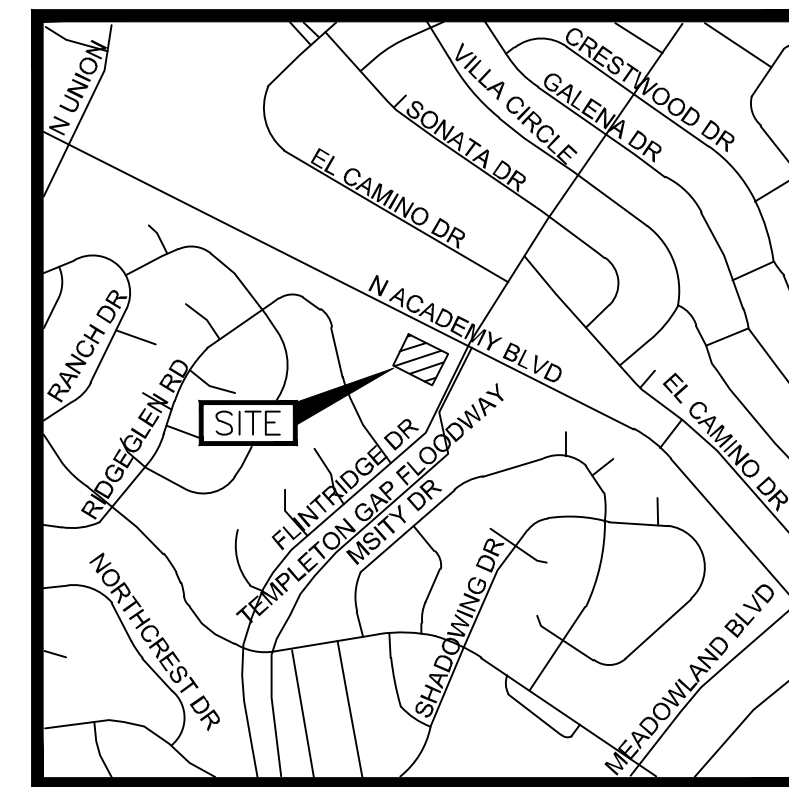


# SITE DEVELOPMENT PLANS FOR QUIKTRIP STORE #4296

## LOT 1, BLOCK 6, REPLAT OF BLOCK 6 IN GARDEN RANCH ESTATES NO. 1 4760 FLINTRIDGE DR. COLORADO SPRINGS, CO

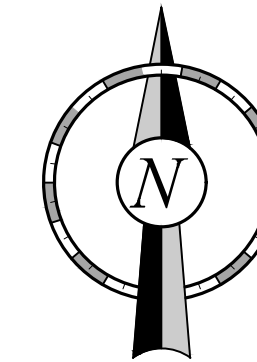
### GENERAL NOTES:

- PROPERTY OWNERS ARE RESPONSIBLE FOR THE MAINTENANCE FOR SHARED COMMON TRACTS, ACCESS DRIVES, PRESERVATION AREAS AND LANDSCAPE AREAS ADJACENT TO THEIR PROPERTY.
- PER CITY CODE SECTION 7.4.102.D, ALL LIGHTING FIXTURES SHALL BE FULL CUT-OFF OR HAVE SHIELDING TO REDUCE OFF-SIGHT LIGHTING IMPACTS ONTO ADJACENT PROPERTIES AND ROADWAYS. ALL EXTERIOR LIGHTING SHALL BE ARRANGED TO MITIGATE LIGHT DIRECTED AWAY FROM ADJACENT PROPERTIES AND ANY PUBLIC RIGHT-OF-WAY. AN AMENDMENT TO THIS PLAN MAY BE REQUIRED IF THE LIGHTING TYPE IS CHANGED.
- SIGNAGE IS NOT APPROVED PER THIS PLAN. A SEPARATE SIGN PERMIT IS REQUIRED. CONTACT THE DEVELOPMENT REVIEW ENTERPRISE AT 719-385-5982 TO BEGIN A SIGN PERMIT APPLICATION.
- ACCESSIBLE ROUTES, INCLUDING RAMPS AND SIDEWALKS, WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PER THE CITY'S STANDARD DRAWINGS AND SPECIFICATIONS. CITY'S INSPECTOR WILL HAVE THE FINAL AUTHORITY ON ACCEPTING THE PUBLIC IMPROVEMENTS.
- UNIFIED CONTROL STATEMENT - ALL ACCESS DRIVEWAYS, DRIVES, AISLEWAYS, MANEUVERING AND PARKING AREAS, EASEMENTS SHALL BE FOR THE COMMON USE AND MAINTENANCE OF ALL USERS, PUBLIC OR PRIVATE, AND OWNERS OF THIS DEVELOPMENT, FREE AND UNIMPEDED VEHICULAR AND PEDESTRIAN MOVEMENTS SHALL BE MAINTAINED AND PERMITTED ACROSS ALL PROPERTY LINES AT ALL TIMES REGARDLESS OF FUTURE OWNERSHIP OR PLATTING ACTIONS.
- ACCESSIBLE PARKING SPACES, ACCESS AISLES, AND SIGNAGE SHALL MEET ALL APPLICABLE CITY CODE REQUIREMENTS INCLUDING:
  - PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING ONE TO FIFTY (1:50)(2PERCENT) IN ALL DIRECTIONS.
  - ACCESSIBLE PARKING SPACES SHALL BE MARKED WITH FOUR INCH (4") LINES.
  - ACCESSIBLE AISLES SHALL BE OUTLINED AND DIAGONALLY STRIPED AT FORTY-FIVE DEGREE (45°) ANGLES IN A CONTRASTING COLOR SUCH AS YELLOW, WHITE, OR BLUE.
  - EACH ACCESSIBLE PARKING SPACE SHALL BE DESIGNATED AS RESERVED BY A SIGN SHOWING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. VAN ACCESSIBLE SPACES SHALL BE NO SMALLER THAN EIGHTEEN INCHES (18") TALL BY TWELVE INCHES (12") WIDE. EACH VAN ACCESSIBLE SIGN SHALL BE NO SMALLER THAN SIX INCHES (6") TALL BY TWELVE INCHES (12") WIDE. SIGNS SHALL BE LOCATED AT THE HEAD OF THE SPACE WITH THE BOTTOM OF THE SIGNS BETWEEN FIVE FEET (5') AND SEVEN FEET (7') ABOVE THE FINISH FLOOR OR GROUND SURFACE.
- LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER, AND/OR THEIR ASSIGNS.
- STREET TREES (INCLUDING SUBGRADE ROOT BARRIER AND STRUCTURAL SOIL), STREETSCAPE IMPROVEMENTS AND VEGETATION WITHIN THE CITY ROW SHALL BE MAINTAINED BY THE ADJUTING PROPERTY OWNER.
- ALL CURB, GUTTER, DRIVEWAYS, SIDEWALK AND PEDESTRIAN RAMPS POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATION OR DOES NOT MEET CURRENT CITY ENGINEERING STANDARDS ALONG THE PUBLIC RIGHT-OF-WAY (ROW) ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED PRIOR TO ISSUING THE CERTIFICATE OF OCCUPANCY (C.O.). AN ON-SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW DIVISION (EDRD) INSPECTOR TO DETERMINE WHAT IF ANY, IMPROVEMENTS ARE REQUIRED. THE EDRD INSPECTOR CAN BE REACHED AT 719-385-5977.
- INSTALLATION OF ELECTRICAL DEVICES IN THE PUBLIC ROW SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY SPECIFICATION SECTION 1001 AND COMPLETE THE COLORADO SPRINGS UTILITIES "ELECTRIC INSPECTION IN THE RIGHT-OF-WAY CERTIFICATE" IN ACCORDANCE WITH UTILITIES' REQUIREMENTS FOR ELECTRIFICATION. THE CERTIFICATE SHALL ALSO BE PROVIDED TO THE CITY INSPECTOR.
- THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.



Vicinity Map

Not to Scale



### MUNICIPAL CONTACT LIST:

#### CITY OF COLORADO SPRINGS

<b>PLANNING &amp; DEVELOPMENT</b> 30 S. NEVADA AVE., STE. 701 COLORADO SPRINGS, CO, 80903 TEL: (719) 385-5905	<b>ENGINEERING DEVELOPMENT</b> 30 S. NEVADA AVE. COLORADO SPRINGS CO, 80903 TEL: (719) 385-5918
<b>STORMWATER ENTERPRISE</b> 30 S. NEVADA AVE., STE. 401 COLORADO SPRINGS, CO, 80903 TEL: (719) 385-5980	<b>TRAFFIC &amp; TRANSPORTATION ENGINEERING</b> 30 S. NEVADA AVE. COLORADO SPRINGS CO, 80903 TEL: (719) 385-5908
<b>COLORADO SPRINGS UTILITIES</b> 111 S CASCADE AVE. COLORADO SPRINGS, CO, 80903 TEL: (719) 448-4800	<b>COLORADO SPRINGS FIRE DEPARTMENT</b> 375 PRINTERS PKWY. COLORADO SPRINGS, CO, 80910 TEL: (719) 385-5950

### PROJECT CONTACT LIST:

<b>SURVEYOR OF RECORD</b> GALLOWAY & COMPANY BRIAN DENNIS, PLS 1155 KELLY JOHNSON BLVD. STE. 305 COLORADO SPRINGS, CO, 80920 TEL: (719) 900-7220	<b>QT REAL ESTATE PROJECT MANAGER</b> QUIKTRIP CORPORATION BRITANNY SIKORSKI 12000 WASHINGTON ST., STE 175 THORNTON, CO 80241 TEL: (303) 248-0436
<b>ENGINEER OF RECORD</b> GALLOWAY & COMPANY TREVEN EDWARDS, P.E. 1155 KELLY JOHNSON BLVD. STE. 305 COLORADO SPRINGS, CO, 80920 TEL: (719) 900-7220	<b>QT CIVIL PROJECT MANAGER</b> QUIKTRIP CORPORATION ASHLEY GOODRICH 4705 S. 129TH EAST AVE., TULSA, OK 74134 TEL: (269) 425-9638

### FLOOD CERTIFICATION:

THIS PROPERTY LIES IN ZONE "X" AND DOES NOT LOCATE WITHIN ANY PRESENTLY ESTABLISHED 100-YEAR FLOOD PLAIN, AS SHOWN BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP FOR THE COUNTY OF EL PASO, CITY OF COLORADO SPRINGS, CO, COMMUNITY PANEL NUMBER 08041C0519G EFFECTIVE DATE DECEMBER 7, 2018.

### BENCHMARKS:

BM-1 FIMS MONUMENT ABA3 IS A 2 INCH ALUMINUM CAP, STAMPED "CSU FIMS CONTROL ABA3 SET IN A CONCRETE ELECTRICAL VAULT. ELEVATION=6429.20' (NAVD88)

ON-SITE CONTROL POINTS (CP):  
ALL NO. 5 REBAR WITH GREEN PLASTIC CAP, "GALLOWAY CONTROL"

CP #1: SW AREA OF PROPERTY  
ELEV = 6434.61'

CP #2: SE AREA OF PROPERTY  
ELEV = 6431.27'

CP #3: NE AREA OF PROPERTY  
ELEV = 6434.61'

### Sheet List Table

Sheet Description	Sheet Title
C001	COVER SHEET
C030	DEMOLITION PLAN
C100	PRELIMINARY SITE PLAN
C101	ADA DETAILS
C102	SITE DETAILS
C110	PRELIMINARY GRADING PLAN
C120	PRELIMINARY UTILITY & PUBLIC FACILITY PLAN
C160	PHOTOMETRIC PLAN
L100	FINAL LANDSCAPE PLAN
L500	LANDSCAPE NOTES & DETAILS
A100	BUILDING ELEVATIONS
A110	CANOPY & SIGN ELEVATIONS

### SITE PLAN

#### GENERAL DEVELOPMENT DATA

SITE ADDRESS	4760 FLINTRIDGE DR
JURISDICTION	CITY OF COLORADO SPRINGS, CO
TAX SCHEDULE NUMBER	6322307078
MASTER REVIEW NUMBER	STM-MP23-0086
SITE AREA / TOTAL ACREAGE	PROJECT AREA: 53,385 SF / 1.226 AC
DISTURBED AREA	42,968 SF (0.986 AC)
UTILITY CONNECTION DISTURBANCE	2,004 (0.046 AC)
TOTAL DISTURBED AREA	44,970 SF (1.032 AC)
DEVELOPMENT SCHEDULE	WINTER 2024
REQUIRED SETBACKS	FRONT: 25' MIN. SIDE: 20' MIN. REAR: 20' MIN.
BUILDING COVERAGE	9.95% 5,312 SF
LOT COVERAGE	84% 44,843 SF

#### EXISTING DEVELOPMENT DATA

ZONING DISTRICT	OFFICE COMPLEX (OC)
DRAINAGE BASIN	TEMPLETON GAP
FEMA FIRM PANEL	08041C0519G

#### PROPOSED DEVELOPMENT DATA

PROPOSED LAND USE	CONVENIENCE FOOD SALES
PROPOSED BUILDING TYPE	
PROPOSED FRONTAGE TYPE	
PROPOSED ZONING DISTRICT	MX-M

#### PROPOSED BUILDING SIZE

BUILDING SQAURE FOOTAGE	5,312 SF
PROPOSED BUILDING HEIGHT	20'-0"

### PARKING TABLE

USE	PARKING RATIO	PARKING REQUIRED	PARKING PROVIDED
CONVENIENCE FOOD SALES (5,312 SF)	1 / 300 SF	18	33
TOTAL		18	33
ADA ACCESSIBLE (INCLUDED IN TOTAL COUNT)		1	1
ADA VAN ACCESSIBLE (INCLUDED IN TOTAL COUNT)		1	1

CITY APPROVAL STAMP:

PROJECT NO.: QKT00004296

**Galloway**

1155 Kelly Johnson Blvd., Suite 305  
Colorado Springs, CO 80920  
719.593.7228  
GallowayUS.com

**QuikTrip No. 4296**  
N. ACADEMY BLVD. & FLINTRIDGE DR.  
COLORADO SPRINGS, CO



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REV	DATE	DESCRIPTION
1	7/1/23	1ST CITY DP REVIEW
2	8/15/23	2ND CITY DP REVIEW

ORIGINAL ISSUE DATE: 04/18/23

SHEET TITLE:  
COVER SHEET

SHEET NUMBER:

C001

CITY FILE #:  
DEPN-23-0083



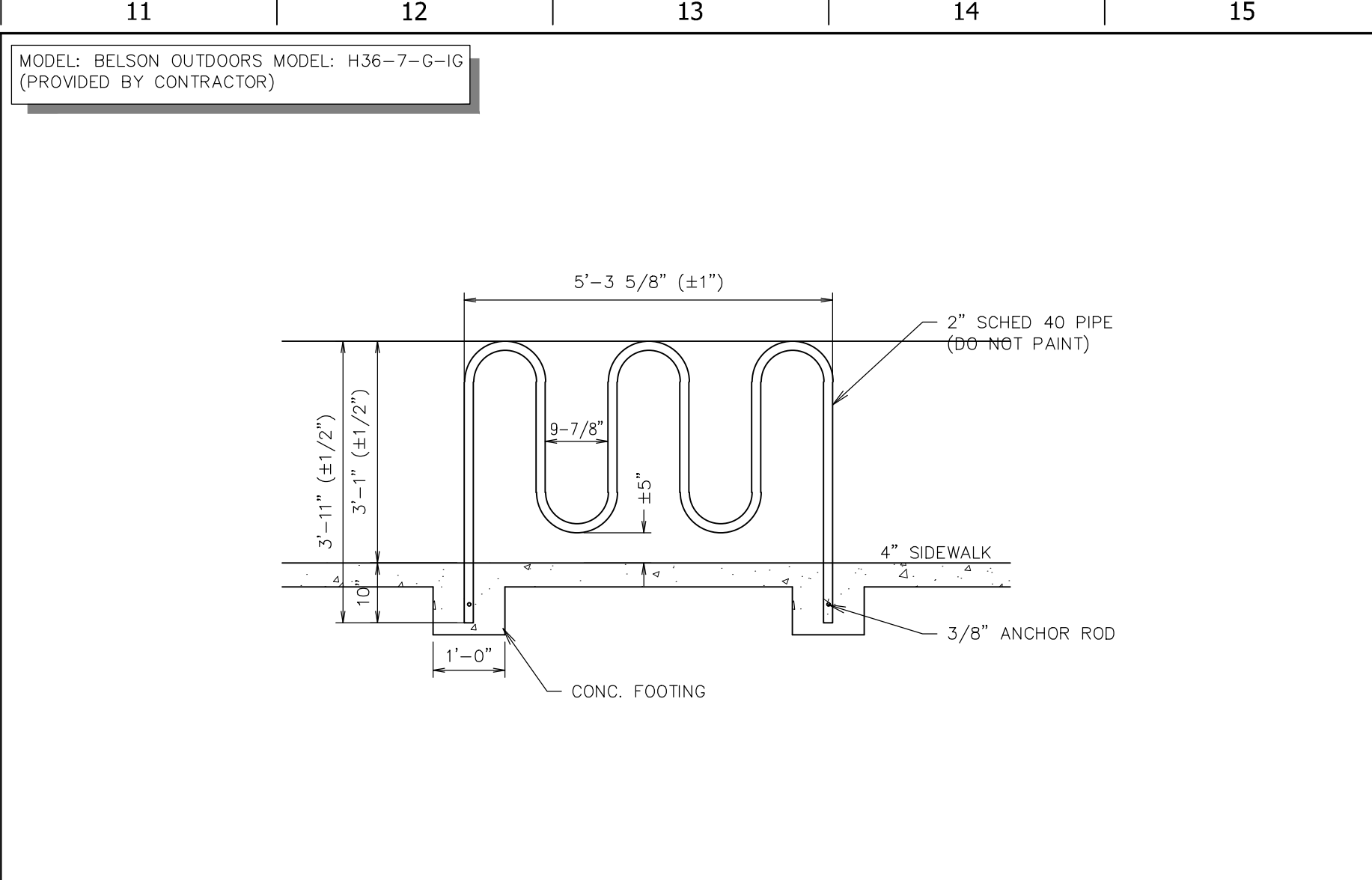
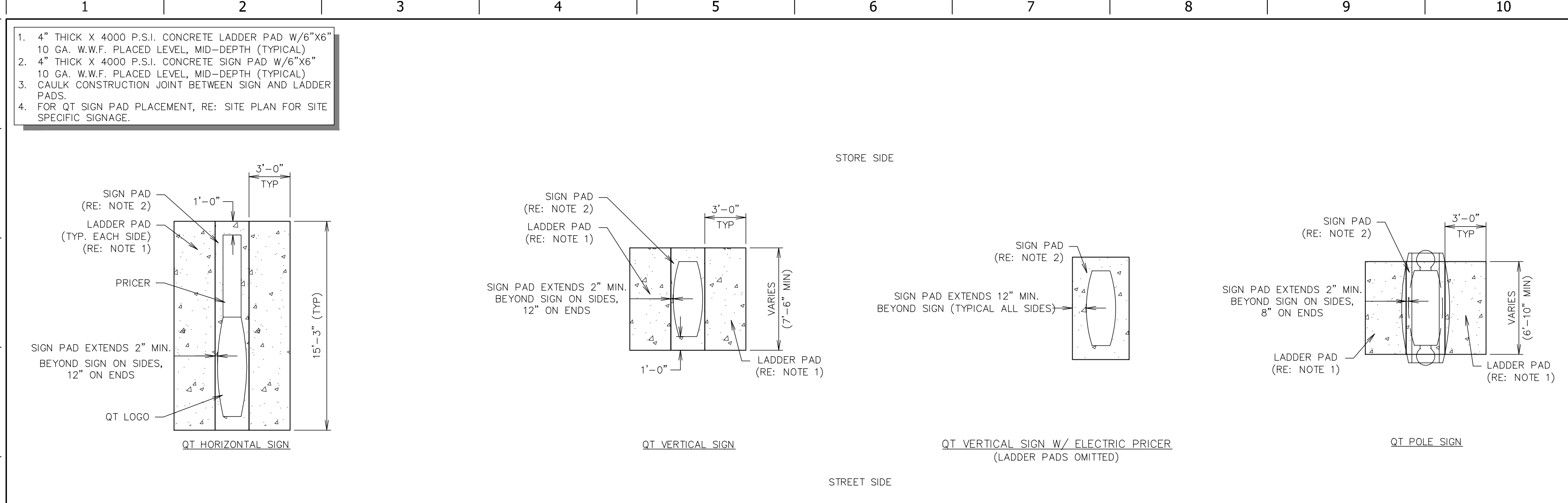






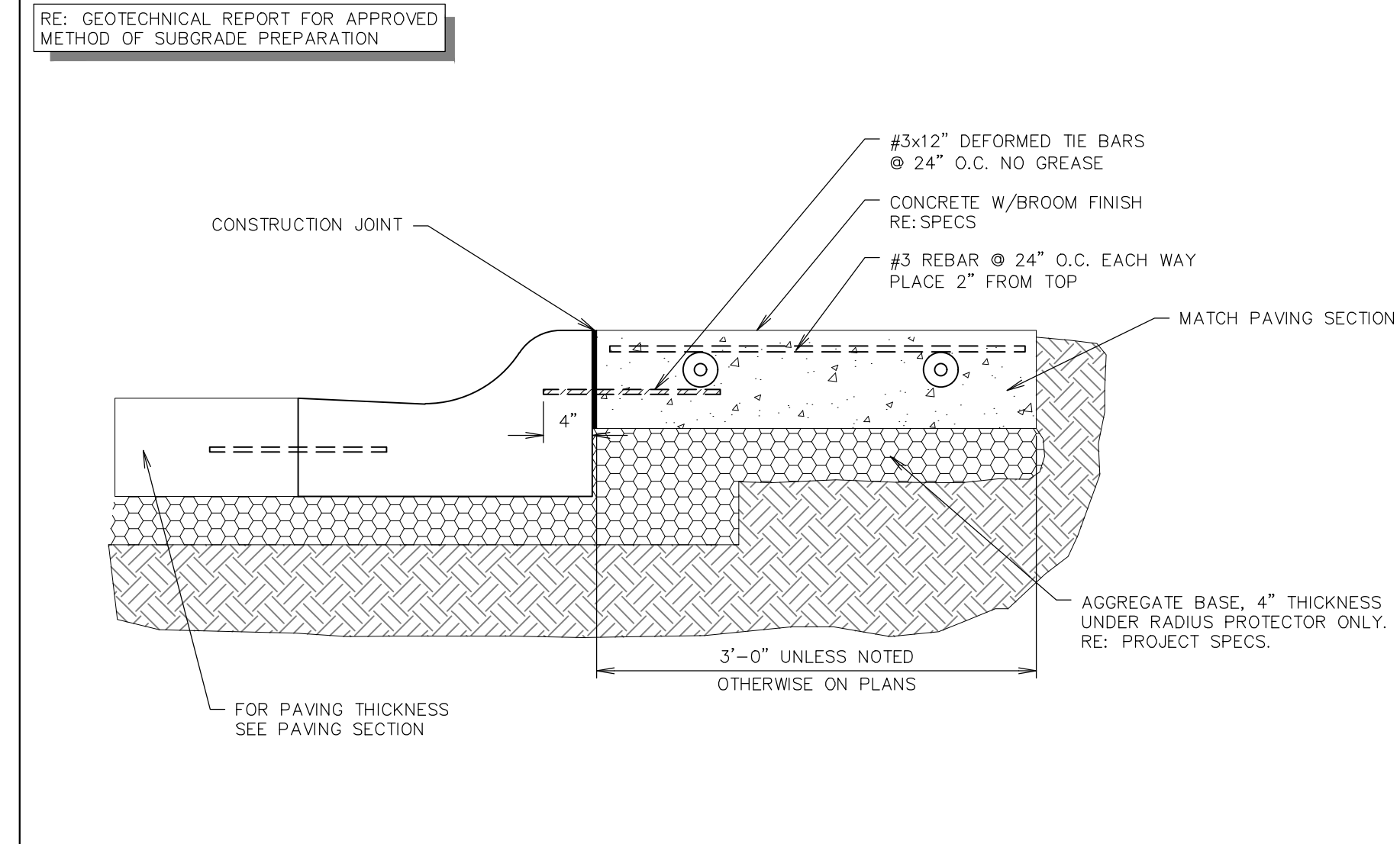
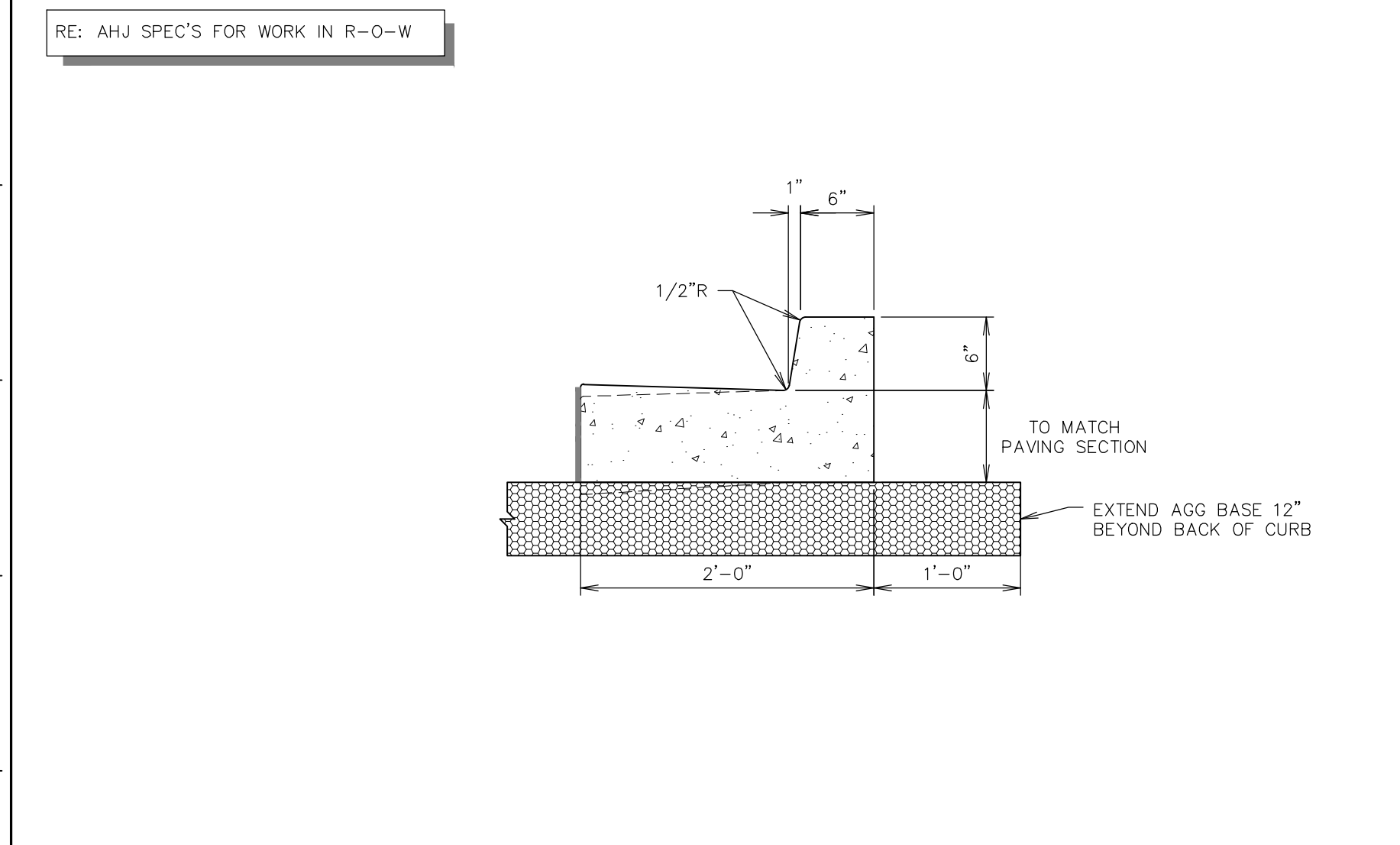






**L1** GEN III SIGN PAD DETAIL  
 NTS SN: S0015A005

**L11** GEN III BIKE RIBBON RACK DETAIL  
 NTS SN: S0022A006



**F1** CURB DETAIL - BARRIER  
 NTS SN: PD009A016

**F6** STANDARD RADIUS PROTECTOR SECTION  
 NTS SN: PD017A013

**F11** NOT USED  
 NTS SN:

**A1** NOT USED  
 NTS SN:

**A6** NOT USED  
 NTS SN:

CITY APPROVAL STAMP:

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 DIVISION: 83  
 VERSION: 001  
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 REVIEWED BY: ACJ

REV	DATE	DESCRIPTION
1	7/19/23	1ST CITY DP REVIEW
2	8/15/23	2ND CITY DP REVIEW

ORIGINAL ISSUE DATE: 04/18/23

SHEET TITLE:  
 SITE DETAILS

SHEET NUMBER:  
**C102**

CITY FILE #:  
 DEPN-23-0083

PROJECT NO.: QKT00004296

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 GallowayUS.com

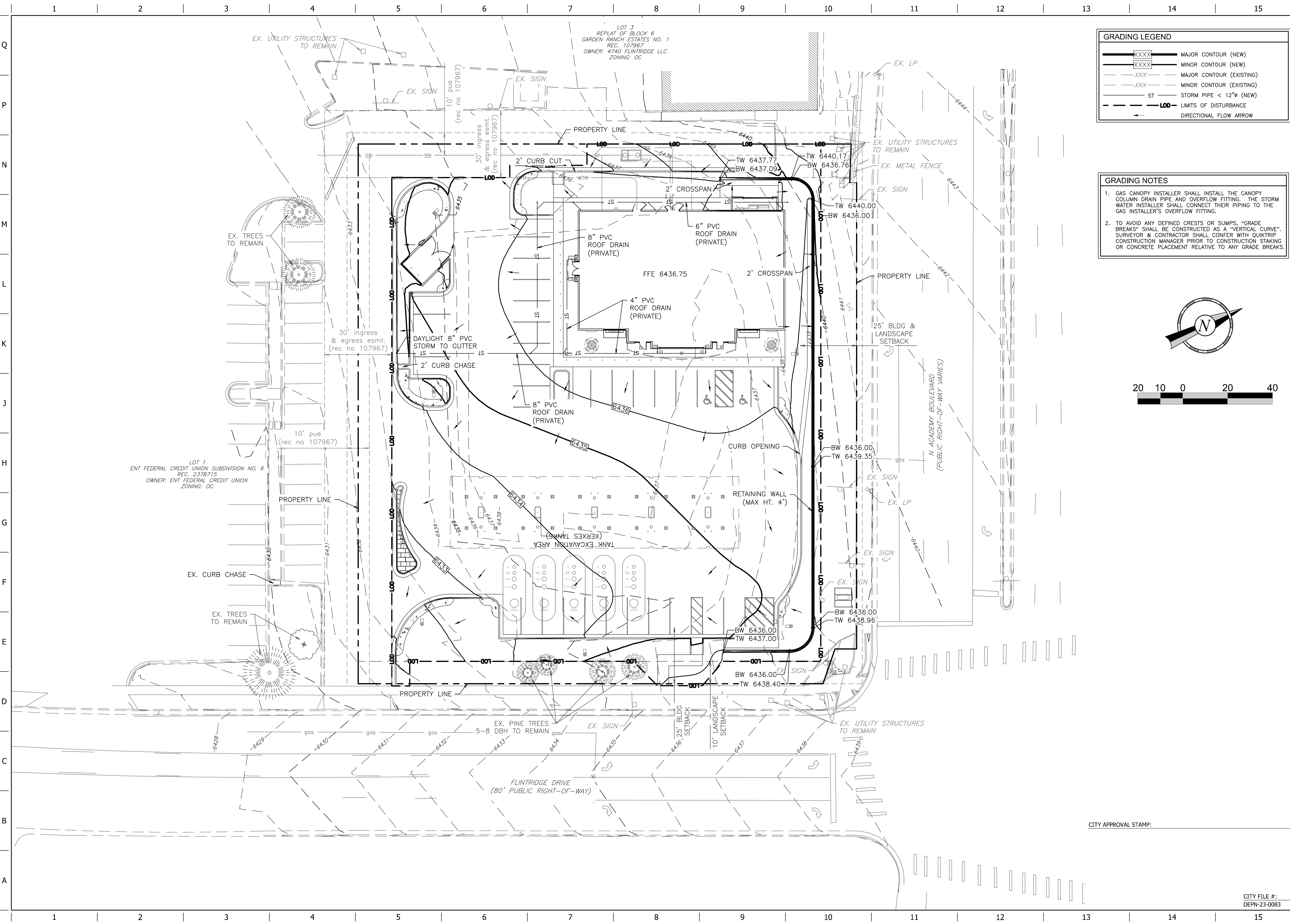
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**QT**

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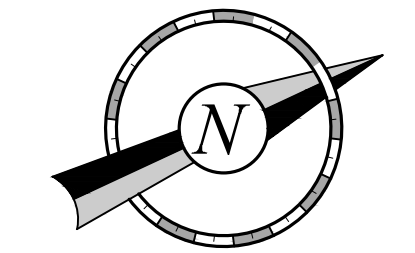


**GRADING LEGEND**

- XXX— MAJOR CONTOUR (NEW)
- XXX--- MINOR CONTOUR (NEW)
- XXX--- MAJOR CONTOUR (EXISTING)
- XXX--- MINOR CONTOUR (EXISTING)
- ST— STORM PIPE < 12" (NEW)
- - - - - L.O.D. LIMITS OF DISTURBANCE
- DIRECTIONAL FLOW ARROW

**GRADING NOTES**

- GAS CANOPY INSTALLER SHALL INSTALL THE CANOPY COLUMN DRAIN PIPE AND OVERFLOW FITTING. THE STORM WATER INSTALLER SHALL CONNECT THEIR PIPING TO THE GAS INSTALLER'S OVERFLOW FITTING.
- TO AVOID ANY DEFINED CRESTS OR SUMPS, "GRADE BREAKS" SHALL BE CONSTRUCTED AS A "VERTICAL CURVE". SURVEYOR & CONTRACTOR SHALL CONFERENCE WITH QUIKTRIP CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION STAKING OR CONCRETE PLACEMENT RELATIVE TO ANY GRADE BREAKS.



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1	7/19/23	1ST CITY DP REVIEW
2	8/15/23	2ND CITY DP REVIEW

ORIGINAL ISSUE DATE: 04/18/23

SHEET TITLE:  
 PRELIMINARY GRADING  
 PLAN

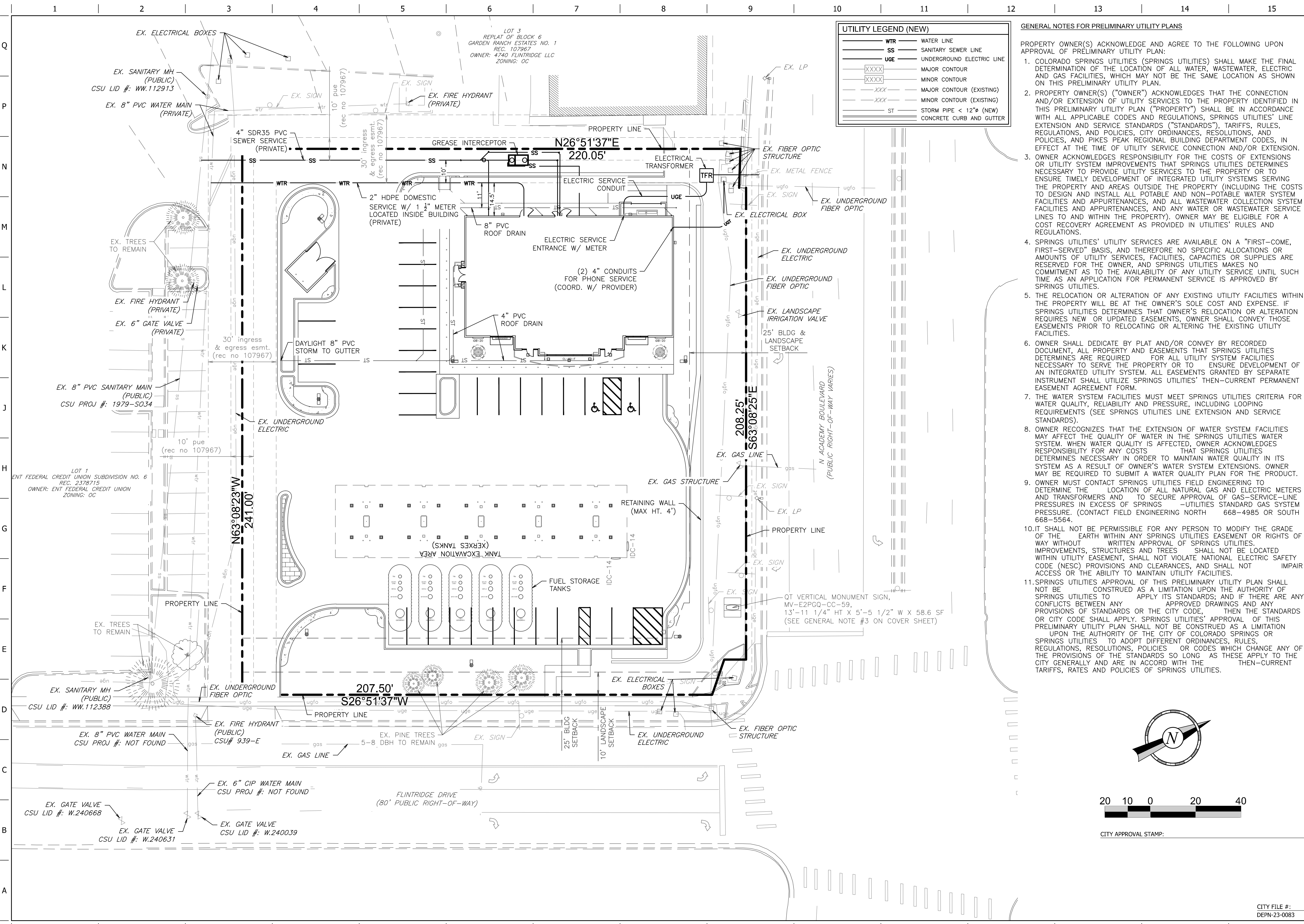
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**C110**

CITY FILE #:  
 DEPN-23-0083

CITY APPROVAL STAMP:



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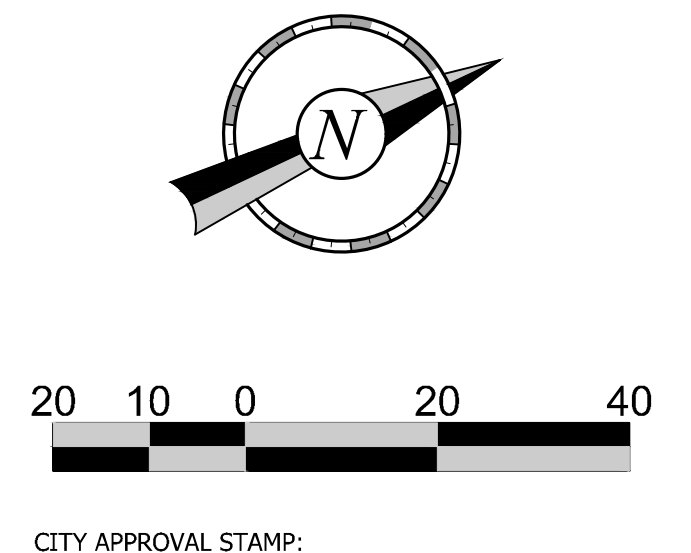
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2	8/15/23	2ND CITY DP REVIEW

ORIGINAL ISSUE DATE: 04/18/23

SHEET TITLE:  
PRELIMINARY UTILITY &  
PUBLIC FACILITY PLAN

SHEET NUMBER:  
**C120**

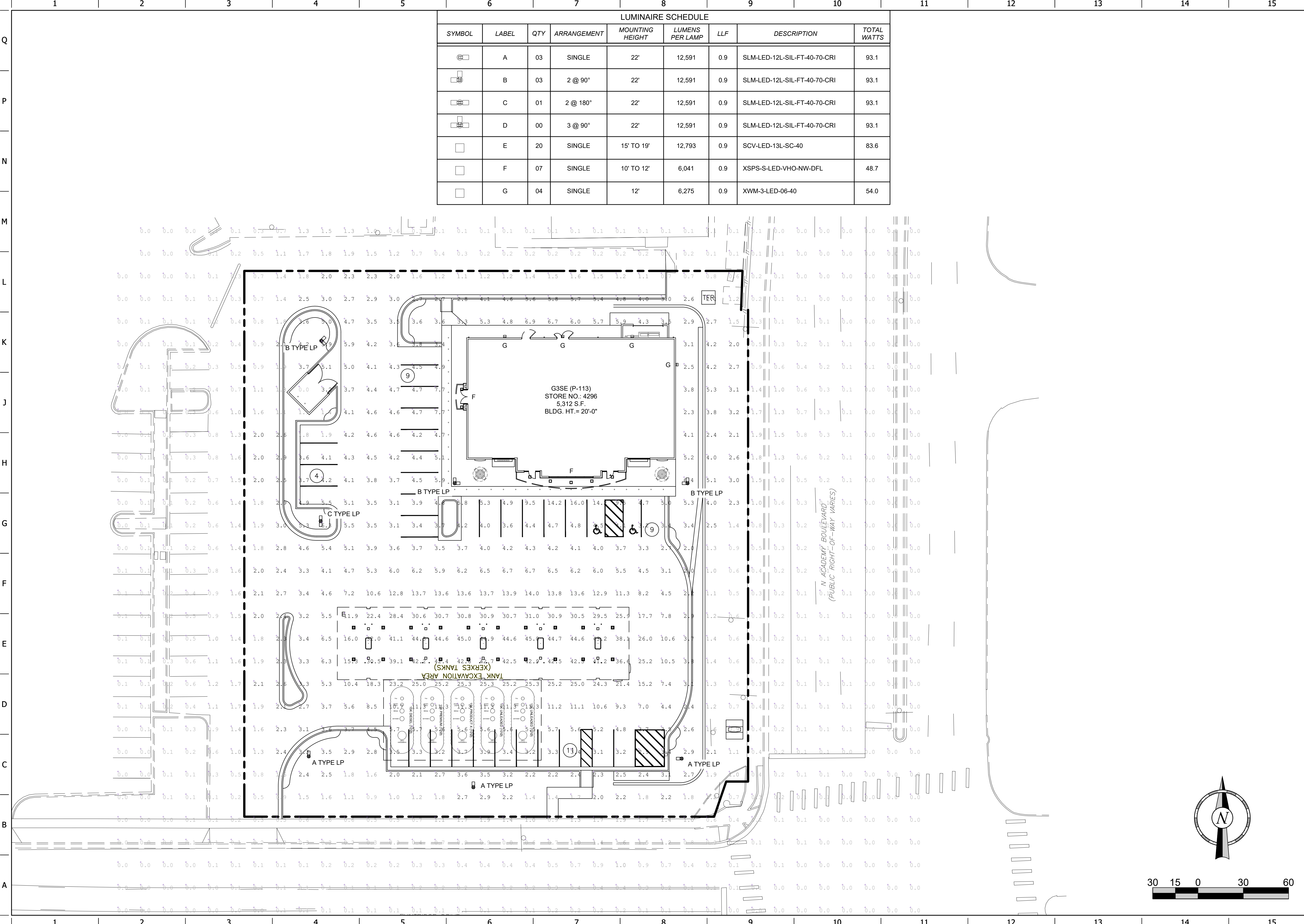
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DEPN-23-0083





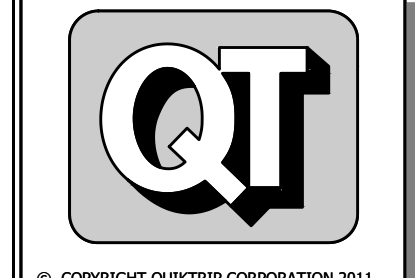
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LUMINAIRE SCHEDULE								
SYMBOL	LABEL	QTY	ARRANGEMENT	MOUNTING HEIGHT	LUMENS PER LAMP	LLF	DESCRIPTION	TOTAL WATTS
	A	03	SINGLE	22'	12,591	0.9	SLM-LED-12L-SIL-FT-40-70-CRI	93.1
	B	03	2 @ 90°	22'	12,591	0.9	SLM-LED-12L-SIL-FT-40-70-CRI	93.1
	C	01	2 @ 180°	22'	12,591	0.9	SLM-LED-12L-SIL-FT-40-70-CRI	93.1
	D	00	3 @ 90°	22'	12,591	0.9	SLM-LED-12L-SIL-FT-40-70-CRI	93.1
	E	20	SINGLE	15' TO 19'	12,793	0.9	SCV-LED-13L-SC-40	83.6
	F	07	SINGLE	10' TO 12'	6,041	0.9	XSPS-S-LED-VHO-NW-DFL	48.7
	G	04	SINGLE	12'	6,275	0.9	XWM-3-LED-06-40	54.0



PROJECT NO.: #####

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VERSION:	001
DESIGNED BY:	
DRAWN BY:	MGM
REVIEWED BY:	

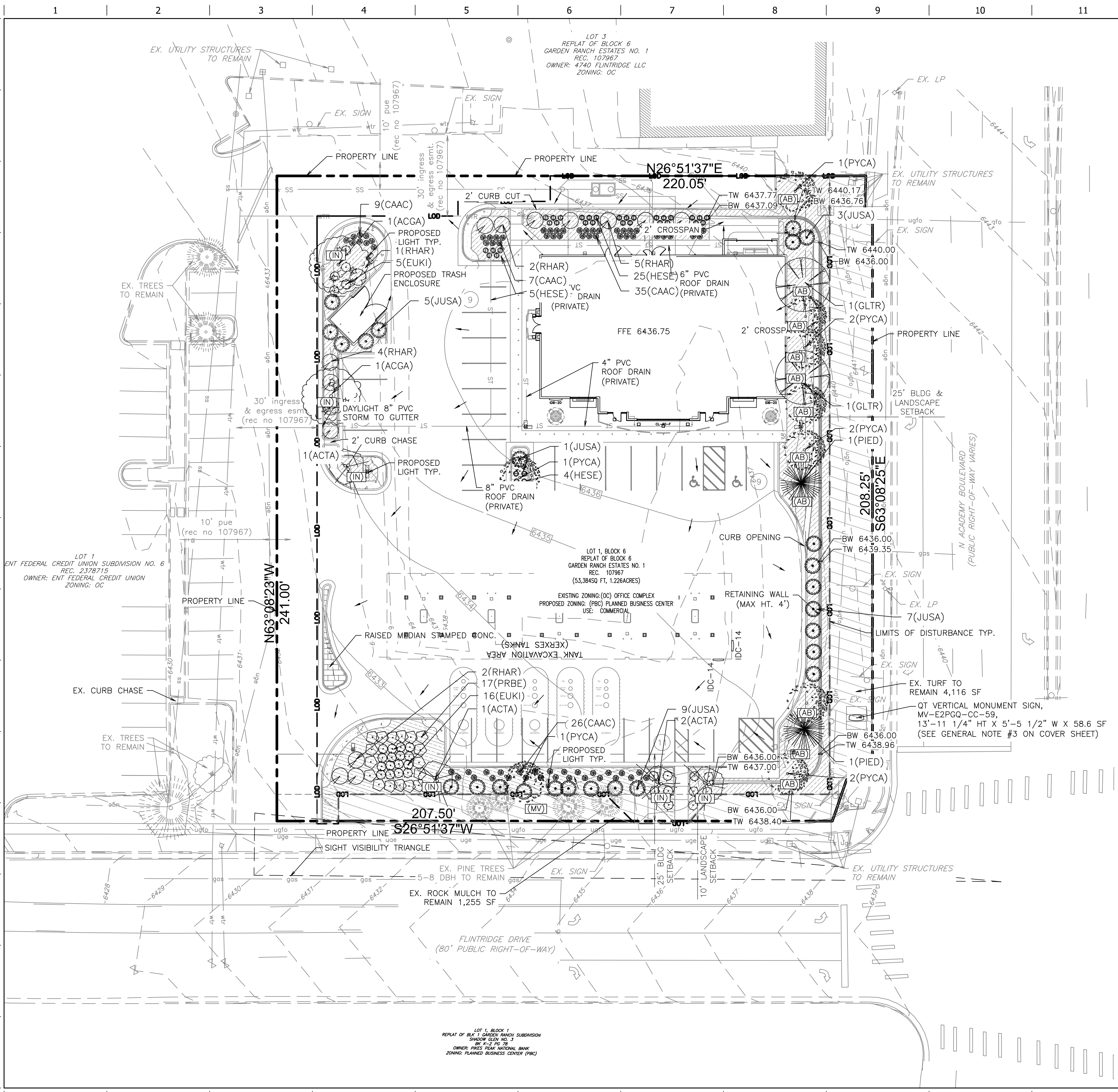
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SHEET TITLE:  
 PHOTOMETRIC SITE PLAN

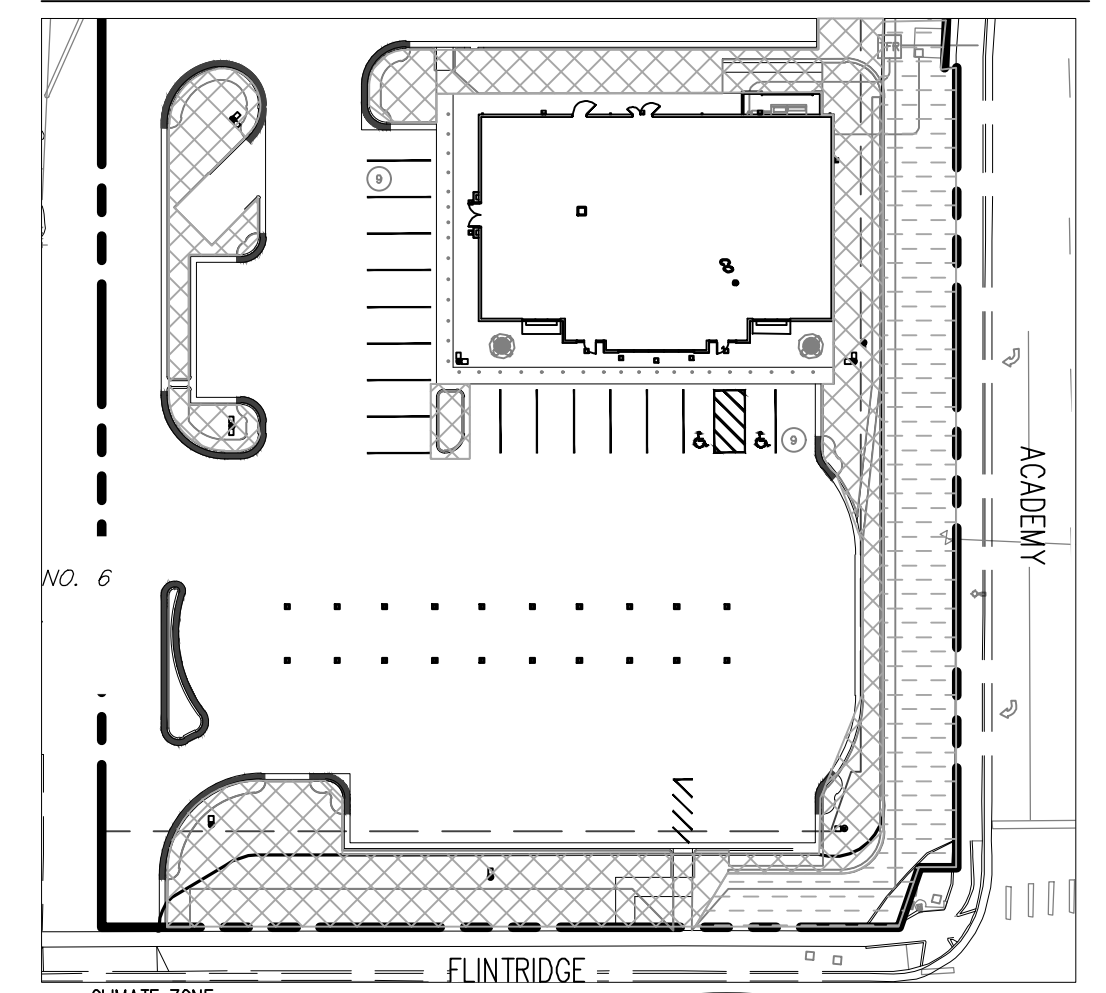
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**C160**



FILE LOCATION: H:\Projects\2023\04296-Colorado Springs\00\001\2-Plan\83-4296\_Civil.dwg TAB NAME: Landscape (Prelim) USER: Treven, Edwards SAVER: 14/2023 1:38 PM PLOTTED: 14/2023 1:46 PM



SCHEMATIC LANDSCAPE DIAGRAM



CLIMATE ZONE: Foothills & Plains

PLANT COMMUNITIES

1-SEMIARID SHRUBLANDS	HYDROZONES (SUPPLEMENTAL WATER)
2-PINON-JUNIPER WOODLANDS	V-VERY LOW (0 TO 7 INCHES PER YEAR)
3-PRAIRIE	L-LOW (7 TO 15 INCHES PER YEAR)
4-LOWER ELEVATION RIPARIAN	M-MODERATE (15 TO 25 INCHES PER YEAR)
5-FOOTHILL SHRUBLANDS	H-HIGH (MORE THAN 25 INCHES PER YEAR)
6-PONDEROSA PINE FOREST	
7-UPPER ELEVATION RIPARIAN	
8-DOUGLAS-FIR FOREST	

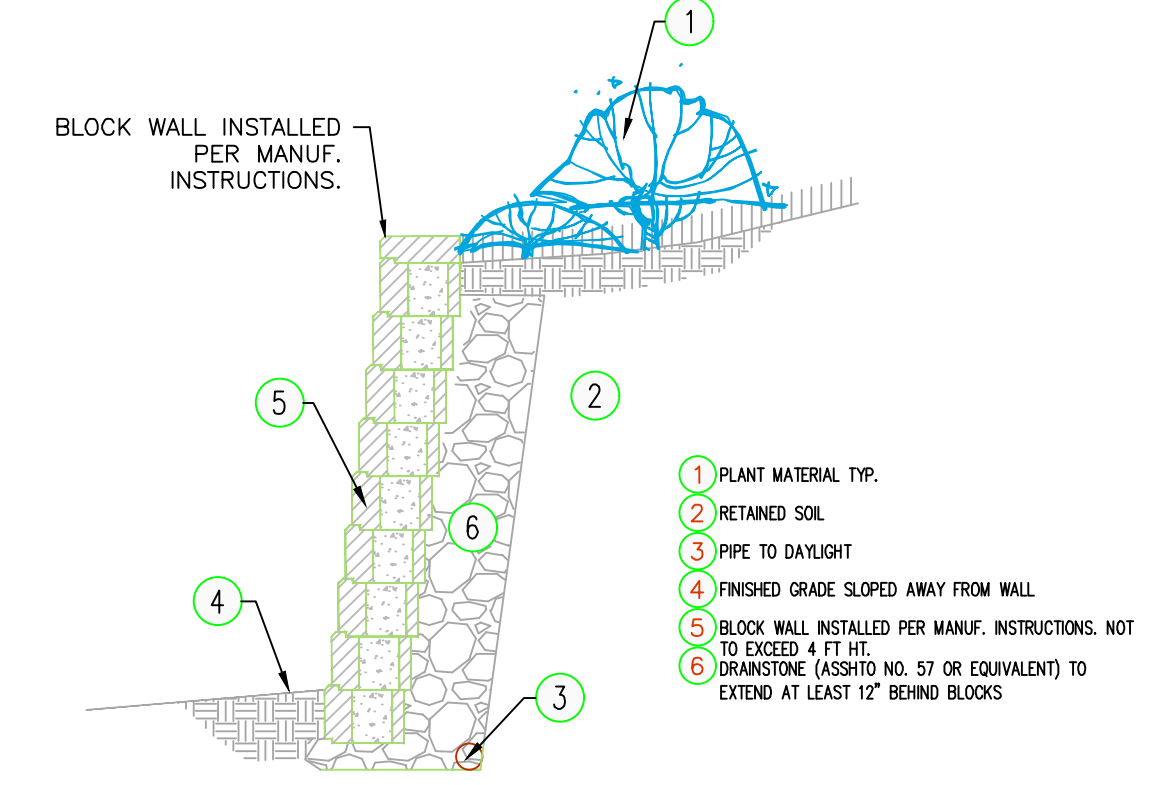
SITE SOILS: SCL TEST  
TYPICAL PREVAILING WINDS ARE FROM THE NORTH - REF. WESTERN REGIONAL CLIMATE CENTER.  
WATER SUPPLY: IRRIGATION SUPPLY SHALL BE PROVIDED. TAP SIZE T.B.D. DURING SUBMITTAL PROCESS.

SIGNAGE

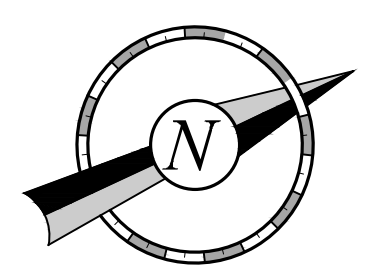
- SIGNAGE IS NOT APPROVED FOR THIS PLAN. A SEPARATE SIGN PERMIT IS REQUIRED. CONTACT DEVELOPMENT REVIEW ENTERPRISES AT 719-385-5982, 2880 INTERNATIONAL CIRCLE STE 200-7 FOR SIGN PERMIT APPLICATION.

NOTE:

- BLOCK WALL FOR ILLUSTRATIVE PURPOSES ONLY TO COMMUNICATE DESIGN INTENT, MANUF. PATTERN & COLOR SELECTION BY OWNER
- REFER TO PLAN FOR WALL ELEVATIONS



00 UNIT BLOCK WALL  
N.T.S.



CITY APPROVAL STAMP:

PROJECT NO.: QKT00004296

**Galloway**

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REVIEWED BY: ACJ

REV	DATE	DESCRIPTION
1	07/07/23	1ST CITY DP REVIEW
2	07/15/23	2ND CITY DP REVIEW

ORIGINAL ISSUE DATE: 04/18/23

SHEET TITLE:

FINAL LANDSCAPE PLAN

SHEET NUMBER:

L100

CITY FILE #:  
DEPN-23-0083



**PLANTING NOTES**

**GENERAL**

- ALL WORK SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES, STANDARDS, AND SPECIFICATIONS.
- LANDSCAPE DESIGN IS DIAGRAMMATIC IN NATURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN TAKEOFFS AND QUANTITY CALCULATIONS. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE LANDSCAPE LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN SHALL TAKE PRECEDENCE AND NOTIFY THE LANDSCAPE ARCHITECT OF THESE DISCREPANCIES. MINOR ADJUSTMENTS TO THE LANDSCAPE MATERIAL AND LOCATIONS MAY BE PROPOSED FOR CITY CONSIDERATION AT THE CONSTRUCTION DOCUMENT STAGE TO RESPOND TO MARKET AND FIELD CONDITIONS. HOWEVER, THERE SHALL BE NO REDUCTION IN THE NUMBER AND SIZE OF MATERIALS.
- CONTRACTOR SHALL MAKE HIMSELF AWARE OF THE LOCATIONS OF EXISTING AND PROPOSED UTILITIES, AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE UTILITIES AND/OR ANY INJURY TO ANY PERSON. THIS DRAWING IS PART OF A COMPLETE SET OF CONTRACT DOCUMENTS. UNDER NO CIRCUMSTANCES SHOULD THIS PLAN BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE AND REVIEW ALL RELATED PLANS AND DOCUMENTS.
- ALL UTILITY EASEMENTS SHALL REMAIN UNOBSTRUCTED AND FULLY ACCESSIBLE ALONG THEIR ENTIRE LENGTH FOR MAINTENANCE EQUIPMENT.
- THE CONTRACTOR SHALL TAKE EXTREME CARE NOT TO DAMAGE ANY EXISTING PLANTS INDICATED AS "TO REMAIN". ANY SUCH PLANTS DAMAGED BY THE CONTRACTOR SHALL BE REPLACED WITH THE SAME SPECIES, SIZE, AND QUANTITY AT THE CONTRACTOR'S OWN EXPENSE, AND AS ACCEPTABLE TO THE OWNER. REFER TO THE TREE PROTECTION NOTES ON THE PLANS (AS APPLICABLE).
- LANDSCAPE CONTRACTOR SHALL EXAMINE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND NOTIFY THE GENERAL CONTRACTOR IN WRITING OF UNSATISFACTORY CONDITIONS. IF SITE CONDITIONS OR PLANT AVAILABILITY REQUIRE CHANGES TO THE PLAN, THEN AN APPROVAL WILL BE OBTAINED FROM THE CITY. DO NOT PROCEED UNTIL CONDITIONS HAVE BEEN CORRECTED.
- ALL CONSTRUCTION DEBRIS AND MATERIAL SHALL BE REMOVED AND CLEANED OUT PRIOR TO INSTALLATION OF TOPSOIL, TREES, SHRUBS, AND TURF.
- FOR ALL INFORMATION ON SURFACE MATERIAL OF WALKS, DRIVES, AND PARKING LOTS, SEE THE SITE PLAN. SEE PHOTOMETRIC PLAN FOR FREE STANDING LIGHTING INFORMATION.
- THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT ONE WEEK PRIOR TO BEGINNING CONSTRUCTION.
- WINTER WATERING SHALL BE AT THE EXPENSE OF THE CONTRACTOR UNTIL SUCH TIME AS FINAL ACCEPTANCE IS RECEIVED.
- ALL LANDSCAPE CONSTRUCTION PRACTICES, WORKMANSHIP, AND ETHICS SHALL BE IN ACCORDANCE WITH INDUSTRY STANDARDS SET FORTH IN THE CONTRACTORS HANDBOOK PUBLISHED BY THE COLORADO LANDSCAPE CONTRACTORS ASSOCIATION.
- LANDSCAPE AND IRRIGATION WORK SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY.

**FINISH GRADING AND SOIL PREPARATION**

- CONTRACTOR SHALL CONSTRUCT AND MAINTAIN FINISH GRADES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT, THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.
- AFTER FINISH GRADES HAVE BEEN ESTABLISHED, IT IS RECOMMENDED THAT THE CONTRACTOR SHALL HAVE SOIL SAMPLES TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY FOR THE FOLLOWING: GENERAL SOIL FERTILITY, PH, ORGANIC MATTER CONTENT, SALT (CEC), LIME,

**UTILITY NOTES**

- THE LANDSCAPE CONTRACTOR IS REQUIRED TO CONTACT THE COUNTY PUBLIC WORKS DEPARTMENT AND ANY OTHER PUBLIC OR PRIVATE AGENCY NECESSARY FOR UTILITY LOCATION PRIOR TO ANY CONSTRUCTION.
- THIS DRAWING IS A PART OF A COMPLETE SET OF BID DOCUMENTS, SPECIFICATIONS, ADDITIONAL DRAWINGS, AND EXHIBITS. UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE, AND REVIEWING ALL RELATED DOCUMENTS.
- THE LOCATION OF ALL THE UNDERGROUND UTILITIES ARE LOCATED ON THE ENGINEERING DRAWINGS FOR THIS PROJECT. THE MOST CURRENT REVISION IS HERE IN MAKE PART OF THIS DOCUMENT. UNDERGROUND UTILITIES EXIST THROUGHOUT THIS SITE AND MUST BE LOCATED PRIOR TO ANY CONSTRUCTION ACTIVITY. WHERE UNDERGROUND UTILITIES EXIST, FIELD ADJUSTMENTS MAY BE NECESSARY AND MUST BE APPROVED BY A REPRESENTATIVE OF THE OWNER. NEITHER THE OWNER NOR THE LANDSCAPE ARCHITECT ASSUMES ANY RESPONSIBILITY WHATSOEVER IN RESPECT TO THE CONTRACTORS ACCURACY IN LOCATING THE INDICATED PLANT MATERIAL, AND UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED WITHOUT REFERENCING THE ABOVE MENTIONED DOCUMENTS.

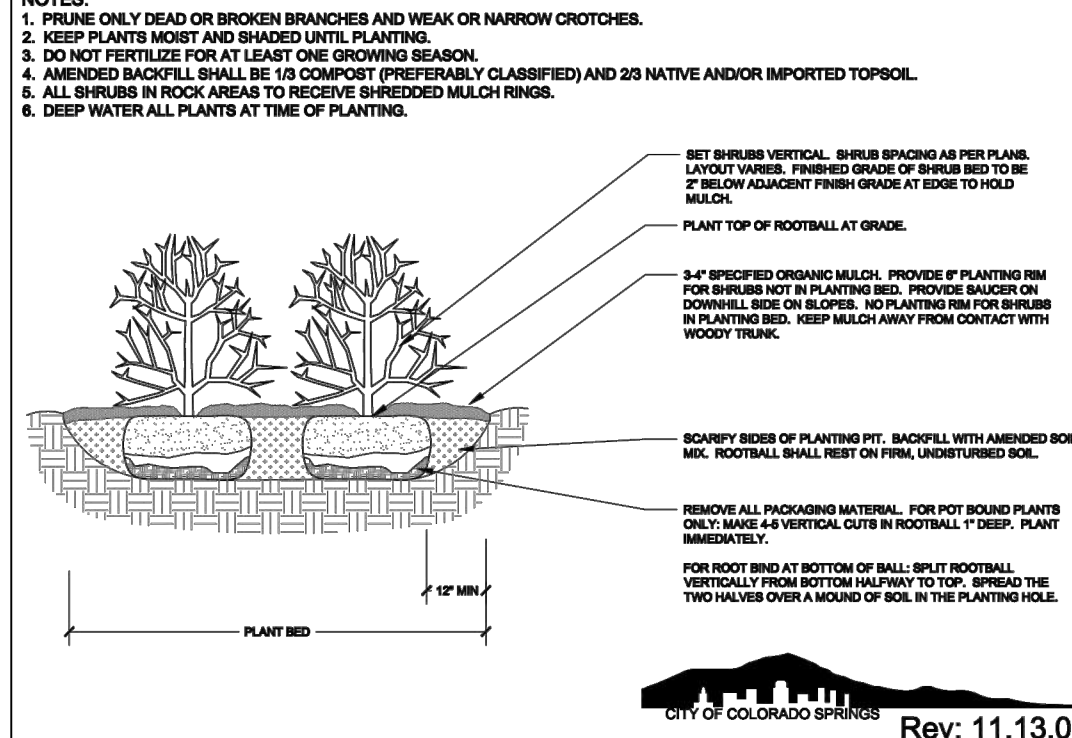
**IRRIGATION CONCEPT**

- A IRRIGATION PLAN SHALL BE SUBMITTED AFTER THE APPROVAL OF THE LANDSCAPE CONSTRUCTION DOCUMENTS.
- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A QUALIFIED IRRIGATION CONTRACTOR.
- THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
- ALL NON-TURF/SEED PLANTED AREAS WILL BE DRIP IRRIGATED. TURF SOIL/SEED SHALL RECEIVE POP-UP SPRAY IRRIGATION.
- ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

**PERCENT SIGNATURE PLANTS**

<b>TREES</b>	
TOTAL TREES:	19
TOTAL SIGNATURE TREES:	19
% SIGNATURE TREES:	100%
<b>SHRUBS</b>	
TOTAL SHRUBS:	77
TOTAL SIGNATURE SHRUBS:	77
% SIGNATURE SHRUBS:	100%
<b>ORNAMENTAL GRASSES, GROUND COVERS &amp; PERENNIALS</b>	
TOTAL ORNAMENTAL GRASSES AND PERENNIALS:	64
TOTAL SIGNATURE ORNAMENTAL GRASSES:	64
% SIGNATURE ORNAMENTAL GRASSES:	100%

**SHRUB PLANTING DETAIL**



**SHRUB PLANTING DETAIL**  
NOT TO SCALE SECTION

SOILUM ADSORPTION RATIO (SAR) AND BORON CONTENT. EACH SAMPLE SUBMITTED SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL. CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): GENERAL SOIL PREPARATION AND BACKFILL MIXES, PRE-PLANT FERTILIZER APPLICATIONS, AND ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.

- THE CONTRACTOR SHALL RECOMMEND INSTALLATION OF SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT FOR THE OWNER/Owner'S REPRESENTATIVE CONSIDERATION.
- AT A MINIMUM, ALL TOPSOIL SHALL BE AMENDED WITH NITROGEN STABILIZED ORGANIC AMENDMENT COMPOST AT A RATE OF 5.0 CUBIC YARDS AND AMMONIUM PHOSPHATE 16-20-0 AT A RATE OF 15 POUNDS PER THOUSAND SQUARE FEET OF LANDSCAPE AREA. COMPOST SHALL BE MECHANICALLY INTEGRATED INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLAGE AFTER CROSS-RIPPING. GROUND COVER & PERENNIAL BED AREAS SHALL BE AMENDED AT A RATE OF 8 CUBIC FEET PER THOUSAND SQUARE FEET OF NITROGEN STABILIZED ORGANIC AMENDMENT AND 10 LBS. OF 12-12-12 FERTILIZER PER CU. YD., ROTOTILLED TO A DEPTH OF 6". NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED FOR ORGANIC AMENDMENTS.

**PLANTING**

- ALL DECIDUOUS TREES SHALL HAVE FULL, WELL-SHAPED HEADS/ALL EVERGREENS SHALL BE UNSHEARED AND FULL TO THE GROUND; UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
- ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT SHALL BE THE SOLE JUDGE AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
- ALL TREES SHALL BE QUAYED AND WOOD STAKED AS PER DETAILS. NO "T-STAKES" SHALL BE USED FOR TREES.
- ALL PLANT MATERIALS SHALL BE TRUE TO TYPE, SIZE, SPECIES, QUALITY, AND FREE OF INJURY, BROKEN ROOT BALLS, PESTS, AND DISEASES, AS WELL AS CONFORM TO THE MINIMUM REQUIREMENTS DESCRIBED IN THE "AMERICAN STANDARD FOR NURSERY STOCK". FOLLOW GREENCO TREE PLANTING RECOMMENDATIONS FOR MINIMUM QUALITY REQUIREMENTS FOR TREES.
- ALL TREE AND SHRUB BED LOCATIONS ARE TO BE STAKED OUT ON SITE FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL TREES PLANTED ADJACENT TO PUBLIC AND/OR PEDESTRIAN WALKWAYS SHALL BE PRUNED CLEAR OF ALL BRANCHES BETWEEN GROUND AND A HEIGHT OF EIGHT (8) FEET FOR THAT PORTION OF THE PLAN LOCATED OVER THE SIDEWALK AND/OR ROAD.
- ALL PLANT MATERIAL SHALL NOT BE PLANTED PRIOR TO INSTALLATION OF TOPSOIL.
- ALL PLANT BEDS SHALL BE CONTAINED WITH STEEL EDGER. STEEL EDGER IS NOT REQUIRED ALONG CURBS, WALKS OR BUILDING FOUNDATIONS. ALL EDGING SHALL OVERLAP AT JOINTS A MINIMUM OF 6-INCHES, AND SHALL BE FASTENED WITH A MINIMUM OF 4 PINS PER EACH 10 FOOT SECTION. THE TOP OF ALL EDGING MATERIAL SHALL BE A ROLLED TOP AND 1/2" INCH ABOVE THE FINISHED GRADE OF ADJACENT LAWN OR MULCH AREAS. COLOR: GREEN.
- THE DEVELOPER, HIS SUCCESSOR, OR ASSIGNEE SHALL BE RESPONSIBLE FOR ESTABLISHING AND CONTINUING A REGULAR PROGRAM OF MAINTENANCE FOR ALL LANDSCAPED AREAS. SEE LANDSCAPE GUARANTEE AND MAINTENANCE NOTE.

**LANDSCAPE GUARANTEE AND MAINTENANCE**

- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOO, SEEDS AREAS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S ACCEPTANCE. THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
- THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A NEAT, CLEAN, AND HEALTHY CONDITION FOR A PERIOD OF 90 DAYS. THIS SHALL INCLUDE PROPER PRUNING, MOWING AND AERATION OF LAWNS, WEEDING, REPLACEMENT OF MULCH, REMOVAL OF LITTER, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. IRRIGATION SHALL BE MAINTAINED IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON AND TO MAXIMIZE WATER CONSERVATION. IF SITE OPENS DURING WINTER, TO AVOID FREEZE DAMAGE ON PLANTINGS, THE 90 DAYS SHOULD BEGON AFTER ACCEPTANCE OF THE WORK.
- DURING THE LANDSCAPE MAINTENANCE PERIOD, THE LANDSCAPE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM STRUCTURES IN ALL LANDSCAPE AREAS AT THE MINIMUM SLOPE SPECIFIED IN THE GEOTECHNICAL REPORT. LANDSCAPE AREAS WHICH SETTLE AND CREATE THE POTENTIAL FOR PONDING SHALL BE REPAIRED TO ELIMINATE PONDING POTENTIAL AND BLEND IN WITH THE SURROUNDING GRADES. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT, THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.

**LANDSCAPE REQUIREMENTS**

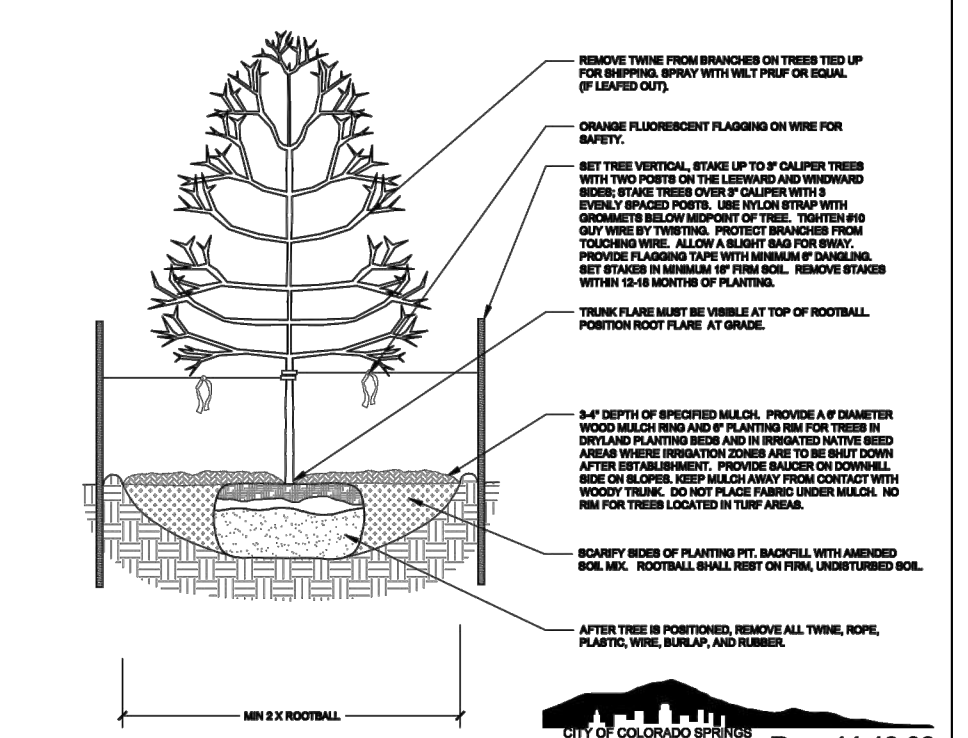
CODE SECTION	CATEGORY	FORMULA	CALCULATION	REQUIRED	PROVIDED	ABBREVIATION DENOTED ON PLAN
7.4.320 & 317	LANDSCAPE SETBACKS	NORTH-ACADEMY BLVD (PRINCIPAL ARTERIAL) 25 FT SETBACK & 1 TREE/20 L.F.	208' L.F. @ 1 TREE / 20 L.F.	25 FT SETBACK & 11 TREES	25 FT SETBACK, 11 TREES	(AB)
7.4.320 & 317	LANDSCAPE SETBACKS	FLINTRIDGE DRIVE (COLLECTOR) 10 FT SETBACK & 1 TREE/30 L.F.	207' L.F. @ 1 TREE / 30 L.F.	10 FT SETBACK & 11 TREES	20 FT SETBACK, 0X TREES (4 EXISTING) & 3X SHRUBS SUB (4%)	(FD)
7.4.322 & 317	INTERNAL LANDSCAPE	NON-RESIDENTIAL - 5%	TOTAL AREA 53,156 S.F. X 0.05	2,657 S.F.	8,542 S.F.	NA
7.4.322 & 317	INTERNAL LANDSCAPE	1 TREE / 500 S.F.	2,657 S.F. / 500	6 TREES	6 TREES	(N)
7.4.321 & 317	MOTOR VEHICLE	1 TREE / 15 PARKING SPACES	30 PARKING SPACES / 15	2 TREES	2 TREES	(MV)
7.4.321 & 317	VEHICLE LOT FRONTAGE	20 LENGTH OF TURT BLVD FRONTAGE SCREENED	TOTAL FLINTRIDGE DRIVE FRONTAGE: 124 L.F. X 0.06	82 L.F. SCREENED	82 L.F. SCREENED	NA

**SOIL TESTING NOTE:**

- THE LANDSCAPE CONTRACTOR SHALL COORDINATE WITH THE DESIGN LANDSCAPE ARCHITECT REGARDING THE REQUIRED SOIL ANALYSIS REPORT AND IS RESPONSIBLE FOR COMPLETING THE SOIL SAMPLING AND SUBMITTING THE SAMPLES TO A SOILS TESTING LAB FOR TESTING. THIS WOULD INCLUDE A SEPARATE LAB TEST REPORT AND RECOMMENDATIONS (AMENDMENTS, FERTILIZER AMOUNTS AND APPLICATION RATES) FOR EACH TYPE OF PROPOSED LANDSCAPE (SHRUB BEDS, NATIVE SEED). THE SOILS LAB RESULTS AND RECOMMENDATIONS ARE REQUIRED TO BE APPROVED BY THE DESIGN LANDSCAPE ARCHITECT AND THE CITY OF COLORADO SPRINGS PRIOR TO INSTALLING AND LANDSCAPING ANY LANDSCAPE (PLANTS, NATIVE SEED) ON SITE.

**NOTES:**

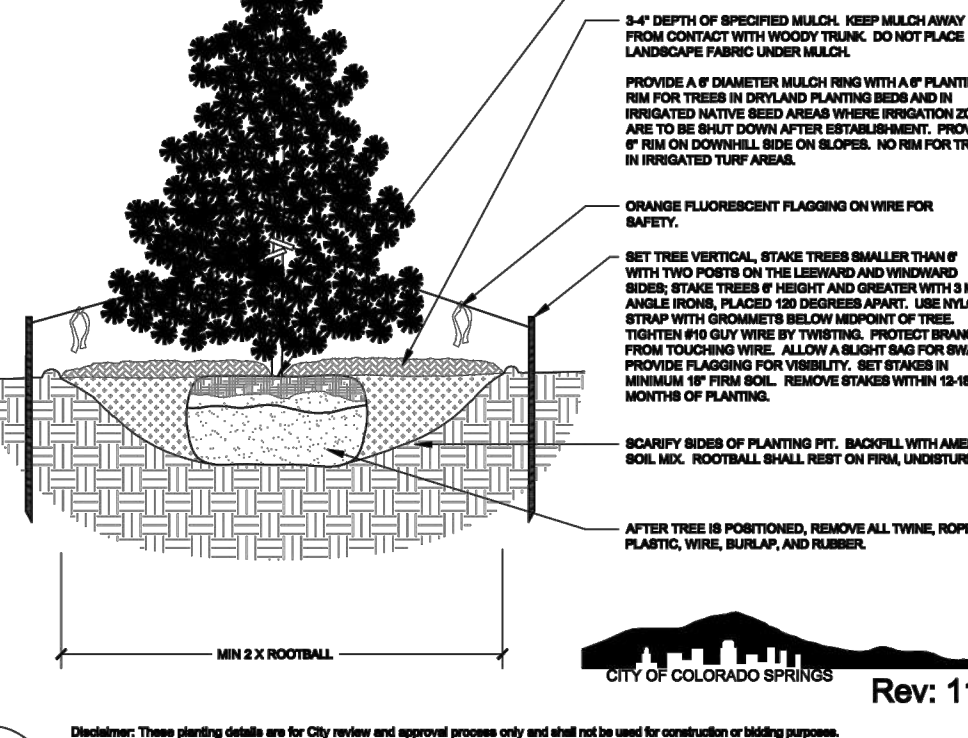
- MARK THE NORTH SIDE OF TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE.
- AT TIME OF PLANTING, DO NOT REMOVE OR CUT LEADER AND PRUNE ONLY DEAD OR BROKEN BRANCHES, CROSS OVER BRANCHES, AND WEAK OR HANGING CROTCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED TO MAINTAIN THE GENERAL SHAPE OF BRANCHES RELATIVE TO THE SHAPE OF THE TRUNK.
- STRUCTURAL PRUNING SHOULD NOT BE DONE UNTIL AFTER ESTABLISHMENT PERIOD, USUALLY TWO GROWING SEASONS.
- DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
- KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
- WAMP TRUNK ON EXPOSED SIDES AND SPACES WITH TRUNK BANK. USE ELECTRICAL OR DUCT TAPE, NOT TWINE.
- COORDINATE WITH CITY FORESTRY FOR CURRENT INSECT AND DISEASE RECOMMENDATIONS PRIOR TO PLANTING.
- DEEP WATER ALL PLANTS AT TIME OF PLANTING.



**DECIDUOUS TREE PLANTING DETAIL**  
NOT TO SCALE SECTION

**NOTES:**

- DO NOT REMOVE OR CUT LEADER.
- PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.
- DO NOT REMOVE ANY DOUBLE LEADER, UNLESS OTHERWISE DIRECTED BY OWNERS REPRESENTATIVE.
- KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
- AMENDED BACKFILL SHALL BE 10 COMPOST (PREFERABLY CLASSIFIED) AND 20 NATIVE AND/OR IMPORTED TOPSOIL.
- MARK THE NORTH SIDE OF TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE.
- PRUNE AND SPRUCE TREES TO BE SPRAYED FOR PINE BARK BEETLE PRIOR TO PLANTING. COORDINATE WITH CITY FORESTRY FOR CURRENT INSECT AND DISEASE RECOMMENDATIONS PRIOR TO PLANTING.
- ALL TREES TO BE DEEP WATERED AT TIME OF PLANTING.



**EVERGREEN TREE PLANTING DETAIL**  
NOT TO SCALE SECTION

- A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF ALL FIRE HYDRANTS.
- LANDSCAPE CONTRACTOR TO SUBMIT SAMPLES OF MISCELLANEOUS LANDSCAPING MATERIALS TO THE LANDSCAPE ARCHITECTS AND OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION, I.E. MULCH, EDGER, LANDSCAPE FABRIC, ETC.

**MULCHING**

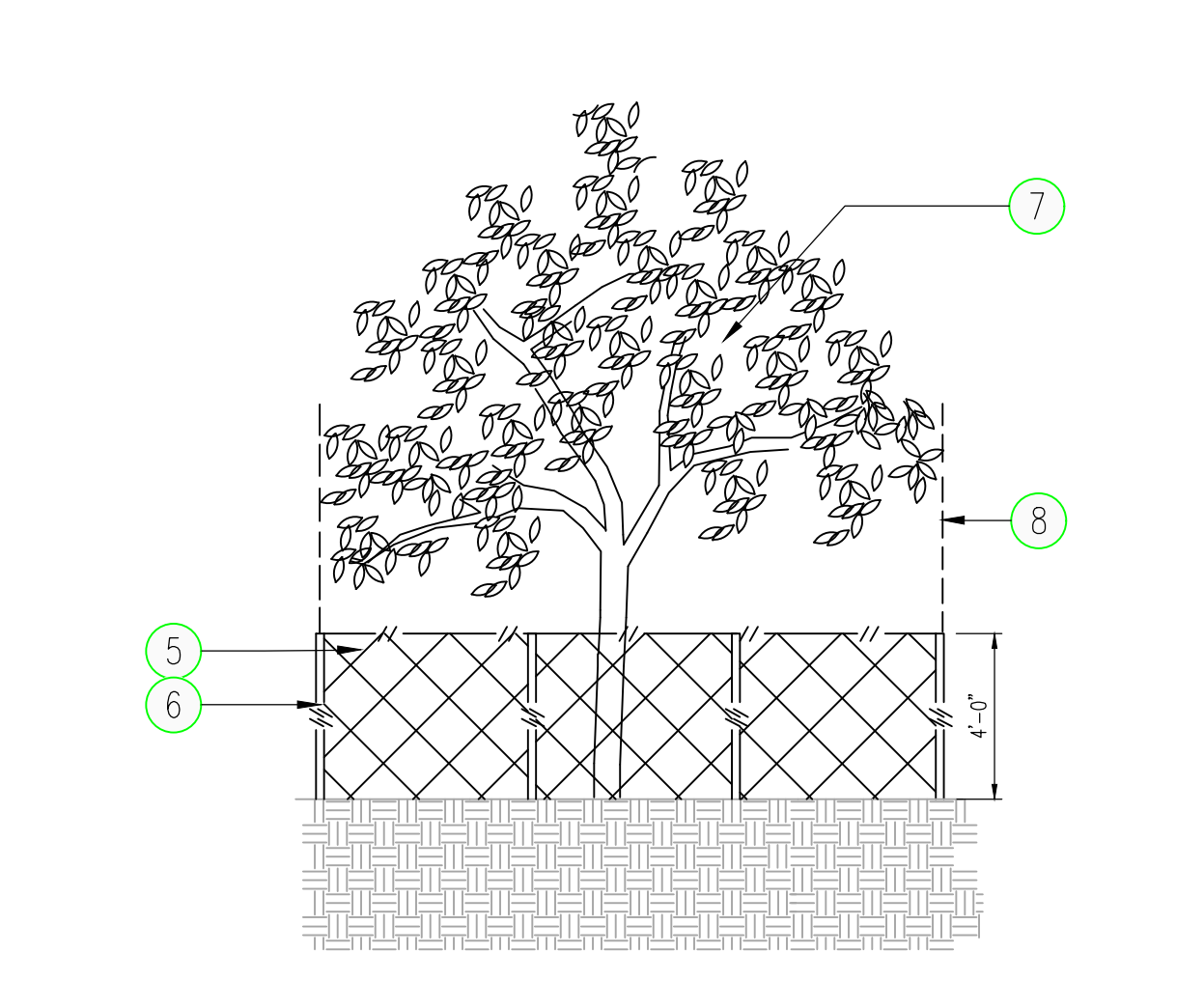
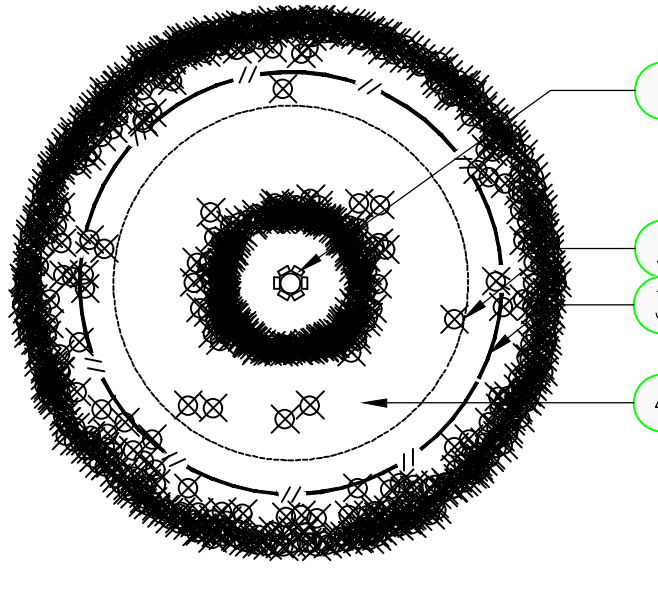
- AFTER ALL PLANTING IS COMPLETE, THE CONTRACTOR SHALL INSTALL A MINIMUM 4" THICK LAYER OF MULCH AS SPECIFIED IN THE PLANTING LEGEND. INSTALL A 4" THICK RING OF DOUBLE SHREDED CEDAR BARK MULCH AROUND ALL PLANT MATERIAL IN ROCK MULCH BEDS WHERE LANDSCAPING IS SHOWN ON THE PLANS. WOOD MULCH RING SIZE SHALL BE THE CONTAINER SIZE OF THE SHRUBS, PERENNIALS, AND ORNAMENTAL GRASSES. TREE RING SIZE SHALL BE GREEN INDUSTRIES OF COLORADO INDUSTRY STANDARD WIDTH.
- ALL MULCH SHALL BE HARVESTED IN A SUSTAINABLE MANNER FROM A LOCAL SOURCE.
- INSTALL DEWITT PRO-5 WEED BARRIER FABRIC UNDER ALL ROCK MULCH SHRUB BEDS SPECIFIED ON THE PLANS ONLY. NO LANDSCAPE FABRIC SHALL BE USED IN WOOD MULCH AREAS. NO PLASTIC WEED BARRIERS SHALL BE SPECIFIED.
- ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED.
- ALL PLANTING AREAS WITH LESS THAN A 4:1 GRADIENT SHALL RECEIVE A LAYER OF MULCH, TYPE AND DEPTH PER PLANS. SUBMIT 1 CUBIC FOOT SAMPLE OF MULCH (ONE SAMPLE PER TYPE) TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. THE MULCH SHALL BE SPREAD EVENLY THROUGHOUT ALL PLANTING AREAS EXCEPT SLOPES 4:1 OR STEEPER, OR AS OTHERWISE DENOTED ON THE PLAN. ABSOLUTELY NO EXPOSED GROUND SHALL REMAIN IN AREAS TO RECEIVE MULCH AFTER MULCH HAS BEEN INSTALLED.
- ALL PLANTING AREAS ON SLOPES OVER 4:1 SHALL RECEIVE COCONUT FIBER EROSION CONTROL NETTING FROM ROLLS. NETTING SHALL BE #01-125, AS MANUFACTURED BY NORTH AMERICAN GREEN (OR EQUAL). INSTALL AND STAKE PER MANUFACTURER'S SPECIFICATIONS. SEE ALSO THE CIVIL ENGINEER'S EROSION CONTROL PLAN.
- EXISTING TREES COUNTED TOWARDS LANDSCAPE REQUIREMENTS (4) WILL BE REPLACED IF NOT IN A HEALTHY CONDITION AFTER CONSTRUCTION AS A RESULT OF CONSTRUCTION ACTIVITIES.
- EXISTING LANDSCAPING WILL BE IMPROVED / REPAIRED AS NEEDED (IF DISTURBED) TO FULL ESTABLISHMENT / MULCH COVERAGE.

**TREE PROTECTION NOTES:**

- EXISTING TREES COUNTED TOWARDS LANDSCAPE REQUIREMENTS (FOUR) WILL BE REPLACED IF NOT IN A HEALTHY CONDITION AFTER CONSTRUCTION AS A RESULT OF CONSTRUCTION ACTIVITIES.
- "PROTECTED ZONE" FOR EXISTING TREES: BEFORE BEGINNING ANY DEMOLITION OR CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL INSTALL TEMPORARY FENCING AROUND ALL EXISTING TREES WITHIN THE CONSTRUCTION ZONE THAT ARE TO BE SAVED. THE FENCE SHALL BE INSTALLED NO CLOSER TO THE TREE THAN THE EDGE OF THE TREE'S PROTECTED ZONE, GENERALLY DEFINED AS THE AREA BEGINNING FIVE FEET OUTSIDE OF THE TREE'S DRUPLINE AND EXTENDING TOWARDS THE TREE (OR AS FAR AWAY FROM THE TRUNK AS PRACTICABLE). THE FENCING SHALL BE OF A MATERIAL AND HEIGHT ACCEPTABLE TO THE LANDSCAPE ARCHITECT. ALL CONTRACTORS AND THEIR CREWS SHALL NOT BE ALLOWED INSIDE THIS "PROTECTED ZONE" NOR SHALL THEY BE ALLOWED TO STORE OR DUMP DEBRIS MATERIALS WITHIN THIS AREA. NO WORK OF ANY KIND, INCLUDING TRENCHING, SHALL BE ALLOWED WITHIN THE PROTECTED ZONE EXCEPT AS DESCRIBED BELOW. THE FENCING SHALL REMAIN AROUND EACH TREE TO BE SAVED UNTIL THE COMPLETION OF CONSTRUCTION OPERATIONS.
- TEMPORARY MULCH: TO ALLEVIATE SOIL COMPACTION IN ANTICIPATED AREAS OF HIGH CONSTRUCTION TRAFFIC, AND ONLY WHERE FENCING CANNOT BE SET FIVE FEET OUTSIDE OF THE DRUPLINE, THE CONTRACTOR SHALL INSTALL A LAYER OF MULCH, 9"-12" THICK, OVER ALL EXPOSED EARTH FROM THE TREE TRUNK TO 5' OUTSIDE OF THE DRUPLINE. THIS LAYER SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION. WHEN PLANTING OPERATIONS ARE COMPLETED, THE MULCH SHALL BE REDISTRIBUTED THROUGHOUT ALL PLANTING AREAS IN A 3" THICK "PERMANENT" MULCH LAYER.
- NECESSARY WORK: WHEN IT BECOMES NECESSARY TO ENTER THE "PROTECTED ZONE", SUCH AS FOR FINE GRADING, IRRIGATION INSTALLATION, AND PLANTING OPERATIONS, THE CONTRACTOR SHALL STRICTLY ADHERE TO THE FOLLOWING RULES:
  - EVERY EFFORT SHALL BE MADE TO PRESERVE THE EXISTING GRADE AROUND PROTECTED TREES IN AS WIDE AN AREA AS POSSIBLE.
  - TRENCHING WITHIN THE PROTECTED ZONE OF EXISTING TREES SHALL BE PERFORMED BY HAND, AND WITH EXTREME CARE NOT TO SEVER ROOTS 1-1/2" IN DIAMETER AND LARGER. WHERE ROOTS 1-1/2" IN DIAMETER AND LARGER ARE ENCOUNTERED, THE CONTRACTOR SHALL TUNNEL UNDER SAID ROOTS. EXPOSED ROOTS THAT HAVE BEEN TUNNELED UNDER SHALL BE WRAPPED IN WET BURLAP AND KEPT MOIST WHILE THE TRENCH IS OPEN.
  - WHERE ROOTS 1-1/2" IN DIAMETER OR LARGER MUST BE CUT DUE TO EXTENSIVE GRADE CHANGES, THOSE ROOTS MUST BE EXPOSED BY HAND DIGGING AND CUT CLEANLY. RAGGED CUTS GENERALLY DO NOT HEAL PROPERLY, AND MAY LEAVE THE TREE OPEN TO PESTS AND PATHOGENS.
  - WHERE TRENCHING NEAR TREES HAS ALREADY OCCURRED FROM PREVIOUS CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL MAKE EVERY EFFORT TO CONFINE HIS TRENCHING OPERATIONS TO THE PREVIOUSLY-CREATED TRENCHES, WHILE ADHERING TO THE CONDITIONS SET FORTH IN 3B.
- POTENTIAL CONFLICTS: THE CONTRACTOR SHALL NOTIFY THE OWNER AND ARBORIST SHOULD ANY POTENTIAL CONFLICTS ARISE BETWEEN THESE SPECIFICATIONS AND/OR LARGE ROOTS ENCOUNTERED IN THE FIELD, AND CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL NOT TAKE ANY ACTION IN SUCH CONFLICTS WITHOUT THE ARBORIST'S WRITTEN APPROVAL. THE ARBORIST SHALL HAVE FINAL AUTHORITY OVER ALL METHODS NECESSARY TO HELP ENSURE THE PROTECTION AND SURVIVAL OF EXISTING TREES.

**Landscape Schedule**

USE	SYMBOL	COMMON NAME <i>Botanical Name</i>	SIZE/ HEIGHT/SPREAD	WATER USE	QUANTITIES
SHRUBS	(RUSS)	RUSSIAN SAGE <i>Perovskia atriplicifolia</i>	48" x 48" HT MIN 5 GAL.	VL	31
	(DMAR)	BLUE MIST SPIREA "DARK KNIGHT" <i>Corydalis canadensis</i>	24" x 36" HT MIN 5 GAL.	L	12
	(PBEE)	PAWNEE BUTTES SAND CHERRY <i>Prunus besseyi 'Pawnee Buttes'</i>	18" x 72" 5 GAL.	VL	17
FRONTAGE TREES	(ARCA)	ARCADIA JUNIPER <i>Juniperus sabina 'Arcadia'</i>	24" x 48" HT MIN 5 GAL.	VL	17
	(FEAT)	FEATHER REED GRASS <i>Calamagrostis acutiflora 'Xari Forester'</i>	60" x 24" 1 GAL.	L	42
	(BLAV)	BLUE AVENA <i>Helictotrichon sempervirens</i>	30" x 30" 1 GAL.	VL	22
FULL TREES	(STRE)	STREET KEEPER HONEYLOCUST <i>Gleditsia triacanthos 'Dreves'</i>	2" CALIPER (B&B) 20' x 45'	L	4
	(REDM)	RED MAPLE <i>Acer Rubrum</i>	2" CALIPER 40'x30'	M	2
	(ARIS)	ARISTOCOT PEAR <i>Pyrus calleryana</i>	2" CALIPER 15'x12'	M	9
SCREEN TREES	(FRIT)	FRUITLESS SWEETGUM <i>Liquidambar styraciflua 'Rotundiloba'</i>	2" CALIPER 40'x25'	L	4
	(PINY)	PINYON PINE <i>Pinus edulis</i>	6" MINIMUM HT.(B&B) 15'x25'	L	2
MISC.		1 1/2" CRUSHED BUFF ROCK WITH WOOD MULCH RING AROUND ALL PLANT MATERIAL. SEE PLANTING NOTES & DETAILS		N/A	3,173 S.F.
		EXISTING LANDSCAPE TO REMAIN		N/A	4,116 S.F. TURF 1,253 S.F. ROCK



- TRUNK PROTECTION BOARDS MIN. 2" THICK. BENEATH BOARDS ARE 3-4 LAYERS OF BURLAP AROUND TRUNK. TIE BOARDS SECURELY AT TOP, BOTTOM & CENTER WITH HEAVY DUTY CORD, WIRE, OR CABEL CHOCKERS.
- OUTLINE OF TREE CROWN (EDGE OF DRUPLINE) CORRESPONDS WITH ROOT SPREAD.
- CONSTRUCTION FENCING (MIN. 4' HEIGHT)
- WOOD MULCH - SEE MULCH
- PLASTIC ORANGE CONSTRUCTION FENCE TIED TO T-POST
- T-POST AT 8'-0" O.C. (TYP.)
- EXISTING TREE
- DRUPLINE

**00 TREE PROTECTION DETAIL**  
N.T.S.

PROJECT NO.: QKT0004296

**Galloway**  
1155 Kelly Johnson Blvd., Suite 305  
Colorado Springs, CO 80920  
719.500.7220  
gallowayus.com

**QuikTrip No. 4296**  
N. ACADEMY BLVD. & FLINTRIDGE DR.  
COLORADO SPRINGS, CO



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PROTOTYPE: P-113 (02/20/23)  
DIVISION: 83  
VERSION: 001  
DESIGNED BY: TJE  
DRAWN BY: TJE  
REVIEWED BY: ACJ

REV	DATE	DESCRIPTION
1	07/19/23	1ST CITY DP REVIEW
2	07/15/23	2ND CITY DP REVIEW

SHEET TITLE:  
LANDSCAPE DETAILS & NOTES

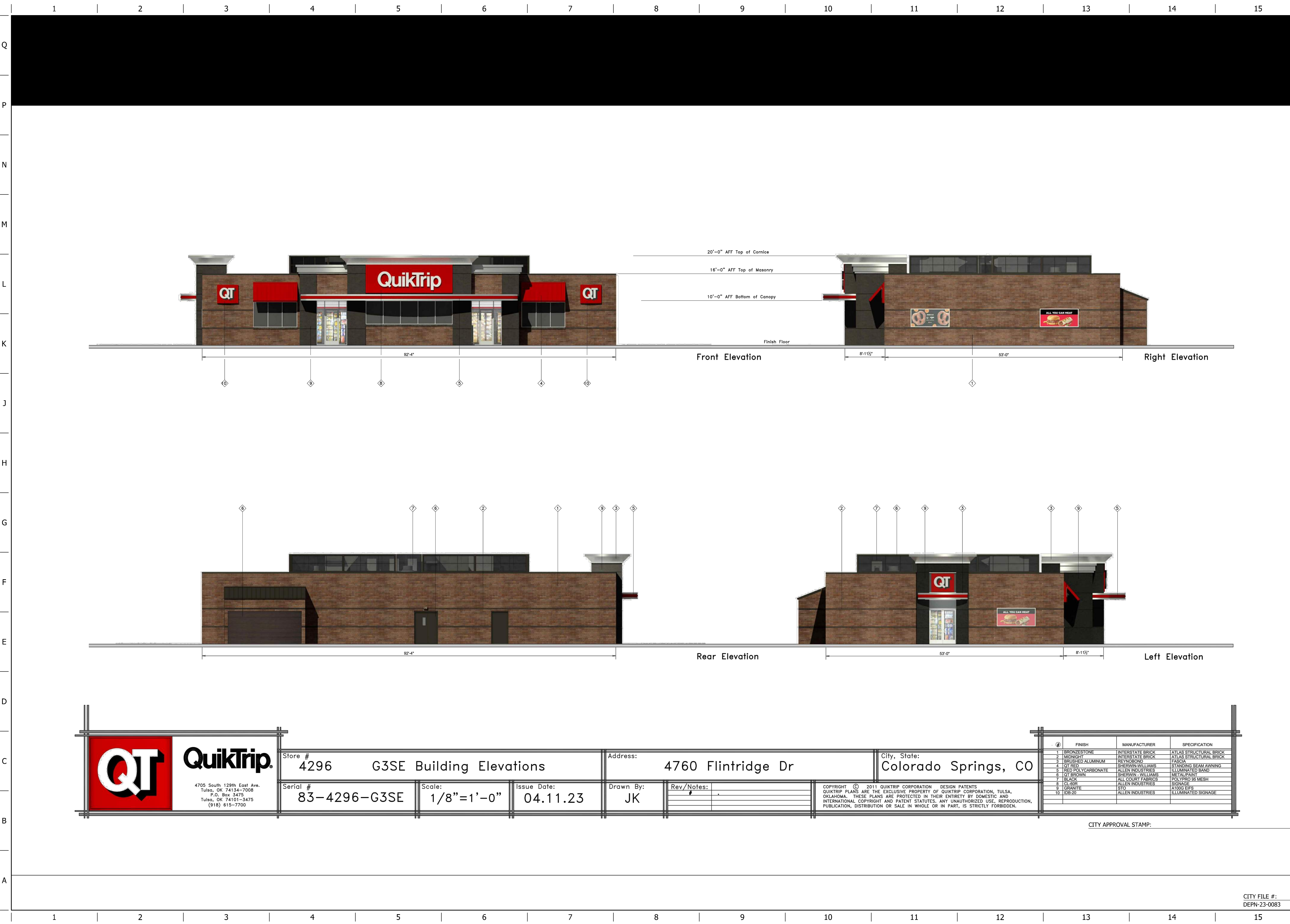
SHEET NUMBER:  
**L500**

CITY FILE #:  
DEPN-23-0083

ORIGINAL ISSUE DATE: 04/18/23



FILE LOCATION: H:\QuikTrip\QKT04296-CO\Colorado Springs\CO\CVV\2-Plan\83-4296-Elevations & Signs.dwg USER: Treven\_Edwards SAV: 7/17/2023 3:16 PM PLOTTED: 8/14/2023 1:47 PM



Store #	4296	G3SE Building Elevations	Address:	4760 Flintridge Dr	City, State:	Colorado Springs, CO	
Serial #	83-4296-G3SE	Scale:	1/8"=1'-0"	Issue Date:	04.11.23	Drawn By:	JK
Rev/Notes:							

REV	DATE	DESCRIPTION	MANUFACTURER	SPECIFICATION
1	07/19/23	LIST CITY DP REVIEW	INTERSTATE BRICK	ATLAS STRUCTURAL BRICK
2	07/15/23	2ND CITY DP REVIEW	INTERSTATE BRICK	ATLAS STRUCTURAL BRICK
			REYNOLDS	FASCIA
			SHERWIN-WILLIAMS	STANDING BEAM AWNING
			ALLEN INDUSTRIES	ILLUMINATED SIGN
			SHERWIN-WILLIAMS	METAL PAINT
			ALL COURT FABRICS	POLYPROP IS MESH
			ALLEN INDUSTRIES	SIGNAGE
			SIO	ALDGE EFS
			ALLEN INDUSTRIES	ILLUMINATED SIGNAGE

CITY APPROVAL STAMP:

PROJECT NO.: QKT00004296

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**QuikTrip No. 4296**  
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DRAWN BY: TJE  
REVIEWED BY: ACJ

REV	DATE	DESCRIPTION	MANUFACTURER	SPECIFICATION
1	07/19/23	LIST CITY DP REVIEW	INTERSTATE BRICK	ATLAS STRUCTURAL BRICK
2	07/15/23	2ND CITY DP REVIEW	INTERSTATE BRICK	ATLAS STRUCTURAL BRICK

SHEET TITLE:  
BUILDING ELEVATIONS

SHEET NUMBER:  
**A100**

CITY FILE #:  
DEPN-23-0083

ORIGINAL ISSUE DATE: 04/18/23



