

755 W. FILLMORE ST COLORADO SPRINGS, COLORADO

ENGINEER:
 KIMLEY-HORN AND ASSOCIATES, INC.
 655 NORTH FRANKLIN, SUITE 150
 TAMPA, FLORIDA 33602
 PHONE: (813) 620-1460

OWNER/DEVELOPER/APPLICANT:
 WAFFLE HOUSE, INC.
 5986 FINANCIAL DRIVE
 NORCROSS, GA 30071
 PHONE: (770) 729-5700

PROJECT DESIGN TEAM

CIVIL GILBERTSON AND ASSOCIATES, INC.
 655 N FRANKLIN, SUITE 150
 TAMPA, FLORIDA 33602
 PHONE: (813) 620-1460

SURVEY STEPHEN AND SONS SURVEYING, INC.
 118 N WANSATCH AVE
 COLORADO SPRINGS, CO 80903
 PHONE: (719) 633-8633

ARCHITECT PETER B. FOLEY, AIA
 118 N WANSATCH AVE
 GULF SHORES, AL 36547
 PHONE: (331) 546-3424

OWNER/DEVELOPER PLAN APPROVAL
 THE UNDERSIGNED OWNER/DEVELOPER AGREES THAT THEY SHALL AT THEIR EXPENSE, BE SOLELY RESPONSIBLE FOR 1) THE INSTALLATION OF THE PROPOSED UTILITY INFRASTRUCTURE IN ACCORDANCE WITH THESE PLANS, AND 2) ALL DAMAGES AND DEFECTS ARISING FROM OR RELATED TO, THE INSTALLATION, MAINTENANCE OR OPERATION OF THE PUBLIC UTILITY INFRASTRUCTURE FROM THE DATE OF PRELIMINARY ACCEPTANCE FOR A PERIOD OF TWO YEARS, OR UNTIL FINAL ACCEPTANCE, WHICHEVER IS LATER.

THE UNDERSIGNED UNDERSTANDS THAT ALL PRIVATE UTILITY INFRASTRUCTURE, AS INDICATED ON THESE PLANS, SHALL REMAIN THE PROPERTY OF THE OWNER, AND SHALL BE MAINTAINED BY THE OWNER, AS REQUIRED BY COLORADO SPRINGS UTILITIES LINE EXTENSION AND SERVICE STANDARDS.

PUBLIC FACILITIES PROPOSED PRIVATE FACILITIES PROPOSED

SIGNED: _____ DATE: _____
 OWNER/DEVELOPER
 OWNER/DEVELOPER (PRINT NAME) _____
 DBA: _____
 ADDRESS: _____
 PHONE: _____
 EMAIL: _____

**COLORADO SPRINGS UTILITIES
 COMMERCIAL UTILITY SERVICE PLAN DESIGN APPROVAL**

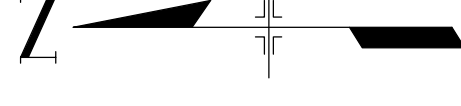
APPROVED BY: _____ DATE: _____
 PROJECT NUMBER: _____ WORK ORDER NUMBER: _____
 CSU SHEET _____ OF _____

APPROVAL EXPIRES ONE (1) YEAR FROM THE DATE ABOVE AND RESUBMITTAL OF THESE PLANS FOR REVIEW IS REQUIRED IF CONSTRUCTION DOES NOT BEGIN DURING THIS PERIOD.

TOTAL DEVELOPMENT AREA: +/- 33,788 SF



SITE LOCATION MAP
 N.T.S.



CIVIL DRAWING INDEX

C000	COVER SHEET
S000	ALTA SURVEY
C100	DEMOLITION PLAN
C101	EROSION CONTROL PLAN
C102	DEVELOPMENT PLAN
A-3	BUILDING ELEVATION DRAWINGS
C103	PRELIMINARY UTILITY AND PUBLIC FACILITIES PLAN
C104	GRADING PLAN
C105	ADA PLAN
C200	CONSTRUCTION DETAILS
C201	CONSTRUCTION DETAILS
C202	CONSTRUCTION DETAILS
C203	CITY OF COLORADO SPRINGS DETAILS
C204	CITY OF COLORADO SPRINGS DETAILS
C300	LIGHT POLE DETAIL
L1	LANDSCAPE NOTES
L2	FINAL LANDSCAPE PLAN
L3	LANDSCAPE DETAILS
L4	TREE MITIGATION
IR1	IRRIGATION PLAN
IR2	IRRIGATION DETAILS

LEGAL DESCRIPTION:

That WH Capital LLC, being the owner of the following described tract of land to wit:

Parcel 1:
 Lots 1 and 2, Block F, Mesa Springs Addition, No. 2, EXCEPT any portion conveyed to the City of Colorado Springs in deed recorded March 13, 2013 at Reception No. 21932828; and EXCEPT any portion conveyed to the Department of Transportation, State of Colorado in deed recorded April 17, 2015 at 215037160, City of Colorado Springs, County of El Paso, State of Colorado.

Parcel 2:
 A parcel of land located within Lots 3, 4, 5 and 6, Block F of Mesa Springs 2nd Addition, recorded February 16, 1955 in Book W at page 19, in the offices of the El Paso County Clerk and Recorder, State of Colorado, more particularly described as follows: Beginning at the southeast corner of Lot 2, Block F, of said subdivision; thence S00°01'47"W (bearings based of the north line of said subdivision, monumented at both ends by a nail with 1 1/2" washer, PLS 31548", and assumed to bear N90°00'00"E), a distance of 184.00; thence along the following six (6) courses:
 1) N48°25'04"W, a distance of 16.62 feet;
 2) N41°34'55"E, a distance of 10.00 feet;
 3) S23°02'56"W, a distance of 16.01 feet;
 4) S41°25'56"W, a distance of 16.01 feet;
 5) N48°25'04"W, a distance of 28.03 feet;
 6) Along a tangent curve to the right, said curve having a radius of 170.00 feet, an arc length of 118.84 feet and a central angle of 40°03'13" to a point on the south lot line of said Lot 2; thence along the south line of said Lot 2, N89°57'59"E, a distance of 147.28 feet to the point of beginning.
 Said parcel contains 33, 724 sq. ft., 0.774 acres, more or less.

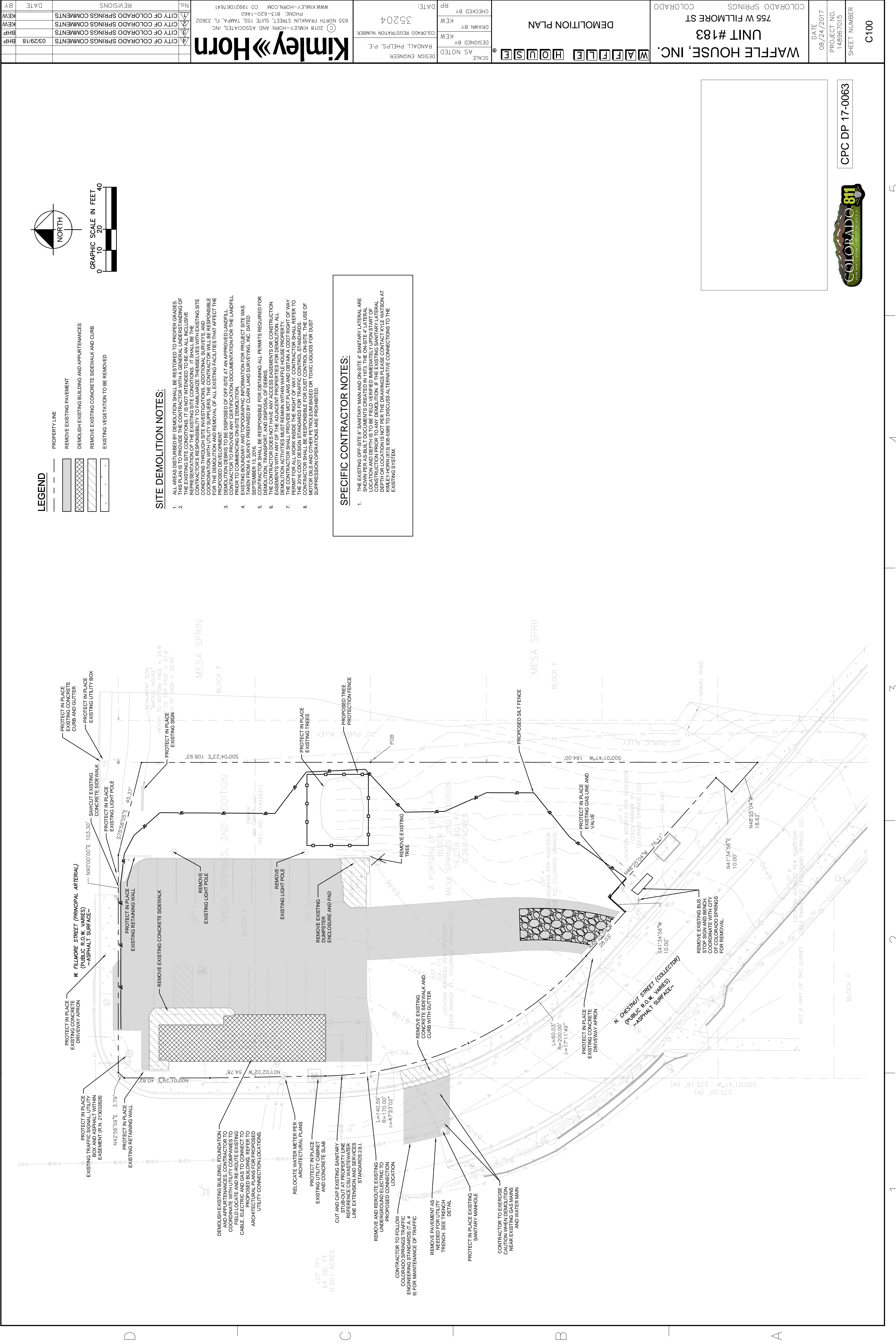
GEOLOGICAL HAZARD STATEMENT:

THIS PROPERTY IS SUBJECT TO THE FINDINGS, SUMMARY AND CONCLUSIONS OF A GEOLOGICAL HAZARD REPORT PREPARED BY TERRACON DATED APRIL 3, 2017. A COPY OF SAID REPORT HAS BEEN PLACED WITHIN FILE #: CPC DP 17-00063 OF THE CITY OF COLORADO SPRINGS COMMUNITY DEVELOPMENT DEPARTMENT. CONTACT COMMUNITY DEVELOPMENT, 30 SOUTH NEVADA AVENUE, SUITE 105, COLORADO SPRINGS, CO, IF YOU LIKE TO REVIEW SAID REPORT.



CPC DP 17-0063

SCALE AS NOTED		DESIGNED BY KEM		DRAWN BY KEM		CHECKED BY RP		DATE: 3/20/18		DESIGN ENGINEER: RANDALL PHELPS, P.E.		COLORADO REGISTRATION NUMBER: 35204		WWW.KIMLEY-HORN.COM CO 19921067841		PHONE: 813-620-1460		555 NORTH FRANKLIN STREET, SUITE 150, TAMPA, FL 33602		2018 KIMLEY-HORN AND ASSOCIATES, INC.		CITY OF COLORADO SPRINGS COMMENTS		BHP		03/29/18		CITY OF COLORADO SPRINGS COMMENTS		REVISIONS		DATE		BY	
WAFFLE HOUSE		DESIGNED BY KEM		DRAWN BY KEM		CHECKED BY RP		DATE: 3/20/18		DESIGN ENGINEER: RANDALL PHELPS, P.E.		COLORADO REGISTRATION NUMBER: 35204		WWW.KIMLEY-HORN.COM CO 19921067841		PHONE: 813-620-1460		555 NORTH FRANKLIN STREET, SUITE 150, TAMPA, FL 33602		2018 KIMLEY-HORN AND ASSOCIATES, INC.		CITY OF COLORADO SPRINGS COMMENTS		BHP		03/29/18		CITY OF COLORADO SPRINGS COMMENTS		REVISIONS		DATE		BY	
COVER SHEET										755 W FILLMORE ST UNIT #183 WAFFLE HOUSE, INC. COLORADO SPRINGS COLORADO										DATE: 08/24/2017		PROJECT NO. 148967015		SHEET NUMBER C000											



C100

CPC DP 17-0063



DATE: 08/24/2017
 PROJECT NO.: 148967015
 SHEET NUMBER

WAFFLE HOUSE, INC.
 UNIT #183
 756 W FILLMORE ST
 COLORADO SPRINGS
 COLORADO

DEMOLITION PLAN

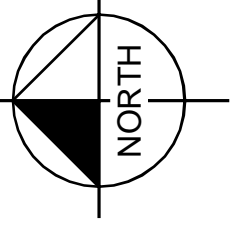
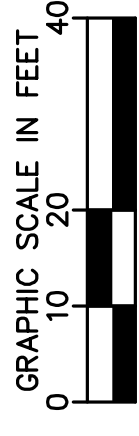
SCALE: AS NOTED
 DESIGNED BY: RANDALL PHELPS, P.E.
 DRAWN BY: KEW
 CHECKED BY: RP
 DATE: 3/5/2014
 COLORADO REGISTRATION NUMBER:
 DESIGN ENGINEER: RANFALL PHELPS, P.E.

Kimley-Horn
 2018 KIMLEY-HORN AND ASSOCIATES, INC.
 655 NORTH FRANKLIN STREET, SUITE 150, TAMPA, FL 33602
 PHONE: 813-620-1460
 WWW.KIMLEY-HORN.COM CO 19921017641

NO.	REVISIONS	DATE	BY
1	CITY OF COLORADO SPRINGS COMMENTS		KEW
2	CITY OF COLORADO SPRINGS COMMENTS		KEW
3	CITY OF COLORADO SPRINGS COMMENTS	03/29/18	BHP

LEGEND

- PROPERTY LINE
- REMOVE EXISTING PAVEMENT
- DEMOLISH EXISTING BUILDING AND APPURTENANCES
- REMOVE EXISTING CONCRETE SIDEWALK AND CURB
- EXISTING VEGETATION TO BE REMOVED



SITE DEMOLITION NOTES:

1. ALL AREAS DISTURBED BY DEMOLITION SHALL BE RESTORED TO PROPER GRADES. THE EXISTING SITE CONDITIONS. IT IS NOT INTENDED TO BE AN ALL INCLUSIVE LISTING OF ALL CONDITIONS TO BE RESTORED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING ALL CONDITIONS TO BE RESTORED THROUGH SITE INVESTIGATIONS, ADDITIONAL SURVEYS, AND COORDINATION WITH UTILITY SUPPLIERS. THE CONTRACTOR WILL BE RESPONSIBLE FOR PROPOSED DEVELOPMENT, REMOVAL OF ALL EXISTING FACILITIES THAT AFFECT THE PROPOSED DEVELOPMENT.
2. DEMOLITION DEBRIS TO BE DISPOSED OF OFF-SITE AT AN APPROVED LANDFILL. CONTRACTOR TO OBTAIN NECESSARY CERTIFICATION DOCUMENTATION FOR THE LANDFILL EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION FOR PROJECT SITE WAS TAKEN FROM A SURVEY PREPARED BY CLARK LAND SURVEYING, INC. DATED 11/11/14.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION, TRANSPORT, AND DISPOSAL OF DEBRIS.
4. THE CONTRACTOR DOES NOT HAVE ANY ACCESS EASEMENTS OR CONSTRUCTION EASEMENTS. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY ACCESS EASEMENTS. ALL DEMOLITION ACTIVITIES MUST REMAIN WITHIN WAFFLE HOUSE PROPERTY.
5. THE CONTRACTOR SHALL PROVIDE NOT PLANS AND OBTAIN A CUTOFF RIGHT OF WAY FROM THE CITY OF COLORADO SPRINGS. THE CONTRACTOR SHALL REFER TO THE 2018 CDD DESIGN STANDARDS FOR TRAFFIC CONTROL STANDARDS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ON-SITE. THE USE OF MOTOR OILS AND OTHER PETROLEUM-BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS ARE PROHIBITED.

SPECIFIC CONTRACTOR NOTES:

1. THE EXISTING OFF-SITE 8" SANITARY MAIN AND ON-SITE 4" SANITARY LATERAL ARE TO BE REMOVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING THE LOCATION AND DEPTH IS TO BE FIELD VERIFIED IMMEDIATELY UPON START OF CONSTRUCTION PRIOR TO ANY DEMOLITION. IF THE EXISTING SANITARY LATERAL DEPTH OR LOCATION IS NOT PER THE DRAWINGS PLEASE CONTACT KYLE WATSON AT (303) 558-5888 TO DISCUSS ALTERNATIVE CONNECTIONS TO THE EXISTING SYSTEM.

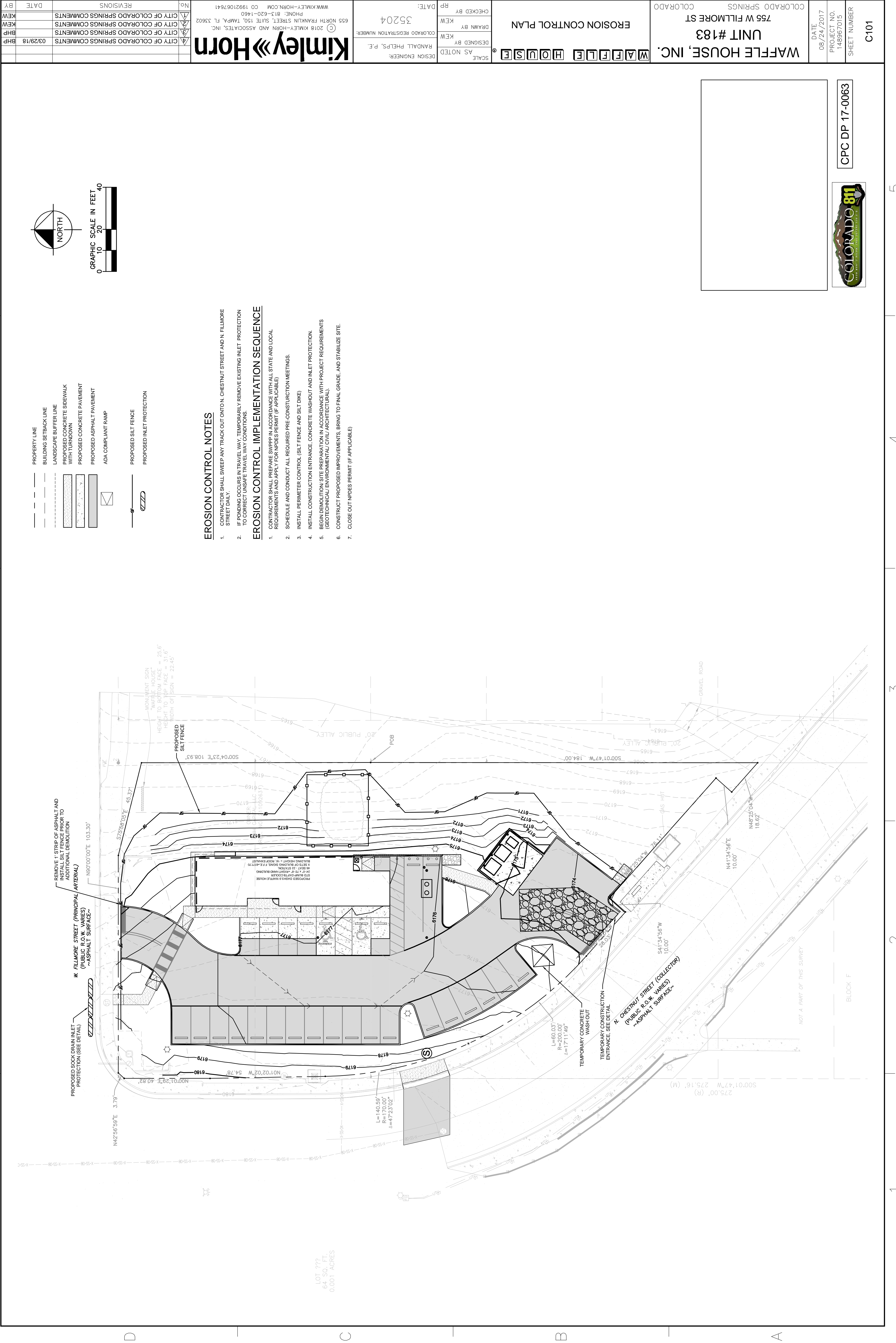
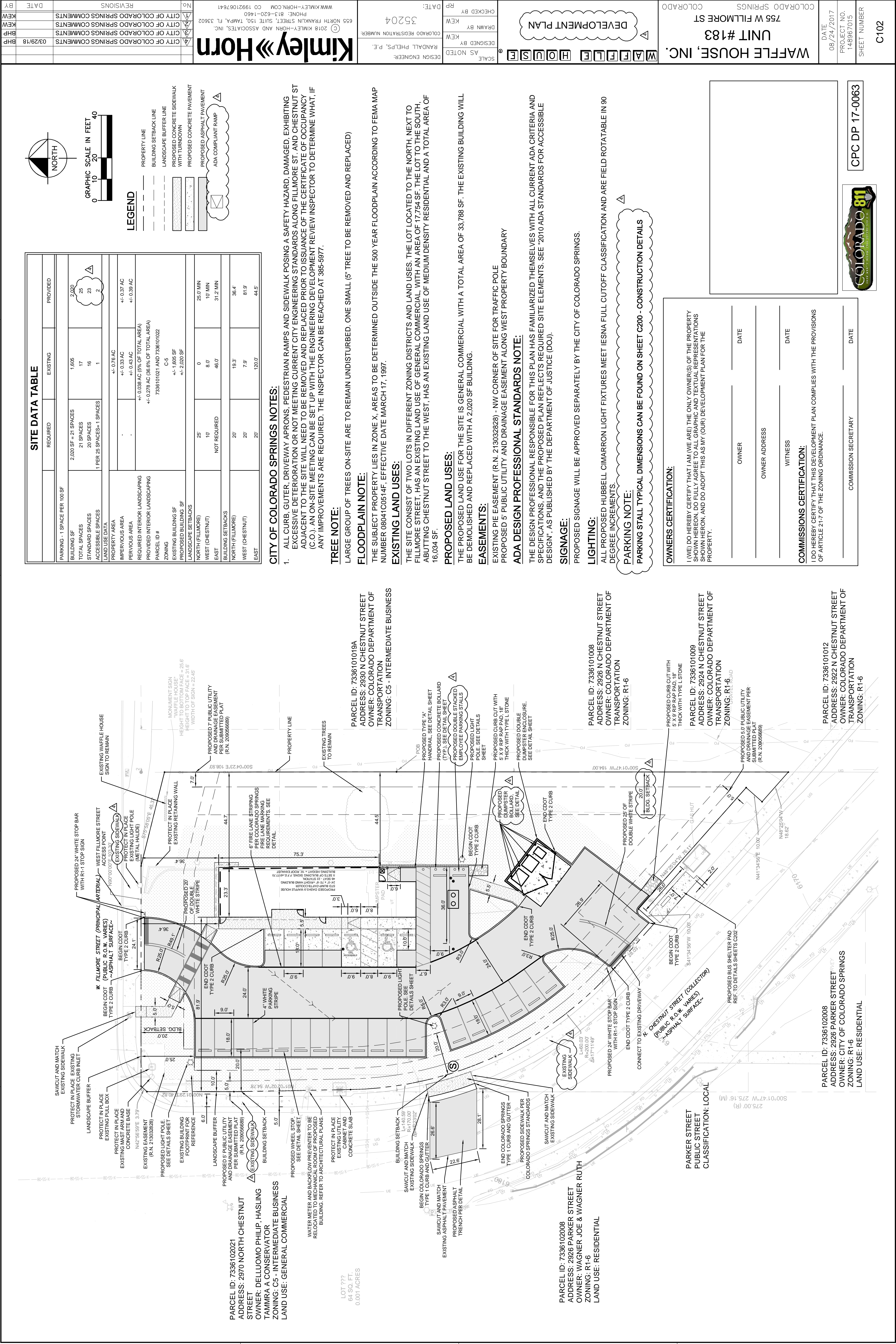
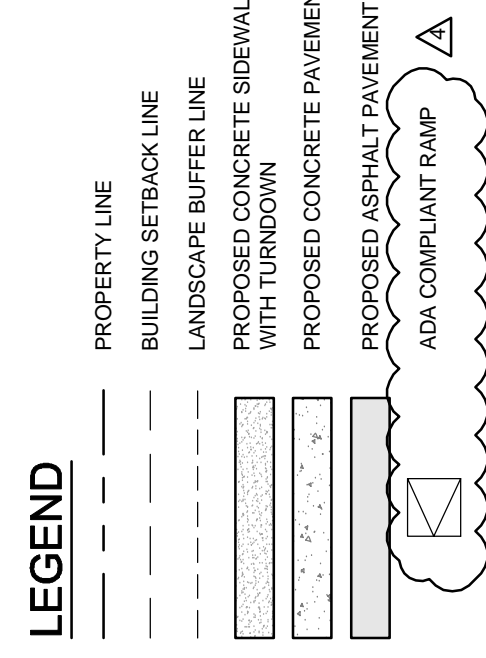
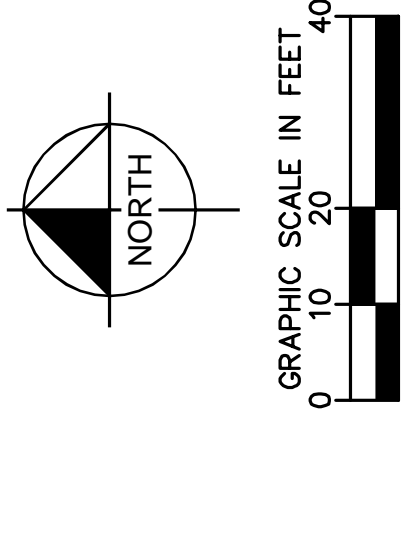


FIGURE 3



SITE DATA TABLE		
	REQUIRED	EXISTING
PARKING - 1 SPACE PER 100 SF		
BUILDING SF	2,020 SF = 21 SPACES	1,605
TOTAL SPACES	21 SPACES	17
STANDARD SPACES	20 SPACES	16
ACCESSIBLE SPACES	1 PER 25 SPACES=1 SPACES	1
LAND USE DATA		
PROPERTY AREA		44,076 AC
IMPERVIOUS AREA		44,033 AC
PERVIOUS AREA		44,043 AC
REQUIRED INTERIOR LANDSCAPING		44,037 AC
PROVIDED INTERIOR LANDSCAPING		44,039 AC
PARCEL ID #		7336101001 AND 7336101022
ZONING		C-5
EXISTING BUILDING SF		44,005 SF
PROPOSED BUILDING SF		44,200 SF
LANDSCAPE SETBACKS		
NORTH (FILLMORE)	25'	0
WEST (CHESTNUT)	NOT REQUIRED	8.0'
EAST	NOT REQUIRED	46.0'
BUILDING SETBACKS		
NORTH (FILLMORE)	20'	19.3'
WEST (CHESTNUT)	20'	7.9'
EAST	20'	120.0'
		36.4'
		81.9'
		44.5'



CITY OF COLORADO SPRINGS NOTES:

- ALL CURB, GUTTER, DRIVEWAY APRONS, PEDESTRIAN RAMPS AND SIDEWALK POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATION OR NOT MEETING CURRENT CITY ENGINEERING STANDARDS ALONG FILLMORE ST. AND CHESTNUT ST ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY (C.O.). AN ON-SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW INSPECTOR TO DETERMINE WHAT, IF ANY IMPROVEMENTS ARE REQUIRED. THE INSPECTOR CAN BE REACHED AT 385-5977.

TREE NOTE:

LARGE GROUP OF TREES ON-SITE ARE TO REMAIN UNDISTURBED. ONE SMALL (6" TREE TO BE REMOVED AND REPLACED)

FLOODPLAIN NOTE:

THE SUBJECT PROPERTY LIES IN ZONE X. AREAS TO BE DETERMINED OUTSIDE THE 500 YEAR FLOODPLAIN ACCORDING TO FEMA MAP NUMBER 08041C0514F, EFFECTIVE DATE MARCH 17, 1997.

EXISTING LAND USES:

THE SITE CONSIST OF TWO LOTS IN DIFFERENT ZONING DISTRICTS AND LAND USES. THE LOT LOCATED TO THE NORTH, NEXT TO FILLMORE STREET, HAS AN EXISTING LAND USE OF GENERAL COMMERCIAL, WITH AN AREA OF 17,754 SF. THE LOT TO THE SOUTH, ABUTTING CHESTNUT STREET TO THE WEST, HAS AN EXISTING LAND USE OF MEDIUM DENSITY RESIDENTIAL AND A TOTAL AREA OF 16,034 SF.

PROPOSED LAND USES:

THE PROPOSED LAND USE FOR THE SITE IS GENERAL COMMERCIAL WITH A TOTAL AREA OF 33,788 SF. THE EXISTING BUILDING WILL BE DEMOLISHED AND REPLACED WITH A 2,020 SF BUILDING.

EASEMENTS:

EXISTING PIE EASEMENT (R.N. 213032828) - NW CORNER OF SITE FOR TRAFFIC POLE
 PROPOSED 5' PUBLIC UTILITY AND DRAINAGE EASEMENT ALONG WEST PROPERTY BOUNDARY

ADA DESIGN PROFESSIONAL STANDARDS NOTE:

THE DESIGN PROFESSIONAL RESPONSIBLE FOR THIS PLAN HAS FAMILIARIZED THEMSELVES WITH ALL CURRENT ADA CRITERIA AND SPECIFICATIONS, AND THE PROPOSED PLAN REFLECTS REQUIRED SITE ELEMENTS. SEE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN', AS PUBLISHED BY THE DEPARTMENT OF JUSTICE (DOJ).

SIGNAGE:

PROPOSED SIGNAGE WILL BE APPROVED SEPARATELY BY THE CITY OF COLORADO SPRINGS.

LIGHTING:

ALL PROPOSED HUBBELL CIMARRON LIGHT FIXTURES MEET IESNA FULL CUTOFF CLASSIFICATION AND ARE FIELD ROTATABLE IN 90 DEGREE INCREMENTS.

PARKING NOTE:

PARKING STALL TYPICAL DIMENSIONS CAN BE FOUND ON SHEET C200 - CONSTRUCTION DETAILS

OWNERS CERTIFICATION:

I (WE) DO HEREBY CERTIFY THAT I (AM WE ARE) THE ONLY OWNER(S) OF THE PROPERTY SHOWN HEREON, AND DO ADOPT THIS AS MY (OUR) DEVELOPMENT PLAN FOR THE PROPERTY.

OWNER	DATE
OWNER ADDRESS	DATE
WITNESS	DATE

COMMISSIONS CERTIFICATION:

I DO HEREBY CERTIFY THAT THIS DEVELOPMENT PLAN COMPLES WITH THE PROVISIONS OF ARTICLE 21-7 OF THE ZONING ORDINANCE.

COMMISSION SECRETARY	DATE
----------------------	------



CPC DP 17-0063

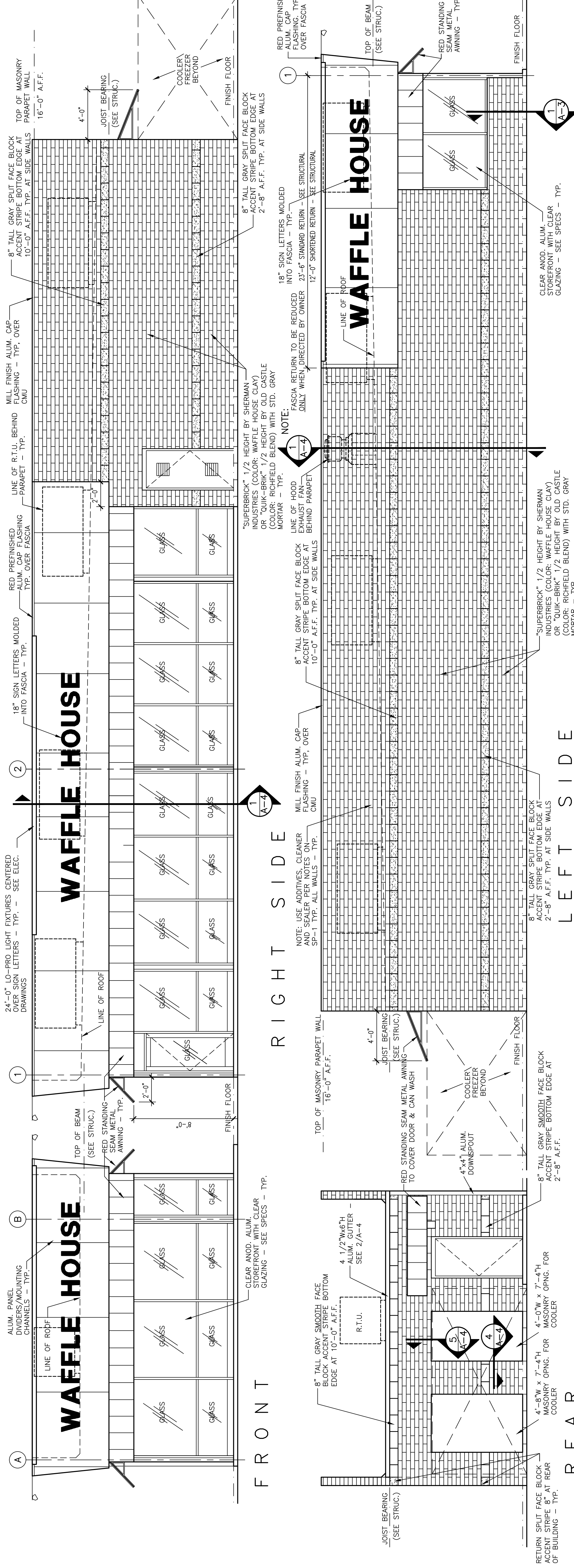
WAFFLE HOUSE, INC.
 UNIT #183
 756 W FILLMORE ST
 COLORADO SPRINGS
 COLORADO

SCALE AS NOTED
 DESIGNED BY: RANDALL PHELPS, P.E.
 DRAWN BY: KEVIN
 CHECKED BY: KEVIN
 DATE: 3/5/2014
 COLORADO REGISTRATION NUMBER: 35204
 DESIGN ENGINEER: RANDALL PHELPS, P.E.

Kimley-Horn
 2018 KIMLEY-HORN AND ASSOCIATES, INC.
 655 NORTH FRANKLIN STREET, SUITE 150, TAMPA, FL 33602
 PHONE: 813-620-1460
 WWW.KIMLEY-HORN.COM CO 19921017641

BY	DATE	REVISIONS
BHP	03/29/18	CITY OF COLORADO SPRINGS COMMENTS
BHP		CITY OF COLORADO SPRINGS COMMENTS
KEW		CITY OF COLORADO SPRINGS COMMENTS

FIGURE 3



SCALE: 1/4"=1'-0"

EXTERIOR ELEVATIONS

NOTES:
 1. ALL GLAZING TO BE TEMPERED SAFETY GLASS - SEE SPECS.
 2. COORDINATE ROOF ACCESS LADDER LOCATION WITH WAFFLE HOUSE REP. IN FIELD.

AMERICA'S PLACE TO EAT, AMERICA'S PLACE TO WORK.
WAFFLE HOUSE
 A UNIQUE AMERICAN PHENOMENON.
 5986 Financial Drive, Norcross, GA 30071
 (770) 729-5700

46 SEAT/ 22 STATION/ LH SUPERBRICK, EXTERIOR/TOILET ELEVATIONS
 HIGH REVERSE SLOPE FASCIA
 LOCATION: 755 W. FILLMORE STREET, COLORADO SPRINGS, COLORADO

CHECKED BY: MDP
 DRAWN BY: KELLY

ARCHITECTURAL SHEET
 JOB NO: 30126
 DATE: 9/28/17
 OF 28 SHEETS
A-3

TOILET ELEVATIONS

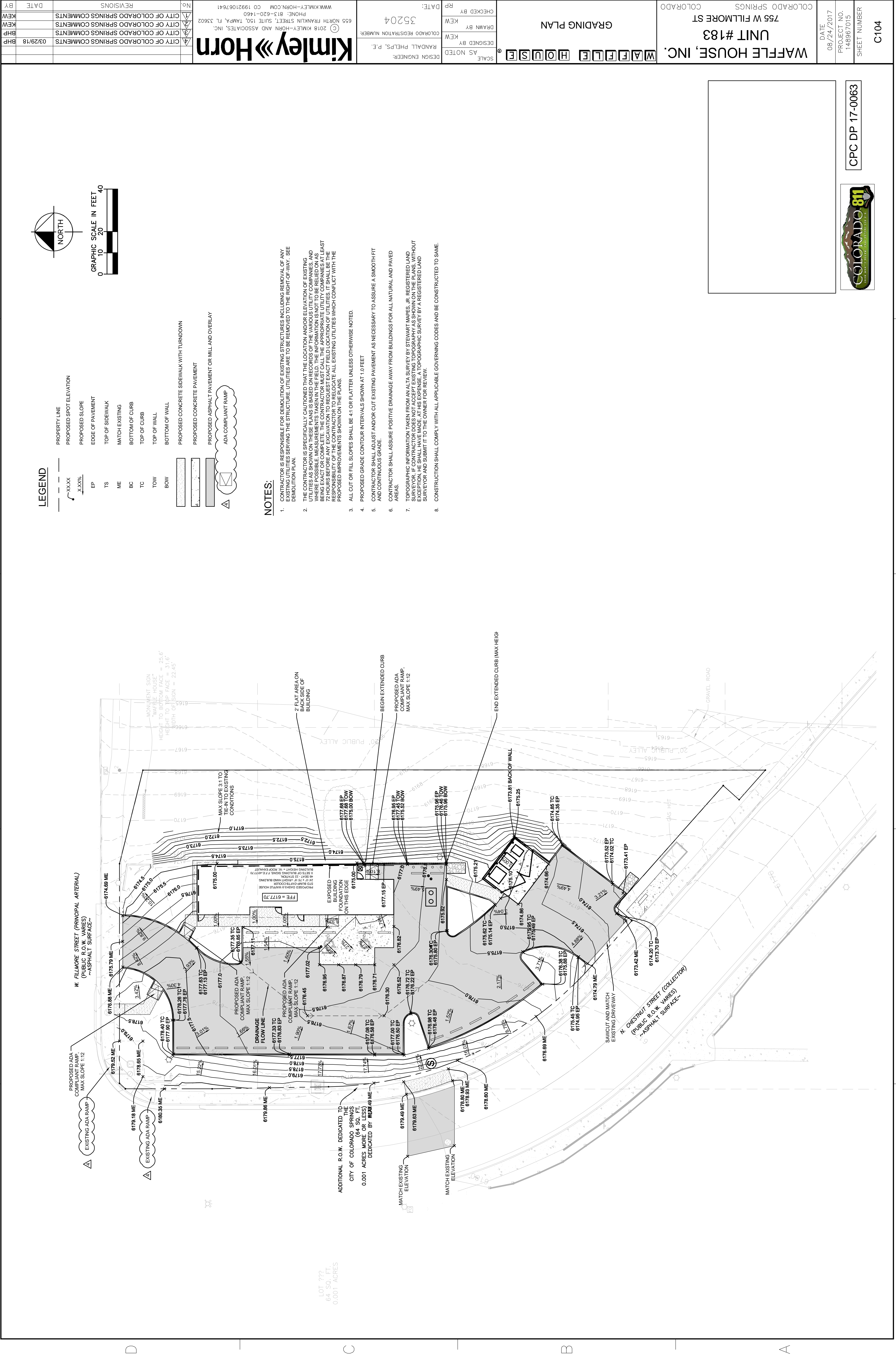
NOTES:
 ALL WALL MOUNTED FIXTURES AND ACCESSORIES SHALL BE BACKED WITH 1/2" OSB OR CDX PLYWOOD. LAVATORIES SHALL BE MOUNTED WITH A MINIMUM CLEARANCE OF 29" FROM THE FINISH FLOOR TO BOTTOM OF THE APRON.
 PLUMBING SHALL BE ARRANGED TO PROVIDE 8" DEEP KNEE CLEARANCE, 9"Hx6"D TOE CLEARANCE AND A 17" CLEAR FLOOR SPACE FROM THE FRONT PLANE OF THE LAVATORY TO THE WALL.
 INSULATE ALL EXPOSED PIPES AND CONTROLS UNDER LAVATORY.

ACCESS LADDER DETAILS

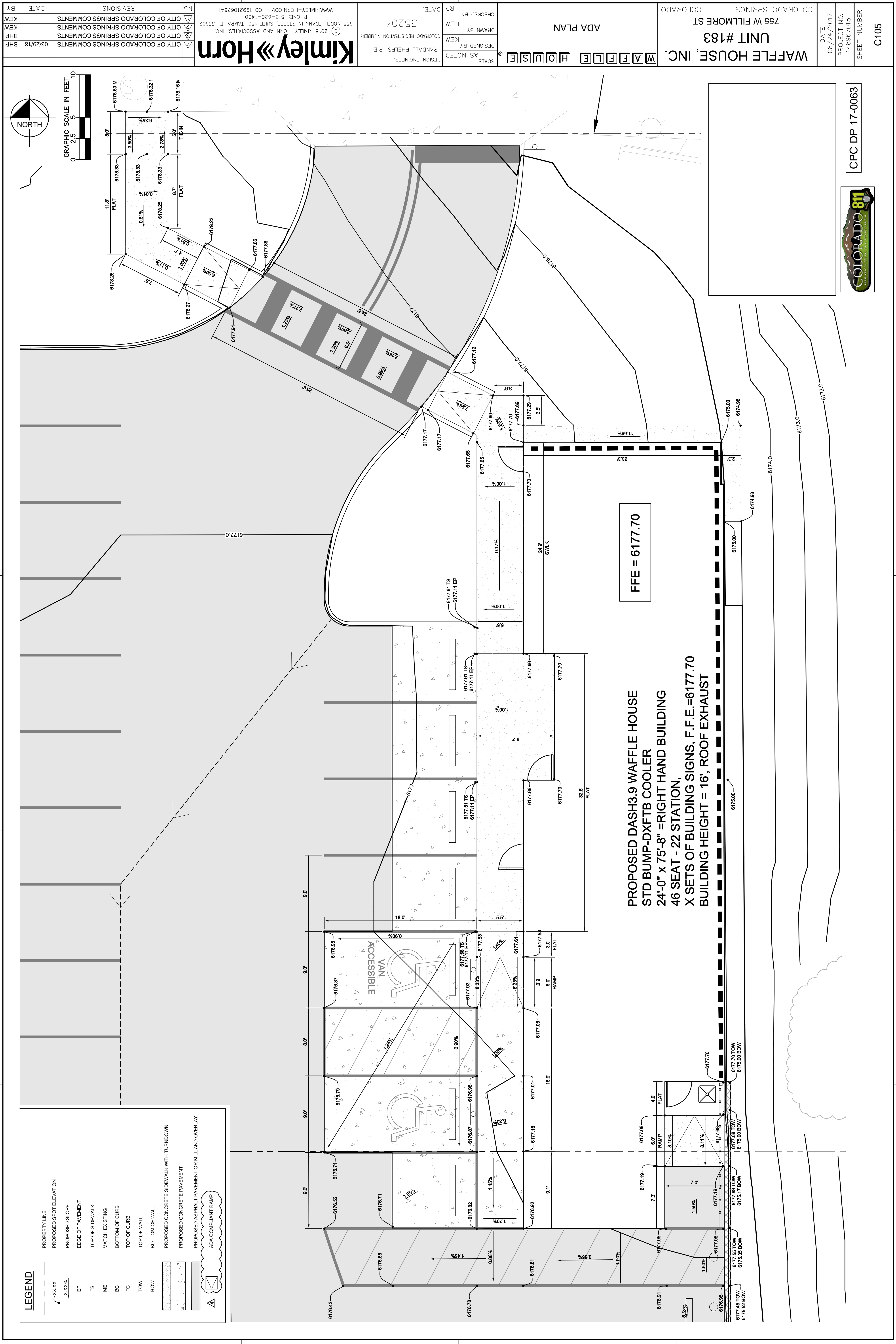
SECTION
 ELEVATION
 DETAIL

NOTE: LADDER LOCATION TO BE DETERMINED BY OWNERS REP

FIGURE 3



Drawing name: K:\TAM\Civil\148967 - Waffle House, Inc\015 - Various Sites\183-Colorado Springs, CO\CADD\Work\C105-ADA PLAN - 183.dwg Layout1 Apr 11, 2018 7:43pm by: benjamin.pierre
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse or improper reliance on this document without written authorization and adaptation by Kinley-Horn and Associates, Inc. shall be without liability to Kinley-Horn and Associates, Inc.



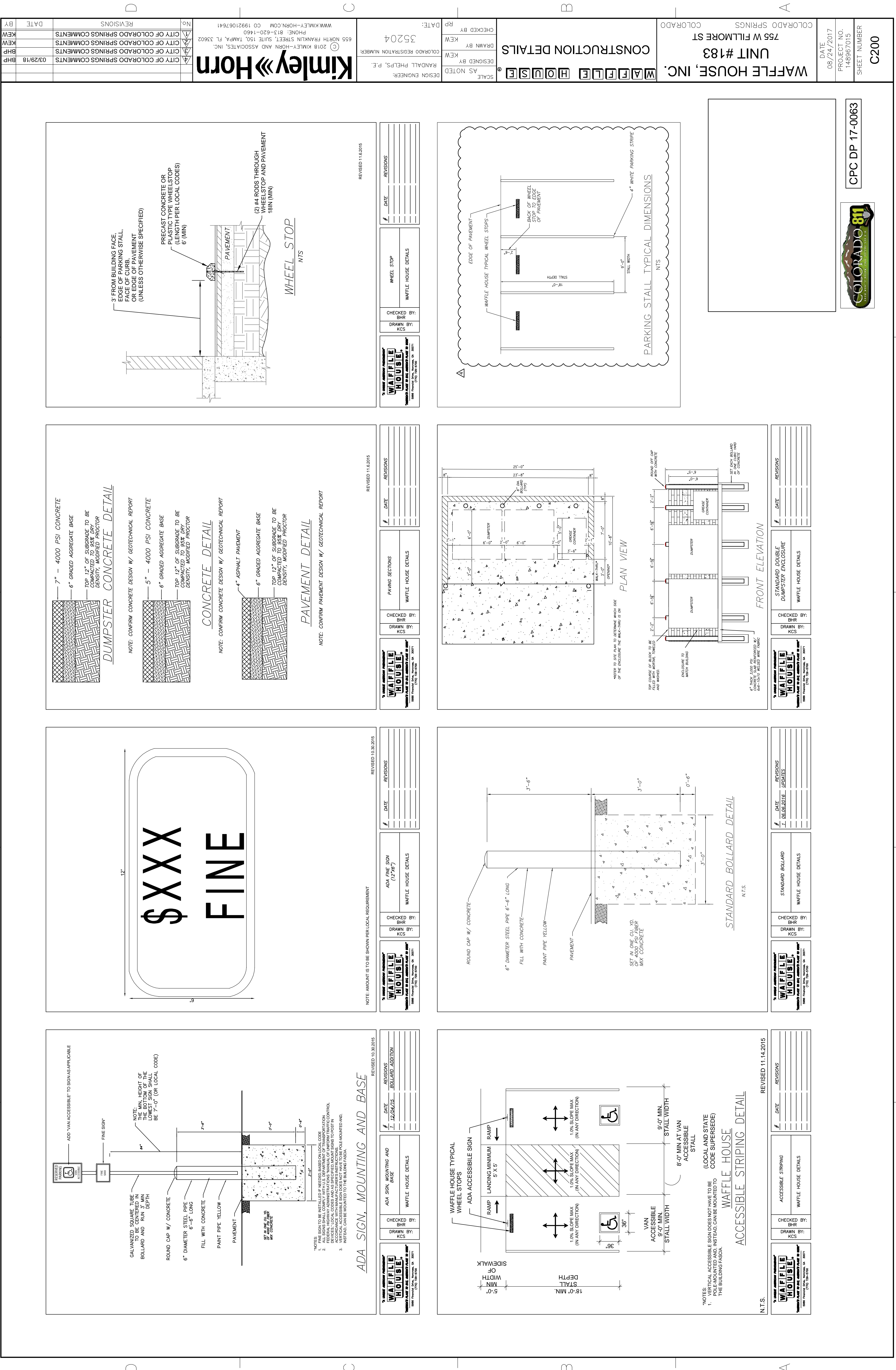
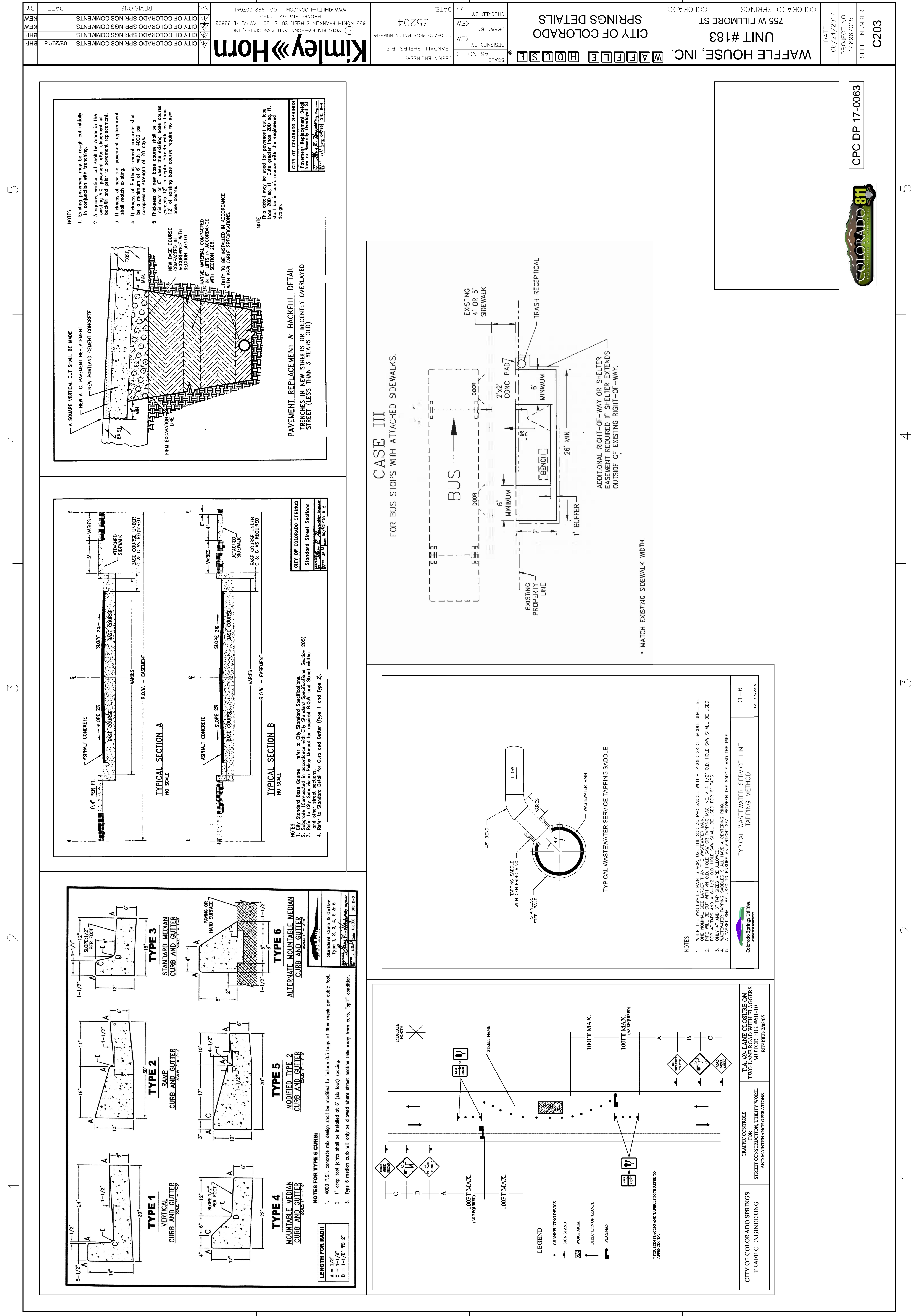


FIGURE 3



CPC DP 17-0063

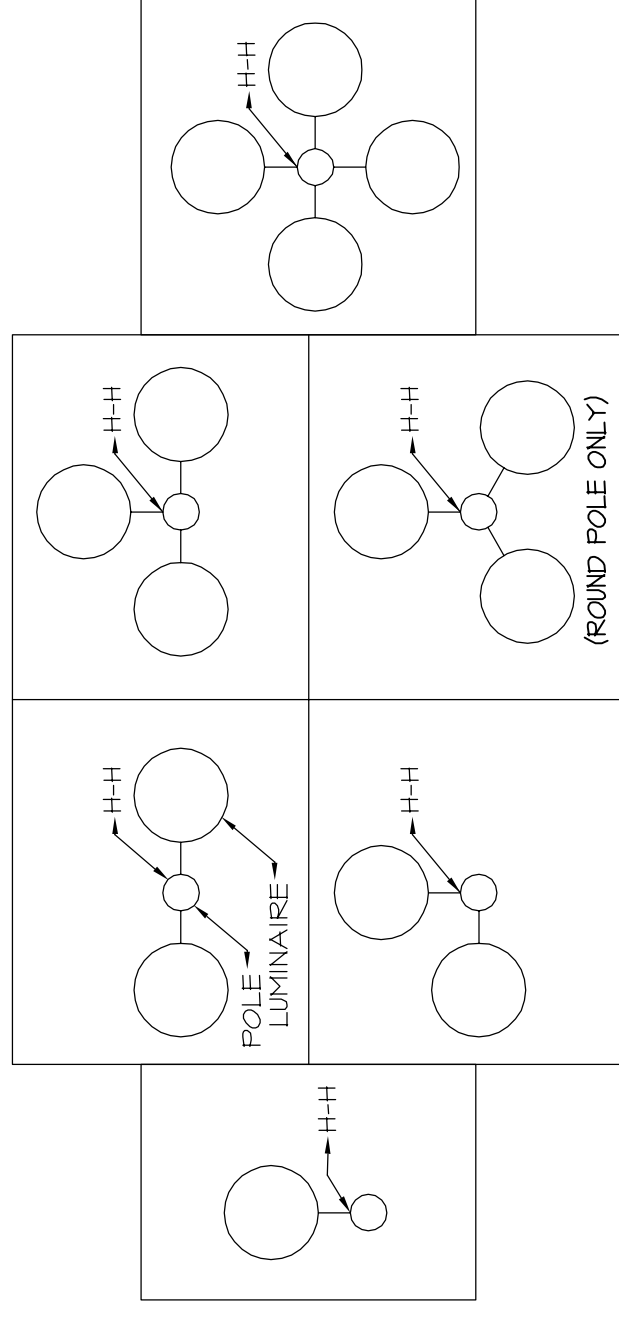
1 2 3 4 5

1 2 3 4 5

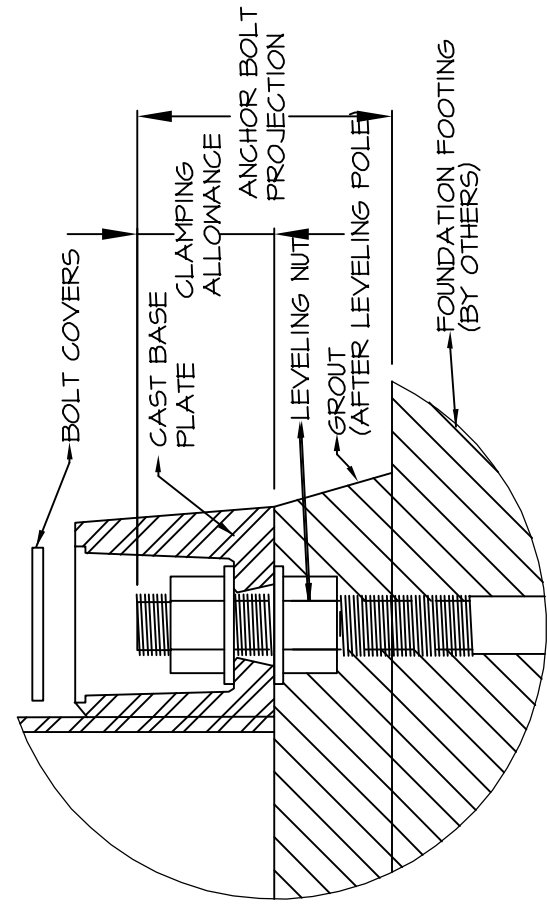
ANCHOR BOLT DIAMETER	RECOMMENDED TIGHTENING TORQUE (MINIMUM)
3/4"	135 FOOT LBS.

LUMINAIRE / POLE CONFIGURATIONS TOP VIEW

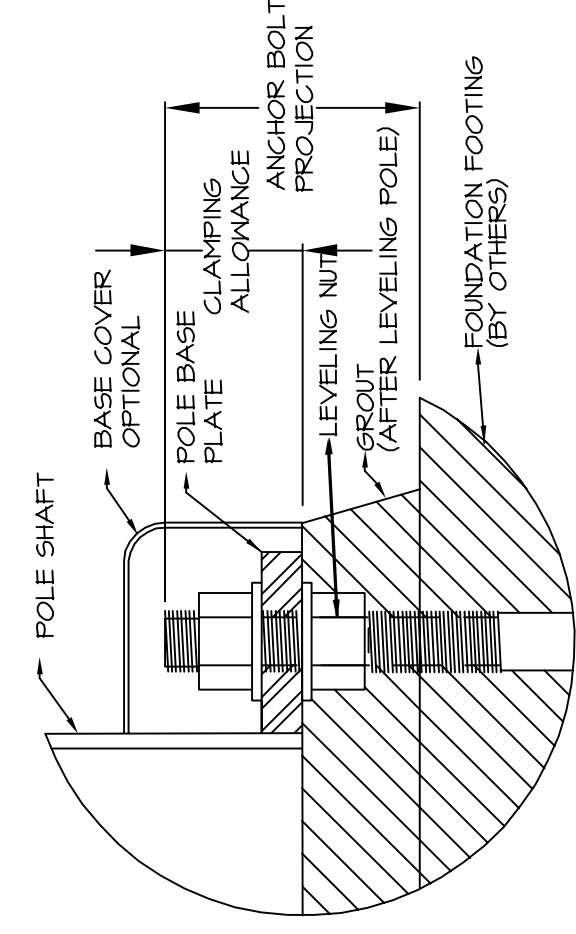
H-H DESIGNATES HANDHOLE LOCATION



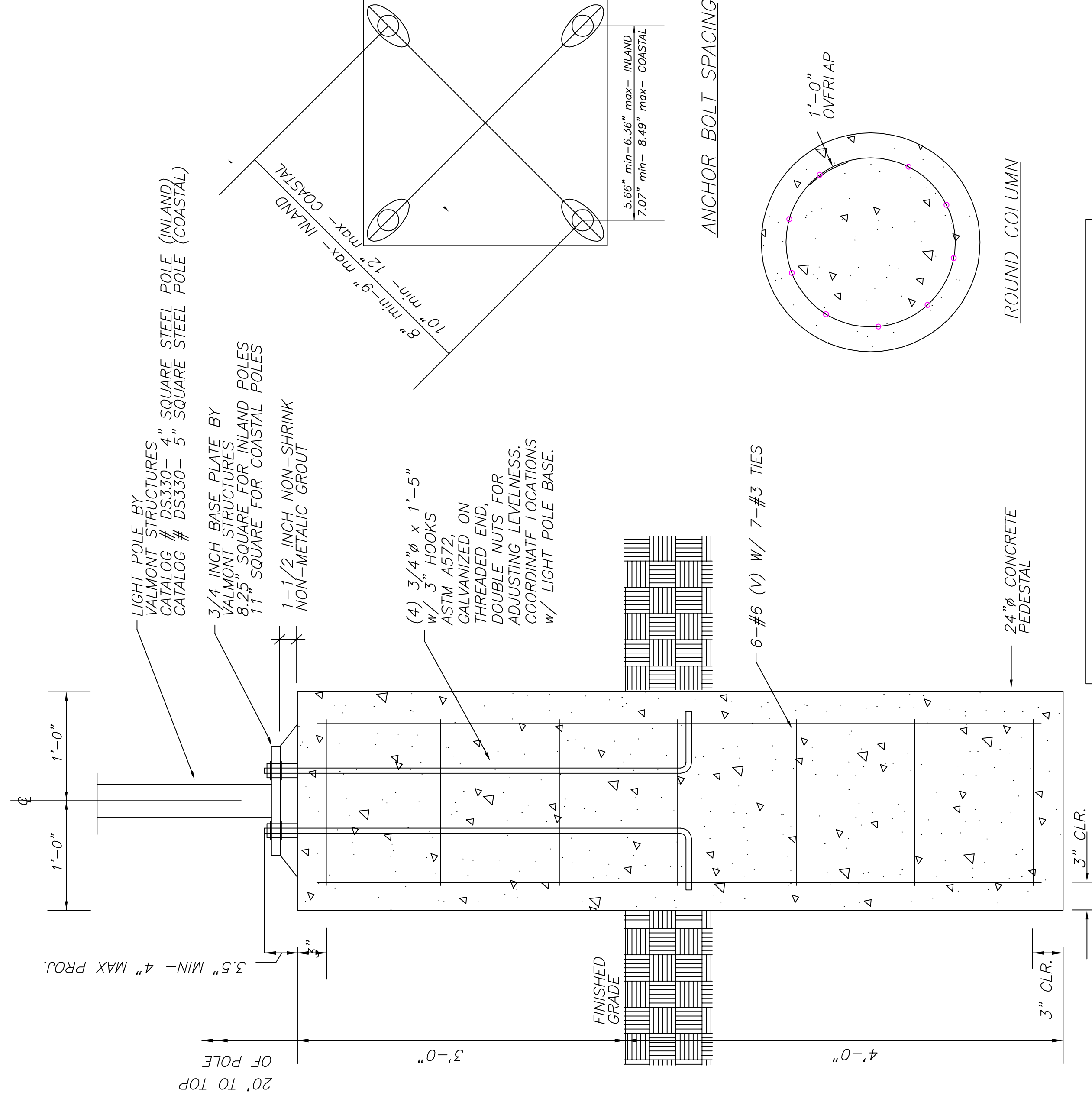
POLE DESCRIPTION	BOLT DIAMETER (B.C.)	BOLT CIRCLE	GLASSING ALLOWANCE	ANCHOR BOLT PROJECTION	
				MIN.	MAX.
555-XX-50 LESS THAN 25'	3/4"	10-1/2"	2"	3-1/8"	4"



CAST BASE PLATE DETAIL



FLAT BASE PLATE DETAIL



**NOTE: COASTAL POLES ARE TO BE USED IN COASTAL WINDLOAD AREAS AND FOR ALL POLES WITH 4 LIGHTS

Submitted by Address Form: ADDRESS: 1141 WEST WASHINGTON, CHICAGO, IL 60642, TEL: 484.811.736

Job Name: WAFFLE HOUSE

Catalog Number: WPS-R25P-6-BL

Notes:

Submitted by Address Form: ADDRESS: 1141 WEST WASHINGTON, CHICAGO, IL 60642, TEL: 484.811.736

Job Name: WAFFLE HOUSE

Catalog Number: WPS-R25P-6-BL

Notes:

MINILITER V SERIES

Applications: Well, accent and general security lighting.

ORDERING INFORMATION

Item #	Description	Weight	Height	No.
555-XX-50	555-XX-50 1/2" (100-200-250-275 ft.)	36	11.8	2
555-XX-50-1	555-XX-50-1 1/2" (100-200-250-275 ft.)	36	11.8	2
555-XX-50-2	555-XX-50-2 1/2" (100-200-250-275 ft.)	36	11.8	2
555-XX-50-3	555-XX-50-3 1/2" (100-200-250-275 ft.)	36	11.8	2
555-XX-50-4	555-XX-50-4 1/2" (100-200-250-275 ft.)	36	11.8	2
555-XX-50-5	555-XX-50-5 1/2" (100-200-250-275 ft.)	36	11.8	2
555-XX-50-6	555-XX-50-6 1/2" (100-200-250-275 ft.)	36	11.8	2
555-XX-50-7	555-XX-50-7 1/2" (100-200-250-275 ft.)	36	11.8	2
555-XX-50-8	555-XX-50-8 1/2" (100-200-250-275 ft.)	36	11.8	2
555-XX-50-9	555-XX-50-9 1/2" (100-200-250-275 ft.)	36	11.8	2
555-XX-50-10	555-XX-50-10 1/2" (100-200-250-275 ft.)	36	11.8	2

Submitted by Address Form: ADDRESS: 1141 WEST WASHINGTON, CHICAGO, IL 60642, TEL: 484.811.736

Job Name: WAFFLE HOUSE

Catalog Number: WPS-R25P-6-BL

Notes:

Submitted by Address Form: ADDRESS: 1141 WEST WASHINGTON, CHICAGO, IL 60642, TEL: 484.811.736

Job Name: WAFFLE HOUSE

Catalog Number: WPS-R25P-6-BL

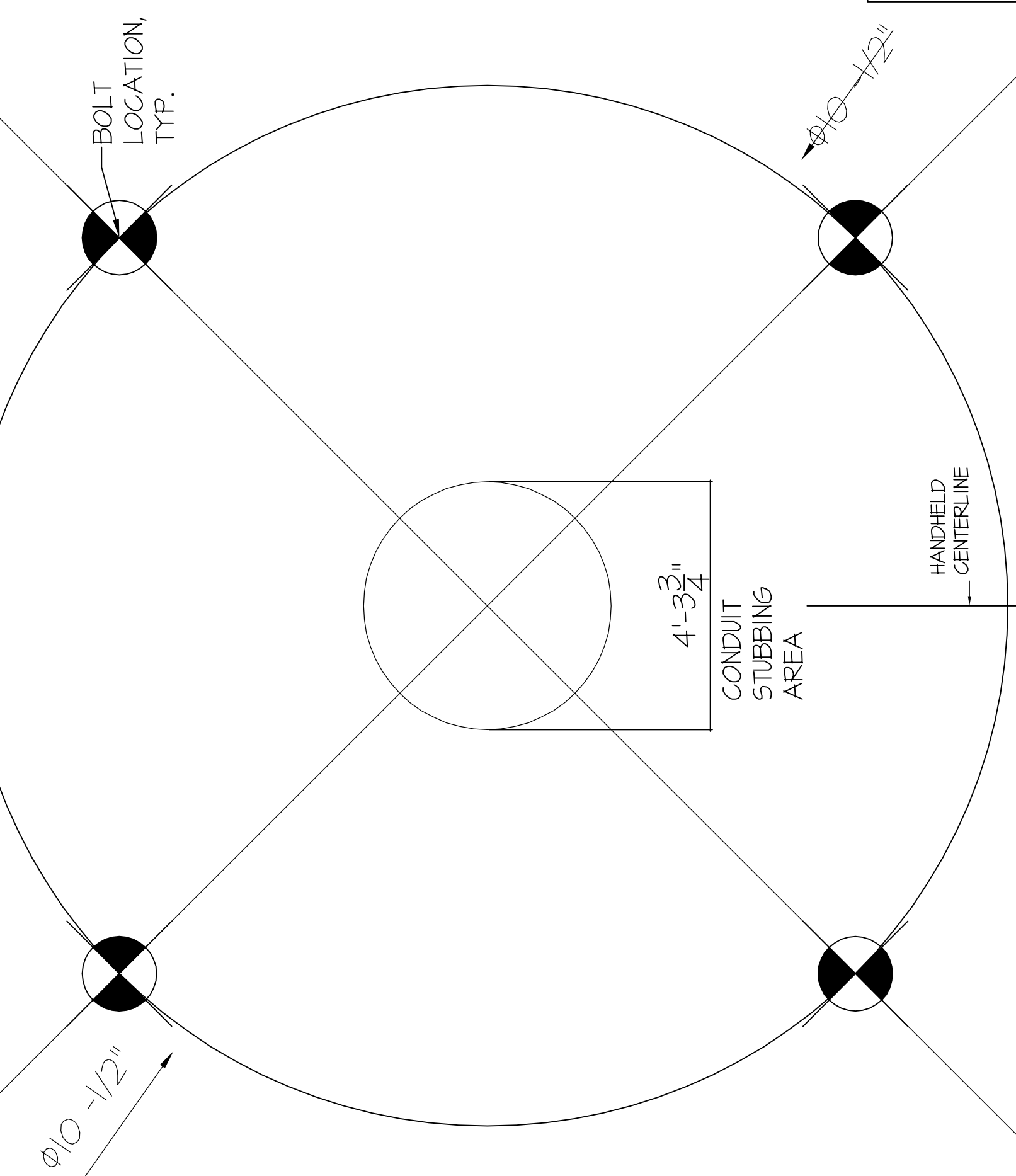
Notes:

MINILITER V SERIES

Applications: Well, accent and general security lighting.

ORDERING INFORMATION

Item #	Description	Weight	Height	No.
555-XX-50	555-XX-50 1/2" (100-200-250-275 ft.)	36	11.8	2
555-XX-50-1	555-XX-50-1 1/2" (100-200-250-275 ft.)	36	11.8	2
555-XX-50-2	555-XX-50-2 1/2" (100-200-250-275 ft.)	36	11.8	2
555-XX-50-3	555-XX-50-3 1/2" (100-200-250-275 ft.)	36	11.8	2
555-XX-50-4	555-XX-50-4 1/2" (100-200-250-275 ft.)	36	11.8	2
555-XX-50-5	555-XX-50-5 1/2" (100-200-250-275 ft.)	36	11.8	2
555-XX-50-6	555-XX-50-6 1/2" (100-200-250-275 ft.)	36	11.8	2
555-XX-50-7	555-XX-50-7 1/2" (100-200-250-275 ft.)	36	11.8	2
555-XX-50-8	555-XX-50-8 1/2" (100-200-250-275 ft.)	36	11.8	2
555-XX-50-9	555-XX-50-9 1/2" (100-200-250-275 ft.)	36	11.8	2
555-XX-50-10	555-XX-50-10 1/2" (100-200-250-275 ft.)	36	11.8	2



ANCHOR BOLT DIAMETER	RECOMMENDED TIGHTENING TORQUE (MINIMUM)
3/4"	135 FOOT LBS.

PARKING LOT FLOOD LIGHT DETAIL

CPC DP 17-0063
11/24/2015
SHEET C300 OF SHEETS

PROVIDED BY
WAFFLE HOUSE

#	DATE	REVISIONS

"A UNIQUE AMERICAN PHENOMENON"
WAFFLE HOUSE
"AMERICA'S PLACE TO EAT, AMERICA'S PLACE TO WORK"
5986 Financial Drive, Norcross, GA 30071
(770) 729-5700

CHECKED BY:
DRAWN BY:
LOCATION:
BLOCK, REVERSE SLOPE FASCIA

SHEET C300 OF SHEETS
JOB NO.:
DATE:

FIGURE 3

PLANT SCHEDULE

Table with columns: TREES, CODE, QTY, BOTANICAL NAME, COMMON NAME, CONT, CAL, SIZE, KEY FROM APPENDIX B, MATURE WIDTH. Lists various plant species like Green Ash, Golden Rain Tree, etc.

Percent Signature Trees (60% minimum - Policy 311.3.K)

Table with columns: SHRUBS, CODE, QTY, BOTANICAL NAME, COMMON NAME, CONT, SPACINGS, SIZE, KEY FROM APPENDIX B, MATURE WIDTH. Lists various shrub species like Blue Mist Shrub, Rudy Haag Burning Bush, etc.

Percent Signature Shrubs (60% minimum - Policy 311.3.K)

Table with columns: SHRUBS, CODE, QTY, BOTANICAL NAME, COMMON NAME, CONT, SPACINGS, SIZE, KEY FROM APPENDIX B, MATURE WIDTH. Lists various shrub species like Rudy Haag Burning Bush, Dwarf Forsythia, etc.

Percent Signature Grasses (60% minimum - Policy 311.3.K)

Table with columns: GROUND COVERS, CODE, QTY, BOTANICAL NAME, COMMON NAME, SEED. Lists ground cover species like Rock Mulch, Arkansas Valley Seed, Buffalo Sod, etc.

SITE CATEGORY CALCULATIONS

Table with columns: STREET, STREET CLASSIFICATION, WIDTH, REO / PROV, TREE / FEET, NO OF TREES, REO / PROV. Lists calculations for various street types.

MOTOR VEHICLE LOTS (Policy 321 & 317)

Table with columns: NO. OF VEHICLE SPACES PROVIDED, SHADE TREES (I/15), REO / PROV, LENGTH OF FRONTAGE, VEHICLE LOT FRONTAGES, LENGTH OF FRONTAGE, VEHICLE LOT FRONTAGES, REO / PROV.

INTERNAL LANDSCAPING (Policy 322 & 317)

Table with columns: NET SITE AREA (SF), PERCENT MINIMUM, INTERNAL AREA (SF), PERCENT MINIMUM, INTERNAL TREES (I/500 TREES), REO / PROV.

LANDSCAPE BUFFERS AND SCREENS (Policy 323 & 317)

Table with columns: STREET NAME OR PROPERTY LINE, WIDTH (LF), REO / PROV, LINEAR FOOTAGE, BUFFER TREES (I/20), REO / PROV.

GENERAL LANDSCAPE NOTES

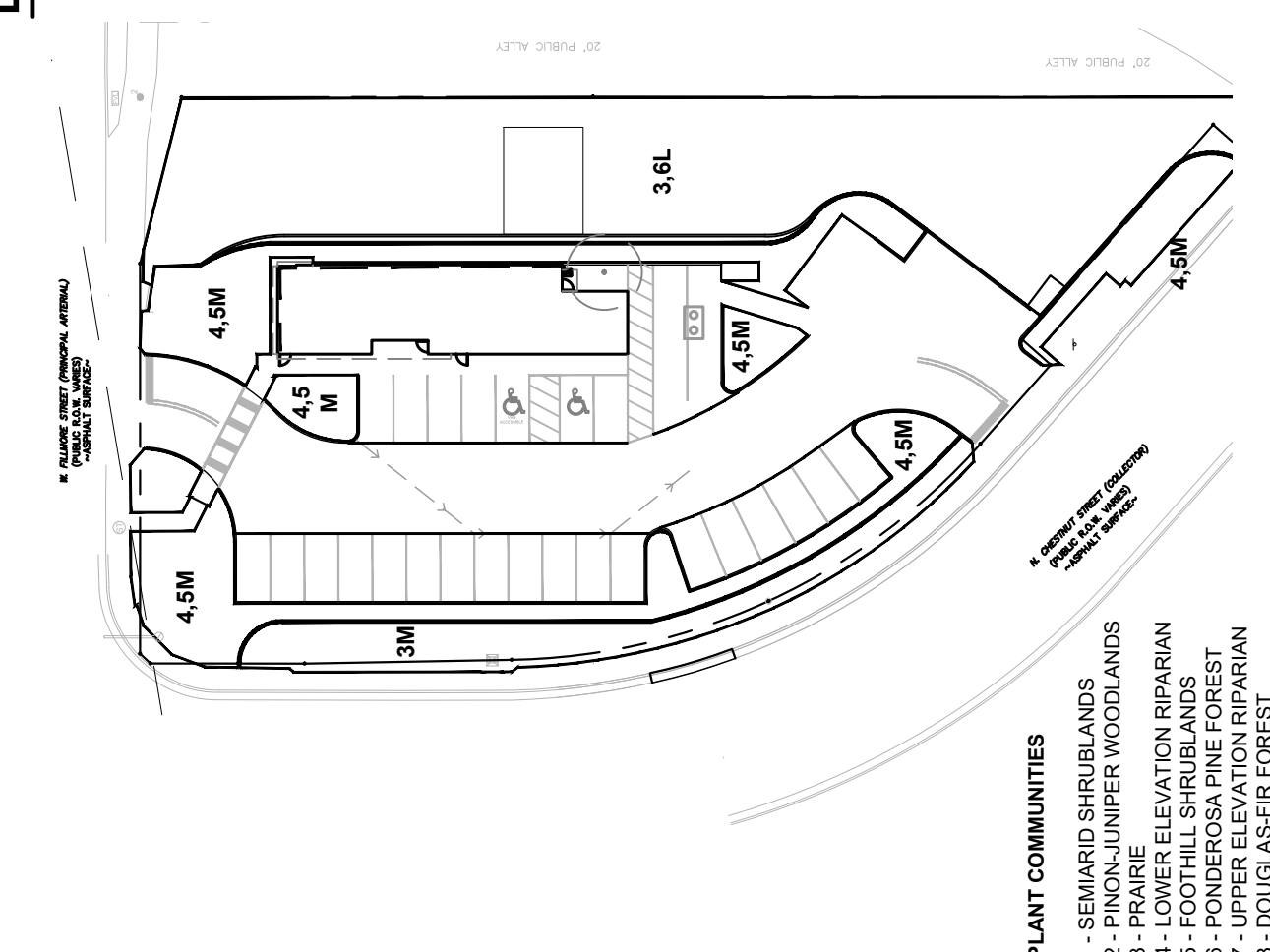
- 1. ALL WORK SHALL BE CONFINED TO LIMITS OF CONSTRUCTION AS SHOWN ON PLANS.
2. SITE GRADING REQUIRED BY THE WORK AS IT PROGRESSES AND NOT SPECIFICALLY CALLED OUT ON THE PLANS SHALL BE CONSIDERED INCIDENTAL WORK.
3. CONTRACTOR SHALL COORDINATE AND BE IN COMPLIANCE WITH ALL STATE AND LOCAL AGENCIES AS WARRANTED.

LANDSCAPE MAINTENANCE

- A. RESPONSIBILITIES: THE LANDOWNER AND/OR OWNER'S ASSOCIATION SHALL BE RESPONSIBLE FOR MAINTENANCE AND KEEP IN GOOD CONDITION ALL THOSE LOCATIONS INDICATED ON THE APPROVED LANDSCAPE PLAN OF ALL VEGETATION, IRRIGATION SYSTEM, SCREENING DEVICES, AND OTHER LANDSCAPE COMPONENTS SO AS TO PRESENT A HEALTHY, SAFE AND ORDERLY SITE.
B. MAINTENANCE PRACTICES: MAINTENANCE SHALL CONSIST OF ALL REGULAR AND NORMAL MAINTENANCE PRACTICES OF LANDSCAPING INCLUDING WEEDING, IRRIGATION, FERTILIZING, PRUNING AND MOWING. PLANT MATERIALS THAT EXHIBIT SIGNIFICANT LEVELS OF INSECTS, PESTS, DISEASES AND/OR DAMAGE SHALL BE APPROPRIATELY TREATED, AND ALL DEAD PLANT MATERIALS SHALL BE REMOVED AND REPLACED WITH LIVING PLANT MATERIALS WHERE REQUIRED ON THE APPROVED LANDSCAPE PLAN.

LANDSCAPE NOTES

- 1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE ALL MUD, DIRT, ROCK MULCH AND OTHER MATERIALS TRACKED ONTO ANY PRIVATE OR PUBLIC STREETS OR SIDEWALKS. THE CONTRACTOR MUST USE WATER OR OTHER ACCEPTABLE METHODS TO KEEP AIRBORNE DUST TO A REQUIRED MINIMUM.
2. MULCH SHALL EXTEND UNDER ALL TREES AND SHRUBS.



SITE DATA

TOTAL SITE AREA = +/- 34,030 SF
TOTAL PARKING PROVIDED = 27 STALLS
ZONING: EXISTING C-5 AND R1-6 TO BE REZONED TO ONLY C-5

Project header information including Waffle House, Inc., Unit #183, 756 W Fillmore St, Colorado Springs, CO, and Kimley-Horn and Associates, Inc. Logo and contact information.

Revision table with columns for DATE, BY, and REVISIONS.

Scale bar and drawing title 'LANDSCAPE NOTES'.

Design professional information for Christopher Rose, Registered Professional Landscape Architect, License No. 1085.

City and county information for Colorado Springs, CO.

Project name and address: Waffle House, Inc., Unit #183, 756 W Fillmore St, Colorado Springs, CO.

Design professional information for Kimley-Horn and Associates, Inc., with address and phone number.

Scale bar and drawing title 'LANDSCAPE NOTES'.

Design professional information for Christopher Rose, Registered Professional Landscape Architect, License No. 1085.

City and county information for Colorado Springs, CO.

Project name and address: Waffle House, Inc., Unit #183, 756 W Fillmore St, Colorado Springs, CO.

Design professional information for Kimley-Horn and Associates, Inc., with address and phone number.

Scale bar and drawing title 'LANDSCAPE NOTES'.

Design professional information for Christopher Rose, Registered Professional Landscape Architect, License No. 1085.

City and county information for Colorado Springs, CO.

Project name and address: Waffle House, Inc., Unit #183, 756 W Fillmore St, Colorado Springs, CO.

Design professional information for Kimley-Horn and Associates, Inc., with address and phone number.

Scale bar and drawing title 'LANDSCAPE NOTES'.

Design professional information for Christopher Rose, Registered Professional Landscape Architect, License No. 1085.

City and county information for Colorado Springs, CO.

Project name and address: Waffle House, Inc., Unit #183, 756 W Fillmore St, Colorado Springs, CO.

Design professional information for Kimley-Horn and Associates, Inc., with address and phone number.

Scale bar and drawing title 'LANDSCAPE NOTES'.

Design professional information for Christopher Rose, Registered Professional Landscape Architect, License No. 1085.

City and county information for Colorado Springs, CO.

Project name and address: Waffle House, Inc., Unit #183, 756 W Fillmore St, Colorado Springs, CO.

Design professional information for Kimley-Horn and Associates, Inc., with address and phone number.

Scale bar and drawing title 'LANDSCAPE NOTES'.

Design professional information for Christopher Rose, Registered Professional Landscape Architect, License No. 1085.

City and county information for Colorado Springs, CO.

Project name and address: Waffle House, Inc., Unit #183, 756 W Fillmore St, Colorado Springs, CO.

Design professional information for Kimley-Horn and Associates, Inc., with address and phone number.

Scale bar and drawing title 'LANDSCAPE NOTES'.

Design professional information for Christopher Rose, Registered Professional Landscape Architect, License No. 1085.

City and county information for Colorado Springs, CO.

Project name and address: Waffle House, Inc., Unit #183, 756 W Fillmore St, Colorado Springs, CO.

Design professional information for Kimley-Horn and Associates, Inc., with address and phone number.

Scale bar and drawing title 'LANDSCAPE NOTES'.

Design professional information for Christopher Rose, Registered Professional Landscape Architect, License No. 1085.

City and county information for Colorado Springs, CO.

Project name and address: Waffle House, Inc., Unit #183, 756 W Fillmore St, Colorado Springs, CO.

Design professional information for Kimley-Horn and Associates, Inc., with address and phone number.

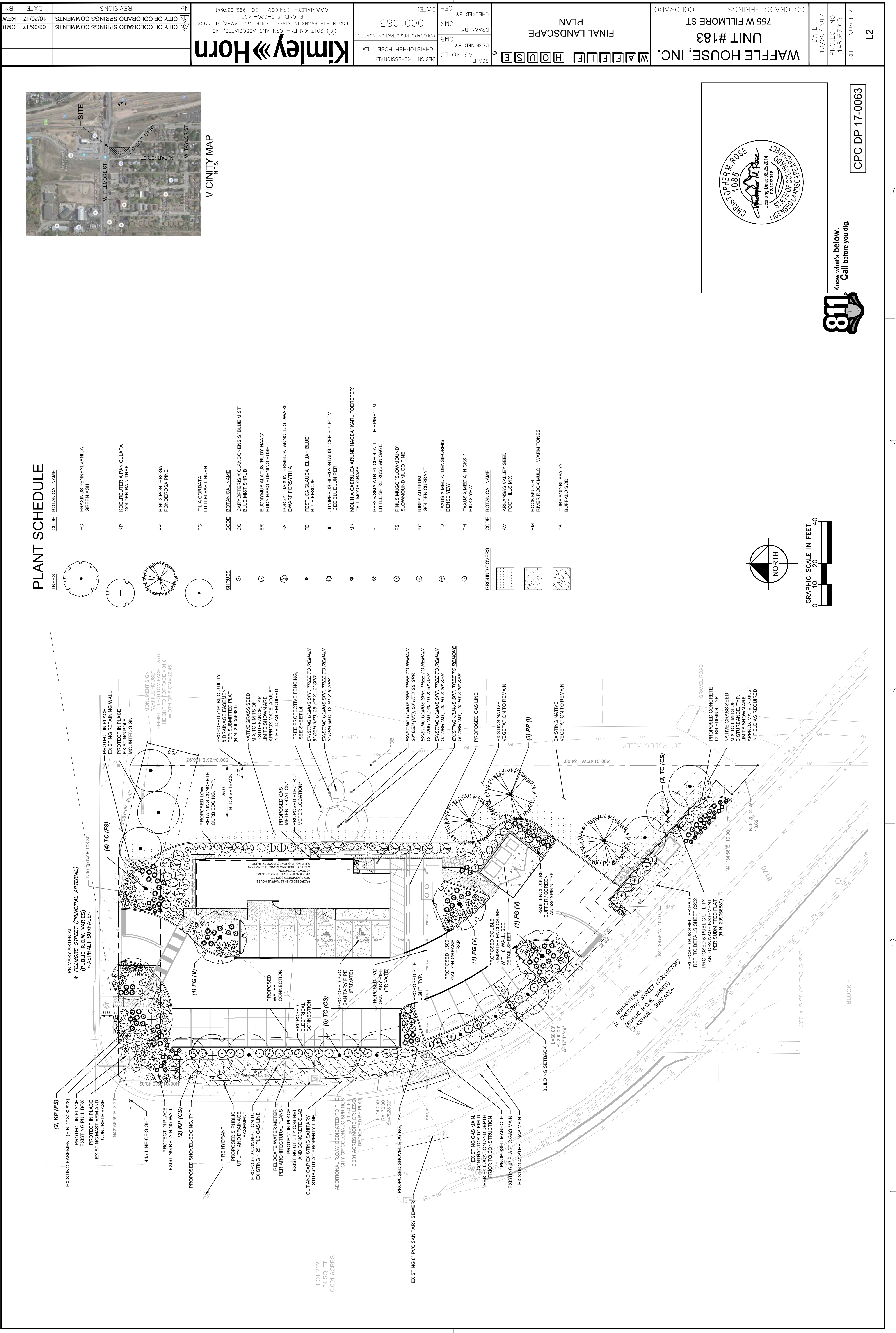
Scale bar and drawing title 'LANDSCAPE NOTES'.

Design professional information for Christopher Rose, Registered Professional Landscape Architect, License No. 1085.

City and county information for Colorado Springs, CO.

Project name and address: Waffle House, Inc., Unit #183, 756 W Fillmore St, Colorado Springs, CO.

Design professional information for Kimley-Horn and Associates, Inc., with address and phone number.



PLANT SCHEDULE

TREES

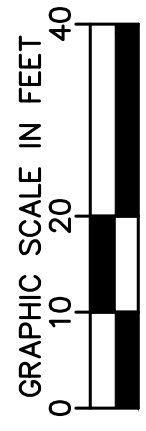
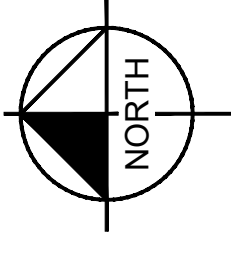
CODE	BOTANICAL NAME
FG	FRAXINUS PENNSYLVANICA GREEN ASH
KP	KOELREUTERIA PANICULATA GOLDEN PLAIN TREE
PP	PINUS PONDEROSA PONDEROSA PINE
TC	TILIA CORDATA LITTLE OLEIF LINDEN

SHRUBS

CODE	BOTANICAL NAME
CC	CARYOPTERIS X CLAUDONENSIS 'BLUE MIST' BLUE MIST SHRUB
ER	ELONIAS ALAUS 'RUDY HAAG' RUDY HAAG BURNING BUSH
FA	FORSYTHIA X INTERMEDIA 'ARNOLD'S DWARF' DWARF FORSYTHIA
FE	FESTUCA GLAUCA 'ELIJAH BLUE' BLUE FESCUE
JL	JUNIPERUS HORIZONTALIS 'ICEE BLUE' TM ICEE BLUE JUNIPER
MK	MOLINA CAERULEA ARUNDOINACEA 'KARL FOERSTER' TALL MOOR GRASS
PL	PEROWSKIA ATRIPICIFOLIA 'LITTLE SPIRE' TM LITTLE SPIRE RUSSIAN SAGE
PS	PINUS MUGO SLOWGROWND SLOWGROWND MUGO PINE
RG	RIESES AUREAM GOLDEN CURRANT
TD	TAXUS X MEDIA 'DENSIFORMIS' DENSE YEW
TH	TAXUS X MEDIA 'HICKSII' HICKS YEW

GROUND COVERS

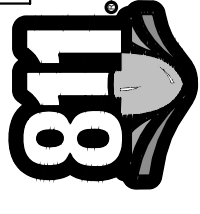
CODE	BOTANICAL NAME
AV	ARKANSAS VALLEY SEED FOOTHILLS MIX
RM	ROCK MULCH RIVER ROCK MULCH, WARM TONES
TB	TUBE SOO BUFFALO BUFFALO SOO



VICINITY MAP
N.T.S.

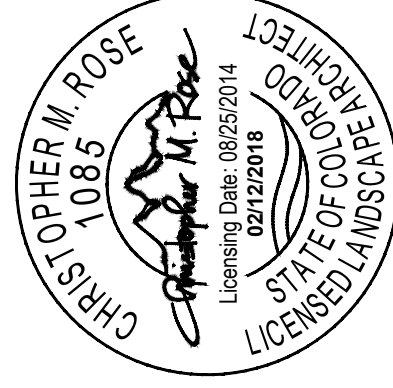
WAFFLE HOUSE, INC.
UNIT #183
755 W FILLMORE ST
COLORADO SPRINGS
COLORADO

DATE: 10/20/2017
PROJECT NO.: 148967015
SHEET NUMBER: L2



Know what's below.
Call before you dig.

CPC DP 17-0063



NO.	REVISIONS	DATE	BY
1	CITY OF COLORADO SPRINGS COMMENTS	02/06/17	CMR
2	CITY OF COLORADO SPRINGS COMMENTS	10/20/17	KEM

Kimley-Horn
655 NORTH FRANKLIN STREET, SUITE 150, TAMPA, FL 33602
PHONE: 813-620-1460
WWW.KIMLEY-HORN.COM CO 19921067641

DESIGN PROFESSIONAL:
CHRISTOPHER ROSE, PLA
COLORADO REGISTRATION NUMBER:
0001085
DATE: CEH

SCALE: AS NOTED
DESIGNED BY: CMR
DRAWN BY: CMR
CHECKED BY: CEH
FINAL LANDSCAPE PLAN

FIGURE 3

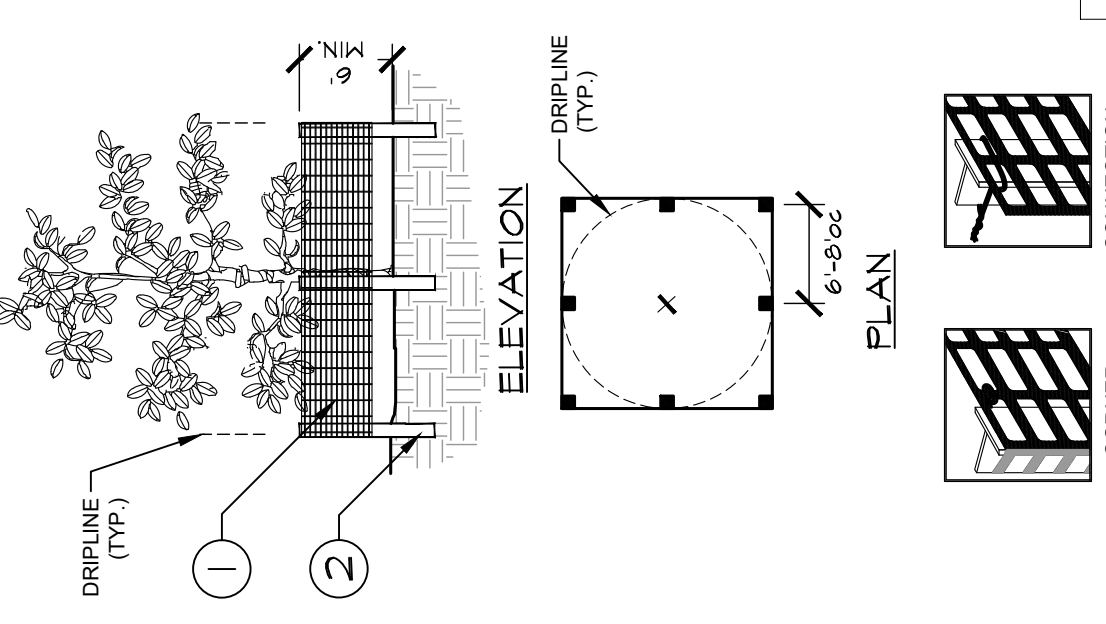
TREE MITIGATION SPECIFICATIONS

- A. GENERAL
 - 1. CONTRACTOR SHALL ADHERE TO ALL TREE PROTECTION REQUIREMENTS LISTED IN THESE SPECIFICATIONS AND/OR THOSE REQUIRED BY LOCAL JURISDICTIONAL AUTHORITY, WHICHEVER IS MORE STRINGENT SHALL APPLY.
 - 2. CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION PROCEDURES WITH THE PROJECT ARBORIST PRIOR TO BEGINNING WORK.
 - 3. ANY AREAS SUBJECT TO EROSION MUST BE ADEQUATELY STABILIZED WITH VEGETATION MATERIAL THAT WILL WITHSTAND A REASONABLE TIME FRAME, DETRIMENTAL SOIL DISTURBANCE.
 - 4. NO SIGNS, BUILDING PERMITS, WIRES OR OTHER ATTACHMENTS OF ANY KIND SHALL BE ATTACHED TO ANY TREE. GUY WIRES DESIGNED TO PROTECT TREES ARE EXCLUDED FROM THIS PROHIBITION.
 - 5. EXISTING TREE LOCATIONS AND SIZES ARE APPROXIMATE AND ARE BASED ON A SURVEY PROVIDED BY THE OWNER. SELECTED SURVEYOR OR FROM ON SITE OBSERVATIONS.
 - 6. CONTRACTOR SHALL COORDINATE TREE REMOVAL WITH LOCAL JURISDICTIONAL AUTHORITY AND PROJECT ARBORIST PRIOR TO CONSTRUCTION. NO PERSON MAY REMOVE OR CAUSE TO BE REMOVED ANY PROTECTED TREE WITHOUT FIRST HAVING RECEIVED APPROVAL FROM THE LOCAL JURISDICTIONAL AUTHORITY.
 - 7. FOR PROTECTED TREES BEING REMOVED, THE CONTRACTOR MUST GIVE THE LOCAL JURISDICTIONAL AUTHORITY REASONABLE OPPORTUNITY TO RELOCATE TO ANOTHER SITE AT THE LOCAL JURISDICTIONAL AUTHORITY'S EXPENSE.
 - 8. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, LICENSES, BUSINESS OPERATING PERMITS, AND INSURANCE. CONTRACTOR IS ALSO RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, LICENSES, BUSINESS OPERATING PERMITS, AND INSURANCE. CONTRACTOR IS ALSO RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, LICENSES, BUSINESS OPERATING PERMITS, AND INSURANCE. CONTRACTOR IS ALSO RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, LICENSES, BUSINESS OPERATING PERMITS, AND INSURANCE.
 - 9. WHERE TRAFFIC AREAS ARE PROPOSED WITHIN THE DRIP LINE OF PROTECTED TREES AND LESS THAN (4) FEET FROM THE TRUNK OF PROTECTED TREES, THE CONTRACTOR SHALL CONSTRUCT A CONCRETE CURB AND GUTTER AND SHALL PROVIDE A DRAINAGE SYSTEM TO REMOVE WATER INTO THE SOIL SHOULD BE USED IN LIEU OF ASPHALT ON OTHER SUCH IMPERVIOUS SURFACES.
 - 10. TREE WELLS OF AN APPROVED DESIGN SHALL BE CONSTRUCTED AROUND ALL TREES TO BE PRESERVED AND SHALL BE LOCATED WITHIN THE DRIP LINE AREA OF THOSE TREES. CONTRACTOR SHALL COORDINATE WITH PROJECT ARBORIST.
 - 11. THE LOCATION AND SIZE OF PROTECTED AREAS SHALL BE DETERMINED BY THE HEALTH AND SURVIVABILITY OF THE SUBJECT TREES AND SHALL BE COORDINATED WITH THE PROJECT ARBORIST. THE DESIRED SEQUENCE IS OUTLINED BELOW:
 - a. TREE PROTECTION FENCING.
 - b. ROOT PRUNING AND ROOT BARRIERS.
 - c. CLEARING.
 - d. TREE CANOPY PRUNING.
 - e. FERTILIZATION.
 - f. INSECTICIDE.
 - g. IRRIGATION.
- B. TREE PROTECTION FENCING
 - 1. PRIOR TO THE ERECTION OF ANY TREE PROTECTION FENCING, ALL FOREIGN SURFACE MATERIAL, TRASH OR DEBRIS SHALL BE REMOVED FROM THE AREA TO BE ENCLOSED BY THE FENCING. AFTER ERECTION OF FENCING, ALL FOREIGN SURFACE MATERIAL, TRASH OR DEBRIS SHALL BE REMOVED FROM THE PROTECTED AREA.
 - 2. TREE PROTECTION FENCING SHALL BE PLACED AROUND ALL PROTECTED TREES TO CREATE A PROTECTED ROOT ZONE AND SHALL REMAIN IN PLACE UNTIL SITE CLEARING, LAND ALTERATION, AND CONSTRUCTION ACTIVITIES ARE COMPLETE.
 - 3. NATIVE GROUND COVER AND UNDERSTORY VEGETATION EXISTING WITHIN THE PROTECTED AREA SHALL REMAIN THROUGHOUT CONSTRUCTION. OTHER DESIGNATED VEGETATION AND INVASIVE PLANT SPECIES SHALL BE REMOVED ONLY BY MANUAL LABOR UTILIZING HAND TOOLS, OR BY OTHER METHODS APPROVED BY THE PROJECT ARBORIST.
 - 4. TREE PROTECTION FENCING TYPES AND LOCATIONS SHALL BE ERRECTED AS SHOWN ON THE DRAWINGS, OR AS REQUIRED BY LOCAL JURISDICTIONAL AUTHORITY.
 - 5. FINAL LOCATIONS SHALL BE COORDINATED WITH AND APPROVED BY THE PROJECT ARBORIST.
 - 6. NO MATERIALS, EQUIPMENT, SOIL, WASTE OR WASHOUT WATER MAY BE DEPOSITED, STORED, OR PARKED WITHIN (5) FEET OF THE TREE PROTECTION ZONE.
 - 7. EROSION CONTROL DEVICES SUCH AS SILT FENCING, DEBRIS BASINS, AND WATER DIVERSION DEVICES SHALL BE INSTALLED AS NECESSARY TO PREVENT SILTATION AND/OR EROSION WITHIN THE TREE PROTECTION ZONE.
 - 8. CONSTRUCTION ACTIVITY SHALL NOT BE PERMITTED TO PROCEED WITHIN (5) FEET OF THE PROTECTED TREES. POST HOLES AND TRENCHES LOCATED CLOSE TO PROTECTED TREES SHALL BE INSTALLED TO AVOID DAMAGE TO MAJOR ROOTS.
 - 9. DO NOT INSTALL CONDUIT, DRAIN OR IRRIGATION LINES, OR ANY UTILITY LINE WITHIN THE TREE PROTECTION ZONE WITHOUT THE APPROVAL OF THE PROJECT ARBORIST. IF LINES MUST TRAVERSE THE PROTECTION AREA, THEY SHALL BE TUNNELED OR BORED UNDER THE TREE.
 - 10. CONTRACTOR'S ACCESS TO FENCED TREE PROTECTION AREAS WILL BE PERMITTED ONLY WITH APPROVAL OF THE PROJECT ARBORIST.
 - 11. EXCAVATION OR GRADING REQUIRED WITHIN THE PROTECTED AREA SHALL BE LIMITED TO (8) INCHES OF CUT OR FILL, COORDINATE WITH PROJECT ARBORIST.
 - 12. STRUCTURES AND UNDERGROUND FEATURES TO BE REMOVED WITHIN THE TREE PROTECTION ZONE SHALL BE COORDINATED WITH THE PROJECT ARBORIST.
 - 13. TREE PROTECTION FENCING AROUND TREES TO BE RELOCATED SHALL BE ERRECTED UNTIL THE TREE IS

- READY TO BE RELOCATED AND NEW FENCING SHALL BE ERRECTED AT THE TREES NEW LOCATION AND WILL REMAIN IN PLACE UNTIL ALL CONSTRUCTION ACTIVITIES ARE COMPLETE.
- IF ANY DAMAGE TO TREE PROTECTION FENCING SHOULD OCCUR BY ACCIDENT OR NEGLIGENCE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMMEDIATE REPAIRS.
- IF TEMPORARY HAUL OR ACCESS ROADS MUST PASS OVER THE PROTECTED AREA OF TREES TO BE PRESERVED, A ROAD BED OF (6) INCHES OF MULCH OR GRAVEL W/WEED BARRIER FABRIC IS REQUIRED IF UNDERNEATH TREES WITHIN THE TREE PROTECTION ZONE TO A MAXIMUM DEPTH OF (3) INCHES. LEAVING MATERIALS FROM THE SITE AS SOON AS TEMPORARY ACCESS IS NO LONGER NECESSARY.
- CONTRACTOR SHALL COORDINATE WITH THE PROJECT ARBORIST PRIOR TO THE REMOVAL OF ALL TREE PROTECTION FENCING.
- C. ROOT PRUNING/TRENCHING
 - 1. TRENCHING LOCATIONS SHALL BE APPROVED IN THE FIELD BY THE PROJECT ARBORIST.
 - 2. TRENCHING EQUIPMENT THAT WILL TURN UP HIGH GRASS IS PROHIBITED, AND SHALL BE APPROVED BY THE PROJECT ARBORIST. APPROVED EQUIPMENT WILL BE USED TO PERFORM ALL ROOT PRUNING OPERATIONS TO A MINIMUM DEPTH OF THREE FEET IS REQUIRED.
 - 3. INSTALL ROOT BARRIER WHERE DESIGNATED. SEE DRAWINGS.
 - 4. ALL TRIMMING UNDERBARK ON A TREE PROTECTED BY THE PROVISIONS OF LAND DEVELOPMENT CODE SHALL BE IN ACCORDANCE WITH ANSI-306 STANDARDS.
 - 5. THE TRENCH SHALL BE BACKFILLED WITH PREVIOUSLY EXCAVATED SOIL AND COMPACTED IMMEDIATELY.
 - 6. TREES TO BE RELOCATED SHALL BE ROOT PRUNED A MINIMUM OF (12) WEEKS PRIOR TO TREE RELOCATION.
 - 7. WHEN THE TREE ROOT ZONE WILL BE DISTURBED, AFFECTED ROOTS MUST BE SEVERED BY CLEAN PRUNING CUTS AT THE POINT WHERE CONSTRUCTION IMPACTS THE ROOTS.
- D. CLEARING
 - 1. ANY BRUSH CLEARING REQUIRED WITHIN THE TREE PROTECTION ZONE SHALL BE ACCOMPLISHED WITH HAND-OPERATED EQUIPMENT.
 - 2. CONTRACTOR SHALL CLEAR ALL TREE PROTECTION AREAS OF VINES, SHRUBS, GROUND COVERS, WEEDS, SARKLINGS, AND INVASIVE SPECIES.
 - 3. PROJECT ARBORIST MUST APPROVE METHODS OTHER THAN HAND CLEARING.
 - 4. A (3) INCH LAYER OF MULCH SHALL BE APPLIED OVER THE SURFACE OF EXPOSED ROOTS OF PROTECTED TREES DURING THE SITE CLEARING PHASE.
- E. TREE CANOPY PRUNING
 - 1. TREE PRUNING SPECIFICATIONS SHALL BE DEFINED BASED ON SPECIFIC RECOMMENDATIONS OF THE PROJECT ARBORIST. INFORMATION PRESENTED BELOW SHOULD BE USED AS A GUIDELINE.
 - 2. CONTRACTOR SHALL VISIT THE SITE WITH THE PROJECT ARBORIST TO VERIFY THE EXTENT OF REQUIRED PRUNING.
 - 3. ALL PRUNING SHALL BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS OF A QUALIFIED CONSULTING ARBORIST (ASCA) REGISTERED CONSULTING ARBORIST (RCA).
 - 4. AT LEAST (1) MEMBER OF THE PRUNING CREW SHALL BE AN ISA CERTIFIED ARBORIST.
 - 5. WHILE IN THE TREE, THE ARBORIST SHALL PERFORM AN AERIAL INSPECTION TO IDENTIFY DEFECTS THAT REQUIRE TREATMENT. ANY ADDITIONAL WORK NEEDED SHALL BE REPORTED TO THE OWNER.
 - 6. PRUNING SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE ANSI A300 PRUNING STANDARD (AMERICAN NATIONAL STANDARD FOR TREE CARE OPERATIONS); THE LATEST EDITION OF ANSI Z133.1 SAFETY STANDARD; THE LATEST EDITION OF ISA'S "BEST MANAGEMENT PRACTICES: TREE PRUNING"; WHERE TEMPORARY CLEARANCE IS NEEDED FOR ACCESS, BRANCHES SHALL BE TIED BACK TO HOLD THEM OUT OF THE CLEARANCE ZONE.
 - 7. NO MORE THAN (20) PERCENT OF LIVE FOLIAGE SHALL BE REMOVED WITHIN ANY TREE.
 - 8. ALL TREES WITHIN THE PROJECT AREA SHALL BE PRUNED AS FOLLOWS:
 - a. LIVE BRANCH PRUNING SHOULD BE PERFORMED ONLY WHEN THE DANGER OF INSECT OR DISEASE INFESTATION IS NOT PRESENT.
 - b. REMOVE STUBS, CUTTING OUTSIDE THE WOUND WOOD TISSUE THAT HAS FORMED AROUND THE BRANCH.
 - c. CLEANING FOR THE SELECTIVE REMOVAL OF DEAD, DISEASED, BROKEN, OR CROSSING BRANCHES DOWN TO ONE INCH IN DIAMETER OR AS DIRECTED BY THE PROJECT ARBORIST.
 - d. PRUNING CUTS LARGER THAN (4) INCHES IN DIAMETER, EXCEPT FOR DEAD WOOD, SHALL BE AVOIDED.
 - e. PRUNING CUTS THAT EXPOSE HEARTWOOD SHALL BE AVOIDED WHENEVER POSSIBLE.
 - f. ALL TREES WITH CROWNS THAT PROJECT INTO PARKING LOT/ROADWAY AREAS SHALL BE RAISED TO (14) FEET ABOVE FINISHED GRADE.
 - g. ALL TREES WITH CROWNS THAT PROJECT INTO SIDEWALK AREAS SHALL BE RAISED TO A HEIGHT OF (8) FEET ABOVE FINISHED GRADE.
 - h. TREES WHOSE ROOT SYSTEMS WILL BE IMPACTED SHALL RECEIVE THE FOLLOWING PRUNING TO COMPENSATE FOR ROOT LOSS:
 - a. THE LOCATION AND SIZE OF BRANCHES FOR REDUCTION SHALL BE DEFINED BY THE PROJECT ARBORIST.
 - b. REDUCTION OR THE SELECTIVE PRUNING TO REDUCE TREE HEIGHT OR SPREAD.
 - c. REDUCE END WEIGHT ON HEAVY, HORIZONTAL BRANCHES BY SELECTIVELY REMOVING SMALL DIAMETER BRANCHES. NO GREATER THAN (2) TO (3) INCHES, NEAR THE ENDS OF SCAFFOLD BRANCHES.

- 11. RASING SHALL CONSIST OF SELECTIVE PRUNING TO PROVIDE VERTICAL CLEARANCE.
 - a. PRUNING SHALL BE LIMITED TO CLEANING.
 - b. BRUSH SHALL BE CHIPPED AND SPREAD ONLY WHEN DISEASE OR INSECT INFESTATION IS NOT PRESENT) UNDERNEATH TREES WITHIN THE TREE PROTECTION ZONE TO A MAXIMUM DEPTH OF (3) INCHES. LEAVING THE TRUNK CLEAR OF MULCH.
 - c. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EXCESS DEBRIS ON A DAILY BASIS.
- F. FERTILIZATION
 - 1. CONTRACTOR SHALL COORDINATE FERTILIZATION PLAN, FOLLOWING BEST MANAGEMENT PRACTICES WITH THE PROJECT ARBORIST PRIOR TO COMMENCEMENT OF WORK.
 - 2. EVERY EFFORT SHALL BE MADE TO UTILIZE CHEMICALS OF AN ORGANIC OR BIODEGRADABLE NATURE IN ORDER TO OFFER THE LEAST IMPACT TO THE NATURAL ENVIRONMENT. CONTRACTOR IS RESPONSIBLE FOR MANUFACTURER'S SPECIFICATIONS. COORDINATE WITH PROJECT ARBORIST FOR FURTHER INSTRUCTION.
 - 3. ONLY TREES AFFECTED BY CONSTRUCTION OR AS SHOWN ON THE DRAWINGS SHALL BE TREATED.
 - 4. TREES SPECIFIED TO RECEIVE FERTILIZER SHALL BE TREATED AS FOLLOWS:
 - a. MIX FERTILIZER ACCORDING TO MANUFACTURER'S SPECIFICATIONS INTO A TANK WITH AGITATION CAPABILITY.
 - b. MIX WAITING AGENT ACCORDING TO MANUFACTURER'S SPECIFICATIONS INTO SAME TANK WITH FERTILIZER. USE STATE E.M.
 - c. INJECT THE MIXTURE WITH A HYDRAULIC INJECTION SYSTEM INTO THE UPPER (6) TO (12) INCHES OF SOIL WITH A SOIL PROBE. INJECT AT THE RATE OF ONE THIRD (1/3) GALLON AT EACH INJECTION SITE.
 - d. THE CRITICAL ROOT ZONE AREA PLUS (2) FEET BEYOND THE CRITICAL ROOT ZONE SHALL BE INJECTED, BUT NOT BEYOND ROOT PRUNING LOCATIONS.
 - e. FERTILIZER SHALL BE INSTALLED PRIOR TO THE INSTALLATION OF ANY AERATION SYSTEMS.
 - f. EMPTY PRODUCT CONTAINERS SHALL BE STOCKPILED FOR INSPECTION BY THE PROJECT ARBORIST PRIOR TO DISPOSAL.
 - 5. TRANSPARENT INOCULANT & BIOSTIMULANT.
 - a. CONTRACTOR SHALL PROVIDE INSECTICIDE MYCORRHIZAL TRANSPARENT INOCULANT ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND AS RECOMMENDED BY THE PROJECT ARBORIST. INSECT INOCULANT IN (10) INCH SOIL RING AROUND THE ROOT BALL.
 - b. INJECT THE MIXTURE WITH A HYDRAULIC INJECTION SYSTEM INTO (6) TO (12) INCHES OF SOIL WITH A SOIL PROBE. INJECT AT THE RATE OF ONE THIRD (1/3) GALLON AT EACH INJECTION SITE.
 - c. EMPTY PRODUCT CONTAINERS SHALL BE STOCKPILED FOR INSPECTION BY PROJECT ARBORIST PRIOR TO DISPOSAL.
 - 6. TRANSPARENT MAINTENANCE
 - a. APPROXIMATELY (1) YEAR AFTER PLANTING, THE CONTRACTOR SHALL REFERTILIZE ALL TRANSPARENTS UTILIZING THE SAME PROCEDURES ABOVE.
 - G. INSECTICIDE
 - 1. NOTIFY PROJECT ARBORIST IF ANY INFESTATION IS NOTICED.
 - 2. FOLLOW PROJECT ARBORIST'S RECOMMENDED PROCEDURES.
 - 3. FOLLOW ALL MANUFACTURER'S RECOMMENDATIONS CONCERNING APPLICATION. READ ALL WARNING LABELS.
 - 4. ANY PETS, AS WELL AS THE PETS FOOD AND WATER BOWLS SHOULD BE REMOVED FROM THE AREA AND ANY SWIMMING POOLS SHOULD BE COVERED. COORDINATE WITH PROJECT ARBORIST FOR FURTHER INSTRUCTION.
 - 5. ENSURE COMPLETE COVERAGE AND REAPPLY (2) TO (3) MONTHS OR IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS) AFTER INITIAL APPLICATION UTILIZING SAME PROCEDURE.
 - H. IRRIGATION
 - 1. EVERY EFFORT SHALL BE MADE TO WATER THE PRESERVED TREES AND TRANSPLANTS. CONTRACTOR SHALL IRRIGATE BY HAND OR BY TEMPORARY IRRIGATION.
 - 2. IRRIGATE AS REQUIRED BY PROJECT ARBORIST UNTIL PERMANENT IRRIGATION IS INSTALLED AND OPERATING.
 - 3. UNDERGROUND IRRIGATION SHALL NOT BE INSTALLED WITHIN THE DRIP LINES OF EXISTING TREES UNLESS ROOT PROTECTION MEASURES ARE PROVIDED AND APPROVED BY PROJECT ARBORIST.
 - I. TREE REMOVALS
 - 1. PRIOR TO AND DURING LAND CLEARING, INCLUDING CRIBBING, ALL TREES TO BE REMOVED SHALL BE CLEARLY MARKED BY PROJECT ARBORIST WITH RED SURVEY RIBBON AT (8) INCHES MINIMUM ABOVE GRADE.
 - 2. CONTRACTOR SHALL REMOVE ALL TREES AS SHOWN ON THE DRAWINGS AFTER THE TREE PROTECTION FENCING IS INSTALLED.
 - 3. ALL TREES SURVIVAL TO REMOVAL SHALL BE FELLED WITH A CHAIN SAW AND STUMP GROUNDS (8) INCHES BELOW SURFACE. ANY TREE SHOWN TO BE REMOVED THAT IS IN AN AREA WHERE CONNECTION IS CRITICAL SHALL BE FELLED WITH A CHAIN SAW AND STUMP REMOVED BY CONTRACTOR.
 - 4. ALL WOOD AND STUMPS FROM REMOVALS SHALL BE HAILED FROM THE SITE THE SAME DAY EXCEPT FOR TOPS. ALL TOPS ARE TO BE MULCHED AND STOCKPILED OR HAILED DIRECTLY TO MULCHED AREAS FOR PROTECTED/RELOCATED TREES IF SCHEDULING PERMITS. TOPS SHALL BE CHIPPED AND PLACED IN THE DESIGNATED CHIPPING ZONE TO A MAXIMUM DEPTH OF (8) INCHES. ALL EXCESS WOOD CHIPS SHOULD BE HAILED OFF SITE AFTER TRANSPORTATION IS COMPLETE.
 - 5. ALL BURN PITS IF APPLICABLE MUST BE APPROVED BY THE PROJECT ARBORIST. OWNER, AND LOCAL JURISDICTIONAL AUTHORITY.
 - 6. TREES TO BE REMOVED THAT HAVE BRANCHES EXTENDING INTO THE CANOPY OF TREES TO REMAIN MUST BE REMOVED BY AN ISA CERTIFIED ARBORIST AND BY THE METHOD OF CONSTRUCTION APPROVED BY THE PROJECT ARBORIST. CONTRACTORS SHALL REMOVE THE TREE IN A MANNER THAT CAUSES NO

- d. DAMAGE TO THE TREES AND UNDERSTORY VEGETATION TO REMAIN.
 - 7. TREES TO BE REMOVED LOCATED WITHIN THE TREE PROTECTION ZONE SHALL BE REMOVED BY AN ISA CERTIFIED ARBORIST. THE TREES SHALL BE CUT NEAR GROUND LEVEL AND THE STUMP GROUND OUT.
- J. MACHINE DUS TRANSPORTING
 - 1. DIG TRANSPORT/RECEIVING HOLE.
 - 2. WASH SAND OR TOPSOIL INTO AIR POCKETS BETWEEN ROOT BALL AND RECEIVING HOLE.
 - 3. SET SPACE DIG ROOT BALL INTO RECEIVING HOLE (4) INCHES TO (6) INCHES ABOVE EXISTING GRADE.
 - 4. INSTALL TOPSOIL RING, (4) INCHES HIGH, (10) INCHES WIDE, AROUND PERIMETER OF ROOT BALL MIX MYCORRHIZAL TRANSPARENT INOCULANT INTO TOPSOIL RING PER MANUFACTURER'S SPECIFICATIONS.
 - 5. INSTALL (3) INCHES OF MULCH FROM PERIMETER OF ROOT BALL TO WITHIN (6) INCHES OF TREE TRUNK COVER ROOT BALL.
 - 6. COVER TOPSOIL RING WITH (1) INCH OF MULCH AND EXTEND MULCH (6) INCHES OUTSIDE PERIMETER OF ROOT BALL.
- K. HOLDING AREA FOR TRANSPLANTS
 - 1. HOLDING AREAS SHOULD NOT BE NECESSARY. CONSTRUCTION PHASING SHOULD BE IMPLEMENTED SO HOLDING AREAS ARE NOT NECESSARY. COORDINATE WITH PROJECT ARBORIST. COORDINATE WITH PROJECT ARBORIST AS NEEDED.
 - 2. SHOULD A HOLDING AREA BE NECESSARY, TREE PROTECTION FENCING SHALL BE INSTALLED AT THE PERIMETER OF THE ENTIRE AREA.
 - 3. CONTRACTOR SHALL COORDINATE LOCATION AND SPECIFICATIONS OF THE HOLDING AREA WITH PROJECT ARBORIST.
 - 4. CONTRACTOR SHALL SUPPLY TEMPORARY IRRIGATION TO THE HOLDING AREA CONSISTING OF ABOVE GROUND PVC VEHICULAR PIPE SPRAY OR ROTOR HEADS WITH HEAD TO HEAD COVERAGE) AND A MULCH COORDINATE WITH PROJECT ARBORIST FOR CONTROLLER SETTINGS AND ALTERNATIVE WATERING METHODS.
- L. TOPSOIL
 - 1. ALL TOPSOIL SHALL BE NATURAL, FRABLE, FERTILE, FINE LOAMY SOIL, POSSESSING CHARACTERISTICS OF REPRESENTATIVE TOPSOIL IN THE VICINITY THAT PRODUCES HEAVY GROWTH.
 - 2. TOPSOIL PH RANGE OF (6.5) TO (7.5). (3) TO (5) PERCENT ORGANIC MATERIAL. MINIMUM FREE FROM SUBSOIL, OBJECTIONABLE WEEDS, LITTER, SODS, STIFF CLAY, STONES LARGER THAN (1) INCH IN DIAMETER, OR OTHER TOXIC SUBSTANCES, OR ANY OTHER MATERIAL WHICH MAY BE HARMFUL TO PLANT GROWTH.
 - 3. VERIFY AMOUNT STOCKPILED IF ANY, AND SUPPLY ADDITIONAL AS NEEDED FROM NATURALLY OCCURRING LOCAL SOURCES. WHERE TOPSOIL OCCURS AT LEAST (6) INCHES DEEP, DO NOT OBTAIN TOPSOIL FROM BOGS OR MARSHES.
 - 4. PROJECT ARBORIST SHALL APPROVE ALL TOPSOIL PRIOR TO PLACEMENT.
- M. REPAIR OF DAMAGED TREES
 - 1. IF DAMAGE TO ANY TREE SHOULD OCCUR BY ACCIDENT OR NEGLIGENCE DURING THE CONSTRUCTION PERIOD, THE PROJECT ARBORIST SHALL APPRAISE THE DAMAGE AND MAKE RECOMMENDATIONS TO THE OWNER FOR REPAIR BY THE CONTRACTOR.
 - 2. IF ANY TREE DESIGNATED TO BE SAVED IS DAMAGED BEYOND REPAIR OR REMOVED FROM THE SITE WITHOUT PERMISSION, THE PROJECT ARBORIST SHALL APPRAISE THE TREE AND MAKE RECOMMENDATIONS TO THE OWNER FOR REPLACEMENT BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, LICENSES, BUSINESS OPERATING PERMITS, AND INSURANCE. FEES/REVALTIES THAT MAY BE ASSESSED TO THE OWNER BY THE LOCAL JURISDICTIONAL AUTHORITY.



WAFLE HOUSE, INC. 756 W FILLMORE ST UNIT #183 COLORADO SPRINGS COLORADO

DATE: 10/20/2017
PROJECT NO: 148967015
SHEET NUMBER: L4

811 Know what's below. Call before you dig.

CPC DP 17-0063

WAFLE HOUSE TREE MITIGATION

DESIGNED BY: CHRISTOPHER ROSE, P.L.A.
DRAWN BY: CMR
CHECKED BY: CEH
DATE: 00101085
COLORADO REGISTRATION NUMBER: 2017 RINKLEY-HORN AND ASSOCIATES, INC.
655 NORTH FRANKLIN STREET, SUITE 150, TAMPA, FL 33602
PHONE: 813-620-1460
WWW.KIMLEY-HORN.COM CO 19921067641

REVISIONS
DATE BY
CITY OF COLORADO SPRINGS COMMENTS 02/06/17 CMR
CITY OF COLORADO SPRINGS COMMENTS 10/20/17 KEW

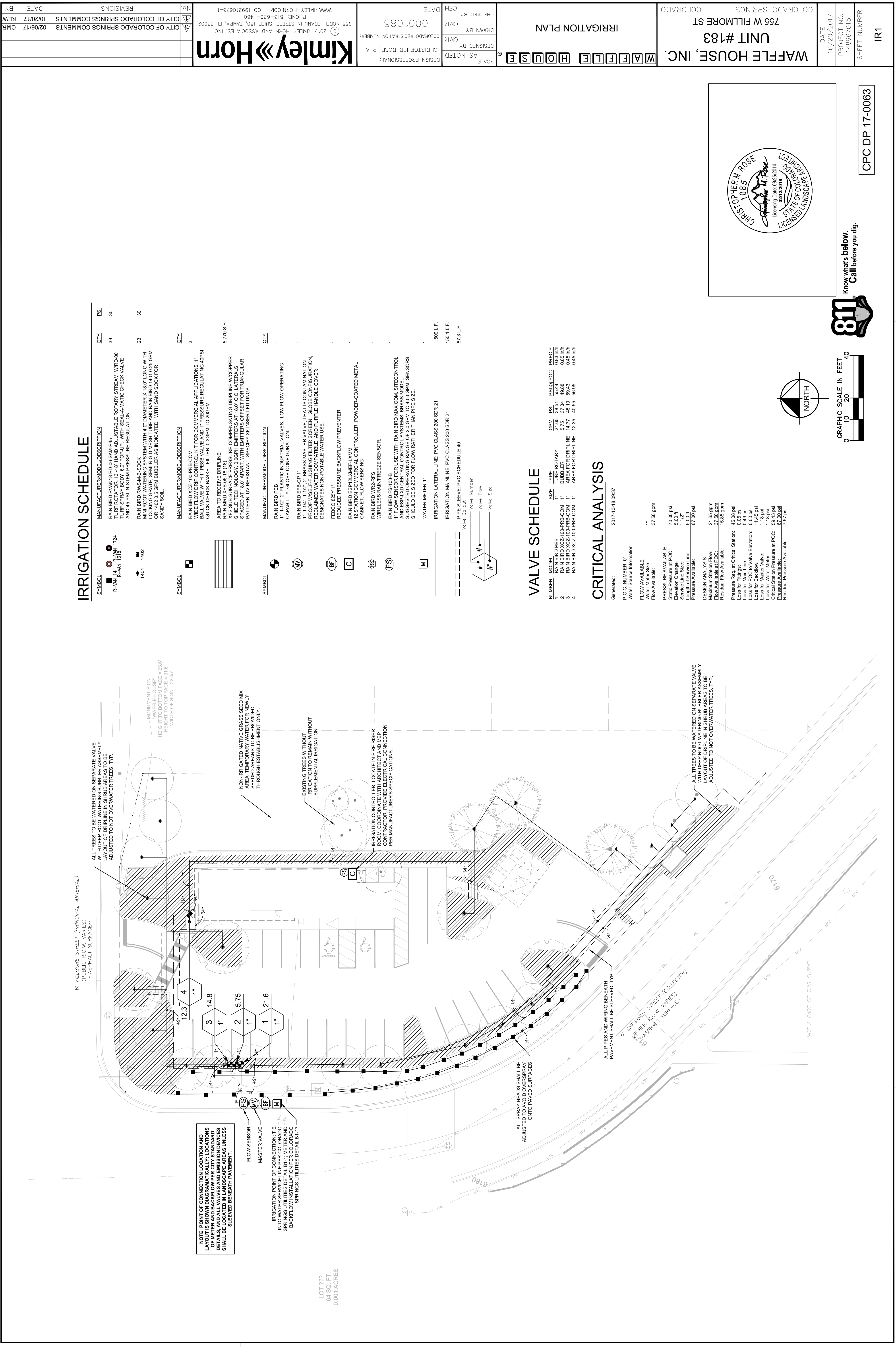
WAFLE HOUSE TREE MITIGATION

INSTALLATION NOTES:
A. POST SELECTION SHOULD BE BASED ON EXPECTED STRENGTH NEEDS AND THE LENGTH OF THE FENCE WILL BE DETERMINED BY THE PROJECT ARBORIST. POSTS ARE RECOMMENDED FOR PARKS, ATHLETIC EVENTS AND GROUND CONTROL. INSTALLATIONS METAL T-POSTS OR CONSTRUCTION AND OTHER APPLICATIONS.
B. POSTS SHOULD BE DRIVEN INTO THE GROUND TO A DEPTH OF (6) FEET. T-POSTS OR T-POSTS OR T-POSTS OR T-POSTS SHOULD BE SET AT LEAST 2' INTO THE GROUND.
C. SPACE POSTS EVERY 6' (MIN.) TO 6' (MAX.).
D. SECURE FENCING TO POST WITH NYLON CABLE TIES (AVAILABLE FROM COMMON PLASTICS). WOOD STRIPS MAY BE USED TO SECURE FENCING TO POSTS. PROVIDE SUPPORT AND PROTECTION BETWEEN TIES AND POSTS.

NOTE: IF WIRE TIES ARE USED, AVOID DIRECT CONTACT WITH FENCE. WIRE MAY DAMAGE FENCE OVER TIME.

TREE PROTECTION FENCING
ELEVATION / PLAN
CORNER CONNECTION
CONNECTION

CHRISTOPHER ROSE
1085
LICENSED PROFESSIONAL ARBORIST
STATE OF COLORADO
Licensing Date: 08/25/2014
02/22/2016



IRRIGATION SCHEDULE

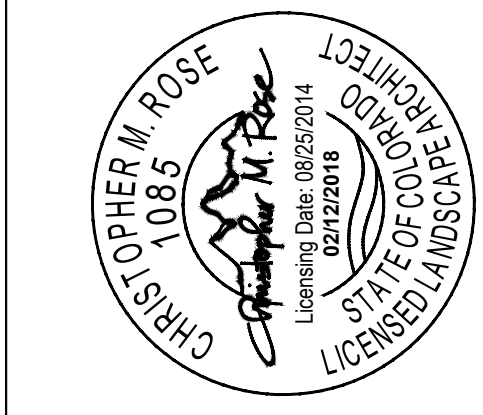
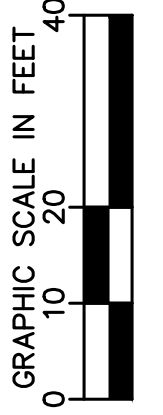
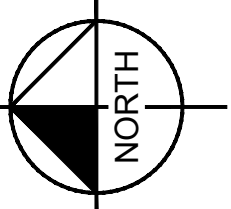
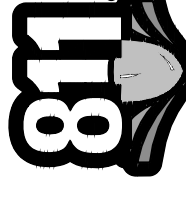
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
R-WN 1" x 1/2" N 174	RAIN BIRD RVAN18 RD-06-SAM-P46 TURF ROTATOR, 13" HAND ADJUSTABLE ROTARY STREAM, WRD-00 TURF SPRAY BODY, 60 PSI, WITH SEAMATIC CHECK VALVE AND 4-PSI INSTEN PRESSURE REGULATION.	39	30
1402	RAIN BIRD RW18-R-SOCK LOCKING GRATE, SEMI-RIGID MESH TUBE AND RAIN BIRD 1402 0.25 GPM AND 1402.0.5 GPM BUBBLER AS INDICATED. WITH SAND SOCK FOR SANDY SOIL.	23	30
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
■	RAIN BIRD XCZ-100-PRB-COM WIDE FLOW DRIP CONTROL KIT FOR COMMERCIAL APPLICATIONS. 1" BULL VALVE WITH PEBB VALVE AND 1" PRESSURE REGULATING 40PSI QUICK-CHECK BASKET FILTER. 0.50PHI TO 2.0PHI.	3	
■	AREA TO RECEIVE DRIPLINE XFS SUB-SURFACE PRESSURE COMPENSATING DRIPLINE W/COPPER SHELDED TECHNOLOGY. 0.66PHI EMITTERS AT 18.0" O.C. LATERALS SPACED AT 18.0" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. 1/2" PDS/3/4"1". SPECIFY AT INSERT FITTINGS.	5,770 S.F.	
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
⊕	RAIN BIRD PEB 1" 1-1/2" 2" PLASTIC INDUSTRIAL VALVES. LOW FLOW OPERATING CAPABILITY. GLOBE CONFIGURATION.	1	
⊕	RAIN BIRD FB-CP 1" CLASS MASTER VALVE THAT IS CONTAMINATION PROOF. W/SELF-FLUSHING FILTER SCREEN. GLOBE CONFIGURATION. RECLAIMED WATER COMPATIBLE. AND PURPLE HANDLE COVER. DESIGNATES NON-POTABLE WATER USE.	1	
⊕	FEEDCO 825Y 1" REDUCED PRESSURE BACKFLOW PREVENTER	1	
⊕	RAIN BIRD ESP-12-XMFL-XMM 12 STATION COMMERCIAL CONTROLLER. POWDER-COATED METAL CABINET. FLOW SENSING	1	
⊕	RAIN BIRD WR2-RFS WIRELESS RAIN/FREEZE SENSOR	1	
⊕	RAIN BIRD FS-100B 1" FLOW SENSOR FOR USE WITH RAIN BIRD MAXICOM. SITECONTROL. AND ESP-LAD CENTRAL CONTROL SYSTEMS BRASS MODEL. 1/2" O.D. 1/2" PDS/3/4"1". SPECIFY AT INSERT FITTINGS. SENSORS SHOULD BE SIZED FOR FLOW RATHER THAN PIPE SIZE.	1	
⊕	WATER METER 1" IRRIGATION LATERAL LINE. PVC CLASS 200 SDR 21	1,609 L.F.	
⊕	IRRIGATION MAINLINE. PVC CLASS 200 SDR 21	160.1 L.F.	
⊕	PIPE SLEEVE. PVC SCHEDULE 40	87.3 L.F.	

VALVE SCHEDULE

NUMBER	MODEL	SIZE	TYPE	PSI	PSI @ POC	PRECIP
1	RAIN BIRD PEB	1"	TURF ROTARY	21.05	38.51	55.44
2	RAIN BIRD XCZ-100-PRB-COM	1"	BUBBLER	5.75	37.34	49.88
3	RAIN BIRD RW18-R-SOCK	1"	AREA FOR DRIPLINE	12.25	40.25	56.95
4	RAIN BIRD XCZ-100-PRB-COM	1"	AREA FOR DRIPLINE	12.25	40.25	56.95

CRITICAL ANALYSIS

Generated: 2017-10-18 09:37
 P.O.C NUMBER: 01
 Water source information:
 FLOW AVAILABLE: 37.50 gpm
 Water Meter Size: 1"
 Flow Available: 37.50 gpm
 PRESSURE AVAILABLE: 70.00 psi
 Elevation Change: 5.00 ft
 Service Line Size: 1 1/2"
 Length of Service Line: 170.00 ft
 Pressure Available: 67.00 psi
 DESIGN ANALYSIS:
 Residual Flow Available: 21.05 gpm
 Residual Flow Available at POC: 37.50 gpm
 Residual Flow Available: 15.85 gpm
 Pressure Req. at Critical Station: 45.08 psi
 Loss for Fittings: 0.05 psi
 Loss for Main Line: 0.46 psi
 Loss for Backflow: 11.45 psi
 Loss for Backflow: 11.45 psi
 Loss for Master Valve: 1.18 psi
 Loss for Water Meter: 1.18 psi
 Pressure Available at POC: 67.00 psi
 Residual Pressure Available: 7.57 psi



Know what's below.
Call before you dig.

CPC DP 17-0063

DATE: 10/20/2017
 PROJECT NO.: 148967015
 SHEET NUMBER: IR1

SCALE: AS NOTED
 DESIGNED BY: CHRISTOPHER ROSE, PLA
 DRAWN BY: CMR
 CHECKED BY: CMR
 DATE: 0001085

DESIGN PROFESSIONAL: WAFFLE HOUSE
 IRRIGATION PLAN
 755 W FILLMORE ST
 COLORADO SPRINGS
 COLORADO

NO.	DATE	REVISIONS
1	02/08/17	CITY OF COLORADO SPRINGS COMMENTS
2	10/20/17	CMR

Kimley-Horn
 2017 KIMLEY-HORN AND ASSOCIATES, INC.
 555 NORTH FRANKLIN STREET, SUITE 150, TAMPA, FL 33602
 PHONE: 813-620-1460
 WWW.KIMLEY-HORN.COM CO 19921067641

FIGURE 3

Exhibit A

Colorado Springs Land Use Review Division

30 S. Nevada Ave #105
Colorado Springs, CO 80903

Legal Description

That WH Capital LLC, being the owner of the following described tract of land to wit:

Parcel 1:

Lots 1 and 2, Block F, Mesa Springs Addition, No. 2, EXCEPT any portion conveyed to the City of Colorado Springs in deed recorded March 13, 2013 at Reception No. 213032828, and EXCEPT any portion conveyed to the Department of Transportation, State of Colorado in deed recorded April 17, 2015 at 215037166, City of Colorado Springs, County of El Paso, State of Colorado.

Parcel 2:

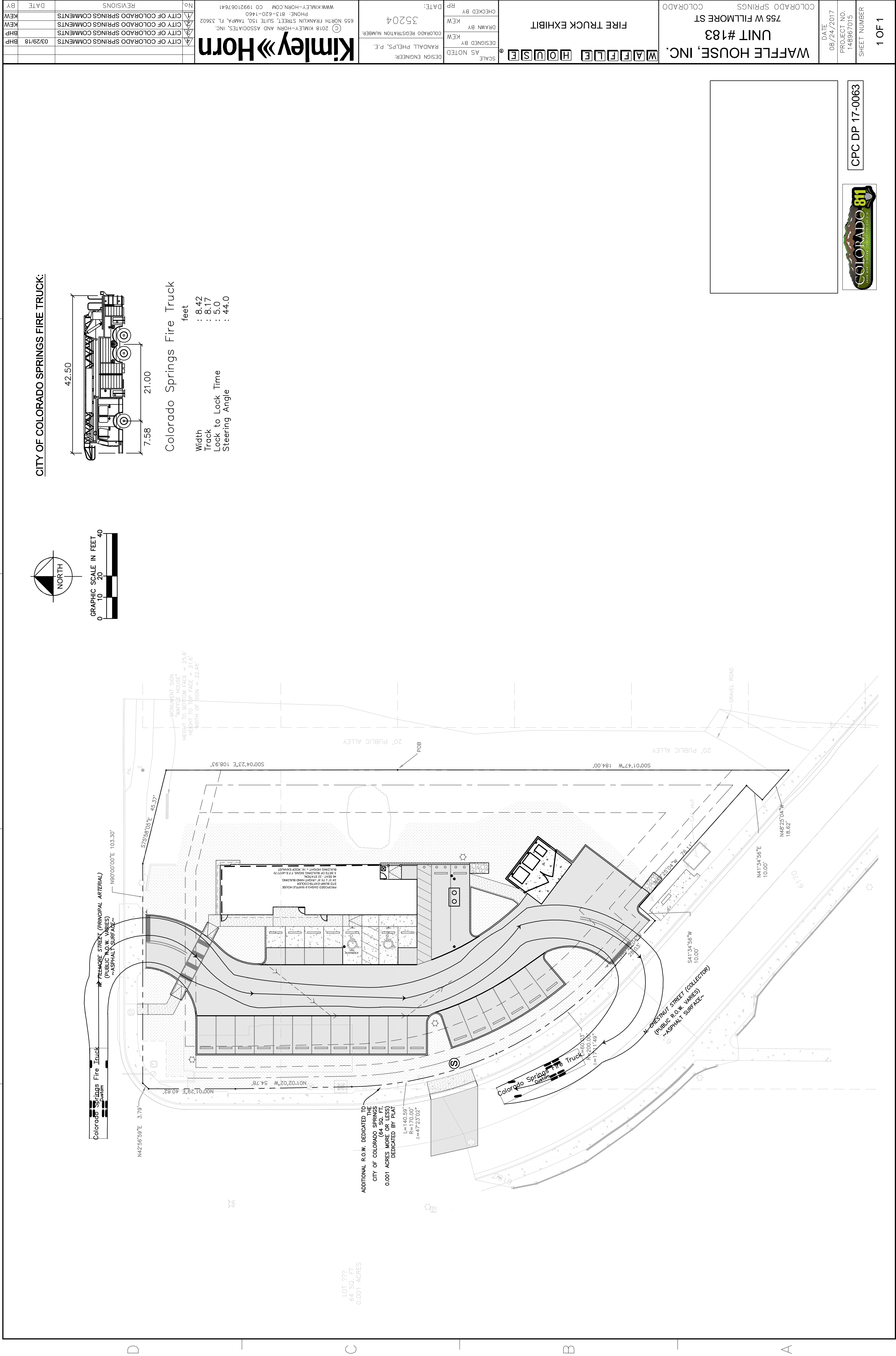
A parcel of land located within Lots 3, 4, 5 and 6, Block F of Mesa Springs 2nd Addition, recorded February 16, 1955 in Book W at page 19, in the offices of the El Paso County Clerk and Recorder, State of Colorado, more particularly described as follows: Beginning at the southeast corner of Lot 2, Block F, of said subdivision; thence S00°01'47"W (bearings based of the north line of said subdivision, monumented at both ends by a nail with 1 1/2" washer, "PLS 31548", and assumed to bear N90°00'00"E), a distance of 184.00; thence along the following six (6) courses:

- 1) N48°25'04"W, a distance of 18.62 feet;
- 2) N41°34'56"E, a distance of 10.00 feet;
- 3) N48°25'04"W, a distance of 76.11 feet;
- 4) S41°34'56"W, a distance of 10.00 feet;
- 5) N48°25'04"W, a distance of 28.03 feet;
- 6) Along a tangent curve to the right, said curve having a radius of 170.00 feet, an arc length of 118.84 feet and a central angle of 40°03'13" to a point on the south lot line of said Lot 2; thence along the south line of said Lot 2, N89°57'50"E, a distance of 147.28 feet to the point of beginning.

Said parcel contains 33, 724 sq. ft., 0.774 acres, more or less.

FIGURE 3

Exhibit B



CPC DP 17-0063

DATE: 08/24/2017
 PROJECT NO.: 148967015
 SHEET NUMBER: 1 OF 1

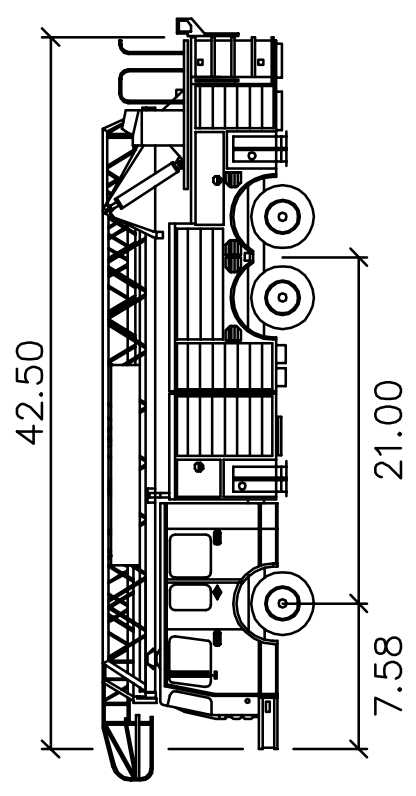
WAFFLE HOUSE, INC.
 UNIT #183
 756 W FILLMORE ST
 COLORADO SPRINGS, COLORADO

SCALE: AS NOTED
 DESIGNED BY: KEW
 DRAWN BY: KEW
 CHECKED BY: RP
 DATE: 3/20/14
 COLORADO REGISTRATION NUMBER: 35204
 DESIGN ENGINEER: RANDALL PHELPS, P.E.

Kimley-Horn
 2018 KIMLEY-HORN AND ASSOCIATES, INC.
 655 NORTH FRANKLIN STREET, SUITE 150, TAMPA, FL 33602
 PHONE: 813-620-1460
 WWW.KIMLEY-HORN.COM CO 19921067841

NO.	REVISIONS	DATE	BY
1	CITY OF COLORADO SPRINGS COMMENTS		KEW
2	CITY OF COLORADO SPRINGS COMMENTS		KEW
3	CITY OF COLORADO SPRINGS COMMENTS	03/29/18	BHP

Colorado Springs Fire Truck
 feet
 Width : 8.42
 Track : 8.17
 Lock to Lock Time : 5.0
 Steering Angle : 44.0



CITY OF COLORADO SPRINGS FIRE TRUCK:

