DEVELOPMENT PLAN FOR

SUN MOUNTAIN TOWNHOMES

BLOCK 43, ADDITION NO. 2 TO THE TOWN OF WEST COLORADO SPRINGS, COLORADO SPRINGS, COUNTY OF EL PASO, SITE DATA

CO 80909

NORTH PARCEL: 10' FRONT (2011 / 21ST STREETS) 10' INTERIOR SIDE - NON-RESIDENTIAL (ALLEY) 10' REAR (NORTH)

SOUTH PARCEL:

10' FRONT (JUNTAH STREET)

10' INTERIOR SIDE - NON-RESIDENTIAL (ALLEY)

10' REAR (ALLEY)

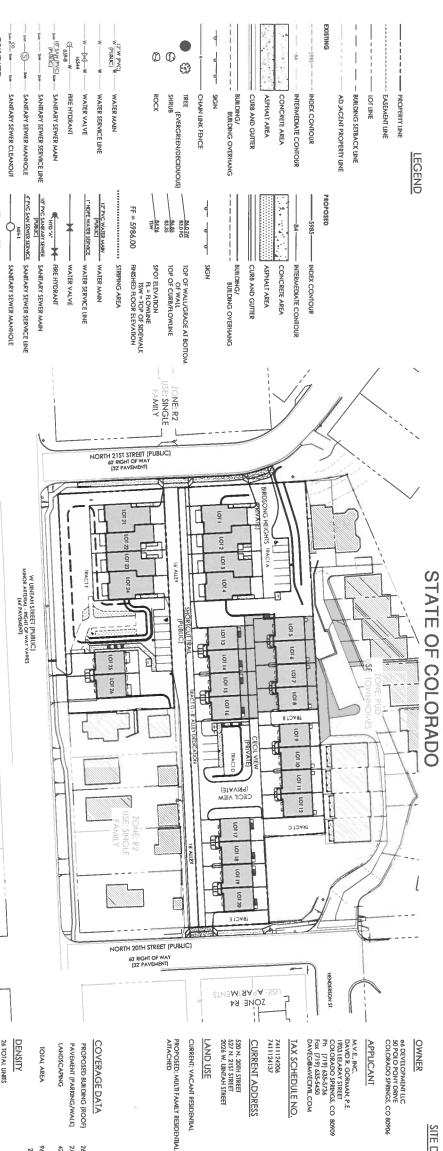
CO 80906

EXISTING: R2 (NORTH PARCEL) R2 UV (SOUTH PARCEL)

ZONING

VICINITY MAP

PROPOSED: R-FLEX (MEDIUM) SETBACKS



SANITARY SEWER CLEANOUT/ DOUBLE CLEANOUT WATER METER PIT BLECTRIC METER & SERVICE LINE NOTES HE AMERISEPONSIII E FOR HIS PLANHAVE FAMALAKEEN HEAKING SI WITH JALL CREEM ACCESSION E CORE AND SECRETA-NOD DIRE PROPICISED PLAN REFIELDES III. SIER ELEMENTE RECORDER OF THE PAPELALE FAIN DESIGNES AND AUSTA AND DESIGNES AN PUBLISE HE WHIED JAINED ED-ARMARI OF III. INC.E. APPROVAL OF THE ALM IN THE CHY OF CRICIALDD SPRANDAS CODES HOT ASSINE AWELANCE WITH HE ALM OR ANY OTHER EDEBLA OR SI THE ACCESSION THAN OR ANY FIGHT. WHO HE CHY OR CHILD SHAPE OR CHILD AND STATE ACCESSION TO THE ANY OR ANY FIGHT OWNER.

LEIZENIG CIURE GUITRE AND DIZENULY POSNO, A AVETY HAJADO, DAWAGEN, DOMBINE CECSIVA PERREDONANDA OR NON BENT CUTT PIGARESTROS (TANANDAS ALONGO ZIÓN TIETRE JATÍ JITRETI AND MIRTA NA IRRET ANALOGANI TO INE SITE MAIL NEDI DO SE OYED AND REPLACED PRON TO SILIJANG NE CREMPICATE OF OCCUPANAT I CO, JAN ONASTE METINA CLAMBES SIT DY MIRTI NE RESERAC DEPLACIPADAT TENEM NEDISCION TO DETEXANE MYALI E ANY, MARDYCUARITA ME REQUIRED, THE NEPICCION CLAMBE YED ALT TANALOSTI.

SIGNAGE IS NOT APPROVED PER THIS PLAN, A SEPARATE SIGN PERMIT IS REQUIRED. CONTACT THE DEVELOPMENT REVIEW ENTERPISSE AT 9-385-5982 TO BEGIN A SIGN PERMIT APPLICATION. IOADWAY, PARKING AREAS, CURB, GUTTER, SDEWALK, FENCING, DETENTION POND, STORMWATER FIPES, STORMWATER RILETS & IDSCAPING TO OWNED AND MAINTAIN BY THE SUN MOUNTAIN TOWNHOMES HOME OWNERS ASSOCIATION AND DEDICATED AS TRACTS OF

). COMMON AREA BEAMENTS (OCATED ON INDMIDUAL LOTS AS DÉTIMED BY THE SUN MOUNTAIN TOWNHOMES HOME OWNESS ASSOCIATION WALL BE MAINTAINED BY THE ASSOCIATION. L BYRING INDERGADUND UIIRES SHOWN ON THE MAY ARE FROM UTILITY MAY RECORD MAYS AND UTILITY SERVICE LOCATION MAYS DOCATION OF UTILITIES, AS HOWN, ARE ARPODIQMATE, ALL UTILITIES MAY HOT BE SHOWN OR MAY NOT HAVE BEEN LOCATED, BELOW UTILITY LOCATIONS WEEK NOT PERFORMED.

TRACT G SHALL BE DEDICATED TO THE CITY OF COLORADO SPRINGS FOR ADDITIONAL ALLEY RIGHT-OK-WAY, ACCE A HEEL PLATE GEREAULT FOR COMMON OPEN SPACE FOR THE RESIDENT OF SIJN MODIFICAN INFORMEDIAGE, TREET BACKE SMALL BUT FOR FORWARD AND THE SPACE AND THE SP

FLOODPLAIN STATEMENT

GEOLOGIC HAZARD DISCLOSURE

PROPERTY RELIGIONED WITHER HEAVA DESIGNATED JOVETS" (AREA OF MARWAL RIOOD HAJARD) AS RESIGNED ON THE RIOOD RAMCE EARTE HAP (REMAINTER HASO COUNTY, COLORADO AND INCORPORATED AREAS - MAR NUMBER 000H C0724G. CTIME DECEMBER 7, 2018.

I.. THE EXITING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED BY MVE. INC. USING DATA PROVIDED BY POLASS SURVETING INC., (MAYD TU)

2. ALL EXEMPG UNDERGROUND IMMES \$400M ON THE MAY NEE FORMITIENT MAN RECORD MAYS AND UTUM SERVICE. IN COLATION MAYS ON THE BEFORD THE MAY AND THE MEDICAL OF THE MAY ON THE MAY ON THE MAY ON THE MAY NOT THE MAY N

MAP NOTES

(4)

GAS METER & SERVICE UNE

OVERHEAD ELECTRIC LINE

WATER SHUTOFF VALVE/
SPRINKLER BOX
ELECTRIC TRANSFORMER/VAULT

IIGHT POLE TELEPHONE PEDESTAL 7' GAS (PLASTIC)

GAS MAIN

TRAIN COLLECTION SHALL BE THE BEDFONSBILITY OF EACH TOWNHOME OWNER WITH NOWIDUAL TRAIN BINS STORED INSIDE BACH UNIT, M WITHAU REAN-COLLECTION SHALL BE PROVIDED AND NO COMMON USE DIMPSTEDS ARE PROPOSED AS PART OF THIS TOWNHOME "REDPHASH".

NO PARKING PERMITTED IN DRIVEWAYS ABUTTING ALLEY. ACCESSME ROUTES, MICLIORIG PAWE AND SIDEMALIS, WITHEN HE RIBUIC BERH-OF-MAY SHALL BE FER THE CITY'S STANDARD WARGA AND SPECIFICATIONS, CITY'S ENCONEESING DETELOPMENT RENEW RESPECTION WILL HAVE THE FRALL AUTHORITY ON ACCESTING PUBLIC MATOY SHARITS.

13. THE PRIVATE ACCESS EASEMENT SHOWN HEREON WILL BE ESTABLISHED BY SEPARATE INSTRUMENT WHICH WILL ALSO DOCUMENT THE WHITEMANCE REPONSIBILITY OF THE GROUNDS AND FACILITIES LOCATED WITHIN SAID EASEMENT.

DP-1 (SHEET 1 OF 15)
DP-2 (SHEET 2 OF 15)
DP-3 (SHEET 3 OF 15)
DP-4 (SHEET 4 OF 15)
DP-5 (SHEET 5 OF 15)

COVER SHEFT
STIE PLAN
ADA ACCESS PLAN
PRELIMBARY CRADNO PLAN
PRELIMBARY CRADNO PLAN
PRELIMBARY BLAN
FACILITIES PLAN

SISI6-DEV-SP SISI6-DEV-ADA SISI6-DEV-PG

0.17	710				IOIAI
0.17	0.14	0.0064	0.0053	26	2-4 UNITS IN RESIDENTIAL STRUCTURE
ACRES OF LAND DEDICATION (COMMUNITY)	TOTAL ACRES OF LAND DEDICATION (NBGHBORHOOD)	ACRES OF DEDICATION PER UNIT (COMMUNITY)	ACRES OF DEDICATION PER UNIT (NEIGHBORHOOD)	NO. OF UNITS	HOUSING TYPE
	ENTS	OVERALL PARK LAND DEDICATION REQUIREMENTS	RALL PARK LAND DEL	OVE	

DP-9 (SHEET 9 OF 15)
DP-10 (SHEET 10 OF 15)

SHEETS 17 THRU 18 SHEETS 11 THRU 16

PHOTOMETRIC PLAN

ANDSCAPE & IRRIGATION

DP-6 (SHEET 6 OF 15)
DP-7 (SHEET 7 OF 15)
DP-8 (SHEET 8 OF 15)

STE DETAILS FIRE ACCESS / HYDRANT PLAN

CONSTRUCTION DOCUMENT

THIS PLAN SHALL NOT BE USED FOR CONSTRUCTION
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SPRINGS CEPLEPHENT PLAN APPROVED THE CHT OF COLORADO
PLANS ACHEDE TO THE APPROVED DEVELOPMENT PLAN.
PLANS ACHEDE TO THE APPROVED DEVELOPMENT PLAN.

EASEMENT STATEMENT:

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SHOW					
LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BETHE RESPONSIBILITY OF OWNER, AND/OR THEIR ASSIGNS, A	STANDARD NOTES	FAMILY	USE: SINGLE	ZONE: R2	

PROPOSED DENSITY = :

26 UNITS / 2.220 AC. =

11.71 DU/AC 5 - 16 DU/AC

96,704 SF (2.220 AC)

TOTAL SUBDIVISION AREA:

ALLOWED DENSITY (R-FLEX MEDIUM) =

26 TOTAL UNITS

TOTAL AREA

96,704 SF {100.0%} 2.220 ± ACRES

COVERAGE DAT PAVEMENT (PARKING) ANDSCAPING PROPOSED BUILDING

45' HBGHT LIMIT BY PROPOSED R-FLEX (MEDIUM) ZONING STANDARDS PROPOSED HBGHT IS 34.3'± FROM AVERAGE FINISHED GRADE

MAX BUILDING HEIGHT

SETBACKS SUBJECT TO CHANGE DURING FINAL PLATTING BUT SHALL MEET CODE.

DETENTION

1"=50' 1:600

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/WALK] (ROOF)

26.480 SF (27.4%) 27.974 SF (28.9%) 42.250 SF (43.7%)

PROPERI AREAS. A ALL "STOI STANDAR ACCESSE PARKE PARKE ALL DIREC COLOR S EACH

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THE SCHOOL SITE DEDICATION ORDINANCE IS TO BE MET BY FEES IN LIEU OF LAND.	THE MANERAL ESTATE OWNER MOTIFICATION CERTIFICATION AFFIDANTI WAS SUBMITTED AND CAN BE APPLICANT HAS ATTESTED THERE ARE NO SEPARATE MANERAL ESTATE OWNER(S) IDENTIFIED AND NO	THE VIET NOW SACHEM FOR THAT ALL EMPINED TRAINED STAIL BE FIRE CHILD FOR THE THE REPORT OF THE PROPERTY OF THE PROPERTY OF THE REPORT OF THE PROPERTY OF THE P	WARVE ROCHES (17) WIDE SIGNS SHALL BE LOCATED AT THE HEAD OF THE SPACE WITH THE BOTTOM FETT (5) AND SEVEN FETT (7) ABOVE THE THEM H GOOR OR GROUND SURFACE.	MOUNTED BEOWN THE SYMBOL OF ACCESSIBILITY. EACH YAVA ACCESSIBLE SIGN SHALL BE NO SWALLE BYOLES [187] FALL BY TWEE VERNICHES [17] WIDE. EACH YAVA ACCESSIBLE SIGN SHALL BE NO SWALLE

ZONE: R2 USE: SINGLE FAMILY		
NDARD NOTES		
LAPE IMAPROVEMBRÎS AND MAINTEMANCE SIALL BE THE RESPONSIBILITY OF OWNER, AND/OR THEIR ASSIGNS, ALL STREET TH RETSCAPE IMAPROVEMBNÎS LOCAITED IN THE ROW WILL BE MAINTAINED BY THE HOA.	OWNER, AND/OR THEIR ASSIGNE HOA.	INS. ALL STREET TR
ICELS WITHIN THIS DEVELOPMENT ARE SUBJECT TO THE COVENANTS, CONDITIONS, AND RESTRICTIONS OF THE SUN MOUNT, OMES ASSOCIATION.	TIONS, AND RESTRICTIONS OF	THE SUN MOUNT,
TY OWNERS ARE REPONSIBLE FOR THE MAINTENANCE FOR SIMRED COMMON TRACTS, ACCESS DRIVES, PRESERVATION AND LANDSCAPE AREAS ADJACENT TO THEIR PROPERTY.	ION TRACTS, ACCESS DRIVES.	PRESERVATION
JP SIGHS" WILL BE NOTALLED BY THE DEVELOPER AT THE LOCATIONS SHOWN ON THE DEVELOPMENT PLAN TO MEET MUTCI BOS, CONTACT TRAFFIC ENGREEBING, SIGNS & MARBINGS AT 719-385-4720 FOR ASSITANCE.	Y ON THE DEVELOPMENT PLAI O FOR ASSISTANCE	N TO MEET MUTCE
IBBLE PARIBNIG SPACES, ACCESS ARSIES, AND SIGNAGE SWALL MEET ALL APPLICABLE CITY CODE REQUIREMENTS INCLUDING SPACES AND ACCESS ARSIES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING ONE TO FIETY (1:59) (2 PEXCENT ECTIONS.	TUCABLE CITY CODE REQUIRE DI EKCEEDING ONE TO FIFTY I	NENTS INCLUDING
EXERGIF PARISHOLI SACE ISLAIL SE PERCENTEN AND ROMEN OF THE PERCENTEN OF THE PERCENT OF THE PERC	E DEGREE (45°) ANGLES IN A	CONTRASTING
ACCESSIE PARSHO SPACE SMILE ROBINANTE AL RESPOND IN A SCHINOWING THE RETEINANTONIK STANDOLD BIBLIT VIN MA CCESSIE SPACE SMILL INVER AN ADDITIONAL SCHIOLOGY SCHIOLOGY (VAN ACCESSIE). DI BIGIONI RESTANDOLOGY ACCESSIEI F. ACCESSIEI PARSHO SPACE SCHI SMILL IE HO SMALLE RIVAN ECETE IN AN ECETE IN A RESPONDANT OF ACCESSIEI F. ACCESSIEI PARSHO SCHIOLOGY SCHIO	GN SHOWING THE INTERNATION WANNER THE DESIGNATION, "VI WANNER THE NO SWALLER THAN SOLD INTERNATION OF THE SIGN WITH THE BOTTOM OF THE SIGN WITH THE SIGN OF THE SIGN O	NAL SYMBOL OF UN ACCESSBLE, IR THAN BIGHTEEN ICHES (6T TALL BY V(S) BETWEEN RW
I CODE ECTION 7.4.102.D., ALL INSHITME BRUIRES SHALL BETRILL CUT-OFF OR HAVE SHREIDING TO REDUCE OFF-SITE LIGHT S ORTIO, ADJACENT PROPERIES AND BOADWAYS, ALL DITEROE INSHITMES SHALL BE ARFANGED TO MITICATE INSHIT DIRECT TROM ADJACENT PROPERIES AND ANY PUBLIC RIGHT-OF-WAY, AN AMERIMAND TO THE TICAN HAVE BE REQUIRED IF THE G TIME B CHANGED.	OR HAVE SHELDING TO REDU HALL BE ARRANGED TO MITC MENT TO THIS PLAN MAY BE R	CE OFF-SITE LIGHT SATE LIGHT DIREC EQUIRED IF THE
ERAL ESTATE OWNER NOTESCATION CERTIFICATION AFRIDAVIT WAS SUBMITTED AND CAN BE FOUND IN FILE DEPN-24-0111.	TED AND CAN BE FOUND IN R	LE 069N-24-0111.

N-24-OIDT, IRE	1-LOOP BIKE RACK x 3 EA	STE LIGHTING PROVIDED SPACES: DIFTHE GARAGES	IWEEN HVE	_	YMBOLOF	ADA SPACES	REGULAR SPACES	PROVI	EET MUTCD FOTAL REQUI	GUEST PARKE	REGURED SPACES:	PARKING DATA	L STREET TREES
TOTAL PROVIDED SPACES	RACKX3EA		ESTIMATED 66,000 SF GROSS ROOR AREA (26 UNITS) @ 0.5 PER 1.,000 SF =	OFF-STREET BICYCLE PARKING REQUIREMENTS:	TOTAL PROVIDED SPACES		CES		TOTAL REQUIRED SPACES = 52 + 5	GUEST PARKING (10% REQ SPACES)	RED SPACES; 26 DWELLING, SINGLE FAMILY ATTACHED UNITS (2 PER DWELLING UNIT)	ĪA	
11	ш	II .	н		n	ш	н п	1	я	Ħ			
35 SPACES	9 SPACES	26 SPACES	33 SPACES		69 SPACES	2 SPACES	15 SPACES	3	57 SPACES	5 SPACES	\$2 SPACES		

LEGAL	
DESCRIPTION	

IOSI I HROUGH 16 AND 31 HROUGH 40, NICILISME, AND HESOUTH ONE-HALF OF VACATED HENDERSON STREE, AND HE SOUTHERY SO FEET OF LOTS 17, 18, 19 AND 20, BLOCK 43, ADDITION NO. 2 TO THE TOWN OF WEST COLORADO SPRINGS, COLURNO GRADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO.

CONTAINING AN AREA OF 96,704 SF. (2,220 ACRES) MORE OR LESS.

51516-DEV-PU 51516-DEV-FRE 51516-DEV-FL1 51516-DEV-FL1 51516-DEV-FL1 Containing a combined total area of 2.52 acres TOGETHER WITH THE 16" WIDE PUBLIC ALLEY ON SAID BLOCK 43 [7,999 SF. / 0.184 ACRES] TO BE PLATTED AS SUN MOUNTAIN TOWNHOMES

ä			F.		
	CHECKED BY	AS-BUILTS BY	CHECKED BY	DRAWN BY	DESIGNED BY

COVER SHEET

DP-1 AVE PROJECT 51516
AVE DRAWING DEV-CS **DECEMBER 5, 2024** SHEET 1 OF 18

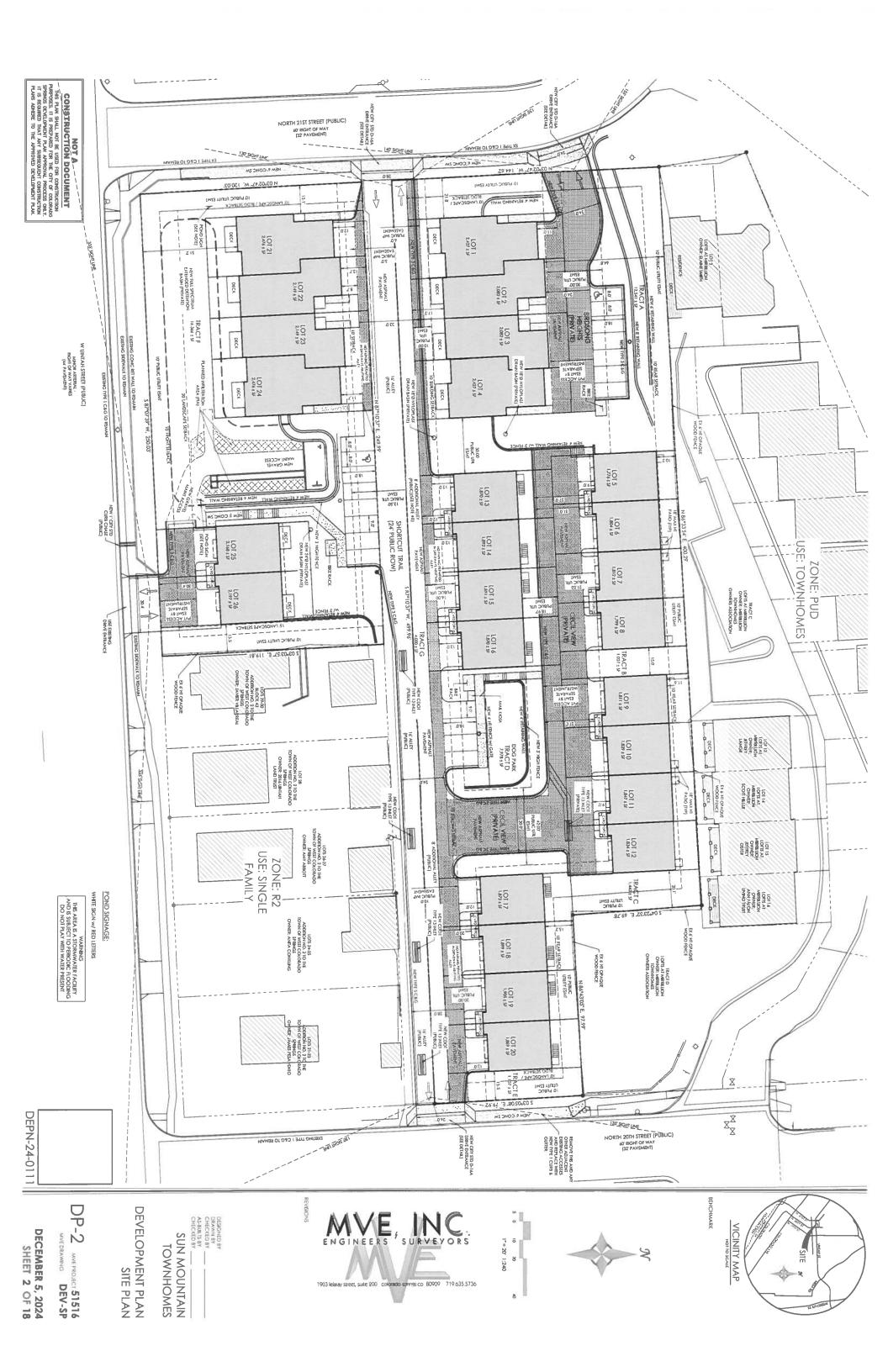


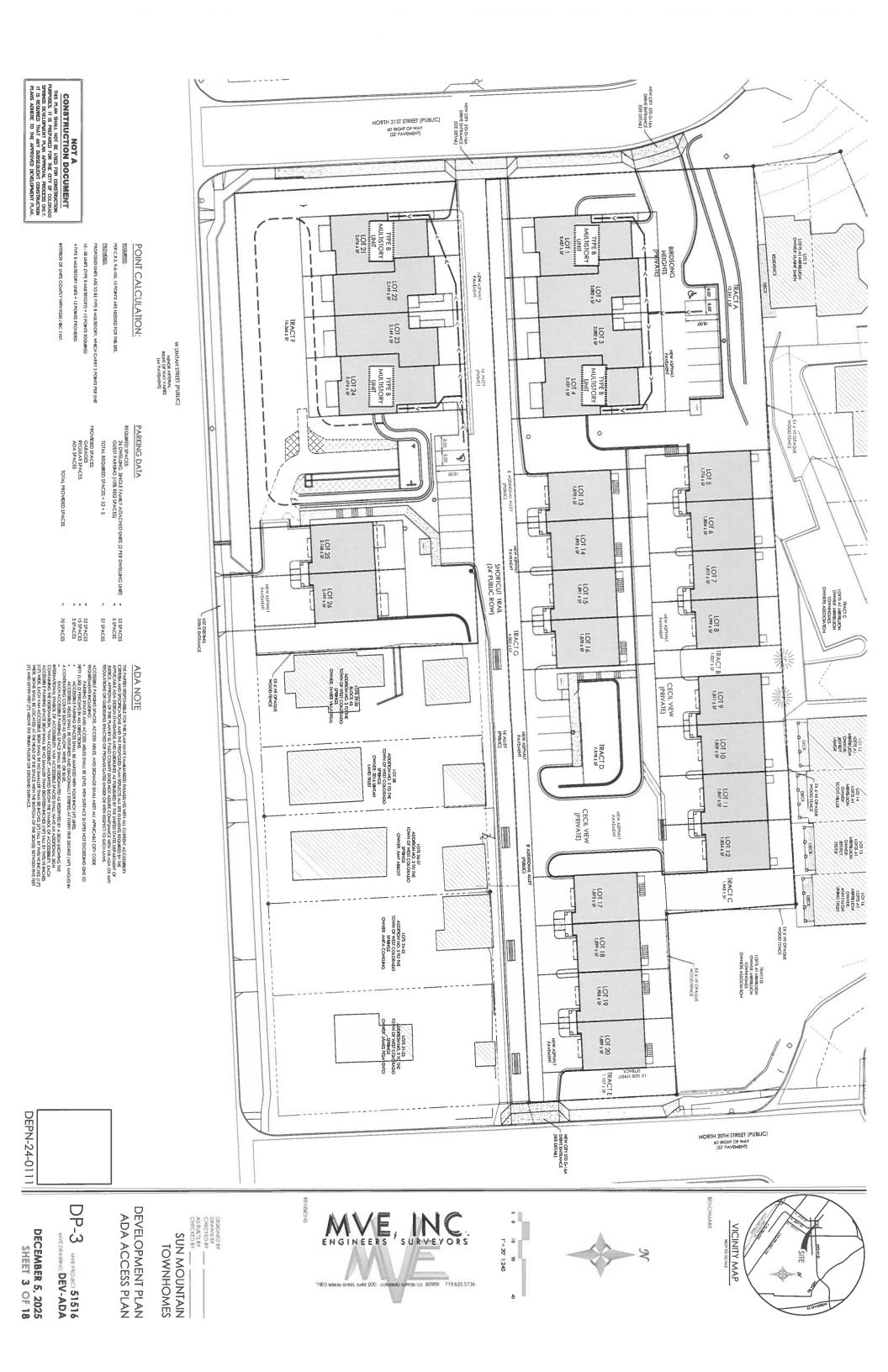


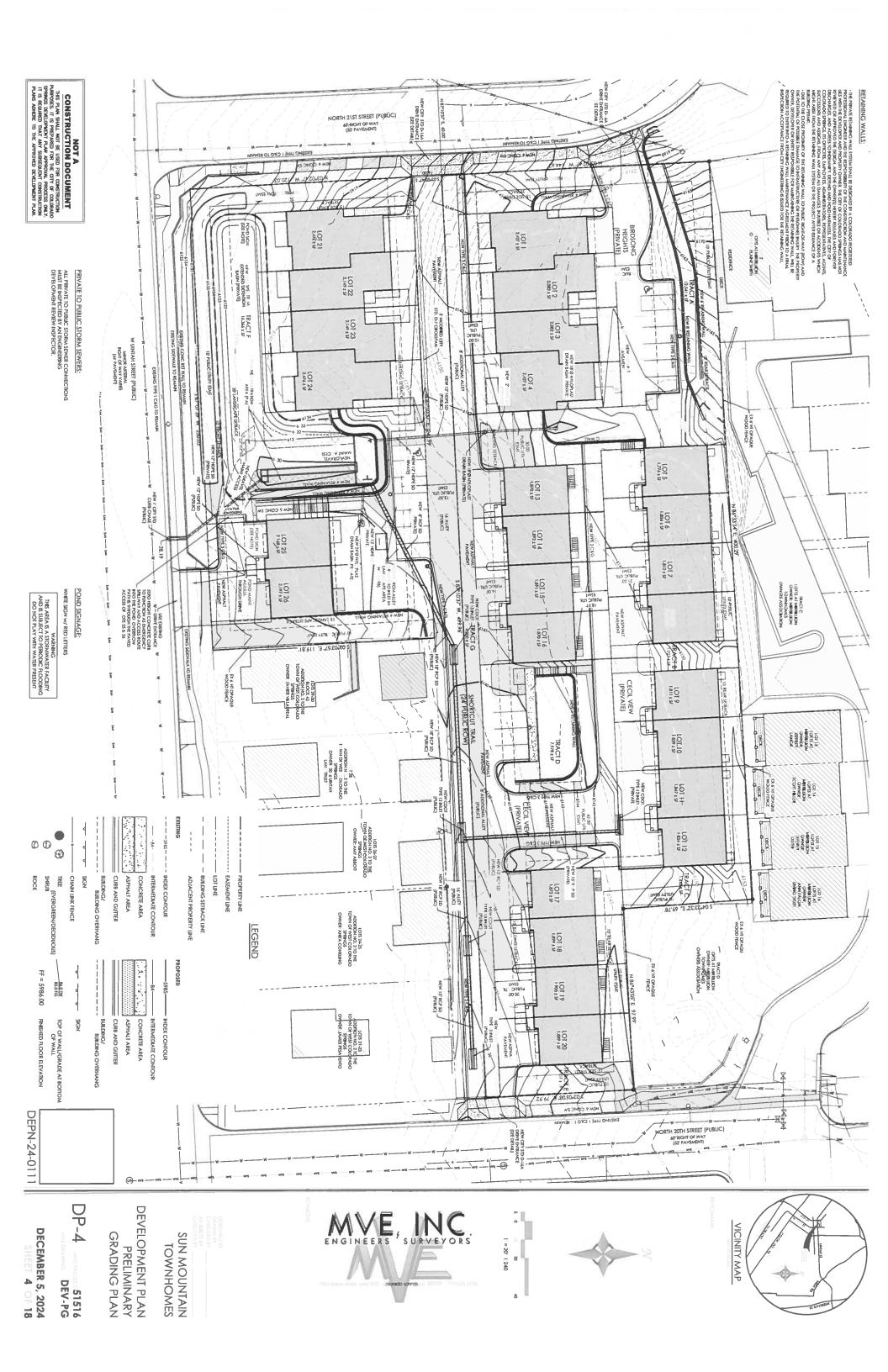
SUN MOUNTAIN TOWNHOMES

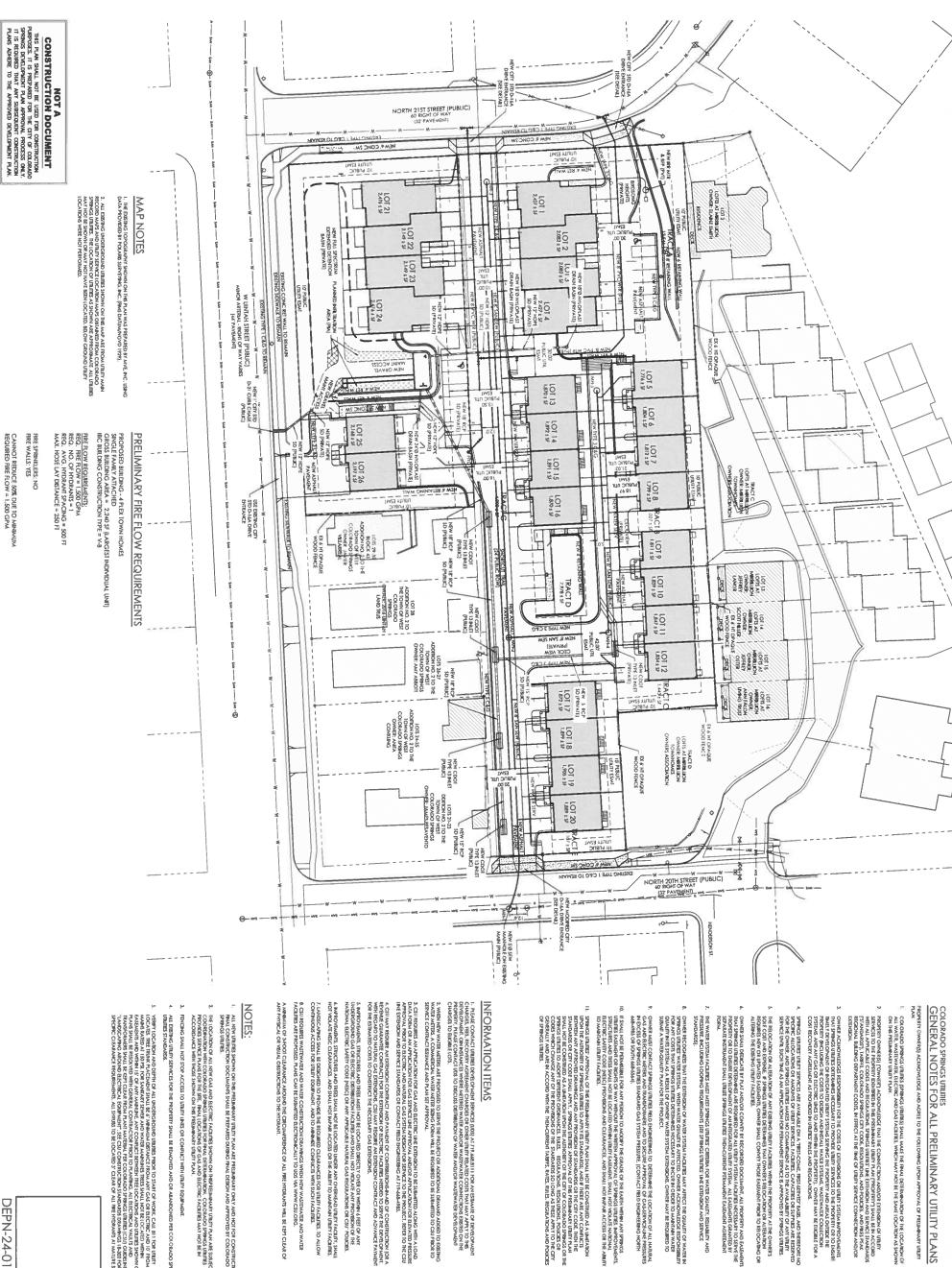
DEVELOPMENT PLAN

DEPN-24-0111









PROPERTY DWNER(S) ACKNOWLEDGE AND AGREE TO THE FOLLOWING UPON APPROVAL OF PREUMINARY UTILITY PLAN COLORADO SPRINGS UTILITIES GENERAL NOTES FOR ALL PRELIMINARY UTILITY PLANS

(\$PRINCS UTBITES) SHALL MAKE THE FRIVAL DETERMINATION OF THE LOCATION OF CITIES AND GAS FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN LAN.

SITE

THE ACCHOMISSES THAI HE CONNECTION AND/OR ETHISSON OF VITILITY ACCHOMISSON THE STREAM THAIL THE PROPERTY LAWLER ACCION AND RECLEANIONS. SPRINGS HIMITES I HE DITHESON AND VISITES THAIN AND AND THE FAX AND POLICES. AND POLICES THAIN AND AND THE PRAY AND

IS ARE AVALABLE ON A TRIST-COME. PRIST-SERVED" BASIS, AND THEREFORE NO CONTS OF UTILITY SERVICES, FACULTIES, CAPACITIES OR SUPPLES ARE RESERVED UTILITIES MASES IN COLAMINATION AS TO THE AVALABILITY OF ARY UTILITY IN APPLICATION FOR PERMANENT SERVICE IS APPROVED BY SPRINGS UTILITIES.

THE REDICATION OF AUTEATION OF ANY EXISTING UTILITY FACILITIES WITHIN THE PROPERTY AT THE OWNERS SOLE COST, AND EXPENSE, IF SYMEKS UTILITIES DETERMINES THAN OWNERS SEX DICATION OF AUTEAUTION REQUIRES NEW OR INFORTE SALSHAFT, OWNER SHALL CONVEY THOSE EASTAND'S TO REDICATING OR AUTEBRIG THE EXISTING UTILITY FACILITIES.

BENCHMARK

VICINITY MAP

LAT AND/OR CONVEY BY RECORDED DOCUMENT, ALI PROPERTY AND EASEMENT MEIS ARE REQUIED FOR ALL VILLIT SYSTEM FACEITIES NECESSARY TO SERVE THE ELOPMENT OF AN METERALTED LITH TYSTEM, ALL EASEMENT GANANTED BY VIRLITE SYRWICS UTILITIES THEN-CURRENT PERMANENT EASEMENT AGREEMENT

WATER \$19TEM FACLITIES MUST MEET \$PRINGS UTILITIES CORTEDA FOR WATER QUIVAITY, BELMBLITY AND SURRE, INCLUDING LOCKING REQUIEDMENTS (SEE \$PRINGS UTILITIES) UNE DITENSOM AND SERVICE YOUNDS).

OWARE RECORDED HAN THE REPREDUCTOR WHITE STEEL HAZIDE MAY AFFECT THE GUALITY OF WATER HAZINE TO CHARLE WHITE WATER HAZINE HAZINE HAZINE CALVENDED ESTED CHARLE TO CHARLE THE CHARLE STEEL CHARLE SEED CHARLE TO CHARLE WATER TO MAY COUNT THAT DEPOSIT THE DETERMENT HE SHEELE MAY TO MAY UP AN OLD THE HOUSE HAZINE TO CHARLE WATER THE SHEELE CHARLE STEEL OF CHARLE WATER THE SHEELE CHARLE STEEL CHARLE THE SHEELE C

OR ANY PERSON TO MODEN THE GRADE OF THE EARTH WITHEN ANY SPERNGS. OF WAY WITHOUT THE WRITTEN APPROVACION OF SPERNGS UTLITIES, MAPOVEAGHTS, NOT BE COCATED WITHOUTHEN UTLIANT EAST-BASH, SHALL HOT VICALIER, MATIONAL, PROVISIONS AND CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY PROVISIONS AND CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY PROVISIONS AND CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY PROVISIONS AND CLEARANCES.

1" = 30" 1:360

LUSE CONNICT INTIMES DONG DAMBNI SERVICES (IDE) (A 17) #4.481 (IT OR AN ESMANE) OR SORGOPANIA BUCES, ERES RECORRET ACRESHAPIO CHARGES DE ORIGER (IDE) (A 17) #4.47 (IN TO IT OR AND CHARGES AND AND AND CHARGES (AND ESMAND OR WASTENARES CONNECTIONS EXISTED ON ITSE PERFEY PLANTACI LOS TO DECLES DETIRBUTION OF WATER AND JOH WASTENARED DONG ON-BEN IN CELES CONTACT LOS TO DECLES DETIRBUTION OF WATER AND JOH WASTENARED DONG ON-BEN UNCES TO BLOOSE (LOS).

ROPCISED TO SERVE THE PROJECT OR ADDITIONAL DEMAND ADDED TO EXITING NTER METER SIZING FORM WILL BE REQUIRED TO BE SUBMITTED TO CSU PRIOR TO PLAN SET APPROVAL.

CONTRACT AND PAYMENT OF CONTRIBUTIONS.44-AUD OF CONSTRUCTION (OR A OR HE EXTENSION OF ELCTING. FACILITIES MEDIED TO SERVE THE ENFELOPMENT, SUDING, CULH ANY REQUIRE AN EXTENSION CONTRACT AND ADVANCE PAYMENT IRUCT THE NECESSARY GAS EXTENSIONS.

I, IMPROVEMBNTS, STRUCTURES AND TREES SHALL NOT BE LOCATED UNDER ANY OVERHEAD UTILITY FACILITY, SHALL FOT VIOLATE NESC CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES, D TREES MUST NOT BE LOCATED DIRECTLY OVER OR WITHIN & FEET OF ANY DISTRIBUTION FACILITIES AND SHALL NOT VIOLATE ANY PROVISION OF THE [NESC] OR ANY APPLICABLE NATURAL GAS REGULATIONS OR CSU! POUCCES TO TO PROVIDE THE REQUIRED CLEARANCES FOR UTILITY FACILITIES, TO ALLOW CUPMENT, AND TO MAINWEE CONFLICTS WITH SUCH FACILITIES.

ALL NEW INTERS SHOWN ON THE PREDMANAY VILLY PLAN ARE PREDMANAY ONLY AND NOTFOR CONSTRUCTION THAN CONSTRUCTION DOCUMENTS SHALL BE PREPARED DUBNG THAL DESIGN AND APPROVED BY COLORADO SPENGS VITLITES.

THE LOCATION OF ALL NEW GAS AND ELECTRIC FACILITIES SHOWN ON THEFFELMEAURY (INJITY PLAN ARE SUBJECTTO COORDINATION WITH COORAIDOS SYBRAGS UTILITIES FOR FIRAL DETERMEAURDH, COLORADOS SYBRAGS UTILITIES FOR FIRAL DETERMEAURDH, COLORADOS DERROGS UTILITIES FOR FIRAL DETERMEAURDH, COLORADOS EN FROMES ESTROZE FIRAC FACILITIES MAY HOT BE IN ACCORDIANCE WITH THOSE SHOWN ON THE PREDMEAURY UTILITY PLAN.

FENCING SHALL NOT STOP ACCESS TO UTILITY LINES OR CONFLICT WITH UTILITY EQUIPMENT.

ALL DESTING UTUTY SERVICES FOR THE PROPERTY SHALL BE REMOVED AND OR ASLANDONED PER COLORADO SPRINGS TIANDARDS.

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SUN MOUNTAIN

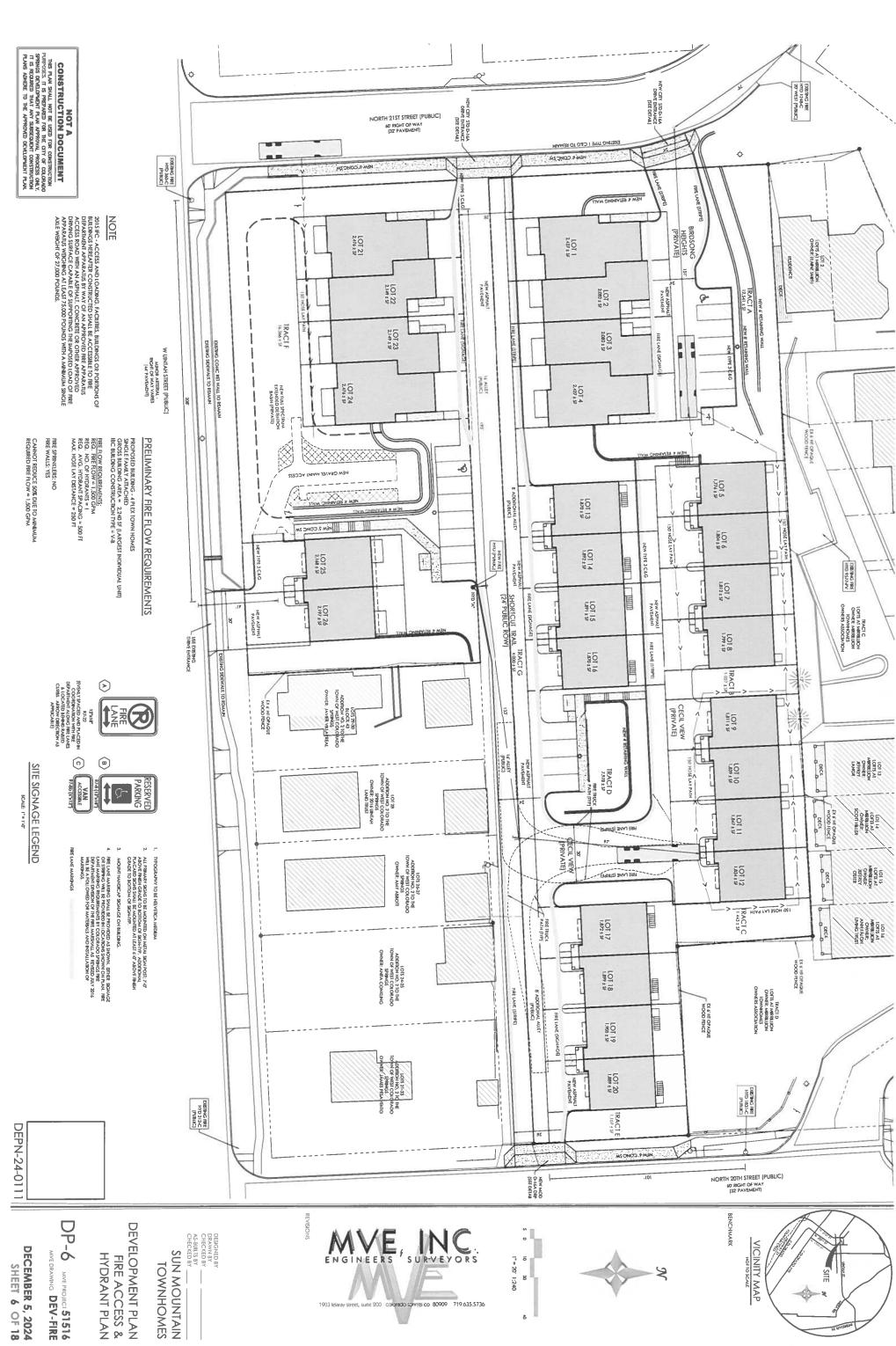
PRELIMINARY UTILITIES AND PUBLIC FACILITIES PLAN DEVELOPMENT PLAN TOWNHOMES

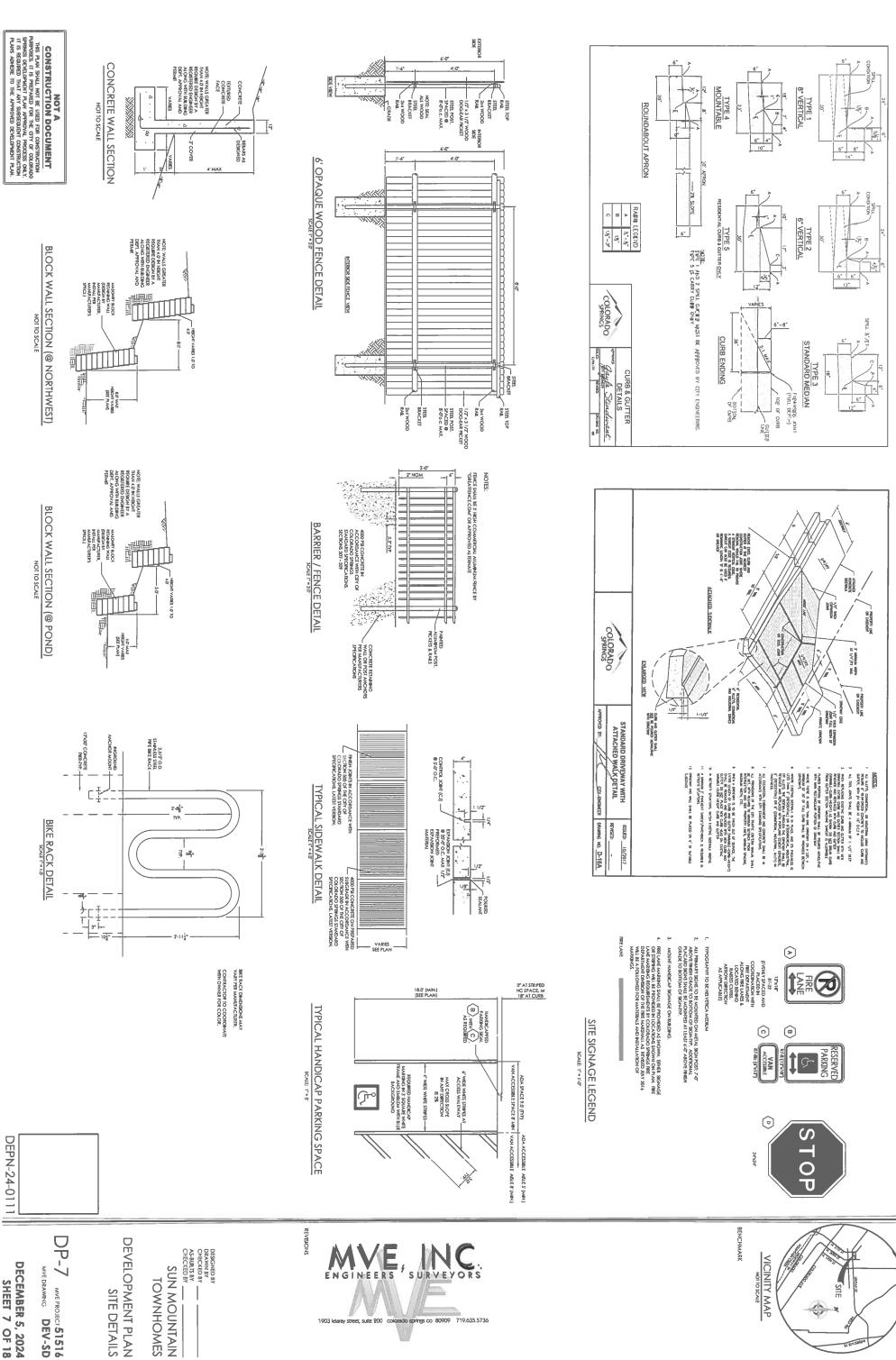
DP-5 MVE PROJECT 51516

DECEMBER 5, 2024 SHEET 5 OF 18

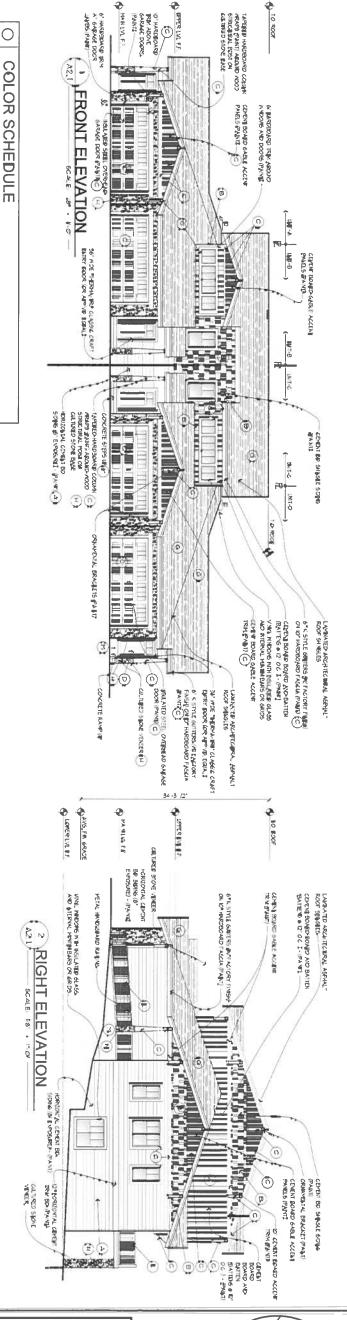
DEPN-24-0111

DEV-PU





DECEMBER 5, 2024 SHEET 7 OF 18



VICINITY MAP

SITE



CEMENT BOARD BOARD AND BATTEN (BATTENS & 12" OC ! - (PAINT) AND INTERNAL MENTHER BARG OR GRIDS-

ANET (BAINL)
THEN BOYSD GYBTE VOCANL

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REAR ELEVATION

HORIZONIAL CENDNI BD. 5 IPNS (B" EXPOSURE) - BPAINTE A)

ELECT METER

BUILDING ELEVATIONS FOR LOTS 1-4 & 21-24

6" K STYLE BUILTERS BY FACTORY FILISH)
CU IO" HARDBOARD FASSIA (PAIN") ROOF SERVICES

WIT-D

Pile Dille

2-1.Mn

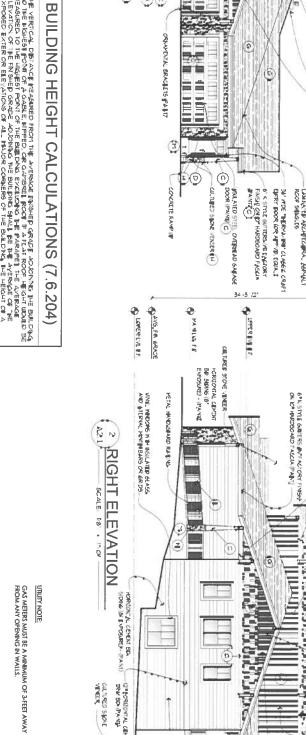
WI-B

T+B

ORNAMEDIAL BRACKET (PAINT) (C)

CEMENT BOARD GABLE ACCENT







RUNGE ARCHITECTURE

CHARLES W. RUNCE, JR., ARCHITECT S315 CERIMANE CT. COLOBADO SPRINCIS, CO 80919

8 SASHOTER 288-4 TOMESTATES OF MAR LWL F.F. TO_ROOF ENREA DA COMPAND LAST A - CALTURED STONE VENEER (h.) - HDERONIAL CHIMINI BD. SIMBS (PANTE) A TEM BO (PANE) ASPHALT ROOF SHINNES CEMENT BOARD BOARD AND BATTEN BATTENS & 12" O.C. 31- (PANY) ---LANSWIED ARCHITECTURAL ASPHALT O ROOM DIOMERLY IF AVS. F. 6 BRADE Depres 1.1 FF. (E) (A) (B)/(C) CERNIED SHASHE SONS
PANNIE
CERNIED BOARD SABLE ACCENT
PANNIES MANTH SIDNS (B' EXPOSIRER - (PALVE) TRAY BAND ACCENT

REVISIONS

SUN MOUNTAIN **TOWNHOMES**

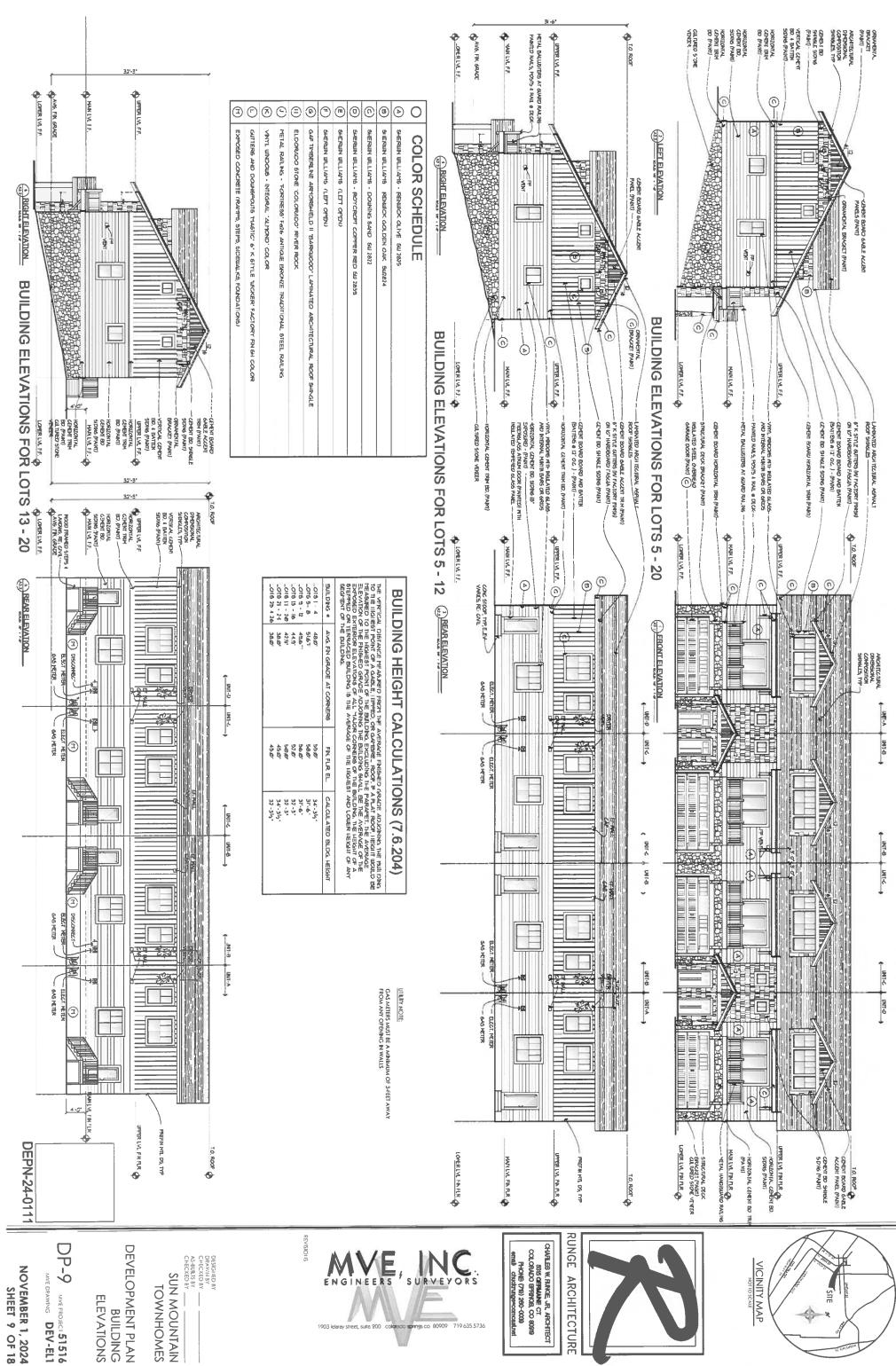
DEVELOPMENT PLAN **ELEVATIONS** BUILDING

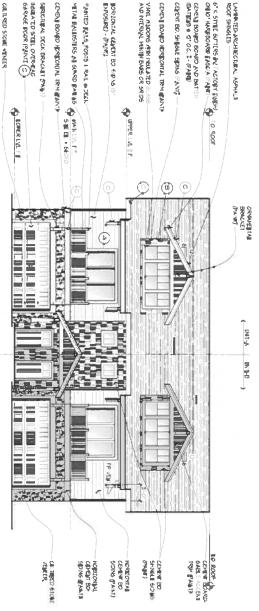
LEFT ELEVATION

DP-8 MYE PROJECT 51516
MYE DRAWING DEV-ELT

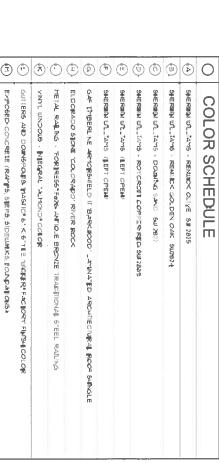
NOVEMBER 1, 2024 SHEET 8 OF 18

DEPN-24-0111









THE LIGENT CALDISTANCE MEASURED FROM THE AMPRIMED RIVERTO ROUGH AND NINKS THE BUILDING TO THE HAMES PROVING A CALEUR, HIPPED OR CAMPBEEL ROOF IF A HALT ROCK HERSEN LIDER RESEARCH OF THE PROVING A CALEUR, HIPPED OR CAMPBEEL ROOF IF A HALT ROCK HERSENGE PILE REPAYATION OF THE PROVING A CALEUR, HIPPED OR CARROLL ROOF OR THE SHALDEST HE AMPRICATE OF THE STANDARD RELEVATIONS OF ALL PLANDES CORRESTS OF THE BUILDING THE HALF OF CORRESTS OF THE HALF OF T

BUILDING HEIGHT CALCULATIONS (7.6.204)

e sharing

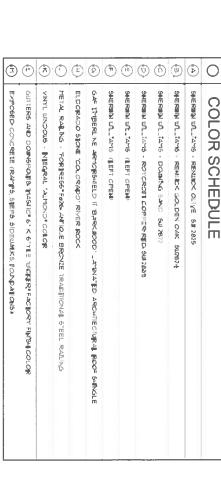
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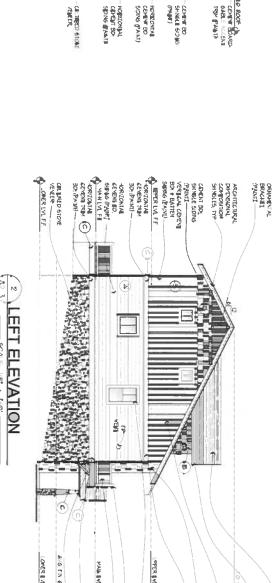
CALCULATED BLDG HEIGH

480 496 429 380

2500 0 0 5500 5500 0 0 5500

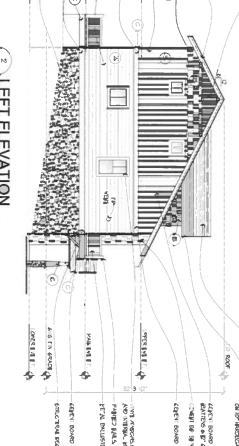






LEFT ELEVATION

GAS METERS MUST BE A MINIMUM OF 3-FEET AWAY FROM ANY OPENING IN WALLS.



WITH A BALLISTERS IT SHAPE OF A STATE OF A S ON 19" HANDBOARD FASCIA (PAI), II CLYENT BOARD BOARD AND BATTERS & ID! OK ! - IPAINT! CENTRY BY SHINGE SIDNS (PAINE) CENENT BOARD HORIZONTAL TRUM

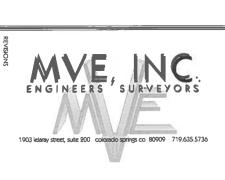
HAMMATED ARCHITECTURAL ASPI IDOF SWIKLES VICINITY MAP SITE

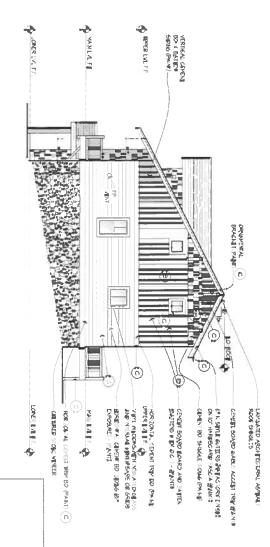
- STRUCTRAL DECK BRACKET (PAN CENERI BOARD HORIZONTAL BRIN

RUNGE ARCHITECTURE

CHARLES W. RUNCE, JR., ARCHITECT 5315 CERMANE CT. COLORADO SPRINCIS, CO 80919

PHONE: (79) 280-0039 email: chuckrunge*comcastnet





ASSTONING CENERAL BY VIOLEN OF VEHICLE CHARGE CA SELDS

(0)

HABITALES LIDALEGE GOFFE ENGLAND LIDAGE LIDAGE LEGISLA CONTROL (LA ENSIGNATION CALLO LA LIBRATE LIDAGE LA LIBRATE LA LIBRATE LIDAGE LA LIBRATE LIDAGE LA LIBRATE LA LIBRATE

(b)

MAIN LYL FF

NOOD DECK AT JUPLENES, NOOD DECK AT JUPLENES, REI CIV

LOYER IN FE

REAR ELEVATION

SALES SVO

AVS FN GRADI

GENERIJ BOARD BOARD AND BATTEN BATTENS & 12" OC. \$- | PAINT!

(0) (0)

HEGIZONIAL CENERA LIGHTED PAINTS

ROOF SHINGLES.

(NI-3 PATA)

O. ROOF

RIGHT ELEVATION

BUILDING ELEVATIONS FOR LOTS 25 - 26

DEPN-24-0111

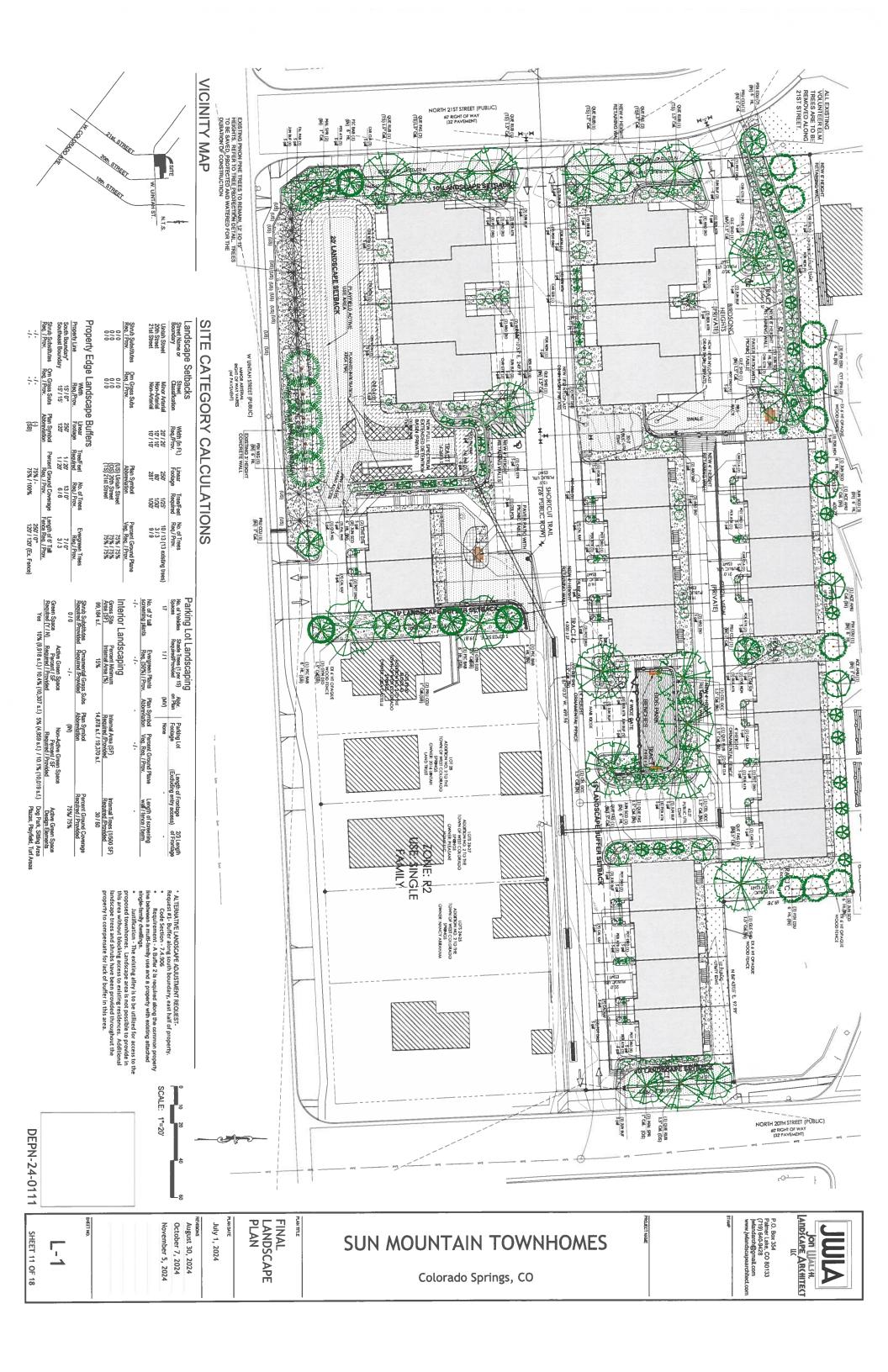
DP-10 MVE PROJECT 51516
MVE DRAWING DEV-EL1

DEVELOPMENT PLAN

ELEVATIONS BUILDING SUN MOUNTAIN

TOWNHOMES

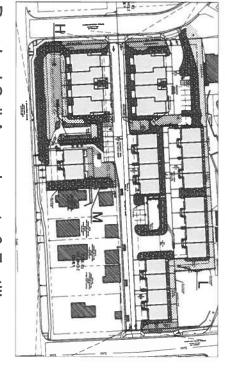
NOVEMBER 1, 2024 SHEET 10 OF 18



Hydrozone Diagram

MEDIUM WATER USE (M) 20,434 SF HIGH WATER USE (H) LOW WATER USE (L) 11,011 SF SS SW'B

SUB-TOTAL: 39,790 SF



Required Soil Amendments & Fertilizers

GROUND PLANE TREATMENT	CLASS 1 OM SOIL AMENDMENT	(15 TO 20 PPM)	PHOSPHORUS (10 TO 15 PPM)	POTASSIUM (10 TO 15 PPM)	L NITROGEN PHOSPHORUS POTASSIUM (K, ZN, FE, MN, (15 TO 20 PPM) (10 TO 15 PPM) (10 TO 15 PPM) B, CU, & BIOSOL)	E.C., SALT, OR PH TREATMENT	ROTO TIL
NATIVE GRASS	3 CU / YD. PER 1,000 SF	0.5 LBS PER 1,000 SF	1.9 LBS PER 1,000 SF	N/A	A/N	0.1LB PER 1,000 6" TO 8" MIN SFELEM, SULFUR	6.10
IRRIGATED LAWN	4 CU / YD.PER 1,000 SF	0,7 LB PER 1,000 SF	3.9 LBS PER 1,000 SF	N/N	A/N	0.1LB PER 1,000 6" TO 8" MIN. SFELEM, SULFUR	6" 10
SHRUB BEDS	3 CU / YO.PER 1,000 SF	0.6 LB PER 1,000 SF	0.2 LBS PER 1,000 SF	N/A	A/N	N/A	6" TO 8" MIN
CLASS 1 ORGAN	IIC MATTER (OM)	SOIL AMENDME	NT TO CONSIST	T OF BIOCOMP	1' SOIL AMENDME	CLASS 1 ORGANIC MATTER (OM) SOIL AMENDMENT TO CONSIST OF "BIOCOMP 1" SOIL AMENDMENT'S (PIONEER SAND).	,O

A FINAL LANDSCAPE AND IRRIGATION PLAN, WITH APPLICABLE SUPPORTING MATERIAL, SHALL BE SUBMITTED AT TIME OF BUILDING BERMIT APPLICATION AND SHALL BE APPROVED FEORE ANY BUILDING PERMIT APPROVAL, ANY LANDSCAPE OR IRRIGATION CONSTRUCTION, AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

Standard City of Colorado Springs Notes

. ALL PROPOSED LANDSCAPNIG SHALL BE WATERED BY AN AUTOMATIC IRRIGATION SYSTEM WHICH WILL PROPOSED IRRIGATION TO ALL SHRUB BEDS AND TREES WITHIN NATIVE SEED AREAS AND SPRAY IRRIGATION TO ALL HIGH-WATER USE TURF AND NATIVE SEED AREAS.

THE OWNER OR DEVELOPER IS REQUIRED TO PROVIDE INSPECTION AFFIDANTS EXECUTED BY THE COLORADO LICENSED LANDSCAPE ARCHITECT OR CERTIFIED IRRIGATION DESIGNER OF RECORD FOR THE PROJECT, WHICH CERTIFIES THAT THE PROJECT WAS INSTITULED AND ROMEJUACKE WITH THE APPROVED FINAL LANDSCAPE AND RRIGATION PLAN ON FILE IN CITY PLANNING, THIS SHOULD REQUIRE LIMITED CONSTRUCTION OBSERVATION VISITS TO ACCURATELY COMPLETE THE AFFIDANTS, WHEN READY TO CALL FOR INSPECTION AND SUBMIT AFFIDANTS, FIRST CONTACT THE CITY PLANNING OF RECORD FOR THE PROJECT (719-385-5805) AND AS NECESSARY OUR DRE OFFICE (719-385-5802).

COPIES OF RECEIPTS/DELIVERY TICKETS FOR SOIL AMENDMENTS INSTALLED ON THE PROJECT ARE REQUIRED TO BE PROVIDED WITH THE INSPECTION AFFIDANTS.

IF SOIL IN THE PARKINGLOT HAS BEEN COMPACTED BY GRADING OPERATIONS, THE SOIL WITHIN THE WATER SHALL BE TILLED, OR REMOVED TO A DEPTH OF THIRTY (30) INCHES AND REPLACED WITH AN ACCEPTABLE COMING MEDIUM FOR THE SPECIES BEING INSTALLED.

TILLING OF THE EXISTING SOIL TO INCORPORATE AMENDMENTS AND COUNTER ANY COMPACTION OR SOIL CONSOLIDATION SHALL BE REQUIRED FOR ALL LANDSCAPE PLANTING AREAS.

Grading / Drainage Notes

- LANDSCAPE CONTRACTOR IS TO VERITY THAT ALL FINISHED GRADES COMPLY WITH GRADING PLAN PREPARED BY CRIQ. EXAMERS, VERITY THAT ALL SLOPES DRAIN AWAY FROM BULDINGS), AND THAT DRAWANGE SWALES ARE CORRECTLY LOCATED AND CLARRY WATER AS MITEMEDS. NOTHEY GORBLAC CONTRACTOR PROPA TO CONSTRUCTION IF STAILANDING WATER IS PRESENT (OTHER THAN DETENTION FACILITIES) OR IF SLOPES ARE NOT GRADED AS PER APPROVED GRADING PLAN.
- LANDSCAPE CONTRACTOR IS TO LOCATE ALL DOWNSPOUTS AND DOWNSPOUT EXTENSIONS AND VERIFY THAT NO OBSTRUCTIONS ARE IMPEDING THE FLOW OF WATER AWAY FROM THE BUILDING.
- GENERAL CONTRACTOR AND LANDSCAPE CONTRACTOR ARE TO PROVIDE TEMPORARY EROSION MITIGATION MEASURES FOR THE DURANTON OF LANDSCAPE CONSTRUCTION. THIS INCLUDES PLACEMENT OF WAITLES MUDDIN EROSION BLANKET WHEREVER DRAWNOSE ERODIES MARE SOIL AND RUNOFF CAN POTENTIALLY DAMAGE NEIGHBORING PROPERTIES OR SEDMENT COULD POTENTIALLY FLOW OUTSIDE OF PROPERTY LINES.

PLANT SCHEDULE

YE	BOTANICAL NAME	COMMON NAME	SIZE	NOTES	HEIGHT	CODE REQ.
JS TREE	is .					
ယ	Acer ginnate	Amur Maple	1° Cal.	B & B	15'-20' x 15'-20'	ROW / Medians
ω	Celtis occidentalis	Common Hackberry	1.5" Cal.	B & B	30'-40' x 30'-40'	Park/ROW/Median/Stream
5	Gleditsia triacanthos inermis 'Shademaster' TM	Shademaster Locust	1.5" Cal.	B & B	30'-50' x 30'-50'	Park / ROW / Median
2	Gymnocladus dioica 'Espresso'	Espresso Kentucky Coffeetree	1.5° Cal.	8 g B	40'-50' x 30'-40'	Park/ROW/Median/Stream
۵	Matus x 'Spring Snow'	Spring Snow Crab Apple	1° Cal.	8 & B	20'-30' x 20'-30'	ROW/Median/Stream
ű	Prunus cerasifera 'Newport'	Newport Flowering Plum	1° Cal.	B & B	15'-30' X 15'-25'	ROW / Medians
œ	Quercus robur 'Fastigiata'	Fastigiate English Oak	1.5° Cal.	B & B	50'-60' X 15'-20'	ROW/Median/Stream
6	Quercus rubra	Northern Red Oak	1,5° Cal.	B & B	50'-60' x 35'-50'	ROW
EN TRE	o o					
26	Juniperus scopulorum	Rocky Mountain Juniper	9, HF		15'-25' x 8'-15'	Screen / Wall / Trash
4	Picea pungens glauca 'Baby Blue Eyes'	Baby Blue Eyes Spruce	9, Hr	8 % 8	20'-40' x 10'-20'	Screen / Wall / Trash
9	Pinus cembroides edutis	Pinyon Pine	9. Hr.	8 & B	15'-20' x 15'-20'	Screen / Wall / Trash
O	Pinus nigra	Austrian Black Pine	9; Ht	8 & B	40'-60' x 20'-35'	Screen / Wall / Trash
128 128	TOTAL NUMBER OF TREES (96% SELECTED SPECIES BOTANICAL NAME	COMMON NAME	SIZE	NOTES	HEIGHT X WIDTH	CODE REQ.
20	Aronia melanocarpa "iroquois Beauty" TM	Dwarf Black Chokeberry	5 gal		2'-3' x 3'-4'	
27	Berberis thunbergli 'Atropurpurea'	Red Leaf Japanese Barberry	5 gal		4'-5' x 4'-5'	Screen/Wall
7	Caragana arborescens	Siberian Peashrub	5 gal		6'-10' x 6'-8'	Screen / Wall / Trash
15	Caryopteris x clandonensis 'Blue Mist'	Blue Mist Spirea	5 gal		3'-4' x 3'-4'	
4	Cercocarpus montanus montanus	Mountain Mahogany	5 gal.		6'-10 x 4'-6'	Wall / Trash
N	Chamaebatiaria millefolium	Ferribush	5 gat		4'-6' x 4'-6'	Screen
14	Chrysothamnus nauseosus graveolens	Tall Green Rabbitbrush	5 gai		3-6 x 4-6	Screen/Wall
N	Cytisus purgans 'Spanish Gold'	Spanish Gold Broom	5 gal		4'-6' x 4'-6'	
10	Fallugia paradoxa	Apache Plume	5 gal		4'-6' x 4'-6'	Screen/Wall
10	Forestiera neomexicana	New Mexico Privet	5 gal		8'-10' x 8'-10'	Screen / Trash
42	Juniperus sabina 'Buffalo'	Buffalo Juniper	5 gal		1'-2' x 6'-8'	
24	Perovskia atriplicifolia	Russian Sage	5 gal		3'4' x 3'4'	
41	Potentilla fruticosa 'Gold Drop'	Gold Drop Potentilla	5 gal		2'-3' x 3'-4'	
218	TOTAL NUMBER OF SHRUBS (73% SELECTED SPECI	ES- 70% MINIMUM)				•
ITAL GR	ASSES					
20	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	3 gal.		3'-5' x 1'-2'	Screen
era	Notes					, *
	OTY	GRASS RESERVED TO SEE THE SECOND RESERVED TO SEE THE SECOND RESERVED TO SECOND RESERVED T	IOTANICAL NAME Loer ginnala delitis cocidentalis deditis triacanhos inermis 'Shademaster' TM sprinocadus diolea 'Espresso' slaus x 'Spring Snow' runus cerasifiera 'Newport' tuenus robur' Fastigiata' buercus robur' Fastigiata' buercus robra sopularum unipenus scopularum scua pungens glauca 'Baby Blue Eyes' frus cembroides edufis frus reambroides frus reambroides for Authical NAME OTALNIAME OTALNIAME OTALNIAME TM erberis thunbergi' Alropurpurea' arrapatna ambroisesons frus gravedens ylisus purgans 'Spanish Gold' ercocarpus montanus hysolhamnus nauseosus gravedens ylisus purgans 'Spanish Gold' ercostera neomericana ofenglia fruicosa 'Gold Drop' TOTALNIAMER OF SHRUSS (73% SELECTED SPECIE SEES stannagrosts x acutifiora 'Karl Foerster' NOTES	LOTANICAL NAME COMMON NAME Amur Maple Amur Maple Common Hackberry Redissi riacamithos inermis 'Shademaster' TM Shademaster Locust Espresso Kanlucky Coffeetree Spring Snow Crab Apple Newport Flowering Plum Locar propers glauca 'Baby Blue Eyes' Frus combroides edutis Northern Red Oak Nort	COTANICAL NAME Common Mapple Common Hackberry Elis occidentalis Common Hackberry Elis occidentalis Common Hackberry Elis occidentalis Common Hackberry Espresso Kentucky Coffeetree Lorunus cerasifera 'Newport' Thus cerasifera 'Newport' Thus cerasifera 'Newport' Lorunus cerasifera 'Newport' Lo	Locr ginnale Locr ginnale Locr ginnale Locr ginnale Lettis cocidentalis Lettis Common Hackberry Listic Listis Listis Listis Lettis Locust Listis L

- ALL REFERENCES TO 'CONTRACTOR' REFER TO LANDSCAPE CONTRACTOR, UNLESS OTHERWISE NOTED.
- CONTRACTOR IS RESPONSIBLE FOR GETTING ALL UTILITY LOCATES PRIOR TO STARTING ANY WORK ON SITE AND ALSO HAVING ALL UTILITIES RELOCATED AS NECESSARY FOR THE DURATION OF CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF MATERIALS NEEDED TO COMPLETE THIS PLAN IN THE FIELD. NOTIFY OWNER'S REPRESENTATIVE OF DISCREPANCIES BETWEEN THE DRAWINGS AND CONDITIONS IN THE FIELD. SUBSTITUTIONS OF LANDSCAPE MATERIALS ARE NOT ALLOWED WITHOUT APPROVAL FROM LANDSCAPE ARCHITECT GIVEN PRIOR TO INSTALLATION. NOTIFY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION IF LANDSCAPE MATERIAL LOCATIONS NEED TO BE ALTERED DUE TO ON-SITE CONDITIONS. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL LANDSCAPE SHOWN ON THIS PLAN. ANY DEFICIENCIES OR DEVATIONS FROM THIS PLAN ARE TO BE APPROVED BY OWNERS REPRESENTATIVE OR LANDSCAPE ARCHITECT. ANY CHANGES FROM THE APPROVED PLANS MAY REQUIRE APPROVAL FROM THE CITY OF COLORADO SPRINGS PLANNING DEPARTMENT AND MAY DELAY COMPLETION OF PROJECT.
- CONTRACTOR IS TO PROVIDE A ONE YEAR WARRANTY ON ALL PLANT MATERIALS, IRRIGATION COMPONENTS, AND WORKMANSHIP. CONTRACTOR IS TO PROVIDE OWNER WITH WARRANTY CONDITIONS AND COMMENCE WARRANTY PERIOD UPON FINAL ACCEPTANCE OF LANDSCAPE INSTALLATION.
- THE OWNER OF THIS PROPERTY AND ANY FUTURE OWNERS SHALL BE RESPONSIBLE FOR THE PROPER LANDSCAPE AND IRRIGATION MAINTENANCE OF THIS SITE. MAINTENANCE OF THIS SITE INCLUDES, BUT IS NOT LIMITED TO, IRRIGATION INSPECTIONS AND ADJUSTMENTS, IRRIGATION SYSTEM SHUT DOWN AND START UP, IRRIGATION LEAK REPAIR, LANDSCAPE WEEDING, MOWING, SEEDING, FERTILIZATION, WOOD MILICH AND ROCK COVER REPLACEMENT, PRUMING, AND PLANT MATERIAL REPLACEMENT.
- ALL PROPOSED PLANTINGS, IRRIGATED TURF, AND IRRIGATED SEEDED AREAS ARE TO BE WATERED BY A PERMANENT UNDERGROUND IRRIGATION SYSTEM, NEW PLANTINGS TO BE WATERED BY ROTARY SPRAY IRRIGATION, PROPOSED IRRIGATED TURF AND SEEDED AREAS TO BE WATERED BY ROTARY SPRAY IRRIGATION, PEADS. REFER TO IRRIGATION PLAN.

Project Notes

- ALL FINISHED GRADES ARE TO HAVE A MAINMUM 2% SLOPE. CONTRACTOR IS TO REPORT POOR DRAINAGE CONDITIONS OR ANY GRADES IN LANDSCAPE AREAS LESS THAN 2% TO GENERAL CONTRACTOR AND LANDSCAPE AREAS LESS THAN 2% TO GREENE THAN ONE INCH.

 GREATER THAN ONE INCH.
- CONTRACTOR IS TO PROVIDE FINAL GRADES ADJACENT TO HARDSCAPE SURFACES AT THE FOLLOWING SPECIFICATIONS:
 -1" BELOW TOP OF ASPHALT OR CONCRETE FOR ALL SEEDED AREAS.
 -2" BELOW TOP OF ASPHALT OR CONCRETE FOR ALL MUICH AND ROCK COVER BEDS.
- ROCK COVER AREAS TO CONSIST OF 1.5" DIAMETER "CLEAR CREEK GRANTE" (PIONEER SAND), SPREAD A MINIMUM OF 3" DEPTH OVER WATER PERMEAGLE LANDSCAPE FABRIC. TO OVERLAP 6" MINIMUM AT ALL SEAMS, 6" STEEL ANCHOR PINS TO BE INSTALLED 6" O.C. MAX.
- ALL PROPOSED PLANTING BEDS ARE TO BE ROTO-TILLED TO A 6" DEPTH AND SOIL AMENDMENTS ARE TO BE INSTALLED ACCORDING TO SOIL PREPARATION NOTES ON THIS SHEET.

 LANDSCLAPE BEDS ARE TO BE RAKED SHOOTH AND PRISSED GRADES ARE TO BE ESTALISHED AND VERHED TO THE TOLERANCES LISTED ABOVE PROR TO PLANTING. PLANT

 MATERIALS ARE TO BE INSTALLED USING ADOTROMAL SHOOLING PSOIL AMENDMENTS (CAC SAND), AMENDED BACKFILL FOR PLANTING TO BE 33% BIOCOMP SOIL AMENDMENTS

 THOROUGHLY BROORPORATED INTO 33% IMPORTED TOPSOIL AND 33% EXISTING ON-SITE SOIL.
- ALL PLANTINGS TO HAVE WOOD MULCH RINGS PLACED AROUND THE BASE OF THE PLANTS. REFER TO PLANTING DETAILS FOR SIZE OF WOOD MULCH RINGS AND DEPTH. WOOD MULCH TO CONSIST OF CASCADE CEDAR WOOD MULCH (C&C SAND).
- PROPOSED SOD IS TO CONSIST OF A FESCUE BLEND SOD. SOD IS TO HAVE LOW CLAY CONTENT. SOD BED IS TO BE RAKED SMOOTH AND FREE OF DEBRIS AND ROCKS GREATER THAN ONE HALF INCH, SOD IS TO BE LAID WITH TIGHT STAGGERED EDGES AND BE ROLLED AFTER INSTALLATION.
- ALL SEEDED AREAS TO BE SEEDED WITH SEED MIXES SHOWN ON THIS SHEET AT THE RATES SHOWN WITHIN THE HIGHLIGHTED COLUMNS IN THE TABLES. ALL SEEDED AREAS TO BE COVERED WITH EROSKON CONTROL NETTING, REFER TO NATIVE SEED ESTABLISHMENT SPECIFICATION FOR MORE DETAILED INSTRUCTIONS.
- AFTER PLATING, BUT BEFORE MILICH IS MISTALED, ALL PLATING BEDS ARE TO DECENTE A GRAMIU-AR PRE-EMERGENT HERBIODE (PREEN OR SMASHOT). APPLY PER MANUFACTURERS INSTRUCTIONS. CONTRACTOR IS TO SPRAY ALL PLANTING BEDS WITH WATER MAZEDATELY AFTER MALICH IS RASTALED TO REMOVE PRE-EMERGENT FROM FOLLAGE AND ACTIVATE HERBICDE.
- STEEL EDGING IS TO CONSIST OF 14 GAUGE PERFORATED GALVANZED ROLLED-TOP STEEL EDGING EDGINGS TO BE USED TO SEPARATE MATTRE GRASS AND ROCK COVER AREAS, UNLESS OTHERWISE NOTED ON PLANE. EDGING IN BE PARTITULY RUNDED SO THAT HALF OF EDGING HEIGHT IS BELOW FINISHED SOIL GRAVE. 12" STEEL EDGING PAYS TO BE INSTALLED REPERF 4" O.C. MAX. ENDS OF STEEL EDGING TO OVERLAP 6" AMNIMUM WITH AND HAVE TWO PIXS SECURING OVERLAPPED ENDS.
- PROPOSED DOG PARK AREA IS TO CONSIST OF FOREVER LAWN KIGGRASS ARTIFICIAL TURF. ARTIFICIAL TURF IS TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS
- PATIO AREAS TO CONSIST OF KEYSTONE PLAZA SPIECE COMBO, NON-MATTOLIED, WINTER BLEID COLOR PAVERS, INSTALLED ON COMPACTED, ROAD BASE, AND SAND. TAN POLYMERIC SAND TO BE INSTALLED IN PAVER JOINTS. PAVERS AND POLYMERIC SAND TO BE INSTALLED IN PAVER JOINTS. PAVERS AND POLYMERIC SAND TO BE INSTALLED IN PAVER JOINTS. PAVERS AND POLYMERIC SAND TO BE INSTALLED IN PAVER STORMER JOINTS. PAVERS TO SECURE PAVER PAVER PAVER.
- A CERTIFIED LICENSED ARBORIST IS TO REMOVE ALL DEAD LIMBS OFF EXISTING TREES TO REMAN. CREATE TREE WELLS, & DAMÆTER, AROUND ALL EXISTING TREES TO REMAN. ALONG WITH 3" DEPTH CASCADE CEDAR WOOD MULCH. ADD DRIP BRIGATION TO EXISTING TREES AS SPECIFED IN BRIGATION PLANS.
- LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF OWNER, AND/OR THEIR ASSIGNS

LEGEND

x 3'-4' Screen x 6'-8' Screen x 3'-4' Screen x 3'-4' Wall 1'	5' x 8'-15' 0' x 10'-20' 0' x 15'-20' 0' x 20'-35' HT X WIDTH	0' x 15'-20'	H
Screen/Wall / Trash Screen / Wall / Trash	Screen / Wall / Trash Screen / Wall / Trash Screen / Wall / Trash Screen / Wall / Trash Screen / Wall / Trash	ROW / Medians Park/ROWIMedian/Stream Park/ROW / Median Park/ROWIMedian/Stream ROWIMedian/Stream ROWIMedian/Stream ROWIMedian/Stream ROWIMedian/Stream	CODE REQ.
AKTIBICIAL IUNI DOG PAKK 1	IRRIGATED EL PASO COUNTY ALL-PURPOSE LOW GROW MIX FOR UPLAND AND TRANSITION AREAS SEED MIX WITH EROSION CONTROL BLANKET NON-IRRIGATED EL PASO COUNTY ALL-PURPOSE MIX FOR UPLAND, TRANSITION AND PERMANENT CONTROL MEASURE AREAS MATIVE SEED MIX WITH EROSION CONTROL BLANKET	LANDSCAPE MATERIALS SYMBOL DESCRIPTION PROPOSED 1.5" DIAMETER CLEAR CREEK GRANTE* CRUSHED ROCK, 3" DEPTH, OVER LANDSCAPE FABRIC IRRIGATED FESCUE BLEND SOD	

6,464 sf

8,345 sf 20,434 sf

P.O. Box 354
Palmer Lake, CO 80133
(719) 640-9428
[wlandarch@gmail.com

PF PF

JON WALSH,

LANDSCAPE ARCHITECT

LIC

JWIA

4,547 sf

1,144 sf 995 sf

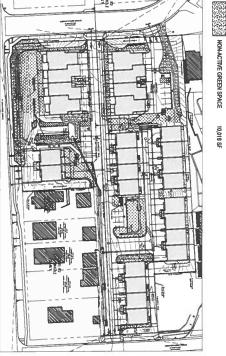
499 sf

Utilities Note

VERIFY LOCATION AND DEPTH OF ALL IN LOCATES. TREE TRUMP PLACEMENT SAY LOCATES. TREE TRUMP PLACEMENT SAY LOCATES. TREE TRUMP IT 19 PS.1 FOR SAY LEASEMENTS AND WITHIN IT 50 FAIV MAY PLANS SHALL BE RESOLVED WITH GENE TRANSFORMERS SHALL BE KEST (LENG TANSFORMERS SHALL BE KEST (LENG TANSFORMERS AROUND ELECTRICAL EG SPECIFIC CLEVRANCE REQUIREMENTS. SIZE L EQUIPMENT". SEE CSU CONSTRUCTION STANDARDS DRAWINGS 18-302 FOR TS. ALL SHRUBS TO BE LOCATED 3' CLEAR OF ALL FIRE HYDRAWTS AT MATURE LIMDERGROUND UTILITIES PRIOR TO START OF WORK. CALL 811 FOR UTILITY SHALL RE & MANIALM DISTANCE FROM ANY GAS OR ELECTRIC AND IT FROM WAITLAY SENER AND WATER MANIANIES TREES SHALL NOT BE LOCATED WITHEN MANIALME. AND SHALL NOT BE LOCATED WITHEN MANIALME. AND FOR TO PREMY TIREE LOCATIONS AND LITTLES AND WHO ON THE AND THE PRIOR TO PARTHING. ALL ESTRICAL VILITIES AND WHO AND FROM PLANT MATERIAL FER COLORADO SPRINGS UTILITIES (CSU) GUIDELINES.

Active / Non-Active Green Space Diagram

Legend ACTIVE GREEN SPACE 10,307 SF



SUN MOUNTAIN TOWNHOMES

Colorado Springs, CO

FINAL PLAN LANDSCAPE July 1, 2024

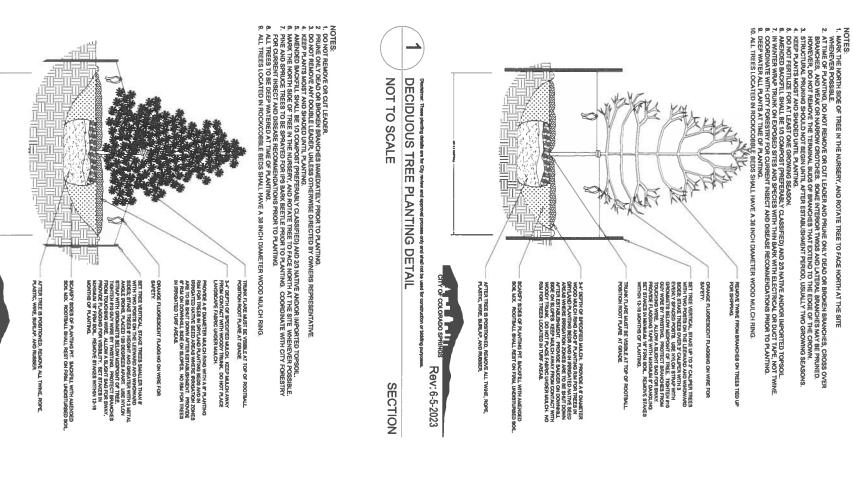
August 30, 2024

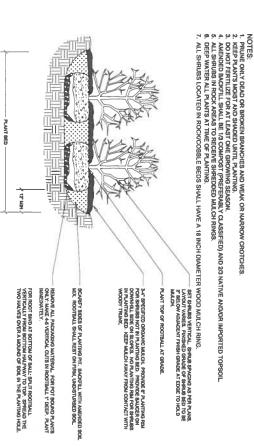
November 5, 2024 October 7, 2024

L-2

SHEET 12 OF 18

DEPN-24-0111





GREEN

BUNCH

1.6 2.8 5.4 4.8

0.8 # 2.7 2.4

UFFAL OGRASS

WARM,

% OF MIX

80 SEEDS/SQ, FT.

40 SEEDS/SQ. FT.

20 SEEDS/SQ. FT.

P.O. Box 354
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(719) 640-9428
jwlandarch@gmail.com
www.jwlandscapearchilec

UE GRAMA

WESTERN WHEATGRASS

800. C00

20%

0.8 12 32 5.6 10.8 9.6

NOT TO SCALE

SHRUB PLANTING DETAIL

Rev: 6-5-2023

EL PASO COUNTY ALL-PURPOSE MIX FOR UPLAND, TRANSITION AND PERMANENT CONTROL MEASURE AREAS

JRRIGATED BROADCAST JRRIGATED HYDROSEEDED

HYDROSEEL-

SEED RATE (LBS. PLS / ACRE)

21 2

10.3 0.2

SECTION

BLUESTEM

ĕ

80 SEEDS/SQ. FT

40 SEEDS/SQ. FT.

22

 $\, \equiv \,$

LUE GRAMA

0.5 4

0.25

Existing Tree Protection Notes EXISTING TREES TO REMAN TO BE PROTECTED WITH 4 HEIGHT FENCING INSTALLED OUTSIDE THE DRIP LINE OF TREES. TEMPORARY FENCING IS TO REMAIN IPLICE FOR THE DIRPATION OF CONSTRUCTION.

PROTECTION OF EXISTING TREES.
WITHOUT OF THE ORPH LINE OF THE TREE CANOPY DO NOT:
\$1500-OPILE CONSTRUCTION INSTEALS OR DEMOLITION DEBRIS.
PARK YENGLES OR ECUIPALET,
TREMAP FOR TITTINES INSTAILLATION OR REPAR.
CHANGE SOIL GAUGE BY CATTING OR FILLING MORE THAN 12".
DAMAGE ROOTS BY GRAUBING, TEARNS, ORD EMOLITION.
LOUNTAINMENT SOIL FROM WASHING OUT EQUIPMENT.

WESTERN WHEATGRASS

RAMA

10%

6.4

3.2

12 0.8

0.6

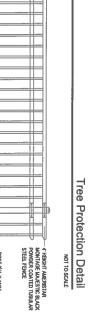
0.4

WITCHGRASS

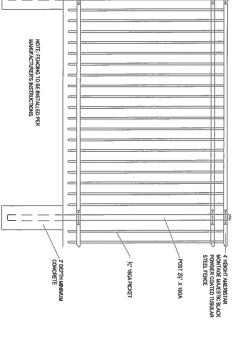
REEN

EXISTING TREES TO REMAIN ARE TO HAVE 3' DEPTH OF CASCADE CEDAR WOOD MITCH, δ DAMETER PLACED AROUND THE BASE OF TREE ALONG WITH CREATING A δ DAMETER TREE WELL ALL THE EXISTING TREES WHICH ARE BEING USED TO MEET REQUIRED SITE LANDSCAPE REQUIREMENTS WILL NEED TO BE REPLACED IF NOT IN A HEALTHY CONDITION.

NTO GROUND, MAXIMUM POST SPACING 10" Q.C. MULCH, 3" DEPTH PROTECTED TREES SHALL BE DEEP ROOT WATERED OWCE PORTY THREE WEEKS WHEN TEAMPENATURES ARE ADDRE 40 DEGREES FAMEDHERT, TREES SHALL BE WATERDS AT A RAITE OF 25 GALLONS PER MICH CAUPER MEASURED AT CHEST HEIGHT. TREE PROTECTION FENCE SHALL BE INSTALLED BY CONTRACTOR PHAN TO SITE WORK, BE MANTANED THROUGHOUT CONSTRUCTION, AND BE REMOVED ONLY AFTER SITE WORK IS COMPLETED. 4" DEPTH WOOD MULCH TO BE INSTALLED UNDER CANOPY OF TREES TO BE NO MATERIALS, DEBRIS, OR EQUIPMENT SHALL BE STORED WITHIN THE TREE PROTECTION FENCE AREA.



4



2

EVERGREEN TREE PLANTING DETAIL

Rev: 6-5-2023

SECTION

Dog Park Fence Detail

DEPN-24-0111

SHEET 13 OF 18

NOT TO SCALE

Native Seed Establishment

YELLOW INDIANGRASS

SEED RATE (LBS. PLS / ACRE)

18.3

4.8 0.5 0.3 2

METAL STAPLES AS PER MANUFACTURERS INSTRUCTIONS, CC AREAS THREE TIMES A WEEK QUIRING GROWING SEASON FOR COVERNAGE REQUIREMENTS. SPECIFIED FERTILIZER IS TO BE F NECESSLAY QUIRING HE FREST GROWING SEASON TO KEEP IN FOR KEEPING BROOLLEAF WEEDS UNDER COMPROLICES WEED SUIDER COMPROLICES ON SEEDING BAVE AREAS UNTIL SPECIFIED NATIVE GRASSES COVE EXCEED 8" X 6". INTIAL PLANTING
STOCKPILED TOPSOL SHOULD BE SPREAD EVENLY OVER ALL AREAS TO RECEIVE NATIVE SEED. SEED BED IS TO BE WEED-FREE.
STOCKPILED TOPSOL SHOULD BE SPREAD EVENLY OVER ALL AREAS TO RECEIVE NATIVE SEED. SEED BED IS TO BE RAKED SHOOTH AND
FREE OF DEBRIS LARGER THAN 1' 80 DAMETER. ANY AREAS THAT THE CONTRACTOR BELIEVES TO BE SUSCEPTIBLE TO EBOSONOW ARE
TO BE BROUGHT TO THE ATTENTION OF THE OWNER AND/OR GENERAL CONTRACTOR PROOR TO SEEDING. THE SPECIFIED SEED MAYS
TO BE APPLIED BY THOROCHILCHING OR BROADCAST SEEDING AT THE RATE SPECIFIED RANGO (BITO TOP ½" TO ½" OF SOIL. SEEDS
TO BE APPLIED BY THOROCHILCHING OR BROADCAST SEEDING AT THE RATE SPECIFIED RANGO (BITO TOP ½" TO ½" OF SOIL. SEEDS
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TO BE APPLIED BY THOROCHING OR BY THE SEED AT THE RATE SPECIFIED BY THE SEED AT THE RATE SPECIFIED BY THE SEED AT THE S CONTRACTOR IS TO PROUNDE INCIDENTAL WAITERING OF ALL SEEDED OR A MARMAUM OF 8 WEEKS, OR UNTIL ESTABLISHED AND MECTING BE PROVIDED 3 WEEKS AFTER SECULAICS EMERGE. MOWING MAY BE PINVASANE WEEDS FROM SETTING SEEDS. CONTRACTOR IS RESPONSIBLE FOR OVER A MONTH'S AFTER INTIMAL SEEDING AND IS A 520 RESPONSIBLE FOR OVER ALL AREAS AND AREAS WITHOUT SPECIFIED MATINE GRAASS DO NOT

LANDSCAPE PLAN

FINAL

OVER SEEDING
SIX WEEKS AFTER THE INITIAL SEEDING DURING THE FRST GROWING SEASON AND/OR DURING THE SPRING OF THE SECOND GROWING
SEASON CONTRACTOR IS TO REPAIR ANY ERODED AREAS AND OVER SEED ALL BARE NATIVE GRASS AREAS. CONTRACTOR IS TO USE
SPECIFIED SEED MIX BY BROADCAST AND RAWING INTO TOP "/" TO "" OF SOIL. INCIDENTAL WATERING IS TO BE PROVIDED TO
SETABLISH OVER-SEEDED AREAS. SPECIFIED FERTILIZER IS TO BE APPLIED 3 WEEKS AFTER SEEDLANGS EMERGE. BROADLEAF WEEDS
ARE TO BE KEPT UNDER CONTROL BY MANUALLY PULLING OR CUITING WEEDS OR SELECTIVE SPRAYING OF BROADLEAF WEED
HERBODIE. HERBODIE AND APPLICATION SHALL CONFORM TO ALL APPLICABLE LAWS OF THE STATE OF COLORADO AND

July 1, 2024

AFTER ESTABLISHMENT OF NATIVE GRASS REGULAR MOWN MAINTAIN MATIVE GRASS AND HELP KEEPS (NIDER O SEASON. APPLYING PRE-EMERGENT HERBICIDE IN EARLY F A GRANULAR SLOW RELEASE NITROGEN AND PHOSPHORU RECOMMENDED IN LATE SPRING. VINIG EVERY FEW WEEKS DURING THE GROWING SEASON WILL BE NEEDED TO CONTROL. WEEDS WILL ALSO NEED TO BE REMOVED DURING GROWING "SPRING WILL HELP REDUCE WEED GERDIMATION, ANNULA PAPIL/CATIONS OF US BASED FERTILIZER (SUCH AS ANDERSON'S FERTILIZER (8-24-12) ARE

November 5, 2024

October 7, 2024 August 30, 2024

SUN MOUNTAIN TOWNHOMES

0.5 1.6 0.5 0.13

EL PASO COUNTY ALL-PURPOSE LOW GROW MIX FOR UPLAND AND TRANSITION AREAS

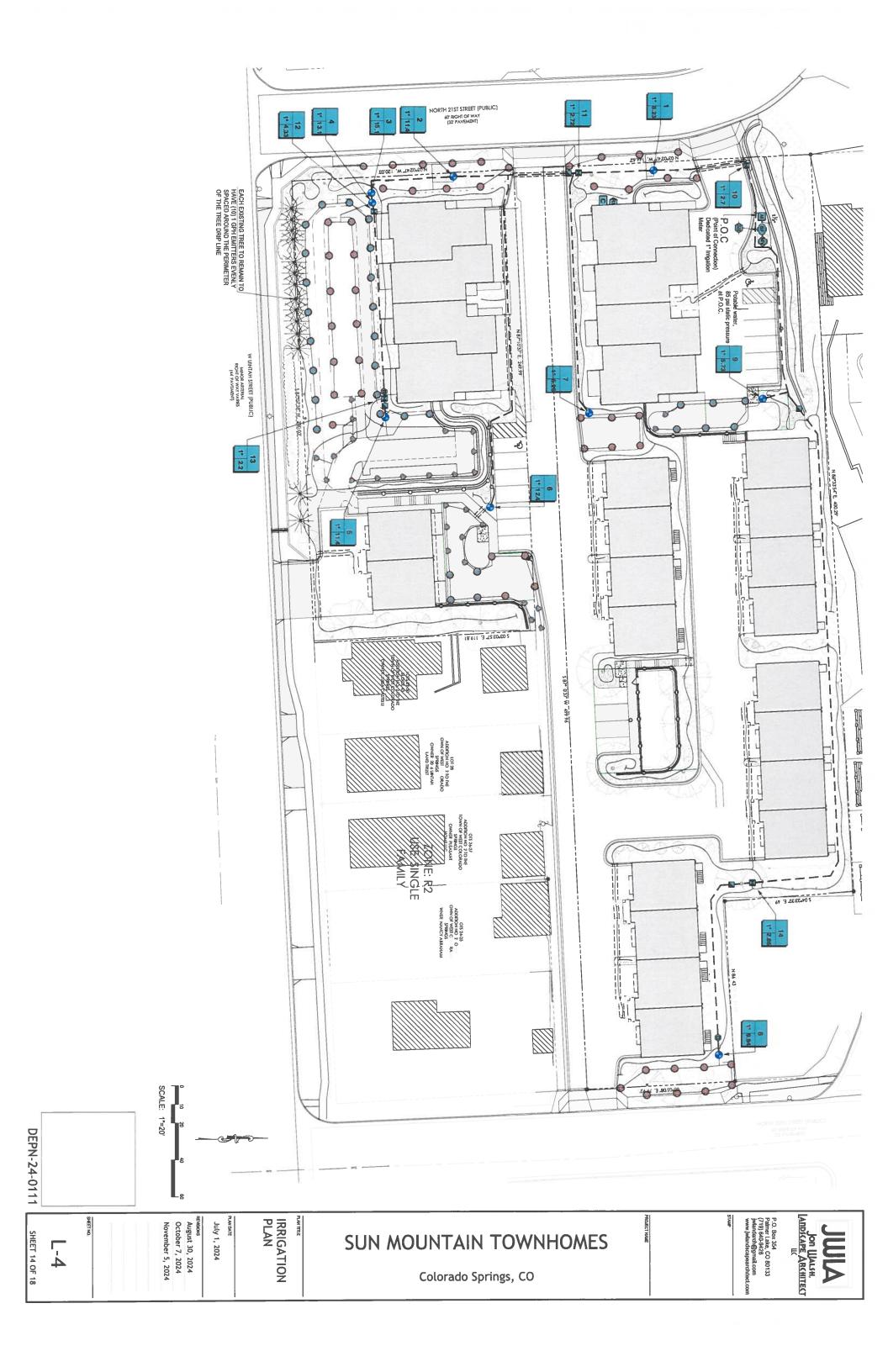
POUNDS PLS (PURE LIVE SEED)

-RRIGATED
-RROADCAST
-RROADCAS

JON WALSH,
LANDSCAPE ARCHITECT
LIC

AIWL

Colorado Springs, CO



SYSTEM DESCRIPTION

IRRIGATION FOR TUPE, PLANTINGS, AND NATIVE SEED TO BE PROVIDED FROM AN AUTOMATED SPRINKLER SYSTEM CONNECTING TO A PROPOSED WATER SERVICE LINE LOCATED IN THE NORTHWEST CORNER OF THE SITE. A NEW 1" WATER MITTER AND VAULT IS OBE PROVIDED AND INSTALLED PER CITY OF COLORADO SPRINGS REGULATIONS. THE BACKFLOW PREVENTIER TO BE INSTALLED ON WEST BUILDING WALL SOUTH OF THE METER AS SHOWN AND PREVENTIER TO BE INSTALLED ON TO PO GROUNDING. THE SYSTEM IS DESIGNED FOR A MINIMUM 5.9 PSI IN THE MAIN LINE, AND A MINIMUM FLOW OF 16 GPM. COORDINATE INSTALLATION OF ALL IRRIGATION COMPONENTS WITH OWNER'S REPRESENTATIVE AND OTHER TRADES. BALL VALVES ARE PROVIDED BEFORE EACH ZONE VALVE FOR MAINTENANCE OF SYSTEM. POTABLE WATER TO BE USED FOR ALL IRRIGATION.

IRRIGATION NOTES

- THE IRRIGATION SYSTEM IS TO RUN OFF A 1-12" COPPER WATER SERVICE LINE AND PROPOSED 1" WATER METER. COORDINATE WITH OWNER'S REPRESENTATIVE AND OTHER TRADES TO VERIETY LOCATION OF CONTROLLER, RAIN SENSOR, AND BACKFLOW DEVICE. BACKFLOW DEVICE TO BE INSTALLED PER REGIONAL BUILDING DEPARTMENT CODES. A MINIMUM STATIC WATER PRESSURE OF 70 PSI IS REQUIRED (SYSTEM IS DESIGNED FOR OPERATINE) PRESSURE OF 38 PSI FOR ROTARY HEADS AND 40 PSI AFTER PRESSURE REGULATORS FOR DEPARTMENT CODES. A MINIMUM DATE OF 70 PSI IS REQUIRED (SYSTEM IS DESIGNED FOR OPERATING PRESSURE OF 38 PSI FOR ROTARY HEADS AND 40 PSI AFTER PRESSURE REGULATORS FOR DRIP ZONES). VERIETY PRESSURE AND DISCHARGE RATE ON SITE PRIOR TO CONSTRUCTION OF IRRIGATION SYSTEM BEYOND THE BACKFLOW DEVICE.
- COORDINATE LOCATION OF CONTROLLER AND RAIN SENSOR WITH OWNER'S REPRESENTATIVE. CONNECT CONTROLLER TO POWER SUPPLY (COORDINATE WITH OWNER), ZONE VALVE WIRES, RAIN SENSOR, AND GROUNDING. INSTALL AS PER MANUFACTURER'S INSTRUCTIONS. CONTRACTOR IS TO INSTALL A MANUAL DRAIN VALVE AT END OF MAINLINE.
- CONTRACTOR IS TO INSTALL #14 UF IRRIGATION WIRE BETWEEN CONTROLLER AND ELECTRIC VALVES. INSTALL TWO EXTRA WIRES ALONG MAIN LINE IN EACH DIRECTION FOR TROUBLESHOOTING OR FUTURE ADDITIONS TO SYSTEM.
- CONTRACTOR IS TO VERIFY THAT MAINLINE AND LATERALS ARE FULLY OPERATIONAL AND OPERATING WITHOUT ANY LEAKS. AFTER INSTALLATION OF NEW IRRIGATION CONTRACTOR IS TO TEST ALL ZONES CHECKING AND FUXING ANY LEAKS AND VERIFYING FULLOPERATION OF EACH ZONE.
- AFTER CONSTRUCTION, CONTRACTOR IS TO SET CONTROLLER TO RUN ZONES PER IRRIGATION SCHEDULE AFTER ESTABLISHMENT OF SEED, SOD, AND PLANTINGS. CONTROLLER WATERING DAYS AND TIMES ARE TO BE REDUCED IN SPRING AND FALL AND AFTER INITIAL ESTABLISHMENT. CONTRACTOR IS TO MONITOR PLANT HEALTH AND ADJUST CONTROLLER AS NECESSARY THROUGHOUT WARRANTY PERIOD.
- ALL UNDERGROUND UTILITIES ARE TO BE LOCATED AND CLEARLY MARKED PRIOR TO ANY DIGGING ON SITE. ALL MATERIALS AND INSTALLATION PRACTICES ARE TO BE IN COMPLANCE WITH LOCAL CODES. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ALL IRRIGATION SLEEVING, SLEEVING FOR MAINLINE IS TO BE 18" UNDERGROUND. SLEEVING FOR DRIP AND SPRAY LATERAL LINES IS TO BE 12" UNDERGROUND. ALL SLEEVING IS TO CATCHAGE SECVANDE DOE OF CONCRETE OR ASPHALT. ENDS OF SLEEVING ARE TO BE SECURELY COVERED AFTER INSTALLATION, AND SLEEVE LOCATIONS ARE TO BE CLEARLY MARKED WITH PAINTED STAKES. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL SLEEVE LOCATIONS PRIOR TO CONSTRUCTION AND INSTALL ANY MISSING SLEEVES, IF NECESSARY.
- IRRIGATION PLAN IS DIAGRAMMITIC. ANY COMPONENTS SHOWN ON PLAN OUTSIDE OF LANDSCAPE AREAS ARE SHOWN FOR CLARITY ONLY. USE ONLY STANDARD FITTINGS. MAINLINE PIPE DEPTH IS TO BE 15" TO 18". LATERAL LINE DEPTH IS TO BE 10" TO 12". *POLY DRIP LINE IS TO BE SECURED AT FINAL SOIL GRADE IN ROCK OR MULCH BEDS, UNLESS OTHERWISE NOTED, AND BURRED A MINIMUM 3" DEEP IN NATIVE SEED AREAS.
- NOTIFY LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN PLAN DRAWINGS AND CONDITIONS IN THE FIELD PRIOR TO CONSTRUCTION OF ANY PROPOSED IRRIGATION.
- JON WALSH, LANDSCAPE ARCHITECT, LLC. (JMLA) PREPARED THIS PLAN BASED ON SITE LAYOUT AND SITE GRADING PLANS PROVIDED BY OTHERS. JMLA ASSUMES NO LIABILITY FOR ANY WATER DAMAGE ON THIS SITE.
- CONTRACTOR IS TO PROVIDE A ONE YEAR WARRANTY FOR IRRIGATION SYSTEM TO COMMENCE UPON COMPLETION OF LANDSCAPE AND IRRIGATION CONSTRUCTION. WARRANTY SHALL COVER ALL MATERIALS AND WORKMANSHIP RELATED TO IRRIGATION SYSTEM.

	PLANT	IRRIGATION	OPERATING	APPLICATION	FLOW	RUN TIME		NUMBER OF	NUMBER OF INMBER OF IRRIGATION
-	The section of		The Landson of the	201701	10101		1	010010	H
-	TURF GRASS	ROTARY	35 PSI	.53 IN./HR	8.23 GPM	30 Man.		_	3
2	TURF GRASS	ROTARY	35 PSI	.60 INLAHR	11.37 GPM	30 MDN.		_	3
ω	NATIVE GRASS	ROTORY	35 PSI	.36 IN.AHR	15.15 GPM	TNEW OC		_	1 2
٠	TURF GRASS	ROTARY	35 PSI	.60 IN.AHR	13.09 GPM	30 M2N		_	1 3
5	NATIVE GRASS	ROTORY	35 PSI	.37 INJHR	11.40 GPM	30 MON.		_	1 2
6	TURF GRASS	ROTORY	35 PSI	.59 IN./HR	1240 GPM	JO LUGAL		_	1
7	TURF GRASS	ROTARY	35 PSI	.65 IN.AHR	5.26 GPM	JO LUDAL	-	_	1 3
œ	TURF GRASS	ROTORY	35 PSI	.62 IN./HR	9.94 GPM	30 MBM.		_	ω
60	TURF GRASS	ROTORY	35 PSI	.57 INJHR	5.73 GPM	30 MBM.		_	3
10	TREES / SHRUBS	DRUP	40 PSI	JUNIAR	2.70 GPM	40 MBN.		-	1 3
=	TREES / SHRUBS	DRUP	40 PSI	.1 INJHR	2.72 GPM	AD YOM		-	1 3
12	TREES / SHRUBS	DRIP	40 PSI	.1 INJHR	4.33 GPM	AD LON		-	1 3
13	TREES / SHRUBS	DRIP	40 PSI	JUNJHR	2.20 GPM	40 MDM.		_	3
:	TOCCE CUDING					AND LOW		•	

SPRINGS IRRIGATION NOTES STANDARD CITY OF COLORADO

ANNUAL IRRIGATION WATER USE

AREAS TURF GRASS

(SQ. FT.) (GALLONS)

NATIVE GRASS

8,345 11,011 20,434

156,910 39,494 46,202

SHALL NOT BE FROCESSED UNTIL AN EXCEPTED AND APPROVED AFFIDAVIT IS SUBMITTED TO CITY STAFF. WHEN READY TO CALL FOR INSPECTION AND SUBMIT AFFIDAVITS, FIRST CONTACT THE CITY PLANNER OF RECORD FOR THE PROJECT (719-385-5965) AND AS NECESSARY OUR DRE OFFICE (719-385-5982).	INSPECTION AFFIDANT BASED ON APPROVED IRRIGATION PLAN. THIS SHOULD REQUIRE LIMITED CONSTRUCTION OBSERVATION VISITS AND A FUNCTIONAL TEST OF THE IRRIGATION SYSTEM SHALL BE	COLORADO SPRINGS UTILITIES. CITY AFFIDAVIT NOTE - THE DESIGN PROFESSIONAL OF RECORD IS TO COMPLETE THE IRRIGATION	FOR ALL DESIGN IRRIGATION SYSTEMS, IF MORE THAN THREE DAYS A WEEK ARE REQUIRED TO PROVIDE REQUIRED COVERAGE WITH SPRAY/ROTOR STATIONS/VALVES, A WATER ALLOCATION PLAN IS REQUIRED FROM	ALLOCATION PLANS ARE AVAILABLE FOR CUSTOMERS WHO NEED MORE WATERING SCHEDULE FLEXIBILITY FROM COLORADO SPRINGS UTILITIES.	TO TEMPORABILY WATER MORE THAN THREE DAYS A WEEK TO ESTABLISH NEW LANDSCAPES.	WATERING IS LIMITED TO THREE DAYS A WEEK (DRIP IRRIGATION IS ALLOWED AT ANY TIME). ESTABLISHMENT PERMITS ARE REQUIRED FROM COLORADO SPRINGS UTILITIES FOR CUSTOMERS WHO NEED	FROM MAY 1 TO OCTOBER 15, SPRINKLERS CAN BE OPERATED BEFORE 10 A.M. AND AFTER 6 P.M.	AFFECT THE OVERALL OPERATION OF THE IRRIGATION SYSTEM.	 THE CITY HAS ADOPTED PERMANENT WATER-WISE REGULATIONS AS OF JANUARY 1, 2020, WHICH WILL

CRITICAL ANALYSIS

Generaled:	2024-10-07 14:27
P.O.C. NUMBER: 01 Water Source Information:	
FLOW AVAILABLE	
Water Meter Size: Flow Available	1" 28.49 GPM
PRESSURE AVAILABLE	
Static Pressure at POC	85 PSI
Elevation Change:	3.00 ft
Service Line Size:	1 1/4"
Pressure Available:	82 PSI
DESIGN ANALYSIS	
Flow Available at POC:	28.49 GPM
Residual Flow Available:	13.35 GPM
Critical Station:	3
Design Pressure:	35 PSI
Friction Loss:	1.2 PSI
Fittings Loss:	0.12 PSI
Loss through Valve:	5.95 PSI
Pressure Req. at Critical Station:	42.3 PSI
Loss for Fittings:	0.14 PSI
Loss for POC to Valve Elevation:	0 PSI
Loss for Backflow:	12.3 PSI
Loss for Master Valve:	3.9 PSI
Loss for Water Meter:	1.23 PSI
Critical Station Pressure at POC:	61.3 PSI
Pressure Available:	82 PSI
Residual Pressure Available:	20.7 PSI

IRRIGATION SCHEDULE SYMBOL Rain Bird R-VAN24 1806-SAM-P45 Tuff Rotary, 17ft.-24ft, 45-270 degrees and 360 degrees. Hand Adjustable Multi-Stream Rotary w/1800 turf spray body on 6in, pop-up, with check valve and 45 psi In-stem pressure regulator. 1/2 Rain Bird R-VAN18 1806-SAM-P45 Tuff Rolary, 13ft.-18ft. 45-270 degrees and 360 degrees. Hand Adjustable Multi-Stream Rolary wi 1800 turf spray body on 6in, pop-up, with check valve and 45 psi In-stem pressure regutator. 1/2in. NPT Female Threaded Inlet. Rain Bird R-VAN14 1806-SAM-P45 Türf Rotary, 8ft.-14ft. 45-270 degrees and 380 degrees. Hand Adjustable Multi-Stream Rotary w/1800 furf spray body on 6in, pop-up, with check valve and 45 psi In-stem pressure regulator. 1/2in. NPT Female Threaded Intel. MANUFACTURER/MODEL/DESCRIPTION Rain Bird XCZ-100-LC 1* Wide Flow Drip Control Kit, for Light Commercial Uses. Iin. 5 PEB Valve, with 1in. Pressure Regulating 40psl Basket Filter. 0.3-20 GPM. MANUFACTURER/MODEL/DESCRIPTION YED 4 49 28 ALD 35 35 35 PS

SYMBOL

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JON WALSH,
LANDSKAPE ARCHITECT
UK

AIMI

P.O. Box 354
Palmer Lake, CO 80133
(719) 640-9428
jwlandarch@gmail.com

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III I I I I I I I I I I I I I I I I I	Water Moter 1"	Strong Box SBBC-45AL Low profile backflow enchosure, with marine grade aluminum. 45mL, 30m.H, 16, 25m.W. Front entry door with flush-mounted locking system	Rain Bird RSD-BEx Rain Sensor, with metal latching bracket, extension wire.	Rain Bird ESPLXME2+LXMM with 8-station module. 12 Station Traditionally-Wired, Commercial Controller. Indoor/Outdoor, Plaste Wall-Mount Enclosure. Install in LXMM Powder Coated, Metal Wall-Mounted Cabinet. (14 stations used)	Febco 825Y 1-1/2" Reduced Pressure Backflow Preventer	Drain Valve Manual Drain Valve-3/4" Feboo 624-BS Brass Gale Valve with Cross Handle. To be placed at low points along main line	Rain Bird PEB 1-1/2* 1in., Plastic Industrial Master Valve. Low Flow Operating Capability, Globe Configuration.	Rain Bird 5-RC 1* In. Brass Quick-Coupling Valve, with Corrosion-Resistant Stainless Steel Spring, Thermoplastic Rubber Cover, and 1-Piece Body.	Rain Bird PGA Globe 1° 1in. Electric Remote Control Valve, Globe.	MANUFACTURER/MODEL/DESCRIPTION	Area to Receive Drip Emitters Rain Bird XB-PC Single Outlet, Pressure Compensating Drip Emitters. Flow rates of 0.5 GPH-rable, 1.0 GPH-black, and 2.0 GPH=red. Comes with a self-plercing barb inlet x barb outlet.
1.00/	1 60716	_	-	_	_	N	_	4	9	ALO	23,336 s.f.

SUN MOUNTAIN TOWNHOMES

Colorado Springs, CO

[- Th		
3/4" Drip tubing compression end plug (Install in 6" min. valve box)	Drip 3/4° diameter drip tubing (.940 o.d., route accordingly to plant materiats)	Vide Ros	Weel Cultural Water Number	Irrigation Mainline: Type K Copper Pipe 1 1/2" diameter Pipe Sleeve: PVC Class 200 SDR 21 4" diameter
				7.0 Lf. 414.0 L

Irrigation Maintine: PVC Class 200 SDR 21 1 1/2" diameter

1,234 Lf.

IRRIGATION PLAN



October 7, 2024

August 30, 2024

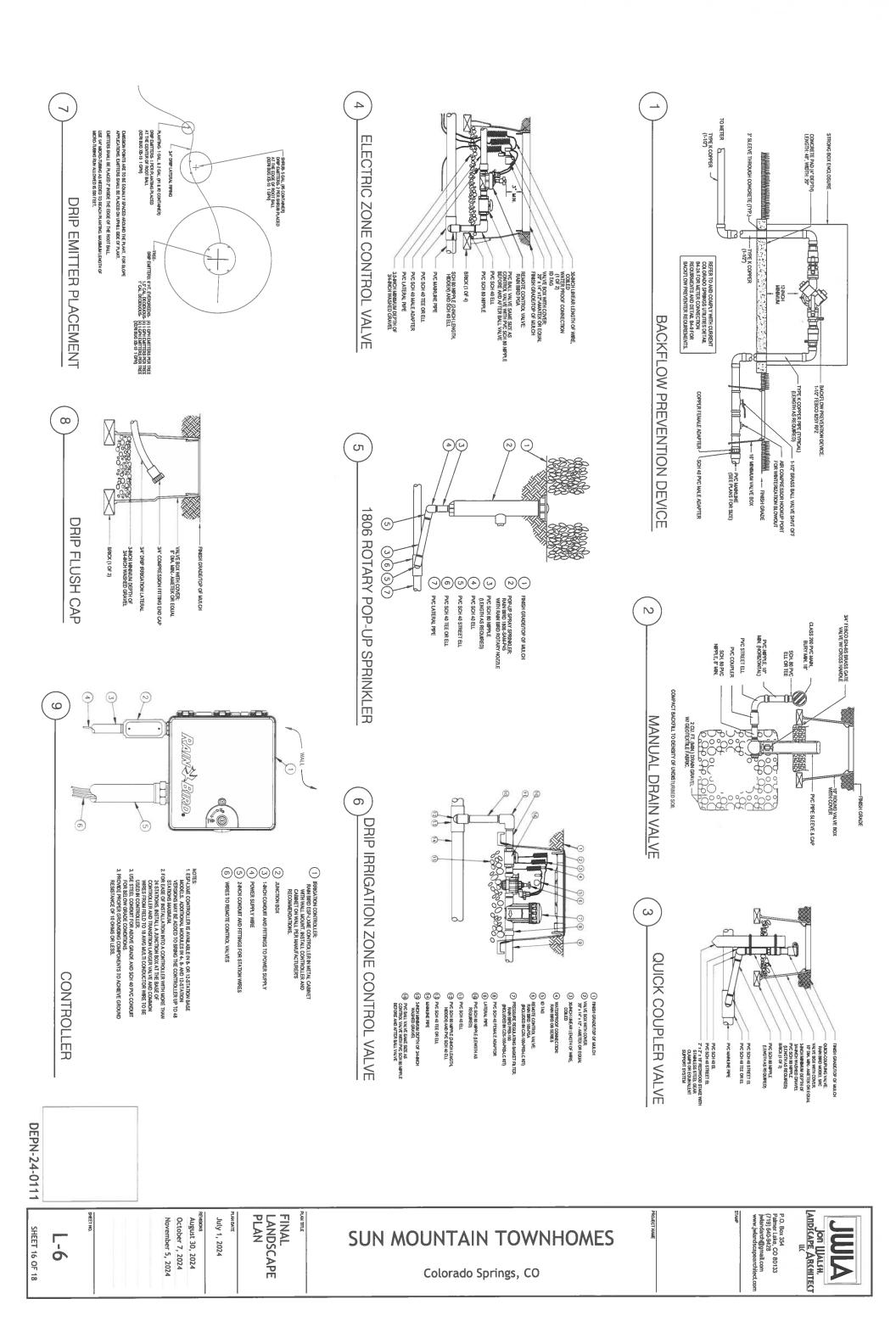
November 5, 2024

July 1, 2024

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DEPN-24-0111

SHEET 15 OF 18



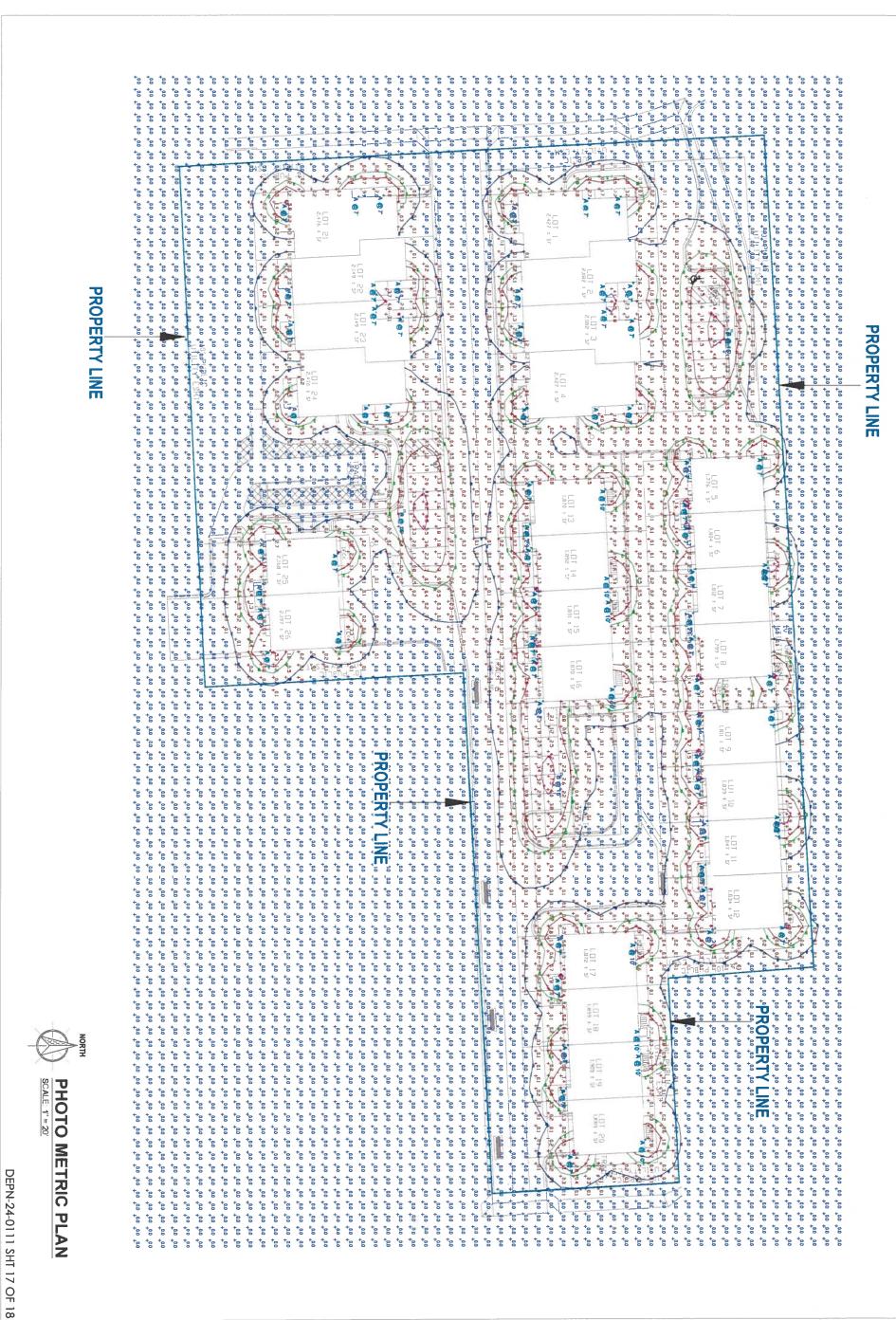


PHOTO METRIC PLAN PM1

BAH ENGINEERS

SUN MOUNTAIN TOWN HOMES **COLORADO SPRINGS, COLORADO 80904**

B&H ENGINEERS CTRICAL, MECHANICAL & PLUMBING ENGINEERS CONSULTING ELECTRICA

REVISION/DATE DRAWN BY: B&H CHECKED BY: B.F





J.LAND DEVE.O" LEUT STANDARDS! ALL HORK SHALL BE JOHE IN CHIEFLANDE, TOTE SHORESPAL CONTRICTOR OF HIS SHALL BE WALLE OF SHALL BE WALL DESCRIPTION OF THE SHALL BE WALL DESCRIPTION OF SHALL BE WALLEST WALL DESCRIPTION OF SHALL BE WALL DESCRIPTION OF SHALL DHE WALL DESCRIPTION OF SHALL DHE SHALL DESCRIPTION OF SHALL DHE WALL DHE WALL DESCRIPTION OF SHALL DESCRIPTION OF HIS SHALL DESCRIPTION OF HIS SHALL DESCRIPTION OF SHALL DESCRIPT

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FIXTURE ...

EACHPLATE / CANSPY**
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THE CHISHTENSO

Commencial services shall not exceed 10 bod condex, except for leading and before no excellent patients about the maximum lighting lead and be 20 host condex. It is beneficially the transfer of the maximum lighting lead and be 20 host condex. It is beneficially the maximum the adjustment are adjusted by the condex of the second of the s Licrop Types (Licrop 1) and the fellowing lamp types metal heide, induction sudden flight fluoresent, becomissions (Crotating Jungston-heiges), or ligh-pieseura rodium markes are permitted pervided they are demantizated to be more efficiely for the proposed bossed on ICDA recommendations.

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PHOTOMETRICS
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COT 3000H

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(c) Prohibited Lighting

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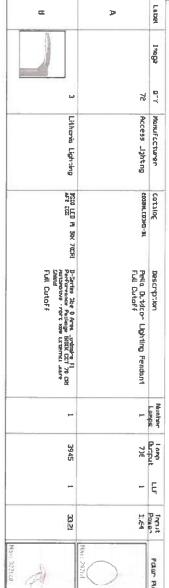
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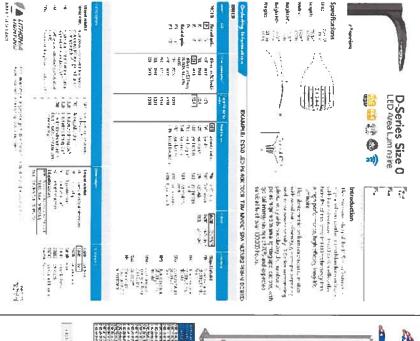
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s approved as a temporary use; and
former residential lighting, sacipt to problemed human

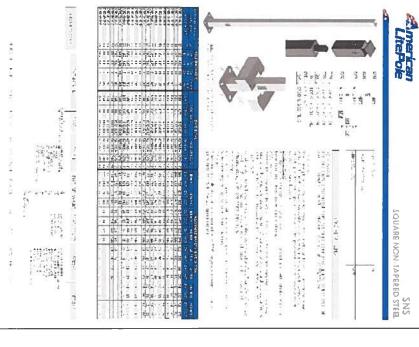
(2) Review Cri (3) Since the si The PLU Under and the date discretis lightly propaged compilers the purpose of the boston on well as a point for into compact arth ha worken. The PO Destire will consider the state it with the control which the proposed design process nature area from the houses, for a fermaness appropried curriculty and contentively, and the location of the trades are not maked to receive and sort it destroated the content of the proposed design and the state of the state of the position of the proposed design and the state of the position of the proposed design and t Authority and coprise a proposal that offers on alternative operands for missing the PDD Director may coprise a proposity on attentive operands for moting their crost shall be austholished for accordance with submitted on accordance with submitted on accordance of the shall be austholished for accordance of the shall of the Procedures thanked. The purp shall oberify boutly out discuss the modifications alternative proposal would better occomplish the purpose the Security.

Pelle 20380LEDDMG-BL









Description Systu.	H.H	Max	X.	MEXIMIN EVERMIN
Calc. Zurre #:		DJ CL 7.3 Cd 0.0 C	0.0	N. P.

SUN MOUNTAIN TOWN HOMES COLORADO SPRINGS, COLORADO 80904

DEPN-24-0111 SHT 18 OF 18

PM2

PHOTO METRIC PLAN

PAN FHISHFRS

B&H ENGINEERS CONSULTING ELECTRICAL, MECHANICAL ,& PLUMBING ENGINEERS

CRAWN 3Y: DAH CHECKED BY: BLP

REVISION/DATE HILL YAME: Protondrie-Ein-Maintein-Tran-Ferres-08-33-34.fug



