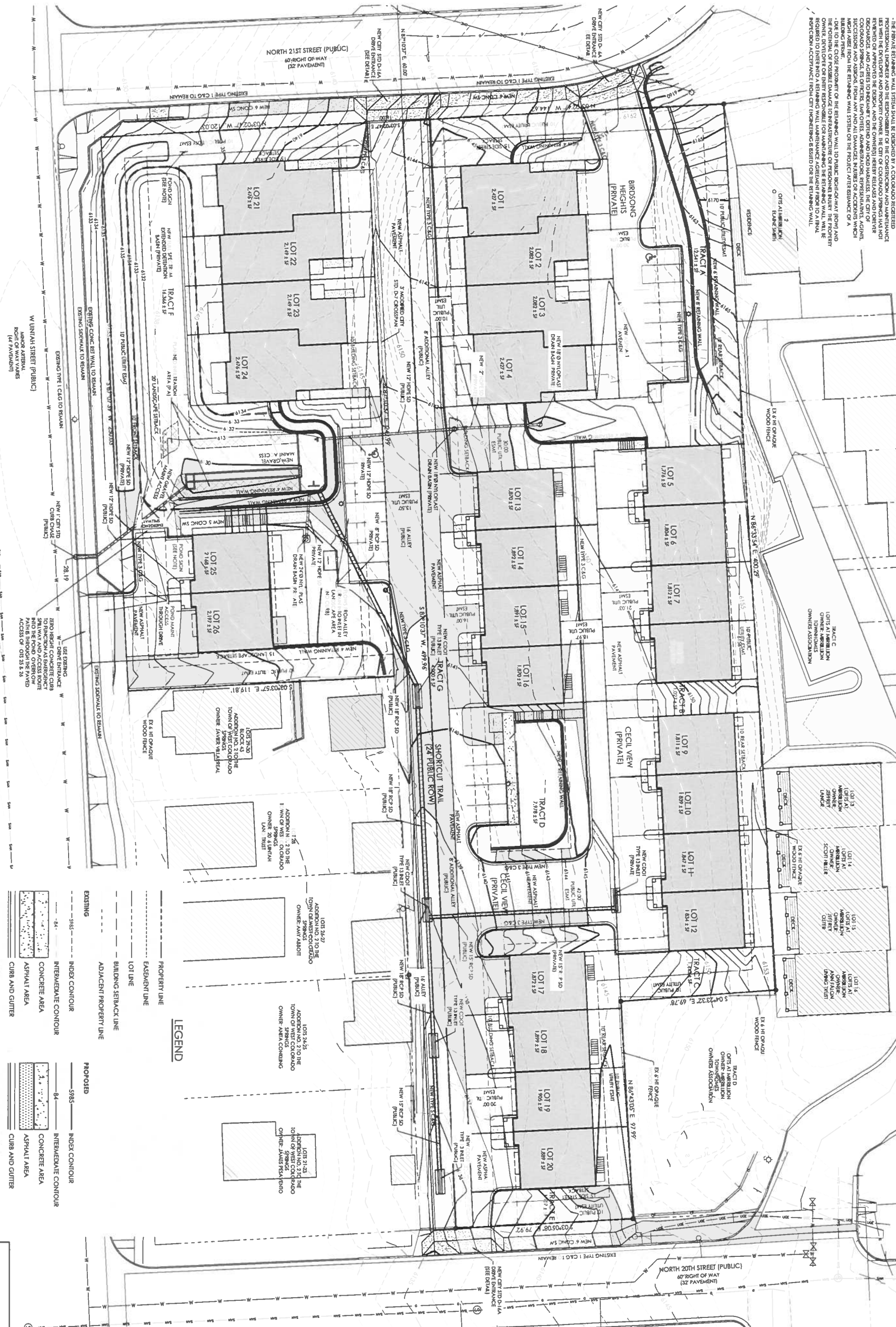
SUN MOUNTAIN TOWNHOMES
 DEVELOPMENT PLAN
 ADA ACCESS PLAN

DP-3 MVE PROJECT 51516
 MVE DRAWING DEV-ADA
 DECEMBER 5, 2025
 SHEET 3 OF 18

DEPN-24-0111

RETAINING WALLS:

THE PRIVATE RETAINING WALL SYSTEM SHALL BE DESIGNED BY A COLORADO REGISTERED PROFESSIONAL ENGINEER AND CONTRACTOR AND SHALL BE REVIEWED AND APPROVED BY THE ENGINEER AND PROPERTY OWNER. THE CITY OF COLORADO SPRINGS SHALL REVIEW AND APPROVE THE DESIGN, AND THE OWNER(S) HEREBY RELEASES AND AGREES TO INDEMNIFY, DEFEND AND HOLD HARMLESS THE CITY OF COLORADO SPRINGS AND ITS OFFICIALS AND EMPLOYEES FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE ASSERTED AGAINST THE CITY OF COLORADO SPRINGS OR ITS OFFICIALS AND EMPLOYEES AS A RESULT OF THE DESIGN OR CONSTRUCTION OF THE RETAINING WALL SYSTEM. THE ENGINEER SHALL BE RESPONSIBLE FOR MAINTAINING THE RETAINING WALL, AND THE PROPERTY OWNER(S) SHALL BE RESPONSIBLE FOR MAINTAINING THE RETAINING WALL. THE ENGINEER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLORADO SPRINGS.



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PRIVATE TO PUBLIC STORM SEWERS:

ALL PRIVATE TO PUBLIC STORM SEWER CONNECTIONS MUST BE INSPECTED BY AN ENGINEERING DEVELOPMENT REVIEW INSPECTOR.

POND SIGNAGE:

WHITE SIGN W/ RED LETTERS
 THIS AREA IS A STORMWATER FACILITY AND IS SUBJECT TO PERIODIC FLOODING DO NOT PLAY WITH WATER PRESENT

LEGEND

EXISTING	PROPOSED
INDEX CONTOUR	INDEX CONTOUR
INTERMEDIATE CONTOUR	INTERMEDIATE CONTOUR
CONCRETE AREA	CONCRETE AREA
ASPHALT AREA	ASPHALT AREA
CURB AND GUTTER	CURB AND GUTTER
BUILDING/ BUILDING OVERHANG	BUILDING/ BUILDING OVERHANG
CHAIN LINK FENCE	CHAIN LINK FENCE
TREE (EVERGREEN/DECIDUOUS)	TREE (EVERGREEN/DECIDUOUS)
SHRUB	SHRUB
ROCK	ROCK
PROPERTY LINE	PROPERTY LINE
EASEMENT LINE	EASEMENT LINE
LOT LINE	LOT LINE
BUILDING SETBACK LINE	BUILDING SETBACK LINE
ADJACENT PROPERTY LINE	ADJACENT PROPERTY LINE
ADDITION NO. 21 TO THE TOWN OF WEST COLO SPRINGS OWNER: JAMES VALLERIE	ADDITION NO. 21 TO THE TOWN OF WEST COLO SPRINGS OWNER: JAMES VALLERIE
ADDITION NO. 21 TO THE TOWN OF WEST COLO SPRINGS OWNER: JAMES VALLERIE	ADDITION NO. 21 TO THE TOWN OF WEST COLO SPRINGS OWNER: JAMES VALLERIE
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MVE, INC.
 ENGINEERS, SURVEYORS

DESIGNED BY
 DRAWN BY
 CHECKED BY
 ASSEMBLED BY
 CHECKED BY

SUN MOUNTAIN TOWNHOMES

DEVELOPMENT PLAN PRELIMINARY GRADING PLAN

DP-4 51516
 DEV-PG
 DECEMBER 5, 2024
 SHEET 4 OF 18

DEPN-24-0111

**COLORADO SPRINGS UTILITIES
GENERAL NOTES FOR ALL PRELIMINARY UTILITY PLANS**

- PROPERTY OWNER(S) ACKNOWLEDGE AND AGREE TO THE FOLLOWING UPON APPROVAL OF PRELIMINARY UTILITY PLAN:
 - COLORADO SPRINGS UTILITIES (SPRING UTILITIES) SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION OF ALL WATER, WASTEWATER, FIBER, GAS AND FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THE PRELIMINARY UTILITY PLAN.
 - PROPERTY OWNER(S) FURTHER ACKNOWLEDGE THAT THE CONNECTION AND/OR EXTENSION OF UTILITY FACILITIES SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER(S) AND SHALL BE COMPLETED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OF THE PROJECT. THE PROPERTY OWNER(S) SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLORADO SPRINGS AND THE COLORADO SPRINGS UTILITIES DEPARTMENT. THE PROPERTY OWNER(S) SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLORADO SPRINGS AND THE COLORADO SPRINGS UTILITIES DEPARTMENT.
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INFORMATION ITEMS

1. FUTURE CONTRACT UTILITIES (OVERHEAD SERVICES) SHALL BE 17.44 AND 11.17 FOR AN ESTIMATE OF DEVELOPMENT CHARGES. THE PROPERTY OWNER(S) SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLORADO SPRINGS AND THE COLORADO SPRINGS UTILITIES DEPARTMENT.
2. THE PROPERTY OWNER(S) SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLORADO SPRINGS AND THE COLORADO SPRINGS UTILITIES DEPARTMENT.
3. THE PROPERTY OWNER(S) SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLORADO SPRINGS AND THE COLORADO SPRINGS UTILITIES DEPARTMENT.
4. THE PROPERTY OWNER(S) SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLORADO SPRINGS AND THE COLORADO SPRINGS UTILITIES DEPARTMENT.
5. THE PROPERTY OWNER(S) SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLORADO SPRINGS AND THE COLORADO SPRINGS UTILITIES DEPARTMENT.
6. THE PROPERTY OWNER(S) SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLORADO SPRINGS AND THE COLORADO SPRINGS UTILITIES DEPARTMENT.
7. THE PROPERTY OWNER(S) SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLORADO SPRINGS AND THE COLORADO SPRINGS UTILITIES DEPARTMENT.
8. THE PROPERTY OWNER(S) SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLORADO SPRINGS AND THE COLORADO SPRINGS UTILITIES DEPARTMENT.
9. THE PROPERTY OWNER(S) SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLORADO SPRINGS AND THE COLORADO SPRINGS UTILITIES DEPARTMENT.
10. THE PROPERTY OWNER(S) SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLORADO SPRINGS AND THE COLORADO SPRINGS UTILITIES DEPARTMENT.
11. THE PROPERTY OWNER(S) SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLORADO SPRINGS AND THE COLORADO SPRINGS UTILITIES DEPARTMENT.

NOTES:

1. ALL NEW UTILITIES SHOWN ON THE PRELIMINARY UTILITY PLAN ARE PRELIMINARY ONLY AND NOT FOR CONSTRUCTION. FINAL CONSTRUCTION DOCUMENTS SHALL BE PREPARED DURING FINAL DESIGN AND APPROVED BY COLORADO SPRINGS UTILITIES.
2. THE LOCATION OF ALL NEW GAS AND ELECTRIC FACILITIES SHOWN ON THE PRELIMINARY UTILITY PLAN ARE SUBJECT TO APPROVAL BY THE CITY OF COLORADO SPRINGS AND THE COLORADO SPRINGS UTILITIES DEPARTMENT. THE PROPERTY OWNER(S) SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLORADO SPRINGS AND THE COLORADO SPRINGS UTILITIES DEPARTMENT.
3. FINISH SHALL NOT STOP ACCESS TO UTILITY LINES OR CONFLICT WITH UTILITY EQUIPMENT.
4. ALL EXISTING UTILITY SERVICES FOR THE PROPERTY SHALL BE REMOVED AND OR ABANDONED PER COLORADO SPRINGS UTILITIES STANDARDS.
5. VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO START OF WORK. CALL 811 FOR UTILITY LOCATIONS. THE PROPERTY OWNER(S) SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLORADO SPRINGS AND THE COLORADO SPRINGS UTILITIES DEPARTMENT.

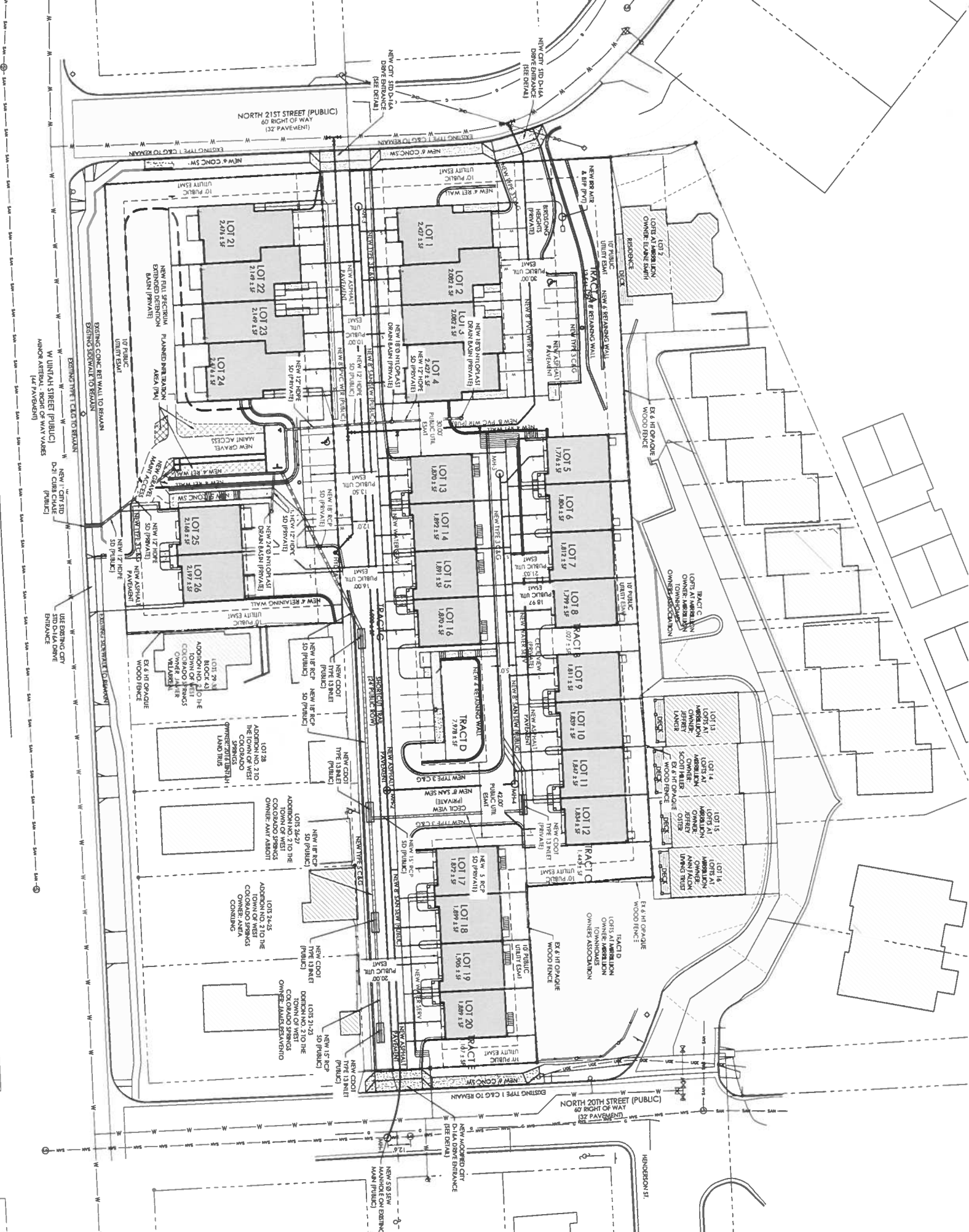
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MAP NOTES

1. THE EXISTING TOPOGRAPHY SHOWN ON THE PLAN WAS PREPARED BY AEC INC. USING DATA PROVIDED BY POLARIS SURVEYING, INC. (DATE DETERMINED BY 1999).
2. ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THE MAP ARE FROM UTILITY MAIN RECORD MAPS AND UTILITY SERVICE LOCATIONS MAY BE OBTAINED FROM COLORADO SPRINGS UTILITIES. THE LOCATION OF UTILITIES SHOWN ARE APPROXIMATE. ALL UTILITIES LOCATIONS WERE NOT REPROBATED.

PRELIMINARY FIRE FLOW REQUIREMENTS

- PROPOSED BUILDING - 4 PLEX TOWN HOMES
SINGLE FAMILY ATTACHED
GROSS BUILDING AREA = 2,240 SF (LARGEST INDIVIDUAL UNIT)
IBC BUILDING CONSTRUCTION TYPE = V-8
- FIRE FLOW REQUIREMENTS:
REQ. FIRE FLOW = 1,500 GPM
REQ. NO. OF HYDRANTS = 1
REQ. AVG. HYDRANT SPACING = 500 FT
MAX. HOSE LAY DISTANCE = 250 FT
- FIRE SPRINKLERS: NO
FIRE WALLS: YES
- CANNOT REDUCE GPM DUE TO MINIMUM REQUIRED FIRE FLOW = 1,500 GPM



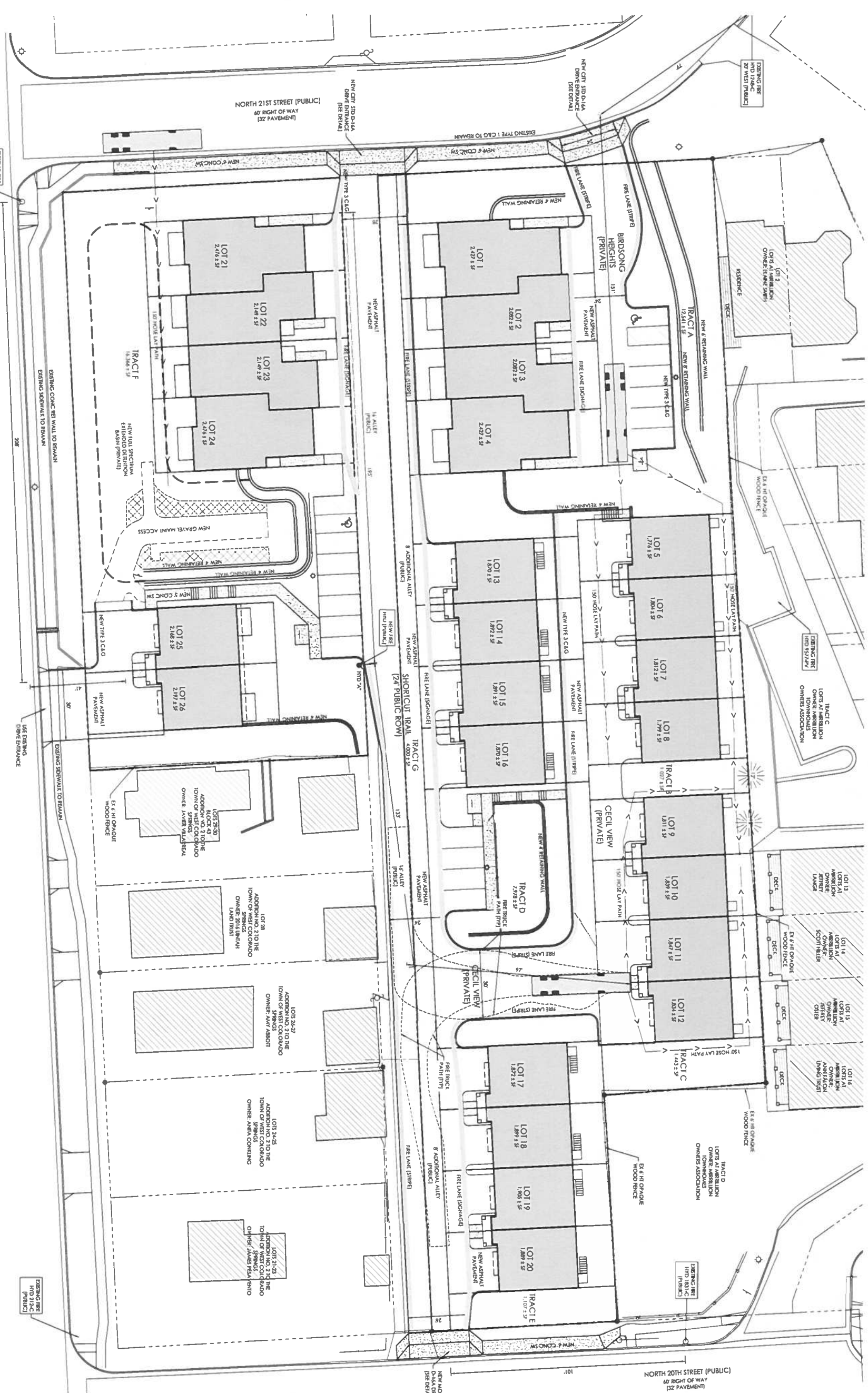
1903 leslay street, suite 900 colorado springs co 80909 719.635.5736

DESIGNED BY
DRAWN BY
CHECKED BY
AS-BUILT BY
CHECKED BY

SUN MOUNTAIN TOWNHOMES

DEVELOPMENT PLAN
PRELIMINARY UTILITIES AND
PUBLIC FACILITIES PLAN

DP-5 AVE PROJECT 51516
AVE DRAWING DEV-PU
DECEMBER 5, 2024
SHEET 5 OF 18



NOT A CONSTRUCTION DOCUMENT
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NOTE

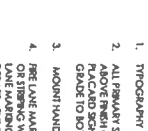
2015 IFC - ACCESS AND LOADING FACILITIES, BUILDINGS OR PORTIONS OF BUILDINGS HEREONER CONSTRUCTED SHALL BE ACCESSIBLE TO FIRE DEPARTMENT VEHICLES AND EQUIPMENT. ACCESS SHALL BE PROVIDED TO ALL ACCESS ROADS WITH AN ASPHALT CONCRET OR OTHER APPROVED DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS WITH A MINIMUM SINGLE AXLE WEIGHT OF 37,000 POUNDS.

PRELIMINARY FIRE FLOW REQUIREMENTS

PROPOSED BUILDING - 4 PLEX TOWNHOMES
 SINGLE FAMILY ATTACHED
 GROSS BUILDING AREA = 2240 SF (LARGEST INDIVIDUAL UNIT)
 IFC BUILDING CONSTRUCTION TYPE = V-8

FIRE FLOW REQUIREMENTS:
 REG. FIRE FLOW = 1,500 GPM
 REG. NO. OF HYDRANTS = 1
 REG. AVG. HYDRANT SPACING = 500 FT
 MAX. HOSE LAY DISTANCE = 250 FT

FIRE WALLS: YES
 CANNOT REDUCE 50% DUE TO MINIMUM REQUIRED FIRE FLOW = 1,500 GPM

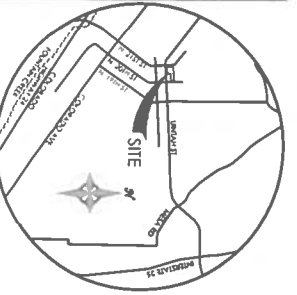


1. THROUGH TO THE NEVERTICA MEDIAN
2. ALL PARKING SPOTS TO BE MARKED ON MEAN SIGN HOOT: 7'-2" ABOVE FINISH GRADE TO BOTTOM OF SIGNPOST. ADDITIONAL GRADE TO BOTTOM OF SIGNPOST AT LEAST 4" ABOVE FINISH GRADE TO BOTTOM OF SIGNPOST.
3. MODERN NUMBERING SHALL BE PROVIDED AS SHOWN. OTHER SIGNAGE OR MARKING SHALL BE PROVIDED IN LOCATIONS SHOWN ON PLAN. FIRE DEPARTMENT VEHICLES SHALL BE ALLOWED TO REVERSE JULY 2016.
4. FIRE LANE MARKINGS SHALL BE PROVIDED AS SHOWN. OTHER SIGNAGE OR MARKING SHALL BE PROVIDED IN LOCATIONS SHOWN ON PLAN. FIRE DEPARTMENT VEHICLES SHALL BE ALLOWED TO REVERSE JULY 2016.

SITE SIGNAGE LEGEND

SCALE: 1" = 1'-0"

DEPN-24-0111



VICINITY MAP
 NOT TO SCALE



MVE, INC.
 ENGINEERS SURVEYORS

1903 kelley street, suite 200 colorado springs co 80909 719.635.5736

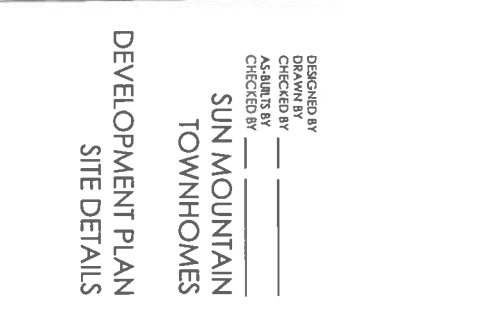
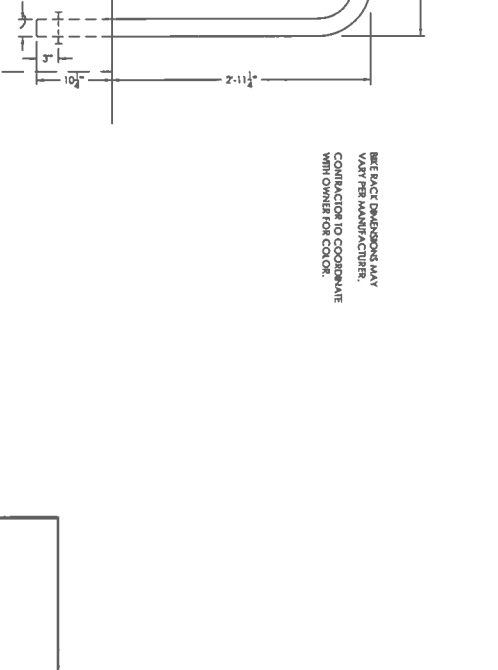
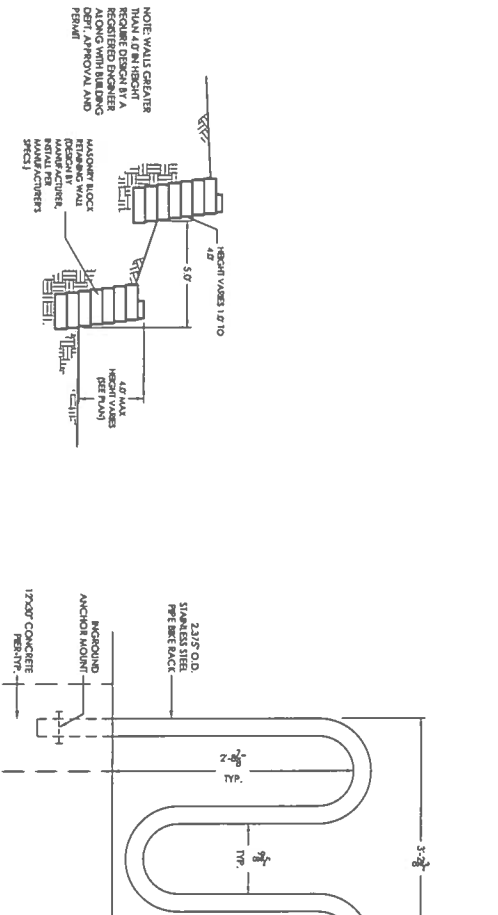
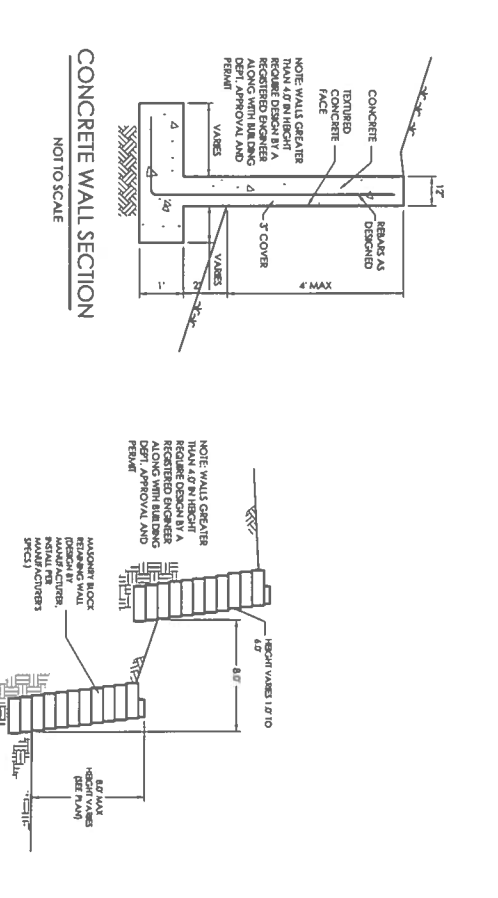
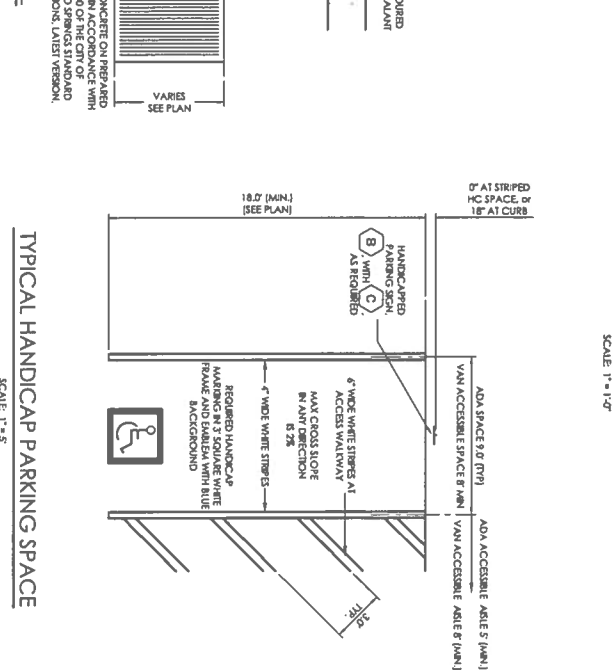
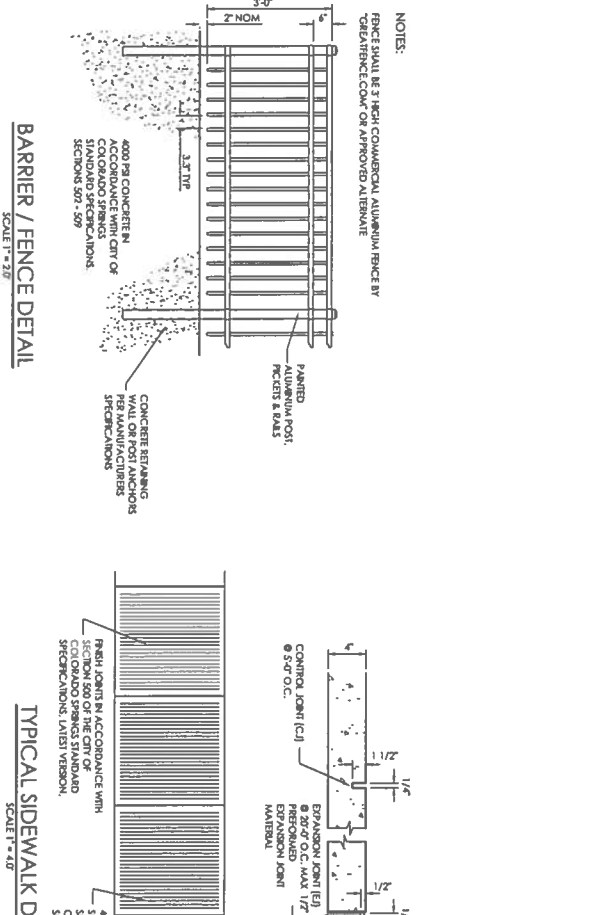
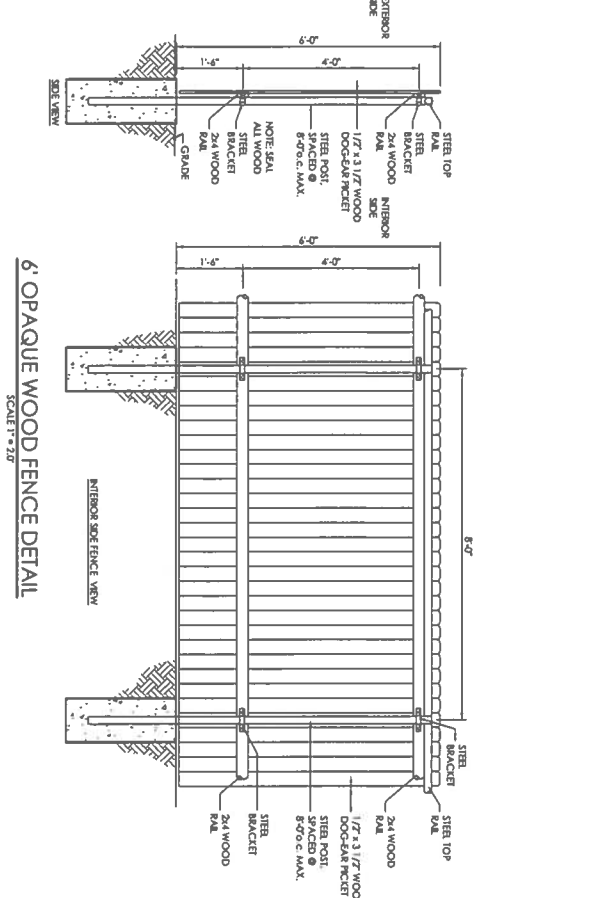
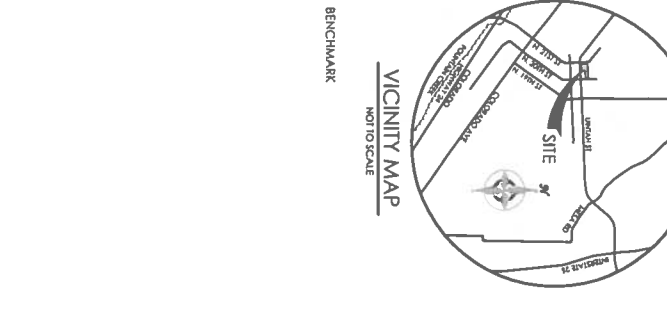
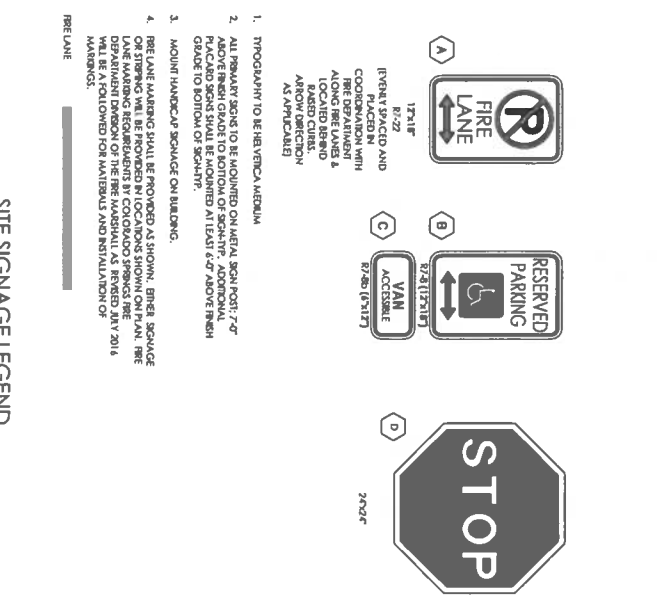
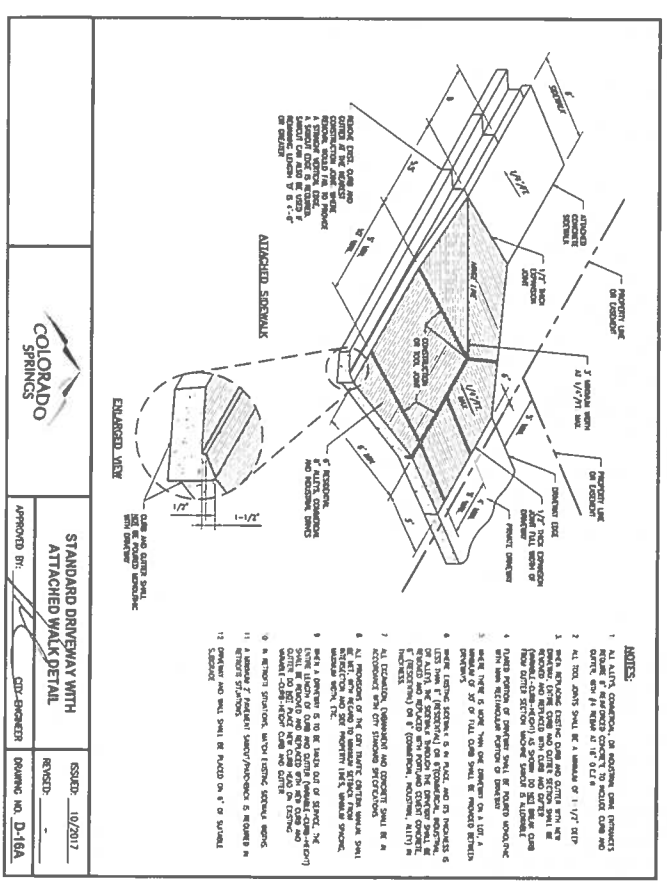
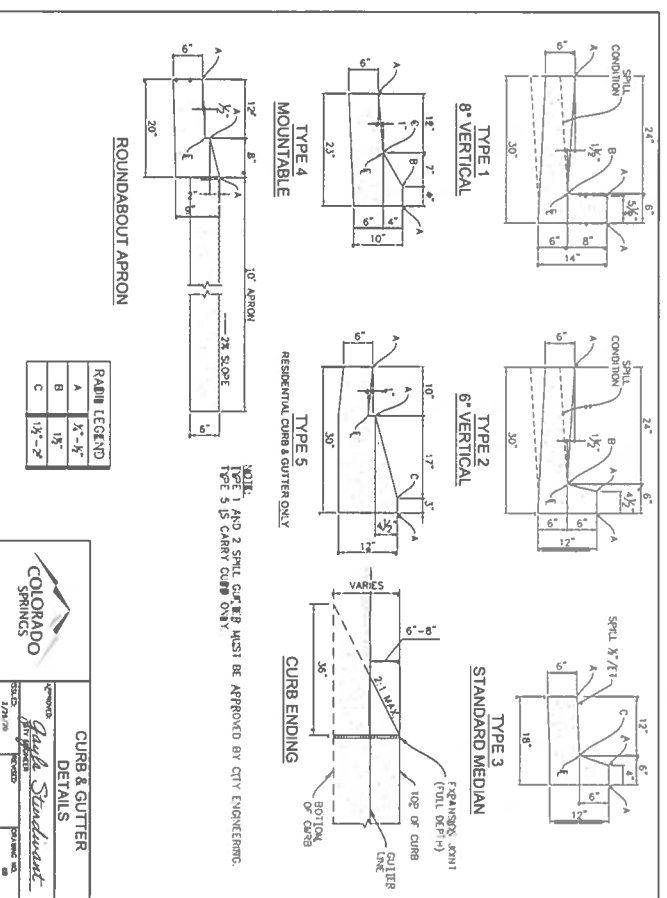
REVISIONS

DESIGNED BY
 DRAWN BY
 CHECKED BY
 AS-BUILT BY
 CHECKED BY

SUN MOUNTAIN
 TOWNHOMES

DEVELOPMENT PLAN
 FIRE ACCESS &
 HYDRANT PLAN

DP-6
 AVE PROJECT 51516
 AVE DRAWING DEV-FIRE
 DECEMBER 5, 2024
 SHEET 6 OF 18



NOT A CONSTRUCTION DOCUMENT

THIS PLAN SHALL NOT BE USED FOR CONSTRUCTION PURPOSES. IT IS PROVIDED FOR THE CITY OF COLORADO SPRINGS DEVELOPMENT PLAN APPROVAL PROCESS ONLY. IT IS REQUIRED THAT ANY SUBSEQUENT CONSTRUCTION PLANS ADHERE TO THE APPROVED DEVELOPMENT PLAN.

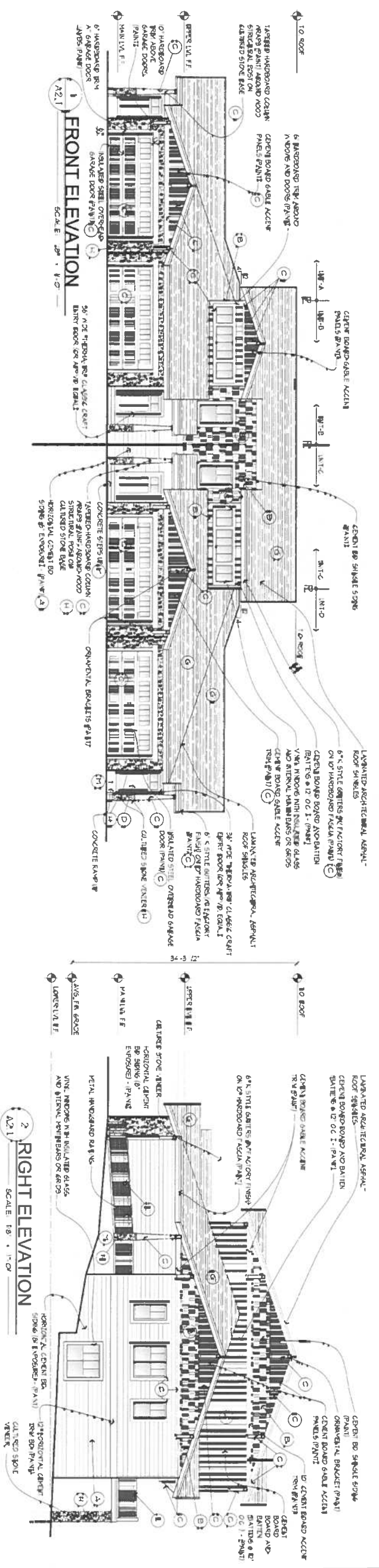
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DEPN-24-0111



COLOR SCHEDULE

A	SHESUN WALLS - KENICK OLIVE SW 2875
B	SHESUN WALLS - KENICK GOLDEN OAK SW 2974
C	SHESUN WALLS - DONNA SAND SW 2827
D	SHESUN WALLS - ROYCE COPPER BEP SW 2899
E	SHESUN WALLS (LEFT OPEN)
F	SHESUN WALLS (LEFT OPEN)
G	GAF - TERRENE AEROSOL-TEC 17 DARKWOOD LAMINATED ARCHITECTURAL ROOF SHINGLE
H	EXPOSED CONCRETE (WATERS STEPS SIDEWALKS FOUNDATIONS)
I	EXPOSED CONCRETE (WATERS STEPS SIDEWALKS FOUNDATIONS)

BUILDING HEIGHT CALCULATIONS (7.6.204)

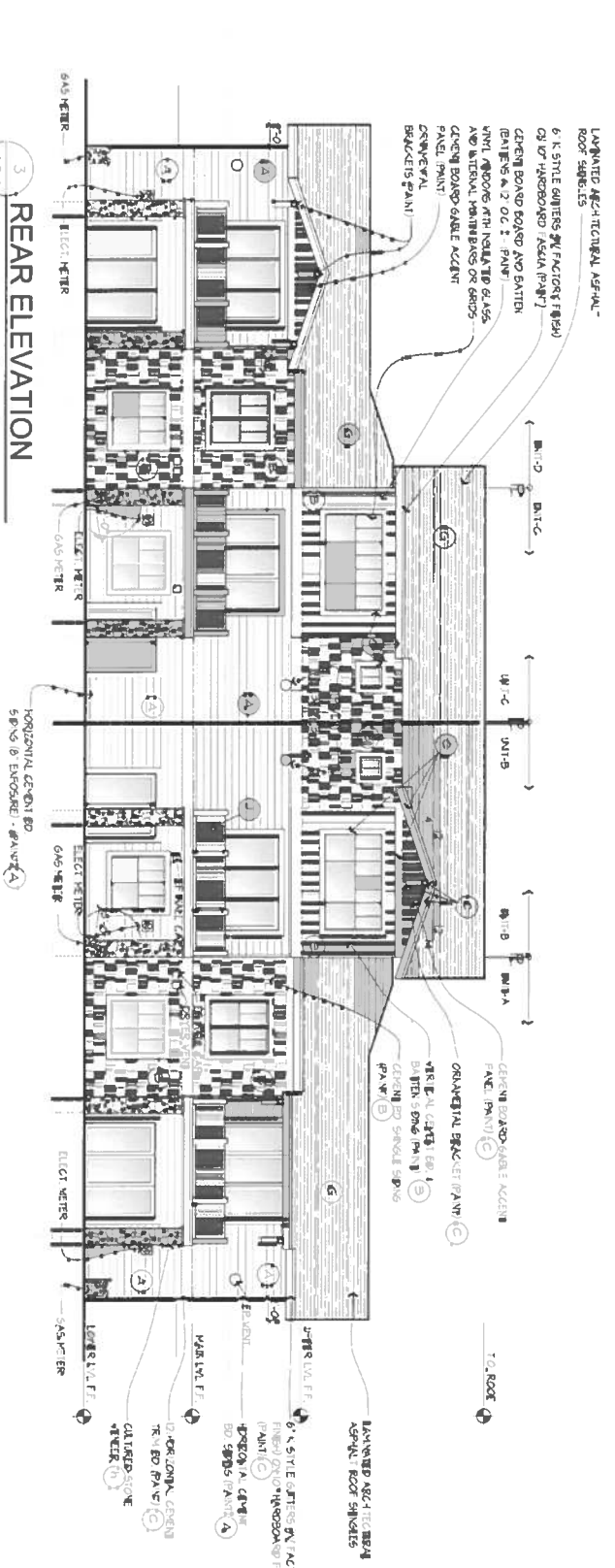
THE VERTICAL DIMENSIONS MEASURED FROM THE AVERAGE FINISHED GRADE JOINTS IN THE BUILDING TO THE HIGHEST POINT OF A GABLE, HIPPED, OR GABLED ROOF IN A FLAT ROOF HEIGHT WOULD BE THE HIGHEST POINT OF THE BUILDING EXCLUDING THE PARAPET. THE AVERAGE FINISHED GRADE JOINTS ARE THE HIGHEST POINTS OF ALL MAJOR CORNERS OF THE BUILDING. THE HEIGHT OF THE EXPOSED EXTERIOR OR EXPOSED INTERIOR CORNERS OF THE BUILDING IS THE HIGHEST AND LOWER HEIGHT OF ANY CORNER OF THE BUILDING.

BUILDING #	AVG. FIN. GRADE AT CORNERS	FIN. FLR. EL.	CALCULATED BLDG. HEIGHT
ONS 9 - 14	58.0'	59.0'	34'-3.5"
ONS 9 - 8	58.0'	59.0'	34'-6"
ONS 9 - 1B	43.6'	59.0'	34'-6"
ONS 9 - 16	43.6'	59.0'	34'-3"
ONS 9 - 17	43.6'	59.0'	34'-3"
ONS 9 - 24	39.0'	59.0'	34'-3"
ONS 9 - 176	39.0'	59.0'	34'-3"

RIGHT ELEVATION

SCALE: 1/8" = 1'-0"

UNIT NOTE:
GAS METERS MUST BE A MINIMUM OF 3 FEET AWAY FROM ANY OPENING IN WALLS.



REAR ELEVATION

SCALE: 1/8" = 1'-0"

LEFT ELEVATION

SCALE: 1/8" = 1'-0"



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email chdrunge@comcast.net

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1903 Jellay Street, Suite 200 Colorado Springs CO 80909 719.635.5736

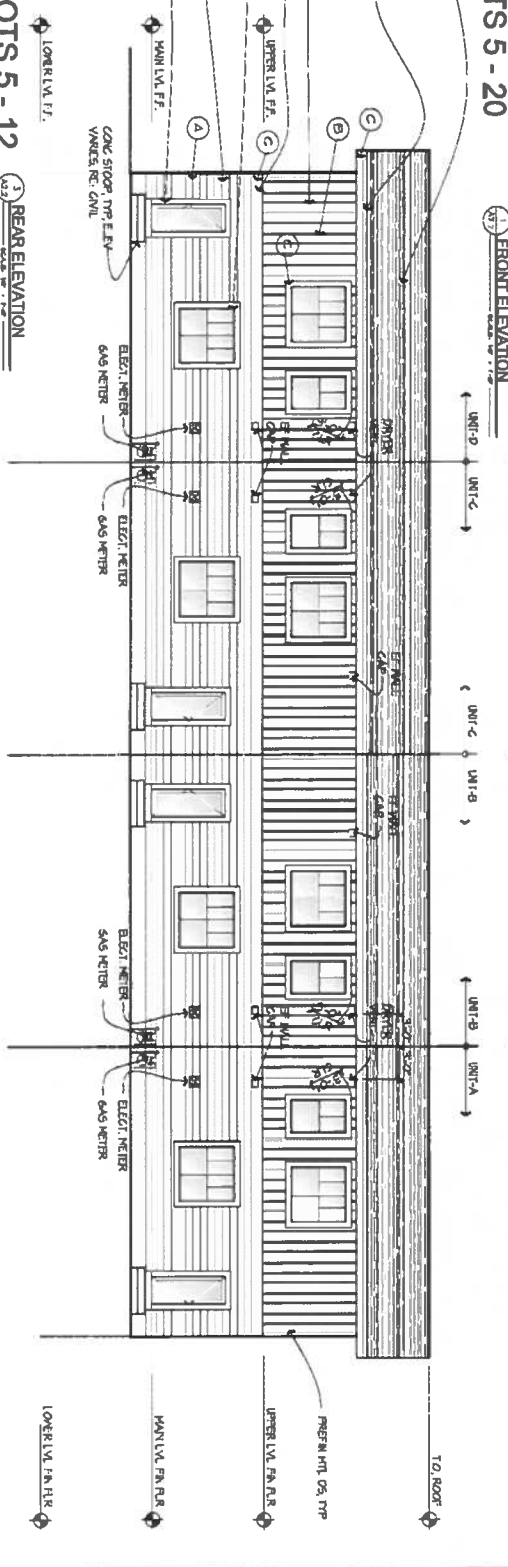
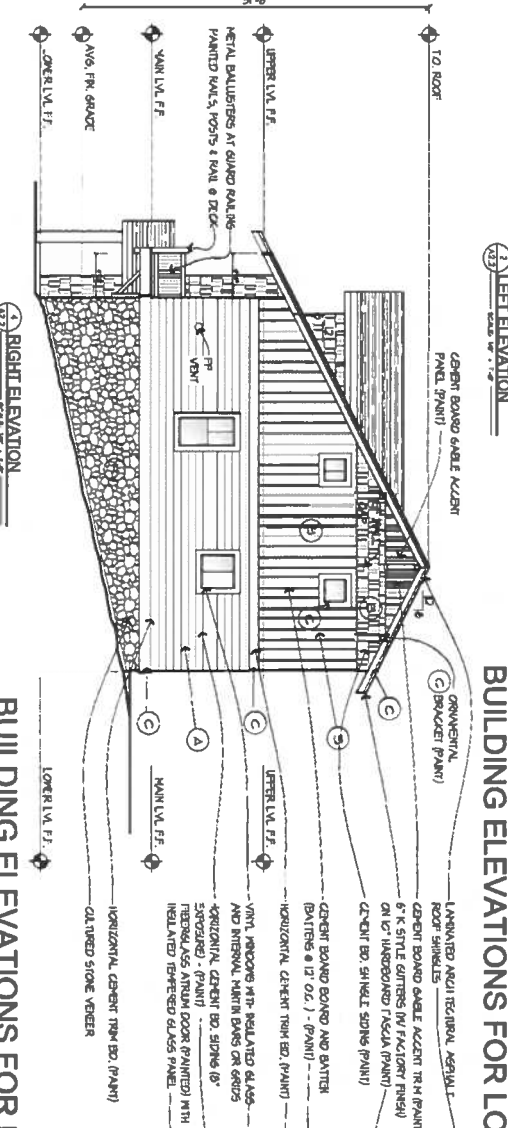
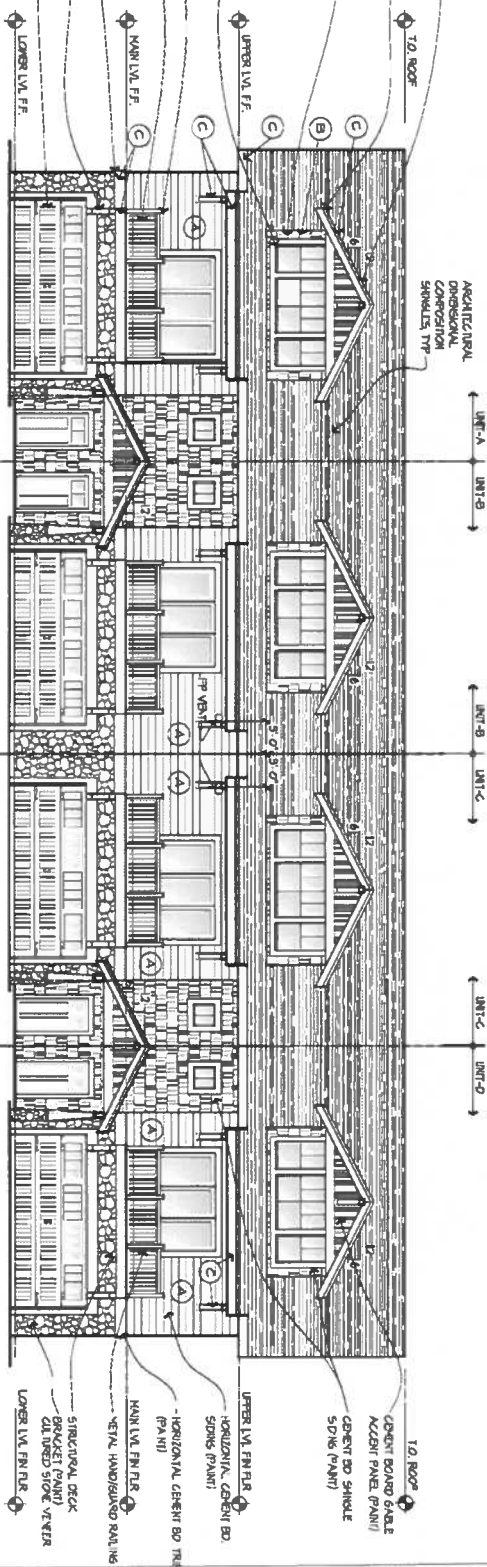
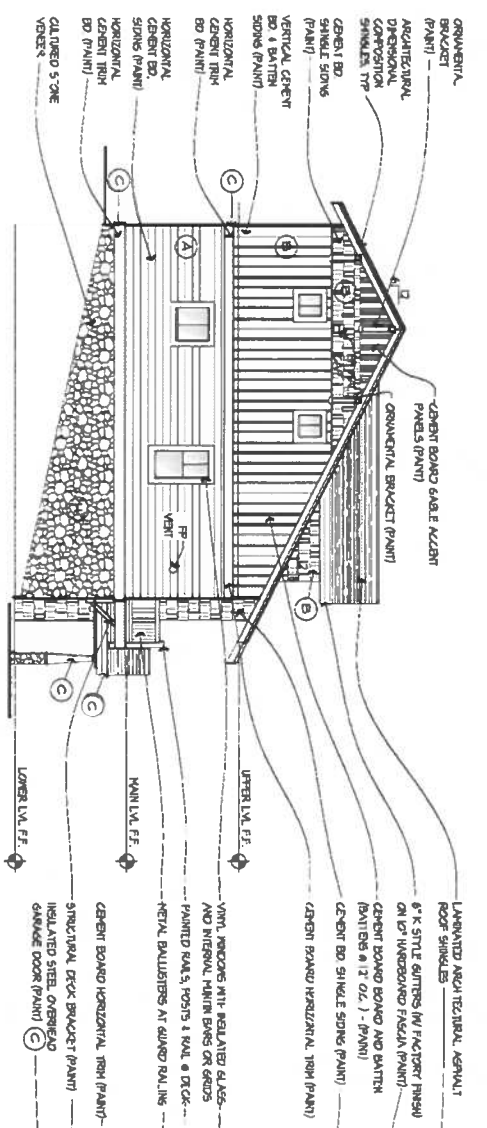
SUN MOUNTAIN TOWNHOMES
DESIGNED BY _____
DRAWN BY _____
CHECKED BY _____
AS-BUILT BY _____
CHECKED BY _____

DEVELOPMENT PLAN BUILDING ELEVATIONS

DP-8 AVE PROJECT 51516
AVE DRAWING DEV-EL1
NOVEMBER 1, 2024
SHEET 8 OF 18

BUILDING ELEVATIONS FOR LOTS 1-4 & 21-24

DEPN-24-0111



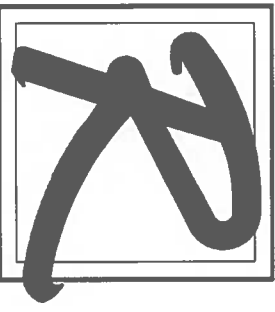
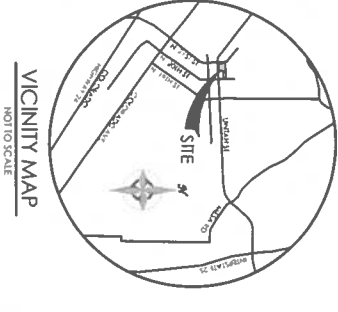
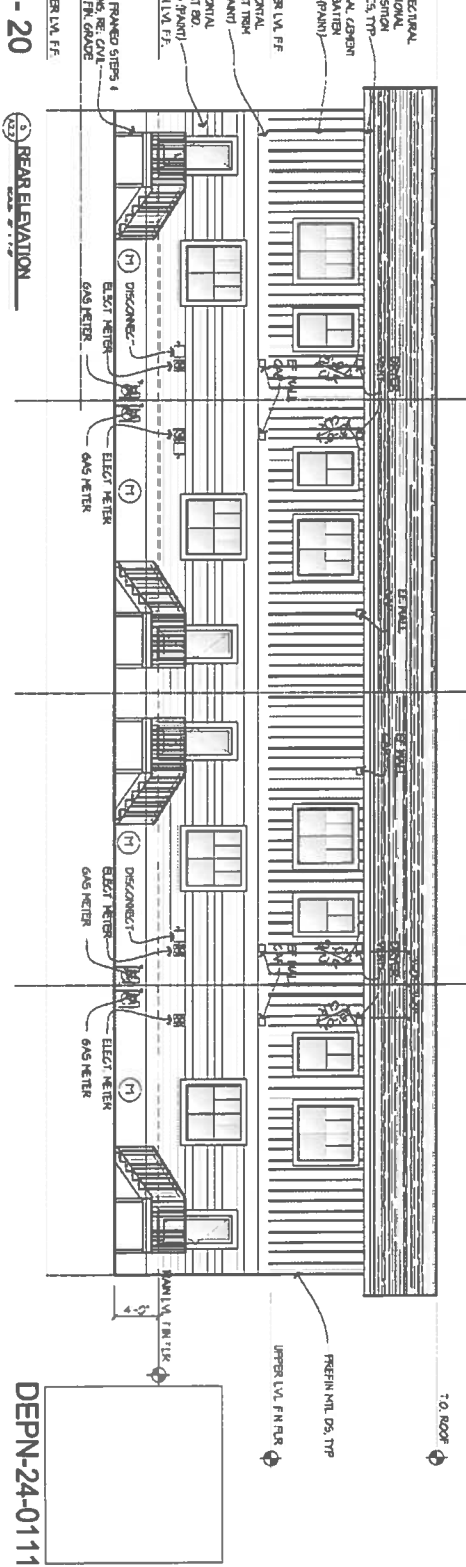
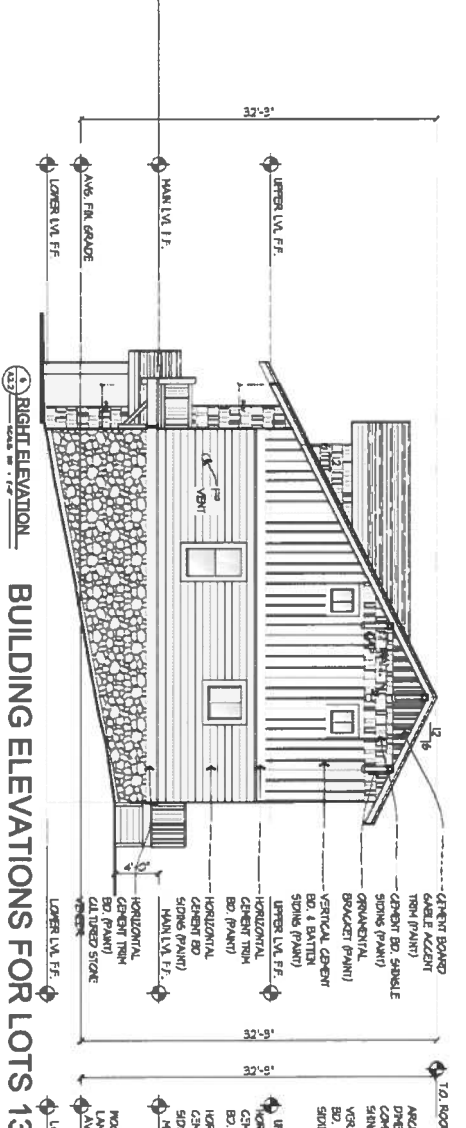
COLOR SCHEDULE

○	SHERWIN WILLIAMS - RENAISSANCE OLIVE SW 2035
○	SHERWIN WILLIAMS - RENAISSANCE GOLDEN OAK SW2024
○	SHERWIN WILLIAMS - DOWNING SAND SW 2022
○	SHERWIN WILLIAMS - ROYALCREST COPPER RED SW 2038
○	SHERWIN WILLIAMS (LEFT OPEN)
○	SHERWIN WILLIAMS (LEFT OPEN)
○	GAP TIMBERLINE AEROSHIELD II BARBERSCOOP LAMINATED ARCHITECTURAL ROOF SHINGLE
○	ELDORADO STONE COLORADO RIVER ROCK
○	METAL RAILINGS - TORTRESE® FINE ANTIQUE BRONZE TRADITIONAL STEEL RAILINGS
○	VHTL UNIDICOR® - INTEGRAL 'ALPINO' COLOR
○	CUTTERS AND COUNTERTOPS TASTIC® 6" K STITILE 'WICKER' FACTORY FIN BH COLOR
○	EXPOSED CONCRETE (RAMPS, STEPS, SIDEWALKS, FOUNDATIONS)

BUILDING HEIGHT CALCULATIONS (7.6.204)

THE VERTICAL DISTANCE MEASURED FROM THE AVERAGE FINISHED GRADE ADJOINING THE BUILDING TO THE HIGHEST POINT OF A GABLE, FLIPPED OR GAMBER, ROOF, IF A FLAT ROOF, HEIGHT WOULD BE RELEVANT TO THE HIGHEST POINT OF THE BUILDING, EXCLUDING THE PARAPET, THE AVERAGE ELEVATION OF THE HIGHEST GRADE ADJOINING THE BUILDING SHALL BE THE AVERAGE OF THE HIGHEST AND LOWEST GRADE ADJOINING THE BUILDING. THE AVERAGE OF THE HIGHEST AND LOWEST GRADE ADJOINING THE BUILDING SHALL BE THE AVERAGE OF THE HIGHEST AND LOWEST GRADE ADJOINING THE BUILDING.

BUILDING #	AVG. FIN GRADE AT CORNERS	FIN. FLR. EL.	CALCULATED BLDG. HEIGHT
-O18 1 - 4	49.6'	55.6'	34'-3 1/4"
-O18 5 - 8	51.6'	56.6'	31'-6"
-O18 9 - 12	49.6'	56.6'	31'-6"
-O18 13 - 16	44.3'	52.0'	37'-3"
-O18 17 - 20	42.9'	50.0'	37'-3"
-O18 21 - 24	39.6'	45.6'	34'-3 1/4"
-O18 25 - 28	38.6'	45.6'	32'-5 1/4"



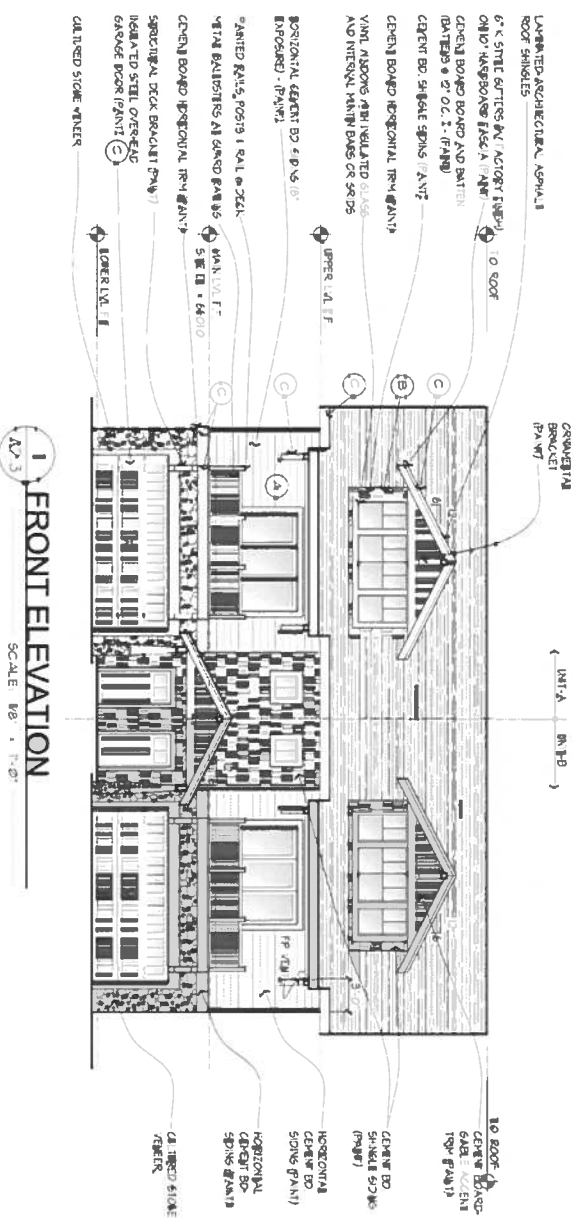
RUNGE ARCHITECTURE
 CHARLES W. RUNGE, JR., ARCHITECT
 8215 CERRILLO CT.
 COLORADO SPRINGS, CO 80919
 PHONE (719) 200-0028
 email char@runge-architect.com

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 ENGINEERS, SURVEYORS
 1903 lelay street, suite 200 colorado springs, co 80909 719.635.5736

DESIGNED BY
 DRAWN BY
 CHECKED BY
 AS-BUILT BY
 CHECKED BY

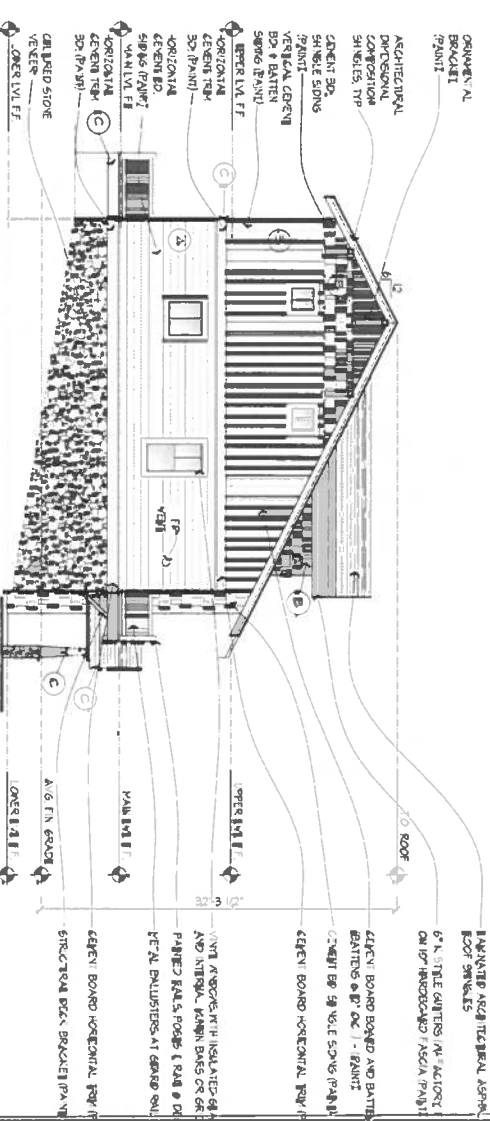
SUN MOUNTAIN
 TOWNHOMES
 DEVELOPMENT PLAN
 BUILDING
 ELEVATIONS

DP-9
 NOVEMBER 1, 2024
 SHEET 9 OF 18



1 FRONT ELEVATION
SCALE: 1/8" = 1'-0"

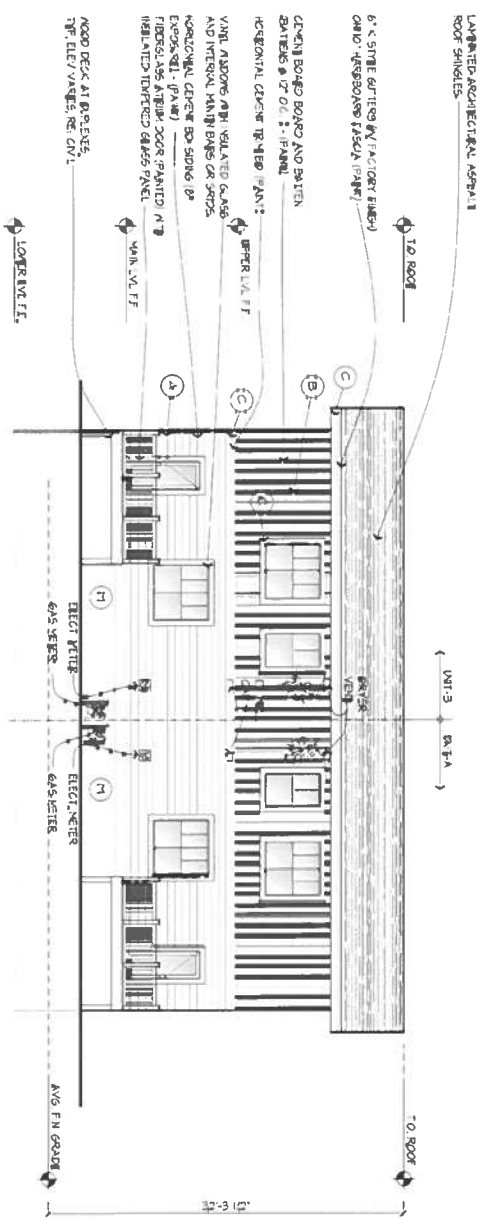
COLOR SCHEDULE	
○	SHERMAN UT...TANS - BENJACK OLIVE SW 2025
○	SHERMAN UT...TANS - GOLDEN OAK SW2024
○	SHERMAN UT...TANS - DOBAIN SAND SW 2027
○	SHERMAN UT...TANS - ROYAL COPPER SW 2025
○	SHERMAN UT...TANS (LEFT CREAM)
○	SHERMAN UT...TANS (LEFT CREAM)
○	SHERMAN UT...TANS (LEFT CREAM)
○	GAR TYPICAL UNPAINTED ARCHITECTURAL ROOF SHINGLE
○	ELDORADO STONE COLORADO RIVER ROCK
○	METAL SAILING - FORRESTAL FIRE BRONZE TRADITIONAL STEEL SAILING
○	VINYL WINDOWS - NEURAL "ALHONDA" COLOR
○	GUTTERS AND DOWNSPOUTS CLASSIC 6" x 6" UNPAINTED ARCHITECTURAL FINISH COLOR
○	EXPOSED CONCRETE RAFTERS, STEPS, SIDEWALKS, FOUNDATIONS



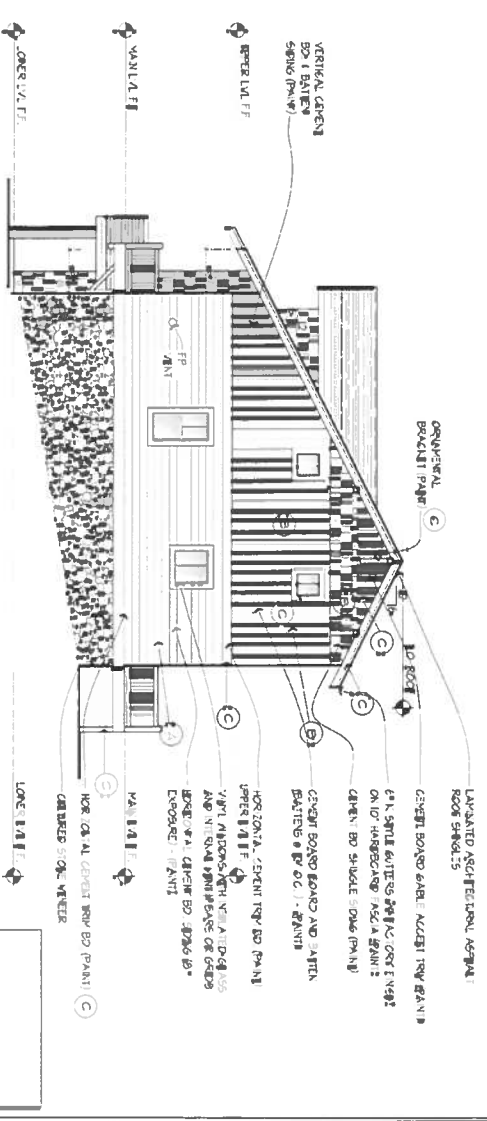
2 LEFT ELEVATION
SCALE: 1/8" = 1'-0"

BUILDING HEIGHT CALCULATIONS (7.6.204)		
THE VERTICAL DISTANCE MEASURED FROM THE AVERAGE FINISHED GRADE ADJOINING THE BUILDING TO THE HIGHEST POINT OF A GABLE, HIPPED OR GAMBREL ROOF IF A FLAT ROOF, HEIGHT WOULD BE MEASURED TO THE HIGHEST POINT OF THE BUILDING EXCLUDING THE PARAPET. THE AVERAGE HEIGHT OF THE BUILDING SHALL BE THE AVERAGE OF THE HEIGHTS OF ALL PARAPETS OF THE BUILDING. THE RESULT OF THE AVERAGE HEIGHT OF THE BUILDING SHALL BE THE AVERAGE OF THE HIGHEST AND LOWEST HEIGHT OF ANY SEGMENT OF THE BUILDING.		
PLUMBING & PIPING @	FIN. FLR. EL.	CALCULATED BLDG. HEIGHT
LOTS 1 - 4	48.0'	56.0'
LOTS 5 - 6	5.0'	31.6'
LOTS 9 - 12	42.8'	56.0'
LOTS 13 - 16	44.3'	52.0'
LOTS 17 - 24	34.0'	34.3'
LOTS 25 - 24	45.0'	45.0'
LOTS 25 - 26	39.0'	37.3'

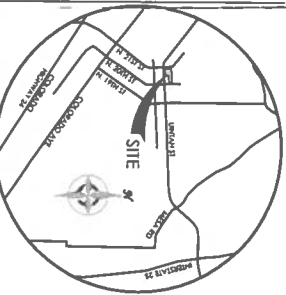
UNITS NOTE:
GAS METERS MUST BE A MINIMUM OF 3 FEET AWAY FROM ANY OPENING IN WALLS.



3 REAR ELEVATION
SCALE: 1/8" = 1'-0"



4 RIGHT ELEVATION
SCALE: 1/8" = 1'-0"

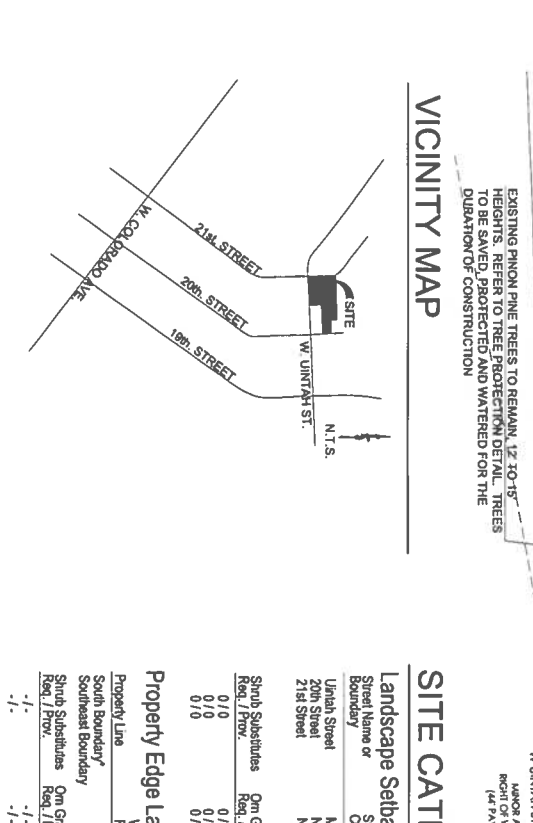
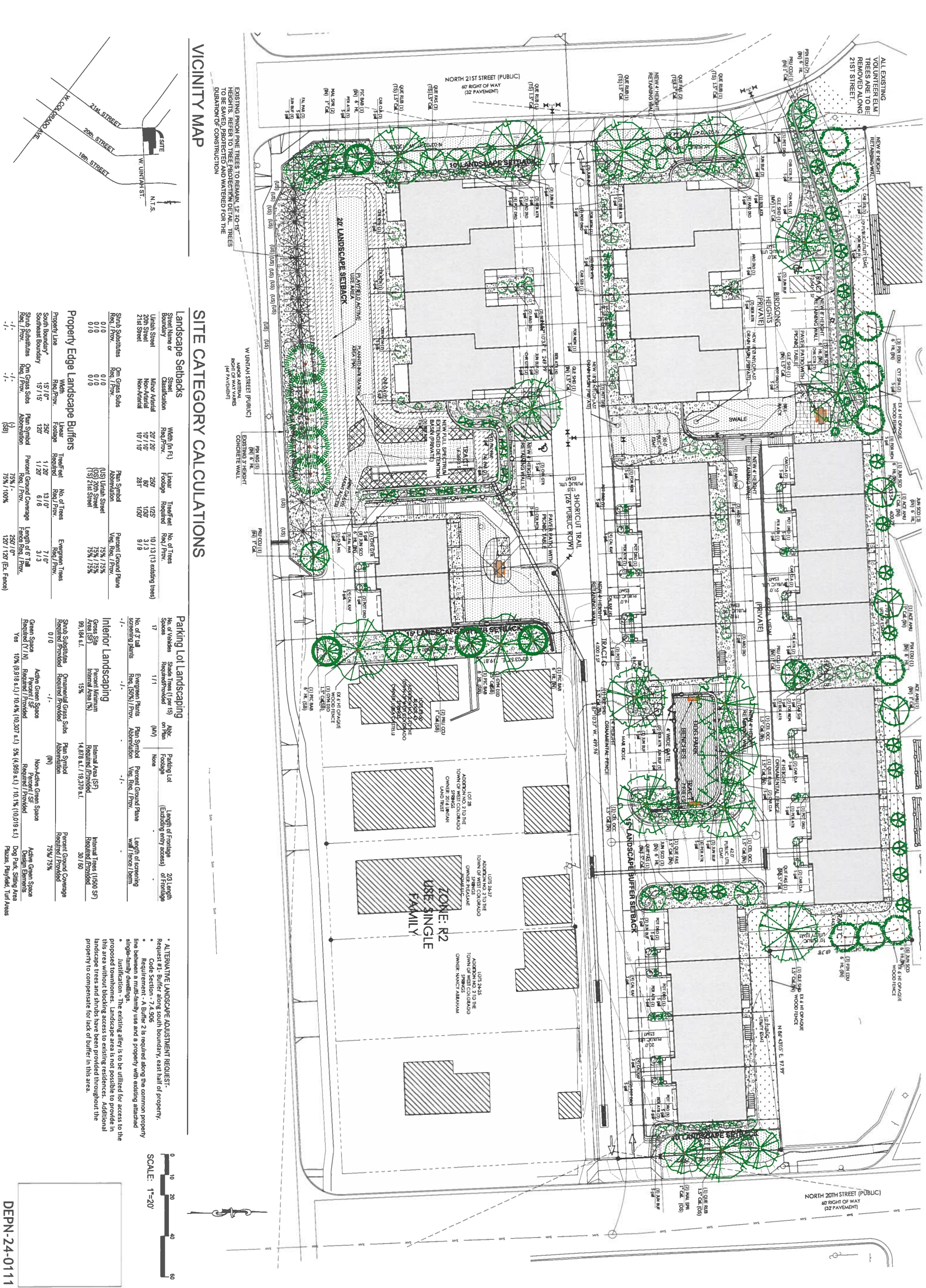


RUNGE ARCHITECTURE
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PHONE: (719) 290-0039
email: charj@runge-architect.com

MVE, INC.
ENGINEERS, SURVEYORS
1903 kelley street, suite 200 colorado springs co 80909 719.635.5736

DESIGNED BY
CHECKED BY
ASSISTED BY
SUN MOUNTAIN TOWNHOMES
DEVELOPMENT PLAN BUILDING ELEVATIONS

DP-10 MVE PROJECT 51516
MVE DRAWING DEV-EL1
NOVEMBER 1, 2024
SHEET 10 OF 18

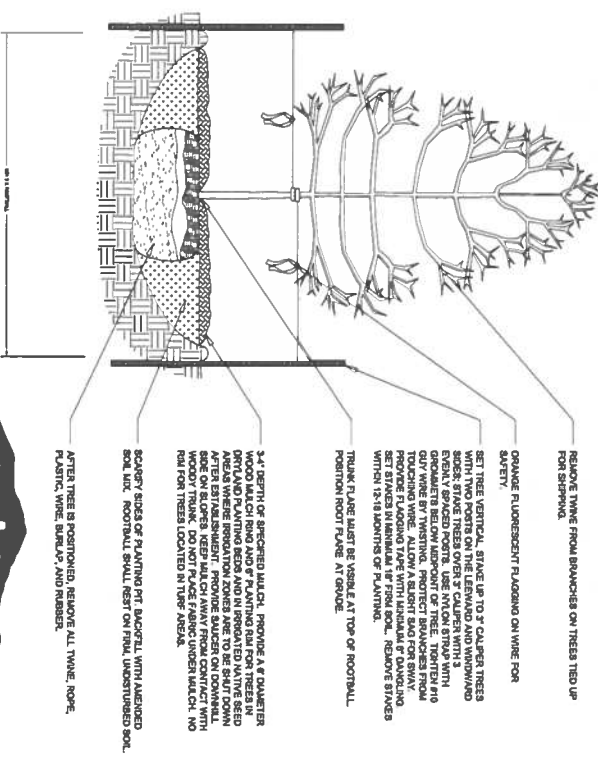


ALTERNATIVE LANDSCAPE ADJUSTMENT REQUEST:

- Request 1: Buffer along south boundary east half of property.
- Request 2: Buffer - 7.5-50e
- Request 3: Buffer - 4 Buffer 2 is required along the common property line between a multi-family use and a property with existing attached single-family dwellings.
- Justification: The existing alley is to be utilized for access to the proposed townhomes. Landscape area is not possible to provide in this area without blocking access to existing residences. Additional landscape trees and shrubs have been provided throughout the property to compensate for lack of buffer in this area.

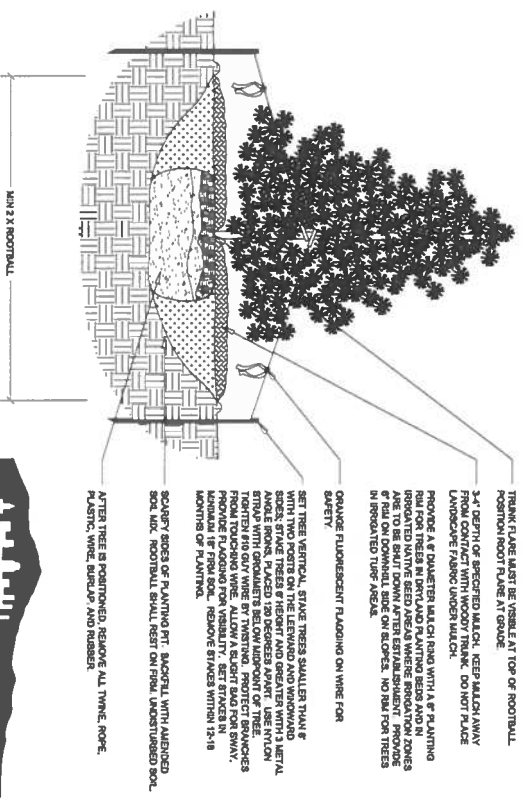
SCALE: 1"=20'

- NOTES:**
1. MARK THE NORTH SIDE OF TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE.
 2. AT TIME OF PLANTING, DO NOT REMOVE OR CUT LEADER AND PRUNE ONLY DEAD OR BROKEN BRANCHES, CROSS OVER BRANCHES, AND WEAK OR NARROW CROTCHES. SOME INTERIOR THIGHS AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
 3. STRUCTURAL PRUNING SHOULD NOT BEGIN UNTIL AFTER ESTABLISHMENT PERIOD, USUALLY TWO GROWING SEASONS.
 4. DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
 5. AMENDED BACKFILL SHALL BE 1/3 COMPOST (PREFERABLY CLASSIFIED) AND 2/3 NATIVE AND/OR IMPORTED TOPSOIL.
 6. IN WINTER WAP* TRUNK ON EXPOSED SITES AND SPECIES WITH THIN BARK WITH ELECTRICAL OR DUCT TAPE, NOT TWINE.
 7. COORDINATE WITH CITY FORESTRY FOR CURRENT INSECT AND DISEASE RECOMMENDATIONS PRIOR TO PLANTING.
 8. DEEP WATER ALL PLANTS AT TIME OF PLANTING.
 9. ALL TREES LOCATED IN ROCK/CORRIBLE BEDS SHALL HAVE A 3/8 INCH DIAMETER WOOD MULCH RING.



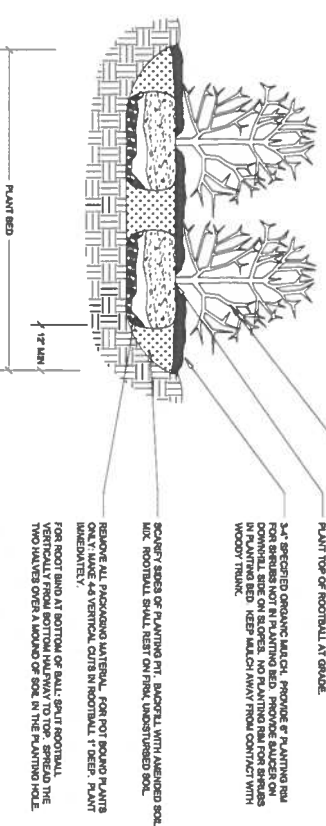
1
NOT TO SCALE
SECTION

- NOTES:**
1. DO NOT REMOVE OR CUT LEADER.
 2. AMENDED BACKFILL SHALL BE 1/3 COMPOST (PREFERABLY CLASSIFIED) AND 2/3 NATIVE AND/OR IMPORTED TOPSOIL.
 3. MARK THE NORTH SIDE OF TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE.
 4. IN WINTER WAP* TRUNK ON EXPOSED SITES AND SPECIES WITH THIN BARK WITH ELECTRICAL OR DUCT TAPE, NOT TWINE.
 5. COORDINATE WITH CITY FORESTRY FOR CURRENT INSECT AND DISEASE RECOMMENDATIONS PRIOR TO PLANTING.
 6. DEEP WATER ALL PLANTS AT TIME OF PLANTING.
 7. ALL TREES LOCATED IN ROCK/CORRIBLE BEDS SHALL HAVE A 3/8 INCH DIAMETER WOOD MULCH RING.



2
NOT TO SCALE
SECTION

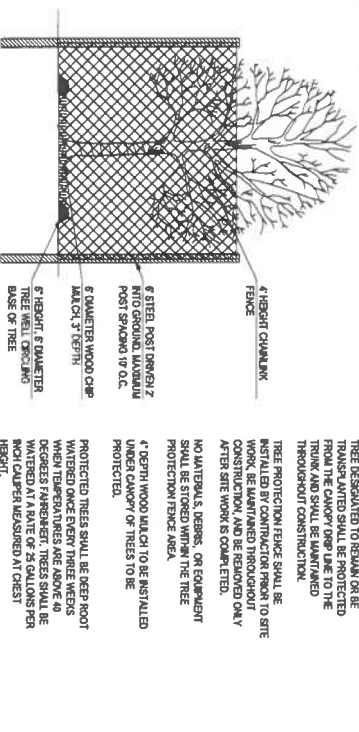
- NOTES:**
1. PRUNE ONLY DEAD OR BROKEN BRANCHES AND WEAK OR NARROW CROTCHES.
 2. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
 3. DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
 4. AMENDED BACKFILL SHALL BE 1/3 COMPOST (PREFERABLY CLASSIFIED) AND 2/3 NATIVE AND/OR IMPORTED TOPSOIL.
 5. ALL SHRUBS IN ROCK AREAS TO RECEIVE SHREDED MULCH RINGS.
 6. DEEP WATER ALL PLANTS AT TIME OF PLANTING.
 7. ALL SHRUBS LOCATED IN ROCK/CORRIBLE BEDS SHALL HAVE A 1/8 INCH DIAMETER WOOD MULCH RING.



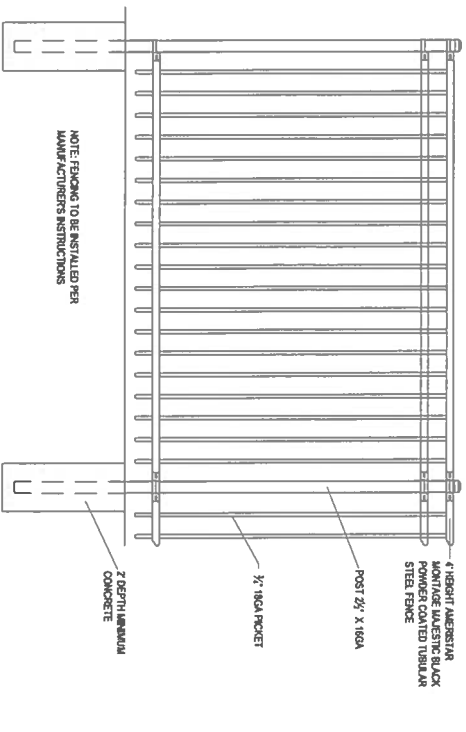
3
NOT TO SCALE
SECTION

Existing Tree Protection Notes

1. EXISTING TREES TO REMAIN TO BE PROTECTED WITH 4\"/>
 - TEMPORARY FENCING IS TO PROTECT TREES FOR THE DURATION OF CONSTRUCTION.
 - WITHIN 4\"/>
 - STAKE THE CONSTRUCTION MATERIALS OR DEMONSTRATION BEERS, THROUGH THE EXISTING TREE TRUNK OR BRANCH.
 - CHANGE SOIL GRADE BY CUTTING OR FILLING MORE THAN 12\"/>
 - CONTAMINATE SOIL FROM WASHING OUT EQUIPMENT.
2. EXISTING TREES TO REMAIN ARE TO HAVE 3\"/>
 - ALL THE EXISTING TREES WHICH ARE BEING USED TO MEET REQUIRED SITE LANDSCAPE REQUIREMENTS WILL NEED TO BE REPLACED IF NOT IN A HEALTHY CONDITION.
3. EXISTING TREES TO REMAIN ARE TO HAVE 2\"/>
 - WHY CREATING A 4\"/>
 - THESE REQUIREMENTS WILL NEED TO BE RE-EVALUATED IF NOT IN A HEALTHY CONDITION.
4. ALL THE EXISTING TREES WHICH ARE BEING USED TO MEET REQUIRED SITE LANDSCAPE REQUIREMENTS WILL NEED TO BE REPLACED IF NOT IN A HEALTHY CONDITION.



4
NOT TO SCALE
SECTION



5
NOT TO SCALE
SECTION

EL PASO COUNTY ALL-PURPOSE LOW GROW MIX FOR UPLAND AND TRANSITION AREAS

COMMON NAME	SCIENTIFIC NAME	GROWTH FORM	% OF MIX	80 SEEDS/SQ. FT.	40 SEEDS/SQ. FT.	20 SEEDS/SQ. FT.
COMMON NAME	SCIENTIFIC NAME	GROWTH FORM	% OF MIX	80 SEEDS/SQ. FT.	40 SEEDS/SQ. FT.	20 SEEDS/SQ. FT.
BUFFALOGRASS	Bouteloua curtipendula	WARM, SOO	25%	9.6	4.8	2.4
BLUE GRAMA	Bouteloua gracilis	WARM, BUNCH	20%	10.8	5.4	2.7
SERGEOUS GRAMA	Bouteloua curtipendula	WARM, BUNCH	25%	5.6	2.8	1.4
GREEN NEEDLEGRASS	Hesperis matronalis	COOL, BUNCH	5%	3.2	1.6	0.8
WESTERN WHEATGRASS	Panicum sp.	COOL, SOO	20%	12	6	3
SAND DROPS-EED	Sporobolus vaginatus	WARM, BUNCH	1%	0.8	0.4	0.2
SEED RATE (LBS. PLS./ACRE)				42	21	10.3

EL PASO COUNTY ALL-PURPOSE MIX FOR UPLAND, TRANSITION AND PERMANENT CONTROL MEASURE AREAS

COMMON NAME	SCIENTIFIC NAME	GROWTH FORM	% OF MIX	80 SEEDS/SQ. FT.	40 SEEDS/SQ. FT.	20 SEEDS/SQ. FT.
BIG BLUESTEM	Bouteloua decolorata	WARM, SOO	20%	4.4	2.2	1.1
BLUE GRAMA	Bouteloua gracilis	WARM, BUNCH	10%	0.5	0.25	0.13
NEEDLEGRASS	Hesperis matronalis	COOL, BUNCH	10%	2	1	0.5
WESTERN WHEATGRASS	Panicum sp.	COOL, SOO	20%	6.4	3.2	1.6
SERGEOUS GRAMA	Bouteloua curtipendula	WARM, BUNCH	10%	2	1	0.5
SYMPTOMGRASS	Panicum sp.	WARM, BUNCH/SOO	10%	0.8	0.4	0.2
PRUNE SANDREED	Calamagrostis canadensis	WARM, BUNCH	10%	1.2	0.6	0.3
YELLOW INDIVAGRASS	Sorghastrum nutans	WARM, SOO	10%	2	1	0.5
SEED RATE (LBS. PLS./ACRE)				19.3	9.7	4.8

Native Seed Establishment

INITIAL PLANTING
STOOPED PLANTING SHOULD BE SPREAD EVENLY OVER ALL AREAS TO RECEIVE NATIVE SEED. SEED BEDS TO BE WEED FREE. SPECIFIED SOIL AMENDMENTS SHOULD BE SPREAD AND INCORPORATED INTO TOP 6\"/>

OVER SEEDING
SIX WEEKS AFTER THE INITIAL SEEDING DURING THE FIRST GROWING SEASON AND/OR DURING THE SPRING OF THE SECOND GROWING SEASON CONTRACTOR IS TO REPEAT ANY ERODED AREAS AND OVER SEED ALL BARE NATIVE GRASS AREAS. CONTRACTOR IS TO USE SPECIFIED SEED MIX BY BROADCAST AND RAINING INTO TOP 1/2\"/>

DEPN-24-0111

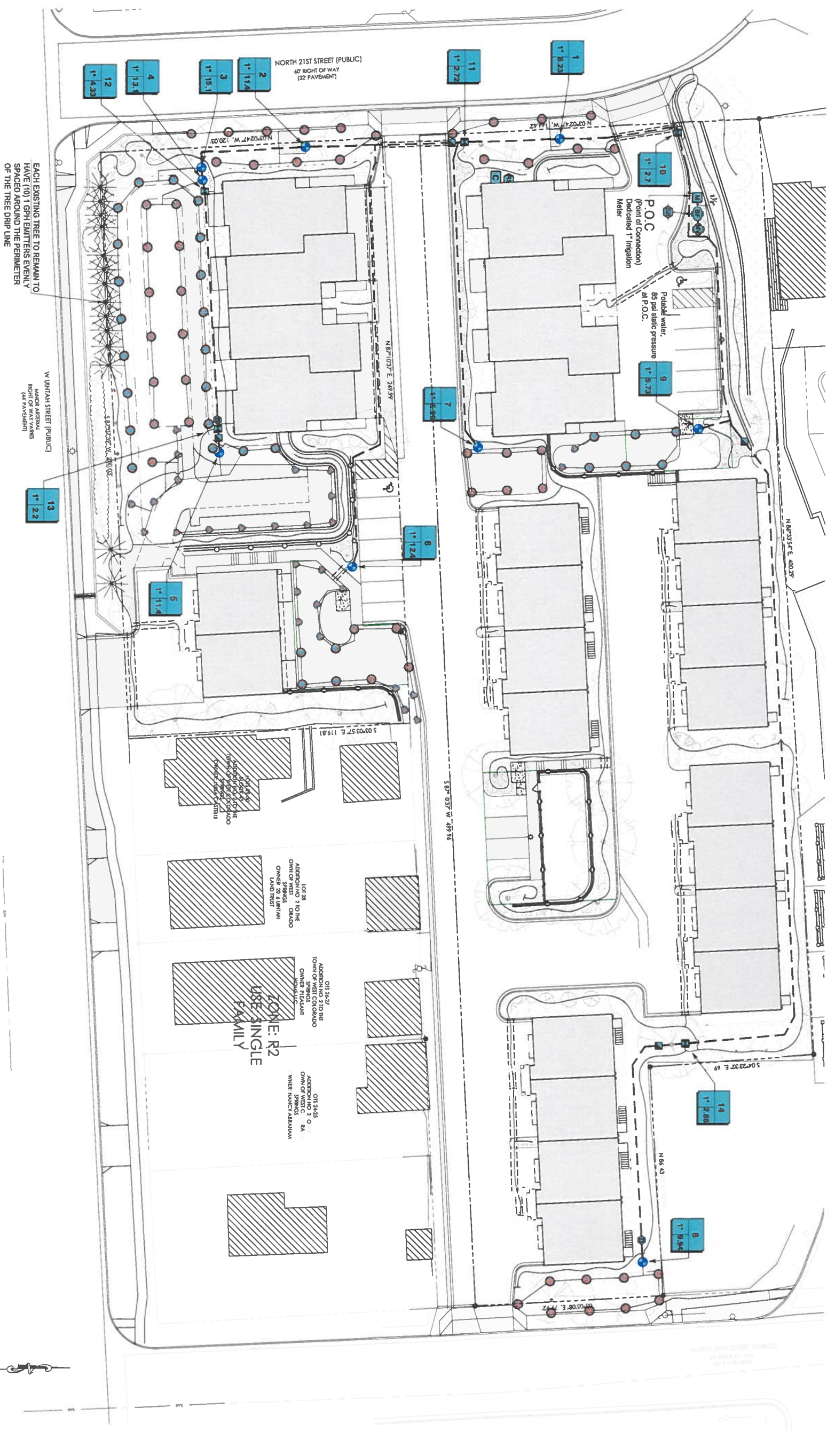
JWILA
Jon Walsh, LLC
P.O. Box 354
Palmer Lake, CO 80133
(719) 640-9428
mwalsh@jwila.com
www.mwalshpcarchitect.com

SUN MOUNTAIN TOWNHOMES
Colorado Springs, CO

PROJECT NAME
SHEET NO.
DATE
REVISIONS
DATE

L-3
SHEET 13 OF 18

FINAL LANDSCAPE PLAN



EACH EXISTING TREE TO REMAIN TO HAVE (10) 1 GPH EMITTERS EVENLY SPACED AROUND THE PERIMETER OF THE TREE DRIP LINE

W UTAH STREET (PUBLIC) MAJOR ARTERIAL RIGHT OF WAY (44' PAVEMENT)

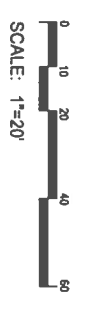
ADDITION NO. 2 TO THE TOWN OF WEST COLORADO STRINGS OWNER: NANCY ABAYAWA

ADDITION NO. 1 TO THE TOWN OF WEST COLORADO STRINGS OWNER: LAND TRUST

ADDITION NO. 2 TO THE TOWN OF WEST COLORADO STRINGS OWNER: TRUCKLAND

ADDITION NO. 2 TO THE TOWN OF WEST COLORADO STRINGS OWNER: NANCY ABAYAWA

ZONE: R2 USE: SINGLE FAMILY



SCALE: 1"=20'

DEPN-24-0111
SHEET 14 OF 18



Jon WALSH
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STYLE

PROJECT NAME

SUN MOUNTAIN TOWNHOMES

Colorado Springs, CO

IRRIGATION PLAN

PLAN DATE
July 1, 2024

REVISIONS
August 30, 2024
October 7, 2024
November 5, 2024

L-4

SHEET NO.

SYSTEM DESCRIPTION

IRRIGATION FOR TURF, PLANTINGS AND NATIVE SEED TO BE PROVIDED FROM AN AUTOMATED SPRINKLER SYSTEM CONNECTING TO A PROPOSED WATER SERVICE LINE LOCATED IN THE NORTHWEST CORNER OF THE SITE. A NEW 1" WATER METER AND VALVE IS TO BE PROVIDED AND INSTALLED PER CITY OF COLORADO SPRINGS REGULATIONS. THE BACKFLOW PREVENTER TO BE INSTALLED INSIDE A METAL STRONG BOX NEAR WATER METER. CONTROLLER TO BE INSTALLED ON WEST BUILDING WALL SOUTH OF THE METERS AS SHOWN AND RAIN SENSOR TO BE INSTALLED ON TOP OF BUILDING. THE SYSTEM IS DESIGNED FOR A MINIMUM 55 PSI IN THE MAIN LINE, AND A MINIMUM FLOW OF 18 GPM. COORDINATE INSTALLATION OF ALL IRRIGATION COMPONENTS WITH OWNER'S REPRESENTATIVE AND OTHER TRADES. BALL VALVES ARE PROVIDED BEFORE EACH ZONE VALVE FOR MAINTENANCE OF SYSTEM. PORTABLE WATER TO BE USED FOR ALL IRRIGATION.

IRRIGATION NOTES

1. THE IRRIGATION SYSTEM IS TO RUN OFF A 1-1/2" COPPER WATER SERVICE LINE AND PROPOSED 1" WATER METER. COORDINATE WITH OWNER'S REPRESENTATIVE AND OTHER TRADES TO VERIFY LOCATION OF CONTROLLER, RAIN SENSOR, AND BACKFLOW DEVICE. BACKFLOW DEVICE TO BE INSTALLED PER REGIONAL BUILDING DEPARTMENT CODES. A MINIMUM STATIC WATER PRESSURE OF 70 PSI IS REQUIRED (SYSTEM IS DESIGNED FOR OPERATING PRESSURE OF 35 PSI FOR ROTARY HEADS AND 40 PSI AFTER PRESSURE REGULATORS FOR DRIP ZONES). VERIFY PRESSURE AND DISCHARGE RATE ON SITE PRIOR TO CONSTRUCTION OF IRRIGATION SYSTEM BEYOND THE BACKFLOW DEVICE.
2. COORDINATE LOCATION OF CONTROLLER AND RAIN SENSOR WITH OWNER'S REPRESENTATIVE. CONNECT CONTROLLER TO POWER SUPPLY (COORDINATE WITH OWNER). ZONE VALVE WIRES, RAIN SENSOR, AND GROUNDING. INSTALL AS PER MANUFACTURER'S INSTRUCTIONS. CONTRACTOR IS TO INSTALL A MANUAL DRAIN VALVE AT END OF MAINLINE.
3. CONTRACTOR IS TO INSTALL #14 UF IRRIGATION WIRE BETWEEN CONTROLLER AND ELECTRIC VALVES. INSTALL TWO EXTRA WIRES ALONG MAIN LINE IN EACH DIRECTION FOR TROUBLESHOOTING OR FUTURE ADDITIONS TO SYSTEM.
4. CONTRACTOR IS TO VERIFY THAT MAINLINE AND LATERALS ARE FULLY OPERATIONAL AND OPERATING WITHOUT ANY LEAKS. AFTER INSTALLATION OF NEW IRRIGATION CONTRACTOR IS TO TEST ALL ZONES CHECKING AND PRING ANY LEAKS AND VERIFYING FULL OPERATION OF EACH ZONE.
5. AFTER CONSTRUCTION, CONTRACTOR IS TO SET CONTROLLER TO RUN ZONES PER IRRIGATION SCHEDULE AFTER ESTABLISHMENT OF SEED, SOG, AND PLANTINGS. CONTROLLER WAITING DAYS AND TIMES ARE TO BE REDUCED IN SPRING AND FALL AND AFTER INITIAL ESTABLISHMENT. CONTRACTOR IS TO MONITOR PLANT HEALTH AND ADJUST CONTROLLER AS NECESSARY THROUGHOUT WARRANTY PERIOD.
6. ALL UNDERGROUND UTILITIES ARE TO BE LOCATED AND CLEARLY MARKED PRIOR TO ANY DIGGING ON SITE. ALL MATERIALS AND INSTALLATION PRACTICES ARE TO BE IN COMPLIANCE WITH LOCAL CODES. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
7. CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ALL IRRIGATION SLEEPING, SLEEPING FOR MAINLINE IS TO BE 18" UNDERGROUND, SLEEPING FOR DRIP AND SPRAY LATERAL LINES IS TO BE 12" UNDERGROUND. ALL SLEEPING IS TO EXTEND 6" BEYOND EDGE OF CONCRETE OR ASPHALT. ENDS OF SLEEPING ARE TO BE SECURELY COVERED AFTER INSTALLATION, AND SLEEVE LOCATIONS ARE TO BE CLEARLY MARKED WITH PAINTED STRAKES. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL SLEEVE LOCATIONS PRIOR TO CONSTRUCTION AND INSTALL ANY MISSING SLEEVES, IF NECESSARY.
8. IRRIGATION PLAN IS DIAGRAMMATIC. ANY COMPONENTS SHOWN ON PLAN OUTSIDE OF LANDSCAPE AREAS ARE SHOWN FOR CLARITY ONLY. USE ONLY STANDARD FITTINGS. MAINLINE PIPE DEPTH IS TO BE 15" TO 18". LATERAL LINE DEPTH IS TO BE 10" TO 12". 1" POLY DRIP LINE IS TO BE SECURED AT FINAL SOIL GRADE IN ROCK OR MULCH BEDS, UNLESS OTHERWISE NOTED AND BURIED A MINIMUM 3" DEEP IN NATIVE SEED AREAS.
9. NOTIFY LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN PLAN DRAWINGS AND CONDITIONS IN THE FIELD PRIOR TO CONSTRUCTION OF ANY PROPOSED IRRIGATION.
10. JON WALSH, LANDSCAPE ARCHITECT, LLC (JMLA) PREPARED THIS PLAN BASED ON SITE LAYOUT AND SITE GRADING PLANS PROVIDED BY OTHERS. JMLA ASSUMES NO LIABILITY FOR ANY WATER DAMAGE ON THIS SITE.
11. CONTRACTOR IS TO PROVIDE A ONE-YEAR WARRANTY FOR IRRIGATION SYSTEM TO COMMENCE UPON COMPLETION OF LANDSCAPE AND IRRIGATION CONSTRUCTION. WARRANTY SHALL COVER ALL MATERIALS AND WORKMANSHIP RELATED TO IRRIGATION SYSTEM.

ZONE	PLANT MATERIAL	IRRIGATION TYPE	OPERATING PRESSURE	APPLICATION RATE	FLOW RATE	RUN TIME	NUMBER OF CYCLES	NUMBER OF IRRIGATION DAYS PER WEEK	ESTIMATE WATER USE
1	TURF GRASS	ROTARY	35 PSi	5.9 RU/HR	8.23 GPM	30 MIN.	1	3	740 GAL/WK
2	TURF GRASS	ROTARY	35 PSi	6.0 RU/HR	11.37 GPM	30 MIN.	1	2	1,023 GAL/WK
3	NATIVE GRASS	ROTARY	35 PSi	3.8 RU/HR	15.15 GPM	30 MIN.	1	2	969 GAL/WK
4	TURF GRASS	ROTARY	35 PSi	6.0 RU/HR	13.09 GPM	30 MIN.	1	2	1,178 GAL/WK
5	NATIVE GRASS	ROTARY	35 PSi	3.7 RU/HR	11.40 GPM	30 MIN.	1	2	810 GAL/WK
6	TURF GRASS	ROTARY	35 PSi	5.0 RU/HR	12.40 GPM	30 MIN.	1	3	1,118 GAL/WK
7	TURF GRASS	ROTARY	35 PSi	6.5 RU/HR	5.26 GPM	30 MIN.	1	3	473 GAL/WK
8	TURF GRASS	ROTARY	35 PSi	5.7 RU/HR	8.31 GPM	30 MIN.	1	3	682 GAL/WK
9	TREES/ SHRUBS	DRIP	40 PSi	1.0 RU/HR	2.70 GPM	40 MIN.	1	3	324 GAL/WK
10	TREES/ SHRUBS	DRIP	40 PSi	1.0 RU/HR	2.72 GPM	40 MIN.	1	3	326 GAL/WK
11	TREES/ SHRUBS	DRIP	40 PSi	1.0 RU/HR	4.33 GPM	40 MIN.	1	3	520 GAL/WK
12	TREES/ SHRUBS	DRIP	40 PSi	1.0 RU/HR	2.20 GPM	40 MIN.	1	3	264 GAL/WK
13	TREES/ SHRUBS	DRIP	40 PSi	1.0 RU/HR	2.88 GPM	40 MIN.	1	3	343 GAL/WK
14	TREES/ SHRUBS	DRIP	40 PSi	1.0 RU/HR	2.88 GPM	40 MIN.	1	3	343 GAL/WK

IRRIGATION TIMES AND CYCLES LISTED ABOVE ARE BASED ON ESTABLISHED GRASS, TREES, AND SHRUBS. ADJUST ACCORDINGLY DURING ESTABLISHMENT PERIOD.

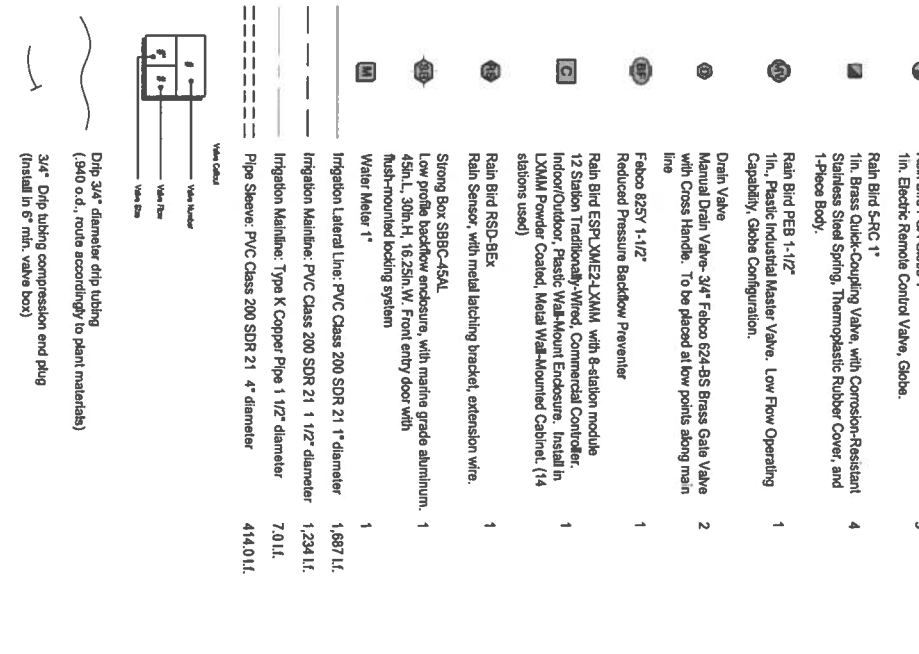
LANDSCAPE AREAS	AREA (SQT)	WATER USE (GAL/DAYS)
TURF GRASS	4,345	152,910
NATIVE GRASS	11,011	38,494
SHRUB BEDS	20,434	44,202
TOTAL:		242,606

CRITICAL ANALYSIS

Generated:	2024-10-07 14:27
P.O.C. NUMBER:	01
Water Source Information:	
FLOW AVAILABLE	
Water Meter Size:	1"
Flow Available:	28.49 GPM
RESIDUAL FLOW AVAILABLE	
DESIGN ANALYSIS	
Maximum Station Flow:	15.15 GPM
Flow Available at POC:	28.49 GPM
Residual Flow Available:	13.35 GPM
Critical Station:	3
Design Pressure:	35 PSi
Friction Loss:	1.2 PSi
Fittings Loss:	0.12 PSi
Elevation Loss:	0.12 PSi
Loss through Valve:	5.95 PSi
Pressure Req. at Critical Station:	42.3 PSi
Loss for Fittings:	0.14 PSi
Loss for Main Line:	1.43 PSi
Loss for POC to Valve Elevation:	0 PSi
Loss for Backflow:	12.3 PSi
Loss for Master Valve:	3.9 PSi
Loss for Water Meter:	1.23 PSi
Critical Station Pressure at POC:	61.3 PSi
Pressure Available:	82 PSi
Residual Pressure Available:	20.7 PSi

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
	Rain Bird R-VAN14 1806-SM4-PI5		
	Turf Rotary 88-148 45-270 degrees and 360 degrees.	28	35
	Hand Adjustable Multi-Stream Rotary w/1800 turf spray body on 6in. pop-up, with check valve and 45 psi in-stem pressure regulator. 1/2in. NPT Female Threaded Inlet.		
	Rain Bird R-VAN18 1806-SM4-PI5		
	Turf Rotary 13H-18H 45-270 degrees and 360 degrees.	31	35
	Hand Adjustable Multi-Stream Rotary w/1800 turf spray body on 6in. pop-up, with check valve and 45 psi in-stem pressure regulator. 1/2in. NPT Female Threaded Inlet.		
	Rain Bird R-VAN24 1806-SM4-PI5		
	Turf Rotary 17H-24H 45-270 degrees and 360 degrees.	49	35
	Hand Adjustable Multi-Stream Rotary w/1800 turf spray body on 6in. pop-up, with check valve and 45 psi in-stem pressure regulator. 1/2in. NPT Female Threaded Inlet.		
	MANUFACTURER/MODEL/DESCRIPTION	QTY	
	Rain Bird XG2-1004-C 1"		
	Water Flow Drip Control Kit, for Light Commercial Uses. 1in. PEB Valve, with 1in. Pressure Regulating Adpsit Basket Filter. 0.3-20 GPM.	5	
	Area to Receive Drip Emitters		
	Rain Bird XG-PC	23,336	8.1
	Single Outlet, Pressure Compensating Drip Emitters. Flow rates of 0.3 GPH-1.0in, 1.0 GPH-1.5in, and 2.0 GPH-1in. Comes with a self-perching barb inlet & barb outlet.		
	MANUFACTURER/MODEL/DESCRIPTION	QTY	
	Rain Bird PGA Globe 1"	9	
	Rain Bird 5-R-C 1"		
	1in. Brass Quick-Coupling Valve, with Corrosion-Resistant Stainless Steel Spring, Thermoplastic Rubber Cover, and 1-Piece Body.	4	
	Rain Bird PEB 1-1/2"		
	1in. Electric Inducted Master Valve. Low Flow Operating Capability. Globe Configuration.	1	
	Drain Valve		
	Manual Drain Valve- 3/4" Feibon 624-85 Brass Gate Valve with Cross Handle. To be placed at low points along main line.	2	
	Reduced Pressure Backflow Preventer	1	
	Rain Bird ESP-LXM E2-LXMM with 8-station module 12 Station Traditionally-Wired, Commercial Controller. Indoor/Outdoor, Plastic Walk-Mount Enclosure. Install in LXMM Powder Coated Metal Walk-Mounted Cabinet. (14 stations used)	1	
	Rain Bird RSD-BE	1	
	Rain Sensor, with metal latching bracket, extension wire.		
	Strong Box SBBC-45AL	1	
	Low profile backflow enclosure, with mainline grade aluminum. 45in. L, 30in. H, 16.25in. W. Front entry door with fish-mounted locking system		
	Ingration Lateral Line: PVC Class 200 SDR 21 1" diameter	1,587	LT.
	Ingration Mainline: PVC Class 200 SDR 21 1 1/2" diameter	1,234	LT.
	Ingration Mainline: Type K Copper Pipe 1 1/2" diameter	7.0	LT.
	Pipe Sleeve: PVC Class 200 SDR 21 4" diameter	414.0	LT.



STANDARD CITY OF COLORADO SPRINGS IRRIGATION NOTES

- THE CITY HAS ADOPTED PERMANENT WATER-WISE REGULATIONS AS OF JANUARY 1, 2023, WHICH WILL AFFECT THE OVERALL OPERATION OF THE IRRIGATION SYSTEM.
- FROM MAY 1 TO OCTOBER 15, SPRINKLERS CAN BE OPERATED BEFORE 10 A.M. AND AFTER 8 P.M. WATERING IS LIMITED TO THREE DAYS A WEEK (DRIP IRRIGATION IS ALLOWED AT ANY TIME).
- ESTABLISHMENT PERMITS ARE REQUIRED FROM COLORADO SPRINGS UTILITIES FOR CUSTOMERS WHO NEED IRRIGATION PLANS AND WATER ALLOCATION PLANS FOR CUSTOMERS WHO NEED MORE WATERING SCHEDULE FLEXIBILITY FROM COLORADO SPRINGS UTILITIES.
- FOR ALL DESIGN IRRIGATION SYSTEMS, IF MORE THAN THREE DAYS A WEEK ARE REQUIRED TO PROVIDE REQUIRED COVERAGE WITH SPRAY/ROTOR STATION VALVES, A WATER ALLOCATION PLAN IS REQUIRED FROM COLORADO SPRINGS UTILITIES.
- CITY AFFIDAVIT NOTE - THE DESIGN PROFESSIONAL OF RECORD IS TO COMPLETE THE IRRIGATION INSPECTION AFFIDAVIT BASED ON APPROVED IRRIGATION PLAN. THIS SHOULD REQUIRE LIMITED CONSTRUCTION OBSERVATION VISITS AND A FUNCTIONAL TEST OF THE IRRIGATION SYSTEM SHALL BE PERFORMED TO ACCURATELY COMPLETE THE AFFIDAVIT. FINAL CO OR FINANCIAL ASSURANCES RELIEF SHALL NOT BE PROCESSED UNTIL AN EXECUTED AND APPROVED AFFIDAVIT IS SUBMITTED TO CITY STAFF. WHEN READY TO CALL FOR INSPECTION AND SUBMIT AFFIDAVITS, FIRST CONTACT THE CITY PLANNER OF RECORD FOR THE PROJECT (719-585-5809) AND AS NECESSARY OUR DNE OFFICE (719-585-5822).

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 LLC
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 (719) 640-9428
 jwalsh@jwila.com
 www.jwalshlandscape.com

SUN MOUNTAIN TOWNHOMES
 Colorado Springs, CO

IRRIGATION PLAN

DATE: July 1, 2024

REVISIONS:

- August 30, 2024
- October 7, 2024
- November 5, 2024

SHEET NO. **L-5**

DEPN-24-0111

SHEET 15 OF 18

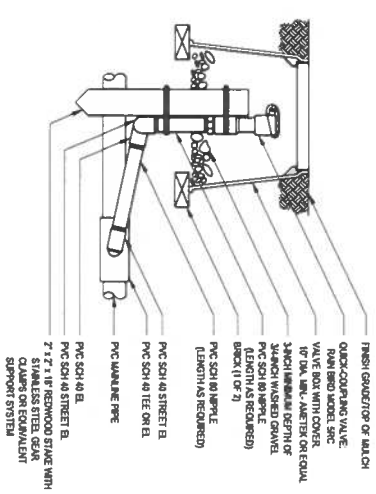
SUN MOUNTAIN TOWNHOMES

Colorado Springs, CO

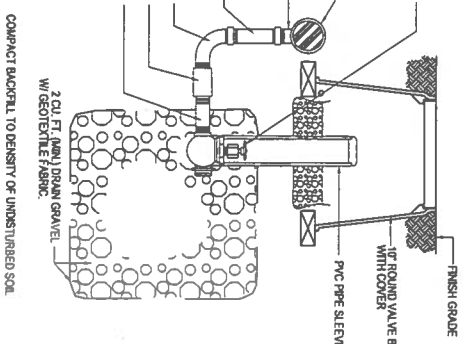
FINAL LANDSCAPE PLAN

DATE
July 1, 2024

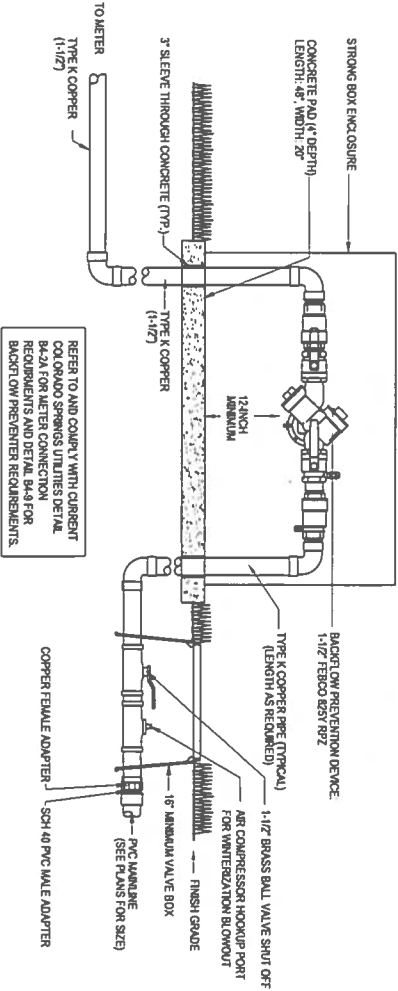
REVISIONS
August 30, 2024
October 7, 2024
November 5, 2024



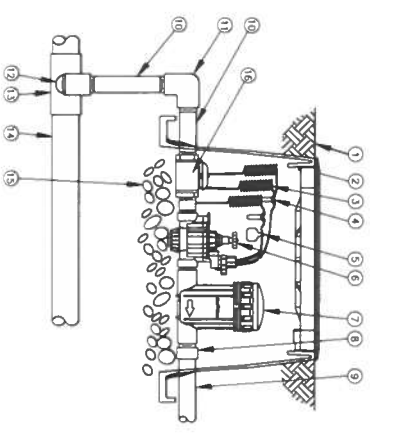
3 QUICK COUPLER VALVE



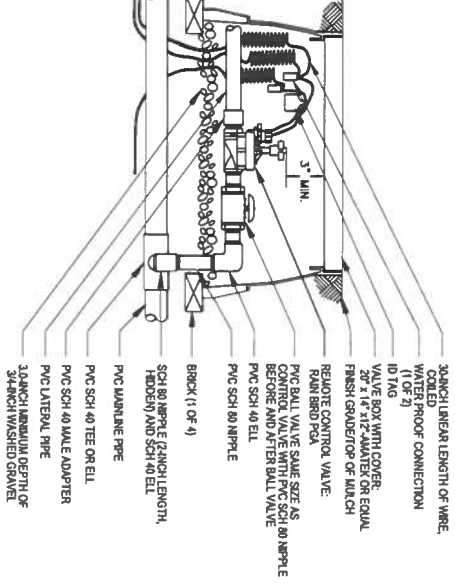
2 MANUAL DRAIN VALVE



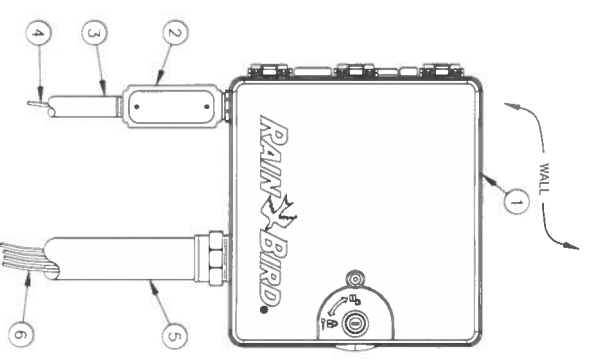
1 BACKFLOW PREVENTION DEVICE



5 1806 ROTARY POP-UP SPRINKLER

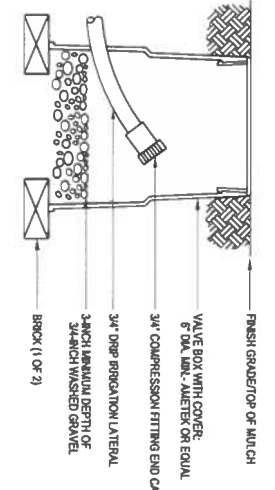


4 ELECTRIC ZONE CONTROL VALVE

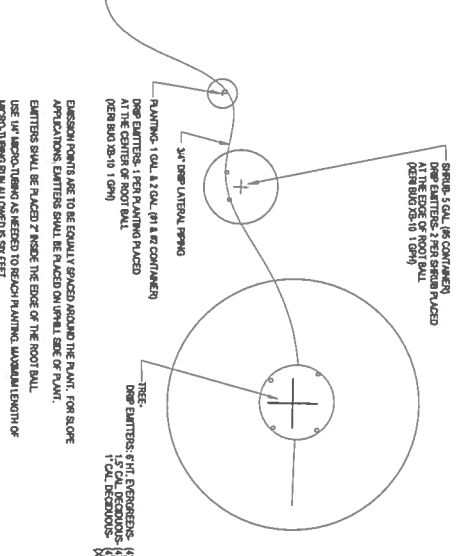


9 CONTROLLER

- NOTES:
 1. ESP-LUXE CONTROLLER IS AVAILABLE IN 8- OR 12-STATION BASE MODELS. ADDITIONAL MODULES IN 4-, 6- AND 12-STATION VERSIONS MAY BE ADDED TO BRING THE CONTROLLER UP TO 48 STATIONS MAXIMUM.
 2. FOR USE OF INSTALLATION INTO A CONTROLLER WITH MORE THAN 8 STATIONS, USE THE FOLLOWING WIRING: 1/2" INCH CONDUIT AND TRANSITION LARGER VALVE AND COMMON WIRES FROM FIELD TO 1/2" INCH CONDUIT WIRE TO BE USED IN CONTROLLER.
 3. USE STEEL CONDUIT FOR ABOVE GRADE AND SCH 40 PVC CONDUIT FOR BELOW GRADE CONNECTIONS.
 4. PROVIDE PROPER GROUNDING COMPONENTS TO ACHIEVE PROPER RESISTANCE OF 10 OHMS OR LESS.

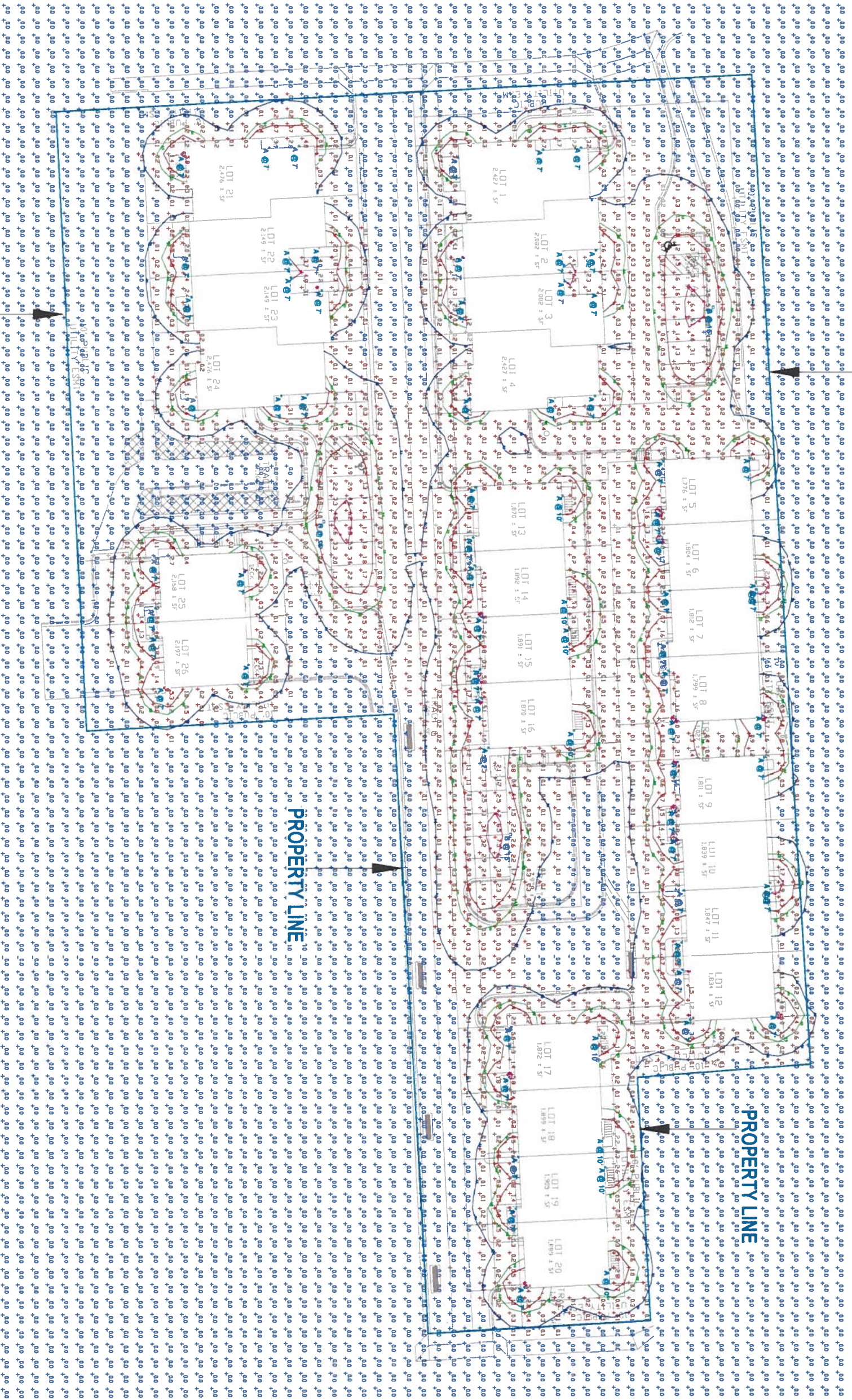


8 DRIP FLUSH CAP



7 DRIP EMITTER PLACEMENT

PROPERTY LINE



PROPERTY LINE

PROPERTY LINE

NORTH

PHOTO METRIC PLAN

SCALE: 1" = 20'

DEPN-24-0111 SHIT 17 OF 18



B&H ENGINEERS
CONSULTING ELECTRICAL, MECHANICAL, & PLUMBING ENGINEERS

3540 HARTSOCK LAINE
COLORADO SPRINGS, COLORADO 80917
(719) 332-2006

REVISION/DATE
FILE NAME: PhotoMetric-Sun-Mountain-Town-Homes-DR-20-24.dwg

DRAWN BY: B&H
CHECKED BY: B&H

SUN MOUNTAIN TOWN HOMES
COLORADO SPRINGS, COLORADO 80904

B&H ENGINEERS

PHOTO METRIC PLAN

PM1

GENERAL NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH 2021 IBC, 2021 IRC, 2021 IFC, 2018 IFB, 2009 IBC, 2009 IRC, 2009 IFC, 2019 NSR, 11/1, 2021 IBC, 2021 IRC, 2021 IFC, 2018 IFB, 2009 IBC, 2009 IRC, 2009 IFC.
- ELECTRICAL, MECHANICAL, PLUMBING, AND FIRE PROTECTION SHALL BE INSTALLED IN ACCORDANCE WITH THE 2021 IBC, 2021 IRC, 2021 IFC, 2018 IFB, 2009 IBC, 2009 IRC, 2009 IFC.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLORADO SPRINGS AND FEDERAL, STATE, AND LOCAL AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLORADO SPRINGS AND FEDERAL, STATE, AND LOCAL AGENCIES.
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Symbol	Label	Tags	QTY	Manufacturer	Code	Description	Number	Length	LF	Unit Price	Total Price
○	A										
□	B										
			3	Lithonia Lighting	20380LEDING-BL	20380 LED 18 30K 70CRI	1	39.45	1	39.45	
						20380 LED 18 30K 70CRI	1	776	1	776	
						D-Series Size 0 Area Underfoot Illumination - 1000000 LUX					
						Full Cut-off					

20380LEDING-BL

PRODUCT INFORMATION

Brand: Lithonia
Model: 20380LEDING-BL
Material: Aluminum
Finish: White
Weight: 1.5 lbs
Dimensions: 18" x 18" x 3"

TECHNICAL SPECIFICATIONS

Color Temperature: 3000K
CRI: 70
Beam Spread: 120°
Lumen Output: 2000 lm

PHOTOGRAPHS

PHOTOMETRICS

Photometric Data Table:

Beam Angle	Beam Diameter (ft)	Beam Diameter (in)	Foot Candles (fc)	Foot Candles (m)
120°	18.0	18.0	11.1	11.1
90°	12.0	12.0	22.2	22.2
60°	9.0	9.0	44.4	44.4
45°	6.0	6.0	66.7	66.7
30°	3.6	3.6	178	178

ADDITIONAL NOTES

1. See notes on sheet 20380LEDING-BL for details.

2. See notes on sheet 20380LEDING-BL for details.

3. See notes on sheet 20380LEDING-BL for details.

D-Series Size 0 LED Area Luminaire

Specifications

Color Temperature: 3000K
CRI: 70
Beam Spread: 120°
Lumen Output: 2000 lm

Photometric Data Table

Beam Angle	Beam Diameter (ft)	Beam Diameter (in)	Foot Candles (fc)	Foot Candles (m)
120°	18.0	18.0	11.1	11.1
90°	12.0	12.0	22.2	22.2
60°	9.0	9.0	44.4	44.4
45°	6.0	6.0	66.7	66.7
30°	3.6	3.6	178	178

Introduction

The D-Series Size 0 LED Area Luminaire is a high-quality, energy-efficient lighting fixture designed for use in commercial and industrial applications. It features a full cut-off design to minimize light spill and glare, making it ideal for use in areas where high contrast and uniform illumination are required.

American LitePole

SNS SQUARE MON IAPPERED STEEL

Specifications

Parameter	Value
Material	SNS Square Mon IAPPERED STEEL
Height	18.0 ft
Weight	150 lbs
Dimensions	18" x 18" x 3"

Photometric Data Table

Beam Angle	Beam Diameter (ft)	Beam Diameter (in)	Foot Candles (fc)	Foot Candles (m)
120°	18.0	18.0	11.1	11.1
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20380LEDING-BL

PRODUCT INFORMATION

Brand: Lithonia
Model: 20380LEDING-BL
Material: Aluminum
Finish: White
Weight: 1.5 lbs
Dimensions: 18" x 18" x 3"

TECHNICAL SPECIFICATIONS

Color Temperature: 3000K
CRI: 70
Beam Spread: 120°
Lumen Output: 2000 lm

PHOTOGRAPHS

PHOTOMETRICS

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ADDITIONAL NOTES

1. See notes on sheet 20380LEDING-BL for details.

2. See notes on sheet 20380LEDING-BL for details.

3. See notes on sheet 20380LEDING-BL for details.

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