

LEGAL DESCRIPTION

A TRACT OF LAND BEING A PORTION OF THE SOUTH HALF OF SECTION 30, TOWNSHIP 12 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF COLORADO SPRINGS, EL PASO COUNTY, COLORADO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: THE NORTHERLY BOUNDARY OF REVEL AT WOLF RANCH FILING NO. 9 RECORDED UNDER RECEPTION NO. _____ RECORDS OF EL PASO COUNTY, COLORADO, BEING MONUMENTED AT BOTH ENDS BY NO. 4 REBAR WITH 1" RED PLASTIC CAPS RECOVERED FLUSH WITH THE GROUND, STAMPED "ROCKWELL PLS 19586" IS ASSUMED TO BEAR N69°58'11"W, A DISTANCE OF 1190.81 FEET. COMMENCING AT THE NORTHEASTERLY CORNER OF REVEL AT WOLF RANCH FILING NO. 9 RECORDED UNDER RECEPTION NO. _____ RECORDS OF EL PASO COUNTY, COLORADO. THENCE N69°58'11"W, ON THE NORTHERLY BOUNDARY OF SAID REVEL AT WOLF RANCH FILING NO. 9, A DISTANCE OF 382.47 FEET TO THE POINT OF BEGINNING. THENCE CONTINUING N69°58'11"W, ON THE NORTHERLY BOUNDARY OF SAID REVEL AT WOLF RANCH FILING NO. 9, A DISTANCE OF 808.34 FEET TO THE NORTHEASTERLY CORNER OF EDGE AT WOLF RANCH RECORDED UNDER RECEPTION NO. _____. THENCE ON THE NORTHERLY BOUNDARY OF SAID EDGE AT WOLF RANCH THE FOLLOWING TWO (2) COURSES: 1. CONTINUE N69°58'11"W, A DISTANCE OF 191.01 FEET; 2. N70°30'01"W, A DISTANCE OF 461.64 FEET; THENCE N19°29'59"E, A DISTANCE OF 50.00 FEET; THENCE N20°07'15"W, A DISTANCE OF 312.35 FEET; THENCE N19°42'40"E, A DISTANCE OF 350.00 FEET; THENCE N29°25'20"E, A DISTANCE OF 46.91 FEET; THENCE N19°42'40"E, A DISTANCE OF 264.33 FEET; THENCE N04°25'02"E, A DISTANCE OF 106.78 FEET; THENCE N33°29'24"E, A DISTANCE OF 49.77 FEET TO A POINT ON CURVE; THENCE ON THE ARC OF A CURVE TO THE RIGHT, WHOSE CENTER BEARS N58°44'01"E, HAVING A DELTA OF 57°51'48", A RADIUS OF 52.00 FEET, AND A DISTANCE OF 52.52 FEET TO A POINT OF TANGENT; THENCE N26°35'49"E, A DISTANCE OF 373.55 FEET TO A POINT OF CURVE; THENCE ON THE ARC OF A CURVE TO THE RIGHT, HAVING A DELTA OF 29°27'41", A RADIUS OF 197.00 FEET, AND A DISTANCE OF 101.30 FEET TO A POINT OF TANGENT; THENCE N56°03'31"E, A DISTANCE OF 66.02 FEET TO A POINT OF CURVE; THENCE ON THE ARC OF A CURVE TO THE LEFT, HAVING A DELTA OF 16°28'40", A RADIUS OF 100.00 FEET, AND A DISTANCE OF 28.76 FEET TO A POINT OF TANGENT; THENCE N39°34'50"E, A DISTANCE OF 64.85 FEET TO A POINT ON CURVE SAID POINT BEING ON THE SOUTHERLY RIGHT OF WAY LINE OF SAID BRIARGATE PARKWAY; THENCE ON THE SOUTHERLY RIGHT OF WAY LINE OF SAID BRIARGATE PARKWAY THE FOLLOWING NINE (9) COURSES: 1. ON THE ARC OF A CURVE TO THE RIGHT WHOSE CENTER BEARS S39°34'50"W, HAVING A DELTA OF 11°33'33", A RADIUS OF 1,320.00 FEET, AND A DISTANCE OF 266.31 FEET TO A POINT OF REVERSE CURVE; 2. ON THE ARC OF A CURVE TO THE LEFT, HAVING A DELTA OF 07°38'46", A RADIUS OF 1,580.00 FEET, AND A DISTANCE OF 210.85 FEET TO A POINT ON CURVE; 3. S02°46'31"E, A DISTANCE OF 35.86 FEET; 4. S41°24'31"W, A DISTANCE OF 70.30 FEET; 5. S48°35'29"E, A DISTANCE OF 77.00 FEET; 6. N41°24'31"E, A DISTANCE OF 70.59 FEET; 7. N85°22'29"E, A DISTANCE OF 35.99 FEET TO A POINT ON CURVE; 8. ON THE ARC OF A CURVE TO THE LEFT, WHOSE CENTER BEARS N38°53'17"E, HAVING A DELTA OF 13°09'49", A RADIUS OF 1,580.00 FEET, AND A DISTANCE OF 363.01 FEET TO A POINT ON CURVE; 9. N25°43'28"E, A DISTANCE OF 160.00 FEET TO A POINT ON CURVE; THENCE ON THE ARC OF A CURVE TO THE LEFT, WHOSE CENTER BEARS N25°43'28"E, HAVING A DELTA OF 05°02'05", A RADIUS OF 1,420.00 FEET AND A DISTANCE OF 124.78 FEET TO A POINT OF TANGENT; THENCE S69°18'37"E, A DISTANCE OF 336.11 FEET TO A POINT OF CURVE; THENCE ON THE ARC OF A CURVE TO THE LEFT, HAVING A DELTA OF 90°00'00", A RADIUS OF 100.00 FEET, AND A DISTANCE OF 157.08 FEET TO A POINT OF TANGENT; THENCE N20°41'23"E, A DISTANCE OF 50.00 FEET; THENCE S69°18'37"E, A DISTANCE OF 67.00 FEET; THENCE S20°41'23"W, A DISTANCE OF 50.00 FEET TO A POINT OF CURVE; THENCE N69°18'37"W, A DISTANCE OF 152.94 FEET TO A POINT OF CURVE; THENCE ON THE ARC OF A CURVE TO THE LEFT, HAVING A DELTA OF 89°29'20", A RADIUS OF 100.00 FEET, AND A DISTANCE OF 156.19 FEET TO A POINT OF TANGENT; THENCE S21°12'03"W, A DISTANCE OF 445.86 FEET TO A POINT OF CURVE; THENCE ON THE ARC OF A CURVE TO THE LEFT, HAVING A DELTA OF 42°24'55", A RADIUS OF 616.50 FEET, AND A DISTANCE OF 456.39 FEET TO A POINT OF TANGENT; THENCE S20°54'48"E, A DISTANCE OF 50.00 FEET TO A POINT ON CURVE; THENCE ON THE ARC OF A CURVE TO THE LEFT, WHOSE CENTER BEARS S20°54'48"E, HAVING A DELTA OF 49°03'22", A RADIUS OF 575.00 FEET, AND A DISTANCE OF 492.31 FEET TO A POINT OF TANGENT; THENCE S20°01'49"W, A DISTANCE OF 81.23 FEET TO A POINT ON THE NORTHERLY BOUNDARY OF SAID REVEL AT WOLF RANCH FILING NO. 9 SAID POINT BEING THE POINT OF BEGINNING. CONTAINING A CALCULATED AREA OF 65.876 ACRES. TO BE PLATTED AS "LAKE-SIDE HEIGHTS AT WOLF RANCH FILING NO. 1".

ADA STATEMENT:

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.

NOTES:

- ALL PROPOSED CURB & GUTTER, SIDEWALK AND PEDESTRIAN RAMPS WITHIN THE RIGHT-OF-WAY SHALL MEET CURRENT CITY STANDARDS. ALL CURB, GUTTER, PEDESTRIAN RAMPS AND SIDEWALK POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATION OR DOES NOT MEET CURRENT CITY STANDARDS ALONG BRIARGATE PARKWAY ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED. AN ON-SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW INSPECTOR TO DETERMINE WHAT, IF ANY IMPROVEMENTS ARE REQUIRED. THE INSPECTOR CAN BE REACHED AT 385-5977.
- ALL INTERNAL STREETS ARE PRIVATE (AS NOTED).
- ALL ON-SITE UTILITIES ARE PUBLIC.
- ALL INTERNAL DRIVEWAYS, PARKING SPACES TO BE ASPHALT UNLESS OTHERWISE SHOWN.
- ALL INTERNAL DRIVEWAYS, PARKING SPACES AND ISLANDS TO BE TYPE 3 CURB & GUTTER OR AS SPECIFIED ON PLANS.
- A MINIMUM OF 3-FOOT CLEARANCE AROUND THE CIRCUMFERENCE OF ALL FIRE HYDRANTS WILL BE KEPT CLEAR OF ANY PHYSICAL OR VISUAL OBSTRUCTIONS TO THE HYDRANT.
- PER CITY CODE SECTION 7.4.102.D ALL LIGHTING FIXTURES SHALL BE CUT-OFF OR HAVE SHIELDING TO REDUCE OFF-SITE LIGHTING IMPACTS ONTO ADJACENT PROPERTIES AND ROADWAYS. ALL EXTERIOR LIGHTING SHALL BE ARRANGED TO MITIGATE LIGHT DIRECTED AWAY FROM ADJACENT PROPERTIES AND ANY PUBLIC RIGHT-OF-WAY. AN AMENDMENT TO THIS PLAN MAY BE REQUIRED IF THE LIGHTING TYPE IS CHANGED.
- USFA NOTICE: THIS PROPERTY MAY BE IMPACTED BY NOISE AND OTHER SIMILAR INCIDENTAL SENSORY EFFECTS OF FLIGHT CAUSED BY AIRCRAFT USED IN THE UNITED STATES AIR FORCE ACADEMY'S AIRMANSHIP PROGRAM AND DURING SPECIAL EVENTS. THIS NOTICE SHALL REMAIN IN EFFECT UNTIL THE ACADEMY SHALL CEASE TO BE ACTIVELY USED. THIS NOTICE SHALL RUN IN PERPETUITY WITH THE LAND.
- ALL LOTS WITHIN THIS SUBDIVISION ARE SUBJECT TO AN AVIGATION EASEMENT GRANTED TO THE UNITED STATES AIR FORCE ACADEMY AS RECORDED UNDER RECEPTION NO. _____.
- FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE SURFACED SO AS TO PROVIDE ALL WEATHER DRIVING CAPABILITIES (2018 CSFC 503.2.3)
- ALL "STOP SIGNS" AND PAVEMENT MARKINGS WILL BE INSTALLED BY THE DEVELOPER AT THE LOCATIONS SHOWN ON THE DEVELOPMENT PLAN TO MEET MUTCD STANDARDS. CONTACT TRAFFIC ENGINEERING, SIGNS & MARKINGS AT 719-385-6720 FOR ASSISTANCE. ALL PUBLIC ROADWAY SIGNING AND STRIPING IMPROVEMENTS TO BE ADDRESSED DURING THE CONSTRUCTION DRAWING PLAN REVIEW.
- THERE SHALL BE NO DIRECT VEHICLE ACCESS TO BRIARGATE PARKWAY, WOLF VALLEY DRIVE, ALLOUCHE STREET AND WOODLAND EDGE DRIVE EXCEPT AS SHOWN ON THIS DEVELOPMENT PLAN FOR THIS SITE.
- LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF OWNER, AND/OR THEIR ASSIGNS
- STREET TREES, STREETScape IMPROVEMENTS, AND VEGETATION WITHIN THE CITY ROW SHALL BE MAINTAINED BY THE ABUTTING PROPERTY OWNER.
- SIGNAGE IS NOT APPROVED WITH THIS PLAN. A SEPARATE SIGN PERMIT IS REQUIRED. CONTACT DEVELOPMENT REVIEW ENTERPRISE AT 2880 INTERNATIONAL CIRCLE FOR SIGN APPLICATIONS.
- ALL EXISTING CURB & GUTTER, SIDEWALK AND PEDESTRIAN RAMPS WITHIN THE PUBLIC IMPROVEMENTS CORRIDOR SHALL MEET CURRENT CITY STANDARDS.
- THIS SITE IS LOCATED WITHIN THE OLD RANCH METROPOLITAN DISTRICT. TRACTS A AND B TO BE OWNED AND MAINTAINED BY THE OLD RANCH METROPOLITAN DISTRICT FOR OPEN SPACE, PUBLIC TRAIL, PUBLIC UTILITIES AND LANDSCAPING.
- FULL SPECTRUM DETENTION IS PROVIDED IN EXISTING PUBLIC POND F28 LOCATED SOUTH WEST OF THE SITE (JUST NORTH OF RESEARCH PARKWAY) AND IS MAINTAINED BY THE CITY OF COLORADO SPRINGS. AN EXISTING UPSTREAM PUBLIC STORMWATER QUALITY POND SITS NORTH OF POND F28 (OWNED AND MAINTAINED BY THE CITY OF COLORADO SPRINGS) AND PROVIDES SWOCV FOR ALL FLOWS TRIBUTARY TO THE TREATMENT FACILITY. ALL SITE DEVELOPED FLOWS TRIBUTARY TO COTTONWOOD CREEK TRIBUTARY NO. 4 ARE REQUIRED TO PROVIDE STORMWATER QUALITY TREATMENT PRIOR TO RELEASE INTO TRIBUTARY NO. 4 (ALSO TRIBUTARY TO POND F28).
- ALL PUBLIC AND PRIVATE PEDESTRIAN RAMPS TO BE CONSTRUCTED PER CITY STD. DETAIL D-8.
- ALL PUBLIC AND PRIVATE CROSSPANS TO BE CONSTRUCTED PER CITY STD. DETAIL D-7.
- ALL SIDEWALK ALONG PUBLIC STREETS TO BE BUILT NO LATER THAN WHEN BUILDING ON ADJACENT LOT IS CONSTRUCTED (PRIOR TO CO).
- ALL IMPROVEMENTS DEPICTED WITHIN THIS PLAN ARE REQUIRED BY CITY CODE AND/OR ARE A CONDITION OF APPROVAL TO ENSURE COMPLIANCE WITH THE CITY'S REVIEW CRITERIA. PRIVATE IMPROVEMENTS PROVIDED AS EXTRA, WILL BE LABELED AS "EX" AND WILL NOT BE INCLUDED IN THE CALCULATED AMOUNT REQUIRED FOR A FINANCIAL ASSURANCE.
- SEE SHEET 25 FOR TYPICAL STREET SECTIONS.
- ALL ISLAND PIA'S TO INCLUDE ZERO HEIGHT CURB AND CURB CUTS FOR DRAINAGE FROM PAVED AREAS TO ACCESS.
- ALL "TYPICAL INLETS" ARE TYPE R.
- PIA'S ARE REFLECTED ON THIS DEVELOPMENT PLAN REPRESENT ADEQUATE AREA FOR TREATMENT. UPON FINALIZATION OF BUILDING DESIGN (ROOF DISCHARGE POINTS, ETS.) AND SITE DESIGN (TRANSFORMER LOCATIONS, VAULTS, ETC.), IF WARRANTED, AN ADMINISTRATIVE ADJUSTMENT TO THE DEVELOPMENT PLAN WILL BE PROCESSED REFLECTING THE FINAL PIA LOCATIONS AND AREAS, IF CHANGED. THIS DP ADMINISTRATIVE ADJUSTMENT WILL BE LIMITED TO PLANNING, SWENT, CSU AND LANDSCAPING, AS NEEDED.

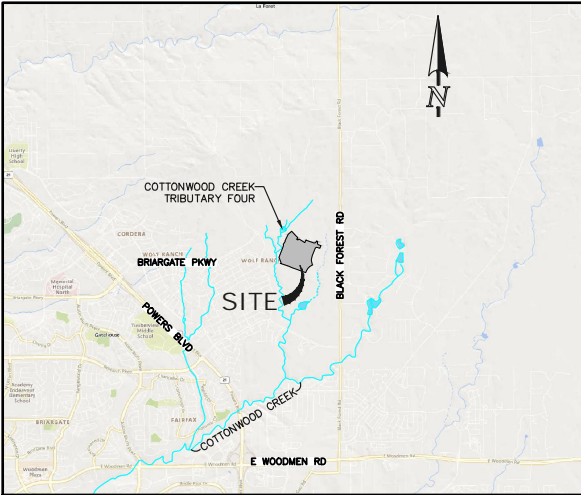
LAKE-SIDE HEIGHTS AT WOLF RANCH FILING NO. 1

CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

PUD DEVELOPMENT PLAN

TITLE SHEET

MARCH 2023

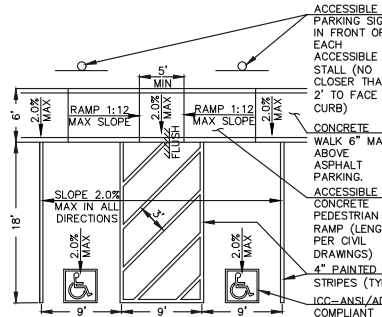


VICINITY MAP

N.T.S.



SITE



ADA PARKING DETAILS:

SCALE: 1" = 10'

PROJECT TEAM:
CIVIL ENGINEER

CLASSIC CONSULTING ENGINEERS & SURVEYORS, LLC
619 N. CASCADE AVENUE, SUITE 200
COLORADO SPRINGS, COLORADO 80903
MR. KYLE CAMPBELL, P.E.
(719) 785-0790

LANDSCAPE ARCHITECT

DIG STUDIO
1521 15TH ST
DENVER, COLORADO 80202
MR. PAUL STEWART
(720) 788-0056

ARCHITECT

KTGY
3660 BLAKE ST SUITE 500
DENVER, COLORADO 80205
MR. TERRY WILLIS, AIA
(303) 389-6031

OWNER / APPLICANT / DEVELOPER

DAVID JENKINS C/O NORWOOD DEVELOPMENT GROUP
111 S TEJON ST SUITE 222
COLORADO SPRINGS, COLORADO 80903
MR. JEFF FINN
(719) 593-2600

SITE DATA:

TAX SCHEDULE NO.:	52311-00-028
SITE ADDRESS:	T.B.D.
AREA:	65.876 ACRES
MASTER PLAN:	WOLF RANCH (CPC MP 05-00080 - A7M19)
EXISTING ZONING:	PUD (CPC PUP 04-00048)
EXISTING USE:	UNDEVELOPED
PROPOSED USE:	MULTIFAMILY RESIDENTIAL W/ COMMUNITY RECREATION CENTER
PROPOSED DENSITY LOT 2:	23.99 DU/AC
PROPOSED DENSITY LOT 3 & 4:	10.88 DU/AC
DEVELOPMENT SCHEDULE:	2023/2025 FULL BUILD OUT
MAX. BUILDING HEIGHT ALLOWED:	45'
PROPOSED BUILDING HEIGHT:	VARIES - SEE ELEVATION SHEETS
TYPICAL DRIVE AISLE:	VARIES - SEE STREET TYPICAL CROSS SECTIONS (ON SHEET 24)
DRAINAGE BASIN:	COTTONWOOD CREEK (CLOSED BASIN)
PROPOSED LOT COVERAGE:	2,869,574 SF / 65.876 AC 100%
LOT 1:	10,527
LOT 2:	54,399
LOT 3 & 4:	12,875
ASPHALT/CONCRETE/BUILDING COVERAGE:	1,874,878 SF / 43.04 AC 65.54%
LANDSCAPE:	995,736 SF / 22.86 AC 34.70%
BUILDING SETBACKS:	
BRIARGATE PARKWAY:	25' BUILDING 25' LANDSCAPE
ALONG WOLF VALLEY DRIVE, ALLOUCHE STREET, AND WOODLAND EDGE DRIVE:	10' BUILDING 10' LANDSCAPE

PARKING CALCULATIONS:

LOT 1			SPACES PER	# OF UNITS	REQUIRED	PROVIDED	
USE AREA SF	GSP PARKING	(DIVISOR)					
30670	1/150	150			204		
4900	0	400			12		
TOTAL					216	217	
*ADA PARKING	REQUIRED	PROVIDED	(ALREADY COUNTED IN LOT 1 TOTALS)				
TOTAL ADA	7	8					
VAN	7	8	(ALREADY COUNTED IN ADA PARKING)				
LOT 2	SPACES PER	# OF UNITS	REQUIRED	PROVIDED			
STUDIO	1.1	36		40			
1 BEDROOM	1.5	206		309			
2 BEDROOM	1.7	109		185			
LOT 2 TOTAL				534			
ON-SITE SURFACE/322 + GRASS/242 + SHORELINE VIEW DIRECTLY ADJACENT/44				608			
*ADA PARKING	REQUIRED	PROVIDED					
TOTAL ADA	12	18					
VAN	3	3					
12 OF THE 18 ACCESSIBLE SPACES ARE GARAGE SPACES							
LOT 3 & 4				SPACES PER	# OF UNITS	REQUIRED	PROVIDED
1 BEDROOM	1.5	28			42		
2 BEDROOM	1.7	246			418		
3 BEDROOM	2	98			196		
4 BEDROOM	2	1			2		
LOTS 3 & 4 TOTAL					658		
ON-SITE SURFACE/331 + GARAGE/603 + ADJACENT PUBLIC STREET PARKING/99 (NOT COUNTED IN TOTAL					934		
*ADA PARKING	REQUIRED	PROVIDED	(ALREADY COUNTED IN LOTS 3 & 4 TOTALS)				
TOTAL ADA	19	19					
VAN	3	3	(ALREADY COUNTED IN ADA PARKING)				
GRAND TOTAL REQUIRED					1408		
TOTAL PROVIDED					1759		
SURPLUS ON-SITE (LOT) PARKING (NOT COUNTING 116 PUBLIC STREET PARALLEL PARKING STALLS					351		

FLOODPLAIN STATEMENT:

NO PORTION OF THIS SITE IS WITHIN A DESIGNATED F.E.M.A FLOODPLAIN AS DETERMINED BY THE FLOOD INSURANCE RATE MAP (F.I.R.M.) MAP NUMBER 08041C 0527G, EFFECTIVE DATE, DECEMBER 7, 2018.

HANDICAP PARKING SPACE DESIGN CRITERIA:

- RAMPS SHALL NOT BE PLACED IN HANDICAPPED ACCESS AISLE, BUT SHALL BE PLACED WITHIN THE ADJOINING SIDEWALKS
- ACCESS AISLES MAY NOT EXCEED A 2% SLOPE IN ANY DIRECTION
- HANDICAPPED RAMPS MAY NOT EXCEED A SLOPE OF 8%
- THE MINIMUM WIDTH FOR HANDICAPPED RAMPS IS 36 INCHES
- THE SIDES OF RAMPS MAY NOT EXCEED A SLOPE OF 10% UNLESS PROTECTED WITH A HANDRAIL
- HANDICAPPED PARKING SHALL MEET ALL OTHER APPLICABLE CITY AN ADA CODE REQUIREMENTS
- SIGNAGE IS REQUIRED FOR ACCESSIBLE SPACES AS SHOWN IN DETAIL, HOWEVER ONLY ONE SPACE NEEDS TO BE SIGNED AS VAN ACCESSIBLE
- ACCESSIBLE ROUTES, INCLUDING RAMPS AND SIDEWALKS WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PER THE CITY'S STANDARD DRAWINGS AND SPECIFICATIONS. CITY INSPECTOR WILL HAVE THE FINAL AUTHORITY ON ACCEPTING THE PUBLIC IMPROVEMENTS.



619 N. Cascade Avenue, Suite 200
Colorado Springs, Colorado 80903
(719) 785-0790
(719) 785-0799 (Fax)

LAKESIDE HEIGHTS AT WOLF RANCH
FILING NO. 1

PUD DEVELOPMENT PLAN
TITLE SHEET

DESIGNED BY	JDP	SCALE	DATE	11/6/23
DRAWN BY	JDP	(H) 1" = N/A	SHEET	1 OF 74
CHECKED BY	KRC	(V) 1" = N/A	JOB NO.	2183.30

FOR CITY USE:

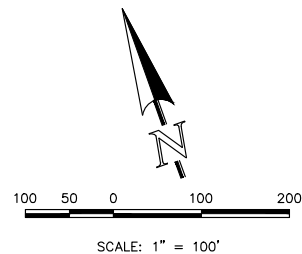
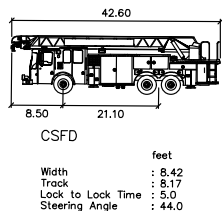
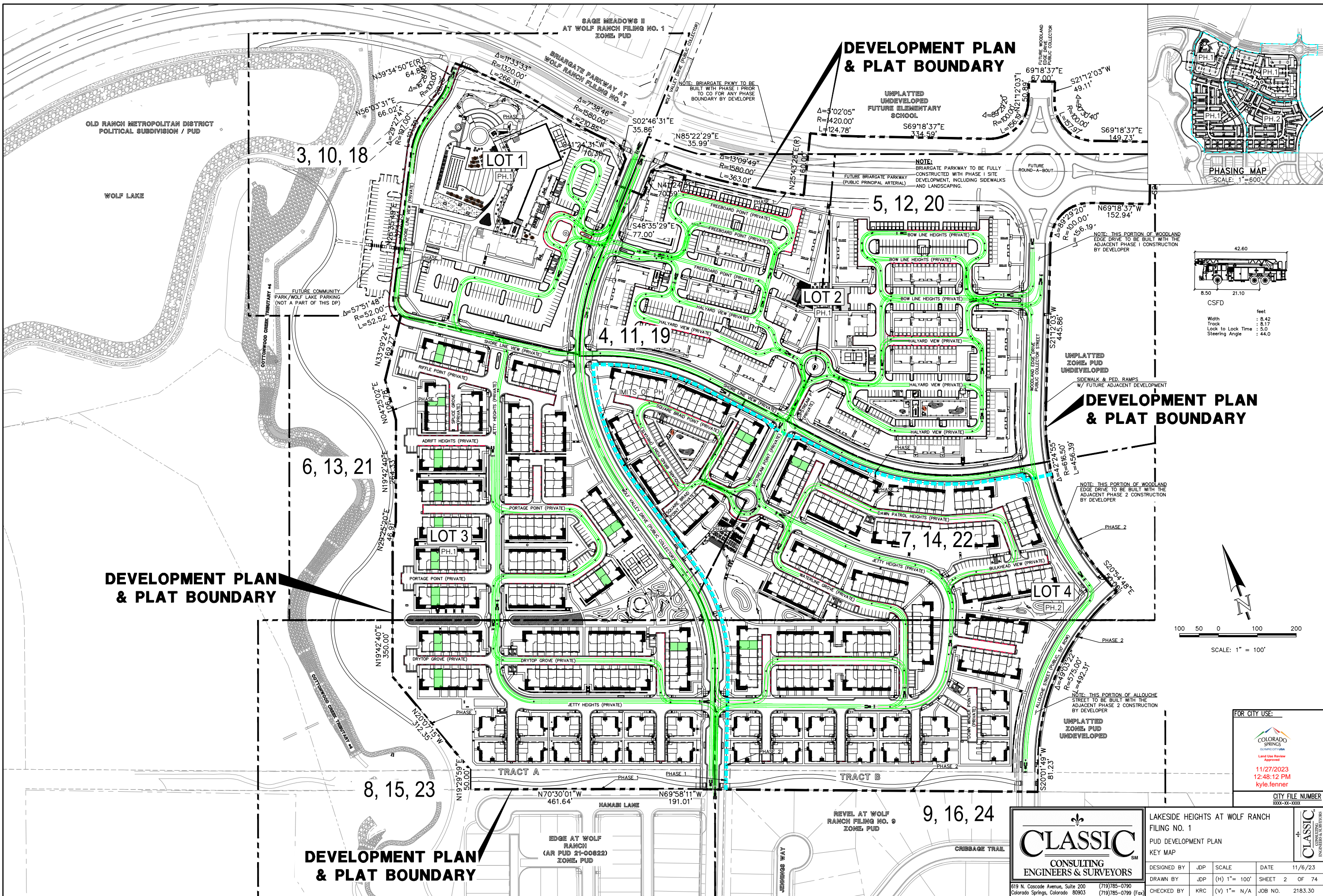


Land Use Review
Approved

11/27/2023
12:48:04 PM
kyle.tenner

CITY FILE NUMBER
PUD-23-0049





FOR CITY USE:

COLORADO SPRINGS
LAND USE REVIEW
11/27/2023
12:48:12 PM
kyle.fenner

CITY FILE NUMBER
XXXX-XX-XXXX

CLASSIC
CONSULTING
ENGINEERS & SURVEYORS

LAKESIDE HEIGHTS AT WOLF RANCH FILING NO. 1 PUD DEVELOPMENT PLAN KEY MAP			
DESIGNED BY	JDP	SCALE	DATE
DRAWN BY	JDP	(H) 1"= 100'	11/6/23
CHECKED BY	KRC	(V) 1"= N/A	SHEET 2 OF 74
		JOB NO.	2183.30

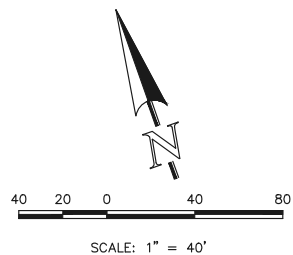
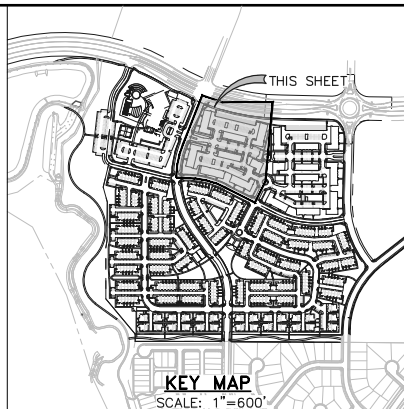
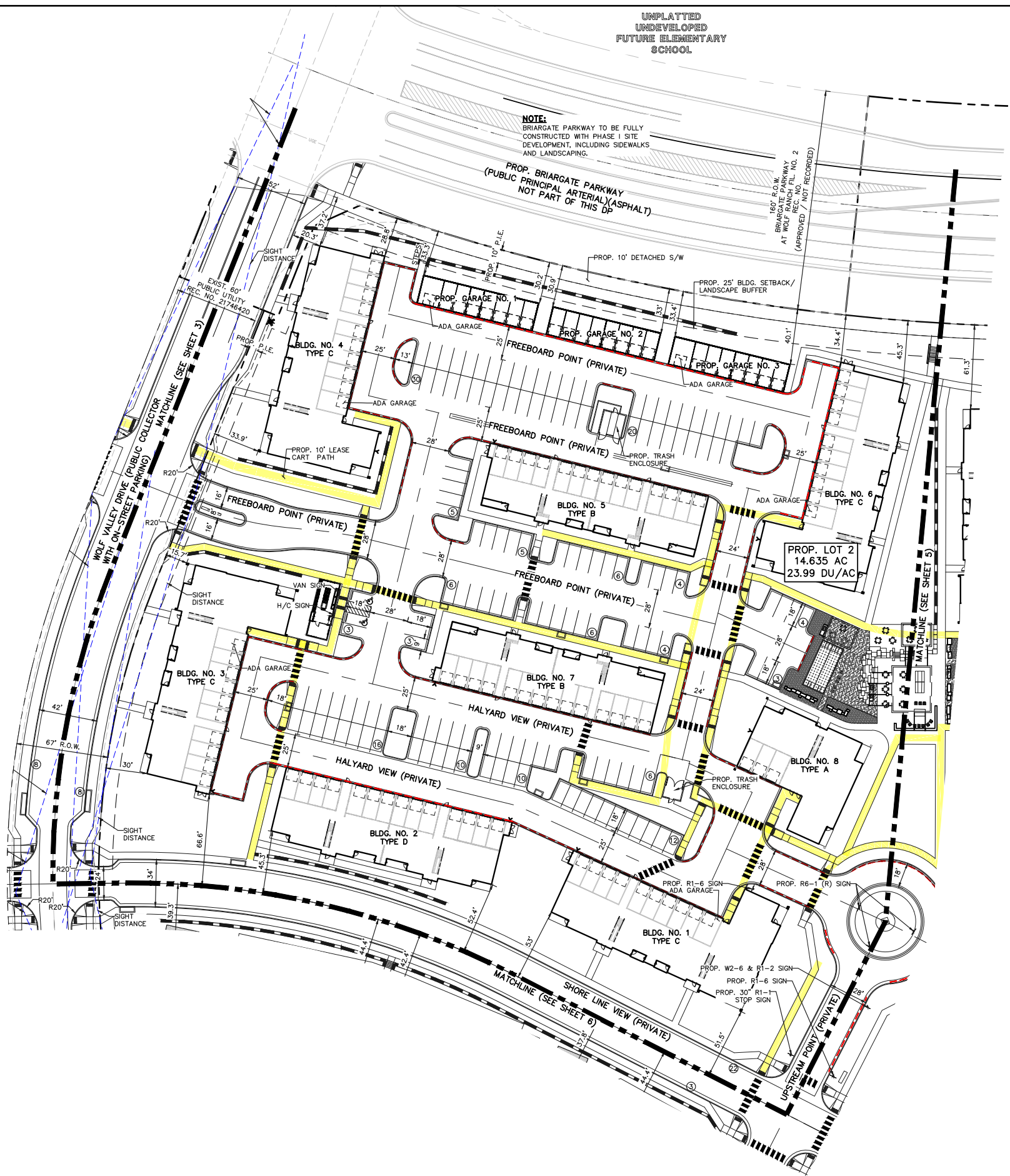
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(719) 785-0790
(719) 785-0799 (Fax)

UNPLATTED
UNDEVELOPED
FUTURE ELEMENTARY
SCHOOL

NOTE:
BRIARGATE PARKWAY TO BE FULLY
CONSTRUCTED WITH PHASE 1 SITE
DEVELOPMENT, INCLUDING SIDEWALKS
AND LANDSCAPING.

PROP. BRIARGATE PARKWAY
(PUBLIC PRINCIPAL ARTERIAL)(ASPHALT)
NOT PART OF THIS DP

100' R.O.W.
BRIARGATE PARKWAY
AT WOLF RANCH PL. NO. 2
(APPROVED / NOT RECORDED)



NOTE:
PUBLIC ON-STREET PARKING NOT COUNTED IN PARKING TOTALS. ON-STREET
PUBLIC/PRIVATE PARALLEL PARKING WILL NOT BE STRIPED. PARKING LOCATIONS
SHOWN FOR GRAPHIC REPRESENTATION ONLY.

DESCRIPTION	LEGEND	SYMBOL
BOUNDARY LINE		---
LOT LINE		---
"NO PARKING" FIRE LANE SIGNS AND/OR PAINTED CURB		---
PROPOSED DIRECT ACCESSIBLE ROUTING		---
PROPOSED RETAINING WALL		---

FOR CITY USE:

COLORADO SPRINGS
COLORADO CITY USA
Land Use Review
Approved

11/27/2023
12:48:13 PM
kyle.fenner

CITY FILE NUMBER
PUD-23-0049

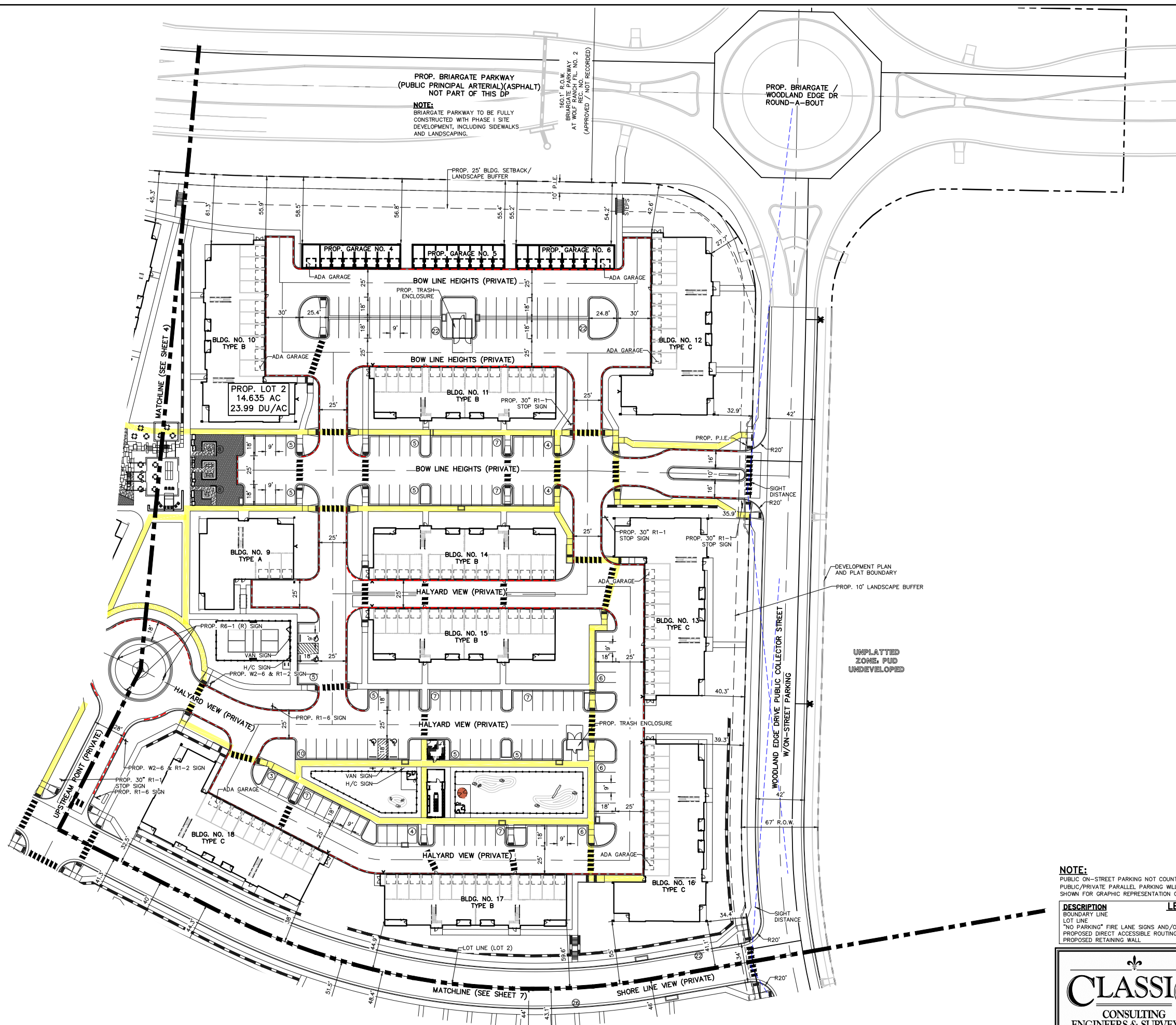
619 N. Cascade Avenue, Suite 200
Colorado Springs, Colorado 80903

(719)785-0790
(719)785-0799 (Fax)

LAKESIDE HEIGHTS AT WOLF RANCH
FILING NO. 1
PUD DEVELOPMENT PLAN
SITE DEVELOPMENT PLAN

DESIGNED BY	JDP	SCALE	DATE	11/6/23
DRAWN BY	JDP	(H) 1"= 40'	SHEET	4 OF 74
CHECKED BY	KRC	(V) 1"= N/A	JOB NO.	2183.30

UNPLATTED UNDEVELOPED FUTURE ELEMENTARY SCHOOL PRINTED BY: JANSBANK 11/06/23 11:45 AM LAST SAVED BY: JANSBANK

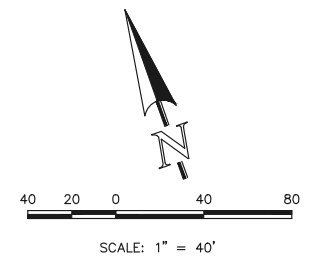
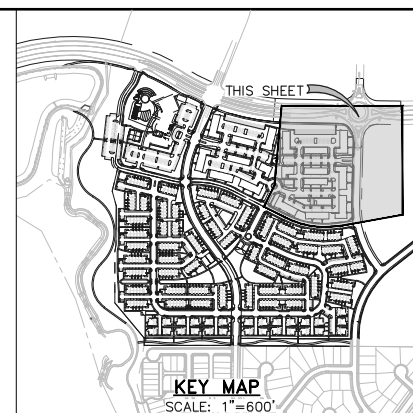


PROP. BRIARGATE PARKWAY
(PUBLIC PRINCIPAL ARTERIAL)(ASPHALT)
NOT PART OF THIS DP

NOTE:
BRIARGATE PARKWAY TO BE FULLY
CONSTRUCTED WITH PHASE I SITE
DEVELOPMENT, INCLUDING SIDEWALKS
AND LANDSCAPING.

160.1' R.O.W.
BRIARGATE PARKWAY
AT WOLF RANCH
REC. NO. 2
(APPROVED / NOT RECORDED)

PROP. BRIARGATE /
WOODLAND EDGE DR
ROUND-A-BOUT



NOTE:
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SHOWN FOR GRAPHIC REPRESENTATION ONLY.

DESCRIPTION	LEGEND	SYMBOL
BOUNDARY LINE	---	---
LOT LINE	---	---
"NO PARKING" FIRE LANE SIGNS AND/OR PAINTED CURB	---	---
PROPOSED DIRECT ACCESSIBLE ROUTING	---	---
PROPOSED RETAINING WALL	---	---

FOR CITY USE:

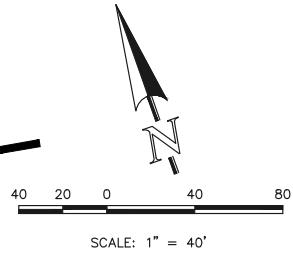
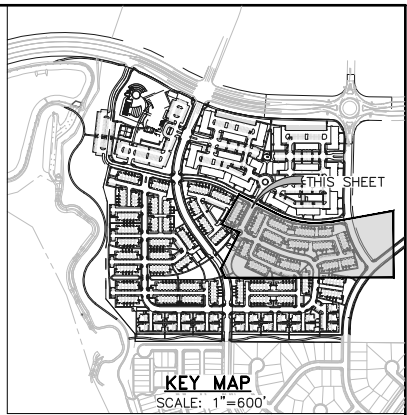
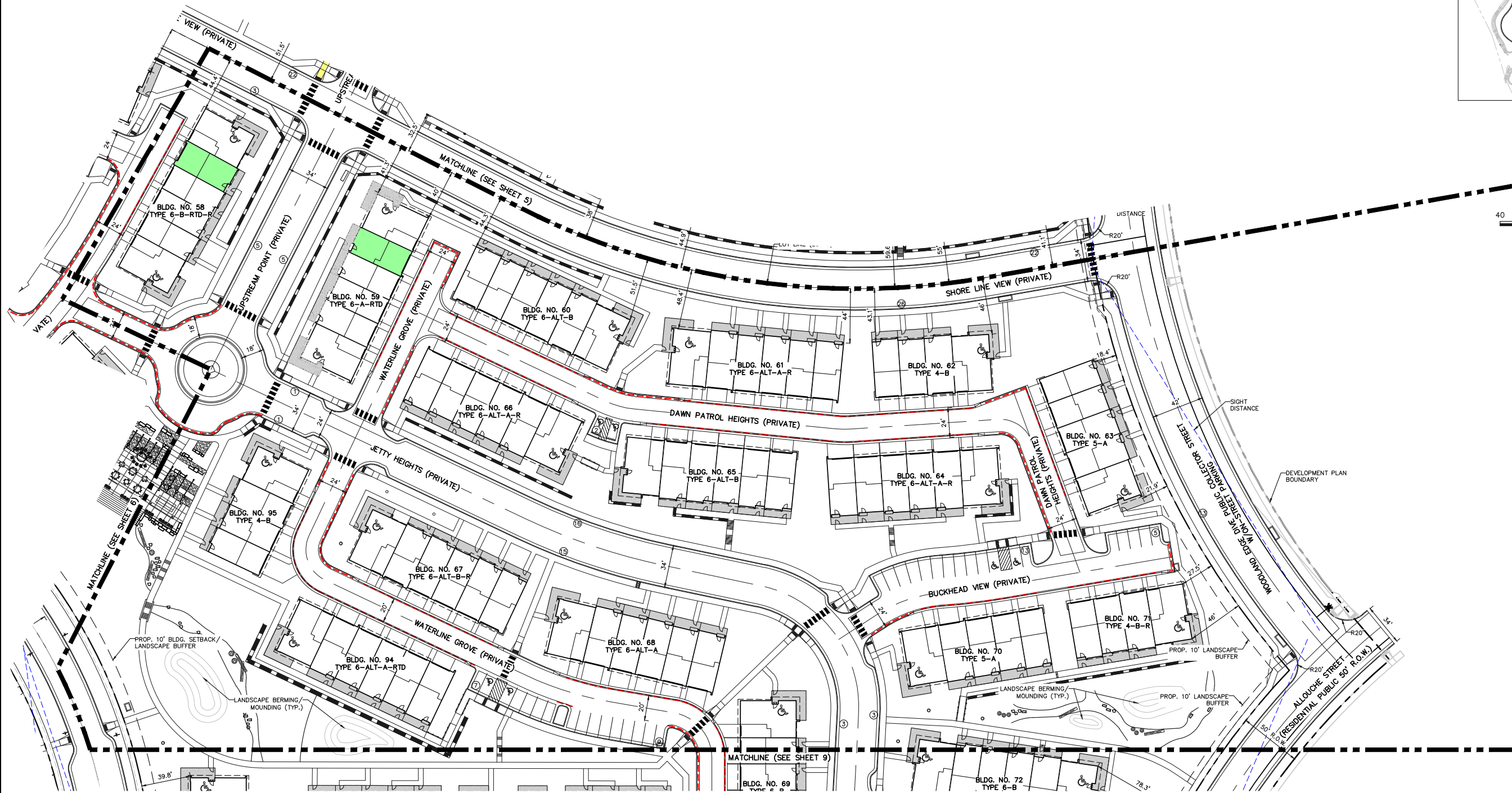
COLORADO SPRINGS
COLORADO CITY USA
Land Use Review
Approved
11/27/2023
12:48:13 PM
kyle.fenner

CITY FILE NUMBER
PUD-23-0049

CLASSIC
CONSULTING
ENGINEERS & SURVEYORS

LAKESIDE HEIGHTS AT WOLF RANCH FILING NO. 1 PUD DEVELOPMENT PLAN SITE DEVELOPMENT PLAN			
DESIGNED BY	JDP	SCALE	DATE
DRAWN BY	JDP	(H) 1"= 40'	11/6/23
CHECKED BY	KRC	(V) 1"= N/A	SHEET 5 OF 74
		JOB NO.	2183.30

619 N. Cascade Avenue, Suite 200
Colorado Springs, Colorado 80903
(719)785-0790
(719)785-0799 (Fax)



NOTE:
PUBLIC ON-STREET PARKING NOT COUNTED IN PARKING TOTALS. ON-STREET PUBLIC/PRIVATE PARALLEL PARKING WILL NOT BE STRIPED. PARKING LOCATIONS SHOWN FOR GRAPHIC REPRESENTATION ONLY.

DESCRIPTION	LEGEND	SYMBOL
BOUNDARY LINE		---
LOT LINE		---
"NO PARKING" FIRE LANE SIGNS AND/OR PAINTED CURB		---
PROPOSED DIRECT ACCESSIBLE ROUTING		---
PROPOSED RETAINING WALL		---

FOR CITY USE:

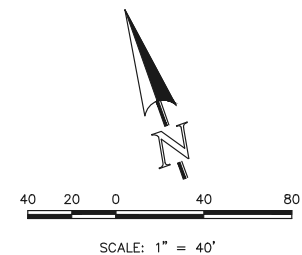
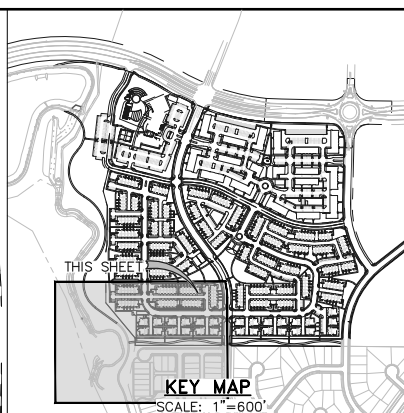
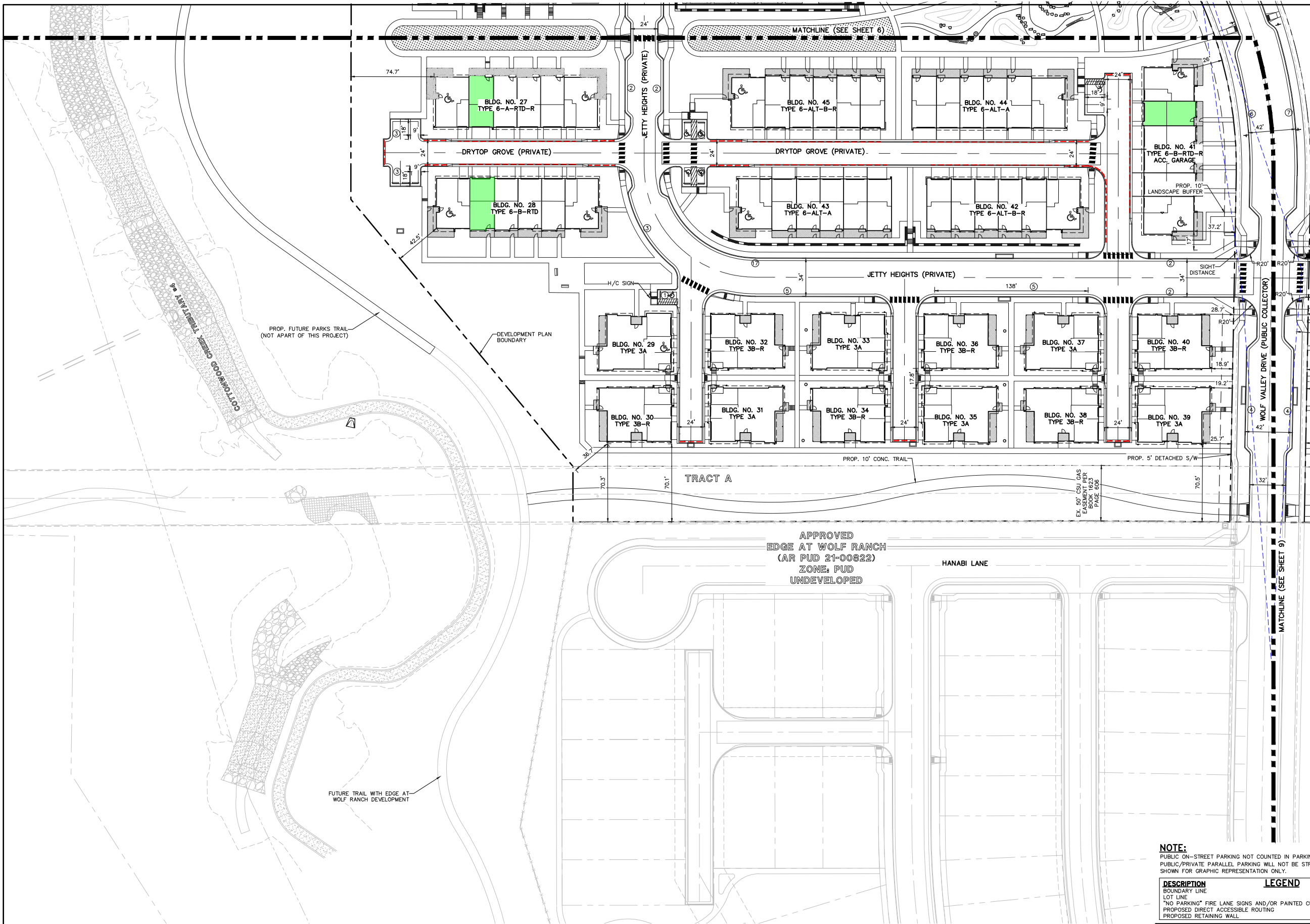

COLORADO SPRINGS
COLORADO CITY USA
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CLASSIC
CONSULTING
ENGINEERS & SURVEYORS

LAKESIDE HEIGHTS AT WOLF RANCH FILING NO. 1 PUD DEVELOPMENT PLAN SITE DEVELOPMENT PLAN			
DESIGNED BY	JDP	SCALE	DATE 11/6/23
DRAWN BY	JDP	(H) 1"= 40'	SHEET 7 OF 74
CHECKED BY	KRC	(V) 1"= N/A	JOB NO. 2183.30

619 N. Cascade Avenue, Suite 200
Colorado Springs, Colorado 80903
(719)785-0790
(719)785-0799 (Fax)



APPROVED
EDGE AT WOLF RANCH
(AR PUD 21-00822)
ZONE: PUD
UNDEVELOPED

NOTE:
PUBLIC ON-STREET PARKING NOT COUNTED IN PARKING TOTALS. ON-STREET
PUBLIC/PRIVATE PARALLEL PARKING WILL NOT BE STRIPED. PARKING LOCATIONS
SHOWN FOR GRAPHIC REPRESENTATION ONLY.

DESCRIPTION	LEGEND	SYMBOL
BOUNDARY LINE	---	---
LOT LINE	---	---
"NO PARKING" FIRE LANE SIGNS AND/OR PAINTED CURB	---	---
PROPOSED DIRECT ACCESSIBLE ROUTING	---	---
PROPOSED RETAINING WALL	---	---

FOR CITY USE:

COLORADO SPRINGS
CITY OF COLORADO SPRINGS
Land Use Review
Approved

11/27/2023
12:48:14 PM
kyle.fenner

CITY FILE NUMBER
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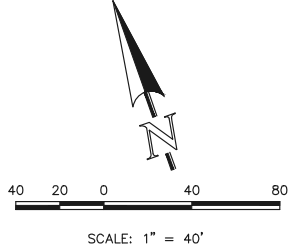
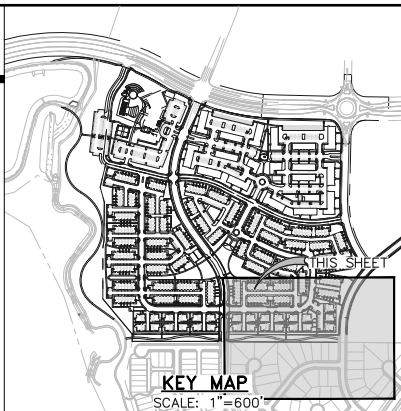
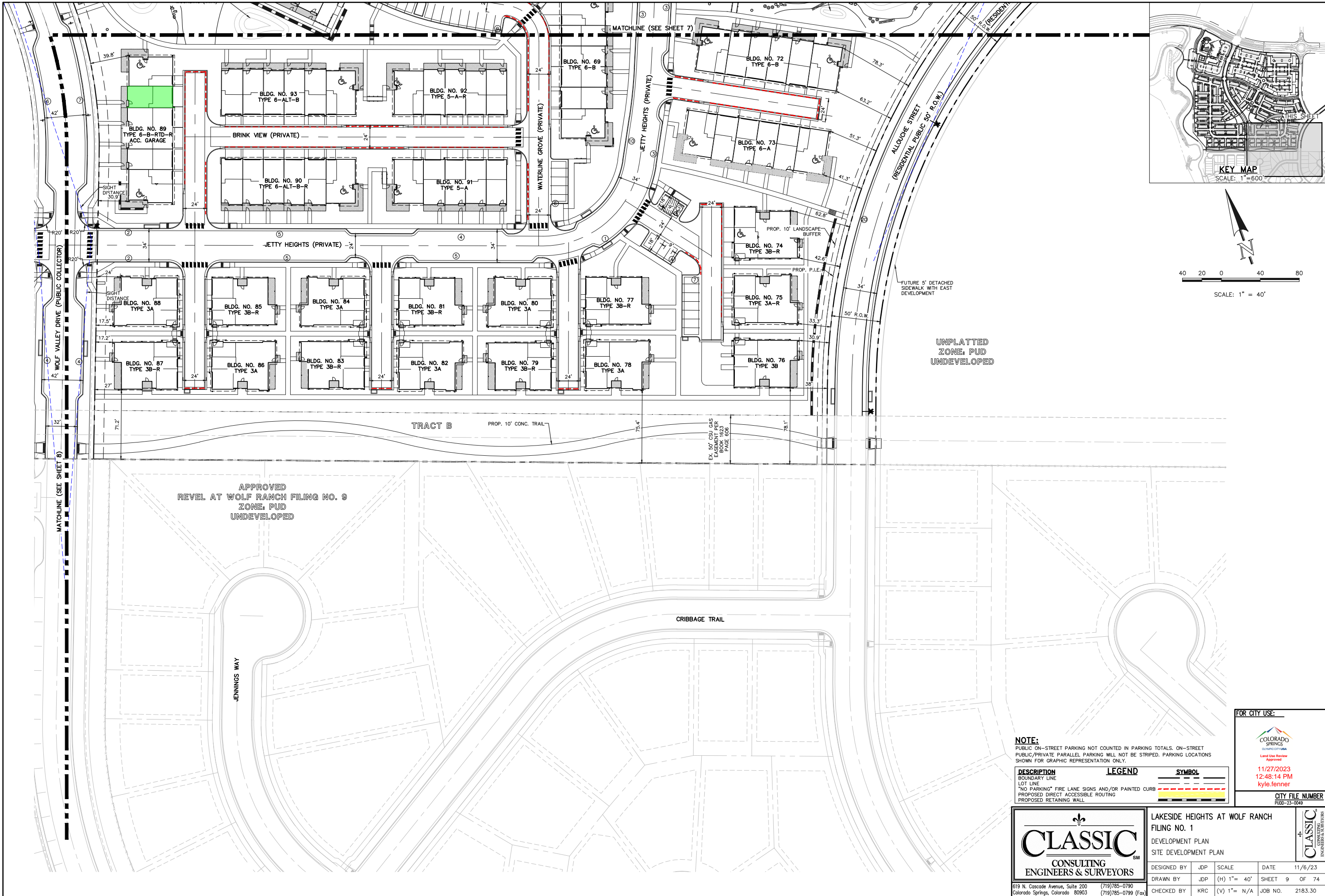
CLASSIC
CONSULTING
ENGINEERS & SURVEYORS

LAKESIDE HEIGHTS AT WOLF RANCH
FILING NO. 1
PUD DEVELOPMENT PLAN
SITE DEVELOPMENT PLAN

DESIGNED BY	JDP	SCALE	DATE	11/6/23
DRAWN BY	JDP	(H) 1"= 40'	SHEET	8 OF 74
CHECKED BY	KRC	(V) 1"= N/A	JOB NO.	2183.30

619 N. Cascade Avenue, Suite 200
Colorado Springs, Colorado 80903

(719)785-0790
(719)785-0799 (Fax)



UNPLATTED
ZONE, PUD
UNDEVELOPED

APPROVED
REVEL AT WOLF RANCH FILING NO. 9
ZONE, PUD
UNDEVELOPED

NOTE:
PUBLIC ON-STREET PARKING NOT COUNTED IN PARKING TOTALS. ON-STREET
PUBLIC/PRIVATE PARALLEL PARKING WILL NOT BE STRIPED. PARKING LOCATIONS
SHOWN FOR GRAPHIC REPRESENTATION ONLY.

DESCRIPTION	LEGEND	SYMBOL
BOUNDARY LINE		---
LOT LINE		---
"NO PARKING" FIRE LANE SIGNS AND/OR PAINTED CURB		---
PROPOSED DIRECT ACCESSIBLE ROUTING		---
PROPOSED RETAINING WALL		---

FOR CITY USE:

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SPRINGS
COLORADO CITY USA
Land Use Review
Approved
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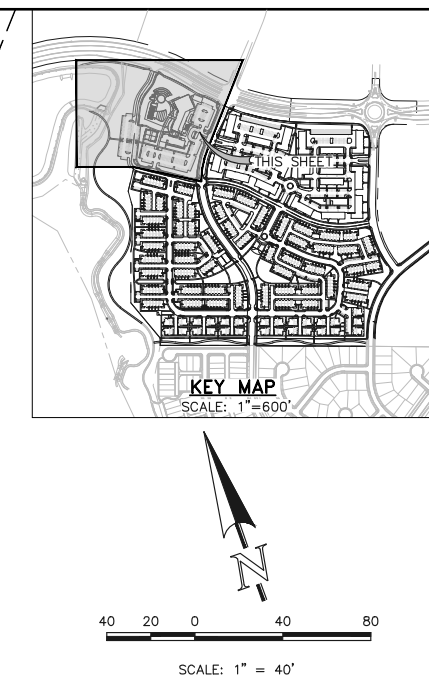
619 N. Cascade Avenue, Suite 200
Colorado Springs, Colorado 80903

(719) 785-0790
(719) 785-0799 (Fax)

LAKESIDE HEIGHTS AT WOLF RANCH
FILING NO. 1
DEVELOPMENT PLAN
SITE DEVELOPMENT PLAN

DESIGNED BY	JDP	SCALE	DATE	11/6/23
DRAWN BY	JDP	(H) 1"= 40'	SHEET	9 OF 74
CHECKED BY	KRC	(V) 1"= N/A	JOB NO.	2183.30

11/27/2023 11:00:00 AM DEVELOPMENT PLAN PUD-23-0049 SHEET 9 OF 74 PRINTED BY: JASBANKS 11/27/2023 11:00:00 AM LAST SAVED BY: JASBANKS



DESCRIPTION	SYMBOL
PROPOSED RCP STORM SEWER	
PROPOSED STORM INLET (TYPE R)	
EXISTING STORM SEWER	
EXISTING STORM INLET	
EXISTING FIRE HYDRANT	
EXISTING WATER MAIN	
EXISTING SANITARY SEWER MAIN W/ MANHOLE	
EXISTING GAS MAIN	
PROPOSED PVC SANITARY MAIN W/ MANHOLE	
PROPOSED PVC WATER MAIN	
BOUNDARY LINE	
PROPOSED FIRE HYDRANT	
PROPOSED F.D.C.	
SPOT ELEVATION - TOP OF WALL	
SPOT ELEVATION - BOTTOM OF WALL	
SLOPE ARROW	
EXISTING GROUND CONTOUR	
PROPOSED FINISHED CONTOUR	
PROPOSED TYPE 3 CURB & GUTTER (UNLESS NOTED OTHERWISE)	
PROPOSED TYPE 1 CURB & GUTTER (PUBLIC STREETS TYPICAL)	
P.I.A.	
PROPOSED RETAINING WALL	

SITE SPECIFIC NOTES:

ALL DRIVEWAYS AND PARKING SPACES TO BE ASPHALT UNLESS OTHERWISE SHOWN.

ALL INTERNAL DRIVEWAYS, PARKING SPACES AND ISLANDS TO BE TYPE 3 CURB & GUTTER OR AS SPECIFIED ON PLANS.

ALL EXISTING CURB & GUTTER, SIDEWALK AND PEDESTRIAN RAMPS WITHIN THE PUBLIC IMPROVEMENTS CORRIDOR SHALL MEET CURRENT CITY STANDARDS.

ALL CURB, GUTTER, PEDESTRIAN RAMPS AND SIDEWALK POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATION OR DOES NOT MEET CURRENT CITY STANDARDS ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED. AN ON-SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW INSPECTOR TO DETERMINE WHAT, IF AN IMPROVEMENTS ARE REQUIRED. THE INSPECTOR CAN BE REACHED AT 385-5977.

ALL PROPOSED CURB & GUTTER, SIDEWALK AND PEDESTRIAN RAMPS WITHIN THE RIGHT-OF-WAY SHALL MEET CURRENT CITY STANDARDS. ALL CURB, GUTTER, PEDESTRIAN RAMPS AND SIDEWALK POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATION OR DOES NOT MEET CURRENT CITY STANDARDS ALONG BRIARGATE PARKWAY ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED. AN ON-SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW INSPECTOR TO DETERMINE WHAT, IF ANY IMPROVEMENTS ARE REQUIRED. THE INSPECTOR CAN BE REACHED AT 385-5977.

CLASSIC CONSULTING ENGINEERS & SURVEYORS

LAKESIDE HEIGHTS AT WOLF RANCH
FILING NO. 1
DEVELOPMENT PLAN
PRELIMINARY GRADING PLAN

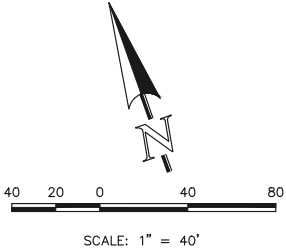
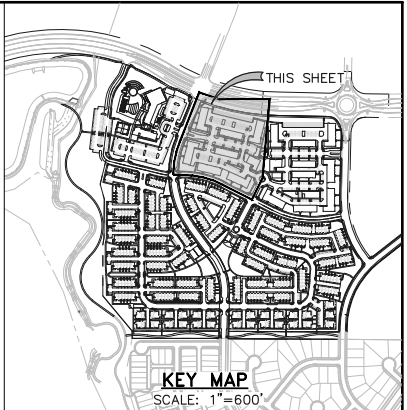
DESIGNED BY	JDP	SCALE	DATE	11/6/23
DRAWN BY	JDP	(H) 1"= 40'	SHEET	10 OF 74
CHECKED BY	KRC	(V) 1"= N/A	JOB NO.	2183.30

FOR CITY USE:

COLORADO SPRINGS
CITY OF COLORADO
Land Use Review
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kyle.fenner

CITY FILE NUMBER
PUDO-23-0049

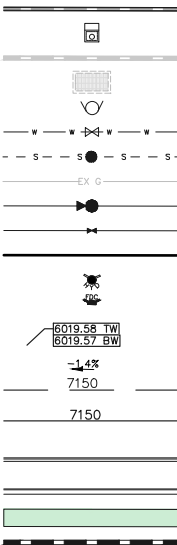
UNRECORDED DEVELOPMENT PLAN PUDO-23-0049 PRINTED BY J. ADAMS 11/6/23 8:55 PM LAST SAVED BY: JADAMS



DESCRIPTION

- PROPOSED RCP STORM SEWER
- PROPOSED STORM INLET (TYPE R)
- EXISTING STORM SEWER
- EXISTING STORM INLET
- EXISTING FIRE HYDRANT
- EXISTING WATER MAIN
- EXISTING SANITARY SEWER MAIN W/ MANHOLE
- EXISTING GAS MAIN
- PROPOSED PVC SANITARY MAIN W/ MANHOLE
- PROPOSED PVC WATER MAIN
- BOUNDARY LINE
- PROPOSED FIRE HYDRANT
- PROPOSED F.D.C.
- SPOT ELEVATION - TOP OF WALL
- SPOT ELEVATION - BOTTOM OF WALL
- SLOPE ARROW
- EXISTING GROUND CONTOUR
- PROPOSED FINISHED CONTOUR
- PROPOSED TYPE 3 CURB & GUTTER (UNLESS NOTED OTHERWISE)
- PROPOSED TYPE 1 CURB & GUTTER (PUBLIC STREETS TYPICAL)
- P.I.A.
- PROPOSED RETAINING WALL

SYMBOL



SITE SPECIFIC NOTES:

- ALL DRIVEWAYS AND PARKING SPACES TO BE ASPHALT UNLESS OTHERWISE SHOWN.
- ALL INTERNAL DRIVEWAYS, PARKING SPACES AND ISLANDS TO BE TYPE 3 CURB & GUTTER OR AS SPECIFIED ON PLANS.
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11/27/2023
12:48:15 PM
kyle.fenner

CITY FILE NUMBER
PUD-23-0049

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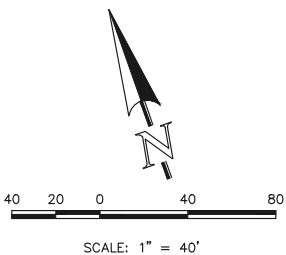
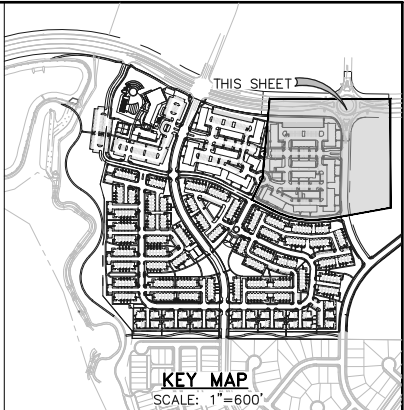
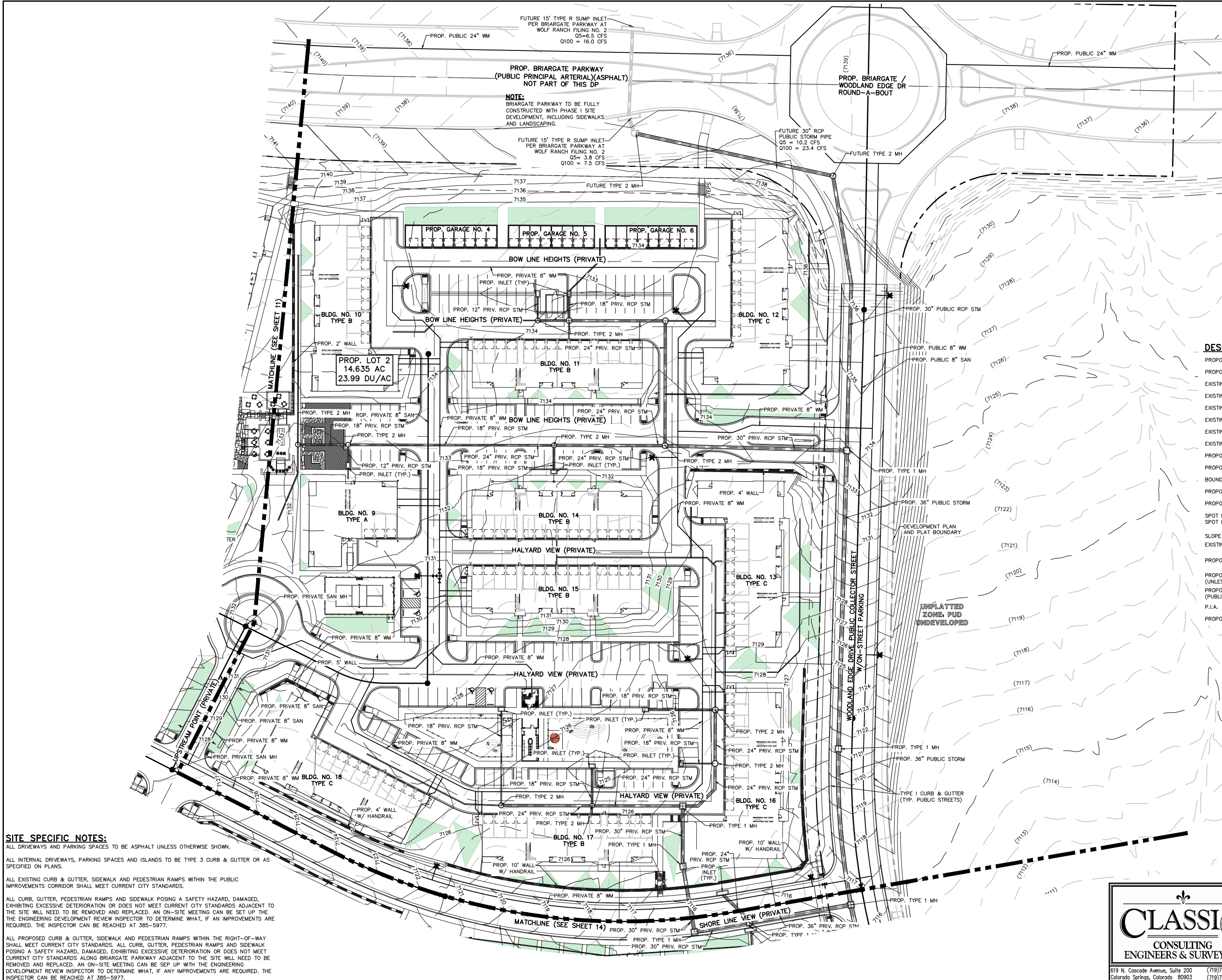
619 N. Cascade Avenue, Suite 200
Colorado Springs, Colorado 80903

(719)785-0790
(719)785-0799 (Fax)

LAKESIDE HEIGHTS AT WOLF RANCH
FILING NO. 1
DEVELOPMENT PLAN
PRELIMINARY GRADING PLAN

DESIGNED BY	JDP	SCALE	DATE	11/6/23
DRAWN BY	JDP	(H) 1"= 40'	SHEET	11 OF 74
CHECKED BY	KRC	(V) 1"= N/A	JOB NO.	2183.30

CLASSIC
ENGINEERS & SURVEYORS



DESCRIPTION	SYMBOL
PROPOSED RCP STORM SEWER	
PROPOSED STORM INLET (TYPE R)	
EXISTING STORM SEWER	
EXISTING STORM INLET	
EXISTING FIRE HYDRANT	
EXISTING WATER MAIN	
EXISTING SANITARY SEWER MAIN W/ MANHOLE	
EXISTING GAS MAIN	
PROPOSED PVC SANITARY MAIN W/ MANHOLE	
PROPOSED PVC WATER MAIN	
BOUNDARY LINE	
PROPOSED FIRE HYDRANT	
PROPOSED F.D.C.	
SPOT ELEVATION - TOP OF WALL	
SPOT ELEVATION - BOTTOM OF WALL	
SLOPE ARROW	
EXISTING GROUND CONTOUR	
PROPOSED FINISHED CONTOUR	
PROPOSED TYPE 3 CURB & GUTTER (UNLESS NOTED OTHERWISE)	
PROPOSED TYPE 1 CURB & GUTTER (PUBLIC STREETS TYPICAL)	
P.I.A.	
PROPOSED RETAINING WALL	

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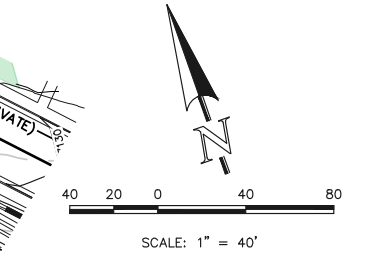
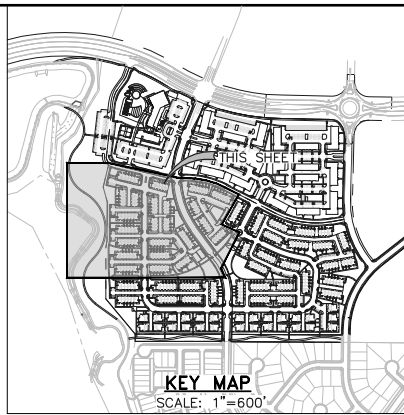
(719)785-0790
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LAKESIDE HEIGHTS AT WOLF RANCH			
FILING NO. 1			
DEVELOPMENT PLAN			
PRELIMINARY GRADING PLAN			
DESIGNED BY	JDP	SCALE	DATE 11/6/23
DRAWN BY	JDP	(H) 1"= 40'	SHEET 12 OF 74
CHECKED BY	KRC	(V) 1"= N/A	JOB NO. 2183.30

FOR CITY USE:

11/27/2023
12:48:15 PM
kyle.fenner

CITY FILE NUMBER
PUD-23-0049



SITE SPECIFIC NOTES:

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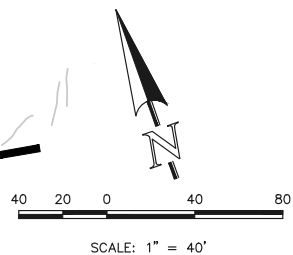
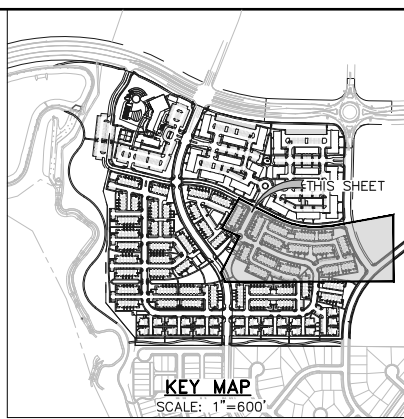
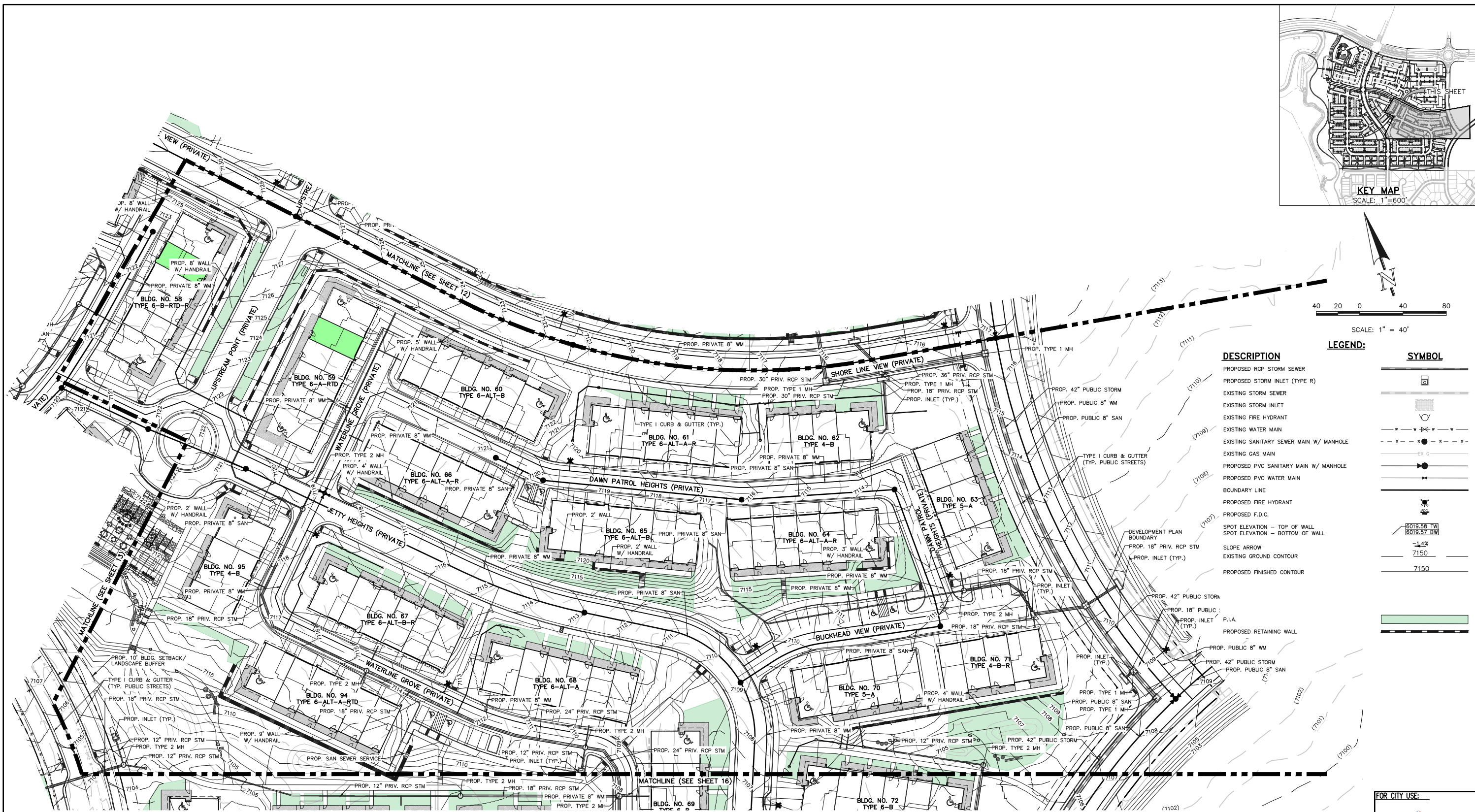
LEGEND:		LEGEND:		LEGEND:	
DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL
PROPOSED RETAINING WALL		EXISTING GAS MAIN		SPOT ELEVATION - TOP OF WALL	
PROPOSED RCP STORM SEWER		PROPOSED PVC SANITARY MAIN W/ MANHOLE		SPOT ELEVATION - BOTTOM OF WALL	
PROPOSED STORM INLET (TYPE R)		PROPOSED PVC WATER MAIN		SLOPE ARROW	
EXISTING STORM SEWER		BOUNDARY LINE		EXISTING GROUND CONTOUR	
EXISTING STORM INLET		PROPOSED FIRE HYDRANT		PROPOSED FINISHED CONTOUR	
EXISTING FIRE HYDRANT		PROPOSED F.D.C.		PROPOSED TYPE 3 CURB & GUTTER (UNLESS NOTED OTHERWISE)	
EXISTING WATER MAIN		P.I.A.		PROPOSED TYPE 1 CURB & GUTTER (PUBLIC STREETS TYPICAL)	
EXISTING SANITARY SEWER MAIN W/ MANHOLE					

11/27/2023 12:48:15 PM kyle.tenner

DESIGNED BY	JDP	SCALE	DATE	11/6/23
DRAWN BY	JDP	(H) 1"= 40'	SHEET	13 OF 74
CHECKED BY	KRC	(V) 1"= N/A	JOB NO.	2183.30

LAKESIDE HEIGHTS AT WOLF RANCH
FILING NO. 1
DEVELOPMENT PLAN
PRELIMINARY GRADING PLAN

UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE IN FEET AND INCHES. DIMENSIONS SHALL BE TO THE CENTERLINE OF THE ROAD OR TO THE FACE OF THE CURB OR GUTTER, UNLESS OTHERWISE NOTED. THE ENGINEER'S OFFICE SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE CITY. THE CITY SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE PUBLIC. THE CITY SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE PUBLIC.



DESCRIPTION	SYMBOL
PROPOSED RCP STORM SEWER	
PROPOSED STORM INLET (TYPE R)	
EXISTING STORM SEWER	
EXISTING STORM INLET	
EXISTING FIRE HYDRANT	
EXISTING WATER MAIN	
EXISTING SANITARY SEWER MAIN W/ MANHOLE	
EXISTING GAS MAIN	
PROPOSED PVC SANITARY MAIN W/ MANHOLE	
PROPOSED PVC WATER MAIN	
BOUNDARY LINE	
PROPOSED FIRE HYDRANT	
PROPOSED F.D.C.	
SPOT ELEVATION - TOP OF WALL	
SPOT ELEVATION - BOTTOM OF WALL	
SLOPE ARROW	
EXISTING GROUND CONTOUR	
PROPOSED FINISHED CONTOUR	
P.I.A.	
PROPOSED RETAINING WALL	

SITE SPECIFIC NOTES:

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FOR CITY USE:

COLORADO SPRINGS
CITY OF COLORADO SPRINGS

Land Use Review
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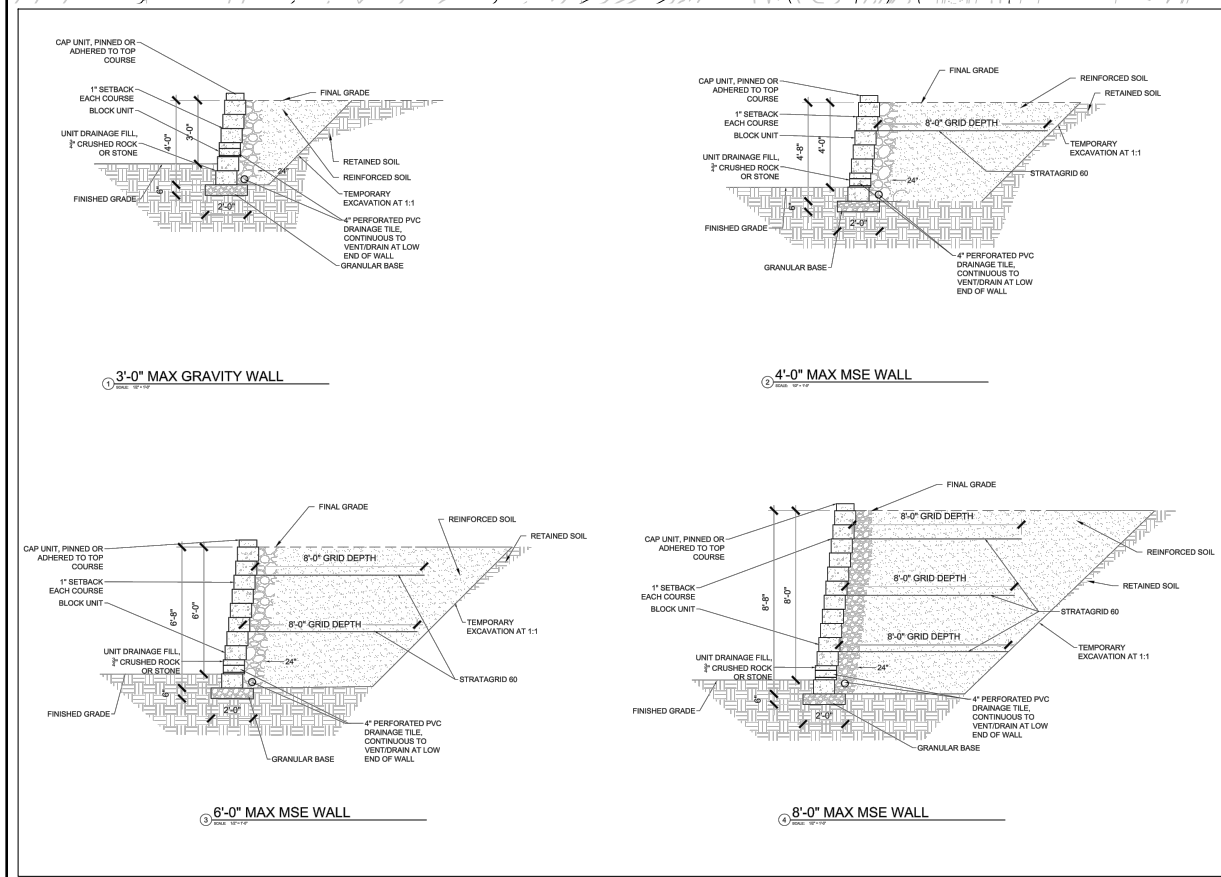
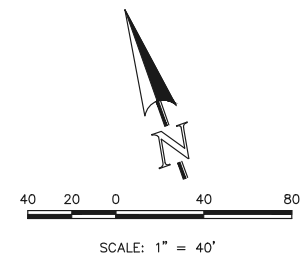
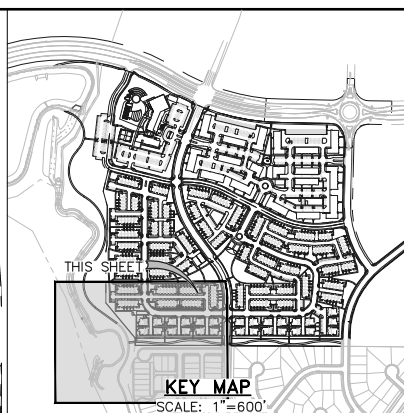
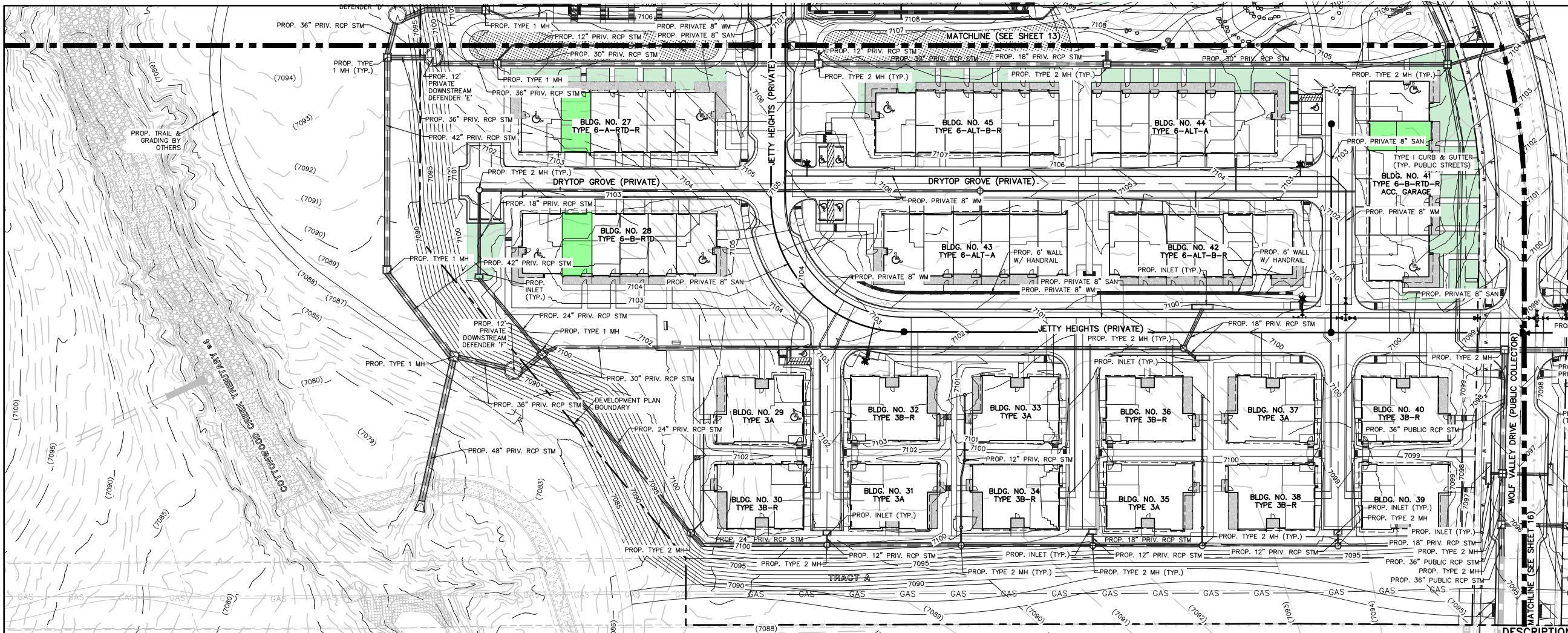
11/27/2023
12:48:16 PM
kyle.fenner

CITY FILE NUMBER
PUD0-23-0049

CLASSIC
CONSULTING
ENGINEERS & SURVEYORS

LAKESIDE HEIGHTS AT WOLF RANCH
FILING NO. 1
DEVELOPMENT PLAN
PRELIMINARY GRADING PLAN

DESIGNED BY	JDP	SCALE	DATE	11/6/23
DRAWN BY	JDP	(H) 1"= 40'	SHEET	14 OF 74
CHECKED BY	KRC	(V) 1"= N/A	JOB NO.	2183.30



EDGE AT WOLF RANCH
(AR PUD 21-00822)
ZONE: PUD

HANABI LANE

LEGEND:

DESCRIPTION	SYMBOL
PROPOSED RCP STORM SEWER	
PROPOSED STORM INLET (TYPE R)	
EXISTING STORM SEWER	
EXISTING STORM INLET	
EXISTING FIRE HYDRANT	
EXISTING WATER MAIN	
EXISTING SANITARY SEWER MAIN W/ MANHOLE	
EXISTING GAS MAIN	
PROPOSED PVC SANITARY MAIN W/ MANHOLE	
PROPOSED PVC WATER MAIN	
BOUNDARY LINE	
PROPOSED FIRE HYDRANT	
PROPOSED F.D.C.	
SPOT ELEVATION - TOP OF WALL	
SPOT ELEVATION - BOTTOM OF WALL	
SLOPE ARROW	
EXISTING GROUND CONTOUR	
PROPOSED FINISHED CONTOUR	
P.I.A.	
PROPOSED RETAINING WALL	

SITE SPECIFIC NOTES:

ALL DRIVEWAYS AND PARKING SPACES TO BE ASPHALT UNLESS OTHERWISE SHOWN.

ALL INTERNAL DRIVEWAYS, PARKING SPACES AND ISLANDS TO BE TYPE 3 CURB & GUTTER OR AS SPECIFIED ON PLANS.

ALL EXISTING CURB & GUTTER, SIDEWALK AND PEDESTRIAN RAMPS WITHIN THE PUBLIC IMPROVEMENTS CORRIDOR SHALL MEET CURRENT CITY STANDARDS.

ALL CURB, GUTTER, PEDESTRIAN RAMPS AND SIDEWALK POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATION OR DOES NOT MEET CURRENT CITY STANDARDS ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED. AN ON-SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW INSPECTOR TO DETERMINE WHAT, IF ANY IMPROVEMENTS ARE REQUIRED. THE INSPECTOR CAN BE REACHED AT 385-5977.

ALL PROPOSED CURB & GUTTER, SIDEWALK AND PEDESTRIAN RAMPS WITHIN THE RIGHT-OF-WAY SHALL MEET CURRENT CITY STANDARDS. ALL CURB, GUTTER, PEDESTRIAN RAMPS AND SIDEWALK POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATION OR DOES NOT MEET CURRENT CITY STANDARDS ALONG BRIARGATE PARKWAY ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED. AN ON-SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW INSPECTOR TO DETERMINE WHAT, IF ANY IMPROVEMENTS ARE REQUIRED. THE INSPECTOR CAN BE REACHED AT 385-5977.



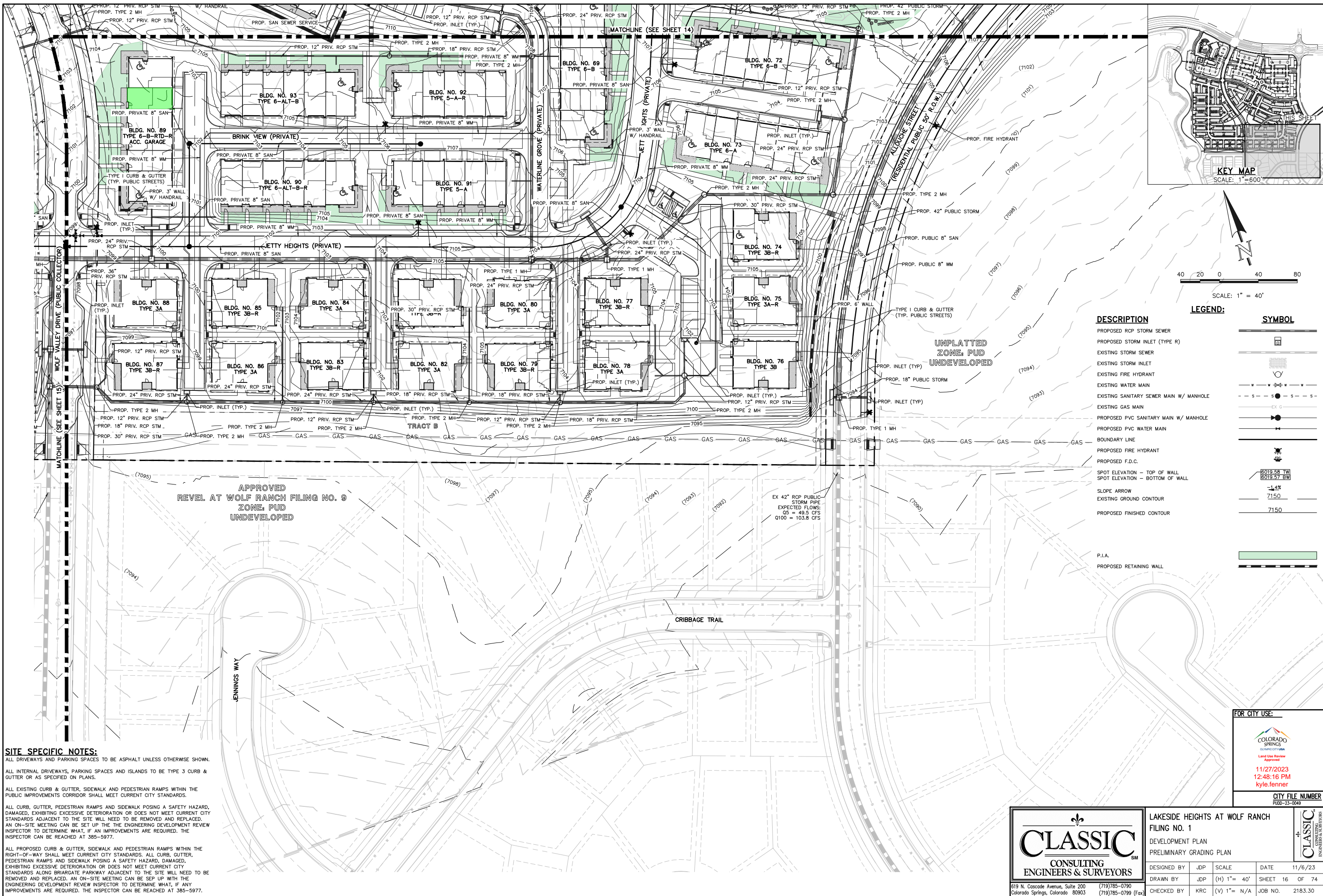
LAKESIDE HEIGHTS AT WOLF RANCH			
FILING NO. 1			
DEVELOPMENT PLAN			
PRELIMINARY GRADING PLAN			
DESIGNED BY	JDP	SCALE	DATE 11/6/23
DRAWN BY	JDP	(H) 1"= 40'	SHEET 15 OF 74
CHECKED BY	KRC	(V) 1"= N/A	JOB NO. 2183.30

FOR CITY USE:

COLORADO SPRINGS
CITY OF COLORADO
Land Use Review
Approved
11/27/2023
12:48:16 PM
kyle.fenner

CITY FILE NUMBER
PUD-23-0049

UNIVERSITY AVENUE DEVELOPMENT (PUD) (AR PUD 21-00822) PRINTED BY: J. P. ADAMS 11/16/23 8:55 PM LAST SAVED BY: J. P. ADAMS



SITE SPECIFIC NOTES:

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DESCRIPTION	SYMBOL
PROPOSED RCP STORM SEWER	
PROPOSED STORM INLET (TYPE R)	
EXISTING STORM SEWER	
EXISTING STORM INLET	
EXISTING FIRE HYDRANT	
EXISTING WATER MAIN	
EXISTING SANITARY SEWER MAIN W/ MANHOLE	
EXISTING GAS MAIN	
PROPOSED PVC SANITARY MAIN W/ MANHOLE	
PROPOSED PVC WATER MAIN	
BOUNDARY LINE	
PROPOSED FIRE HYDRANT	
PROPOSED F.D.C.	
SPOT ELEVATION - TOP OF WALL	
SPOT ELEVATION - BOTTOM OF WALL	
SLOPE ARROW	
EXISTING GROUND CONTOUR	
PROPOSED FINISHED CONTOUR	
P.I.A.	
PROPOSED RETAINING WALL	

CLASSIC CONSULTING ENGINEERS & SURVEYORS

LAKESIDE HEIGHTS AT WOLF RANCH
FILING NO. 1
DEVELOPMENT PLAN
PRELIMINARY GRADING PLAN

DESIGNED BY	JDP	SCALE	DATE	11/6/23
DRAWN BY	JDP	(H) 1"= 40'	SHEET	16 OF 74
CHECKED BY	KRC	(V) 1"= N/A	JOB NO.	2183.30

FOR CITY USE:

COLORADO SPRINGS
LAND USE REVIEW
11/27/2023
12:48:16 PM
kyle.fenner

CITY FILE NUMBER
PUD-23-0049

UTAH STATE DEVELOPMENT ENGINEERING PRINTED BY: J. J. GARDNER 11/16/23 8:50 PM LAST SAVED BY: J. GARDNER

GENERAL NOTES FOR PRELIMINARY UTILITY PLANS
(REQUIRED FOR ALL DEVELOPMENT PLAN SUBMITTALS)

PROPERTY OWNER(S) ACKNOWLEDGE AND AGREE TO THE FOLLOWING UPON
APPROVAL OF PRELIMINARY UTILITY PLAN:

- COLORADO SPRINGS UTILITIES (SPRINGS UTILITIES) SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION OF ALL WATER, WASTEWATER, ELECTRIC AND GAS FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THIS PRELIMINARY UTILITY PLAN.
- PROPERTY OWNER(S) ("OWNER") ACKNOWLEDGES THAT THE CONNECTION AND/OR EXTENSION OF UTILITY SERVICES TO THE PROPERTY IDENTIFIED IN THIS PRELIMINARY UTILITY PLAN ("PROPERTY") SHALL BE IN ACCORD WITH ALL APPLICABLE CODES AND REGULATIONS, SPRINGS UTILITIES LINE EXTENSION & SERVICE STANDARDS ("STANDARDS"), TARIFFS, COLORADO SPRINGS CITY CODE, RESOLUTIONS, AND POLICIES, AND Pikes Peak REGIONAL BUILDING DEPARTMENT CODES, IN EFFECT AT THE TIME OF UTILITY SERVICE CONNECTION AND/OR EXTENSION.
- OWNER ACKNOWLEDGES RESPONSIBILITY FOR THE COSTS OF EXTENSIONS OR UTILITY SYSTEM IMPROVEMENTS THAT SPRINGS UTILITIES DETERMINES NECESSARY TO PROVIDE UTILITY SERVICES TO THE PROPERTY OR TO ENSURE TIMELY DEVELOPMENT OF INTEGRATED UTILITY SYSTEMS SERVING THE PROPERTY AND AREAS OUTSIDE THE PROPERTY (INCLUDING THE COSTS TO DESIGN AND INSTALL WATER SYSTEMS, WASTEWATER COLLECTION SYSTEMS, AND ANY GAS OR ELECTRIC LINES TO AND WITHIN THE PROPERTY). OWNER MAY BE ELIGIBLE FOR A COST RECOVERY AGREEMENT AS PROVIDED IN UTILITIES' RULES AND REGULATIONS.
- SPRINGS UTILITIES UTILITY SERVICES ARE AVAILABLE ON A "FIRST-COME, FIRST-SERVED" BASIS, AND THEREFORE NO SPECIFIC ALLOCATIONS OR AMOUNTS OF UTILITY SERVICES, FACILITIES, CAPACITIES OR SUPPLIES ARE RESERVED FOR THE OWNER, AND SPRINGS UTILITIES MAKES NO COMMITMENT AS TO THE AVAILABILITY OF ANY UTILITY SERVICE UNTIL SUCH TIME AS AN APPLICATION FOR PERMANENT SERVICE IS APPROVED BY SPRINGS UTILITIES.
- THE RELOCATION OR ALTERATION OF ANY EXISTING UTILITY FACILITIES WITHIN THE PROPERTY WILL BE AT THE OWNER'S SOLE COST AND EXPENSE. IF SPRINGS UTILITIES DETERMINES THAT OWNER'S RELOCATION OR ALTERATION REQUIRES NEW OR UPDATED EASEMENTS, OWNER SHALL CONVEY THOSE EASEMENTS PRIOR TO RELOCATING OR ALTERING THE EXISTING UTILITY FACILITIES.
- OWNER SHALL DEDICATE BY PLAT AND/OR CONVEY BY RECORDED DOCUMENT, ALL PROPERTY AND EASEMENTS THAT SPRINGS UTILITIES DETERMINES ARE REQUIRED FOR ALL UTILITY SYSTEM FACILITIES NECESSARY TO SERVE THE PROPERTY OR TO ENSURE DEVELOPMENT OF AN INTEGRATED UTILITY SYSTEM. ALL EASEMENTS GRANTED BY SEPARATE INSTRUMENT SHALL UTILIZE SPRINGS UTILITIES' THEN-CURRENT PERMANENT EASEMENT AGREEMENT FORM.
- THE WATER SYSTEM FACILITIES MUST MEET SPRINGS UTILITIES CRITERIA FOR WATER QUALITY, RELIABILITY AND PRESSURE, INCLUDING LOOPING REQUIREMENTS (SEE SPRINGS UTILITIES LINE EXTENSION AND SERVICE STANDARDS).
- OWNER RECOGNIZES THAT THE EXTENSION OF WATER SYSTEM FACILITIES MAY AFFECT THE QUALITY OF WATER IN THE SPRINGS UTILITIES WATER SYSTEM. WHEN WATER QUALITY IS AFFECTED, OWNER ACKNOWLEDGES RESPONSIBILITY FOR ANY COSTS THAT SPRINGS UTILITIES DETERMINES NECESSARY IN ORDER TO MAINTAIN WATER QUALITY IN ITS SYSTEM AS A RESULT OF OWNER'S WATER SYSTEM EXTENSIONS. OWNER MAY BE REQUIRED TO SUBMIT A WATER QUALITY PLAN FOR THE PROJECT.
- OWNER MUST CONTACT SPRINGS UTILITIES FIELD ENGINEERING TO DETERMINE THE LOCATION OF ALL NATURAL GAS AND ELECTRIC METERS AND TRANSFORMERS AND TO SECURE APPROVAL OF GAS-SERVICE-LINE PRESSURES IN EXCESS OF SPRINGS UTILITIES STANDARD GAS SYSTEM PRESSURE. (CONTACT FIELD ENGINEERING NORTH 668-4985 OR SOUTH 668-5564).
- IT SHALL NOT BE PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH WITHIN ANY SPRINGS UTILITIES EASEMENT OR RIGHTS OF WAY WITHOUT THE WRITTEN APPROVAL OF SPRINGS UTILITIES. IMPROVEMENTS, STRUCTURES AND TREES SHALL NOT BE LOCATED WITHIN UTILITY EASEMENTS, SHALL NOT VIOLATE NATIONAL ELECTRIC SAFETY CODE (NEC) PROVISIONS AND CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.
- SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF SPRINGS UTILITIES TO APPLY ITS STANDARDS; AND IF THERE ARE ANY CONFLICTS BETWEEN ANY APPROVED DRAWINGS AND ANY PROVISION OF STANDARDS OR THE CITY CODE, THEN THE STANDARDS OR CITY CODE SHALL APPLY. SPRINGS UTILITIES' APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF THE CITY OF COLORADO SPRINGS OR SPRINGS UTILITIES TO ADOPT DIFFERENT ORDINANCES, RULES, REGULATIONS, RESOLUTIONS, POLICIES OR CODES WHICH CHANGE ANY OF THE PROVISIONS OF THE STANDARDS SO LONG AS THESE APPLY TO THE CITY GENERALLY AND ARE IN ACCORD WITH THE THEN-CURRENT TARIFFS, RATES AND POLICIES OF SPRINGS UTILITIES.

SITE SPECIFIC NOTES:

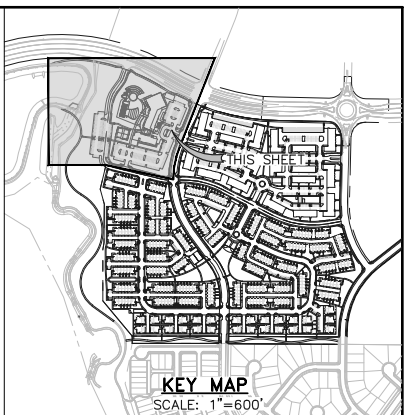
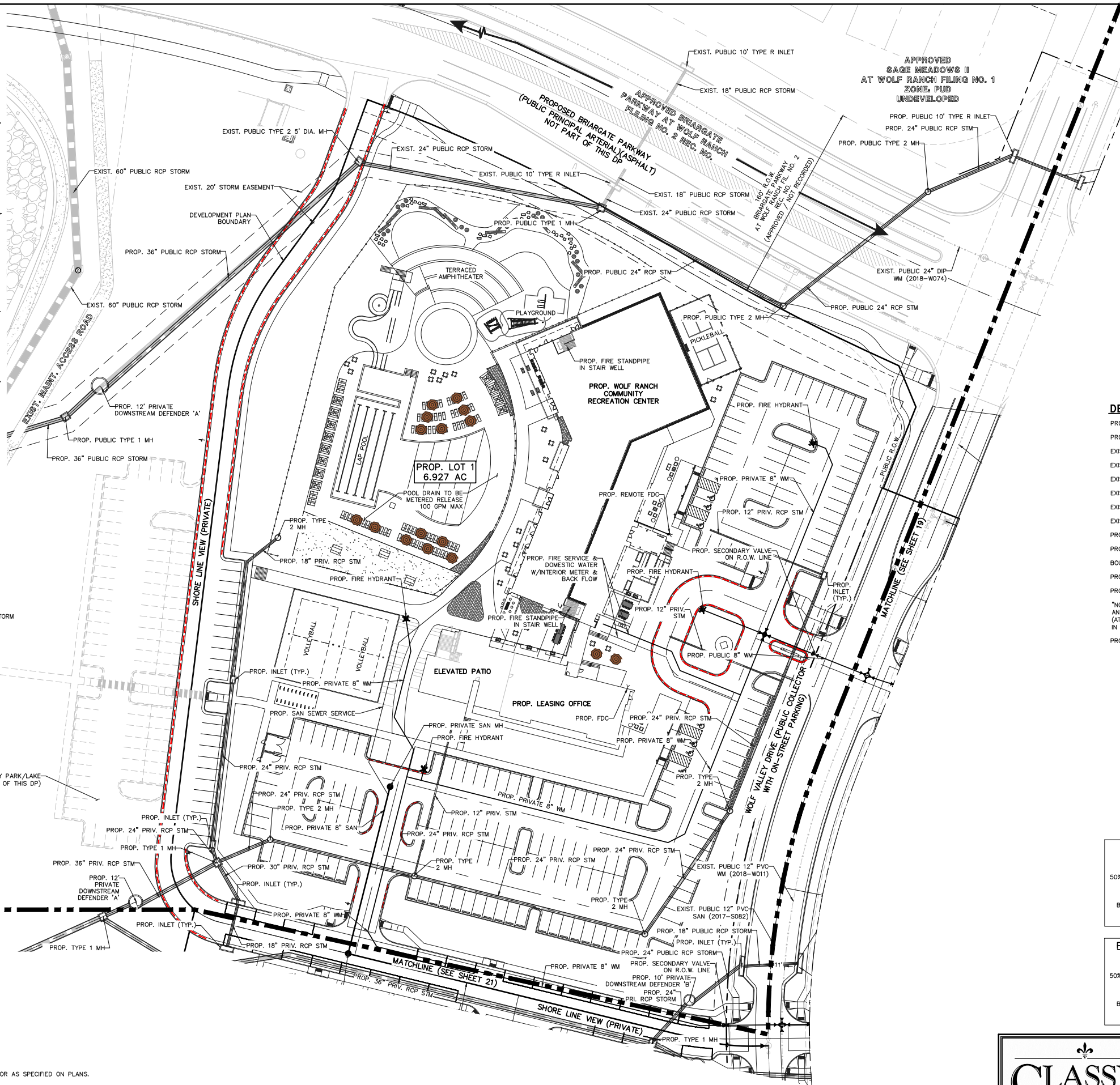
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A MINIMUM OF 5-FOOT CLEARANCE AROUND THE CIRCUMFERENCE OF ALL FIRE HYDRANTS WILL BE KEPT CLEAR OF ANY PHYSICAL OR VISUAL OBSTRUCTIONS TO THE HYDRANT.



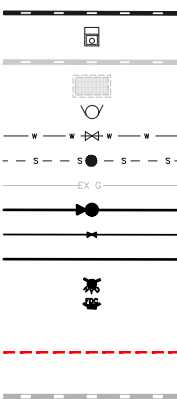
SCALE: 1" = 40'

LEGEND:

DESCRIPTION

- PROPOSED RCP STORM SEWER
- PROPOSED STORM INLET (TYPE R)
- EXISTING STORM SEWER
- EXISTING STORM INLET
- EXISTING FIRE HYDRANT
- EXISTING WATER MAIN
- EXISTING SANITARY SEWER MAIN W/ MANHOLE
- EXISTING GAS MAIN
- PROPOSED PVC SANITARY MAIN W/ MANHOLE
- PROPOSED PVC WATER MAIN
- BOUNDARY LINE
- PROPOSED FIRE HYDRANT
- PROPOSED F.D.C.
- "NO PARKING" FIRE LANE SIGNS AND/OR PAINTED CURB (AT NO TIME SHALL VEHICLES BE PARKED IN THE DRIVEWAYS THAT ACCESS THIS SITE.)
- PROPOSED RETAINING WALL

SYMBOL



PROPOSED LEASING OFFICE

GROSS SF: 4,900 S.F. GROSS
TYPE CONSTRUCTION: V-B
REQ. GPM FIRE FLOW = 2,000 gpm
50% REDUCTION REQ. GPM FIRE FLOW = 1,000 gpm
REQ. MIN. NUMBER HYDRANTS = 1
AVG. DIST. BETWEEN HYDRANTS = 500'
MAX. HOSE LENGTH = 250'
BUILDING IS SPRINKLERED THEREFORE THERE IS A 50% REDUCTION IN REQ. GPM FIRE FLOW
AREA SEPARATION WALLS ARE NOT USED

PROPOSED RECREATION CENTER

GROSS SF: 30,605 S.F. GROSS
TYPE CONSTRUCTION: V-B
REQ. GPM FIRE FLOW = 4,750 gpm
50% REDUCTION REQ. GPM FIRE FLOW = 2,375 gpm
REQ. MIN. NUMBER HYDRANTS = 3
AVG. DIST. BETWEEN HYDRANTS = 450'
MAX. HOSE LENGTH = 225'
BUILDING IS SPRINKLERED THEREFORE THERE IS A 50% REDUCTION IN REQ. GPM FIRE FLOW
AREA SEPARATION WALLS ARE NOT USED

FOR CITY USE:



11/27/2023
12:48:17 PM
kyle.fenner

CITY FILE NUMBER
PUD-23-0049



LAKESIDE HEIGHTS AT WOLF RANCH
FILING NO. 1

DEVELOPMENT PLAN
PRELIMINARY UTILITY PLAN

DESIGNED BY	JDP	SCALE	DATE	11/6/23
DRAWN BY	JDP	(H) 1" = 40'	SHEET	18 OF 74
CHECKED BY	KRC	(V) 1" = N/A	JOB NO.	2183.30

NOTE:
NO TREES ALLOWED WITHIN 15' OF
WATER AND WASTEWATER MAINLINES.

619 N. Cascade Avenue, Suite 200
Colorado Springs, Colorado 80903
(719)785-0790
(719)785-0799 (Fax)

GENERAL NOTES FOR PRELIMINARY UTILITY PLANS
(REQUIRED FOR ALL DEVELOPMENT PLAN SUBMITTALS)

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SITE SPECIFIC NOTES:

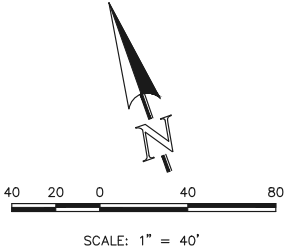
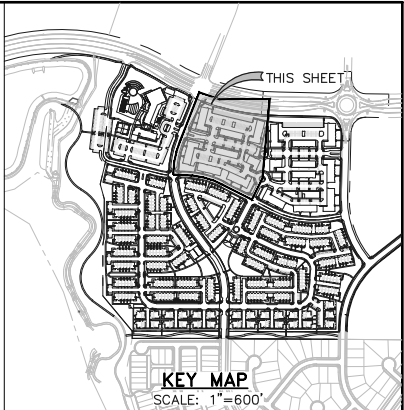
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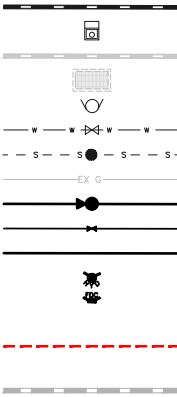
A MINIMUM OF 5-FOOT CLEARANCE AROUND THE CIRCUMFERENCE OF ALL FIRE HYDRANTS WILL BE KEPT CLEAR OF ANY PHYSICAL OR VISUAL OBSTRUCTIONS TO THE HYDRANT.



DESCRIPTION

- PROPOSED RCP STORM SEWER
- PROPOSED STORM INLET (TYPE R)
- EXISTING STORM SEWER
- EXISTING STORM INLET
- EXISTING FIRE HYDRANT
- EXISTING WATER MAIN
- EXISTING SANITARY SEWER MAIN W/ MANHOLE
- EXISTING GAS MAIN
- PROPOSED PVC SANITARY MAIN W/ MANHOLE
- PROPOSED PVC WATER MAIN
- BOUNDARY LINE
- PROPOSED FIRE HYDRANT
- PROPOSED F.D.C.
- "NO PARKING" FIRE LINE SIGNS AND/OR PAINTED CURB (AT NO TIME SHALL VEHICLES BE PARKED IN THE DRIVEWAYS THAT ACCESS THIS SITE.)
- PROPOSED RETAINING WALL

SYMBOL



PROPOSED BUILDING TYPE A
GROSS SF: 14,675 S.F. GROSS
TYPE CONSTRUCTION: V-B
REQ. GPM FIRE FLOW = 3,250 gpm
50% REDUCTION REQ. GPM FIRE FLOW = 1,625 gpm
REQ. MIN. NUMBER HYDRANTS = 1
AVG. DIST. BETWEEN HYDRANTS = 500'
MAX. HOSE LENGTH = 250'
BUILDING IS SPRINKLERED THEREFORE THERE IS A 50% REDUCTION IN REQ. GPM FIRE FLOW
AREA SEPARATION WALLS ARE NOT USED

PROPOSED BUILDING TYPE B
GROSS SF: 19,719 S.F. GROSS
TYPE CONSTRUCTION: V-B
REQ. GPM FIRE FLOW = 3,750 gpm
50% REDUCTION REQ. GPM FIRE FLOW = 1,875 gpm
REQ. MIN. NUMBER HYDRANTS = 1
AVG. DIST. BETWEEN HYDRANTS = 450'
MAX. HOSE LENGTH = 225'
BUILDING IS SPRINKLERED THEREFORE THERE IS A 50% REDUCTION IN REQ. GPM FIRE FLOW
AREA SEPARATION WALLS ARE NOT USED

PROPOSED BUILDING TYPE C
GROSS SF: 25,230 S.F. GROSS
TYPE CONSTRUCTION: V-B
REQ. GPM FIRE FLOW = 4,250 gpm
50% REDUCTION REQ. GPM FIRE FLOW = 2,125 gpm
REQ. MIN. NUMBER HYDRANTS = 2
AVG. DIST. BETWEEN HYDRANTS = 450'
MAX. HOSE LENGTH = 225'
BUILDING IS SPRINKLERED THEREFORE THERE IS A 50% REDUCTION IN REQ. GPM FIRE FLOW
AREA SEPARATION WALLS ARE NOT USED

PROPOSED BUILDING TYPE D
GROSS SF: 24,285 S.F. GROSS
TYPE CONSTRUCTION: V-B
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50% REDUCTION REQ. GPM FIRE FLOW = 2,125 gpm
REQ. MIN. NUMBER HYDRANTS = 2
AVG. DIST. BETWEEN HYDRANTS = 450'
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FOR CITY USE:



CITY FILE NUMBER
PUD-23-0049

LAKESIDE HEIGHTS AT WOLF RANCH
FILING NO. 1
DEVELOPMENT PLAN
PRELIMINARY UTILITY PLAN

DESIGNED BY	JDP	SCALE	DATE	11/6/23
DRAWN BY	JDP	(H) 1" = 40'	SHEET	19 OF 74
CHECKED BY	KRC	(V) 1" = N/A	JOB NO.	2183.30

NOTE:
NO TREES ALLOWED WITHIN 15' OF
WATER AND WASTEWATER MAINLINES.

GENERAL NOTES FOR PRELIMINARY UTILITY PLANS
(REQUIRED FOR ALL DEVELOPMENT PLAN SUBMITTALS)

PROPERTY OWNER(S) ACKNOWLEDGE AND AGREE TO THE FOLLOWING UPON
APPROVAL OF PRELIMINARY UTILITY PLAN:

- COLORADO SPRINGS UTILITIES (SPRINGS UTILITIES) SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION OF ALL WATER, WASTEWATER, ELECTRIC AND GAS FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THIS PRELIMINARY UTILITY PLAN.
- PROPERTY OWNER(S) ("OWNER") ACKNOWLEDGES THAT THE CONNECTION AND/OR EXTENSION OF UTILITY SERVICES TO THE PROPERTY IDENTIFIED IN THIS PRELIMINARY UTILITY PLAN ("PROPERTY") SHALL BE IN ACCORD WITH ALL APPLICABLE CODES AND REGULATIONS, SPRINGS UTILITIES LINE EXTENSION & SERVICE STANDARDS ("STANDARDS"), TARIFFS, COLORADO SPRINGS CITY CODE, RESOLUTIONS, AND POLICIES, AND Pikes Peak REGIONAL BUILDING DEPARTMENT CODES, IN EFFECT AT THE TIME OF UTILITY SERVICE CONNECTION AND/OR EXTENSION.
- OWNER ACKNOWLEDGES RESPONSIBILITY FOR THE COSTS OF EXTENSIONS OR UTILITY SYSTEM IMPROVEMENTS THAT SPRINGS UTILITIES DETERMINES NECESSARY TO PROVIDE UTILITY SERVICES TO THE PROPERTY OR TO ENSURE TIMELY DEVELOPMENT OF INTEGRATED UTILITY SYSTEMS SERVING THE PROPERTY AND AREAS OUTSIDE THE PROPERTY (INCLUDING THE COSTS TO DESIGN AND INSTALL WATER SYSTEMS, WASTEWATER COLLECTION SYSTEMS, AND ANY GAS OR ELECTRIC LINES TO AND WITHIN THE PROPERTY). OWNER MAY BE ELIGIBLE FOR A COST RECOVERY AGREEMENT AS PROVIDED IN UTILITIES' RULES AND REGULATIONS.
- SPRINGS UTILITIES UTILITY SERVICES ARE AVAILABLE ON A "FIRST-COME, FIRST-SERVED" BASIS, AND THEREFORE NO SPECIFIC ALLOCATIONS OR AMOUNTS OF UTILITY SERVICES, FACILITIES, CAPACITIES OR SUPPLIES ARE RESERVED FOR THE OWNER, AND SPRINGS UTILITIES MAKES NO COMMITMENT AS TO THE AVAILABILITY OF ANY UTILITY SERVICE UNTIL SUCH TIME AS AN APPLICATION FOR PERMANENT SERVICE IS APPROVED BY SPRINGS UTILITIES.
- THE RELOCATION OR ALTERATION OF ANY EXISTING UTILITY FACILITIES WITHIN THE PROPERTY WILL BE AT THE OWNER'S SOLE COST AND EXPENSE. IF SPRINGS UTILITIES DETERMINES THAT OWNER'S RELOCATION OR ALTERATION REQUIRES NEW OR UPDATED EASEMENTS, OWNER SHALL CONVEY THOSE EASEMENTS PRIOR TO RELOCATING OR ALTERING THE EXISTING UTILITY FACILITIES.
- OWNER SHALL DEDICATE BY PLAT AND/OR CONVEY BY RECORDED DOCUMENT, ALL PROPERTY AND EASEMENTS THAT SPRINGS UTILITIES DETERMINES ARE REQUIRED FOR UTILITY SYSTEM FACILITIES NECESSARY TO SERVE THE PROPERTY OR TO ENSURE DEVELOPMENT OF AN INTEGRATED UTILITY SYSTEM. ALL EASEMENTS GRANTED BY SEPARATE INSTRUMENT SHALL UTILIZE SPRINGS UTILITIES' THEN-CURRENT PERMANENT EASEMENT AGREEMENT FORM.
- THE WATER SYSTEM FACILITIES MUST MEET SPRINGS UTILITIES CRITERIA FOR WATER QUALITY, RELIABILITY AND PRESSURE, INCLUDING LOOPING REQUIREMENTS (SEE SPRINGS UTILITIES LINE EXTENSION AND SERVICE STANDARDS).
- OWNER RECOGNIZES THAT THE EXTENSION OF WATER SYSTEM FACILITIES MAY AFFECT THE QUALITY OF WATER IN THE SPRINGS UTILITIES WATER SYSTEM. WHEN WATER QUALITY IS AFFECTED, OWNER ACKNOWLEDGES RESPONSIBILITY FOR ANY COSTS THAT SPRINGS UTILITIES DETERMINES NECESSARY IN ORDER TO MAINTAIN WATER QUALITY IN ITS SYSTEM AS A RESULT OF OWNER'S WATER SYSTEM EXTENSIONS. OWNER MAY BE REQUIRED TO SUBMIT A WATER QUALITY PLAN FOR THE PROJECT.
- OWNER MUST CONTACT SPRINGS UTILITIES FIELD ENGINEERING TO DETERMINE THE LOCATION OF ALL NATURAL GAS AND ELECTRIC METERS AND TRANSFORMERS AND TO SECURE APPROVAL OF GAS-SERVICE-LINE PRESSURES IN EXCESS OF SPRINGS UTILITIES STANDARD GAS SYSTEM PRESSURE. (CONTACT FIELD ENGINEERING NORTH 668-4985 OR SOUTH 668-5564).
- IT SHALL NOT BE PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH WITHIN ANY SPRINGS UTILITIES EASEMENT OR RIGHTS OF WAY WITHOUT THE WRITTEN APPROVAL OF SPRINGS UTILITIES. IMPROVEMENTS, STRUCTURES AND TREES SHALL NOT BE LOCATED WITHIN UTILITY EASEMENT, SHALL NOT VIOLATE NATIONAL ELECTRIC SAFETY CODE (NESC) PROVISIONS AND CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.
- SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF SPRINGS UTILITIES TO APPLY ITS STANDARDS; AND IF THERE ARE ANY CONFLICTS BETWEEN ANY APPROVED DRAWINGS AND ANY PROVISION OF STANDARDS OR THE CITY CODE, THEN THE STANDARDS OR CITY CODE SHALL APPLY. SPRINGS UTILITIES' APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF THE CITY OF COLORADO SPRINGS OR SPRINGS UTILITIES TO ADOPT DIFFERENT ORDINANCES, RULES, REGULATIONS, RESOLUTIONS, POLICIES OR CODES WHICH CHANGE ANY OF THE PROVISIONS OF THE STANDARDS SO LONG AS THESE APPLY TO THE CITY GENERALLY AND ARE IN ACCORD WITH THE THEN-CURRENT TARIFFS, RATES AND POLICIES OF SPRINGS UTILITIES.

SITE SPECIFIC NOTES:

ALL DRIVEWAYS AND PARKING SPACES TO BE ASPHALT UNLESS OTHERWISE SHOWN.

ALL INTERNAL DRIVEWAYS, PARKING SPACES AND ISLANDS TO BE TYPE 3 CURB & GUTTER OR AS SPECIFIED ON PLANS.

ALL EXISTING CURB & GUTTER, SIDEWALK AND PEDESTRIAN RAMPS WITHIN THE PUBLIC IMPROVEMENTS CORRIDOR SHALL MEET CURRENT CITY STANDARDS.

ALL CURB, GUTTER, PEDESTRIAN RAMPS AND SIDEWALK POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATION OR DOES NOT MEET CURRENT CITY STANDARDS ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED. AN ON-SITE MEETING CAN BE SET UP THE THE ENGINEERING DEVELOPMENT REVIEW INSPECTOR TO DETERMINE WHAT, IF AN IMPROVEMENTS ARE REQUIRED, THE INSPECTOR CAN BE REACHED AT 385-5977.

A MINIMUM OF 5-FOOT CLEARANCE AROUND THE CIRCUMFERENCE OF ALL FIRE HYDRANTS WILL BE KEPT CLEAR OF ANY PHYSICAL OR VISUAL OBSTRUCTIONS TO THE HYDRANT.

FUTURE 15' TYPE R SUMP INLET
PER BRIARGATE PARKWAY AT
WOLF RANCH FILING NO. 2
Q5=6.5 CFS
Q100 = 16.0 CFS

PROP. BRIARGATE PARKWAY
(PUBLIC PRINCIPAL ARTERIAL)(ASPHALT)
NOT PART OF THIS DP

NOTE:
BRIARGATE PARKWAY TO BE FULLY
CONSTRUCTED WITH PHASE I SITE
DEVELOPMENT, INCLUDING SIDEWALKS
AND LANDSCAPING.

FUTURE 15' TYPE R SUMP INLET
PER BRIARGATE PARKWAY AT
WOLF RANCH FILING NO. 2
Q5= 3.8 CFS
Q100 = 7.5 CFS

PROP. BRIARGATE
WOODLAND EDGE DR
ROUND-A-BOUT

FUTURE 30" RCP
PUBLIC STORM PIPE
Q5 = 10.2 CFS
Q100 = 23.4 CFS

FUTURE TYPE 2 MH

FUTURE TYPE 2 MH

PROP. LOT 2
14.635 AC
23.99 DU/AC

BLDG. NO. 10
TYPE B

PROP. FIRE HYDRANT

BOW LINE HEIGHTS (PRIVATE)

PROP. PRIVATE 8" WM

PROP. INLET (TYP.)

PROP. 12" PRIV. RCP STM

PROP. 18" PRIV. RCP STM

PROP. TYPE 2 MH

PROP. PRIVATE 8" WM

PROP. 12" PRIV. RCP STM

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SITE SPECIFIC NOTES:

ALL DRIVEWAYS AND PARKING SPACES TO BE ASPHALT UNLESS OTHERWISE SHOWN.

ALL INTERNAL DRIVEWAYS, PARKING SPACES AND ISLANDS TO BE TYPE 3 CURB & GUTTER OR AS SPECIFIED ON PLANS.

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ALL CURB, GUTTER, PEDESTRIAN RAMPS AND SIDEWALK POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATION OR DOES NOT MEET CURRENT CITY STANDARDS ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED. AN ON-SITE MEETING CAN BE SET UP THE THE ENGINEERING DEVELOPMENT REVIEW INSPECTOR TO DETERMINE WHAT, IF AN IMPROVEMENTS ARE REQUIRED. THE INSPECTOR CAN BE REACHED AT 385-5977.

A MINIMUM OF 5-FOOT CLEARANCE AROUND THE CIRCUMFERENCE OF ALL FIRE HYDRANTS WILL BE KEPT CLEAR OF ANY PHYSICAL OR VISUAL OBSTRUCTIONS TO THE HYDRANT.

NOTE:
NO TREES ALLOWED WITHIN 15' OF
WATER AND WASTEWATER MAINLINES.

CLASSIC
CONSULTING
ENGINEERS & SURVEYORS

619 N. Cascade Avenue, Suite 200 (719) 785-0790
Colorado Springs, Colorado 80903 (719) 785-0799 (Fax)

LAKESIDE HEIGHTS AT WOLF RANCH
FILING NO. 1
DEVELOPMENT PLAN
PRELIMINARY UTILITY PLAN

DESIGNED BY	JDP	SCALE	DATE	11/6/23
DRAWN BY	JDP	(H) 1" = 40'	SHEET	21 OF 74
CHECKED BY	KRC	(V) 1" = N/A	JOB NO.	2183.30

LEGEND:

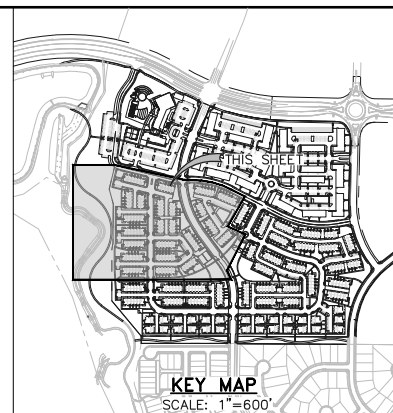
DESCRIPTION	SYMBOL
PROPOSED RCP STORM SEWER	
PROPOSED STORM INLET (TYPE R)	
EXISTING STORM SEWER	
EXISTING STORM INLET	
EXISTING FIRE HYDRANT	
EXISTING WATER MAIN	
EXISTING SANITARY SEWER MAIN W/ MANHOLE	
EXISTING GAS MAIN	
PROPOSED PVC SANITARY MAIN W/ MANHOLE	
PROPOSED PVC WATER MAIN	
BOUNDARY LINE	
PROPOSED FIRE HYDRANT	
PROPOSED F.D.C.	
"NO PARKING" FIRE LANE SIGNS AND/OR PAINTED CURB (AT NO TIME SHALL VEHICLES BE PARKED IN THE DRIVEWAYS THAT ACCESS THIS SITE.)	
PROPOSED RETAINING WALL	

FOR CITY USE:

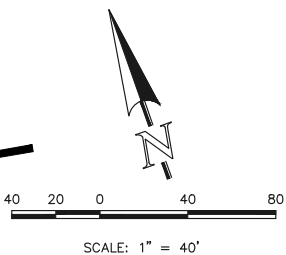
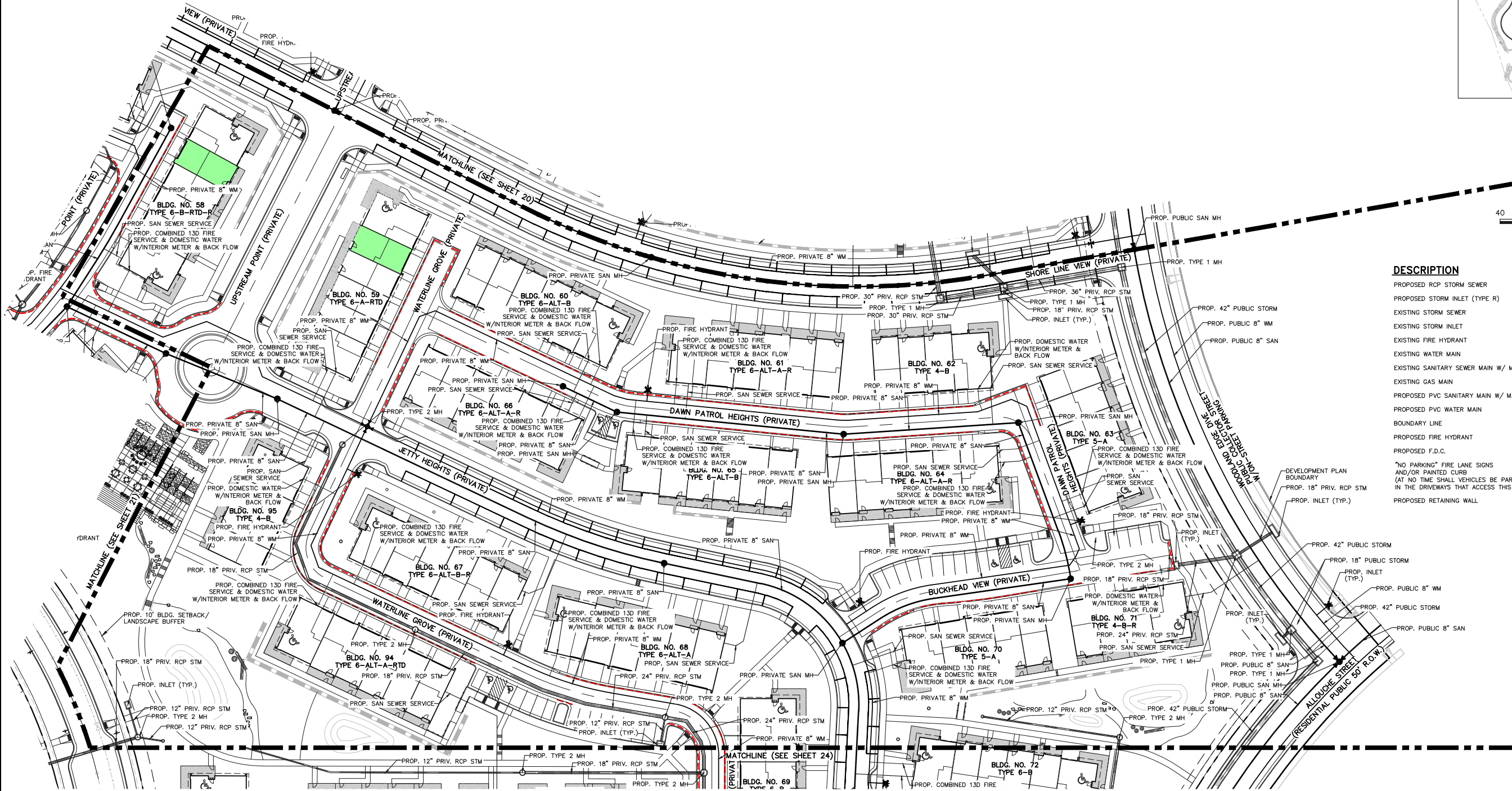


Land Use Review
Approved
11/27/2023
12:48:18 PM
kyle.tenner

CITY FILE NUMBER
PUD-23-0049



SCALE: 1" = 40'



DESCRIPTION	SYMBOL
PROPOSED RCP STORM SEWER	
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EXISTING SANITARY SEWER MAIN W/ MANHOLE	
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619 N. Cascade Avenue, Suite 200
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LAKESIDE HEIGHTS AT WOLF RANCH			
FILING NO. 1			
DEVELOPMENT PLAN			
PRELIMINARY UTILITY PLAN			
DESIGNED BY	JDP	SCALE	DATE 11/6/23
DRAWN BY	JDP	(H) 1" = 40'	SHEET 22 OF 74
CHECKED BY	KRC	(V) 1" = N/A	JOB NO. 2183.30

FOR CITY USE:

Land Use Review
Approved
11/27/2023
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kyle.fenner

CITY FILE NUMBER
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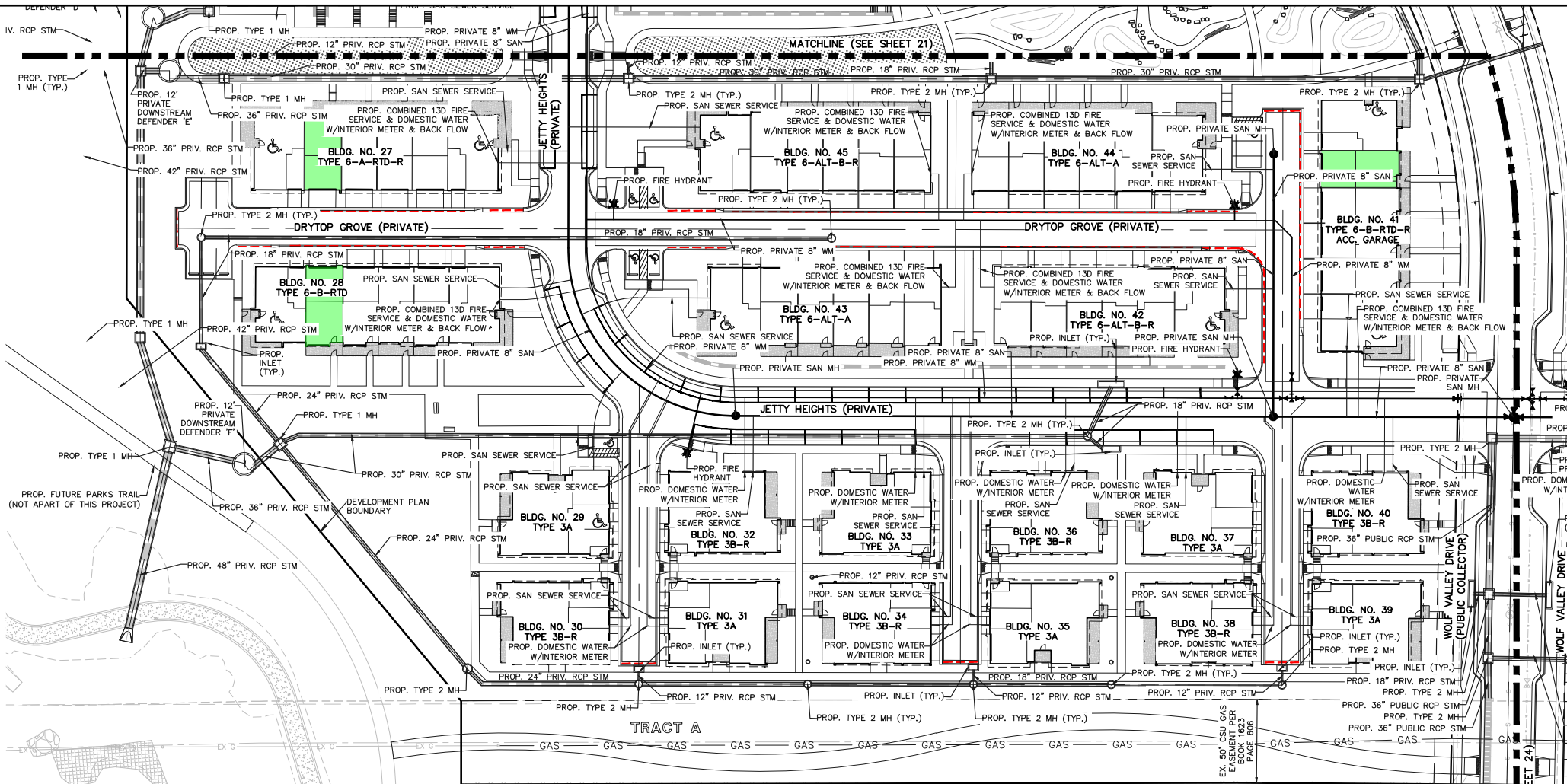
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LAKESIDE HEIGHTS AT WOLF RANCH
FILING NO. 1
DEVELOPMENT PLAN
PRELIMINARY UTILITY PLAN

DESIGNED BY	JDP	SCALE	DATE	11/6/23
DRAWN BY	JDP	(H) 1"= 40'	SHEET	23 OF 74
CHECKED BY	KRC	(V) 1"= N/A	JOB NO.	2183.30



KEY MAP
SCALE: 1"=600'

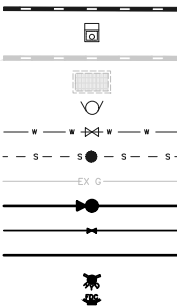
SCALE: 1" = 40'

LEGEND:

DESCRIPTION

- PROPOSED RCP STORM SEWER
- PROPOSED STORM INLET (TYPE R)
- EXISTING STORM SEWER
- EXISTING STORM INLET
- EXISTING FIRE HYDRANT
- EXISTING WATER MAIN
- EXISTING SANITARY SEWER MAIN W/ MANHOLE
- EXISTING GAS MAIN
- PROPOSED PVC SANITARY MAIN W/ MANHOLE
- PROPOSED PVC WATER MAIN
- BOUNDARY LINE
- PROPOSED FIRE HYDRANT
- PROPOSED F.D.C.
- "NO PARKING" FIRE LANE SIGNS AND/OR PAINTED CURB (AT NO TIME SHALL VEHICLES BE PARKED IN THE DRIVEWAYS THAT ACCESS THIS SITE.)
- PROPOSED RETAINING WALL

SYMBOL

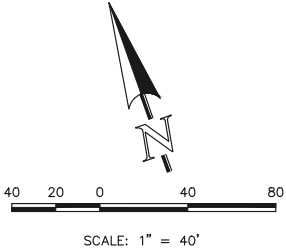
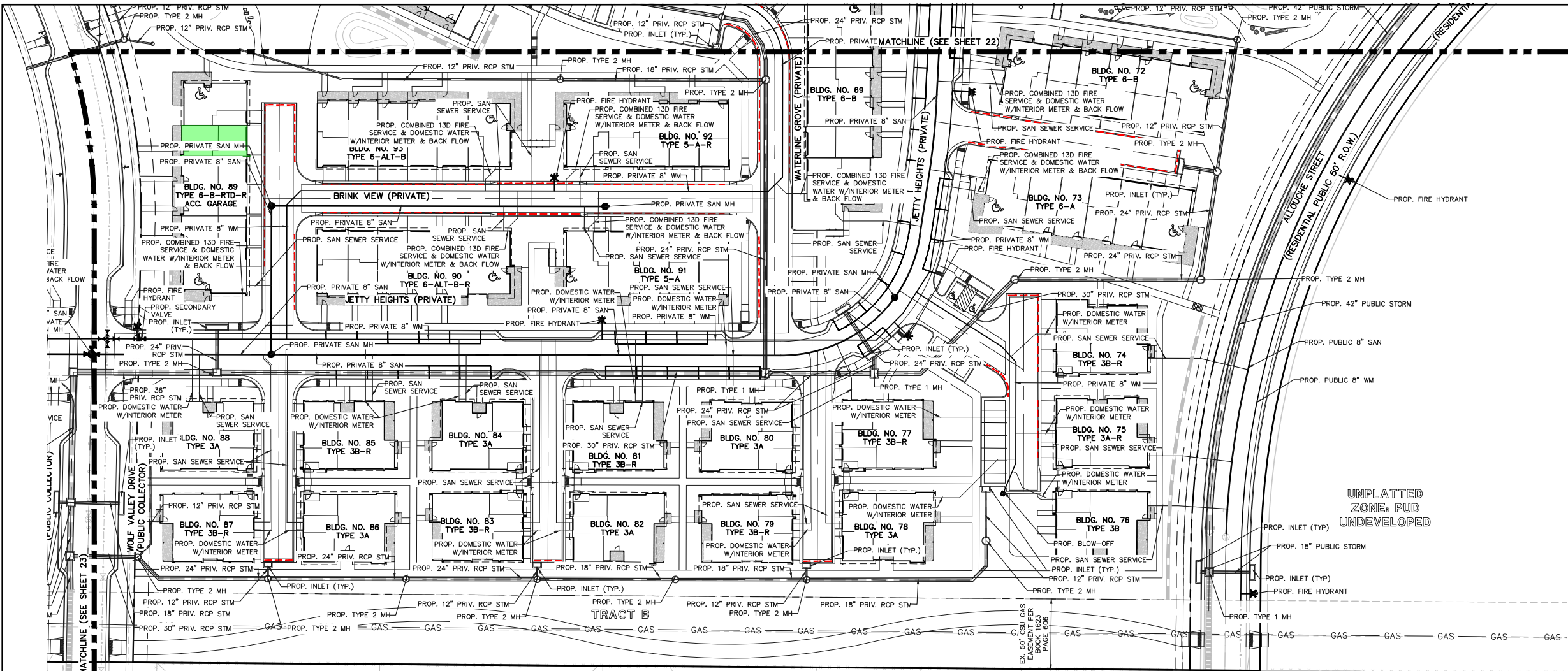


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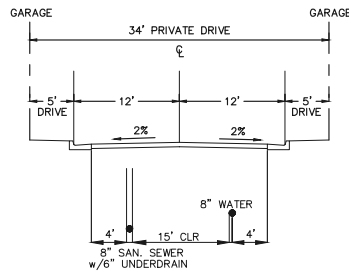
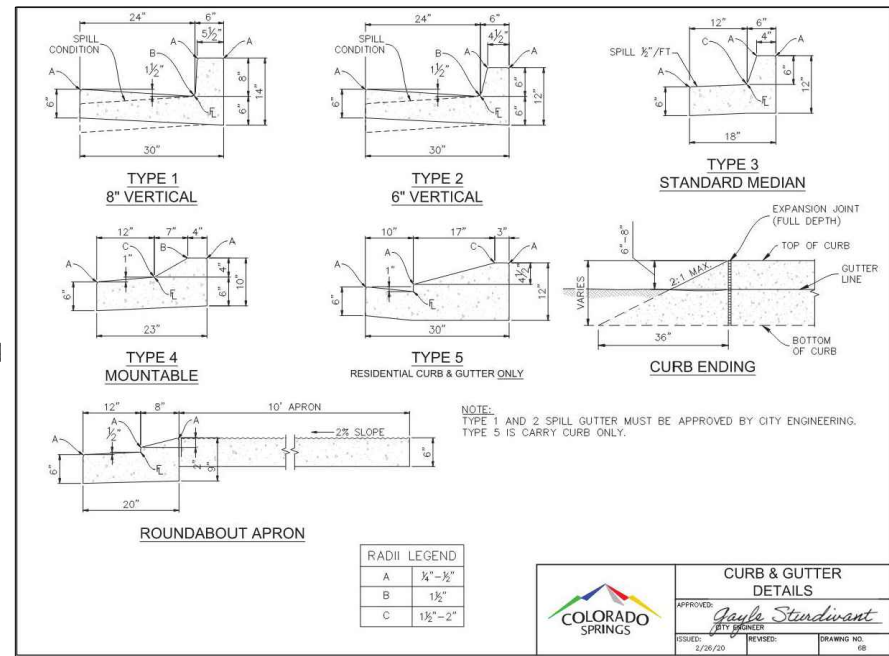
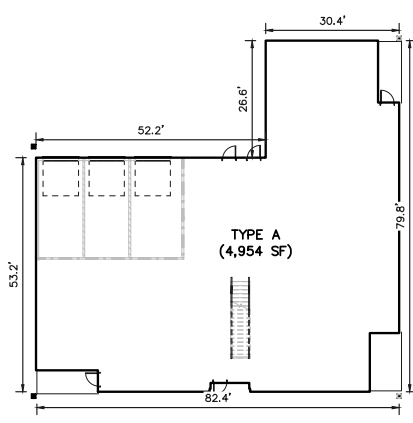
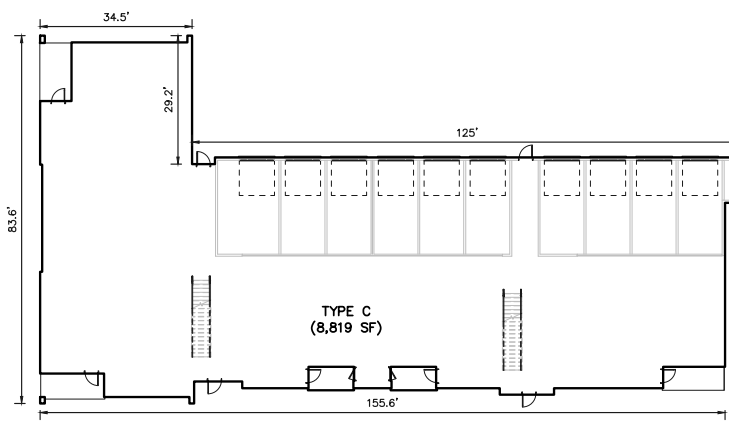
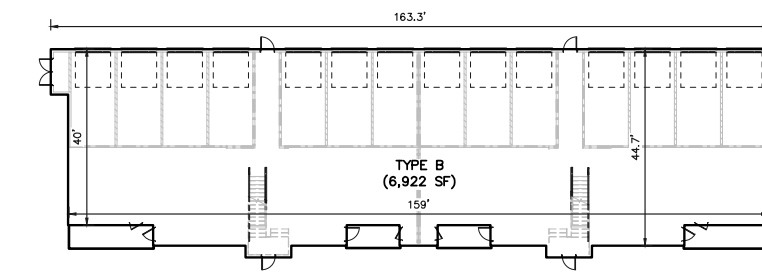
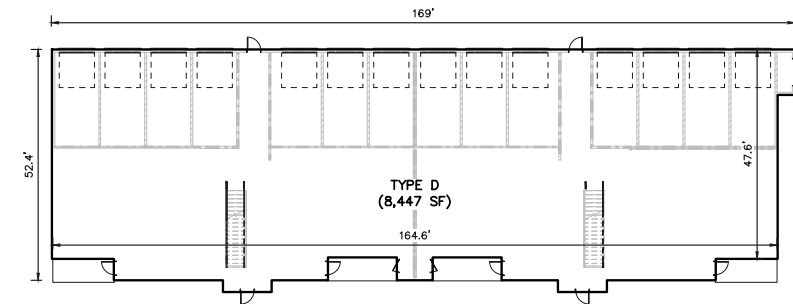
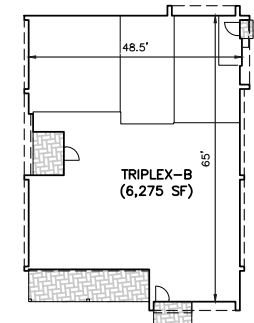
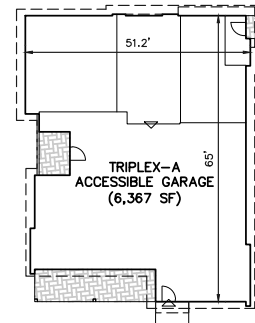
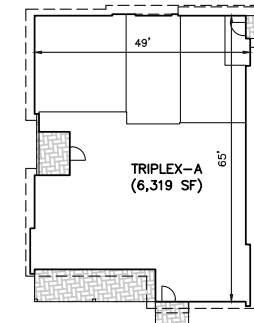
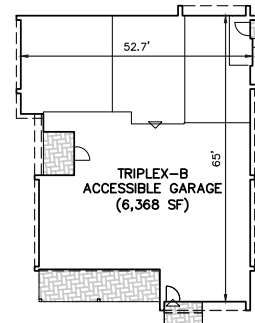
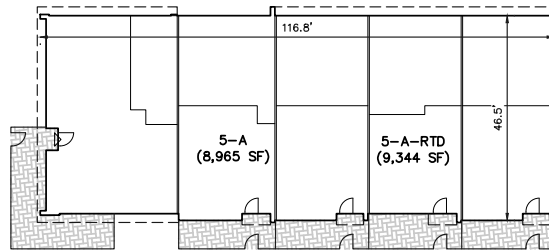
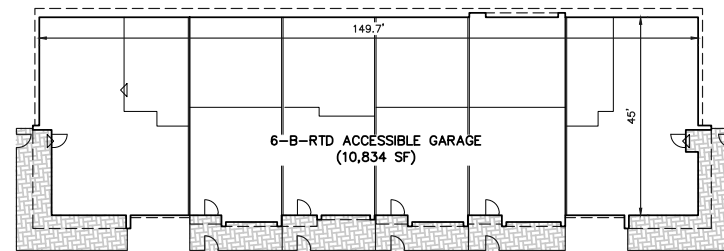
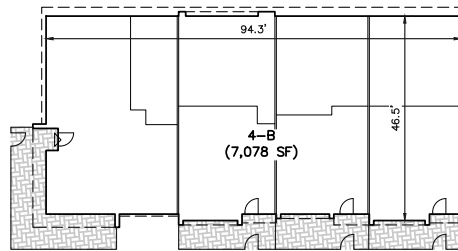
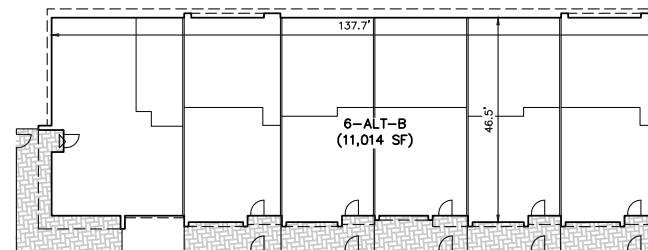
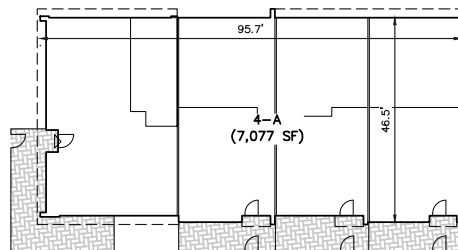
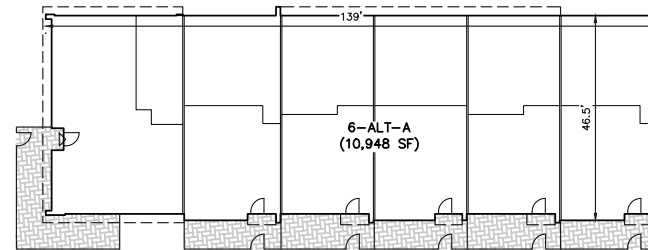
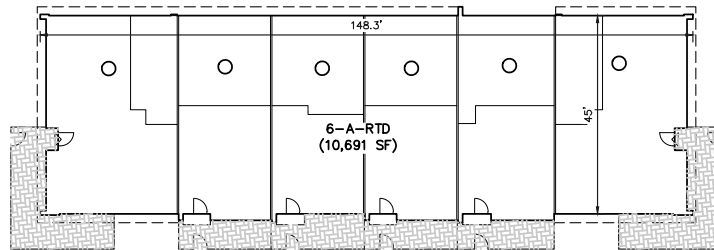
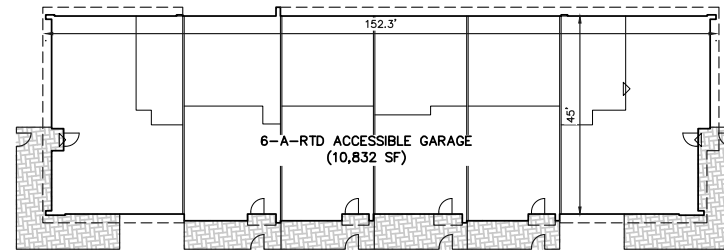
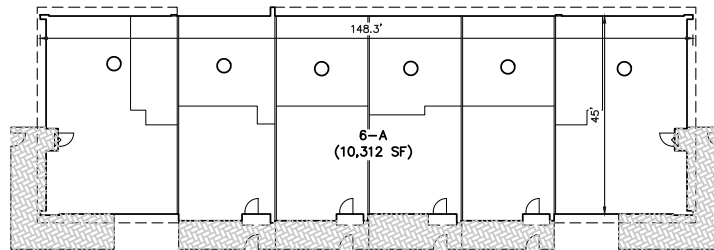
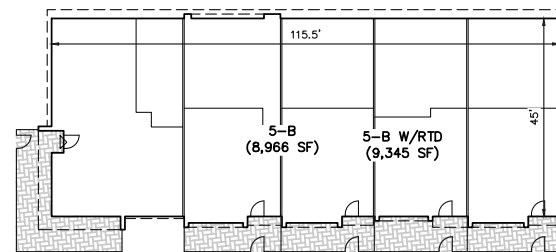
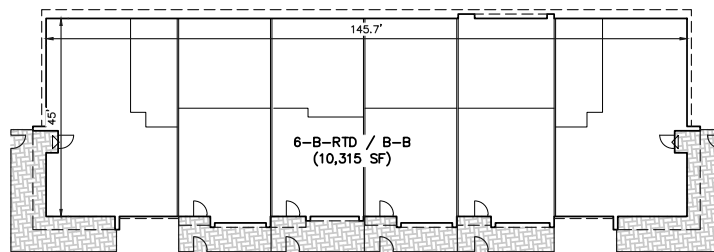
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CHECKED BY	KRC	(V) 1"= N/A	JOB NO.	2183.30

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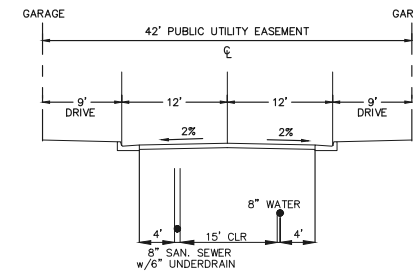
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SPRINGS
LAND USE REVIEW
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PUDO-23-0049

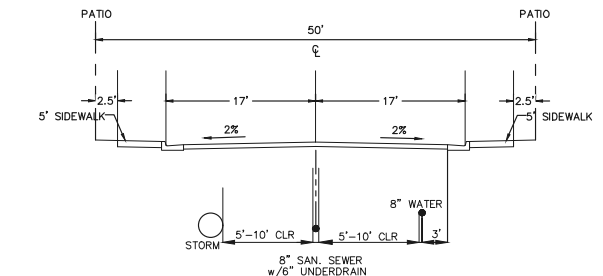
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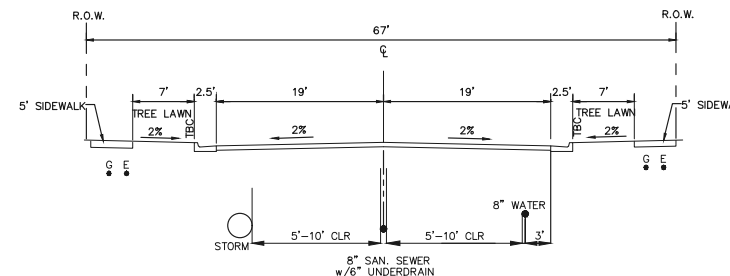
INTERIOR PRIVATE STREET
SCALE: 1" = 10'



INTERIOR PRIVATE STREET
SCALE: 1" = 10'



50' ROW RESIDENTIAL (W/PARKING)
SCALE: 1" = 10'




67' ROW COLLECTOR (W/PARKING)
SCALE: 1" = 10'



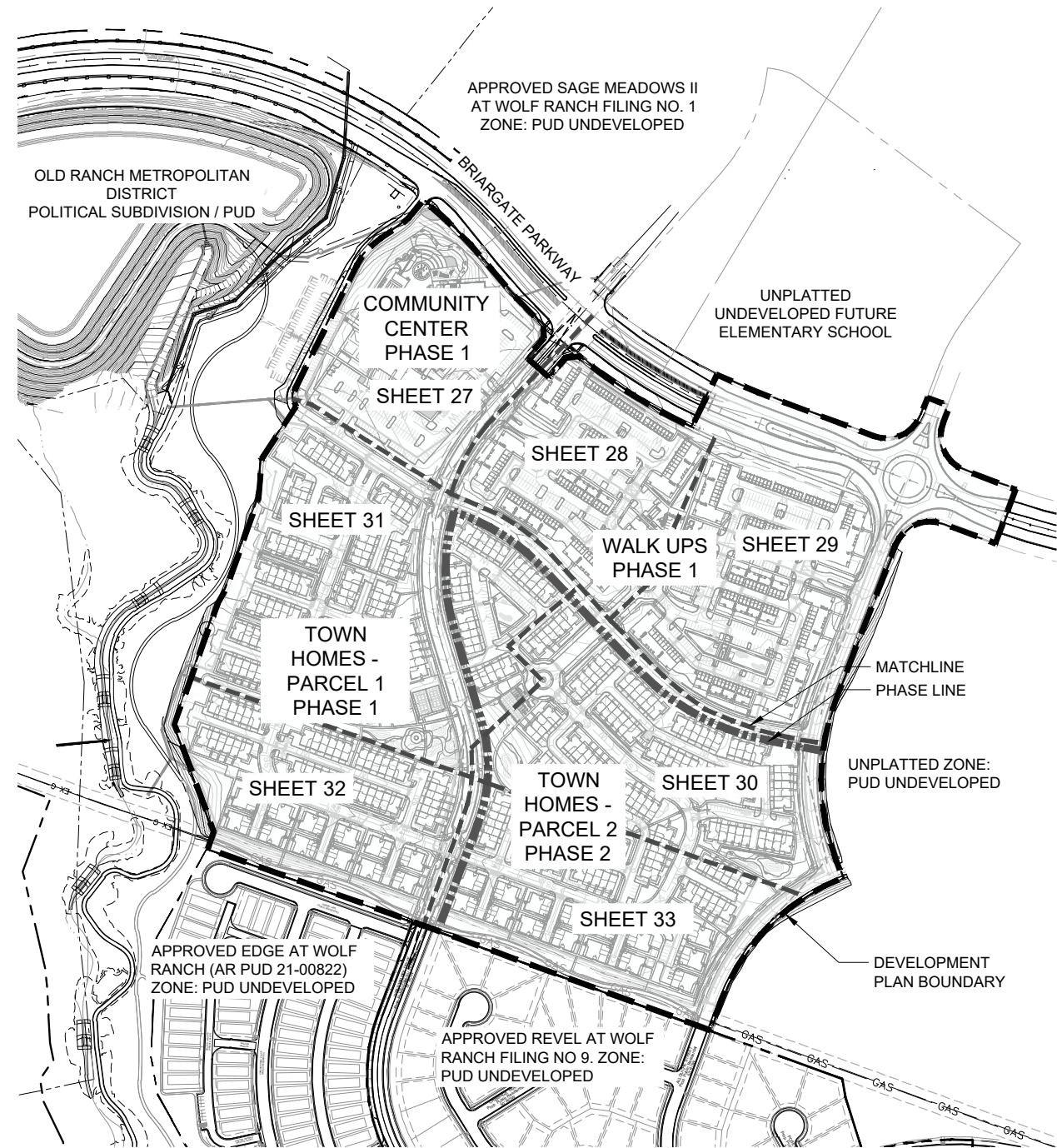
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Colorado Springs, Colorado 80903
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(719) 785-0799 (Fax)

LAKESIDE HEIGHTS AT WOLF RANCH			
FILING NO. 1			
DEVELOPMENT PLAN			
BUILDING FOOTPRINTS & CROSS SECTIONS			
DESIGNED BY	JDP	SCALE	DATE 11/6/23
DRAWN BY	JDP	(H) 1" = 20'	SHEET 25 OF 74
CHECKED BY	KRC	(V) 1" = N/A	JOB NO. 2183.30

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CITY FILE NUMBER
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NOTE: A FINAL LANDSCAPE AND IRRIGATION PLAN SHALL BE SUBMITTED AND REVIEWED CONCURRENT WITH BUILDING PERMIT SUBMITTAL AND APPROVED PRIOR TO ISSUANCE OF BUILDING PERMIT.

1

LANDSCAPE PLAN OVERALL

1" = 200'

NORTH

0100'200'400'

SCALE: 1" = 200'-0"

Sheet Index	
Sheet Number	Sheet Title
26	PRELIMINARY LANDSCAPE PLAN - OVERALL
27	PRELIMINARY LANDSCAPE PLAN - COMM. CENTER
28	PRELIMINARY LANDSCAPE PLAN - WALK UPS
29	PRELIMINARY LANDSCAPE PLAN - WALK UPS
30	PRELIMINARY LANDSCAPE PLAN - TOWN HOMES
31	PRELIMINARY LANDSCAPE PLAN - TOWN HOMES
32	PRELIMINARY LANDSCAPE PLAN - TOWN HOMES
33	PRELIMINARY LANDSCAPE PLAN - TOWN HOMES
34	PRELIMINARY LANDSCAPE SCHEDULE & NOTES
35	PRELIMINARY LANDSCAPE DETAILS
36	PRELIMINARY LANDSCAPE DETAILS
37	PRELIMINARY SHADE STRUCTURE DETAILS
38	PRELIMINARY LANDSCAPE CALCULATIONS

CONCEPT PLANT SCHEDULE

	SHADE TREE	480
	SCREENING TREE	123
	SMALL ACCENT TREE	106
	FLOWERING TREE	108
	LARGE ACCENT TREE	55
	EVERGREEN TREE	156
	SHRUB PLANTING	588,397 SF
	NATIVE	265,475 SF
	TURF	37,388 SF

REFERENCE NOTES SCHEDULE

2 - WALLS & FENCES		QTY	DETAIL
SYMBOL	DESCRIPTION		
	3 RAIL FENCE	2,861 LF	11/36
3 - METALS		QTY	DETAIL
SYMBOL	DESCRIPTION		
	LARGE SHADE STRUCTURE TYPE 1	1	1/37
	LARGE SHADE STRUCTURE TYPE 2	1	2/37
	SMALL SHADE STRUCTURE	3	3/37
5 - FURNISHINGS		QTY	DETAIL
SYMBOL	DESCRIPTION		
	BIKE RACK	32	9/35
	LOUNGE CHAIR	49	2/36
	LITTER RECEPTACLE	12	1/36
	BENCH	6	3/36
	COMMUNITY TABLE	4	4/36
	DINING TABLE	29	10/35
	DINING CHAIR	116	5/36
	CHARCOAL BBQ GRILL	3	7/35
	GAS BBQ GRILL	6	9/36
	RECTANGULAR FIRE PIT	1	6/35
	RECTANGULAR DINING TABLE	2	6/36
	DINING STOOL	12	6/36
	LOUNGE TABLE	2	7/36
	DOG BAG DISPENSER	12	8/36
	PING PONG TABLE	1	10/36
8 - PLANTING		QTY	DETAIL
SYMBOL	DESCRIPTION		
	PLANNED INFILTRATION AREA		

GENERAL NOTES

- All work shall be performed in accordance with plans approved by the City of Colorado Springs.
- Base information provided by Engineer. Refer to survey, plat, roadway and utility drawings, and other available documents for property limits, existing conditions, and horizontal and vertical control.
- The limits of work occur at the right-of-way or as shown on plans.
- Verify existing site conditions including, walls, vegetation fences, utilities, property lines, limits of roadways, curbs and gutters, and other obstructions that may affect the progress of work. Locate utilities and maintain their location during all phases of work. Do not damage utility lines/structures. Notify Owner's Representative of any discrepancies before starting any work. Contractor shall be responsible for location of underground utilities or structures, whether or not shown or detailed and installed by any other contract. Restoration of utilities damaged by the Contractor shall be at the Contractor's expense.
- Thoroughly review the site conditions, drawings, and technical specifications prior to construction. Complete the work of this project in accordance with approved drawings.
- Anything mentioned in the technical specifications and not shown on the drawings, or shown on the drawings and not mentioned in the technical specifications shall be of like effect as if shown on or mentioned in both.
- Construction installation, materials, testing and inspection shall comply with applicable codes and ordinances.
- Take necessary steps to protect and maintain all finished work for the duration of the contract until final acceptance
- These drawings do not specify safety materials, equipment, methods or sequencing to protect persons and property. Direct and implement safety operations and procedures to protect the Owner, other Contractors, the Public, and other for the duration of the contract.
- Notes and details on specific drawings take precedence over general notes and typical details.
- Obtain necessary permits from all jurisdictions as required to construct the work of this project.
- The work of this contract will not be considered complete until all areas have been cleaned of all dirt and debris and all damaged items are repaired.
- All proposed landscaping in the right-of-way shall be per the City of Colorado Springs standards.
- Irrigation to be fully automated drip irrigation system that focuses on water conservation technologies and system efficiency, while providing a system that minimizes water consumption and maintenance costs.
- All planting areas will utilize a subsurface irrigation system. The system will be zoned such that different plant materials, exposures and elevation will be considered and separate zones will be provided where these conditions would dictate.

LAYOUT NOTES

- Verify existing site information including, but not limited to street grades, utilities, property lines, limits of roadways, curbs and gutters taken from the Civil Engineer's drawings.
- All work shall comply with applicable codes and ordinances.
- Take all dimensions from back of curb, face of wall or building, and centerline of trees unless otherwise noted.
- All dimensions called out as 'equal' are equidistant measurements.
- Written dimensions supercede scaled dimensions. Do not scale drawings, if there is a question regarding dimensions, contact Dig Studio for verification.
- All angles to match those noted on drawing and all lines of paving to be parallel unless otherwise noted. Maintain horizontal alignment of adjacent elements as noted on drawings.
- Reference to north refers to true north. Reference to scale is for full sized drawings only. Do not scale from drawings.
- Concrete slabs or footings shall be doweled into abutting walls, foundations and footings where shown doweled on the plan.
- Provide expansion joints in concrete paving, curbs, and walls, a maximum distance of 30 feet apart and at all intersections. Provide expansion joints where new curbs, walls, and any new concrete abuts existing concrete paving, buildings, curbs, and walls unless otherwise noted.
- Provide control joints evenly spaced between expansion joints as shown on drawings, except where special score joint pattern is specified.
- Sleeves and conduits shall be installed a minimum of 18 inches below finished grade and shall extend 12 inches beyond back of curbs, walls, and paving.
- Coordinate and field verify all sleeving locations for all utility, electrical, and irrigation prior to construction.
- Proposed trees in the right-of-way shall be pre-approved by the City and shall be a minimum of 20' from property corners at intersections, 30' from stop signs, 20' from street lights, outside of 30' corner sight triangles and 10' from edge of driveways, alleys and hydrants.
- Contractor to field verify all quantities, areas, and dimensions.

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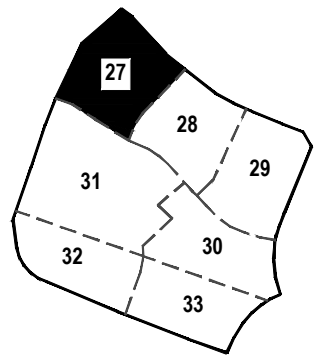
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LAKESIDE HEIGHTS AT WOLF RANCH
FILING NO. 1
DEVELOPMENT PLAN
PRELIMINARY LANDSCAPE PLAN
- OVERALL

DESIGNED BY	PS	SCALE	DATE	8/30/23
DRAWN BY	TM	(H) 1"= N/A	SHEET 26	OF 74
CHECKED BY		(V) 1"= N/A	JOB NO.	2183.30



SITE KEY PLAN
0 250' 500' 1000'
SCALE: 1" = 500'-0"

REFERENCE NOTES SCHEDULE

SYMBOL	2 - WALLS & FENCES
(2-01)	3 RAIL FENCE
SYMBOL	3 - METALS
(3-01)	LARGE SHADE STRUCTURE TYPE 1
(3-02)	LARGE SHADE STRUCTURE TYPE 2
(3-03)	SMALL SHADE STRUCTURE
SYMBOL	5 - FURNISHINGS
(5-01)	BIKE RACK
(5-02)	LOUNGE CHAIR
(5-03)	LITTER RECEPTACLE
(5-04)	BENCH
(5-05)	COMMUNITY TABLE
(5-06)	DINING TABLE
(5-07)	DINING CHAIR
(5-08)	CHARCOAL BBQ GRILL
(5-09)	GAS BBQ GRILL
(5-10)	RECTANGULAR FIRE PIT
(5-11)	RECTANGULAR DINING TABLE
(5-12)	DINING STOOL
(5-13)	LOUNGE TABLE
(5-14)	DOG BAG DISPENSER
(5-15)	PING PONG TABLE
SYMBOL	8 - PLANTING
(8-01)	PLANNED INFILTRATION AREA

COMMUNITY CENTER CONCEPT PLANT SCHEDULE

(+)	SHADE TREE	97
(•)	SCREENING TREE	2
(••)	SMALL ACCENT TREE	39
(•••)	LARGE ACCENT TREE	14
(••••)	EVERGREEN TREE	31
(Hatched Box)	SHRUB PLANTING	70,363 SF
(Diagonal Lines Box)	NATIVE	42,937 SF
(Dotted Box)	TURF	6,841 SF

MATCHLINE SHEET 31

MATCHLINE SHEET 28



0 20' 40' 80'
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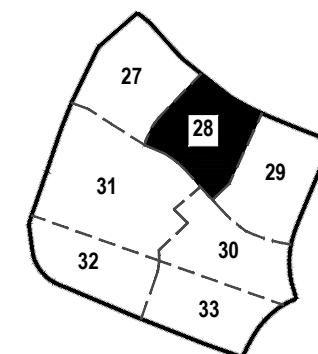
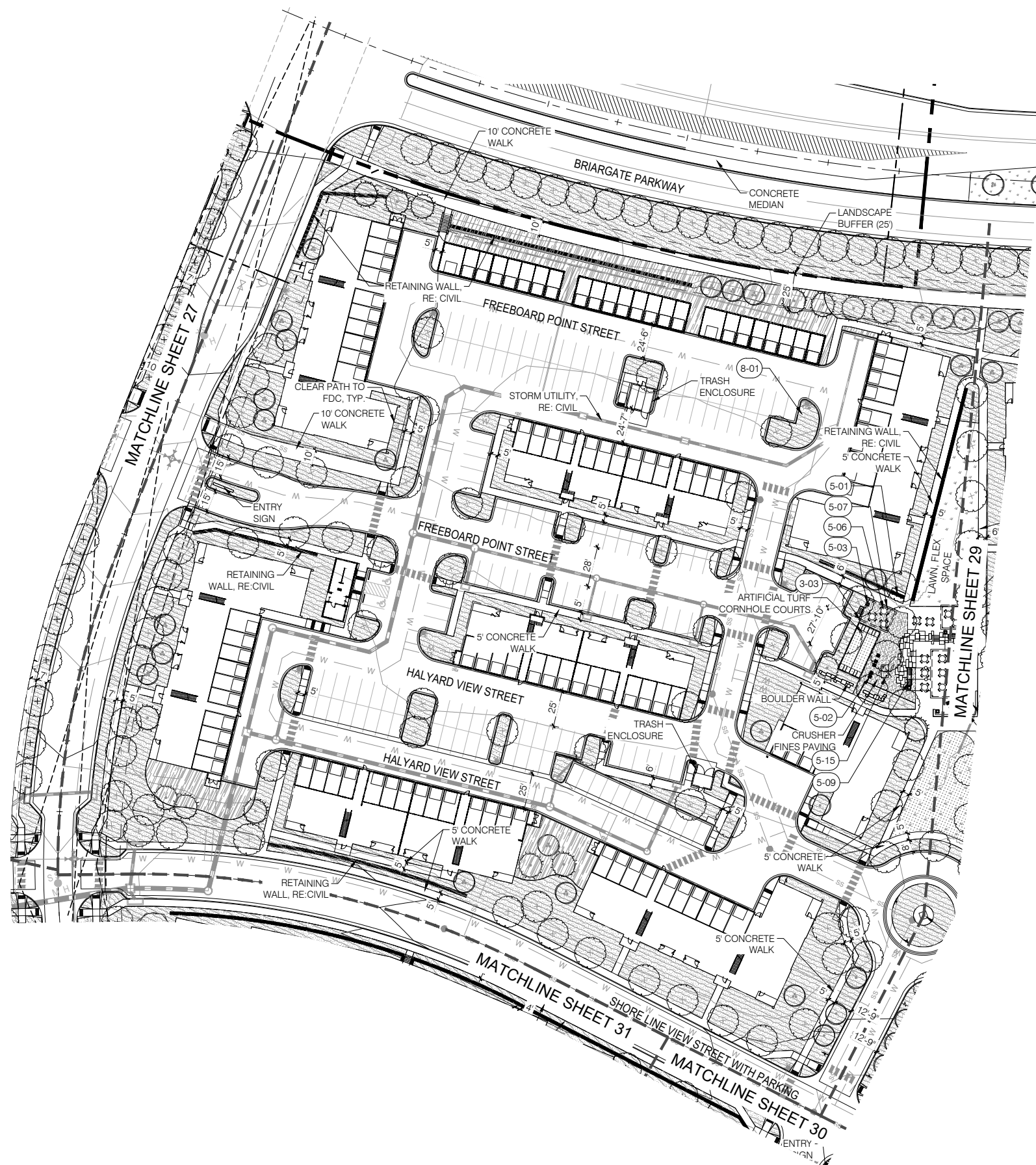
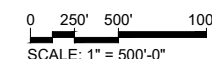


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LAKESIDE HEIGHTS AT WOLF RANCH FILING NO. 1 DEVELOPMENT PLAN PRELIMINARY LANDSCAPE PLAN - COMM. CENTER			
DESIGNED BY	PS	SCALE	DATE 8/30/23
DRAWN BY	TM	(H) 1"= N/A	SHEET 27 OF 74
CHECKED BY		(V) 1"= N/A	JOB NO. 2183.30

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


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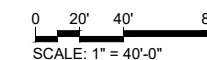
 **SITE KEY PLAN**

REFERENCE NOTES SCHEDULE

2 - WALLS & FENCES	
<u>SYMBOL</u>	<u>DESCRIPTION</u>
2-01	3 RAIL FENCE
3 - METALS	
<u>SYMBOL</u>	<u>DESCRIPTION</u>
3-01	LARGE SHADE STRUCTURE TYPE 1
3-02	LARGE SHADE STRUCTURE TYPE 2
3-03	SMALL SHADE STRUCTURE
5 - FURNISHINGS	
<u>SYMBOL</u>	<u>DESCRIPTION</u>
5-01	BIKE RACK
5-02	LOUNGE CHAIR
5-03	LITTER RECEPTACLE
5-04	BENCH
5-05	COMMUNITY TABLE
5-06	DINING TABLE
5-07	DINING CHAIR
5-08	CHARCOAL BBQ GRILL
5-09	GAS BBQ GRILL
5-10	RECTANGULAR FIRE PIT
5-11	RECTANGULAR DINING TABLE
5-12	DINING STOOL
5-13	LOUNGE TABLE
5-14	DOG BAG DISPENSER
5-15	PING PONG TABLE
8 - PLANTING	
<u>SYMBOL</u>	<u>DESCRIPTION</u>
8-01	PLANNED INFILTRATION AREA

CONCEPT PLANT SCHEDULE - WALK UPS

	<u>SHADE TREE</u> -	208
	<u>SMALL ACCENT TREE</u> -	61
	<u>FLOWERING TREE</u> -	15
	<u>LARGE ACCENT TREE</u> -	4
	<u>EVERGREEN TREE</u> -	48
	<u>SHRUB PLANTING</u> -	173,337 SF
	<u>NATIVE</u> -	35,112 SF
	<u>TURF</u> -	9,991 SF
	<u>ARTIFICIAL TURF</u> -	6,578 SF



Dig Studio


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LAKESIDE HEIGHTS AT WOLF RANCH
FILING NO. 1
DEVELOPMENT PLAN
PRELIMINARY LANDSCAPE PLAN
- WALK UPS

DESIGNED BY	PS	SCALE	DATE	9/22/23
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CHECKED BY		(V) 1" = N/A	JOB NO.	2183.30

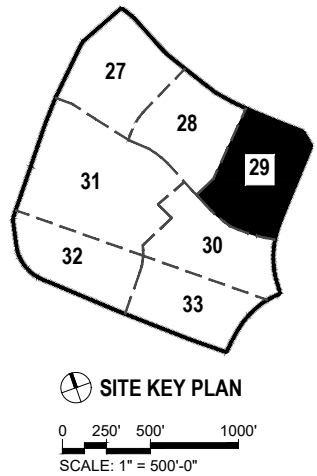
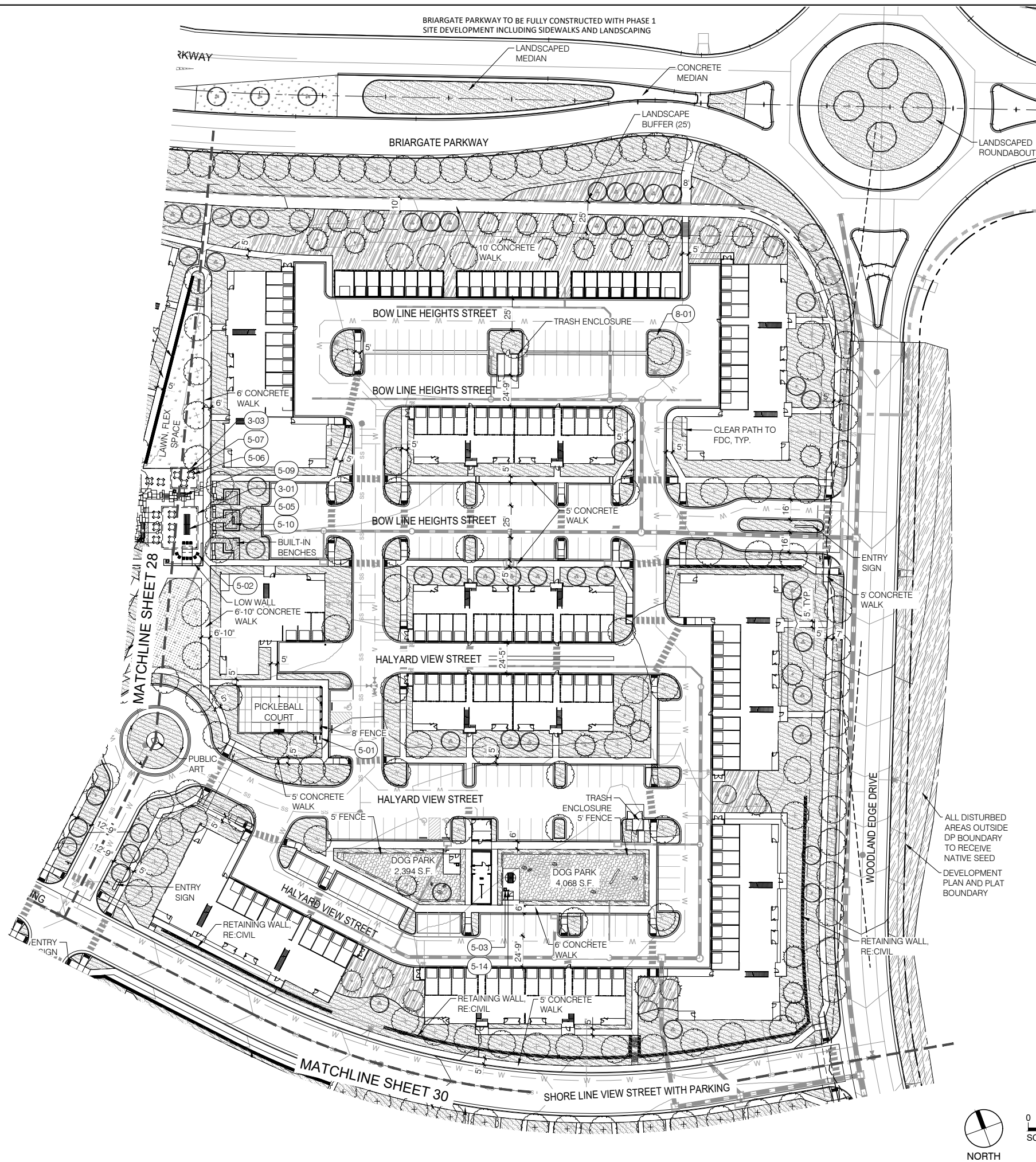
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REFERENCE NOTES SCHEDULE

SYMBOL	2 - WALLS & FENCES DESCRIPTION
(2-01)	3 RAIL FENCE
SYMBOL	3 - METALS DESCRIPTION
(3-01)	LARGE SHADE STRUCTURE TYPE 1
(3-02)	LARGE SHADE STRUCTURE TYPE 2
(3-03)	SMALL SHADE STRUCTURE
SYMBOL	5 - FURNISHINGS DESCRIPTION
(5-01)	BIKE RACK
(5-02)	LOUNGE CHAIR
(5-03)	LITTER RECEPTACLE
(5-04)	BENCH
(5-05)	COMMUNITY TABLE
(5-06)	DINING TABLE
(5-07)	DINING CHAIR
(5-08)	CHARCOAL BBQ GRILL
(5-09)	GAS BBQ GRILL
(5-10)	RECTANGULAR FIRE PIT
(5-11)	RECTANGULAR DINING TABLE
(5-12)	DINING STOOL
(5-13)	LOUNGE TABLE
(5-14)	DOG BAG DISPENSER
(5-15)	PING PONG TABLE
SYMBOL	8 - PLANTING DESCRIPTION
(8-01)	PLANNED INFILTRATION AREA

CONCEPT PLANT SCHEDULE - WALK UPS

(Symbol)	SHADE TREE	208
(Symbol)	SMALL ACCENT TREE	61
(Symbol)	FLOWERING TREE	15
(Symbol)	LARGE ACCENT TREE	4
(Symbol)	EVERGREEN TREE	48
(Symbol)	SHRUB PLANTING	173,337 SF
(Symbol)	NATIVE	35,112 SF
(Symbol)	TURF	9,991 SF
(Symbol)	ARTIFICIAL TURF	6,578 SF



0 20' 40' 80'
SCALE: 1" = 40'-0"



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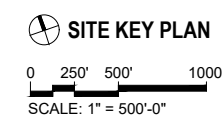
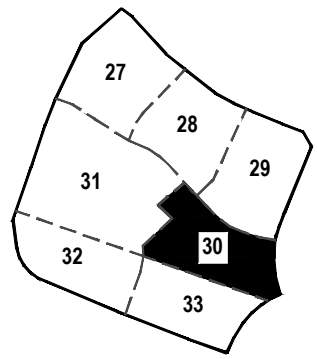
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DESIGNED BY	PS	SCALE	DATE 9/22/23
DRAWN BY	TM	(H) 1"= N/A	SHEET 29 OF 74
CHECKED BY		(V) 1"= N/A	JOB NO. 2183.30

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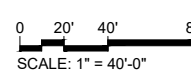
REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION
2 - WALLS & FENCES	
(2-01)	3 RAIL FENCE
3 - METALS	
(3-01)	LARGE SHADE STRUCTURE TYPE 1
(3-02)	LARGE SHADE STRUCTURE TYPE 2
(3-03)	SMALL SHADE STRUCTURE
5 - FURNISHINGS	
(5-01)	BIKE RACK
(5-02)	LOUNGE CHAIR
(5-03)	LITTER RECEPTACLE
(5-04)	BENCH
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(5-12)	DINING STOOL
(5-13)	LOUNGE TABLE
(5-14)	DOG BAG DISPENSER
(5-15)	PING PONG TABLE

SYMBOL	DESCRIPTION
(8-01)	PLANNED INFILTRATION AREA

CONCEPT PLANT SCHEDULE - TOWNHOMES

	SHADE TREE	165		SHRUB PLANTING	355,021 SF
	SCREENING TREE	113		NATIVE	153,351 SF
	SMALL ACCENT TREE	30		TURF	21,458 SF
	FLOWERING TREE	101		ARTIFICIAL TURF	3,886 SF
	LARGE ACCENT TREE	41			
	EVERGREEN TREE	95			



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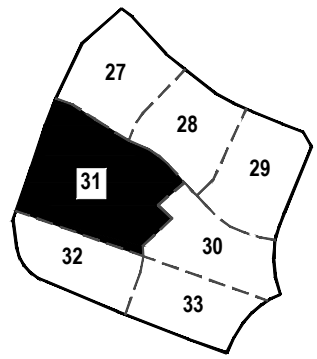
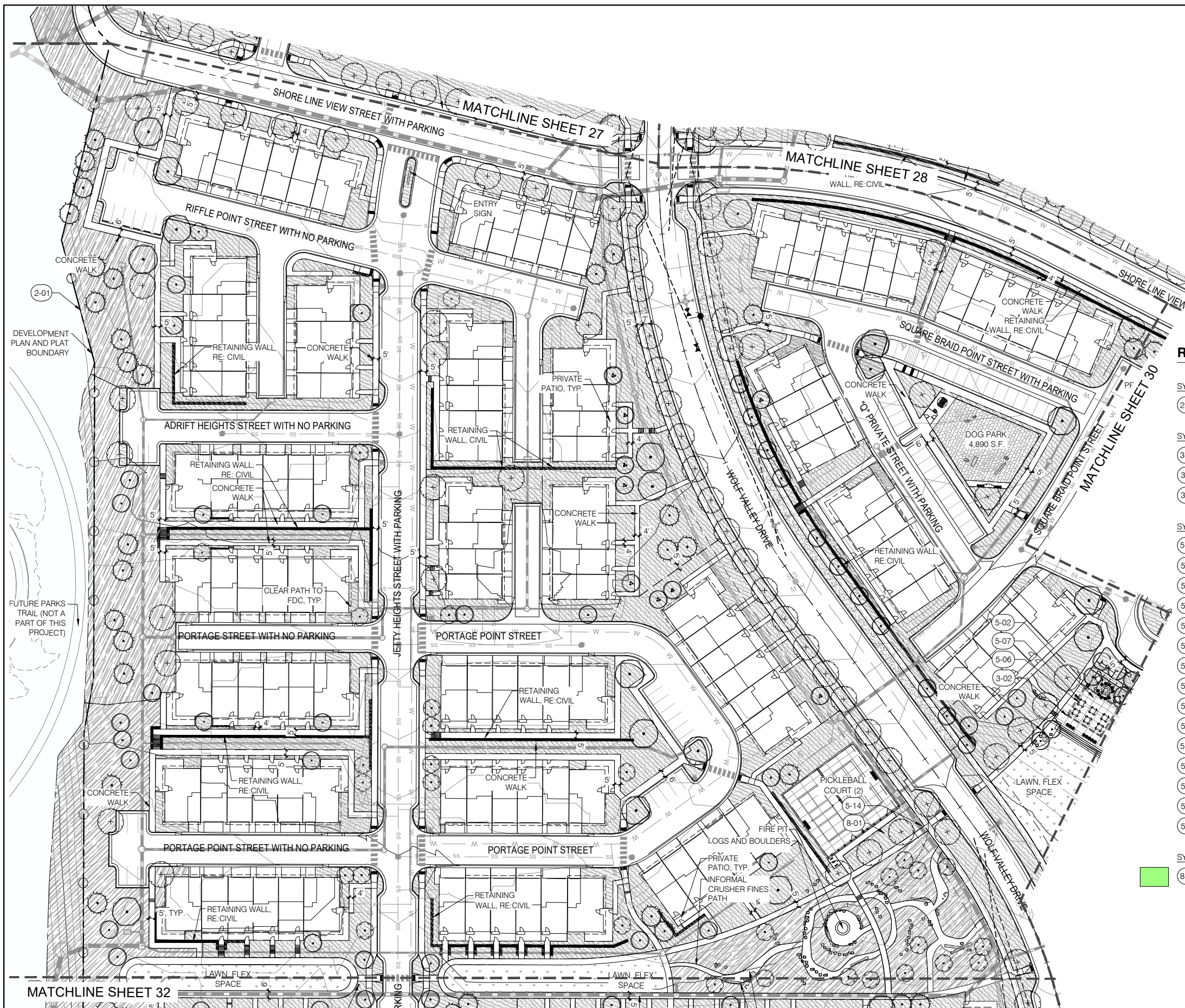
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DESIGNED BY	PS	SCALE	DATE 8/30/23
DRAWN BY	TM	(H) 1"= N/A	SHEET 30 OF 74
CHECKED BY		(V) 1"= N/A	JOB NO. 2183.30

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SITE KEY PLAN
0 250' 500' 1000'
SCALE: 1" = 500'-0"

REFERENCE NOTES SCHEDULE

SYMBOL	2 - WALLS & FENCES DESCRIPTION
(2-01)	3 RAIL FENCE
SYMBOL	3 - METALS DESCRIPTION
(3-01)	LARGE SHADE STRUCTURE TYPE 1
(3-02)	LARGE SHADE STRUCTURE TYPE 2
(3-03)	SMALL SHADE STRUCTURE
SYMBOL	5 - FURNISHINGS DESCRIPTION
(5-01)	BIKE RACK
(5-02)	LOUNGE CHAIR
(5-03)	LITTER RECEPTACLE
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(5-12)	DINING STOOL
(5-13)	LOUNGE TABLE
(5-14)	DOG BAG DISPENSER
(5-15)	PING PONG TABLE
SYMBOL	8 - PLANTING DESCRIPTION
(8-01)	PLANNED INFILTRATION AREA

**TOWNHOMES
CONCEPT PLANT SCHEDULE -**

(+)	SHADE TREE	165
(•)	SCREENING TREE	113
(••)	SMALL ACCENT TREE	30
(•••)	FLOWERING TREE	101
(••••)	LARGE ACCENT TREE	41
(•••••)	EVERGREEN TREE	95
(Hatched Box)	SHRUB PLANTING	355,021 SF
(Dotted Box)	NATIVE	153,351 SF
(Stippled Box)	TURF	21,458 SF
(Cross-hatched Box)	ARTIFICIAL TURF	3,886 SF

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XXXX-XX-XXXX



0 20' 40' 80'
SCALE: 1" = 40'-0"

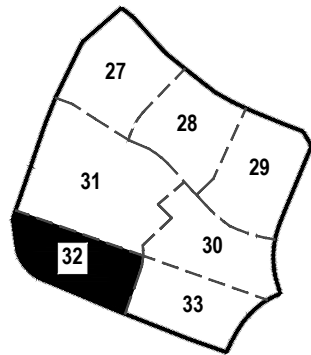
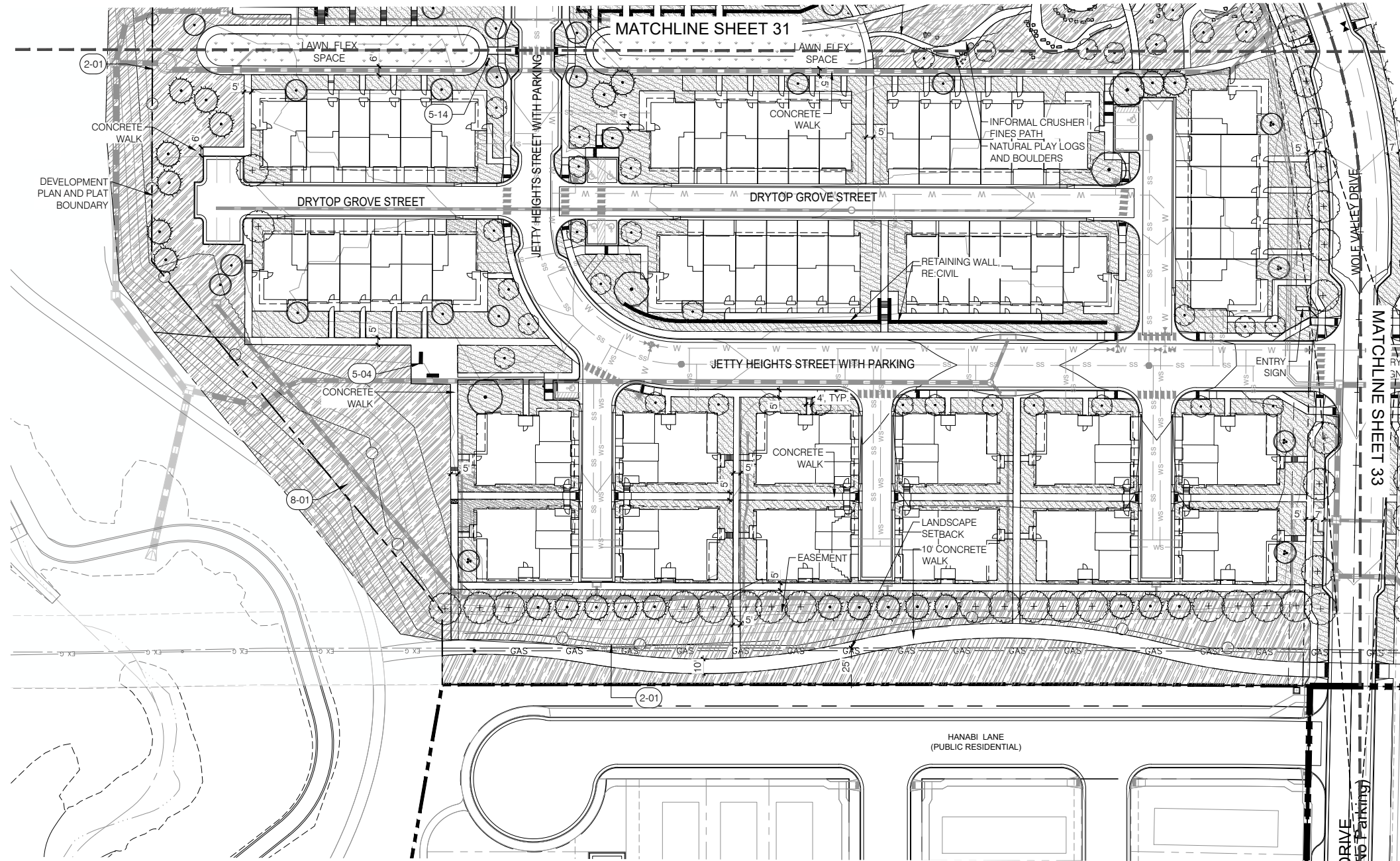


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Colorado Springs, Colorado 80903

(719) 785-0790
(719) 785-0799 (Fax)

LAKESIDE HEIGHTS AT WOLF RANCH FILING NO. 1			
DEVELOPMENT PLAN PRELIMINARY LANDSCAPE PLAN - TOWN HOMES			
DESIGNED BY	PS	SCALE	DATE 8/30/23
DRAWN BY	TM	(H) 1"= N/A	SHEET 31 OF 74
CHECKED BY		(V) 1"= N/A	JOB NO. 2183.30



SITE KEY PLAN

0 250' 500' 1000'
SCALE: 1" = 500'-0"

REFERENCE NOTES SCHEDULE

SYMBOL	2 - WALLS & FENCES DESCRIPTION
(2-01)	3 RAIL FENCE
SYMBOL	3 - METALS DESCRIPTION
(3-01)	LARGE SHADE STRUCTURE TYPE 1
(3-02)	LARGE SHADE STRUCTURE TYPE 2
(3-03)	SMALL SHADE STRUCTURE
SYMBOL	5 - FURNISHINGS DESCRIPTION
(5-01)	BIKE RACK
(5-02)	LOUNGE CHAIR
(5-03)	LITTER RECEPTACLE
(5-04)	BENCH
(5-05)	COMMUNITY TABLE
(5-06)	DINING TABLE
(5-07)	DINING CHAIR
(5-08)	CHARCOAL BBQ GRILL
(5-09)	GAS BBQ GRILL
(5-10)	RECTANGULAR FIRE PIT
(5-11)	RECTANGULAR DINING TABLE
(5-12)	DINING STOOL
(5-13)	LOUNGE TABLE
(5-14)	DOG BAG DISPENSER
(5-15)	PING PONG TABLE
SYMBOL	8 - PLANTING DESCRIPTION
(8-01)	PLANNED INFILTRATION AREA

CONCEPT PLANT SCHEDULE - TOWNHOMES

(+)	SHADE TREE	165	(diagonal lines)	SHRUB PLANTING	355,021 SF
(•)	SCREENING TREE	113	(diagonal lines)	NATIVE	153,351 SF
(••)	SMALL ACCENT TREE	30	(dots)	TURF	21,458 SF
(•)	FLOWERING TREE	101	(diagonal lines)	ARTIFICIAL TURF	3,886 SF
(•)	LARGE ACCENT TREE	41			
(•)	EVERGREEN TREE	95			



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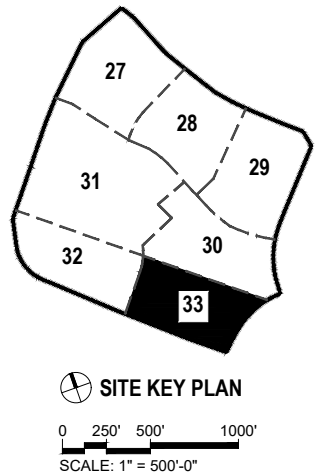
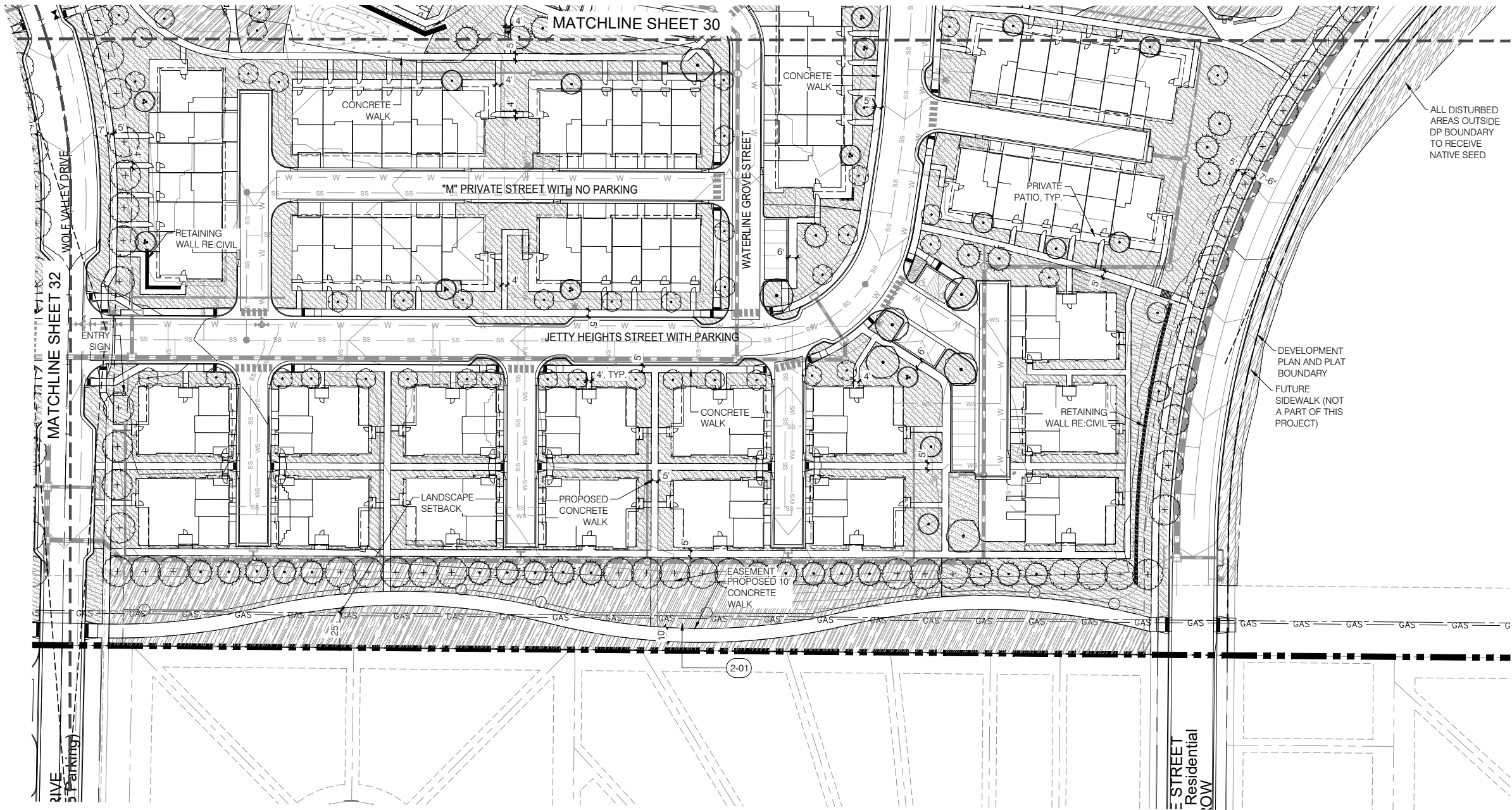
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LAKESIDE HEIGHTS AT WOLF RANCH FILING NO. 1			
DEVELOPMENT PLAN PRELIMINARY LANDSCAPE PLAN - TOWN HOMES			
DESIGNED BY	PS	SCALE	DATE 9/22/23
DRAWN BY	TM	(H) 1"= N/A	SHEET 32 OF 74
CHECKED BY		(V) 1"= N/A	JOB NO. 2183.30

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REFERENCE NOTES SCHEDULE

SYMBOL	2 - WALLS & FENCES	DESCRIPTION
(2-01)	3 RAIL FENCE	
SYMBOL	3 - METALS	DESCRIPTION
(3-01)	LARGE SHADE STRUCTURE TYPE 1	
(3-02)	LARGE SHADE STRUCTURE TYPE 2	
(3-03)	SMALL SHADE STRUCTURE	
SYMBOL	5 - FURNISHINGS	DESCRIPTION
(5-01)	BIKE RACK	
(5-02)	LOUNGE CHAIR	
(5-03)	LITTER RECEPTACLE	
(5-04)	BENCH	
(5-05)	COMMUNITY TABLE	
(5-06)	DINING TABLE	
(5-07)	DINING CHAIR	
(5-08)	CHARCOAL BBQ GRILL	
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SYMBOL	8 - PLANTING	DESCRIPTION
(8-01)	PLANNED INFILTRATION AREA	

CONCEPT PLANT SCHEDULE - TOWNHOMES

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(•)	LARGE ACCENT TREE	41			
(•)	EVERGREEN TREE	95			

NORTH

0 20' 40' 80'

SCALE: 1" = 40'-0"

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LAKEVIEW HEIGHTS AT WOLF RANCH
FILING NO. 1
DEVELOPMENT PLAN
PRELIMINARY LANDSCAPE PLAN
- TOWN HOMES

DESIGNED BY	PS	SCALE	DATE	9/22/23
DRAWN BY	TM	(H) 1"= N/A	SHEET	33 OF 74
CHECKED BY		(V) 1"= N/A	JOB NO.	2183.30

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CITY FILE NUMBER
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P:\2023\LAKEVIEW HEIGHTS AT WOLF RANCH\DWG\LAKEVIEW HEIGHTS AT WOLF RANCH - TOWN HOMES - PRELIMINARY LANDSCAPE PLAN.dwg
PLOT DATE: 11/27/2023 12:48:21 PM
PLOT BY: kyle.fenner

PLANT SCHEDULE	
DECIDUOUS TREES	SIZE
ACER MIYABEI `STATE STREET` MIYABEI MAPLE	2.5" CAL
ACER PLATANOIDES `EMERALD LUSTRE` NORWAY MAPLE	2.5" CAL
ACER RUBRUM `JFS-KW78` TM ARMSTRONG GOLD MAPLE	2.5" CAL
ACER TATARICUM `PATTERN PERFECT` PATTERN PERFECT TATARIAN MAPLE	2.5" CAL
ACER X FREEMANII AUTUMN BLAZE AUTUMN BLAZE MAPLE	2.5" CAL
AESCULUS GLABRA OHIO BUCKEYE	2.5" CAL
CATALPA SPECIOSA NORTHERN CATALPA	2.5" CAL
CELTIS OCCIDENTALIS COMMON HACKBERRY	2.5" CAL
GINKGO BILOBA `AUTUMN GOLD` TM MAIDENHAIR TREE	2.5" CAL
GLEDTISIA TRIACANTHOS `SKYLINE` SKYLINE HONEY LOCUST	2.5" CAL
GYMNOCLADUS DIOICA KENTUCKY COFFEE TREE	2.5" CAL
KOELREUTERIA PANICULATA GOLDEN RAIN TREE	2.5" CAL
PLATANUS X ACERIFOLIA `MORTON CIRCLE` EXCLAMATION LONDON PLANE TREE	2.5" CAL
PRUNUS VIRGINIANA `CANADA RED` CANADA RED CHOKECHERRY	2.5" CAL
PYRUS CALLERYANA CALLERY PEAR `CHANTICLEER`	2.5" CAL
QUERCUS ALBA CRIMSCHMIDT CRIMSON SPIRE	2.5" CAL
QUERCUS BUCKLEYI BUCKLEY OAK	2.5" CAL
QUERCUS GAMBELII GAMBEL OAK	2" CAL
QUERCUS MACROCARPA BURR OAK	2.5" CAL
QUERCUS MUEHLENBERGII CHINKAPIN OAK	2.5" CAL
QUERCUS RUBRA RED OAK	4" CAL
QUERCUS X WAREI `REGAL PRINCE` REGAL PRINCE OAK	2.5" CAL
SOPHORA JAPONICA JAPANESE PAGODA TREE	2.5" CAL
ULMUS PROPINQUA EMERALD SUNSHINE EMERALD SUNSHINE ELM	2.5" CAL
ULMUS X `ACCOLADE` ACCOLADE ELM	2.5" CAL











EVERGREEN TREES	SIZE
JUNIPERUS MONOSPERMA CHERRYSTONE	6' HT.
JUNIPERUS SCOPULORUM ROCKY MOUNTAIN JUNIPER	6'-8' HT.
JUNIPERUS SCOPULORUM `MEDORA` MEDORA JUNIPER	8'-10' HT
PICEA PUNGENS `BABY BLUE EYES` BABY BLUE EYES SPRUCE	6'-8' HT.
PINUS EDULIS PINON PINE	8'-10' HT
PINUS FLEXILIS `VANDERWOLF` S PYRAMID` VANDERWOLF` S PYRAMID PINE	8'-10' HT
PINUS PONDEROSA PONDEROSA PINE	10'-12' HT
SHRUBS	SIZE
AMORPHA CANESCENS LEADPLANT	5 GAL
ARCTOSTAPHYLOS X COLORADOENSIS `CHIEFTAIN` MANZANITA	5 GAL
ARCTOSTAPHYLOS X COLORADOENSIS `PANCHITO` PANCHITO MANZANITA	5 GAL
BUDDLEJA DAVIDII `PETITE SNOW` TM PETITE SNOW BUTTERFLY BUSH	5 GAL
CHAMAEBATIARIA MILLEFOLIUM DESERT SWEET FERNBUSH	5 GAL
CHRYSOTHAMNUS NAUSEOSUS VAR. NAUCEOSUS BABY BLUE RABBITBRUSH	5 GAL
ERICAMERIA NAUSEOSA SPECIOSA DWARF BLUE RABBITBRUSH	5 GAL
FORESTIERA NEOMEXICANA NEW MEXICO PRIVET	5 GAL
HESPERALOE PARVIFLORA RED YUCCA	5 GAL
PEROVSKIA ATRIPLICIFOLIA RUSSIAN SAGE	5 GAL
PHYSOCARPUS OPULIFOLIUS `AMBER JUBILEE` NINEBARK	3 GAL
RHUS TRILOBATA `AUTUMN AMBER` AUTUMN AMBER SUMAC	5 GAL
RIBES RUBRUM `RED LAKE` RED LAKE RED CURRANT	5 GAL

GRASSES	SIZE
BOUTELOUA GRACILIS `BLONDE AMBITION` BLONDE AMBITION BLUE GRAMA	1 GAL
MUHLENBERGIA CAPILLARIS `REGAL MIST` TM MUHLY	5 GAL
MUHLENBERGIA REVERCHONII `PUND01S` TM UNDAUNTED RUBY MUHLY	5 GAL
PANICUM VIRGATUM `SHENANDOAH` RED SWITCH GRASS	5 GAL
SPOROBOLUS WRIGHTII BIG SACATON	1 GAL
PERENNIALS	SIZE
AGASTACHE AURANTIACA `CORONADO` CORONADO HYSSOP	1 GAL
AGASTACHE CANA `SINNING` SONORAN SUNSET HYSSOP	1 GAL
ECHINACEA TENNESSEENSIS TENNESSEE CONEFLOWER	5 GAL
ENGELMANNIA PERISTENIA ENGELMANN` S DAISY	1 GAL
SESELI GUMMIFERUM MOON CARROT	5 GAL
SHRUB AREAS	SIZE
AGASTACHE CANA `SINNING` SONORAN SUNSET HYSSOP	1 GAL
AGASTACHE X `AVA` AVA HUMMINGBIRD MINT	1 GAL
ALLIUM HOLLANDICUM `PURPLE SENSATION`	BULB
ALLIUM HOLLANDICUM `PURPLE SENSATION`	BULB
ASCLEPIAS INCARNATA SWAMP MILKWEED	1 GAL
ASTER LAEVIS SMOOTH BLUE ASTER	1 GAL
ASTER LAEVIS `BLUEBIRD` BLUEBIRD ASTER	1 GAL
BOUTELOUA GRACILIS `BLONDE AMBITION` BLONDE AMBITION BLUE GRAMA	1 GAL
CALAMAGROSTIS ARUNDINACEA BRACHYTRICHA KOREAN FEATHER REED GRASS	1 GAL
CENTRANTHUS RUBER RED VALERIAN	1 GAL
CHAMERION ANGUSTIFOLIUM FIREWEED	1 GAL
ECHINACEA PURPUREA `WHITE SWAN` WHITE SWAN CONEFLOWER	1 GAL
ECHINACEA TENNESSEENSIS TENNESSEE CONEFLOWER	1 GAL
EPHEDRA EQUISETINA MA HUANG	5 GAL

EUPATORIUM DUBIUM `LITTLE JOE` JOE-PYE WEED	1 GAL
HELENIUM AUTUMNALE SNEEZEWEED	1 GAL
MELINIS NERVIGLUMIS RUBY GRASS	1 GAL
NEPETA X `PSFIKE` TM LITTLE TRUDY CATMINT	1 GAL
PANICUM VIRGATUM `HEAVY METAL` BLUE SWITCH GRASS	1 GAL
PENSTEMON MENSARUM GRAND MESA BEARDTONGUE	1 GAL
PENSTEMON X MEXICALI `PWIN02S` TM WINDWALKER PENSTEMON	1 GAL
RUDBECKIA LACINIATA CUTLEAF CONEFLOWER	1 GAL
SALVIA PACHYPHYLLA BLUE SAGE	1 GAL
SHRUB MIX	5 GAL
SOLIDAGO OHIOENSIS OHIO GOLDENROD	1 GAL
SOLIDAGO X `GOLDEN BABY` GOLDENROD	1 GAL
TANACETUM CINERARIIFOLIUM PYRETHRUM, DALMATIAN	1 GAL
VERONICASTRUM VIRGINICUM `ALBUM` CULVER` S ROOT	1 GAL
GROUND COVERS	
ACHNATHERUM HYMENOIDES `RIMROCK` RIMROCK INDIAN RICE GRASS	
BOUTELOUA CURTIPENDULA `KILLDEER` KILLDEER SIDE OATS GRAMA	
BOUTELOUA CURTIPENDULA `KILLDEER` KILLDEER SIDE OATS GRAMA	
BOUTELOUA GRACILIS `BAD RIVER` BLUE GRAMA	
CLEOME SERRULATA ROCKY MOUNTAIN BEEPLANT	
DALEA PURPUREA PURPLE PRAIRIE CLOVER	
ELYMUS LANCEOLATUS `CRITANA` THICKSPIKE WHEATGRASS	
ERIGERON SPECIOSUS SHOWY FLEABANE	
LIATRIS PUNCTATA DOTTED GAYFEATHER	
ORYZOPSIS HYMENOIDES INDIAN RICE GRASS	
PASCOPYRUM SMITHII `ARRIBA` ARRIBA WESTERN WHEATGRASS	
RUDBECKIA HIRTA BLACK-EYED SUSAN	
RUDBECKIA HIRTA BLACK-EYED SUSAN	
SCHIZACHYRIUM SCOPARIUM LITTLE BLUESTEM GRASS	
SPOROBOLUS CRYPTANANDRUS SAND DROPSEED	
SPOROBOLUS CRYPTANANDRUS SAND DROPSEED	

NOTE:A FINAL LANDSCAPE AND IRRIGATION PLAN SHALL BE SUBMITTED AND REVIEWED CONCURRENT WITH BUILDING PERMIT SUBMITTAL AND APPROVED PRIOR TO ISSUANCE OF BUILDING PERMIT.

OVERALL CONCEPT PLANT SCHEDULE

	SHADE TREE	506
	SCREENING TREE	114
	SMALL ACCENT TREE	124
	FLOWERING TREE	106
	LARGE ACCENT TREE	59
	EVERGREEN TREE	177
	SHRUB PLANTING	611,154 SF
	NATIVE	228,218 SF
	TURF	38,508 SF
	ARTIFICIAL TURF	10,464 SF

PLANTING NOTES

1. All plant materials shall meet or exceed current American Standard for Nursery Stock (ANSI Z60.1-2004) and the Colorado Nursery Act and accompanying Rules and Regulations.

2. All plants will be balled and burlapped or container grown. Bare root or spaded plants will not be accepted.

3. Supply all plant material in quantities sufficient to complete the planting bed as shown on the drawings.

4. All plants will be inspected and approved by the Owner's Representative prior to delivery to the site.

5. Any proposed substitutions of plant species shall be approved by the Landscape Architect prior to delivery to the site.

6. Obtain Landscape Architects approval of finish grading prior to the start of planting.

7. Stake locations of all proposed trees and edges of new planting beds for approval by the Landscape Architect prior to the commencement of planting.

8. Landscape Contractor shall be responsible for becoming aware of all underground utilities, pipes and structures. The Landscape Contractor shall be held responsible for contacting all utility companies for field location of underground utility lines prior to any excavation. Landscape Contractor shall take sole responsibility for any cost of utility repair due to damage caused by his operations.

9. Do not willfully proceed with construction as designed when it is obvious that unknown obstructions and/or grade differences exist that may not have been known during design. Such conditions shall be immediately brought to the attention of the Landscape Architect. The Landscape Contractor shall assume full responsibility for all necessary revisions due to failure to give such notification.

10. Landscape Contractor shall be responsible for any coordination with subcontractors as required to accomplish planting operations.

11. See specifications for planting requirements, soil preparation testing, materials and execution. Arrange for visit of Landscape Architect for review and approval a minimum of 48 hours prior to installation.

12. See details and specifications for staking method, plant pit dimensions and backfill requirements.
13. Landscape Contractor shall provide per-unit costs for every size of plant materials, and by type, as called out on planting plans. Unit cost to include the plant material itself and installation, including all labor, amendments, fertilizers, etc., as detailed and specified for each size.

14. Landscape Contractor is responsible to do their own quantity takeoffs for all plant materials and sizes shown on plans.

15. The Landscape Contractor shall be responsible for positive drainage throughout the site with accurately set flow lines. No low spots or ponding of surface water will be accepted in final work.

16. Coordinate installation of large plant material with installation of wall footings, bridge abutments and pavements. Any damage to improvements by others is the responsibility of the Landscape Contractor.

17. The Landscape Contractor shall allow for the addition of specified quantities of soil amendments, conditioners and mulch in soil preparation and finish grading.

18. Imported soil shall be used to supplement the existing soil as necessary to meet the finish grade requirements at planting areas.

19. The Landscape Contractor shall verify soil test at his expense prior to planting and will follow test recommendations and Landscape Architect's approval for soil amendments.The Landscape Contractor shall receive the specified subgrade elevation, of +/- one tenth of a foot below finish grade.

20. The Landscape Contractor shall be responsible to furnish and install amended or imported soil in any planting areas as necessary to achieve the specified finish planting grades unless otherwise noted on plans or specs.

21. The Landscape Architect reserves the right to adjust the location of plant material during installation as appropriate to the project. For trees in the right-of-way by Builder or Contractor, adjustments of 5'-0" or more must have prior authorization of Landscape Architect.

22. Contractor is to familiarize himself with the layout, grading and civil engineering documents to coordinate actual location of trees and shrubs.
23. Maintenance Statement: All landscaping shown on this plan shall be maintained in a neat and adequate manner. Required maintenance activities shall include, but not limited to, mowing of lawns, trimming of hedges, adequate irrigation, replacement of dead, diseased or unsightly landscaping, removal of weeds from planted areas, and appropriate pruning of plant materials.

24. Take dimensions from back of curb, center line of trees, and centerline of light pole bases, unless otherwise noted.

25. Take all dimensions perpendicular to any reference line, centerline, or back of curb.

26. Written dimensions supersede scaled dimensions. Do not scale drawings, if there is a question regarding dimension, contact Landscape Architect for verification.

27. All landscaped areas shall be irrigated with an automatic irrigation system. Lawn areas will be sprayed and shrubs will be drip irrigated. Natural areas, such as those with prairie types of grasses and native shrub species, are designed to irrigate through grow-in and then be shut off except during severe drought. Contractor shall be responsible for taps, backflow prevention and winterization systems, sleeving under paved areas and all sprinkler system components necessary for a fully functional system. Trees shall be on a separate zone from turf.

28. Street Trees shall be placed 5'-0" min from buried utilities.

29. All proposed landscaping in the right-of-way shall be per the City of Colorado Springs Standards. Trees to be in accordance with current City of Colorado Springs Standards including approved species; family, genus and species quantity and percentage limits; and limitations on the quantity of same-species trees in a row. Installation of trees in right-of-way to be per City of Colorado Springs detail.

30. Proposed trees in the right-of-way shall be pre-approved by the Landscape Architect and shall be a minimum of 20' from property corners at intersections, 20' from street lights, outside of 30' corner sight triangles and 10' from edge of driveways, alleys and hydrants.

FOR CITY USE:



COLORADO SPRINGS
COLORADO CITY USA

Land Use Review
Approved

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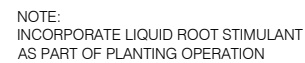
CONSULTING ENGINEERS & SURVEYORS

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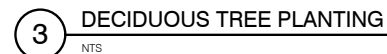
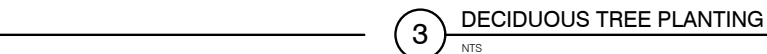
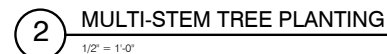
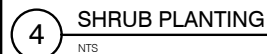
LAKESIDE HEIGHTS AT WOLF RANCH
FILING NO. 1
DEVELOPMENT PLAN
PRELIMINARY LANDSCAPE
SCHEDULE & NOTES

DESIGNED BY	PS	SCALE	DATE	8/30/23
DRAWN BY	TM	(H) 1"= N/A	SHEET 34	OF 74
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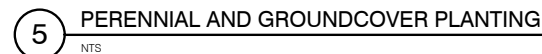
NOTES:

1. PRUNE ONLY DEAD OR BROKEN BRANCHES AND WEAK OR NARROW CROTCHES.
2. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
3. DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
4. AMENDED BACKFILL SHALL BE 1/3 COMPOST (PREFERABLY CLASSIFIED) AND 2/3 NATIVE AND/OR IMPORTED TOPSOIL.
5. ALL SHRUBS IN ROCK AREAS TO RECEIVE SHREDDED MULCH RINGS.
6. DEEP WATER ALL PLANTS AT TIME OF PLANTING.

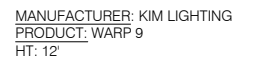


- NOTES:**
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. PROVIDE GAS & ELECTRICAL CONNECTIONS.
 3. PROVIDE EMERGENCY SHUTOFF IN ACCORDANCE WITH LOCAL CODES.

MANUFACTURER: PALOFORM
www.paloform.com
MODEL: ROBATA - LINEAR



- 6 FIRE PIT - TYPE 1
NOT TO SCALE




MANUFACTURE: PILOT ROCK
MODEL: #200X SINGLE PEDESTAL, ROTATING GRILL,
POWDER COATED BARBECUE
NOTES:
1. INSTALLATION PER MANUFACTURE
SPECIFICATIONS



- NOTES:
- 1) CORE DRILL 3" DIA MIN. HOLES 10" DEEP
 - 2) PREPARE HOLES WITH ANCHORING CEMENT SUCH AS KWIXSET OR SUPER POR-ROK.
 - 3) FOLLOW MANUFACTURERS DIRECTIONS REGARDING BLOWING OUT DUST AND REMOVING ANY EXCESS WATER
 - 4) PLACE BIKE RACK INTO CORRECT LOCATION AND ADD ANCHORING CEMENT
 - 5) WIPE AWAY EXCESS BEFORE IT HARDENS

MANUFACTURER: SPORTWORKS, INC.
PRODUCT: WESTPORT NO SCRATCH, EMBEDDED BIKE
 RACK
SIZE: 14.5"L x 3"W x 33"H
COLOR/FINISH: STAINLESS STEEL
QUANTITY: REFER TO DRAWINGS
SPACING: 2'-6" O.C. TYPICAL
CONTACT: 1.888.661.0555




CLASSIC
CONSULTING
ENGINEERS & SURVEYORS

619 N. Cascade Avenue, Suite 200 (719)785-0790
Colorado Springs, Colorado 80903 (719)785-0799 (Fax)

LAKESIDE HEIGHTS AT WOLF RANCH
FILING NO. 1
DEVELOPMENT PLAN
PRELIMINARY LANDSCAPE DETAILS

DESIGNED BY	PS	SCALE	DATE	8/30/23
DRAWN BY	TM	(H) 1" = N/A	SHEET 35	OF 74
CHECKED BY		(V) 1" = N/A	JOB NO.	2183.30

FOR CITY USE:



Land Use Review
Approved
11/27/2023
2:48:22 PM
kyle.fenner

TY FILE NUMBER
XX-XX-XXXX

CLASSIC
CONSULTING
ENGINEERS & SURVEYORS

MANUFACTURER: SITE PIECES
PRODUCT: MONOLINE



1 LITTER/RECYCLING
3/4" = 1'-0"

MANUFACTURER: SITE PIECES
PRODUCT: ALPINE 46ER



2 LOUNGE SEATING
NTS

MANUFACTURER: SITE PIECES
PRODUCT: MONOLINE
MATERIAL: ALUMINUM
COLOR: TBD



3 BENCH
NTS

MANUFACTURER: SITE PIECES
PRODUCT: MONOLINE COMMUNITY TABLE
MATERIAL: ALUMINUM
COLOR: TBD



4 PICNIC TABLE
NTS

MANUFACTURER: ANOVA
PRODUCT: VIBE CHAIR
MATERIAL: RECYCLED PLASTIC SLATS
COLOR: TBD



5 DINING CHAIR
NTS

MANUFACTURER: LANDSCAPE FORMS
PRODUCT: MORRISON TABLE AND MORRISON STOOL
MATERIAL: METAL
COLOR: TBD

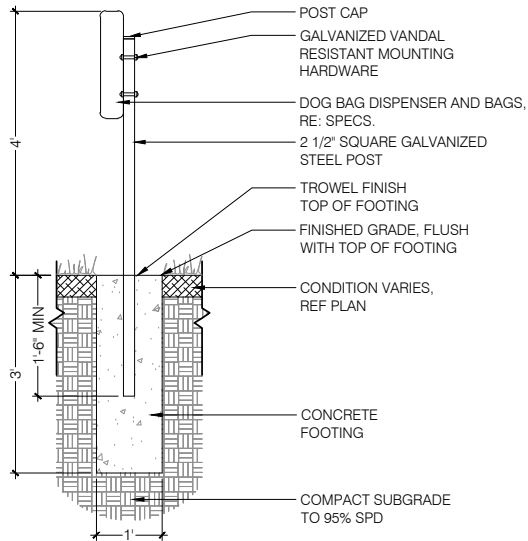


6 RECTANGULAR DINING TABLE AND STOOL
NTS

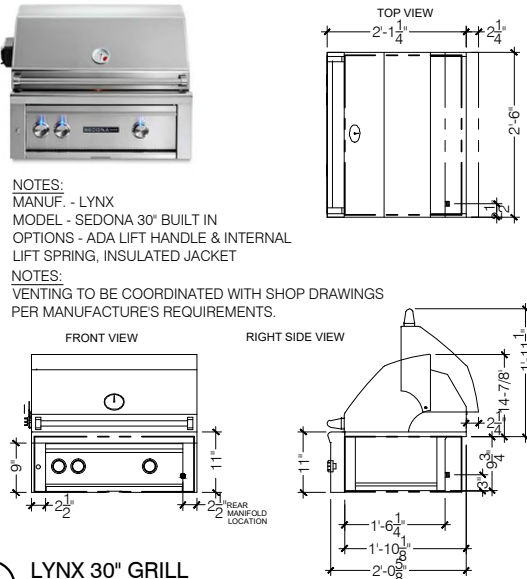
MANUFACTURER: SITE PIECES
PRODUCT: MONOLINE OPEN STOOL 40X20X16
COLOR: TBD



7 LOUNGE TABLE
NTS



8 DOG BAG DISPENSER
3/4" = 1'-0"

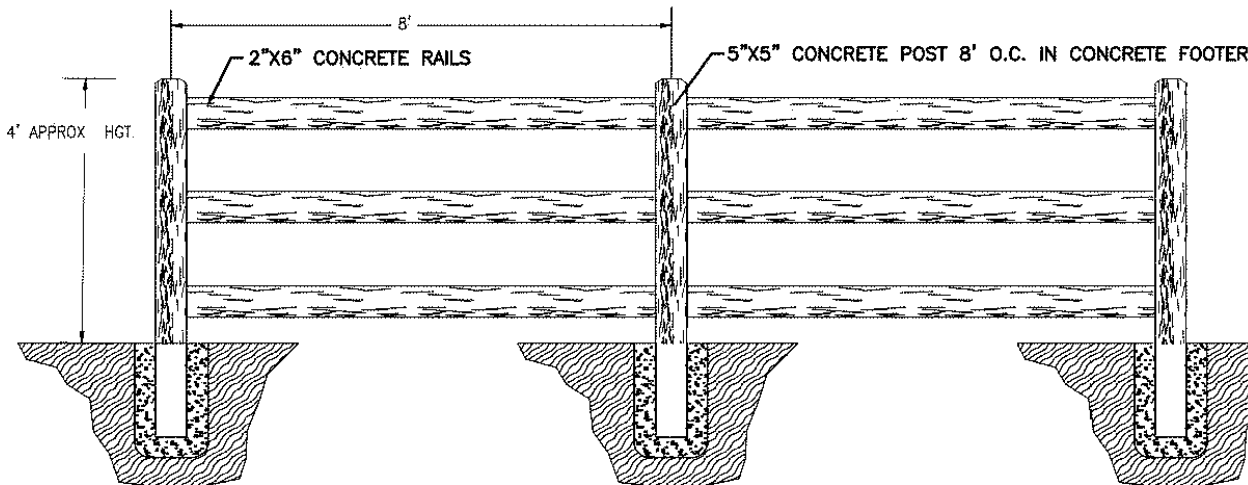


9 LYNX 30" GRILL
3/4" = 1'-0"

MANUFACTURER: ANOVA
MODEL: LEDGE LOUNGER PING PONG TABLE
COLOR: TBD



10 PING PONG TABLE
NTS



11 WOODCRETE 3-RAIL FENCE
3/4" = 1'-0"

P-WR-12

Dig
Studio

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CONSULTING
ENGINEERS & SURVEYORS

LAKESIDE HEIGHTS AT WOLF RANCH
FILING NO. 1

DEVELOPMENT PLAN
PRELIMINARY LANDSCAPE
DETAILS

DESIGNED BY	PS	SCALE	DATE	8/30/23
DRAWN BY	TM	(H) 1" = N/A	SHEET	36 OF 74
CHECKED BY	(V) 1" = N/A	JOB NO.	2183.30	

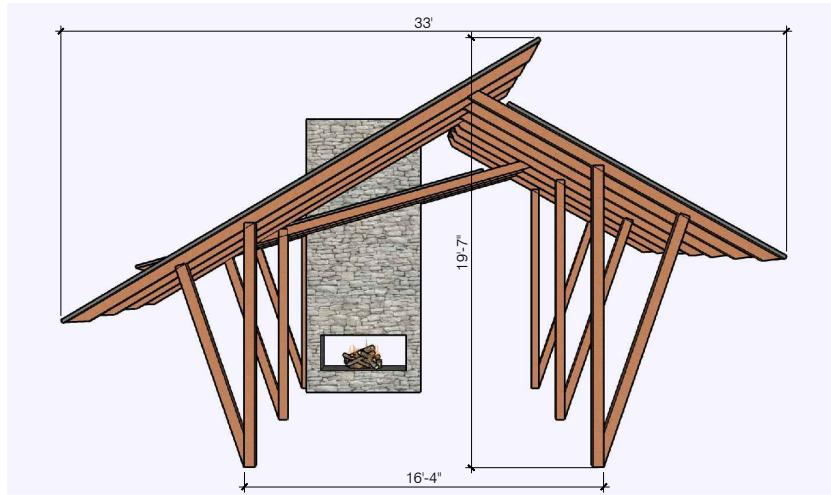
FOR CITY USE:

COLORADO SPRINGS
LAND USE REVIEW
11/27/2023
12:48:22 PM
kyle.fenner

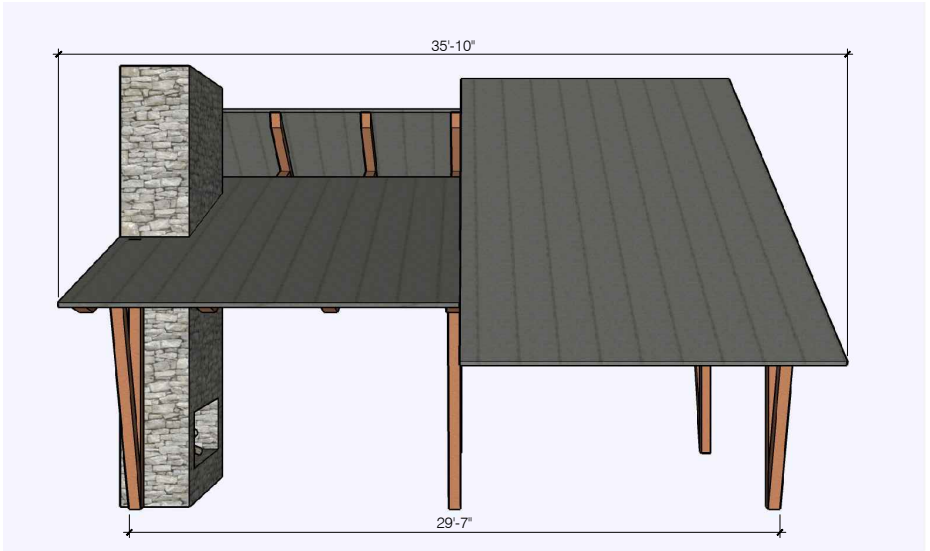
CITY FILE NUMBER
XXXX-XX-XXXX



DESIGN INTENT



FRONT ELEVATION



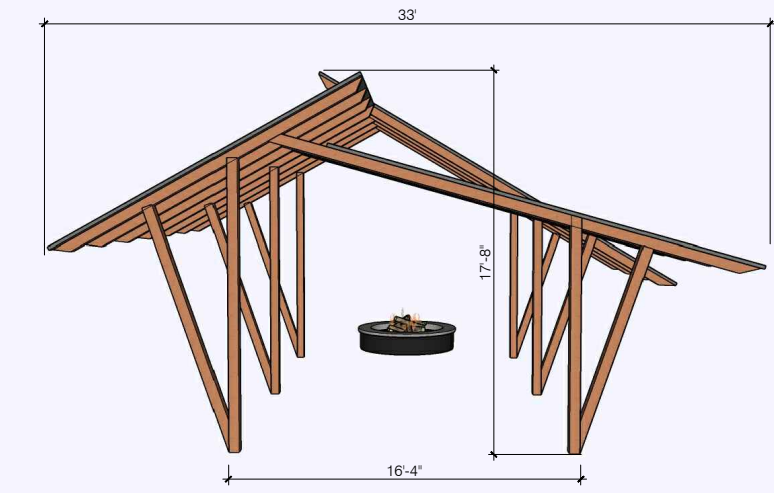
SIDE ELEVATION

1 LARGE SHADE STRUCTURE, TYPE 1

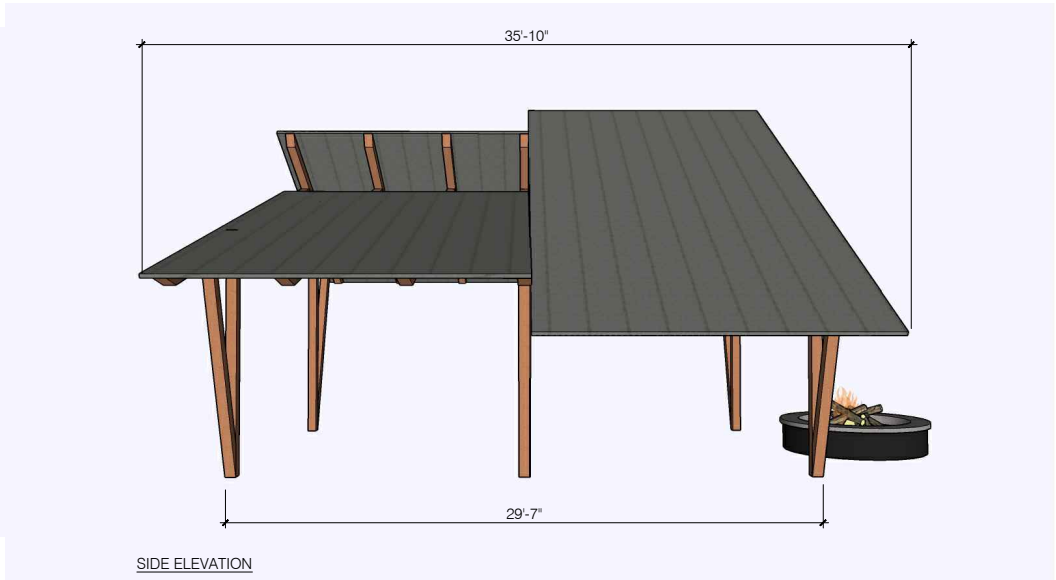
1/4" = 1'-0"



DESIGN INTENT



FRONT ELEVATION



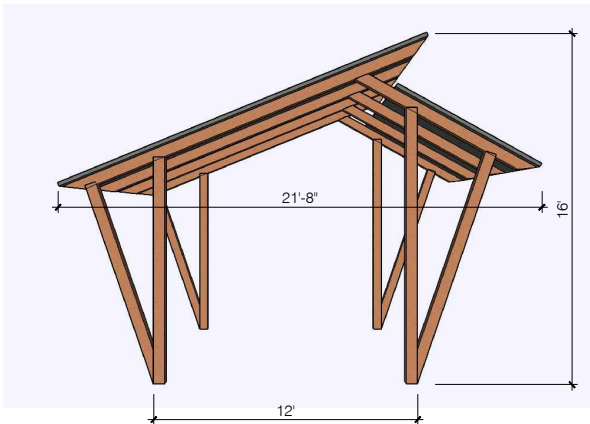
SIDE ELEVATION

2 LARGE SHADE STRUCTURE, TYPE 2

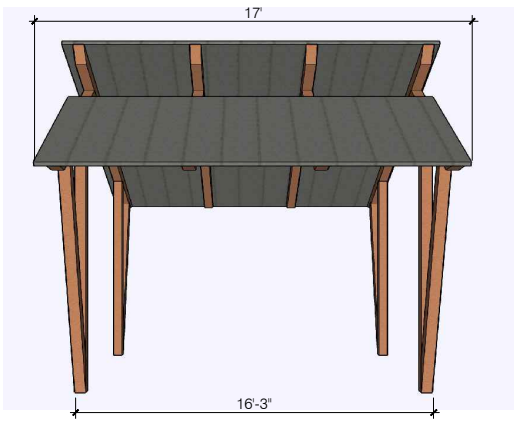
1/4" = 1'-0"



DESIGN INTENT



FRONT ELEVATION



SIDE ELEVATION

3 SMALL SHADE STRUCTURE

1/4" = 1'-0"

FOR CITY USE:

COLORADO SPRINGS
COLORADO CITY USA
Land Use Review
Approved
11/27/2023
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XXXX-XX-XXXX

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ENGINEERS & SURVEYORS

LAKESIDE HEIGHTS AT WOLF RANCH
FILING NO. 1
DEVELOPMENT PLAN
PRELIMINARY SHADE STRUCTURE
DETAILS

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619 N. Cascade Avenue, Suite 200
Colorado Springs, Colorado 80903
(719) 785-0790
(719) 785-0799 (Fax)

Community Center:
Landscape Setbacks

See code section/ Policy 320 & 317

Street Name or Zone Boundary	Street Classification	Width (In Ft.) Req./Prov.	Linear Footage	Tree/ Feet Required	No. of Trees Req./Prov.
Briargate Parkway	principal arterial	25'	430	1/20'	22/22
Wolf Valley Drive	residential collector	10'	400	1/30'	14/14

Internal Landscaping

See code section/ Policy 322 & 317

Net Site Area (SF)	Percent Minimum Area Internal Area (%)	Internal Area (SF) Req./Prov.	Internal Trees (1/500 SF) Req./Prov.
296,030	5%	14,802/120,145	30/147

Motor Vehicle Lots

See code section/ Policy 321 & 317

No. of Vehicles Spaces Provided	Shade Trees (1/15 Spaces) Req./ Prov.	Vehicle Lot Frontages	Length of Frontage (Excluding Driveways)	2/3 Length of Frontage (Ft.)
210	14/ 29	N/A	N/A	N/A

Apartments:
Landscape Setbacks

See code section/ Policy 320 & 317

Street Name or Zone Boundary	Street Classification	Width (In Ft.) Req./Prov.	Linear Footage	Tree/ Feet Required	No. of Trees Req./Prov.	Shrub Substitutes (10 Shrubs =1 Tree) Req./Prov.
Wolf Valley Drive	residential collector	10'	390	1/30'	14/13	10/ 10
Briargate Parkway	principal arterial	25'	940	1/20'	42/42	
Woodland Edge Drive	non-arterial	10'	525	1/30'	18/18	

Internal Landscaping

See code section/ Policy 322 & 317

Net Site Area (SF)	Percent Minimum Area Internal Area (%)	Internal Area (SF) Req./Prov.	Internal Trees (1/500 SF) Req./Prov.	Shrub Substitutes (10 Shrubs =1 Tree)
1,463,413	15%	219,511/ 210,655	439/ 230	2,090/ 2,090

Motor Vehicle Lots

See code section/ Policy 321 & 317

No. of Vehicles Spaces Provided	Shade Trees (1/15 Spaces) Req./ Prov.	Vehicle Lot Frontages	Length of Frontage (Excluding Driveways)	2/3 Length of Frontage (Ft.)
323	22/ 46	N/A	N/A	N/A

Landscape Buffer

See code section/ Policy 321 & 317

Street Classification	Width (In Ft.) Req./Prov.	Linear Footage	Tree/ Feet Required	No. of Trees Req./Prov.	Shrub Substitutes (10 Shrubs =1 Tree) Req./Prov.
Briargate Parkway	principal arterial	25'	880'	1/20'	44/ 31 130/ 130

Townhome:
Landscape Setbacks

See code section/ Policy 320 & 317

Street Name or Zone Boundary	Street Classification	Width (In Ft.) Req./Prov.	Linear Footage	Tree/ Feet Required	No. of Trees Req./Prov.	Shrub Substitutes (10 Shrubs =1 Tree) Req./Prov.
Wolf Valley Drive	residential collector	10'/ 10'	2009	1/30'	67/ 58	90/90
Allouche Public Street	non-arterial	10'/ 10'	470	1/30'	16/ 16	N/A
Woodland Edge Drive	non-arterial	10'/ 10'	290	1/30'	10/ 9	10/10

Shrub Substitutes (10 per 1 tree)
Req./Prov.

110/110

Internal Landscaping

See code section/ Policy 322 & 317

Net Site Area (SF)	Percent Minimum Area Internal Area (%)	Internal Area (SF) Req./Prov.	Internal Trees (1/500 SF) Req./Prov.
668,785	15%	100,318/ 533,716	201/395

Motor Vehicle Lots

See code section/ Policy 321 & 317

No. of Vehicles Spaces Provided	Shade Trees (1/15 Spaces) Req./ Prov.	Vehicle Lot Frontages	Length of Frontage (Excluding Driveways)	2/3 Length of Frontage (Ft.)
136	(9/24)	N/A	N/A	N/A

Landscape Buffer

See code section/ Policy 321 & 317

Zone Boundary	Zone Classification	Width (In Ft.) Req./Prov.	Linear Footage	Tree/ Feet Required	No. of Trees Req./Prov.
South western	Single Family	15'/ 15'	1338'	1/ 20'	67/ 68

SCHEMATIC LANDSCAPE DIAGRAM

CLIMATE ZONE:

FOOTHILLS

FOOTHILLS & PLAINS

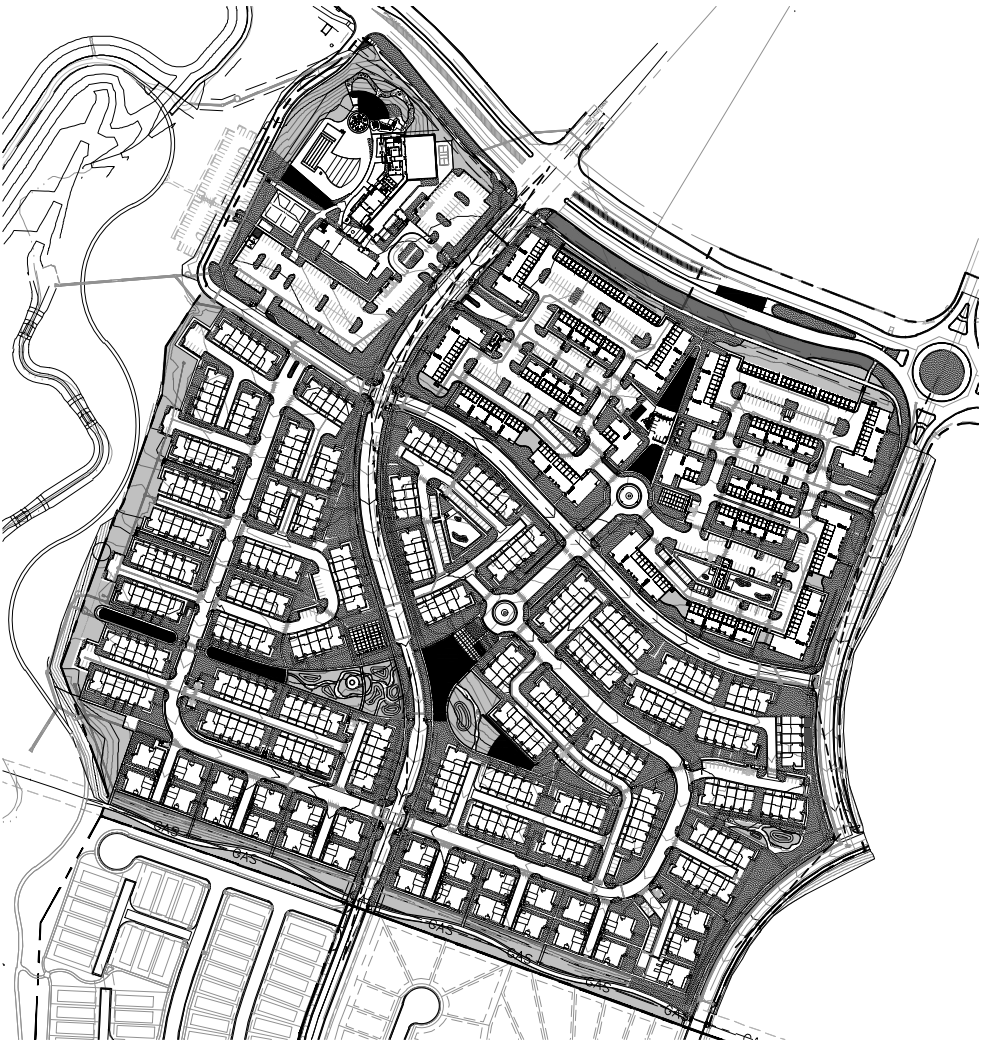
PLAINS

PLANT COMMUNITIES:

1. SEMIARID SHRUBLANDS
2. PINYON-JUNIPER WOODLANDS
3. PRAIRIE
4. LOWER ELEVATION RIPARIAN
5. FOOTHILL SHRUBLANDS
6. PONDEROSA PINE FOREST
7. UPPER ELEVATION RIPARIAN
8. DOUGLAS FIR FOREST

HYDROZONES:

- V - VERY LOW (0-7"/YR.)
L - LOW (7-15"/YR.)
M - MODERATE (15-25"/YR.)
H - HIGH (>25"/YR.)



FOR CITY USE:



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CITY FILE NUMBER
XXXX-XX-XXXX

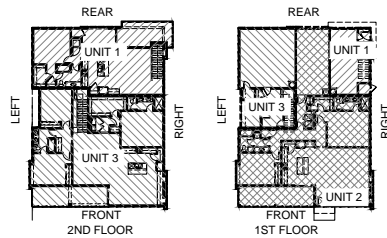


619 N. Cascade Avenue, Suite 200
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(719)785-0799 (Fax)

LAKESIDE HEIGHTS AT WOLF RANCH
FILING NO. 1

DEVELOPMENT PLAN
PRELIMINARY LANDSCAPE
CALCULATIONS

DESIGNED BY	PS	SCALE	DATE	8/30/23
DRAWN BY	TM	(H) 1"= N/A	SHEET	38 OF 74
CHECKED BY		(V) 1"= N/A	JOB NO.	2183.30



DEVELOPMENT PLAN FOR LAKESIDE HEIGHTS AT WOLF RANCH FILING NO. 1

LOCATED IN THE -- SW CORNER OF BRIARGAGE PARKWAY AND WOLF VALLEY DRIVE
CITY OF COLORADO SPRINGS AND EL PASO COUNTY

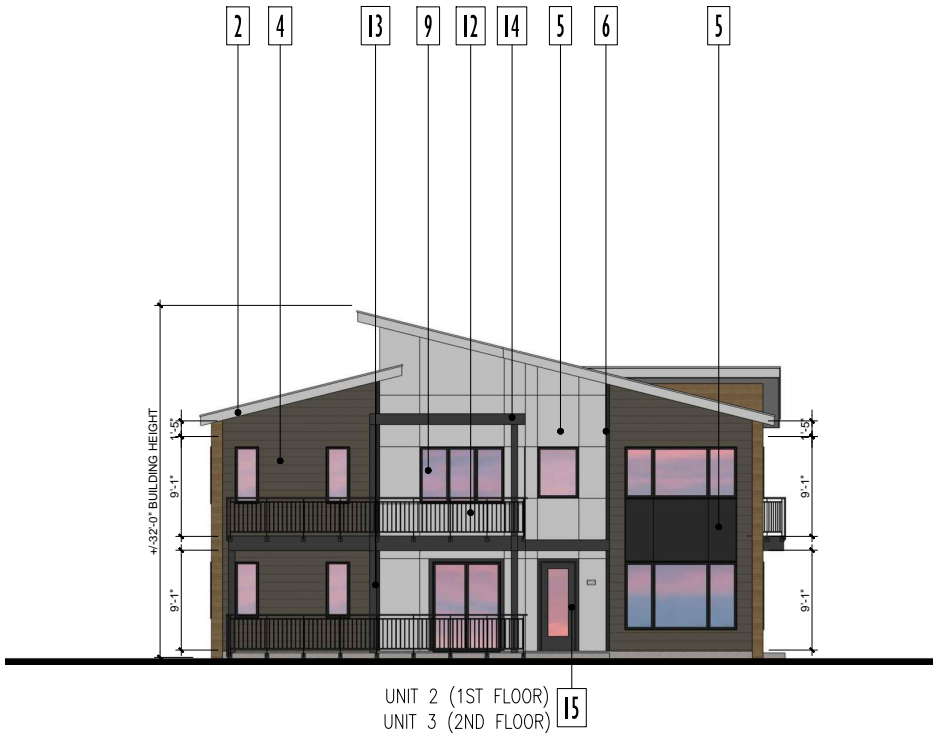
BUILDING KEY PLAN



LEFT ELEVATION

SCALE:
1/8" = 1'-0"

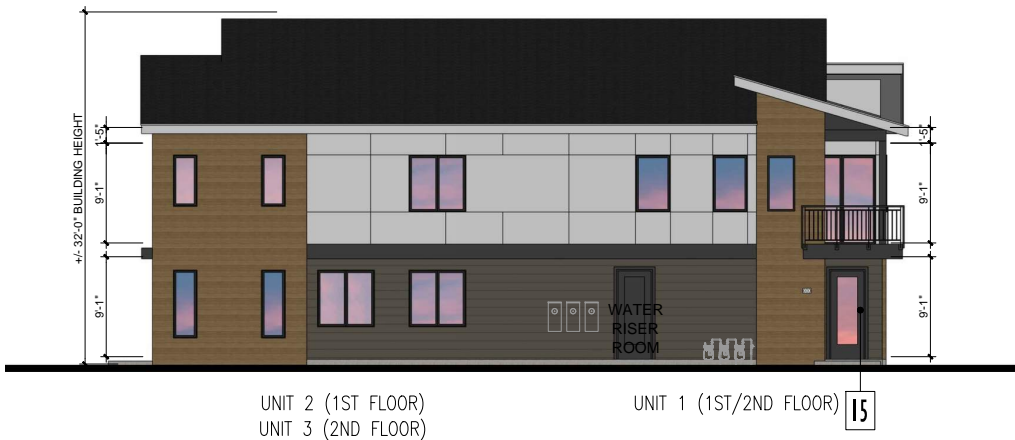
4



FRONT ELEVATION

SCALE:
1/8" = 1'-0"

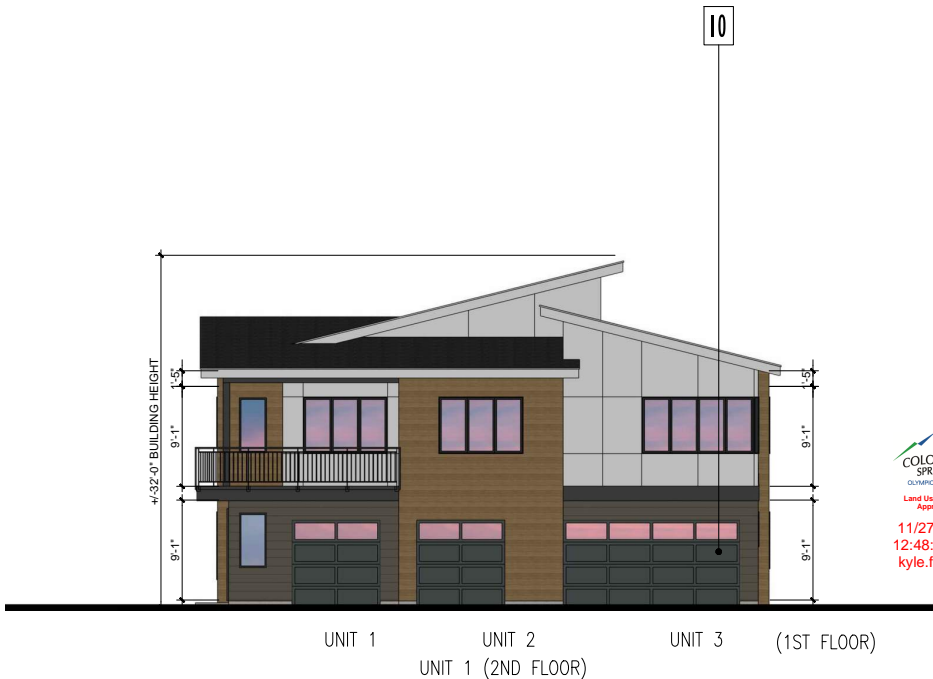
3



RIGHT ELEVATION

SCALE:
1/8" = 1'-0"

2



REAR ELEVATION

SCALE:
1/8" = 1'-0"

1

ELEVATION NOTES

- WHERE BUILDINGS OCCUR MULTIPLE TIMES, REFER TO ARCHITECTURAL SITE PLAN FOR ORIENTATION AND WHERE MIRRORING OR ROTATION DRAWINGS MAY BE REQUIRED.
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ELEVATION KEYNOTES

- | | |
|----|---|
| 1 | ASPHALT CLASS 4 IMPACT RESISTANCE SHINGLE ROOFING (DARK CHARCOAL COLOR) |
| 2 | WOOD FASCIA BOARD (LIGHT GRAY COLOR) |
| 3 | FIBER CEMENT SMOOTH PANEL FASCIA/EAVE (LIGHT GRAY COLOR) |
| 4 | FIBER CEMENT LAP SIDING (DARK GRAY COLOR 1) |
| 5 | FIBER CEMENT SMOOTH PANEL SIDING (CHARCOAL COLOR) |
| 6 | WOOD OR COMPOSITE TRIM (CHARCOAL COLOR) |
| 7 | FIBER CEMENT HORIZONTAL SIDING (STAINED WOOD-LOOK) |
| 8 | FIBER CEMENT VERTICAL SIDING (STAINED WOOD-LOOK) |
| 9 | VINYL WINDOW SYSTEM (CHARCOAL COLOR) |
| 10 | METAL SECTIONAL GARAGE DOOR (DARK GRAY COLOR 2) |
| 11 | FIBER CEMENT SHINGLE SIDING (DARK GRAY COLOR 1) |
| 12 | METAL GUARDRAILS (CHARCOAL COLOR) |
| 13 | 2"X 8" S4S WOOD POST (CHARCOAL COLOR) |
| 14 | METAL TRELLIS/AWNING (CHARCOAL COLOR) |
| 15 | FRONT DOOR (ACCENT COLOR) |

SITE KEY PLAN



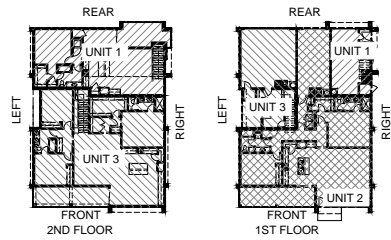
KTGY Project No: 20210935

KTGY
Architecture | Branding | Interiors | Planning
3660 Blake Street
Suite 500
Denver, CO 80205
ktgy.com
303.825.6400

No.	Date	Description
1	03/21/23	DP SUBMITTAL
2	05/16/23	DP SUBMITTAL

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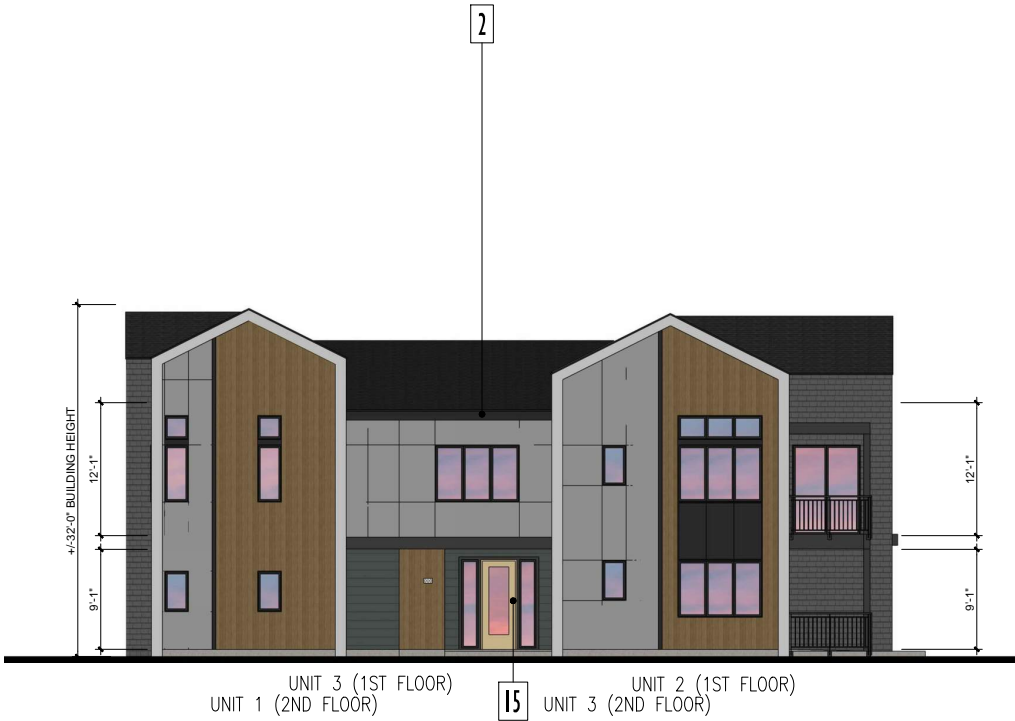
TRIPLEX A ELEVATION



DEVELOPMENT PLAN FOR LAKESIDE HEIGHTS AT WOLF RANCH FILING NO. 1

LOCATED IN THE -- SW CORNER OF BRIARGAGE PARKWAY AND WOLF VALLEY DRIVE
CITY OF COLORADO SPRINGS AND EL PASO COUNTY

BUILDING KEY PLAN



LEFT ELEVATION

SCALE:
1/8" = 1'-0"

4



FRONT ELEVATION

SCALE:
1/8" = 1'-0"

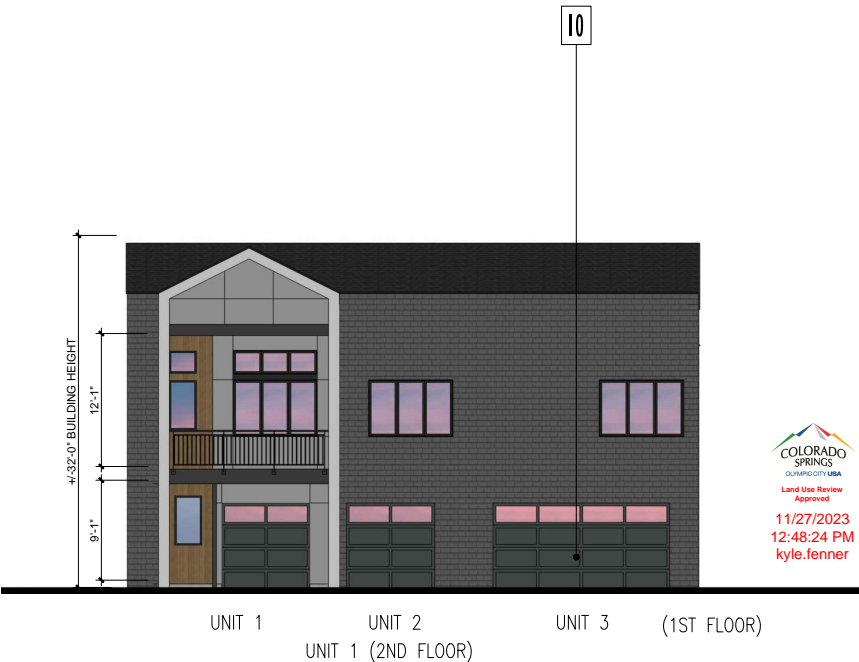
3



RIGHT ELEVATION

SCALE:
1/8" = 1'-0"

2



REAR ELEVATION

SCALE:
1/8" = 1'-0"

1

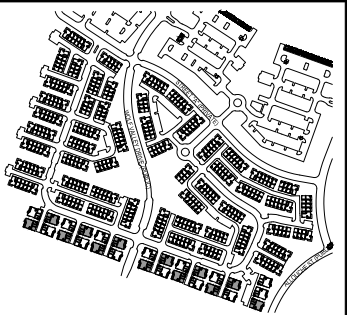
ELEVATION NOTES

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ELEVATION KEYNOTES

- | | |
|----|---|
| 1 | ASPHALT CLASS 4 IMPACT RESISTANCE SHINGLE ROOFING (DARK CHARCOAL COLOR) |
| 2 | WOOD FASCIA BOARD (LIGHT GRAY COLOR) |
| 3 | FIBER CEMENT SMOOTH PANEL FASCIA/EAVE (LIGHT GRAY COLOR) |
| 4 | FIBER CEMENT LAP SIDING (DARK GRAY COLOR 1) |
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SITE KEY PLAN



KTGY Project No: 20210935

KTGY
Architecture | Branding | Interiors | Planning
3660 Blake Street
Suite 500
Denver, CO 80205
ktgy.com
303.825.6400



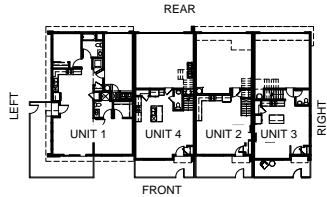
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TRIPLEX B ELEVATION

DEVELOPMENT PLAN FOR
LAKESIDE HEIGHTS AT WOLF RANCH FILING NO. 1

LOCATED IN THE -- SW CORNER OF BRIARGAGE PARKWAY AND WOLF VALLEY DRIVE
CITY OF COLORADO SPRINGS AND EL PASO COUNTY



BUILDING KEY PLAN

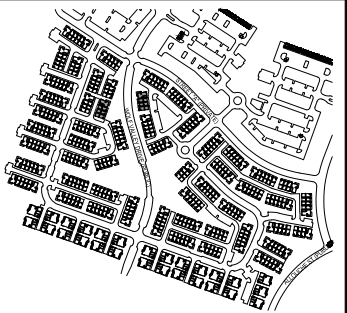
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SITE KEY PLAN



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Architecture | Branding | Interiors | Planning
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Suite 500
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4-PLEX A ELEVATION



UNIT 1

LEFT ELEVATION

SCALE:
1/8" = 1'-0"

4



UNIT 1

UNIT 4

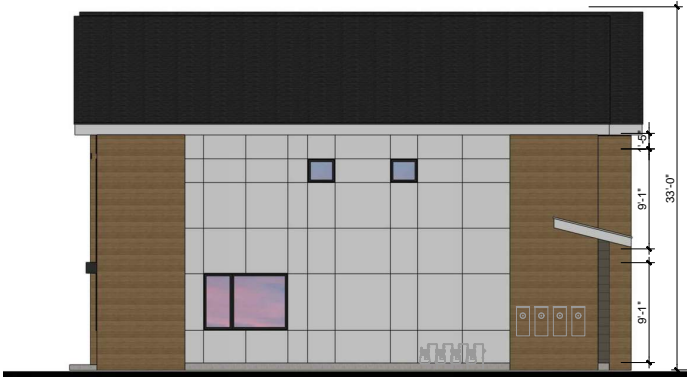
UNIT 2

UNIT 3

FRONT ELEVATION

SCALE:
1/8" = 1'-0"

3



UNIT 3

RIGHT ELEVATION

SCALE:
1/8" = 1'-0"

2



UNIT 3

UNIT 2

UNIT 4

UNIT 1

REAR ELEVATION

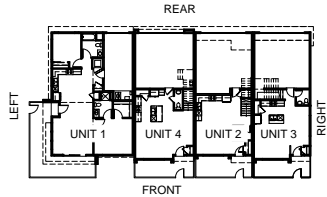
SCALE:
1/8" = 1'-0"

1



DEVELOPMENT PLAN FOR
LAKESIDE HEIGHTS AT WOLF RANCH FILING NO. 1

LOCATED IN THE -- SW CORNER OF BRIARGAGE PARKWAY AND WOLF VALLEY DRIVE
CITY OF COLORADO SPRINGS AND EL PASO COUNTY



BUILDING KEY PLAN

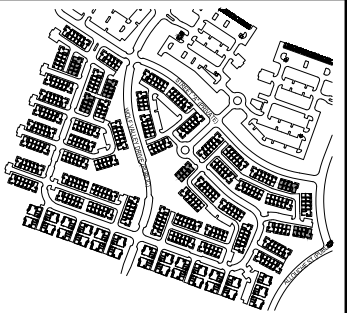
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ELEVATION KEYNOTES

- | | |
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| 1 | ASPHALT CLASS 4 IMPACT RESISTANCE SHINGLE ROOFING (DARK CHARCOAL COLOR) |
| 2 | WOOD FASCIA BOARD (LIGHT GRAY COLOR) |
| 3 | FIBER CEMENT SMOOTH PANEL FASCIA/EAVE (LIGHT GRAY COLOR) |
| 4 | FIBER CEMENT LAP SIDING (DARK GRAY COLOR 1) |
| 5 | FIBER CEMENT SMOOTH PANEL SIDING (CHARCOAL COLOR) |
| 6 | WOOD OR COMPOSITE TRIM (CHARCOAL COLOR) |
| 7 | FIBER CEMENT HORIZONTAL SIDING (STAINED WOOD-LOOK) |
| 8 | FIBER CEMENT VERTICAL SIDING (STAINED WOOD-LOOK) |
| 9 | VINYL WINDOW SYSTEM (CHARCOAL COLOR) |
| 10 | METAL SECTIONAL GARAGE DOOR (DARK GRAY COLOR 2) |
| 11 | FIBER CEMENT SHINGLE SIDING (DARK GRAY COLOR 1) |
| 12 | METAL GUARDRAILS (CHARCOAL COLOR) |
| 13 | 8"X 8" S4S WOOD POST (CHARCOAL COLOR) |
| 14 | METAL TRELLIS/AWNING (CHARCOAL COLOR) |
| 15 | FRONT DOOR (ACCENT COLOR) |

SITE KEY PLAN



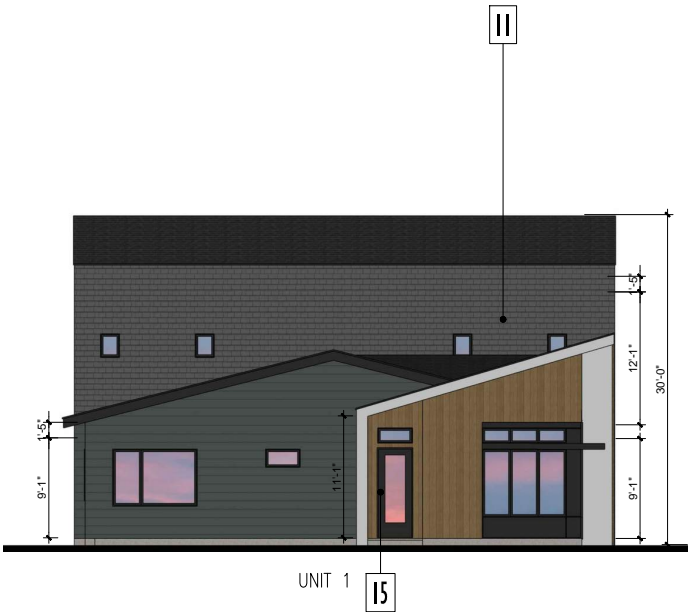
KTGY Project No: 20210935

KTGY
Architecture | Branding | Interiors | Planning
3660 Blake Street
Suite 500
Denver, CO 80205
ktgy.com
303.825.6400

No.	Date	Description
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4-PLEX B ELEVATION



LEFT ELEVATION

SCALE:
1/8" = 1'-0"

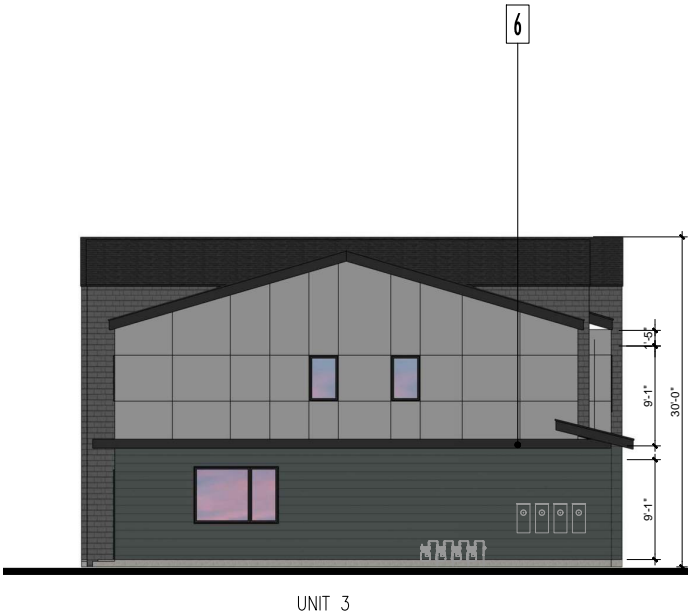
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FRONT ELEVATION

SCALE:
1/8" = 1'-0"

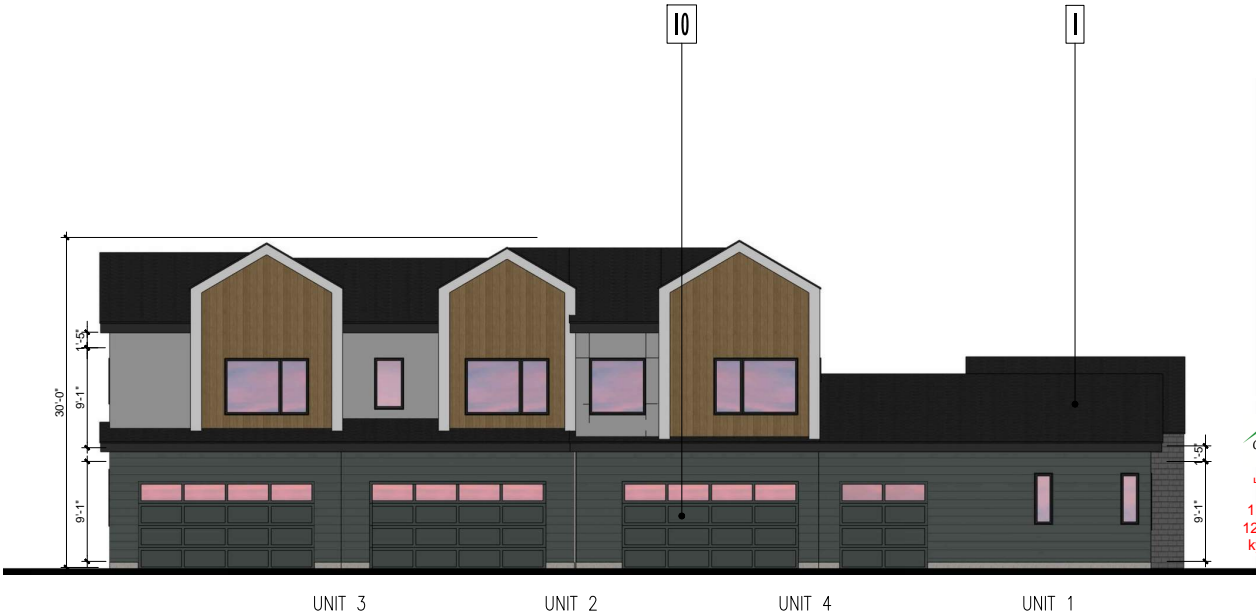
3



RIGHT ELEVATION

SCALE:
1/8" = 1'-0"

2



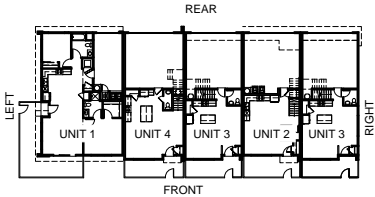
REAR ELEVATION

SCALE:
1/8" = 1'-0"

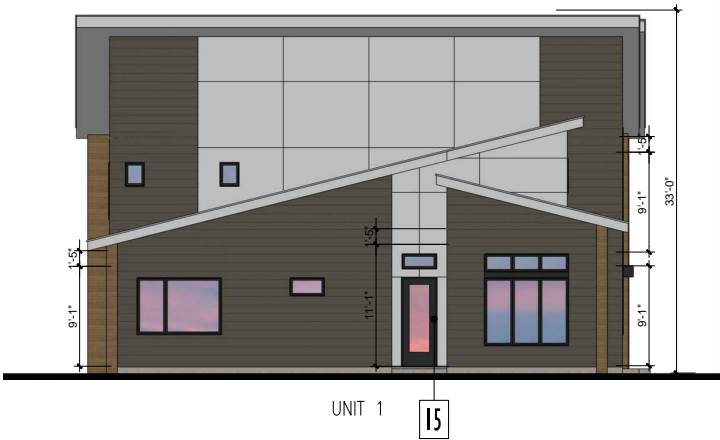
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DEVELOPMENT PLAN FOR
LAKESIDE HEIGHTS AT WOLF RANCH FILING NO. 1

LOCATED IN THE -- SW CORNER OF BRIARGAGE PARKWAY AND WOLF VALLEY DRIVE
CITY OF COLORADO SPRINGS AND EL PASO COUNTY



BUILDING KEY PLAN



LEFT ELEVATION

SCALE:
1/8" = 1'-0"

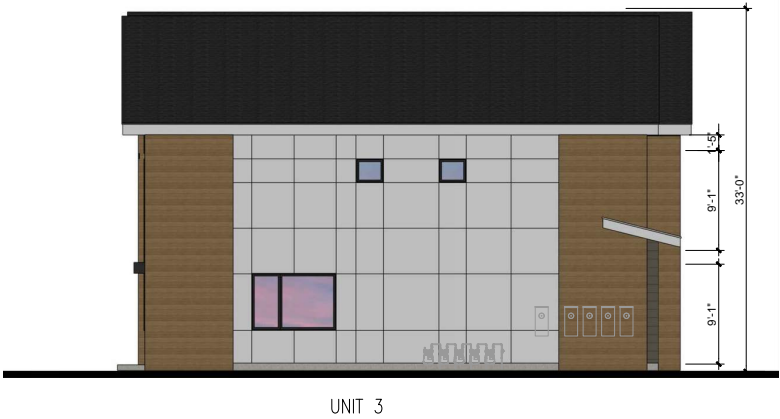
4



FRONT ELEVATION

SCALE:
1/8" = 1'-0"

3



RIGHT ELEVATION

SCALE:
1/8" = 1'-0"

2



REAR ELEVATION

SCALE:
1/8" = 1'-0"

1

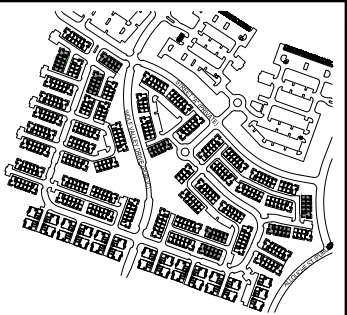
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SITE KEY PLAN



KTGY Project No: 20210935

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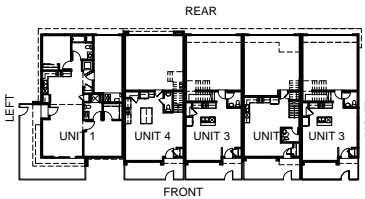
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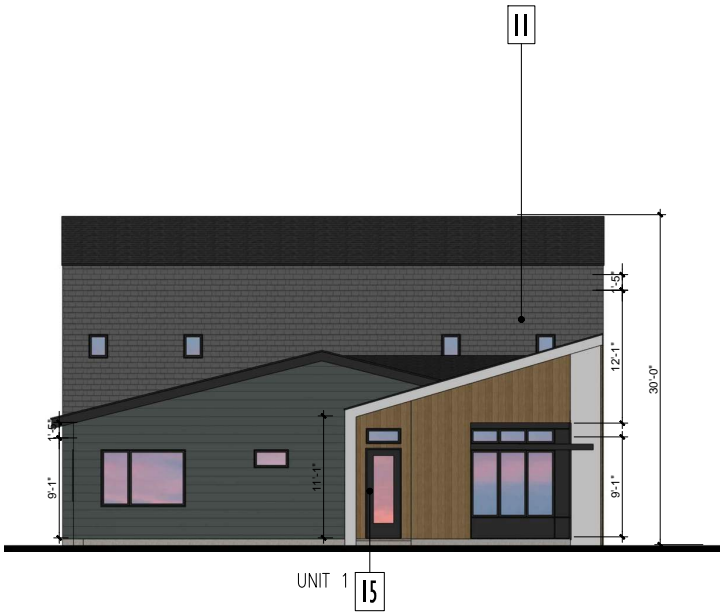
5-PLEX A ELEVATION

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LAKESIDE HEIGHTS AT WOLF RANCH FILING NO. 1

LOCATED IN THE -- SW CORNER OF BRIARGAGE PARKWAY AND WOLF VALLEY DRIVE
CITY OF COLORADO SPRINGS AND EL PASO COUNTY



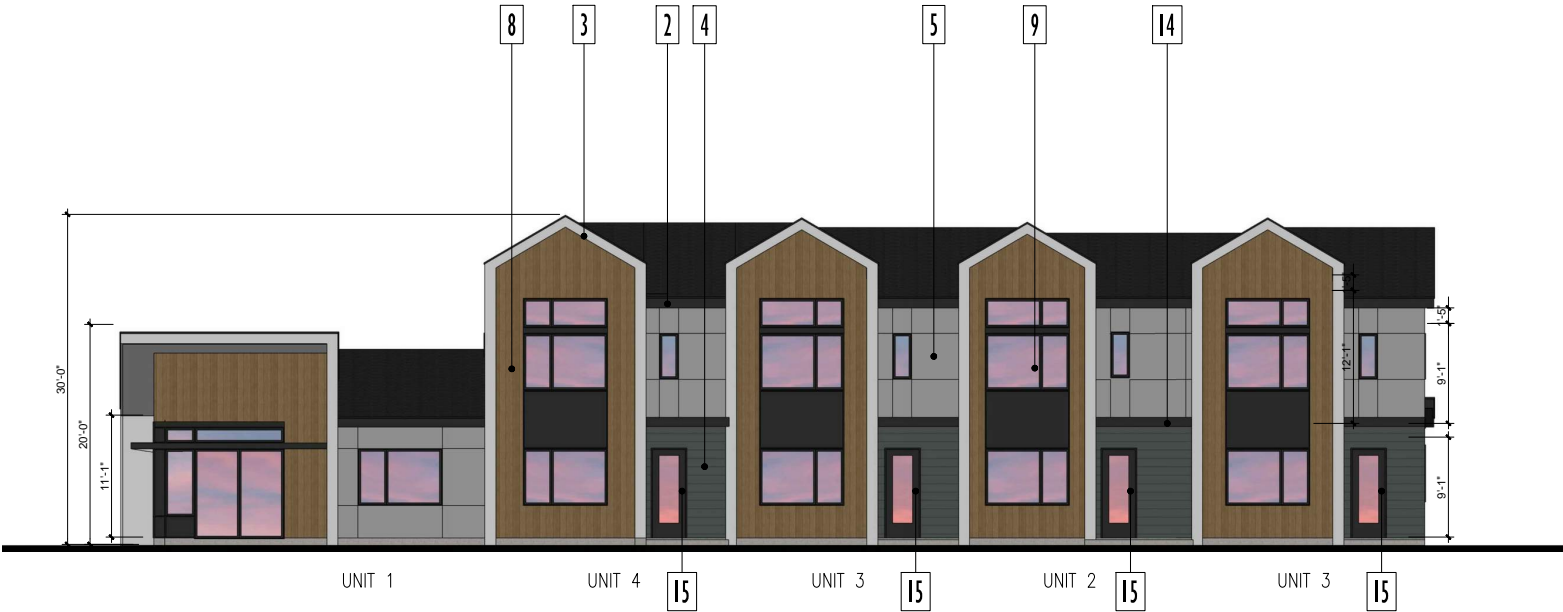
BUILDING KEY PLAN



LEFT ELEVATION

SCALE:
1/8" = 1'-0"

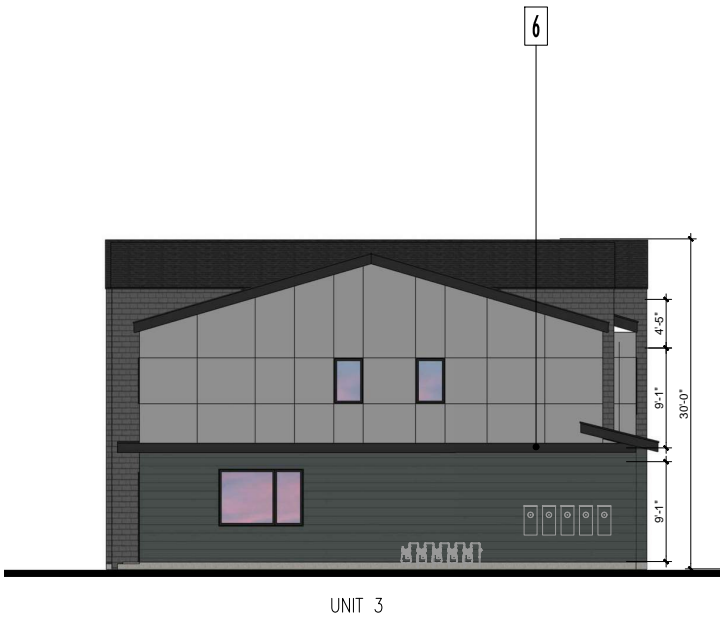
4



FRONT ELEVATION

SCALE:
1/8" = 1'-0"

2



RIGHT ELEVATION

SCALE:
1/8" = 1'-0"

3



REAR ELEVATION

SCALE:
1/8" = 1'-0"

1

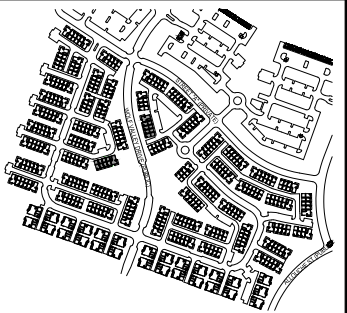
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SITE KEY PLAN



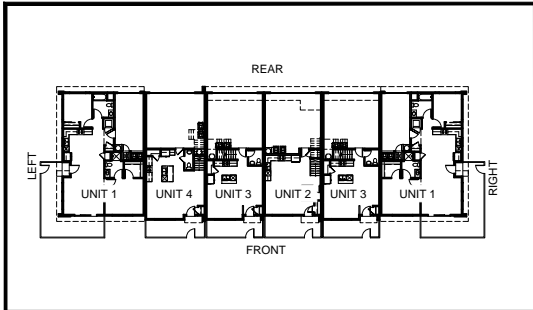
KTGY Project No: 20210935

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5-PLEX B ELEVATION



BUILDING KEY PLAN

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CITY OF COLORADO SPRINGS AND EL PASO COUNTY

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| 15 | FRONT DOOR (ACCENT COLOR) |

SITE KEY PLAN



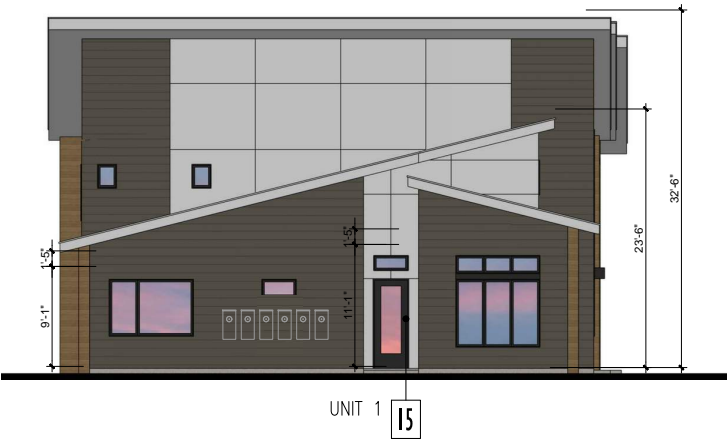
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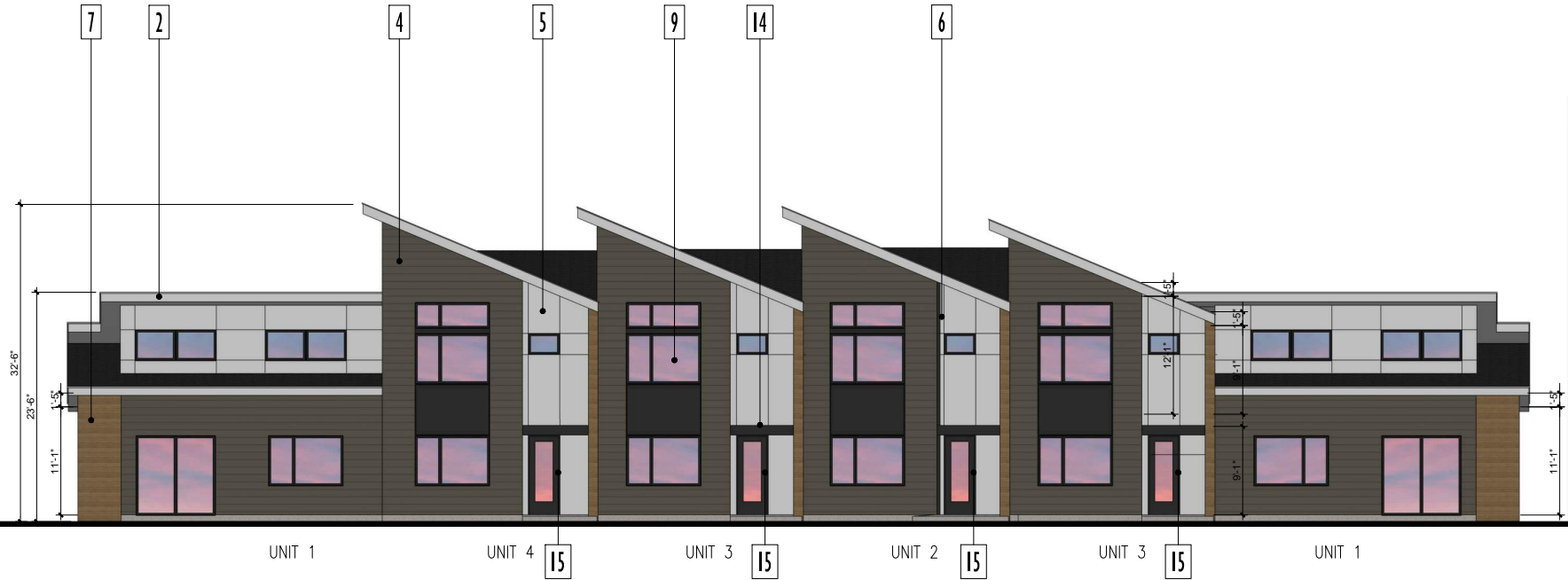
6-PLEX A ELEVATION



LEFT ELEVATION

SCALE:
1/8" = 1'-0"

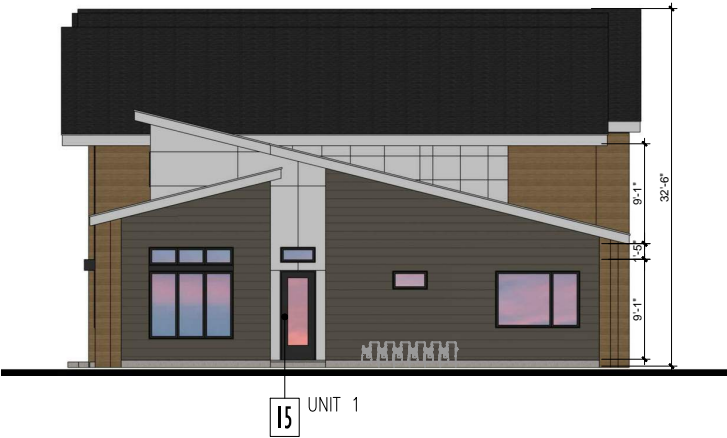
4



FRONT ELEVATION

SCALE:
1/8" = 1'-0"

2



RIGHT ELEVATION

SCALE:
1/8" = 1'-0"

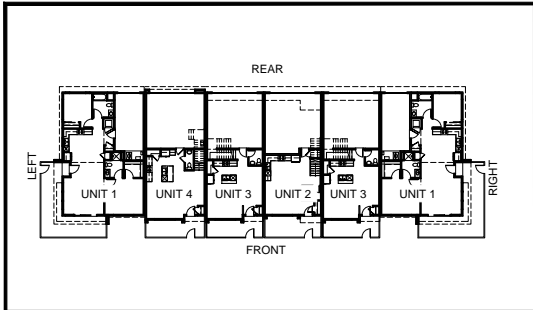
3



REAR ELEVATION

SCALE:
1/8" = 1'-0"

1



BUILDING KEY PLAN

DEVELOPMENT PLAN FOR LAKESIDE HEIGHTS AT WOLF RANCH FILING NO. 1

LOCATED IN THE -- SW CORNER OF BRIARGAGE PARKWAY AND WOLF VALLEY DRIVE
CITY OF COLORADO SPRINGS AND EL PASO COUNTY

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SITE KEY PLAN



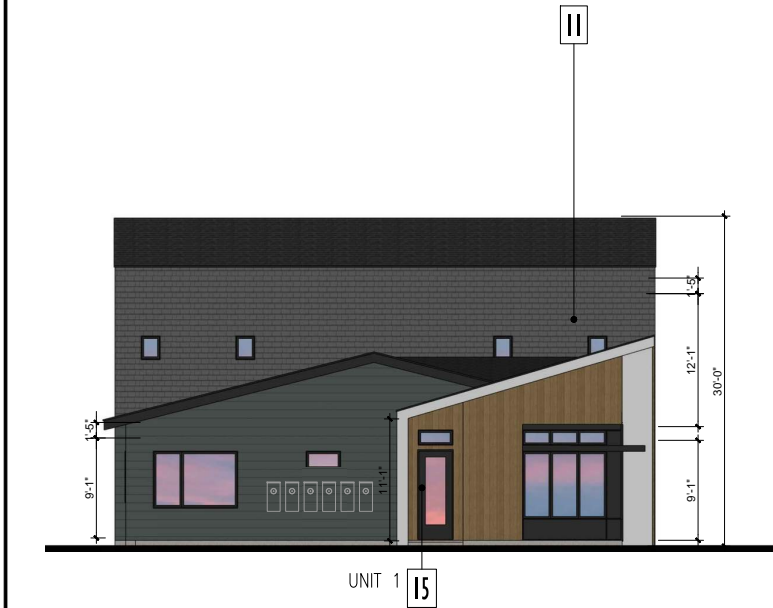
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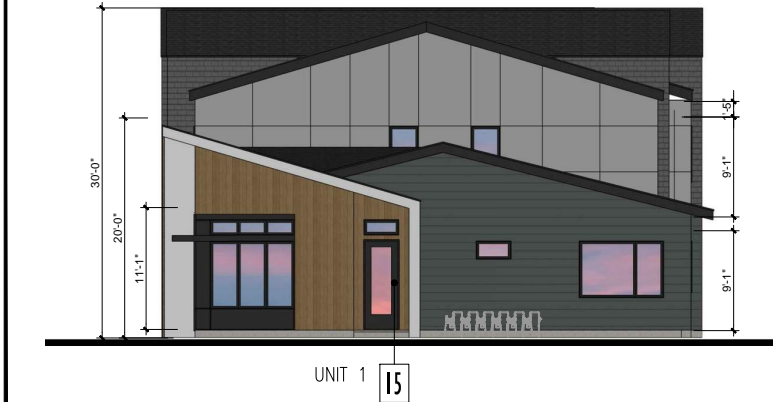
4



FRONT ELEVATION

SCALE:
1/8" = 1'-0"

2



RIGHT ELEVATION

SCALE:
1/8" = 1'-0"

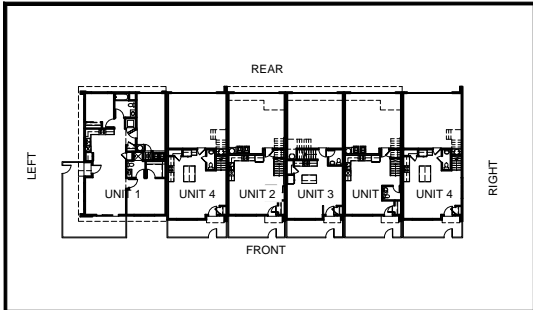
3



REAR ELEVATION

SCALE:
1/8" = 1'-0"

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BUILDING KEY PLAN

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LOCATED IN THE -- SW CORNER OF BRIARGAGE PARKWAY AND WOLF VALLEY DRIVE
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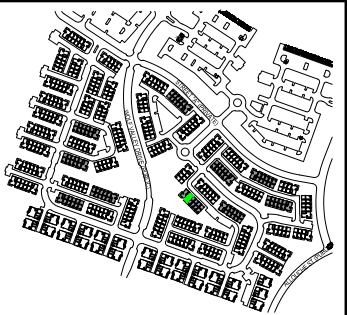
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LEFT ELEVATION

SCALE:
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4



FRONT ELEVATION

SCALE:
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2



RIGHT ELEVATION

SCALE:
1/8" = 1'-0"

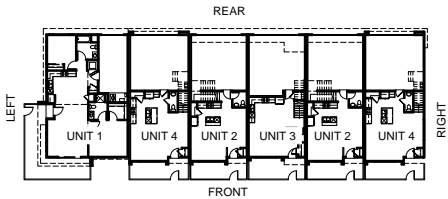
3



REAR ELEVATION

SCALE:
1/8" = 1'-0"

1



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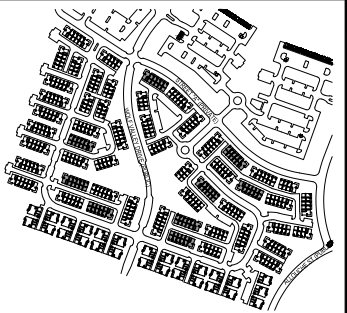
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- AT OUTSIDE CORNERS WHERE THIN BRICK OR STONE OCCURS PROVIDE CORNER PIECE.
- WHERE REVEALS ARE SHOWN THEY, AND THEIR ASSOCIATED WALL FINISH, ARE TO CONTINUE AROUND THE OUTSIDE CORNER CONDITION AND TERMINATE AT THE NEAREST INSIDE CORNER UNLESS NOTED OTHERWISE.

ELEVATION KEYNOTES

- ASPHALT CLASS 4 IMPACT RESISTANCE SHINGLE ROOFING (DARK CHARCOAL COLOR)
- WOOD FASCIA BOARD (LIGHT GRAY COLOR)
- FIBER CEMENT SMOOTH PANEL FASCIA/EAVE (LIGHT GRAY COLOR)
- FIBER CEMENT LAP SIDING (DARK GRAY COLOR 1)
- FIBER CEMENT SMOOTH PANEL SIDING (CHARCOAL COLOR)
- WOOD OR COMPOSITE TRIM (CHARCOAL COLOR)
- FIBER CEMENT HORIZONTAL SIDING (STAINED WOOD-LOOK)
- FIBER CEMENT VERTICAL SIDING (STAINED WOOD-LOOK)
- VINYL WINDOW SYSTEM (CHARCOAL COLOR)
- METAL SECTIONAL GARAGE DOOR (DARK GRAY COLOR 2)
- FIBER CEMENT SHINGLE SIDING (DARK GRAY COLOR 1)
- METAL GUARDRAILS (CHARCOAL COLOR)
- 8"X 8" S4S WOOD POST (CHARCOAL COLOR)
- METAL TRELLIS/AWNING (CHARCOAL COLOR)
- FRONT DOOR (ACCENT COLOR)

SITE KEY PLAN



KTGY Project No: 20210935

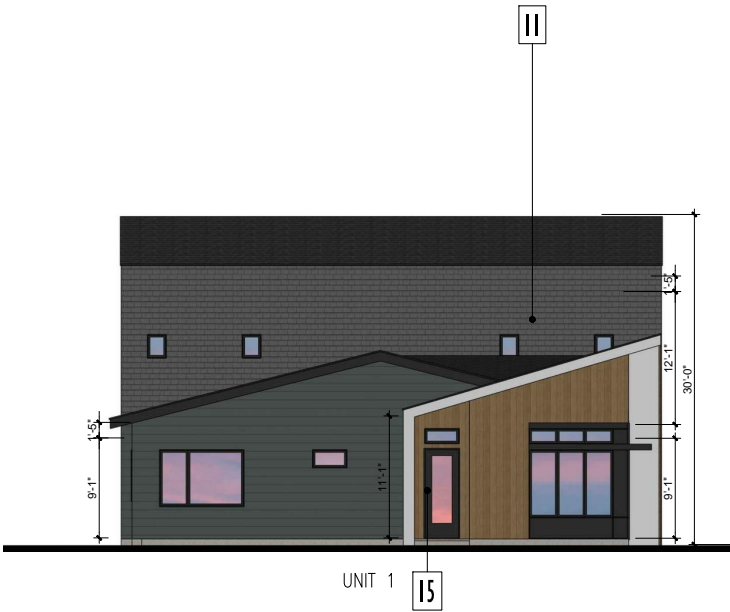
KTGY
Architecture | Branding | Interiors | Planning
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Denver, CO 80205
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303.825.6400

No.	Date	Description
1	03/21/23	DP SUBMITTAL
2	05/16/23	DP SUBMITTAL

It is the clients responsibility prior to or during construction to notify the architect in writing of any perceived errors or omissions in the plans and specifications of which a contractor thoroughly knowledgeable with the building codes and methods of construction should reasonably be aware. Written instructions addressing such perceived errors or omissions shall be received from the architect prior to the client or clients subcontractors proceeding with the work. The client will be responsible for any defects in construction if these procedures are not followed.

6-PLEX ALT B ELEVATION

SHEET 48 OF 74



LEFT ELEVATION

SCALE:
1/8" = 1'-0"

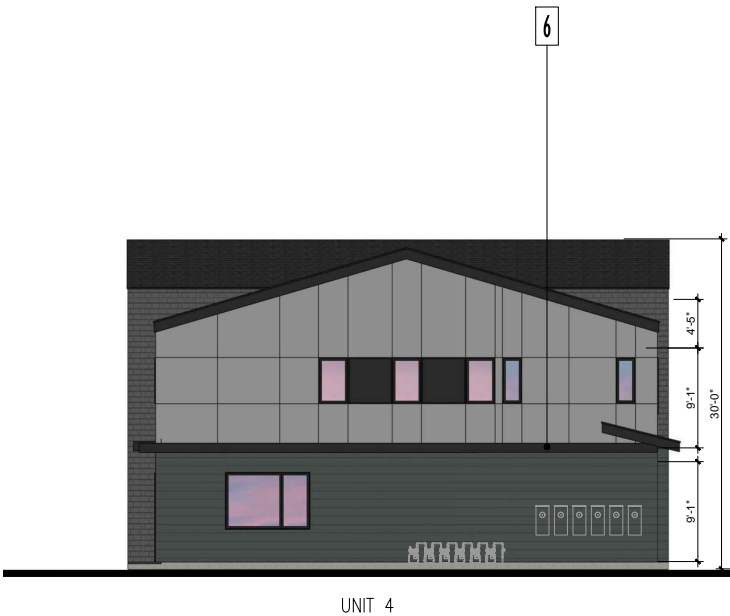
4



FRONT ELEVATION

SCALE:
1/8" = 1'-0"

2



RIGHT ELEVATION

SCALE:
1/8" = 1'-0"

3



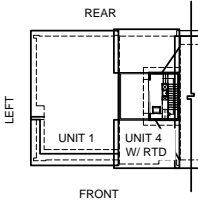
REAR ELEVATION

SCALE:
1/8" = 1'-0"

1

DEVELOPMENT PLAN FOR
LAKESIDE HEIGHTS AT WOLF RANCH FILING NO. 1

LOCATED IN THE -- SW CORNER OF BRIARGAGE PARKWAY AND WOLF VALLEY DRIVE
CITY OF COLORADO SPRINGS AND EL PASO COUNTY



BUILDING KEY PLAN

ELEVATION NOTES

- WHERE BUILDINGS OCCUR MULTIPLE TIMES, REFER TO ARCHITECTURAL SITE PLAN FOR ORIENTATION AND WHERE MIRRORING OR ROTATION DRAWINGS MAY BE REQUIRED.
- SLAB STEPS SHOWN FOR GRAPHIC REPRESENTATION ONLY. REFER TO CIVIL FOR ACTUAL FINISH FLOOR ELEVATIONS
- ROOFTOP EQUIPMENT, IF PROPOSED SHALL BE SCREENED FROM VIEW. CONDENSERS ARE PROPOSED AT GRADE TYPICAL AND WILL BE SCREENED FROM VIEW.
- ALL DOWNSPOUTS TO BE PAINTED TO MATCH ADJACENT SURFACES
- AT OUTSIDE CORNERS WHERE THIN BRICK OR STONE OCCURS PROVIDE CORNER PIECE.
- WHERE REVEALS ARE SHOWN THEY, AND THEIR ASSOCIATED WALL FINISH, ARE TO CONTINUE AROUND THE OUTSIDE CORNER CONDITION AND TERMINATE AT THE NEAREST INSIDE CORNER UNLESS NOTED OTHERWISE.

ELEVATION KEYNOTES

- | | |
|----|---|
| 1 | ASPHALT CLASS 4 IMPACT RESISTANCE SHINGLE ROOFING (DARK CHARCOAL COLOR) |
| 2 | WOOD FASCIA BOARD (LIGHT GRAY COLOR) |
| 3 | FIBER CEMENT SMOOTH PANEL FASCIA/EAVE (LIGHT GRAY COLOR) |
| 4 | FIBER CEMENT LAP SIDING (DARK GRAY COLOR 1) |
| 5 | FIBER CEMENT SMOOTH PANEL SIDING (CHARCOAL COLOR) |
| 6 | WOOD OR COMPOSITE TRIM (CHARCOAL COLOR) |
| 7 | FIBER CEMENT HORIZONTAL SIDING (STAINED WOOD-LOOK) |
| 8 | FIBER CEMENT VERTICAL SIDING (STAINED WOOD-LOOK) |
| 9 | VINYL WINDOW SYSTEM (CHARCOAL COLOR) |
| 10 | METAL SECTIONAL GARAGE DOOR (DARK GRAY COLOR 2) |
| 11 | FIBER CEMENT SHINGLE SIDING (DARK GRAY COLOR 1) |
| 12 | METAL GUARDRAILS (CHARCOAL COLOR) |
| 13 | 8"X 8" S4S WOOD POST (CHARCOAL COLOR) |
| 14 | METAL TRELLIS/AWNING (CHARCOAL COLOR) |
| 15 | FRONT DOOR (ACCENT COLOR) |

SITE KEY PLAN



PARTIAL REAR ELEVATION

SCALE:
1/8" = 1'-0"

1



LEFT ELEVATION

SCALE:
1/8" = 1'-0"

4



PARTIAL FRONT ELEVATION

SCALE:
1/8" = 1'-0"

2

NOTE: UNIQUE CONTENT SHOWN HERE IS TO ILLUSTRATE THE UNIT 4A STYLE WITH ROOF TOP DECK (RTD) CONDITION. UNIT 4A STYLE WITH ROOF TOP DECK OCCURS ONLY AS PLOTTED ON SITE IN 8 LOCATIONS WITHIN STANDARD BUILDINGS 5A,6A, 6A ACC GAR, AND 6ALT-A. CONTENT NOT SHOWN HERE CAN BE FOUND ON THE RESPECTIVE PREVIOUS BUILDING ELEVATION SHEETS.

KTGY Project No: 20210935

KTGY
Architecture | Branding | Interiors | Planning
3660 Blake Street
Suite 500
Denver, CO 80205
ktgy.com
303.825.6400

No.	Date	Description
1	03/21/23	DP SUBMITTAL
2	05/16/23	DP SUBMITTAL

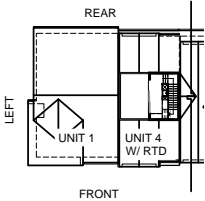
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PARTIAL STYLE A
ROOF TOP DECK
ELEVATION

SHEET 49 OF 74



11/27/2023
12:48:26 PM
kyle.fenner



BUILDING KEY PLAN

DEVELOPMENT PLAN FOR LAKESIDE HEIGHTS AT WOLF RANCH FILING NO. 1

LOCATED IN THE -- SW CORNER OF BRIARGAGE PARKWAY AND WOLF VALLEY DRIVE
CITY OF COLORADO SPRINGS AND EL PASO COUNTY

ELEVATION NOTES

- WHERE BUILDINGS OCCUR MULTIPLE TIMES, REFER TO ARCHITECTURAL SITE PLAN FOR ORIENTATION AND WHERE MIRRORING OR ROTATION DRAWINGS MAY BE REQUIRED.
- SLAB STEPS SHOWN FOR GRAPHIC REPRESENTATION ONLY. REFER TO CIVIL FOR ACTUAL FINISH FLOOR ELEVATIONS
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- AT OUTSIDE CORNERS WHERE THIN BRICK OR STONE OCCURS PROVIDE CORNER PIECE.
- WHERE REVEALS ARE SHOWN THEY, AND THEIR ASSOCIATED WALL FINISH, ARE TO CONTINUE AROUND THE OUTSIDE CORNER CONDITION AND TERMINATE AT THE NEAREST INSIDE CORNER UNLESS NOTED OTHERWISE.

ELEVATION KEYNOTES

- | | |
|----|---|
| 1 | ASPHALT CLASS 4 IMPACT RESISTANCE SHINGLE ROOFING (DARK CHARCOAL COLOR) |
| 2 | WOOD FASCIA BOARD (LIGHT GRAY COLOR) |
| 3 | FIBER CEMENT SMOOTH PANEL FASCIA/EAVE (LIGHT GRAY COLOR) |
| 4 | FIBER CEMENT LAP SIDING (DARK GRAY COLOR 1) |
| 5 | FIBER CEMENT SMOOTH PANEL SIDING (CHARCOAL COLOR) |
| 6 | WOOD OR COMPOSITE TRIM (CHARCOAL COLOR) |
| 7 | FIBER CEMENT HORIZONTAL SIDING (STAINED WOOD-LOOK) |
| 8 | FIBER CEMENT VERTICAL SIDING (STAINED WOOD-LOOK) |
| 9 | VINYL WINDOW SYSTEM (CHARCOAL COLOR) |
| 10 | METAL SECTIONAL GARAGE DOOR (DARK GRAY COLOR 2) |
| 11 | FIBER CEMENT SHINGLE SIDING (DARK GRAY COLOR 1) |
| 12 | METAL GUARDRAILS (CHARCOAL COLOR) |
| 13 | 8"X 8" S4S WOOD POST (CHARCOAL COLOR) |
| 14 | METAL TRELLIS/AWNING (CHARCOAL COLOR) |
| 15 | FRONT DOOR (ACCENT COLOR) |

SITE KEY PLAN



PARTIAL REAR ELEVATION

SCALE:
1/8" = 1'-0"

3



LEFT ELEVATION

SCALE:
1/8" = 1'-0"

2



PARTIAL FRONT ELEVATION

SCALE:
1/8" = 1'-0"

1

NOTE: UNIQUE CONTENT SHOWN HERE IS TO ILLUSTRATE THE UNIT 4B STYLE WITH ROOF TOP DECK (RTD) CONDITION. UNIT 4B STYLE WITH ROOF TOP DECK OCCURS ONLY AS PLOTTED ON SITE IN 8 LOCATIONS WITHIN STANDARD BUILDINGS 5B, 6B, AND 6B ACC GARAGE. CONTENT NOT SHOWN HERE CAN BE FOUND ON THE RESPECTIVE PREVIOUS BUILDING ELEVATION SHEETS.

KTGY Project No: 20210935

KTGY
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No.	Date	Description
1	03/21/23	DP SUBMITTAL
2	05/16/23	DP SUBMITTAL

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PARTIAL STYLE B
ROOF TOP DECK
ELEVATION

SHEET 50 OF 74



DEVELOPMENT PLAN FOR LAKE SIDE HEIGHTS AT WOLF RANCH FILING NO. 1

LOCATED IN THE -- SW CORNER OF BRIARGATE PARKWAY AND WOLF VALLEY DRIVE
CITY OF COLORADO SPRINGS AND EL PASO COUNTY

COLOR KEYNOTES

A		SW 9171 FELTED WOOD
B		SW 7637 OYSTER WHITE
C		SW 7069 IRON ORE
D		KNOT WOOD -KWILA
E		STONE VENEER ALPINE LEDGESTONE ECHO RIDGE
F		BASLITE CMU - SANDSTONE
G		STANDING SEAM METAL COLOR: SLATE GRAY
H		ALUMINUM STORE FRONT ANODIZED DARK BRONZE
I		POLISHED CONCRETE

ELEVATION NOTES

1. ALL CONDENSERS WILL BE ROOF MOUNTED, AS ALLOWED BY CODE, AND WILL BE SCREENED FROM VIEW.

MATERIAL KEYNOTES

- 1 STUCCO
- 2 COMPOSITE SIDING
- 3 STONE VENEER
- 4 ALUMINUM STOREFRONT SYSTEM WITH GLAZING
- 5 STANDING SEAM METAL - BRIDGESTEEL SNAP BATTEN PANEL
- 6 RETAINING WALL
- 7 WOOD SLAT
- 8 REVEAL
- 9 METAL AWNING
- 10 METAL CANOPY
- 11 METAL FASCIA
- 12 METAL RAILING
- 13 GLASS RAILING
- 14 HM DOOR
- 15 ALUMINUM WINDOW WITH GLAZING
- 16 SIGNAGE
- 17 CMU BLOCK WALL
- 18 CMU BLOCK CAP
- 19 METAL GATE - HEAVY DUTY CORRUGATED PANEL
- 20 WHEEL GUARD 6" HEIGHT
- 21 BOLLARD - PAINTED YELLOW
- 22 CONCRETE SLAB
- 23 HVAC CONDENSER SCREENING - MATERIAL: METAL PANEL SCREEN
- 24 WALL SCONE
- 25 GAS METER AND ELECTRICAL METER LOCATION .

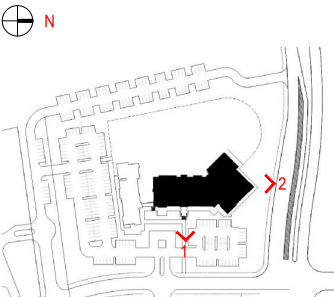


RECREATION CENTER LEFT ELEVATION - NORTH

SCALE: 3/32"=1'-0"

2

SITE KEY PLAN



KTGY - ARCHITECTURE + PLANNING
3660 BLAKE STREET, SUITE 500
DENVER, CO. 80205
(303) 825-6400
CONTACT: Project Manager
ktgy@ktgy.com

DATE: ISSUED FOR:

03.21.2023 DP SUBMITTAL

05.17.2023 DP RESUBMITTAL

RECREATION

CENTER

ELEVATIONS

SHEET 51 OF 74



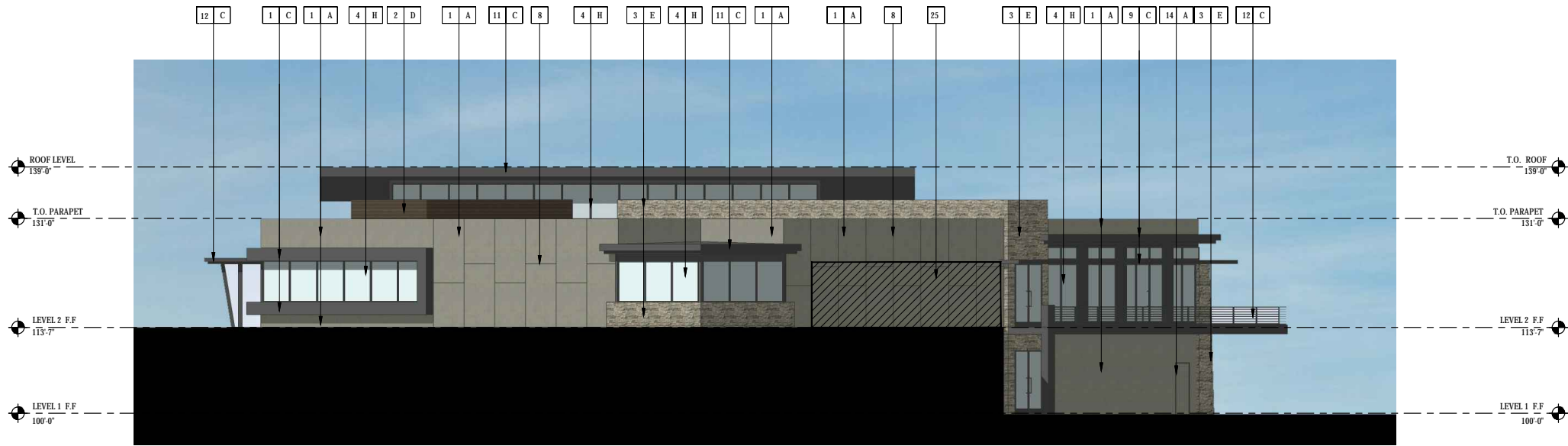
RECREATION CENTER FRONT ELEVATION - EAST

SCALE: 3/32"=1'-0"

1

DEVELOPMENT PLAN FOR LAKE SIDE HEIGHTS AT WOLF RANCH FILING NO. 1

LOCATED IN THE -- SW CORNER OF BRIARGATE PARKWAY AND WOLF VALLEY DRIVE
CITY OF COLORADO SPRINGS AND EL PASO COUNTY



RECREATION CENTER RIGHT ELEVATION - SOUTH

SCALE: 3/32"=1'-0"

4



RECREATION CENTER REAR ELEVATION - WEST

SCALE: 3/32"=1'-0"

3

COLOR KEYNOTES

A		SW 9171 FELTED WOOD
B		SW 7637 OYSTER WHITE
C		SW 7069 IRON ORE
D		KNOT WOOD - KWILA
E		STONE VENEER ALPINE LEDGESTONE ECHO RIDGE
F		BASLITE CMU - SANDSTONE
G		STANDING SEAM METAL COLOR: SLATE GRAY
H		ALUMINUM STORE FRONT ANODIZED DARK BRONZE
I		POLISHED CONCRETE

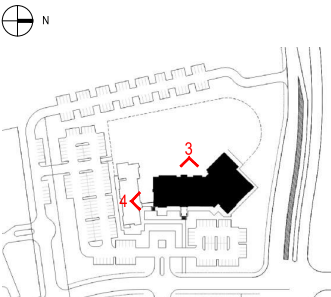
ELEVATION NOTES

1. ALL CONDENSERS WILL BE ROOF MOUNTED, AS ALLOWED BY
CODE, AND WILL BE SCREENED FROM VIEW.

MATERIAL KEYNOTES

- 1 STUCCO
- 2 COMPOSITE SIDING
- 3 STONE VENEER
- 4 ALUMINUM STOREFRONT SYSTEM WITH GLAZING
- 5 STANDING SEAM METAL - BRIDGESTEEL
SNAP BATTEN PANEL
- 6 RETAINING WALL
- 7 WOOD SLAT
- 8 REVEAL
- 9 METAL AWNING
- 10 METAL CANOPY
- 11 METAL FASCIA
- 12 METAL RAILING
- 13 GLASS RAILING
- 14 HM DOOR
- 15 ALUMINUM WINDOW WITH GLAZING
- 16 SIGNAGE
- 17 CMU BLOCK WALL
- 18 CMU BLOCK CAP
- 19 METAL GATE - HEAVY DUTY CORRUGATED PANEL
- 20 WHEEL GUARD 6" HEIGHT
- 21 BOLLARD - PAINTED YELLOW
- 22 CONCRETE SLAB
- 23 HVAC CONDENSER SCREENING -
MATERIAL: METAL PANEL SCREEN
- 24 WALL SCONE
- 25 GAS METER AND ELECTRICAL METER LOCATION .

SITE KEY PLAN



KTGY - ARCHITECTURE + PLANNING
3660 BLAKE STREET, SUITE 500
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RECREATION
CENTER
ELEVATIONS

SHEET 52 OF 74

DEVELOPMENT PLAN FOR LAKESIDE HEIGHTS AT WOLF RANCH FILING NO. 1

LOCATED IN THE -- SW CORNER OF BRIARGATE PARKWAY AND WOLF VALLEY DRIVE
CITY OF COLORADO SPRINGS AND EL PASO COUNTY

COLOR KEYNOTES

A		SW 9171 FELTED WOOD
B		SW 7837 OYSTER WHITE
C		SW 7069 IRON ORE
D		KNOT WOOD - KWILA
E		STONE VENEER ALPINE LEDGESTONE ECHO RIDGE
F		BASLITE CMU - SANDSTONE
G		STANDING SEAM METAL COLOR: SLATE GRAY
H		ALUMINUM STORE FRONT ANODIZED DARK BRONZE
I		POLISHED CONCRETE

ELEVATION NOTES

1. ALL CONDENSERS WILL BE ROOF MOUNTED, AS ALLOWED BY CODE, AND WILL BE SCREENED FROM VIEW.

MATERIAL KEYNOTES

- STUCCO
- COMPOSITE SIDING
- STONE VENEER
- ALUMINUM STOREFRONT SYSTEM WITH GLAZING
- STANDING SEAM METAL- BRIDGERSTEEL SNAP BATTEN PANEL
- RETAINING WALL
- WOOD SLAT
- REVEAL
- METAL AWNING
- METAL CANOPY
- METAL FASCIA
- METAL RAILING
- GLASS RAILING
- HM DOOR
- ALUMINUM WINDOW WITH GLAZING
- SIGNAGE
- CMU BLOCK WALL
- CMU BLOCK CAP
- METAL GATE- HEAVY DUTY CORRUGATED PANEL
- WHEEL GUARD 6" HEIGHT
- BOLLARD- PAINTED YELLOW
- CONCRETE SLAB
- HVAC CONDENSER SCREENING - MATERIAL : METAL PANEL SCREEN
- WALL SCONE
- GAS METER AND ELECTRICAL METER LOCATIONS .

LEASING CENTER RIGHT ELEVATION- NORTH

SCALE: 3/32"=1'-0"

4

LEASING CENTER REAR ELEVATION - WEST

SCALE: 1/8"=1'-0"

3

LEASING CENTER LEFT ELEVATION- SOUTH

SCALE: 3/32"=1'-0"

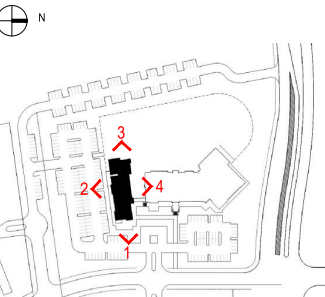
2

LEASING CENTER FRONT ELEVATION- EAST

SCALE: 3/32"=1'-0"

1

SITE KEY PLAN



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(303) 825-6400
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DATE: ISSUED FOR:

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05.17.2023 DP RESUBMITTAL

LEASING CENTER -
ELEVATIONS
SHEET 53 OF 74

DEVELOPMENT PLAN FOR LAKESIDE HEIGHTS AT WOLF RANCH FILING NO. 1

LOCATED IN THE -- SW CORNER OF BRIARGATE PARKWAY AND WOLF VALLEY DRIVE
CITY OF COLORADO SPRINGS AND EL PASO COUNTY

COLOR KEYNOTES

A		SW 9171 FELTED WOOD
B		SW 7837 OYSTER WHITE
C		SW 7069 IRON ORE
D		KNOT WOOD - KWILA
E		STONE VENEER ALPINE LEDGESTONE ECHO RIDGE
F		BASLITE CMU - SANDSTONE
G		STANDING SEAM METAL COLOR: SLATE GRAY
H		ALUMINUM STORE FRONT ANODIZED DARK BRONZE
I		POLISHED CONCRETE

MATERIAL KEYNOTES

- 1 STUCCO
- 2 COMPOSITE SIDING
- 3 STONE VENEER
- 4 ALUMINUM STOREFRONT SYSTEM WITH GLAZING
- 5 SNAP BATTEN PANEL
- 6 RETAINING WALL
- 7 WOOD SLAT
- 8 REVEAL
- 9 METAL AWNING
- 10 METAL CANOPY
- 11 METAL FASCIA
- 12 METAL RAILING
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- 17 CMU BLOCK WALL
- 18 CMU BLOCK CAP
- 19 METAL GATE - HEAVY DUTY CORRUGATED PANEL
- 20 WHEEL GUARD 6" HEIGHT
- 21 BOLLARD - PAINTED YELLOW
- 22 CONCRETE SLAB
- 23 HVAC CONDENSER SCREENING - MATERIAL : METAL PANEL SCREEN
- 24 WALL SCONE
- 25 GAS METER AND ELECTRICAL METER LOCATION

T.E REAR ELEVATION

SCALE: 1/4"=1'-0"

4

T.E LEFT ELEVATIONS

SCALE: 1/4"=1'-0"

3

T.E RIGHT ELEVATIONS

SCALE: 1/4"=1'-0"

2

T.E FRONT ELEVATIONS

SCALE: 1/4"=1'-0"

1

TRASH ENCLOSURE PLANS

SCALE: 1/4"=1'-0"

5

KTGY - ARCHITECTURE + PLANNING
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(303) 825-6400
CONTACT: Project Manager
ktgy@ktgy.com



DATE: ISSUED FOR:

03.21.2023 DP SUBMITTAL

05.17.2023 DP SUBMITTAL



Land Use Review
Approved

11/27/2023
12:48:28 PM
kyle.fenner

TRASH ENCLOSURE
PLAN & ELEVATIONS
SHEET 54 OF 74

DEVELOPMENT PLAN FOR LAKESIDE HEIGHTS AT WOLF RANCH FILING NO. 1

LOCATED IN THE -- SW CORNER OF BRIARGATE PARKWAY AND WOLF VALLEY DRIVE
CITY OF COLORADO SPRINGS AND EL PASO COUNTY



BUILDING TYPE 1 - SIDE ELEVATION

SCALE:
1/8" = 1'-0"

2



BUILDING TYPE 1 - FRONT ELEVATION

SCALE:
1/8" = 1'-0"

1

ELEVATION LEGEND

- BRICK - RUNNING - COLOR 1
- BRICK - STACKED - COLOR 1
- STUCCO - COLOR 1
- STUCCO - COLOR 2
- BOARD AND BATTEN - COLOR 1
- LAP SIDING - COLOR 1
- CONCRETE ROOF TILES

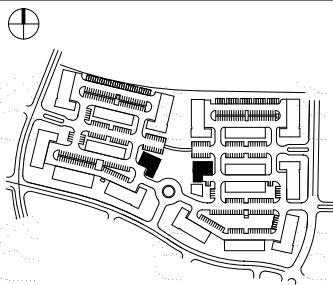
ELEVATION NOTES

1. ALL CONDENSERS WILL BE ROOF MOUNTED, AS ALLOWED BY CODE, AND WILL BE SCREENED FROM VIEW.

KEYNOTES - SDP

- 1 BRICK - RUNNING - COLOR 1
- 2 FIBER CEMENT PANEL - COLOR 1
- 3 VERTICAL FIBER CEMENT - COLOR 2
- 4 HORIZONTAL FIBER CEMENT - COLOR 1
- 5 FIBER CEMENT BATTEN - COLOR 3
- 6 BENCH - COLOR 3
- 8 FIBER CEMENT TRIM
- 9 BUILDING SIGNAGE
- 10 ASPHALT ROOF SHINGLES
- 12 FIBER CEMENT BOARD CANOPY - COLOR 3
- 13 PAINTED METAL HANDRAIL
- 14 OVERHEAD GARAGE DOOR
- 15 PATIO DOOR
- 16 BRONZE VINYL WINDOW
- 17 BUILDING ENTRY
- 18 UTILITY/STORAGE CLOSETS
- 20 DOWNSPOUT
- 21 STOREFRONT
- 22 GROUNDFACE CMU
- 23 PAINTED METAL GATE
- 24 PRECAST CAP

SITE KEY PLAN



KTGY - ARCHITECTURE + PLANNING
3660 BLAKE STREET, SUITE 500
DENVER, CO. 80205
(303) 825-6400
CONTACT: JOHN GREEN
JGREEN@ktgy.com



DATE: ISSUED FOR:
03.21.2023 DP SUBMITTAL 01
07.17.2023 DP SUBMITTAL 02

TYPE 1 -
APARTMENT
ELEVATIONS
SHEET 55 OF 74



DEVELOPMENT PLAN FOR LAKESIDE HEIGHTS AT WOLF RANCH FILING NO. 1

LOCATED IN THE -- SW CORNER OF BRIARGATE PARKWAY AND WOLF VALLEY DRIVE
CITY OF COLORADO SPRINGS AND EL PASO COUNTY



LAYOUT 1 - SIDE ELEVATION

SCALE:
1/8" = 1'-0"

2



LAYOUT 1 - REAR ELEVATION

SCALE:
1/8" = 1'-0"

1

ELEVATION LEGEND

- BRICK - RUNNING - COLOR 1
- BRICK - STACKED - COLOR 1
- STUCCO - COLOR 1
- STUCCO - COLOR 2
- BOARD AND BATTEN - COLOR 1
- LAP SIDING - COLOR 1
- CONCRETE ROOF TILES

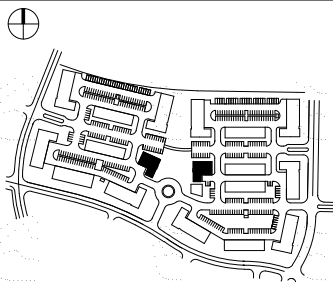
ELEVATION NOTES

1. ALL CONDENSERS WILL BE ROOF MOUNTED, AS ALLOWED BY CODE, AND WILL BE SCREENED FROM VIEW.

KEYNOTES - SDP

- 1. BRICK - RUNNING - COLOR 1
- 2. FIBER CEMENT PANEL - COLOR 1
- 3. VERTICAL FIBER CEMENT - COLOR 2
- 4. VERTICAL FIBER CEMENT - COLOR 3
- 5. HORIZONTAL FIBER CEMENT - COLOR 1
- 6. FIBER CEMENT BATTEN - COLOR 3
- 7. BENCH - COLOR 3
- 8. FIBER CEMENT TRIM
- 9. BUILDING SIGNAGE
- 10. ASPHALT ROOF SHINGLES
- 11. FIBER CEMENT BOARD CANOPY - COLOR 3
- 12. PAINTED METAL HANDRAIL
- 13. OVERHEAD GARAGE DOOR
- 14. PATIO DOOR
- 15. BRONZE VINYL WINDOW
- 16. BUILDING ENTRY
- 17. UTILITY/STORAGE CLOSETS
- 18. DOWNSPOUT
- 19. STOREFRONT
- 20. GROUNDFACE CMU
- 21. PAINTED METAL GATE
- 22. PRECAST CAP

SITE KEY PLAN



KTGY - ARCHITECTURE + PLANNING
3660 BLAKE STREET, SUITE 500
DENVER, CO. 80205
(303) 825-6400
CONTACT: JOHN GREEN
JGREEN@ktgy.com



DATE: ISSUED FOR:
03.21.2023 DP SUBMITTAL 01
07.17.2023 DP SUBMITTAL 02

TYPE 1 -
APARTMENT
ELEVATIONS
SHEET 56 OF 74



11/27/2023
12:48:28 PM
kyle.fenner

DEVELOPMENT PLAN FOR LAKESIDE HEIGHTS AT WOLF RANCH FILING NO. 1

LOCATED IN THE -- SW CORNER OF BRIARGATE PARKWAY AND WOLF VALLEY DRIVE
CITY OF COLORADO SPRINGS AND EL PASO COUNTY



LAYOUT 2 - SIDE ELEVATION

SCALE:
1/8" = 1'-0"

2



LAYOUT 2 - FRONT ELEVATION

SCALE:
1/8" = 1'-0"

1

ELEVATION LEGEND

- BRICK - RUNNING - COLOR 1
- BRICK - STACKED - COLOR 1
- STUCCO - COLOR 1
- STUCCO - COLOR 2
- BOARD AND BATTEN - COLOR 1
- LAP SIDING - COLOR 1
- CONCRETE ROOF TILES

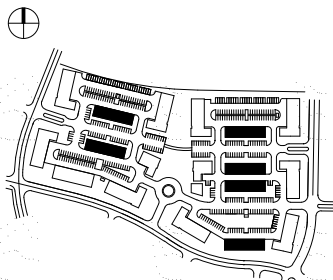
ELEVATION NOTES

1. ALL CONDENSERS WILL BE ROOF MOUNTED, AS ALLOWED BY CODE, AND WILL BE SCREENED FROM VIEW.

KEYNOTES - SDP

- BRICK - RUNNING - COLOR 1
- FIBER CEMENT PANEL - COLOR 1
- VERTICAL FIBER CEMENT - COLOR 2
- VERTICAL FIBER CEMENT - COLOR 3
- HORIZONTAL FIBER CEMENT - COLOR 1
- FIBER CEMENT BATTEN - COLOR 3
- BENCH - COLOR 3
- FIBER CEMENT TRIM
- BUILDING SIGNAGE
- ASPHALT ROOF SHINGLES
- FIBER CEMENT BOARD CANOPY - COLOR 3
- PAINTED METAL HANDRAIL
- OVERHEAD GARAGE DOOR
- PATIO DOOR
- BRONZE VINYL WINDOW
- BUILDING ENTRY
- UTILITY/STORAGE CLOSETS
- DOWNSPOUT
- STOREFRONT
- GROUNDFACE CMU
- PAINTED METAL GATE
- PRECAST CAP

SITE KEY PLAN



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CONTACT: JOHN GREEN
JGREEN@ktgy.com



DATE: 03.21.2023 DP SUBMITTAL 01
ISSUED FOR: 07.17.2023 DP SUBMITTAL 02

TYPE 2 -
APARTMENT
ELEVATIONS
SHEET 57 OF 74



11/27/2023
12:48:29 PM
kyle.fenner

DEVELOPMENT PLAN FOR LAKESIDE HEIGHTS AT WOLF RANCH FILING NO. 1

LOCATED IN THE -- SW CORNER OF BRIARGATE PARKWAY AND WOLF VALLEY DRIVE
CITY OF COLORADO SPRINGS AND EL PASO COUNTY



LAYOUT 2 - SIDE ELEVATION

SCALE:
1/8" = 1'-0"

2



LAYOUT 2 - REAR ELEVATION

SCALE:
1/8" = 1'-0"

1

ELEVATION LEGEND

- BRICK - RUNNING - COLOR 1
- BRICK - STACKED - COLOR 1
- STUCCO - COLOR 1
- STUCCO - COLOR 2
- BOARD AND BATTEN - COLOR 1
- LAP SIDING - COLOR 1
- CONCRETE ROOF TILES

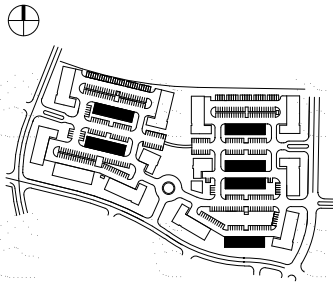
ELEVATION NOTES

1. ALL CONDENSERS WILL BE ROOF MOUNTED, AS ALLOWED BY CODE, AND WILL BE SCREENED FROM VIEW.

KEYNOTES - SDP

- 1 BRICK - RUNNING - COLOR 1
- 2 FIBER CEMENT PANEL - COLOR 1
- 3 VERTICAL FIBER CEMENT - COLOR 2
- 4 VERTICAL FIBER CEMENT - COLOR 3
- 5 HORIZONTAL FIBER CEMENT - COLOR 1
- 6 FIBER CEMENT BATTEN - COLOR 3
- 7 BENCH - COLOR 3
- 8 FIBER CEMENT TRIM
- 9 BUILDING SIGNAGE
- 10 ASPHALT ROOF SHINGLES
- 12 FIBER CEMENT BOARD CANOPY - COLOR 3
- 13 PAINTED METAL HANDRAIL
- 14 OVERHEAD GARAGE DOOR
- 15 PATIO DOOR
- 16 BRONZE VINYL WINDOW
- 17 BUILDING ENTRY
- 18 UTILITY/STORAGE CLOSETS
- 20 DOWNSPOUT
- 21 STOREFRONT
- 22 GROUNDFACE CMU
- 23 PAINTED METAL GATE
- 24 PRECAST CAP

SITE KEY PLAN



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ISSUED FOR: 07.17.2023 DP SUBMITTAL 02



TYPE 2 -
APARTMENT
ELEVATIONS
SHEET 58 OF 74

DEVELOPMENT PLAN FOR LAKESIDE HEIGHTS AT WOLF RANCH FILING NO. 1

LOCATED IN THE -- SW CORNER OF BRIARGATE PARKWAY AND WOLF VALLEY DRIVE
CITY OF COLORADO SPRINGS AND EL PASO COUNTY



LAYOUT 3 - SIDE ELEVATION

SCALE:
1/8" = 1'-0"

2



LAYOUT 3 - FRONT ELEVATION

SCALE:
1/8" = 1'-0"

1

ELEVATION LEGEND

- BRICK - RUNNING - COLOR 1
- BRICK - STACKED - COLOR 1
- STUCCO - COLOR 1
- STUCCO - COLOR 2
- BOARD AND BATTEN - COLOR 1
- LAP SIDING - COLOR 1
- CONCRETE ROOF TILES

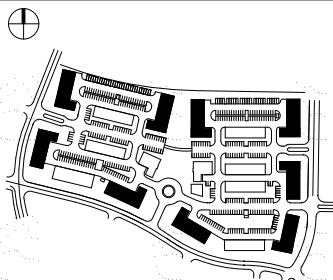
ELEVATION NOTES

1. ALL CONDENSERS WILL BE ROOF MOUNTED, AS ALLOWED BY CODE, AND WILL BE SCREENED FROM VIEW.

KEYNOTES - SDP

- 1 BRICK - RUNNING - COLOR 1
- 2 FIBER CEMENT PANEL - COLOR 1
- 3 VERTICAL FIBER CEMENT - COLOR 2
- 4 VERTICAL FIBER CEMENT - COLOR 3
- 5 HORIZONTAL FIBER CEMENT - COLOR 1
- 6 FIBER CEMENT BATTEN - COLOR 3
- 7 BENCH - COLOR 3
- 8 FIBER CEMENT TRIM
- 9 BUILDING SIGNAGE
- 10 ASPHALT ROOF SHINGLES
- 12 FIBER CEMENT BOARD CANOPY - COLOR 3
- 13 PAINTED METAL HANDRAIL
- 14 OVERHEAD GARAGE DOOR
- 15 PATIO DOOR
- 16 BRONZE VINYL WINDOW
- 17 BUILDING ENTRY
- 18 UTILITY/STORAGE CLOSETS
- 20 DOWNSPOUT
- 21 STOREFRONT
- 22 GROUNDFACE CMU
- 23 PAINTED METAL GATE
- 24 PRECAST CAP

SITE KEY PLAN



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TYPE 3 -
APARTMENT
ELEVATIONS
SHEET 59 OF 74



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12:48:30 PM
kyle.fenner

DEVELOPMENT PLAN FOR LAKESIDE HEIGHTS AT WOLF RANCH FILING NO. 1

LOCATED IN THE -- SW CORNER OF BRIARGATE PARKWAY AND WOLF VALLEY DRIVE
CITY OF COLORADO SPRINGS AND EL PASO COUNTY



LAYOUT 3 - SIDE ELEVATION

SCALE:
1/8" = 1'-0"

2



LAYOUT 3 - REAR ELEVATION

SCALE:
1/8" = 1'-0"

1

ELEVATION LEGEND

- BRICK - RUNNING - COLOR 1
- BRICK - STACKED - COLOR 1
- STUCCO - COLOR 1
- STUCCO - COLOR 2
- BOARD AND BATTEN - COLOR 1
- LAP SIDING - COLOR 1
- CONCRETE ROOF TILES

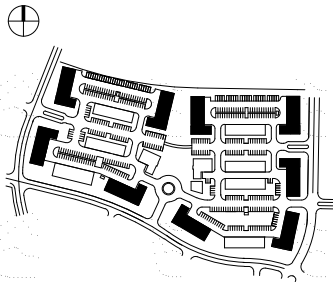
ELEVATION NOTES

1. ALL CONDENSERS WILL BE ROOF MOUNTED, AS ALLOWED BY CODE, AND WILL BE SCREENED FROM VIEW.

KEYNOTES - SDP

- 1 BRICK - RUNNING - COLOR 1
- 2 FIBER CEMENT PANEL - COLOR 1
- 3 VERTICAL FIBER CEMENT - COLOR 2
- 4 VERTICAL FIBER CEMENT - COLOR 3
- 5 HORIZONTAL FIBER CEMENT - COLOR 1
- 6 FIBER CEMENT BATTEN - COLOR 3
- 7 BENCH - COLOR 3
- 8 FIBER CEMENT TRIM
- 9 BUILDING SIGNAGE
- 10 ASPHALT ROOF SHINGLES
- 12 FIBER CEMENT BOARD CANOPY - COLOR 3
- 13 PAINTED METAL HANDRAIL
- 14 OVERHEAD GARAGE DOOR
- 15 PATIO DOOR
- 16 BRONZE VINYL WINDOW
- 17 BUILDING ENTRY
- 18 UTILITY/STORAGE CLOSETS
- 20 DOWNSPOUT
- 21 STOREFRONT
- 22 GROUNDFACE CMU
- 23 PAINTED METAL GATE
- 24 PRECAST CAP

SITE KEY PLAN



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kyle.fenner

TYPE 3 -
APARTMENT
ELEVATIONS
SHEET 60 OF 74

DEVELOPMENT PLAN FOR LAKESIDE HEIGHTS AT WOLF RANCH FILING NO. 1

LOCATED IN THE -- SW CORNER OF BRIARGATE PARKWAY AND WOLF VALLEY DRIVE
CITY OF COLORADO SPRINGS AND EL PASO COUNTY



LAYOUT 4 - SIDE ELEVATION

SCALE:
1/8" = 1'-0"

2



LAYOUT 4 - FRONT ELEVATION

SCALE:
1/8" = 1'-0"

1

ELEVATION LEGEND

- BRICK - RUNNING - COLOR 1
- BRICK - STACKED - COLOR 1
- STUCCO - COLOR 1
- STUCCO - COLOR 2
- BOARD AND BATTEN - COLOR 1
- LAP SIDING - COLOR 1
- CONCRETE ROOF TILES

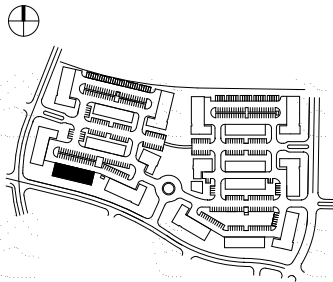
ELEVATION NOTES

1. ALL CONDENSERS WILL BE ROOF MOUNTED, AS ALLOWED BY CODE, AND WILL BE SCREENED FROM VIEW.

KEYNOTES - SDP

- 1 BRICK - RUNNING - COLOR 1
- 2 FIBER CEMENT PANEL - COLOR 1
- 3 VERTICAL FIBER CEMENT - COLOR 2
- 4 HORIZONTAL FIBER CEMENT - COLOR 1
- 5 FIBER CEMENT BATTEN - COLOR 3
- 6 BENCH - COLOR 3
- 7 FIBER CEMENT TRIM
- 8 BUILDING SIGNAGE
- 9 ASPHALT ROOF SHINGLES
- 10 FIBER CEMENT BOARD CANOPY - COLOR 3
- 11 PAINTED METAL HANDRAIL
- 12 OVERHEAD GARAGE DOOR
- 13 PATIO DOOR
- 14 BRONZE VINYL WINDOW
- 15 BUILDING ENTRY
- 16 UTILITY/STORAGE CLOSETS
- 17 DOWNSPOUT
- 18 STOREFRONT
- 19 GROUNDFACE CMU
- 20 PAINTED METAL GATE
- 21 PRECAST CAP

SITE KEY PLAN



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DENVER, CO 80205
(303) 825-6400
CONTACT: JOHN GREEN
JGREEN@ktgy.com



DATE: 03.21.2023 DP SUBMITTAL 01
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kyle.fenner

TYPE 4 -
APARTMENT
ELEVATIONS
SHEET 61 OF 74

DEVELOPMENT PLAN FOR LAKESIDE HEIGHTS AT WOLF RANCH FILING NO. 1

LOCATED IN THE -- SW CORNER OF BRIARGATE PARKWAY AND WOLF VALLEY DRIVE
CITY OF COLORADO SPRINGS AND EL PASO COUNTY



LAYOUT 4 - SIDE ELEVATION

SCALE:
1/8" = 1'-0"

2



LAYOUT 4 - REAR ELEVATION

SCALE:
1/8" = 1'-0"

1

ELEVATION LEGEND

- BRICK - RUNNING - COLOR 1
- BRICK - STACKED - COLOR 1
- STUCCO - COLOR 1
- STUCCO - COLOR 2
- BOARD AND BATTEN - COLOR 1
- LAP SIDING - COLOR 1
- CONCRETE ROOF TILES

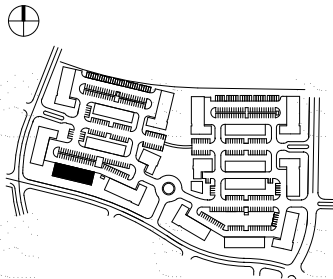
ELEVATION NOTES

1. ALL CONDENSERS WILL BE ROOF MOUNTED, AS ALLOWED BY CODE, AND WILL BE SCREENED FROM VIEW.

KEYNOTES - SDP

- BRICK - RUNNING - COLOR 1
- FIBER CEMENT PANEL - COLOR 1
- VERTICAL FIBER CEMENT - COLOR 2
- VERTICAL FIBER CEMENT - COLOR 3
- HORIZONTAL FIBER CEMENT - COLOR 1
- FIBER CEMENT BATTEN - COLOR 3
- BENCH - COLOR 3
- FIBER CEMENT TRIM
- BUILDING SIGNAGE
- ASPHALT ROOF SHINGLES
- FIBER CEMENT BOARD CANOPY - COLOR 3
- PAINTED METAL HANDRAIL
- OVERHEAD GARAGE DOOR
- PATIO DOOR
- BRONZE VINYL WINDOW
- BUILDING ENTRY
- UTILITY/STORAGE CLOSETS
- DOWNSPOUT
- STOREFRONT
- GROUNDFACE CMU
- PAINTED METAL GATE
- PRECAST CAP

SITE KEY PLAN



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JGREEN@ktgy.com



DATE: 03.21.2023
ISSUED FOR: DP SUBMITTAL 01
07.17.2023 DP SUBMITTAL 02

TYPE 4 -
APARTMENT
ELEVATIONS
SHEET 62 OF 74



DEVELOPMENT PLAN FOR LAKESIDE HEIGHTS AT WOLF RANCH FILING NO. 1

LOCATED IN THE -- SW CORNER OF BRIARGATE PARKWAY AND WOLF VALLEY DRIVE
CITY OF COLORADO SPRINGS AND EL PASO COUNTY

ELEVATION LEGEND

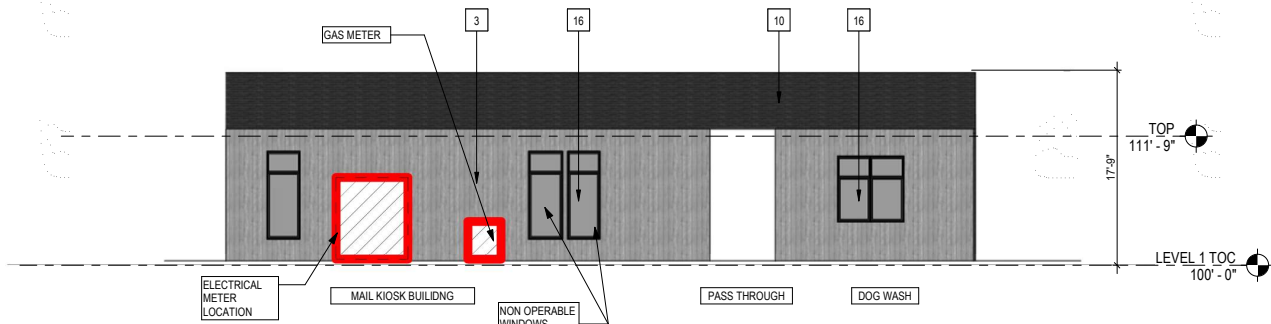
- BRICK - RUNNING - COLOR 1
- BRICK - STACKED - COLOR 1
- STUCCO - COLOR 1
- STUCCO - COLOR 2
- BOARD AND BATTEN - COLOR 1
- LAP SIDING - COLOR 1
- CONCRETE ROOF TILES

ELEVATION NOTES

1. ALL CONDENSERS WILL BE ROOF MOUNTED, AS ALLOWED BY CODE, AND WILL BE SCREENED FROM VIEW.

KEYNOTES - SDP

- BRICK - RUNNING - COLOR 1
- FIBER CEMENT PANEL - COLOR 1
- VERTICAL FIBER CEMENT - COLOR 2
- VERTICAL FIBER CEMENT - COLOR 3
- HORIZONTAL FIBER CEMENT - COLOR 1
- FIBER CEMENT BATTEN - COLOR 3
- BENCH - COLOR 3
- FIBER CEMENT TRIM
- BUILDING SIGNAGE
- ASPHALT ROOF SHINGLES
- FIBER CEMENT BOARD CANOPY - COLOR 3
- PAINTED METAL HANDRAIL
- OVERHEAD GARAGE DOOR
- PATIO DOOR
- BRONZE VINYL WINDOW
- BUILDING ENTRY
- UTILITY/STORAGE CLOSETS
- DOWNSPOUT
- STOREFRONT
- GROUND/FACE CMU
- PAINTED METAL GATE
- PRECAST CAP



MAIL KIOSK / DOG WASH EAST ELEVATION

SCALE:
1/8" = 1'-0"

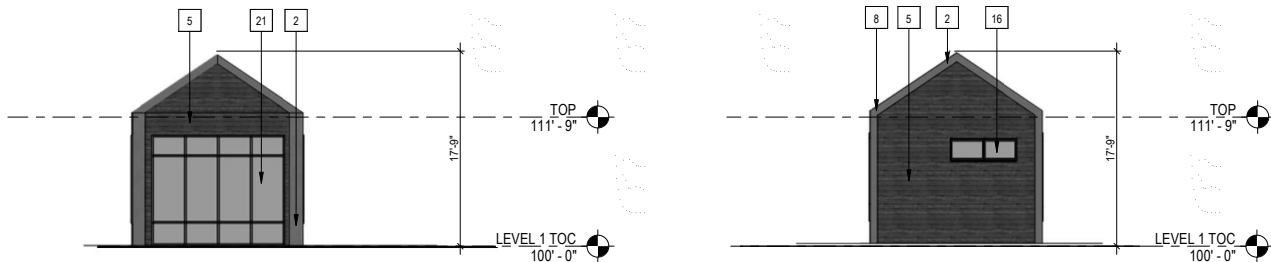
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MAIL ROOM- ELEVATION

SCALE:
1/8" = 1'-0"

4



MAIL KIOSK SOUTH ELEVATION

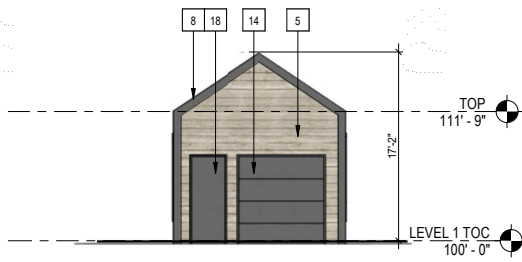
SCALE:
1/8" = 1'-0"

7

DOG WASH NORTH ELEVATION

SCALE:
1/8" = 1'-0"

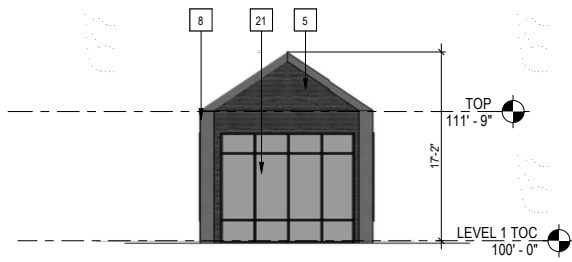
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MAIL ROOM - ELEVATION

SCALE:
1/8" = 1'-0"

3

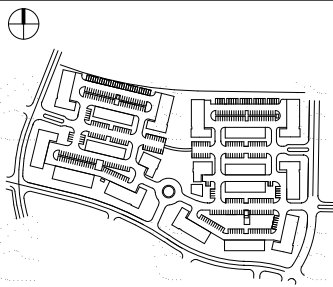


MAIL ROOM - ELEVATION

SCALE:
1/8" = 1'-0"

2

SITE KEY PLAN



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DENVER, CO. 80205
(303) 825-6400
CONTACT: JOHN GREEN
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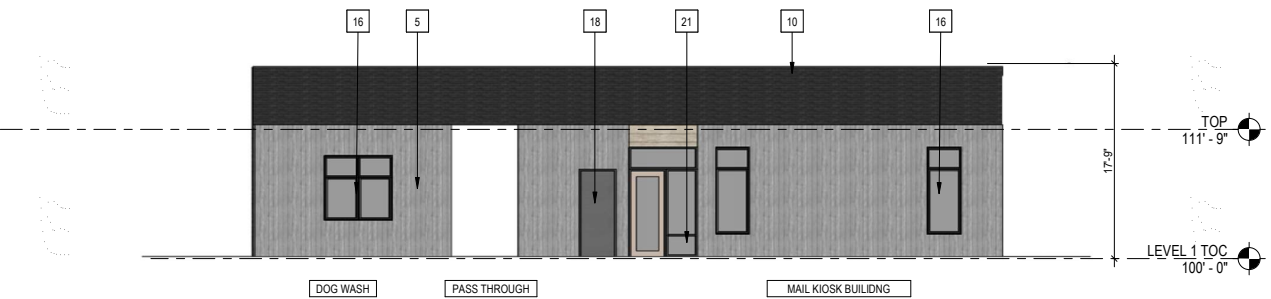


DATE: 03.21.2023 DP SUBMITTAL 01
ISSUED FOR: 07.17.2023 DP SUBMITTAL 02



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kyle.fenner

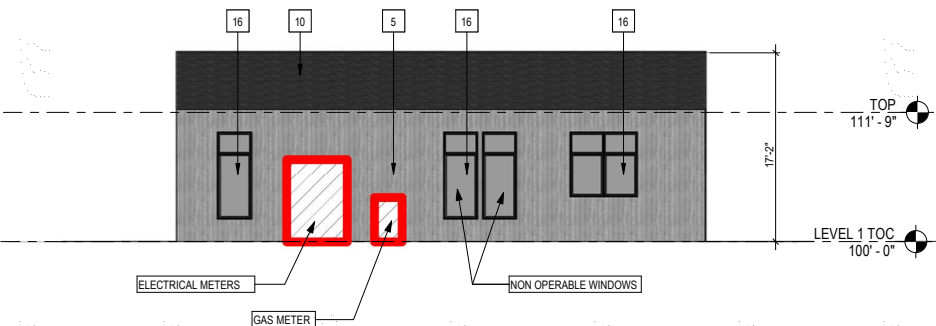
APARTMENT MAIL
KIOSK ELEVATIONS
SHEET 63 OF 74



MAIL KIOSK / DOG WASH WEST ELEVATION

SCALE:
1/8" = 1'-0"

5



MAIL ROOM - ELEVATION

SCALE:
1/8" = 1'-0"

1

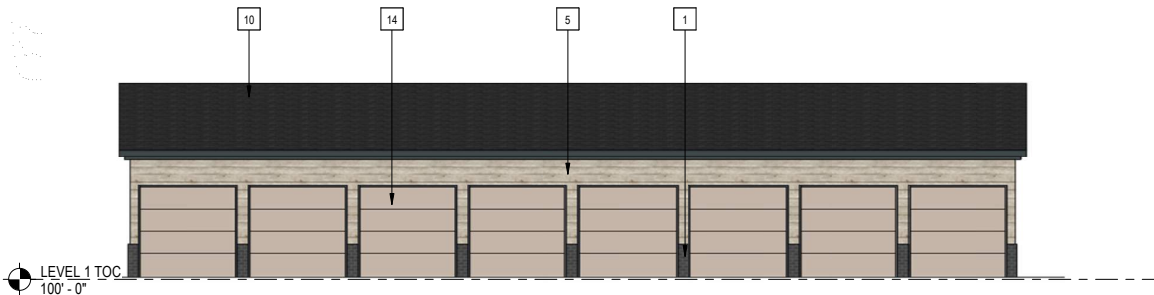
DEVELOPMENT PLAN FOR LAKESIDE HEIGHTS AT WOLF RANCH FILING NO. 1

LOCATED IN THE -- SW CORNER OF BRIARGATE PARKWAY AND WOLF VALLEY DRIVE
CITY OF COLORADO SPRINGS AND EL PASO COUNTY

ELEVATION LEGEND	
	BRICK - RUNNING - COLOR 1
	BRICK - STACKED - COLOR 1
	STUCCO - COLOR 1
	STUCCO - COLOR 2
	BOARD AND BATTEN - COLOR 1
	LAP SIDING - COLOR 1
	CONCRETE ROOF TILES

ELEVATION NOTES	
1. ALL CONDENSERS WILL BE ROOF MOUNTED, AS ALLOWED BY CODE, AND WILL BE SCREENED FROM VIEW.	

#	KEYNOTES - SDP
1	BRICK - RUNNING - COLOR 1
2	FIBER CEMENT PANEL - COLOR 1
3	VERTICAL FIBER CEMENT - COLOR 2
4	VERTICAL FIBER CEMENT - COLOR 3
5	HORIZONTAL FIBER CEMENT - COLOR 1
6	FIBER CEMENT BATTEN - COLOR 3
7	BENCH - COLOR 3
8	FIBER CEMENT TRIM
9	BUILDING SIGNAGE
10	ASPHALT ROOF SHINGLES
12	FIBER CEMENT BOARD CANOPY - COLOR 3
13	PAINTED METAL HANDRAIL
14	OVERHEAD GARAGE DOOR
15	PATIO DOOR
16	BRONZE VINYL WINDOW
17	BUILDING ENTRY
18	UTILITY/STORAGE CLOSETS
20	DOWNSPROUT
21	STOREFRONT
22	GROUNDFACE CMU
23	PAINTED METAL GATE
24	PRECAST CAP



GARAGE SOUTH ELEVATION

SCALE:
1/4" = 1'-0"

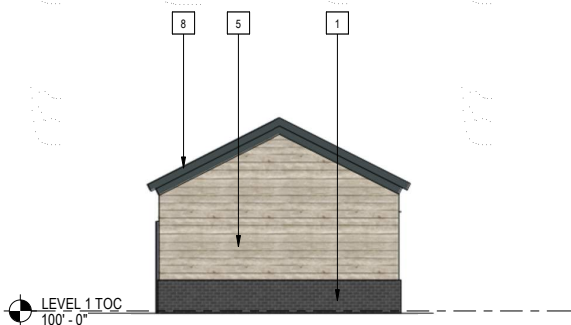
8



TRASH ENCLOSURE FRONT ELEVATION

SCALE:
1/4" = 1'-0"

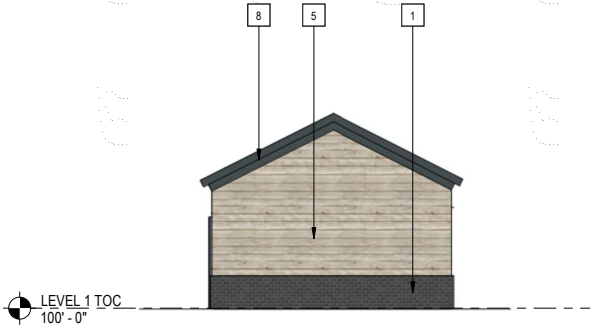
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GARAGE WEST ELEVATION

SCALE:
1/4" = 1'-0"

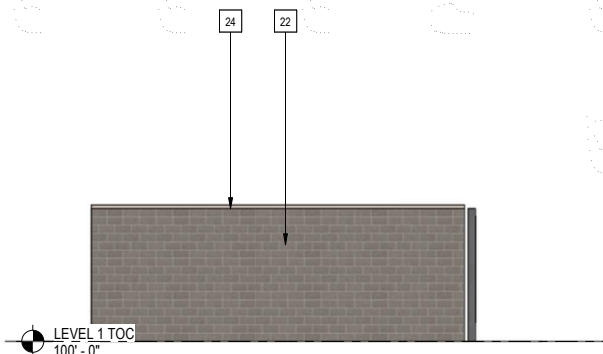
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GARAGE EAST ELEVATION

SCALE:
1/4" = 1'-0"

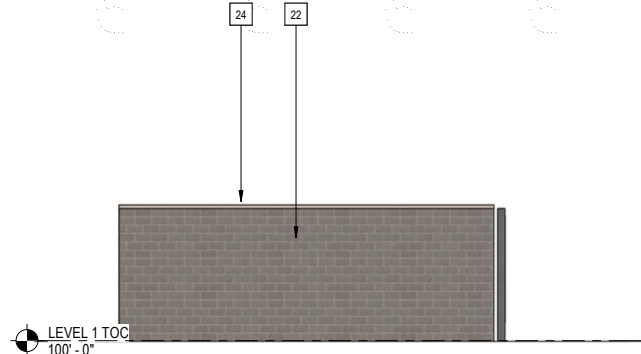
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TRASH SIDE ELEVATION

SCALE:
1/4" = 1'-0"

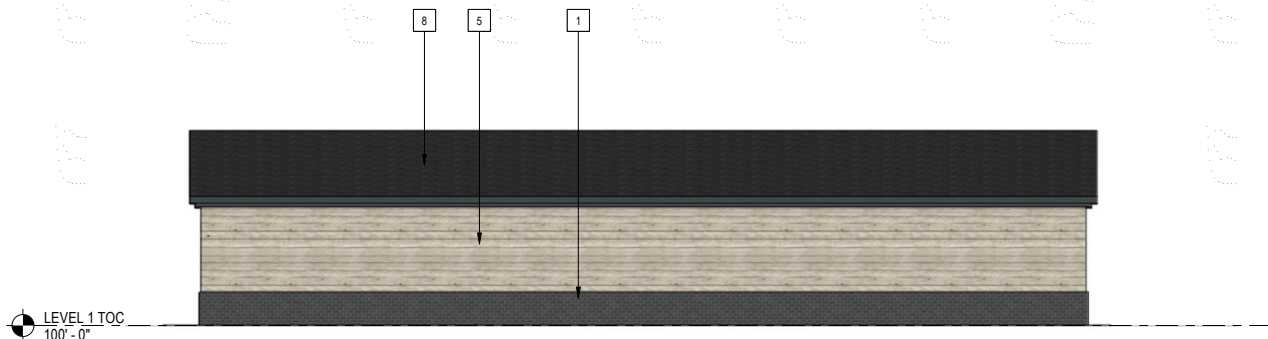
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TRASH SIDE ELEVATION

SCALE:
1/4" = 1'-0"

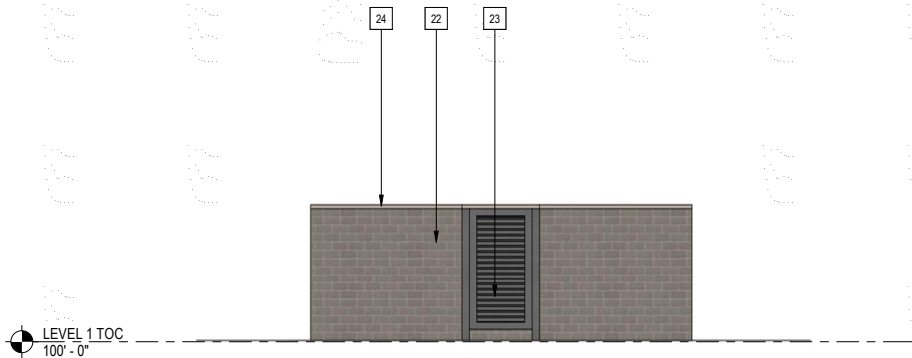
2



GARAGE NORTH ELEVATION

SCALE:
1/4" = 1'-0"

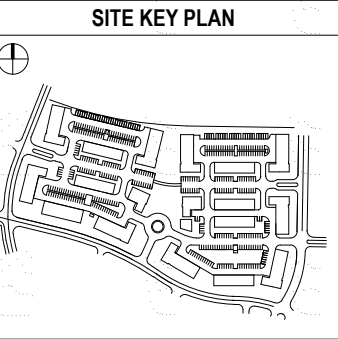
5



TRASH ENCLOSURE REAR ELEVATION

SCALE:
1/4" = 1'-0"

1



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DATE:	ISSUED FOR:
03.21.2023	DP SUBMITTAL 01
07.17.2023	DP SUBMITTAL 02



TRASH ENCLOSURE
/ GARAGE
ELEVATIONS
SHEET 64 OF 74

DEVELOPMENT PLAN FOR LAKESIDE HEIGHTS AT WOLF RANCH FILING NO. 1

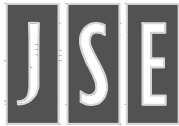
LOCATED IN THE -- SW CORNER OF BRIARGATE PARKWAY AND WOLF VALLEY DRIVE
CITY OF COLORADO SPRINGS AND EL PASO COUNTY

SITE LIGHT FIXTURE SCHEDULE

LABEL	MANUFACTURER CATALOG NO	DESCRIPTION	LAMPS / WATTAGES	NOTES
SA	VISIONAIRE #VSK-II-T1-5L-3K-CLS	POLE LIGHT	LED 34W	MOUNTING HEIGHT = 16'
SB	VISIONAIRE #VSK-II-T4L-5L-3K-HS	POLE LIGHT / TWO LAMP POLE LIGHT	LED 34W	MOUNTING HEIGHT = 16'
SC	ALUZ #A8-ZIGY-TAPE-27K-6.5W	LED TAPE LIGHT	LED 6.5W	MOUNTING HEIGHT = 9'
SD	LITHONIA #WDGEZ-LED-P1-27K-90CRI-VW	WALL SCONCE	LED 9.8W	MOUNTING HEIGHT = 9.5'

PHOTOMETRICS GENERAL NOTES

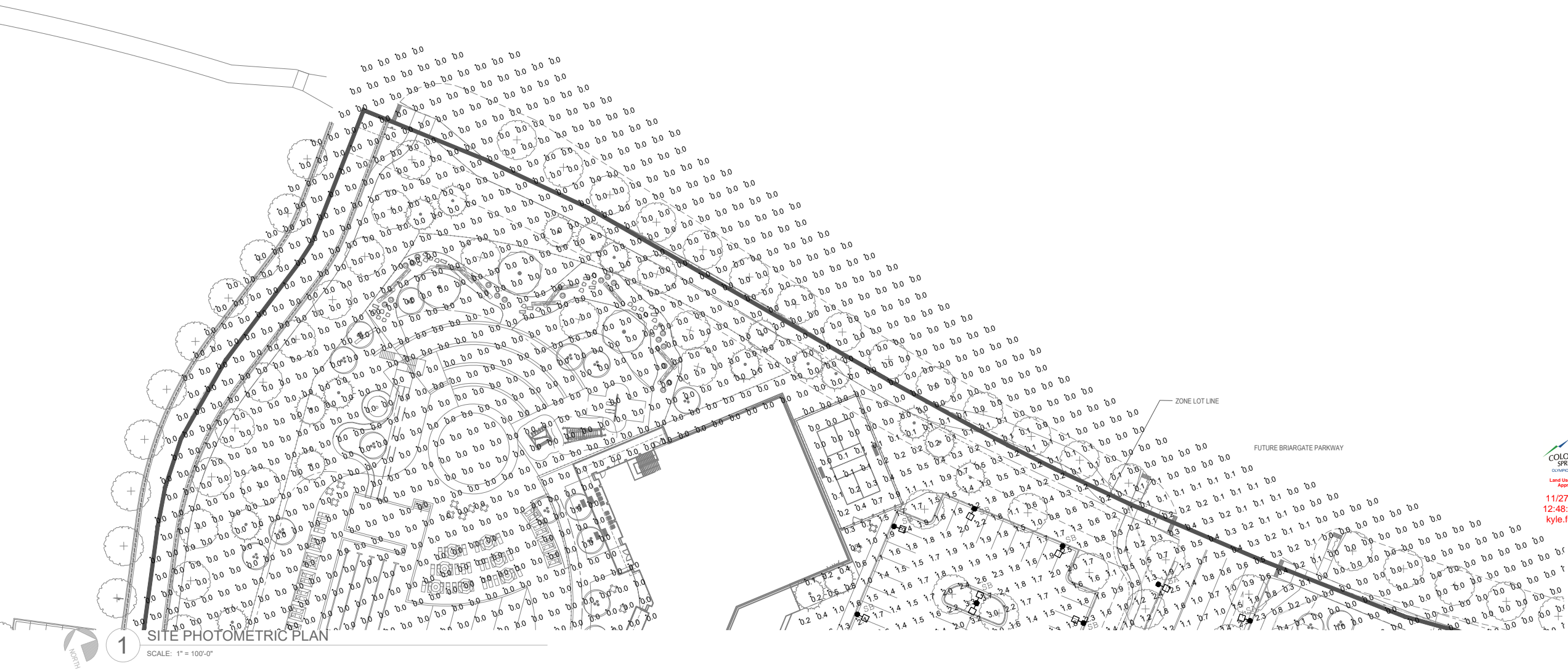
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Jordan & Skala
Engineers

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Denver, CO 80202
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Project Number:23080187 Drawn By:WW/ES Checked By:AN/SL



DEVELOPMENT PLAN FOR LAKESIDE HEIGHTS AT WOLF RANCH FILING NO. 1

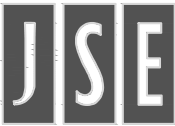
LOCATED IN THE -- SW CORNER OF BRIARGATE PARKWAY AND WOLF VALLEY DRIVE
CITY OF COLORADO SPRINGS AND EL PASO COUNTY

SITE LIGHT FIXTURE SCHEDULE

LABEL	MANUFACTURER CATALOG NO	DESCRIPTION	LAMPS / WATTAGES	NOTES
SA	VISIONAIRE #VSK-II-T1-5L-3K-CLS	POLE LIGHT	LED 34W	MOUNTING HEIGHT = 16'
SB	VISIONAIRE #VSK-II-T4L-5L-3K-HS	POLE LIGHT / TWO LAMP POLE LIGHT	LED 34W	MOUNTING HEIGHT = 16'
SC	ALUZ #AS-ZIGY-TAPE-27K-6-SW	LED TAPE LIGHT	LED 6.5W	MOUNTING HEIGHT = 9'
SD	LITHONIA #WDGEZ-LED-P1-27K-90CRI-VW	WALL SCONCE	LED 9.8W	MOUNTING HEIGHT = 9.5'

PHOTOMETRICS GENERAL NOTES

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1 SITE PHOTOMETRIC PLAN

SCALE: 1" = 100'-0"

SCALE:
1"=30'-0"

1

SITE PHOTOMETRIC
PLAN - 2

SHEET 66 OF 74



11/27/2023
12:48:32 PM
kyle.fenner

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CONTACT: Project Manager
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DATE: ISSUED FOR:
03.21.2023 DP SUBMITTAL

DEVELOPMENT PLAN FOR LAKESIDE HEIGHTS AT WOLF RANCH FILING NO. 1

LOCATED IN THE -- SW CORNER OF BRIARGATE PARKWAY AND WOLF VALLEY DRIVE
CITY OF COLORADO SPRINGS AND EL PASO COUNTY

SITE LIGHT FIXTURE SCHEDULE

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SB	VISIONAIRE #VSK-II-T4L-5L-3K-HS	POLE LIGHT / TWO LAMP POLE LIGHT	LED 34W	MOUNTING HEIGHT = 16'
SC	ALUZ #AS-ZIGY-TAPE-27K-6.5W	LED TAPE LIGHT	LED 6.5W	MOUNTING HEIGHT = 9'
SD	LITHONIA #MDGEZ-LED-P1-27K-90CRI-VW	WALL SCONCE	LED 9.8W	MOUNTING HEIGHT = 9.5'

PHOTOMETRICS GENERAL NOTES

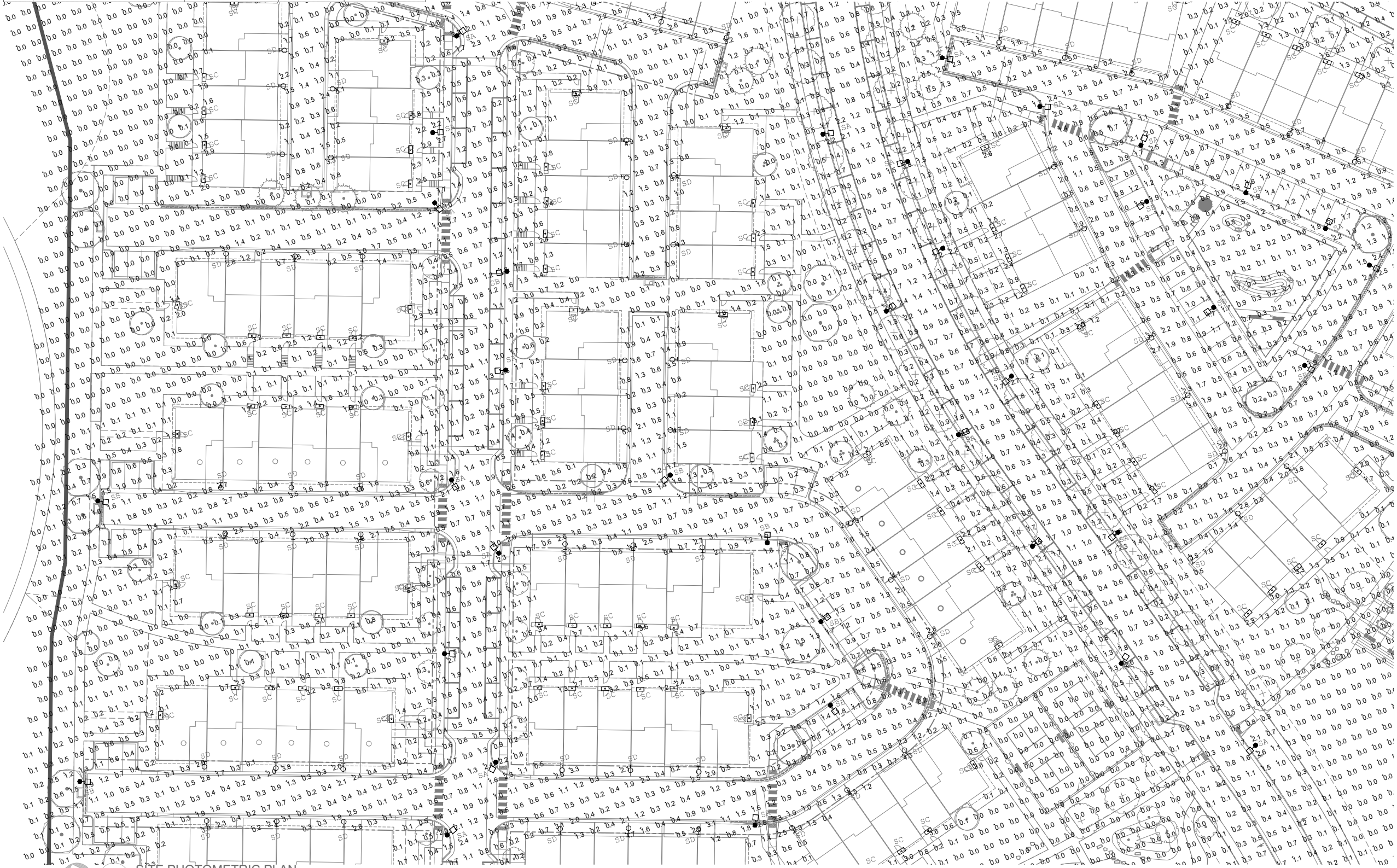
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SITE PHOTOMETRIC PLAN

SCALE: 1" = 100'-0"



Land Use Review
Approved

11/27/2023
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kyle.fenner

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CONTACT: Project Manager
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03.21.2023 DP SUBMITTAL

SITE PHOTOMETRIC
PLAN - 3
SHEET 67 OF 74

SCALE:
1"=30'-0"

1

DEVELOPMENT PLAN FOR LAKESIDE HEIGHTS AT WOLF RANCH FILING NO. 1

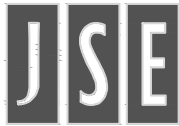
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CITY OF COLORADO SPRINGS AND EL PASO COUNTY

SITE LIGHT FIXTURE SCHEDULE

LABEL	MANUFACTURER CATALOG NO	DESCRIPTION	LAMPS / WATTAGES	NOTES
SA	VISIONAIRE #VSK-II-T1-5L-3K-CLS	POLE LIGHT	LED 34W	MOUNTING HEIGHT = 16'
SB	VISIONAIRE #VSK-II-T4L-5L-3K-HS	POLE LIGHT / TWO LAMP POLE LIGHT	LED 34W	MOUNTING HEIGHT = 16'
SC	ALUZ #AB-ZIGY-TAPE-27K-6-SW	LED TAPE LIGHT	LED 6.5W	MOUNTING HEIGHT = 9'
SD	LITHONIA #MDGE2-LED-P1-27K-90CRI-VW	WALL SCONCE	LED 9.8W	MOUNTING HEIGHT = 9.5'

PHOTOMETRICS GENERAL NOTES

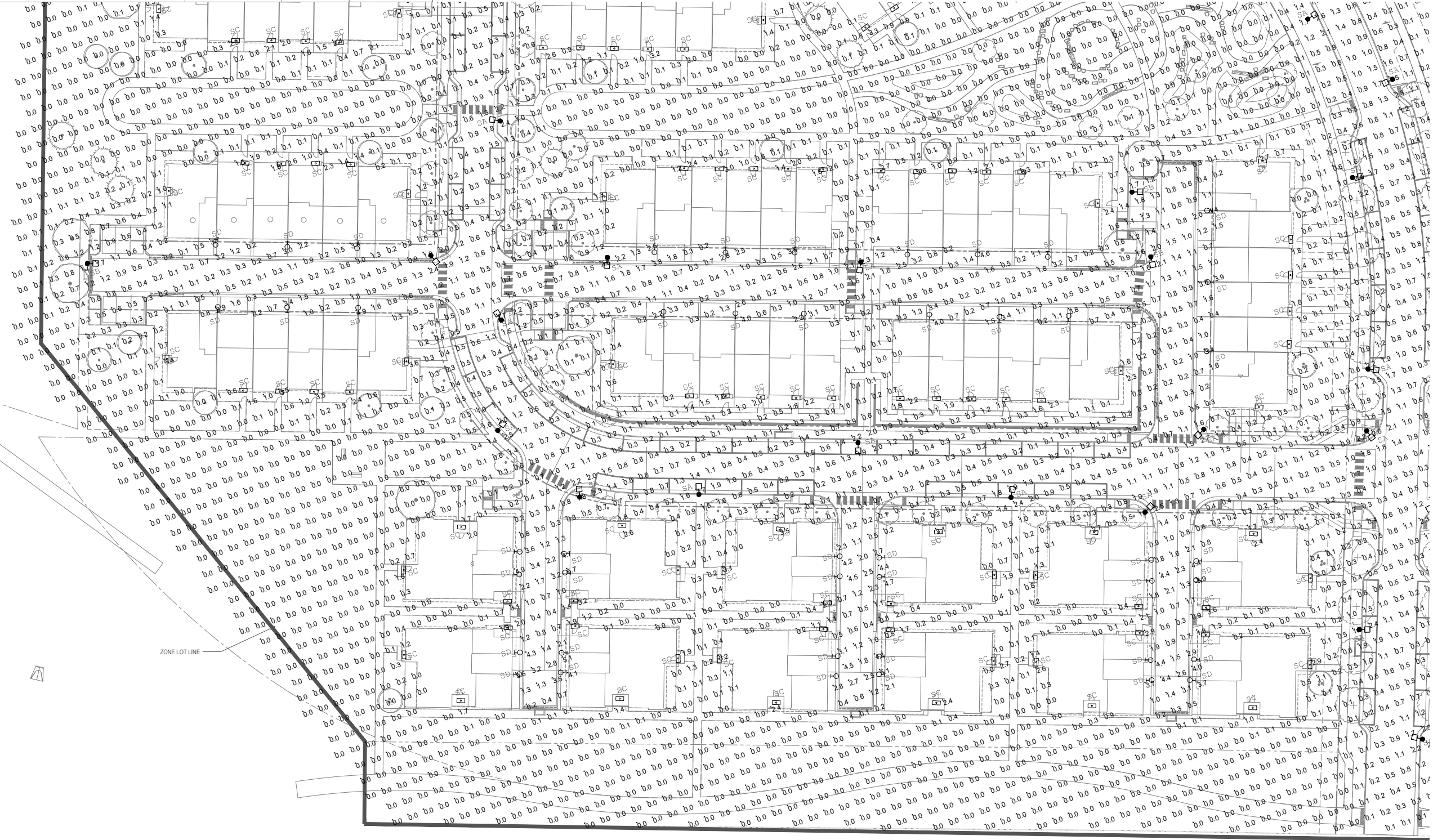
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Engineers

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kyle.fenner

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DATE: ISSUED FOR:
03.21.2023 DP SUBMITTAL

SITE PHOTOMETRIC
PLAN - 4

SHEET 68 OF 74



1

SITE PHOTOMETRIC PLAN

SCALE: 1" = 100'-0"

SCALE:
1"=30'-0"

1

DEVELOPMENT PLAN FOR LAKESIDE HEIGHTS AT WOLF RANCH FILING NO. 1

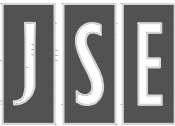
LOCATED IN THE -- SW CORNER OF BRIARGATE PARKWAY AND WOLF VALLEY DRIVE
CITY OF COLORADO SPRINGS AND EL PASO COUNTY

SITE LIGHT FIXTURE SCHEDULE

LABEL	MANUFACTURER CATALOG NO	DESCRIPTION	LAMPS / WATTAGES	NOTES
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SC	ALUZ #AS-ZIGY-TAPE-27K-6-SW	LED TAPE LIGHT	LED 6.5W	MOUNTING HEIGHT = 9'
SD	LITHONIA #WDGEZ-LED-P1-27K-90CRI-VW	WALL SCONCE	LED 9.8W	MOUNTING HEIGHT = 9.5'

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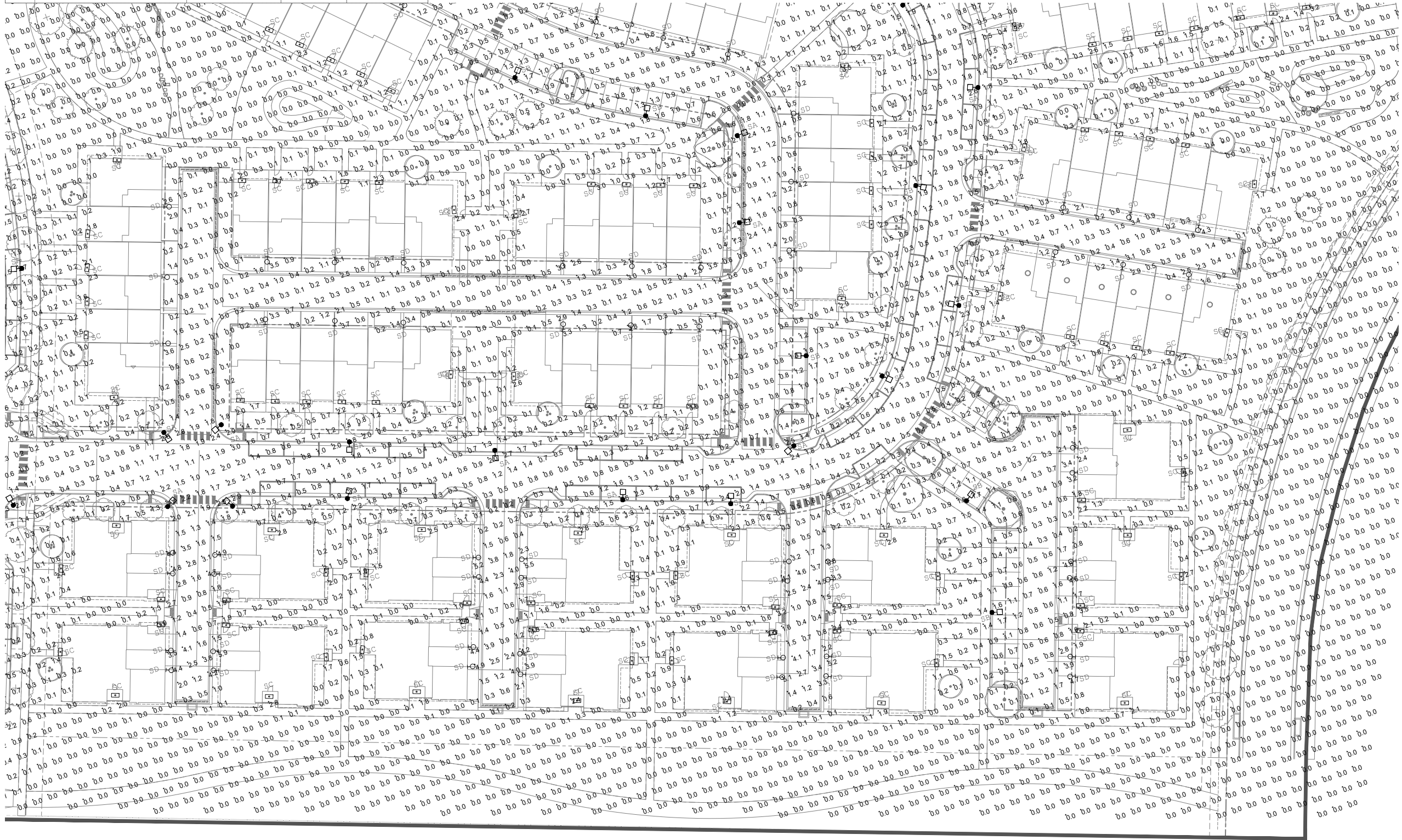
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Project Number:23080187 Drawn by:WW/BS Checked by:ANSL



1

SITE PHOTOMETRIC PLAN

SCALE: 1" = 100'-0"

SCALE:
1"=30'-0"

1

SITE PHOTOMETRIC
PLAN - 5

SHEET 69 OF 74



Land Use Review
Approved

11/27/2023
12:48:32 PM
kyle.tenner

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DENVER, CO. 80202
(303) 825-6400
CONTACT: Project Manager
ktgy@ktgy.com

DATE: ISSUED FOR:

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DEVELOPMENT PLAN FOR LAKESIDE HEIGHTS AT WOLF RANCH FILING NO. 1

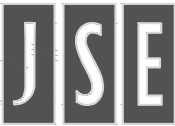
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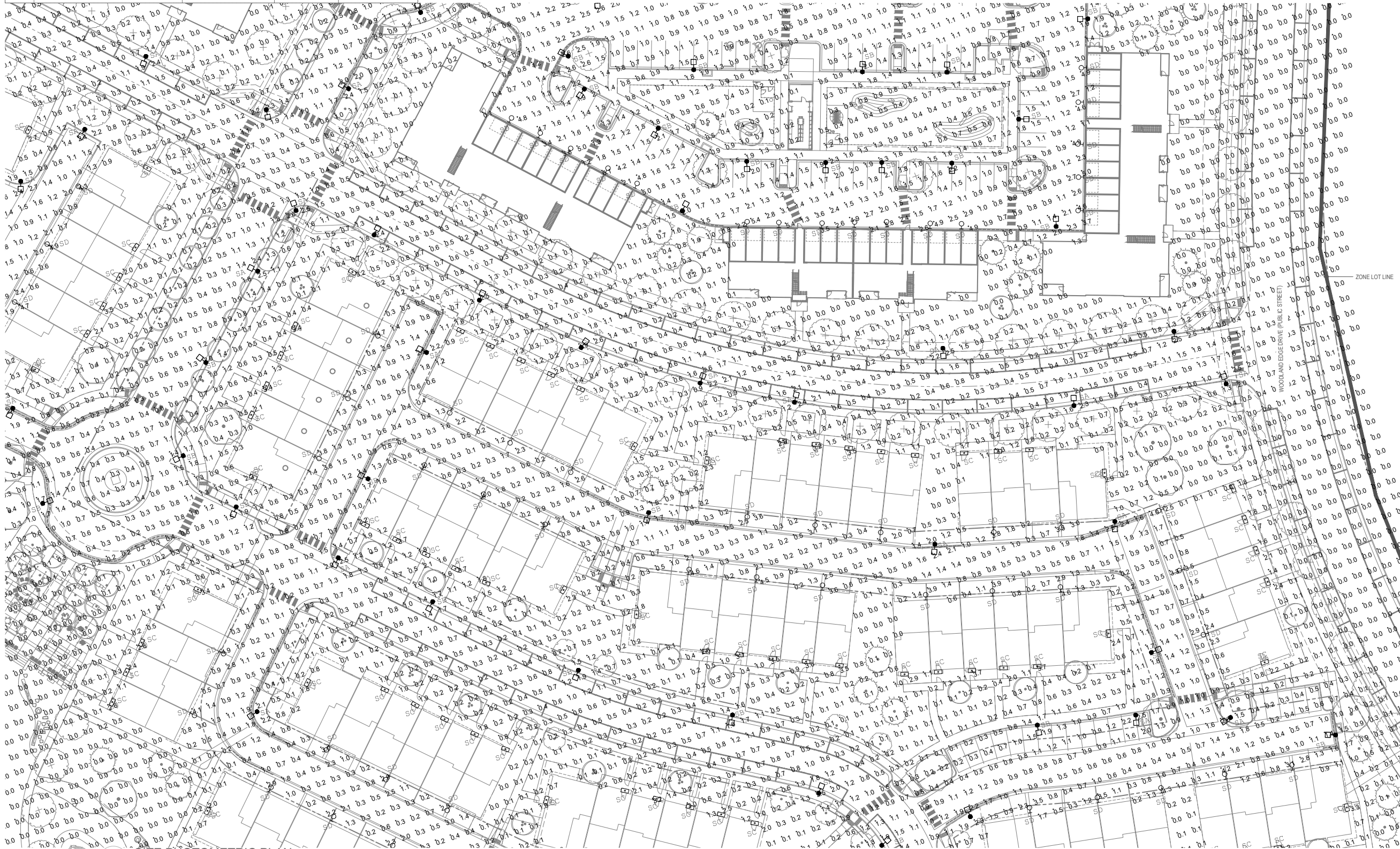
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SITE PHOTOMETRIC PLAN

SCALE: 1" = 100'-0"

COLORADO SPRINGS
OLYMPIC CITY USA
Land Use Review
Approval
11/27/2023
12:48:33 PM
kyle.fenner

KTGY - ARCHITECTURE + PLANNING
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CONTACT: Project Manager
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SITE PHOTOMETRIC
PLAN - 6
SHEET 70 OF 74

SCALE:
1"=30'-0"

1

DEVELOPMENT PLAN FOR LAKESIDE HEIGHTS AT WOLF RANCH FILING NO. 1

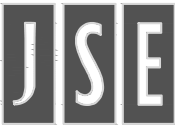
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CITY OF COLORADO SPRINGS AND EL PASO COUNTY

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SITE PHOTOMETRIC PLAN

SCALE: 1" = 100'-0"

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SITE PHOTOMETRIC
PLAN - 7
SHEET 71 OF 74

SCALE:
1"=30'-0"

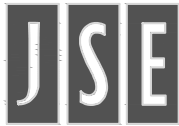
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11/27/2023
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kyle.fenner

DEVELOPMENT PLAN FOR
LAKESIDE HEIGHTS AT WOLF RANCH FILING NO. 1

LOCATED IN THE -- SW CORNER OF BRIARGATE PARKWAY AND WOLF VALLEY DRIVE
CITY OF COLORADO SPRINGS AND EL PASO COUNTY



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Project Number:23080187 Drawn By:WW/ES Checked By:ANSL

FIXTURE SA & SB

FIXTURE SA & SB

FIXTURE SA & SB

VSX-II Array LED Specifications



Project Name: _____

Catalog Number: _____

Type: _____

The new **VSX-II Array LED** Series offers clean, functional styling that is defined by its sleek low profile design and rugged construction. It combines the latest LED Array technology, advanced LED thermal management and provides outdoor lighting that is both energy efficient and aesthetically pleasing. The LED's performance and lifetime are maximized by enclosing them in two separate die cast aluminum housings.

The VSX-II Array LED fixture is offered with lumen packages ranging from 5,000 -25,000. Ten optical distributor patterns are available. Choose between 3000, 4000 or 5000 Kelvin temperature of the LEDs.

A durable polyester powder coat finish is guaranteed for five years; and is available in standard or custom colors.

The **VSX-II Array LED** series is an exceptional choice for commercial parking lots, office complexes, architectural projects, and other general lighting projects.

Ordering Information

MODEL	OPTICS	LUMENS	KELVIN	VOLTAGE	MOUNTING	FINISH	OPTIONS	OPTIONS	OPTIONS
VSX-II	T1 Type 1	5L	3K 3000K	UNV 120-277V	AM Arm Mount	BZ Bronze	PCR-120 Motion Sensor 8" Mounting Height	WSC-8 Universal Square Pole Mount Adaptor	UPMA-S Universal Square Pole Mount Adaptor
	T2 Type 2	10L	4K 4000K	8 347V	SAM Straight Arm Mount W/ Terminal Block (New Construction)	BK Black	PCR-240 PCR-277	WSC-20 Motion Sensor 9-20" Mounting Height	UPMA-R Universal Round Pole Mount Adaptor
	T3 Type 3	15L	5K 5000K	5 480V	SBK Smooth Black	PER Recessed Plate	PCR-347 PCR-480	WSC-40 Motion Sensor 21-42" Mounting Height *The WSC option will require (1) RSIS 100 remote for programming	ROT-R Rotated Optics Right Side
	T3L Type 3 Long	20L			UAM Universal Arm/W/ Terminal Block Mount (Retrofit)	WH White	5PINPER 5, 4 or 7 Pin Photo Resistor w/shorting cap Requires Dimming Driver	ROT-L Rotated Optics Left Side	
	T4 Type 4	25L			MAF Mast Arm Fitter	SWH Smooth White	7PINPER 7, 4 or 7 Pin Photo Resistor w/shorting cap Requires Dimming Driver	CLS Backside cutoff shield *Not to be used with HAI	
	T4L Type 4 Long				KM Knuckle Mount	GP Graphite	DIM 0-10V Dimming Driver	RCLS Right Side cutoff shield *Not to be used with HAI	
	T4A Type 4A Automotive				WM Wall Mount *Requires BAWP	GY Grey	UMAP Universal Mast arm fitter	LCLS Left Side cutoff shield *Not to be used with HAI	
	TSSR Type 5 Short Round				AWM Adjustable Wall Mount	SL Silver Metallic	RPP-3" RPP-4" RPP-6"	ADJLS Adjustable Louver Light Shield	
	TSLR Type 5 Long Round				CC Custom Color	VWC Visionaire Wireless Controls *Consult Factory	BD Barn Door Shield	HS House shield	
	TSLS Type Long Square								



VL-PA-ING-001-F37

REV. 0

CRCABR22-03

VSX-II ARRAY LED Specifications

VSX-II ARRAY - 3K LUMEN DATA												
LUMENS	T1	T2	T3	T3L	T4	T4L	T4A	TSSR	TSLR	TSLS	Watts	
5L	4533	4513	4477	4213	4412	4170	4504	4616	4389	4582	34	
10L	8725	8687	8616	8110	8493	8026	8666	8884	8448	8819	70	
15L	13694	13634	13526	12730	13329	12587	13605	13943	13260	13841	102	
20L	17648	17571	17431	16424	17176	16234	17533	17959	17086	17837	134	
25L	21818	21723	21550	20281	21237	20070	21676	22215	21126	22052	167	
VSX-II ARRAY - 4K LUMEN DATA												
LUMENS	T1	T2	T3	T3L	T4	T4L	T4A	TSSR	TSLR	TSLS	Watts	
5L	5020	4998	4956	4687	4886	4618	4987	5111	4861	5074	34	
10L	9662	9620	9544	8982	9405	8888	9599	9838	9356	9786	70	
15L	15165	15099	14979	14097	14761	13950	15096	15441	14684	15328	102	
20L	19544	19458	19304	18167	19023	17978	19416	19899	18924	19753	134	
25L	24162	24056	23865	22459	23518	22225	24004	24601	23395	24421	167	
VSX-II ARRAY - 5K LUMEN DATA												
LUMENS	T1	T2	T3	T3L	T4	T4L	T4A	TSSR	TSLR	TSLS	Watts	
5L	5020	4998	4956	4687	4886	4618	4987	5111	4861	5074	34	
10L	9662	9620	9544	8982	9405	8888	9599	9838	9356	9786	70	
15L	15165	15099	14979	14097	14761	13950	15096	15441	14684	15328	102	
20L	19544	19458	19304	18167	19023	17978	19416	19899	18924	19753	134	
25L	24162	24056	23865	22459	23518	22225	24004	24601	23395	24421	167	
VSX-II ARRAY - 3K LUMEN PER WATT DATA												
LUMENS	T1	T2	T3	T3L	T4	T4L	T4A	TSSR	TSLR	TSLS	Watts	
5L	133	133	132	124	130	123	132	136	129	135	34	
10L	125	124	123	116	121	115	124	127	121	126	70	
15L	135	134	133	125	131	124	134	137	130	136	102	
20L	132	131	130	122	128	121	131	134	128	133	134	
25L	131	130	129	121	127	120	130	133	126	132	167	
VSX-II ARRAY - 4K LUMEN PER WATT DATA												
LUMENS	T1	T2	T3	T3L	T4	T4L	T4A	TSSR	TSLR	TSLS	Watts	
5L	148	147	146	137	144	136	147	150	143	149	34	
10L	138	137	136	128	134	127	137	141	134	140	70	
15L	149	148	147	139	145	137	148	152	144	151	102	
20L	146	145	144	135	142	134	145	149	141	147	134	
25L	145	144	143	134	141	133	144	147	140	146	167	
VSX-II ARRAY - 5K LUMEN PER WATT DATA												
LUMENS	T1	T2	T3	T3L	T4	T4L	T4A	TSSR	TSLR	TSLS	Watts	
5L	148	147	146	137	144	136	147	150	143	149	34	
10L	138	137	136	128	134	127	137	141	134	140	70	
15L	149	148	147	139	145	137	148	152	144	151	102	
20L	146	145	144	136	142	134	145	149	141	147	134	
25L	145	144	143	134	141	133	144	147	140	146	167	



VL-PA-ING-001-F37

REV. 0

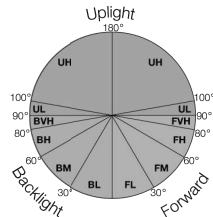
CRCABR22-03

Control Number: AREA-VSX-II-AR-08_19_2022

LED Specifications VSX-II ARRAY

Bug Rating -

The subzones are individually rated on a scale from 0 to 5, going from lowest to highest luminous flux. The highest rating of a subzone is considered the overall rating for that zone, and these readings are compiled into the BUG lighting classification: for example, B3 U1 G0. The tables below, which are based on the standards established by the IES, show the thresholds for each subzone.



VSX-II ARRAY - 3K BUG DATA												
LUMENS	T1	T2	T3	T3L	T4	T4L	T4A	TSSR	TSLR	TSLS	Watts	
5L	2	2	1	0	1	1	0	1	2	0	2	1
10L	3	3	2	0	2	0	2	3	0	3	0	2
15L	4	4	3	0	3	0	3	0	3	0	3	0
20L	4	4	3	0	3	0	3	0	3	0	3	0
25L	4	4	3	0	3	0	3	0	3	0	3	0
VSX-II ARRAY - 4K BUG DATA												
LUMENS	T1	T2	T3	T3L	T4	T4L	T4A	TSSR	TSLR	TSLS	Watts	
5L	2	2	1	0	1	1	0	1	2	0	2	1
10L	3	3	2	0	2	0	2	3	0	3	0	2
15L	4	4	3	0	3	0	3	0	3	0	3	0
20L	4	4	3	0	3	0	3	0	3	0	3	0
25L	4	4	3	0	3	0	3	0	3	0	3	0
VSX-II ARRAY - 5K BUG DATA												
LUMENS	T1	T2	T3	T3L	T4	T4L	T4A	TSSR	TSLR	TSLS	Watts	
5L	2	2	1	0	1	1	0	1	2	0	2	1
10L	3	3	2	0	2	0	2	3	0	3	0	2
15L	4	4	3	0	3	0	3	0	3	0	3	0
20L	4	4	3	0	3	0	3	0	3	0	3	0
25L	4	4	3	0	3	0	3	0	3	0	3	0

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www.visionairighting.com

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kyle.fenner

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DENVER, CO. 80202
(303) 825-6400
CONTACT: Project Manager
ktgy@ktgy.com

DATE: ISSUED FOR:

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LIGHT FIXTURE
SPECIFICATIONS
SHEET 72 OF 74

SCALE:
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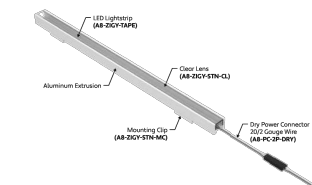
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DEVELOPMENT PLAN FOR LAKESIDE HEIGHTS AT WOLF RANCH FILING NO. 1

LOCATED IN THE -- SW CORNER OF BRIARGATE PARKWAY AND WOLF VALLEY DRIVE
CITY OF COLORADO SPRINGS AND EL PASO COUNTY

FIXTURE SC

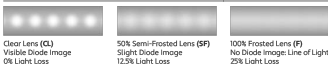
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END VIEWS / DIMENSIONS



LENS / OPTICS APPEARANCE



A8 Series | LED Tape ZIGY Standard (A8-ZIGY-STN)



GENERAL FEATURES

Applications	Accent, Decorative, Surface, Recessed, Pendant Lighting
Lens	Clear, 50% Semi-Frosted, or 100% Frosted
Viewing Angle	120°
Length	Built to Order (+/- 1/8" Tolerance)
Construction	Aluminum Extrusion
Weight	0.24lbs per Foot
Mounting	Mounting Channel or Mounting Clips (Sold Separately)

Listing	Dry Wet, or IP67 Location UL2108, E719, 60A, CSA C22.2 #9 UL8750, CSA250
Driver	Remote (Sold Separately)
Closest Rating	Up to 3.6 Watts per Foot Maximum
Temperature Ratings	Operating / Startup: -20° to 48°C (-4° to 120°F) Storage: -40° to 75°C (-40° to 167°F)
Installation Link	Link to Installation Instructions >

ELECTRICAL

Dimming	0-10V/Forward / Reverse Phase, Lutron, DMX, DALI
Maximum Run (Clear 1 Application)	18' (4.5W), 27' (5.5W), 36' (6.5W), 37' (6.8W), 38' (5.5W, 2.5W)
Maximum Run (Clear 2 Applications)	13' (4.5W), 17' (5.5W), 18' (4.5W), 23' (6.8W), 34' (2.5W), 36' (1.5W)
Luminaire Voltage	24VDC

SPECIFY PRODUCT CODE | CHOOSE FROM DROP DOWNS

Series	Lens	Watts per Foot	Dimming	CCT LED	Listing	Finish	Luminaire Length
A8-ZIGY-STN							
ZIGY Standard (A8-ZIGY-STN)	Clear Lens (CL)	15 Watts (0.8W) 54 Lumens / Ft 23 Watts (0.8W) 57 Lumens / Ft	Phase Dimming / Forward / Reverse Phase (PH) 0-10V / 00% - 1% (DMX)	2400K (DMX) 3000K (DMX)	Indoor (DRY)	Natural Silver [®] (NA)	Specify Length in Feet & Inches Example: 1' 0"
	50% Semi-Frosted Lens (SF)	16 Watts (0.8W) 59 Lumens / Ft 24 Watts (0.8W) 62 Lumens / Ft		3000K (DMX) 3000K (DMX)	Outdoor [®] (WET)	Patented (PA) White (WB)	
	100% Frosted Lens (F)	15 Watts (0.8W) 56 Lumens / Ft 23 Watts (0.8W) 60 Lumens / Ft		4000K (DMX) 4000K (DMX)	Outdoor (WET) [®]	Satin / Silver (SA) Black (BK)	
				JAB 0-10V (JAB-10V) JAB Hi-Lume 1% 2 Wire [®] (JAB-LTEA)			
				Red (R) DAW 0-10V (DAW0) DALI [®] (DALI)			
				Leave Blank for Non-Dimming	Amber [®] (A)		

- ✓ Lumens per Foot based on 35K CCT LED with Clear Lens (CL).
Example: 103 Lumens x 1.5 Watts = 54 Lumens per Foot.
- ✓ (375A) 40 watt max Luton Hi-Lume 1% 2 Wire #1TAAUJALC-CY240
- ✓ (330A) 40 watt max Luton Hi-Lume 1% 3 Wire #130AALJSC-CY240
- ✓ (330A) 50 watt max Hi-Lume Premier 0.7% #1300-9600V-LU
- ✓ Default DMX address of each luminaire is 501. Consult third party DMX commissioning to modify at time of installation.
- ✓ Data commissioning to be performed by a third party at time of installation. ALUZ does not provide DMX commissioning.
- ✓ Red, Green, Blue, and Amber LEDs are only available in 2.5W and 5.5W.
- ✓ Run lengths are required for Wet & IP67 Location products. Provide run lengths at time of order.
- ✓ Default finish is Natural Silver (NA) if left blank.

1170 N Red Gum St, Anaheim, CA 92806

aluz.lighting info@aluz.lighting 866.ALUZ.LTC | 714.535.7900

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Specification Submittal

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ALUZ

LAMP FEATURES	
Lamp Type	LEDs
CRI	> 95
Efficacy (Based on 35K CCT LED)	103 Lumens per Watt

LAMP SPECIFICATIONS

Lamp Number	Correlated Color Temperature / Description	Efficacy (Lumens per Watt)	L70 LED Life
24K	2400 Kelvin (Incandescent White)	90	
27K	2700 Kelvin (Warm White)	101	
30K	3000 Kelvin (Warm White)	100	60,000 hrs.
35K	3500 Kelvin (Neutral White)	103	
40K	4000 Kelvin (Neutral White)	105	
45K	4500 Kelvin (Neutral White)	102	
R	Red (62nm)		
G	Green (525nm)		40,000 hrs.
B	Blue (470nm)		
A	Amber (590nm)	37	

To calculate Lumens per Foot, multiply Efficacy by Watts per Foot.
Example: 103 Lumens per Watt x 1.5 Watts per Foot = 54 Lumens per Foot.

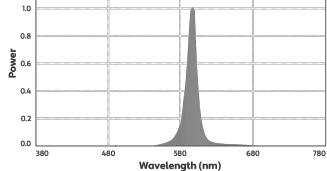
DRIVERS

Dimming Selection	Product Code	Link to Specification Sheet / URL
0-10V: 100% - 1%	(10V)	https://aluz.lighting/assets/PDFs/DRY/DRIVERS-Brochure.pdf
Phase Dimming: Forward Phase / Reverse Phase	(PH)	https://aluz.lighting/assets/PDFs/DRY/DRIVERS-Brochure.pdf
Hi-Lume 1% 2 Wire [®]	(LTEA)	https://aluz.lighting/assets/PDFs/DRY/DRIVERS-Brochure-Lutron.pdf
Hi-Lume 1% 3 Wire [®]	(L3DA)	https://aluz.lighting/assets/PDFs/DRY/DRIVERS-Brochure-Lutron.pdf
Hi-Lume Premier 0.7% JAB [®]	(L3DA)	https://aluz.lighting/assets/PDFs/DRY/DRIVERS-Brochure-Lutron.pdf
DMX-S24 [®]	(DMX)	https://aluz.lighting/assets/PDFs/DRY/DRIVERS-Brochure-RDM.pdf
DALI [®]	(DALI)	https://aluz.lighting/assets/PDFs/DRY/DRIVERS-Brochure-RDM.pdf
JAB 0-10V	(JAB-10V)	https://aluz.lighting/assets/PDFs/DRY/DRIVERS-Brochure-Lutron.pdf
JAB Hi-Lume 1% 2 Wire [®]	(JAB-LTEA)	https://aluz.lighting/assets/PDFs/DRY/DRIVERS-Brochure-Lutron.pdf

A8 Series | LED Tape ZIGY Standard (A8-ZIGY-STN)



SPECTRAL POWER DISTRIBUTION AMBER LED (590nm) TURTLE FRIENDLY



BEAM ANGLE



120° x 120° Beam

1170 N Red Gum St, Anaheim, CA 92806

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Specification Submittal

Page 2 of 6

2 / 20 / 2023 / Rev 8



Jordan & Skala
Engineers

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Denver, CO 80202
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Project Number:23080187 Drawn By:WW/ES Checked By:AN/SL



11/27/2023
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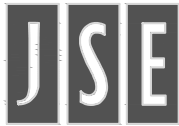
LIGHT FIXTURE
SPECIFICATIONS
SHEET 73 OF 74

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DEVELOPMENT PLAN FOR LAKESIDE HEIGHTS AT WOLF RANCH FILING NO. 1

LOCATED IN THE -- SW CORNER OF BRIARGATE PARKWAY AND WOLF VALLEY DRIVE
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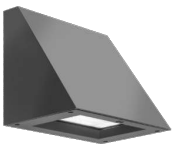


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Engineers

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p. 303.586.2375 • f. 303.586.2376

Project Number:23080187 Drawn By:WW/ES Checked By:ANSL

FIXTURE SD



WDGE2 LED Architectural Wall Sconce Visual Comfort Optic



Specifications

Depth (D1): 7"
Depth (D2): 1.5"
Height: 9"
Width: 11.5"
Weight: 13.5 lbs
(without options)



Catalog Number
Notes
Type

Use the Tab key or mouse over the page to see all interactive elements.

Introduction

The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution. Embedded with nLight® AIR wireless controls, the WDGE family provides additional energy savings and code compliance.

WDGE2 delivers up to 6,000 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. When combined with multiple integrated emergency battery backup options, including an 18W cold temperature option, the WDGE2 becomes the ideal wall-mounted lighting solution for pedestrian scale applications in any environment.

WDGE LED Family Overview

Luminaire	Optics	Standard (0, 0°C)	Cold (EM, 20°C)	Sensor	App. parametric lumens (R0000, R00R)							
					P0	P1	P2	P3	P4	P5	P6	
WDGE1 LED	Visual Comfort	4W		--	750	1,200	2,000	--	--	--	--	
WDGE2 LED	Visual Comfort	10W	18W	Standalone / nLight	--	1,200	2,000	3,000	4,500	6,000	--	
WDGE2 LED	Precision Reflective	10W	18W	Standalone / nLight	700	1,200	2,000	3,200	4,200	--	--	
WDGE3 LED	Precision Reflective	15W	18W	Standalone / nLight	--	7,500	8,500	10,000	12,000	--	--	
WDGE4 LED	Precision Reflective			Standalone / nLight	--	12,000	16,000	18,000	20,000	22,000	25,000	

Ordering Information

EXAMPLE: WDGE2 LED P3 40K 80CRI VF MVOLT SRM DDBXD

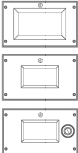
Series	Package	Color Temperature	CRI	Distribution	Voltage	Mounting	Shipped included	Shipped separately
WDGE2 LED	P1 ¹	P15W	27K 2700K	80CRI	VF	Visual comfort forward throw	MIOLT 347 ¹	SRM Surface mounting bracket
	P2 ¹	P25W	30K 3000K	90CRI	VF	Visual comfort wide	480 ¹	PBBW 5 surface-mounted back box (top, left, right, conduit entry). Use when there is no junction box available.
	P3 ¹	P35W	35K 3500K					
	P4 ¹	P45W	40K 4000K					
	P5 ¹	P55W	50K ¹ 5000K					

Options	Finish
E4WH Emergency battery backup, Certified in CA Title 20 MACDSS (4W, 0°C min)	DBRND Dark bronze
E10WH Emergency battery backup, Certified in CA Title 20 MACDSS (10W, 5°C min)	DBLXD Black
E20WC Emergency battery backup, Certified in CA Title 20 MACDSS (18W, -20°C min)	DWAXD Natural aluminum
PE ¹ Photocell, Button Type	DSSSD Sandstone
DS ¹ Dual switching (comes with 2 drivers and 2 light engines; see page 3 for details)	DOBTD Textured dark bronze
DMS ¹ 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately)	DBLBD Textured black
BCE Bottom corded entry for back box (PBBW). Total of 4 entry points.	DWAXD Textured natural aluminum
BAA Bay Area(sic) A/C Compliant	DWNGSD Textured white
	DSSTD Textured sandstone

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FIXTURE SD

Accessories
WDGEAWS DBRND WDGE 3 Inch Architectural Wall Spacer (specify finish)
WDGE2PBBW DBRND WDGE2 surface mounted back box (specify finish)
Notes
1 P1/P5 not available with sensors/controls. Sensors/controls only available with P15W, P25W and P35W.
2 SRM not available in P00CR.
3 347V and 480V not available with E4WH, E10WH, E20WC or DS.
4 PE not available in 480V or with sensors/controls.
5 DS option not available with E4WH, E10WH, E20WC or sensors/controls.
6 DMS option not available with sensors/controls.
7 Not qualified for DLC. Not available with emergency battery backup or sensors/controls.



Default configuration with no sensors/controls.
Power Packages: P1, P2, P3, P4, P5
Small Window (SW) configuration
Power Packages: P15W, P25W, P35W
Configuration with sensors/controls
Power Packages: P15W, P25W, P35W

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Performance Package	System Watt	Opt. Type	27K (2700K, 0°C min)				30K (3000K, 0°C min)				35K (3500K, 0°C min)				40K (4000K, 0°C min)				50K (5000K, 0°C min)			
			Lumen	lm/W	U _t	U _e	Lumen	lm/W	U _t	U _e	Lumen	lm/W	U _t	U _e	Lumen	lm/W	U _t	U _e	Lumen	lm/W	U _t	U _e
P1 / P15W	10W	VF	1,166	119	0	0	1,209	123	0	0	1,251	128	0	0	1,256	128	0	0	1,254	128	0	0
		VW	1,197	122	0	0	1,241	126	0	0	1,284	131	0	0	1,289	131	0	0	1,286	131	0	0
P2 / P25W	15W	VF	1,878	129	1	0	1,947	134	1	0	2,015	139	1	0	2,023	139	1	0	2,019	139	1	0
		VW	1,927	133	1	0	1,997	137	1	0	2,067	142	1	0	2,075	143	1	0	2,071	143	1	0
P3 / P35W	25W	VF	2,908	129	1	0	3,015	134	1	0	3,119	138	1	0	3,132	139	1	0	3,126	139	1	0
		VW	2,983	132	1	0	3,093	137	1	0	3,200	142	1	0	3,213	143	1	0	3,206	142	1	0
P4	35W	VF	4,096	117	1	0	4,247	121	1	0	4,394	126	1	0	4,412	126	1	0	4,403	126	1	0
		VW	4,202	120	1	0	4,357	125	1	0	4,508	129	1	0	4,526	129	1	0	4,517	129	1	0
P5	48W	VF	5,567	115	1	0	5,772	119	1	0	5,972	123	1	0	5,996	124	1	0	5,984	124	1	0
		VW	5,711	118	1	0	5,921	122	1	0	6,127	126	1	0	6,151	127	1	0	6,139	127	1	0

Electrical Load

Performance Package	System Watt	Current (A)					
		120V	208V	240V	277V	347V	480V
P1 / P15W	10W	0.082	0.049	0.043	0.038	--	--
	15W	--	--	--	--	0.046	0.033
P2 / P25W	15W	0.132	0.081	0.072	0.064	--	--
	25W	--	--	--	--	0.056	0.041
P3 / P35W	25W	0.195	0.114	0.100	0.088	--	--
	35W	--	--	--	--	0.079	0.058
P4	35W	0.302	0.175	0.152	0.134	--	--
	48W	0.434	0.241	0.211	0.184	--	--
P5	48W	0.434	0.241	0.211	0.184	--	--
	52W	--	--	--	--	0.157	0.119

Lumen Multiplier for 90CRI

CRI	Multiplier
27K	0.845
30K	0.867
35K	0.845
40K	0.885
50K	0.898

Lumen Output in Emergency Mode (4000K, 80 CRI)

Option	VF	VF	VF
E4WH	VF	646	
	VW	667	
E10WH	VF	1,658	
	VW	1,701	
E20WC	VF	2,840	
	VW	2,913	

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient	Lumen Multiplier
0°C	1.03
10°C	1.02
20°C	1.01
25°C	1.00
30°C	0.99
40°C	0.98

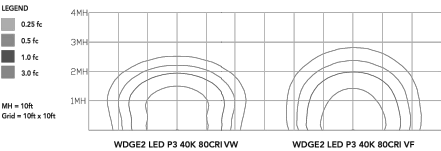
Projected LED Lumen Maintenance

Use these factors to determine the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	>0.96	>0.95	>0.91

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit the Lithonia Lighting WDGE LED homepage. Tested in accordance with IESNA LM-79 and LM-80 standards.



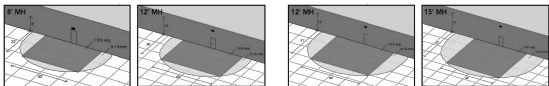
Emergency Egress Options

Emergency Battery Backup

The emergency battery backup is integral to the luminaire — no external housing required! This design provides reliable emergency operation while maintaining the aesthetics of the product. All emergency battery backup configurations include an independent secondary driver with an integral relay to immediately detect loss of normal power and automatically energize the luminaire. The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours) from the time normal power is lost and maintain a minimum of 60% of the light output at the end of 90 minutes.

Applicable codes: NFPA 70/NEC — section 700.16, NFPA 101 Life Safety Code Section 7.9

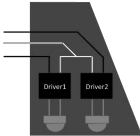
The examples below show illuminance of 1 fc average and 0.1 fc minimum in emergency mode with E10WH or E20WC and VF distribution.



Dual Switching (DS) Option

The dual switching option offers operational redundancy that certain codes require. With this option the luminaire comes integrated with two drivers and two light engines. These work completely independent to each other so that a failure of any individual component does not cause the whole luminaire to go dark. This option is typically used with a back generator or inverter providing emergency power.

Applicable codes: NFPA 70/NEC — section 700.16, NFPA 101 Life Safety Code Section 7.9



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LIGHT FIXTURE
SPECIFICATIONS
SHEET 74 OF 74

SCALE:
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1

COLORADO
SPRINGS
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LAND USE REVIEW
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(303) 825-6400
CONTACT: Project Manager
ktgy@ktgy.com

DATE: ISSUED FOR:

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