

REVISIONS: DATE: SHEET:
 MAJOR AMEND. 3/4/16
 PLAN CHECK 04/04/2016
 MINOR AMEND. 05/04/16
 PLAN CHECK 05/04/2016

DEVELOPMENT PLAN MAJOR AMENDMENT
 MINI STORAGE FACILITY
 2150 GARDEN OF THE GODS RD.
 COLORADO SPRINGS, COLORADO

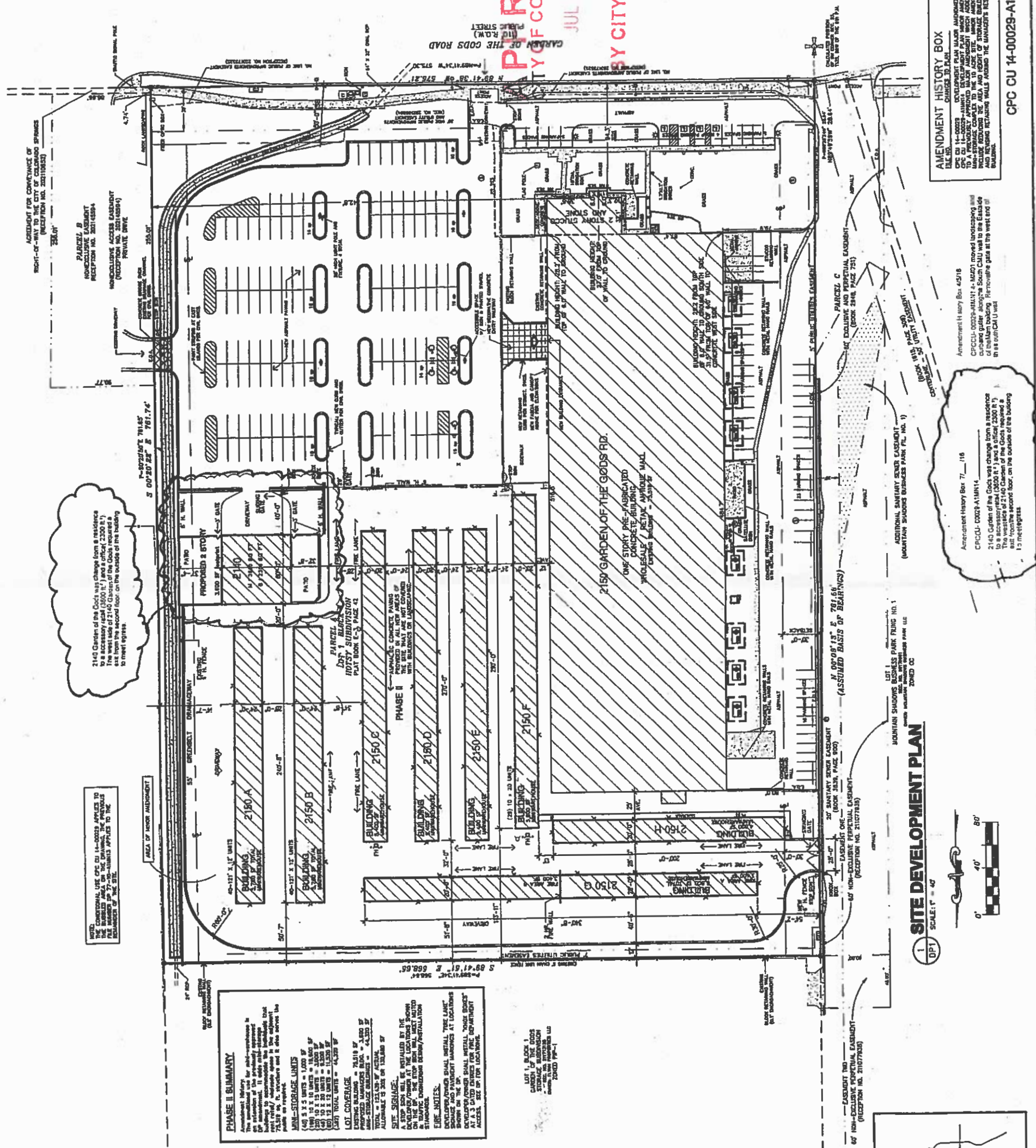
PROVED
 BY CITY PLANNING
 JUL 28 2016
 CITY OF COLORADO SPRINGS

PAULSON
 ARCHITECTS, P.C.
 4445 W. WASHINGTON AVE., SUITE 200
 COLORADO SPRINGS, COLORADO 80904
 (719) 475-1727 OFFICE
 (719) 475-1727 CELL
 paulsonarchitects.com

DRAWN BY: JBP
 CHECKED BY: JBP
 DATE: 02/28/2014
 SCALE: AS NOTED
 SHEET NUMBER: 250 MINI STOR
 SHEET NUMBER: DP-1R
 1 OF 10

AMENDMENT HISTORY BOX
 FILE NO. 14-0029-A1M14
 DEVELOPMENT PLAN MAJOR AMENDMENT
 TO A PREVIOUSLY APPROVED MAJOR AMENDMENT
 WHICH ADDED A MINI-STORAGE FACILITY TO THE TO GOES OF THE GODS
 AND INCLUDING RELOCATING WALLS AROUND THE MANAGER'S RESIDENCE
 BUILDING.

CPC CU 14-00029-A1M14-14-0029
 MOUNTAIN SHADOWS BUSINESS PARK TRNG NO. 1
 ZONED CC



NOTE: THE CONDITIONAL USE PERMIT IS ISSUED SUBJECT TO THE CITY OF COLORADO SPRINGS. THE PERMIT IS SUBJECT TO THE CITY OF COLORADO SPRINGS. THE PERMIT IS SUBJECT TO THE CITY OF COLORADO SPRINGS.

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PHASE II SUMMARY
 This summary is for informational purposes only. It is not intended to be a contract. The developer/owner shall be responsible for all details of the project. The developer/owner shall be responsible for all details of the project. The developer/owner shall be responsible for all details of the project.

REQUIRED SETBACKS
 SIDE YARD = 5 FT.
 REAR YARD = 5 FT.

APPROX. DEVELOPMENT SCHEDULE
 PERMITS SUBMITTED - MAY 1, 2014
 COMPLETE CONSTRUCTION - OCTOBER 1, 2014

OWNER-DEVELOPER
 N.J. BISH GALLI
 1000 W. WASHINGTON AVE.
 COLORADO SPRINGS, CO 80904
 (719) 475-1233

APPLICANT
 JON WALSON, AIA
 4445 W. WASHINGTON AVE., SUITE 200
 COLORADO SPRINGS, COLORADO 80904
 (719) 475-1727

CIVIL ENGINEER
 MVE ENGINEERING, INC.
 180 LELAND STREET, SUITE 200
 COLORADO SPRINGS, CO 80904
 (719) 475-5728

LANDSCAPE ARCHITECT
 JON WALSON, LANDSCAPE ARCHITECT
 P.O. BOX 254
 COLORADO SPRINGS, CO 80901
 (719) 448-9123

PROJECT DATA

LEGAL DESCRIPTION
 LOT 1, MOUNTAIN SHADOWS BUSINESS PARK TRNG NO. 1, COLORADO SPRINGS, CO

TAX SCHEDULE NO.
 LOT NO. 1 = 72023-06-007

SITE DATA
 ZONING = CC
 ADDRESS = 2150 WEST GARDEN OF THE GODS ROAD
 COLORADO SPRINGS, COLORADO 80904

LAND USE
 EXISTING - OFFICE / WAREHOUSE SITE
 PROPOSED - MINI-STORAGE FACILITY AS CONDITIONAL USE

BUILDING DATA
 EXISTING 2150A, 2150B, 2150C, 2150D, 2150E, 2150F, 2150G, 2150H, 2150I, 2150J, 2150K, 2150L, 2150M, 2150N, 2150O, 2150P, 2150Q, 2150R, 2150S, 2150T, 2150U, 2150V, 2150W, 2150X, 2150Y, 2150Z, 2150AA, 2150AB, 2150AC, 2150AD, 2150AE, 2150AF, 2150AG, 2150AH, 2150AI, 2150AJ, 2150AK, 2150AL, 2150AM, 2150AN, 2150AO, 2150AP, 2150AQ, 2150AR, 2150AS, 2150AT, 2150AU, 2150AV, 2150AW, 2150AX, 2150AY, 2150AZ, 2150BA, 2150BB, 2150BC, 2150BD, 2150BE, 2150BF, 2150BG, 2150BH, 2150BI, 2150BJ, 2150BK, 2150BL, 2150BM, 2150BN, 2150BO, 2150BP, 2150BQ, 2150BR, 2150BS, 2150BT, 2150BU, 2150BV, 2150BW, 2150BX, 2150BY, 2150BZ, 2150CA, 2150CB, 2150CC, 2150CD, 2150CE, 2150CF, 2150CG, 2150CH, 2150CI, 2150CJ, 2150CK, 2150CL, 2150CM, 2150CN, 2150CO, 2150CP, 2150CQ, 2150CR, 2150CS, 2150CT, 2150CU, 2150CV, 2150CW, 2150CX, 2150CY, 2150CZ, 2150DA, 2150DB, 2150DC, 2150DD, 2150DE, 2150DF, 2150DG, 2150DH, 2150DI, 2150DJ, 2150DK, 2150DL, 2150DM, 2150DN, 2150DO, 2150DP, 2150DQ, 2150DR, 2150DS, 2150DT, 2150DU, 2150DV, 2150DW, 2150DX, 2150DY, 2150DZ, 2150EA, 2150EB, 2150EC, 2150ED, 2150EE, 2150EF, 2150EG, 2150EH, 2150EI, 2150EJ, 2150EK, 2150EL, 2150EM, 2150EN, 2150EO, 2150EP, 2150EQ, 2150ER, 2150ES, 2150ET, 2150EU, 2150EV, 2150EW, 2150EX, 2150EY, 2150EZ, 2150FA, 2150FB, 2150FC, 2150FD, 2150FE, 2150FF, 2150FG, 2150FH, 2150FI, 2150FJ, 2150FK, 2150FL, 2150FM, 2150FN, 2150FO, 2150FP, 2150FQ, 2150FR, 2150FS, 2150FT, 2150FU, 2150FV, 2150FW, 2150FX, 2150FY, 2150FZ, 2150GA, 2150GB, 2150GC, 2150GD, 2150GE, 2150GF, 2150GG, 2150GH, 2150GI, 2150GJ, 2150GK, 2150GL, 2150GM, 2150GN, 2150GO, 2150GP, 2150GQ, 2150GR, 2150GS, 2150GT, 2150GU, 2150GV, 2150GW, 2150GX, 2150GY, 2150GZ, 2150HA, 2150HB, 2150HC, 2150HD, 2150HE, 2150HF, 2150HG, 2150HH, 2150HI, 2150HJ, 2150HK, 2150HL, 2150HM, 2150HN, 2150HO, 2150HP, 2150HQ, 2150HR, 2150HS, 2150HT, 2150HU, 2150HV, 2150HW, 2150HX, 2150HY, 2150HZ, 2150IA, 2150IB, 2150IC, 2150ID, 2150IE, 2150IF, 2150IG, 2150IH, 2150II, 2150IJ, 2150IK, 2150IL, 2150IM, 2150IN, 2150IO, 2150IP, 2150IQ, 2150IR, 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2150NO, 2150NP, 2150NQ, 2150NR, 2150NS, 2150NT, 2150NU, 2150NV, 2150NW, 2150NX, 2150NY, 2150NZ, 2150OA, 2150OB, 2150OC, 2150OD, 2150OE, 2150OF, 2150OG, 2150OH, 2150OI, 2150OJ, 2150OK, 2150OL, 2150OM, 2150ON, 2150OO, 2150OP, 2150OQ, 2150OR, 2150OS, 2150OT, 2150OU, 2150OV, 2150OW, 2150OX, 2150OY, 2150OZ, 2150PA, 2150PB, 2150PC, 2150PD, 2150PE, 2150PF, 2150PG, 2150PH, 2150PI, 2150PJ, 2150PK, 2150PL, 2150PM, 2150PN, 2150PO, 2150PP, 2150PQ, 2150PR, 2150PS, 2150PT, 2150PU, 2150PV, 2150PW, 2150PX, 2150PY, 2150PZ, 2150QA, 2150QB, 2150QC, 2150QD, 2150QE, 2150QF, 2150QG, 2150QH, 2150QI, 2150QJ, 2150QK, 2150QL, 2150QM, 2150QN, 2150QO, 2150QP, 2150QQ, 2150QR, 2150QS, 2150QT, 2150QU, 2150QV, 2150QW, 2150QX, 2150QY, 2150QZ, 2150RA, 2150RB, 2150RC, 2150RD, 2150RE, 2150RF, 2150RG, 2150RH, 2150RI, 2150RJ, 2150RK, 2150RL, 2150RM, 2150RN, 2150RO, 2150RP, 2150RQ, 2150RR, 2150RS, 2150RT, 2150RU, 2150RV, 2150RW, 2150RX, 2150RY, 2150RZ, 2150SA, 2150SB, 2150SC, 2150SD, 2150SE, 2150SF, 2150SG, 2150SH, 2150SI, 2150SJ, 2150SK, 2150SL, 2150SM, 2150SN, 2150SO, 2150SP, 2150SQ, 2150SR, 2150SS, 2150ST, 2150SU, 2150SV, 2150SW, 2150SX, 2150SY, 2150SZ, 2150TA, 2150TB, 2150TC, 2150TD, 2150TE, 2150TF, 2150TG, 2150TH, 2150TI, 2150TJ, 2150TK, 2150TL, 2150TM, 2150TN, 2150TO, 2150TP, 2150TQ, 2150TR, 2150TS, 2150TT, 2150TU, 2150TV, 2150TW, 2150TX, 2150TY, 2150TZ, 2150UA, 2150UB, 2150UC, 2150UD, 2150UE, 2150UF, 2150UG, 2150UH, 2150UI, 2150UJ, 2150UK, 2150UL, 2150UM, 2150UN, 2150UO, 2150UP, 2150UQ, 2150UR, 2150US, 2150UT, 2150UU, 2150UV, 2150UW, 2150UX, 2150UY, 2150UZ, 2150VA, 2150VB, 2150VC, 2150VD, 2150VE, 2150VF, 2150VG, 2150VH, 2150VI, 2150VJ, 2150VK, 2150VL, 2150VM, 2150VN, 2150VO, 2150VP, 2150VQ, 2150VR, 2150VS, 2150VT, 2150VU, 2150VV, 2150VW, 2150VX, 2150VY, 2150VZ, 2150WA, 2150WB, 2150WC, 2150WD, 2150WE, 2150WF, 2150WG, 2150WH, 2150WI, 2150WJ, 2150WK, 2150WL, 2150WM, 2150WN, 2150WO, 2150WP, 2150WQ, 2150WR, 2150WS, 2150WT, 2150WU, 2150WV, 2150WW, 2150WX, 2150WY, 2150WZ, 2150XA, 2150XB, 2150XC, 2150XD, 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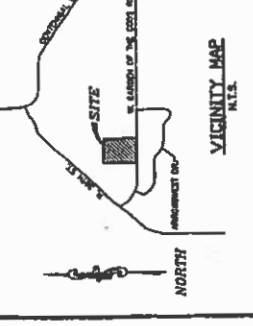


FIGURE 7

REVISIONS:	DATE:
REVISION 01	08/04/14
REVISIONS	02/08/2016
REVISIONS	05/25/2016
PLAN CHECK	05/25/16
REVISIONS	08/25/2016

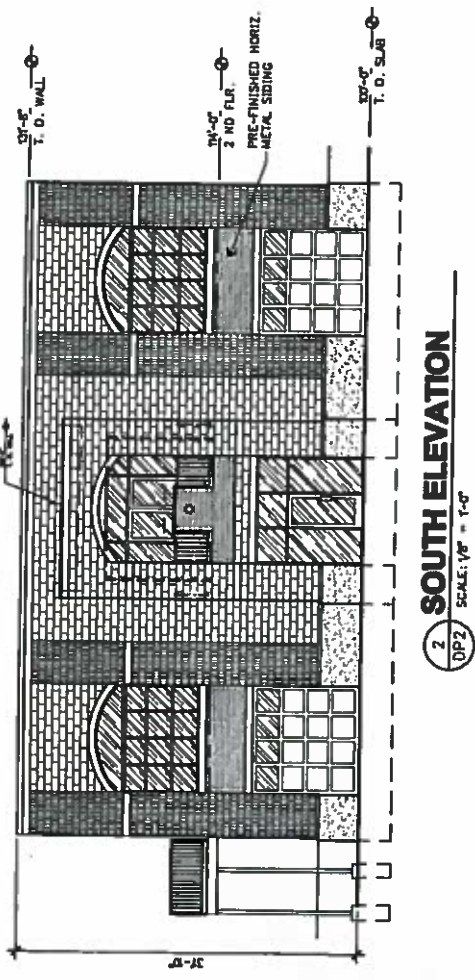
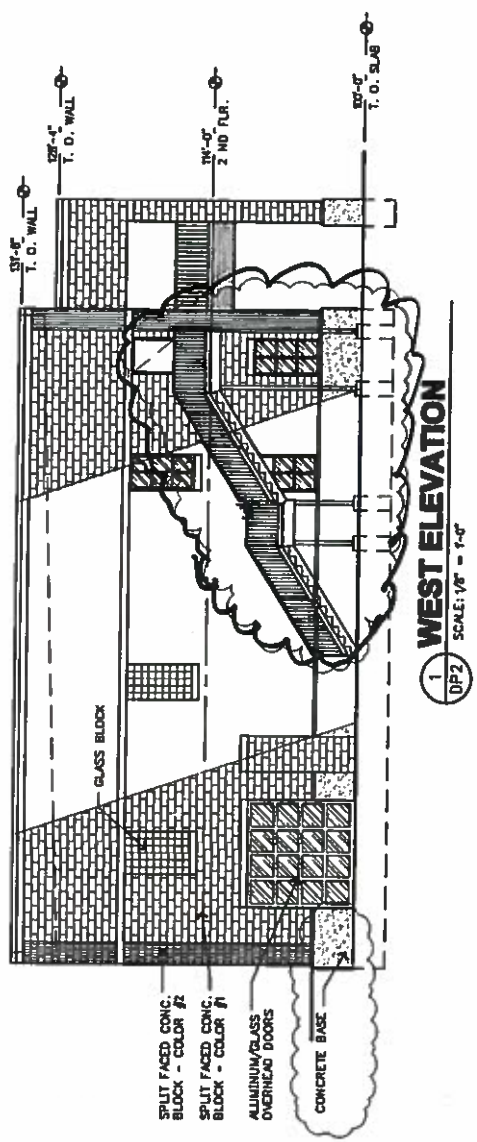
NEW MERCANTILE BUILDING
WILLOWSTONE
2140 GARDEN OF THE GODS ROAD
COLORADO SPRINGS, COLORADO



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DRAWN BY:	JEP
CHECKED BY:	JEP
DATE:	03/25/2016
SCALE:	AS NOTED
JOB NUMBER:	2140 G OF THE G
SHEET NUMBER:	DP-2

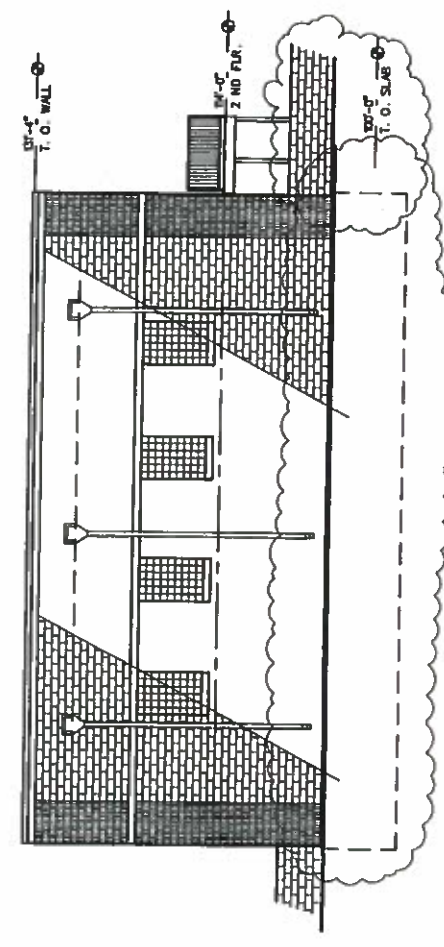
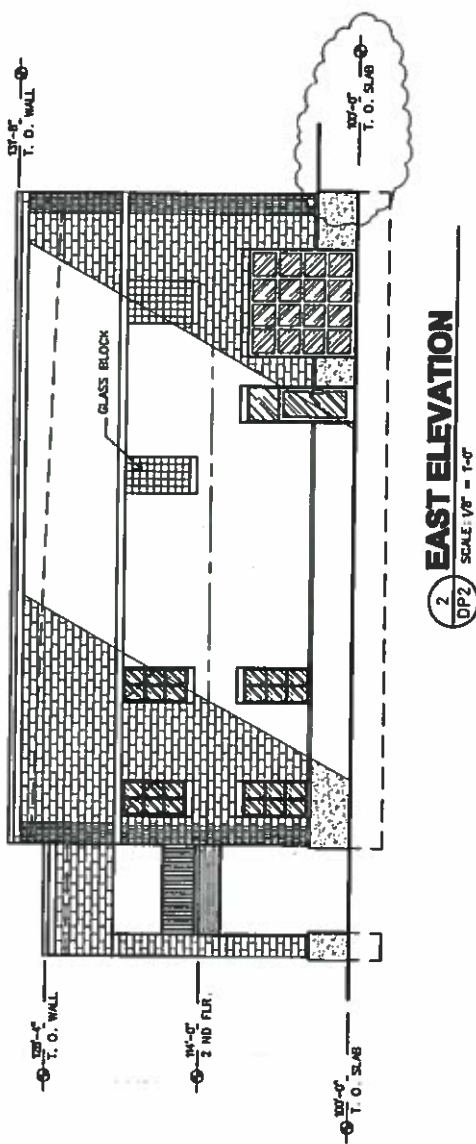
OF 12



APPROVED
CITY OF COLO SPRINGS

JUL 28 2016

BY CITY PLANNING



CPC CU 14-00029-A1MN14 -

MM02

FIGURE 7

REVISIONS:	DATE:
UNION AMEND. 07/04/14	
UNION AMEND. 08/04/14	

DEVELOPMENT PLAN MAJOR AMENDMENT
 MINI STORAGE FACILITY
 2150 GARDEN OF THE GODS ROAD
 COLORADO SPRINGS, COLORADO

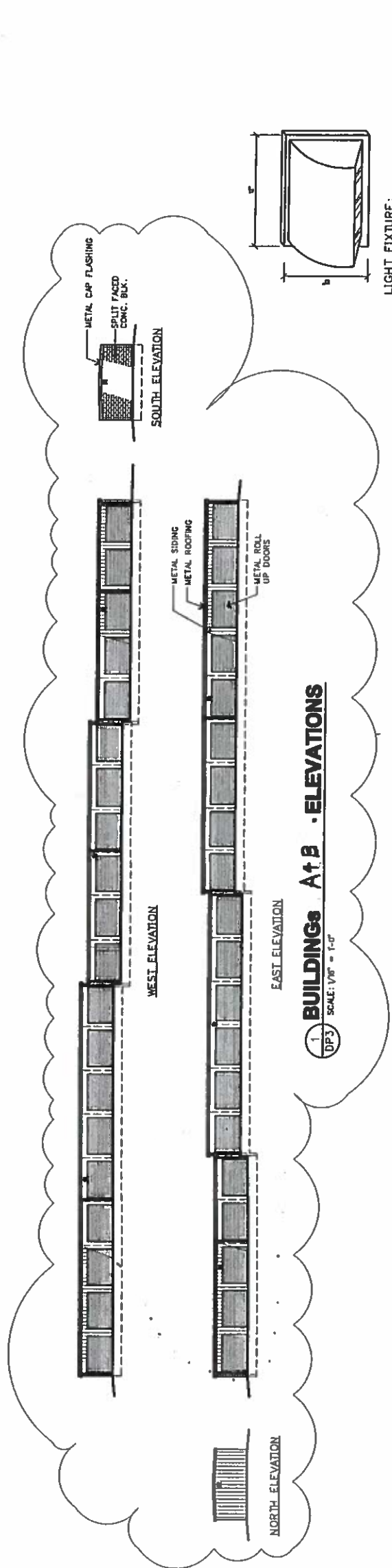
PAULSON
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DRAWN BY:	JBP
CHECKED BY:	JBP
DATE:	03/09/2014
SCALE:	AS NOTED
JOB NUMBER:	2150 MINI STOR
SHEET NUMBER:	

DP-3
 3 OF 10

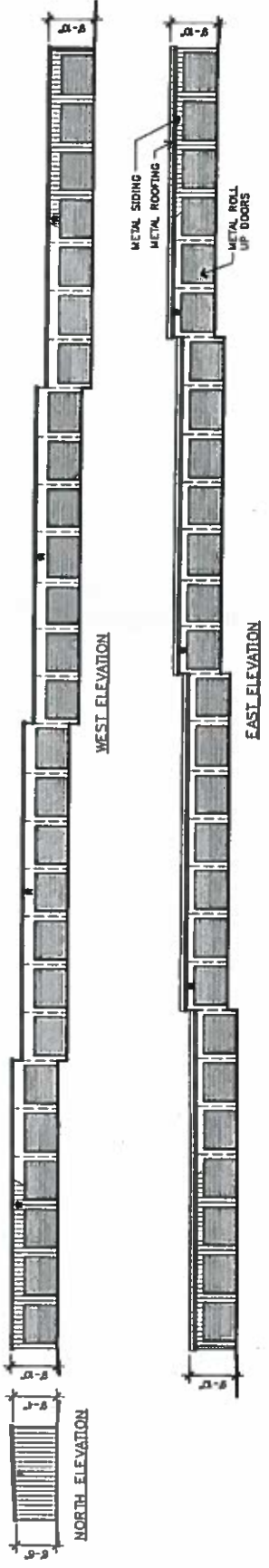
MINI-STORAGE BUILDINGS

CPC CU 14-00029-A1MN14
 MM02



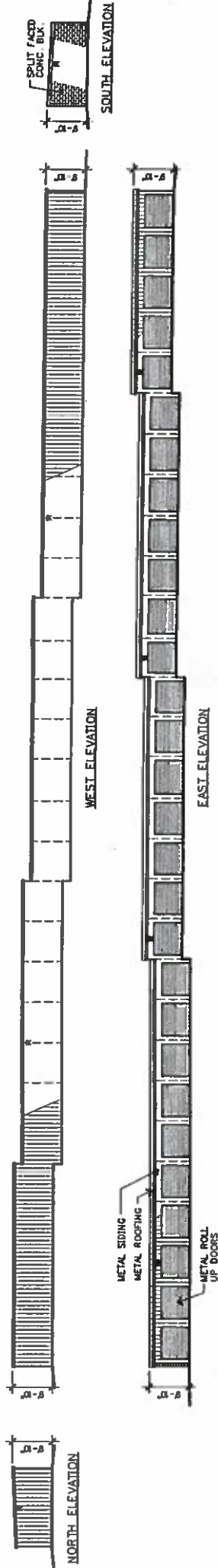
1 BUILDINGS A + B - ELEVATIONS
 DP3 SCALE: 1/8" = 1'-0"

LIGHT FIXTURE:
 LITHONIA LIGHTING # TWAGS - 32 WATT, COMPACT FLUORESCENT
 4 WALL PACK DETAIL
 DP3 SCALE: NO SCALE



2 BUILDING C + D - ELEVATIONS
 DP3 SCALE: 1/8" = 1'-0"

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3 BUILDING E - ELEVATIONS
 DP3 SCALE: 1/8" = 1'-0"

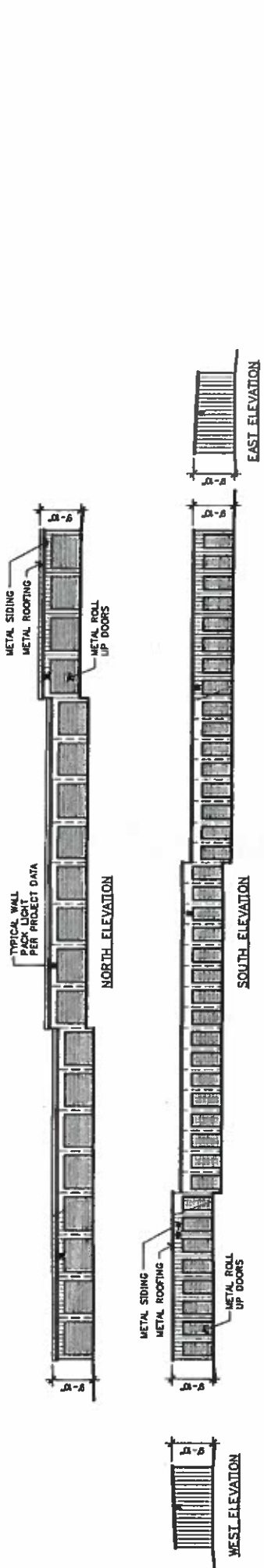
FIGURE 7

REVISIONS:	DATE:
UNION AMEND. 07/04/14	
UNION AMEND. 08/04/14	

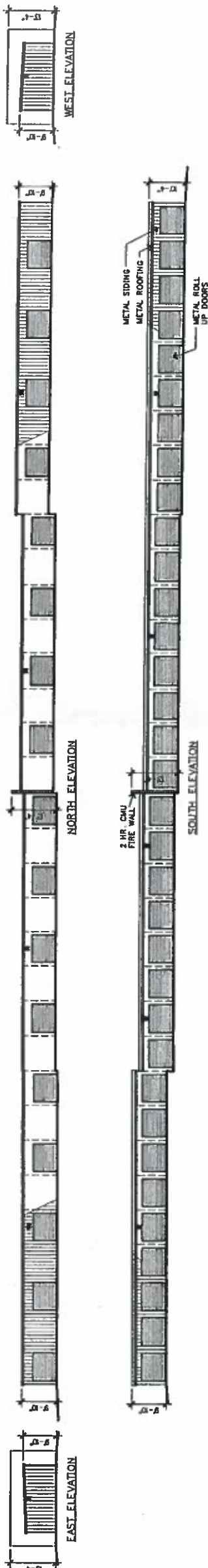
DEVELOPMENT PLAN MAJOR AMENDMENT
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 2150 GARDEN OF THE GODS ROAD
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CHECKED BY: JBP
DATE: 03/09/2014
SCALE: AS NOTED
JOB NUMBER: 2150 MINI STOR
SHEET NUMBER: DP-4
4 OF 10



1 BUILDING H - ELEVATIONS
 DPA SCALE: 1/8" = 1'-0"



2 BUILDING G ELEVATIONS
 DPA SCALE: 1/8" = 1'-0"

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 CITY OF COLO SPRINGS

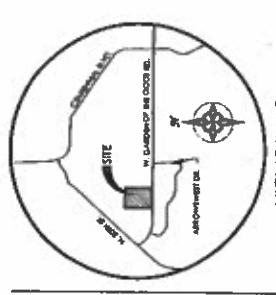
JUL 28 2016

BY CITY PLANNING

MINI-STORAGE BUILDINGS

CPC CU 14-00029-A1MN14-
 WMM02

FIGURE 7



VICINITY MAP
07/10/2014

BENCHMARK



REVISIONS
 Δ REVISED GRADES AT MANAGERS RESIDENCE.
 Δ ADDED RETAINING WALLS AND REVISED
 SURFINGS 1 & 1A.

DESIGNED BY CCC
 DRAWN BY JHW
 CHECKED BY
 DATE 03/04/2014

2150 GARDEN OF THE GODS
 DEV PLAN MINOR AMENDMENT

DP-5
 2150 GOG STORAGE
 PRELIMINARY GRADING

AVE PROJECT 51312
 AVE DRAWING DEV-PG

AUGUST 1, 2014
 SHEET 5 OF 10

LEGEND

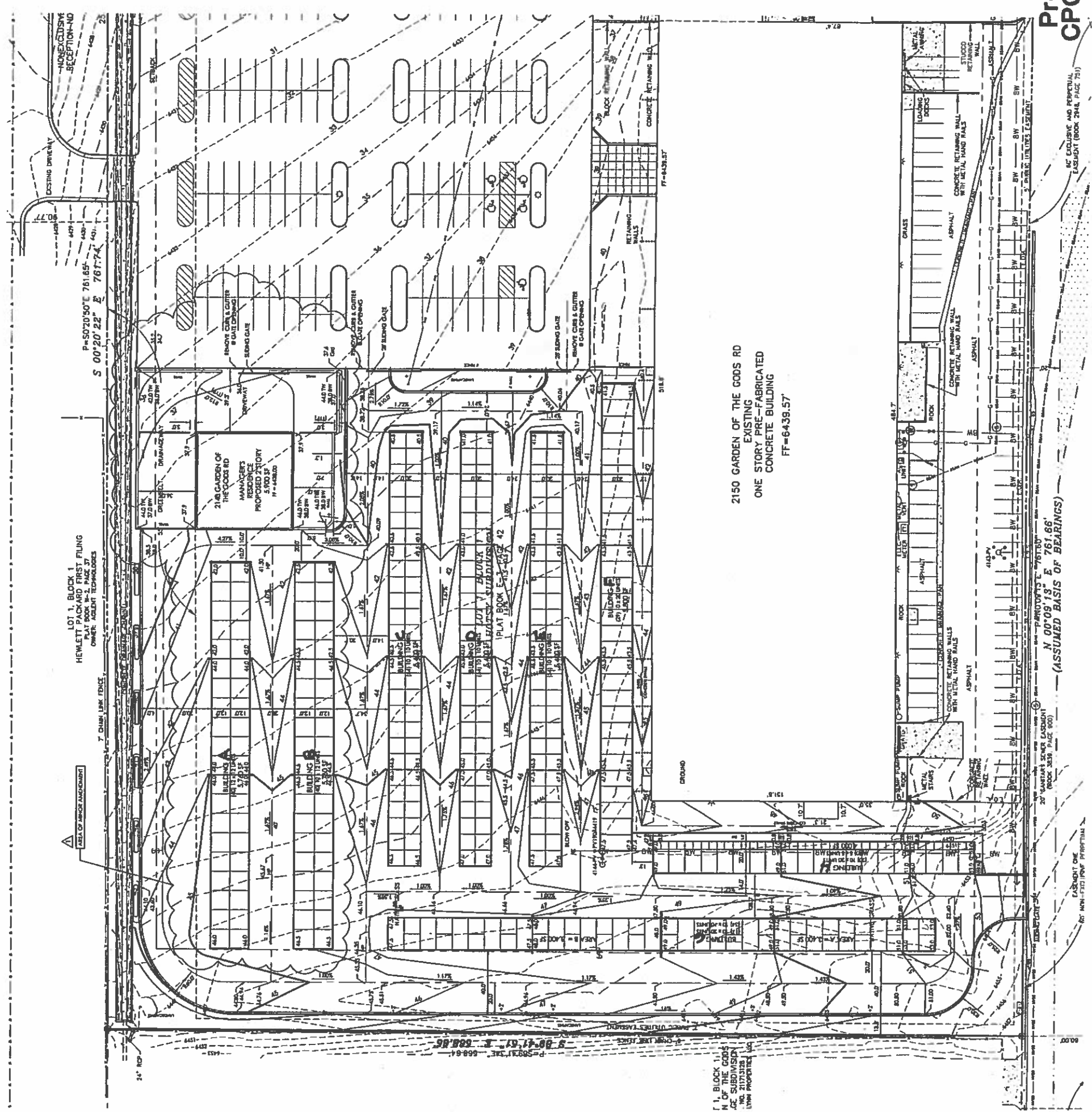
- PROPERTY LINE
- EASEMENT LINE
- SETBACK LINE
- EXISTING INDEX CONTOUR
- EXISTING INTERMEDIATE CONTOUR
- PROPOSED INDB CONT
- PROPOSED INTERMEDIATE CONT
- EXISTING CONCRETE AREA
- PROPOSED CONCRETE AREA
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- EXISTING RETAINING WALL
- PROPOSED RETAINING WALL
- WATER LINE / SITE
- WATER VALVE
- FIRE HYDRANT
- SANITARY SEWER LINE / SIZE
- SANITARY SEWER MANHOLE
- GAS LINE
- OVERHEAD ELECTRIC LINE
- UTILITY POLE
- SGN
- PROPOSED TBC / FL
- PROPOSED LIGHT POLE

APPROVED
 CITY OF COLO SPRINGS

JUL 28 2016

BY CITY PLANNING

**NOT A
 CONSTRUCTION DOCUMENT**
 THIS PLAN SHALL NOT BE USED FOR CONSTRUCTION
 PURPOSES WITHOUT THE APPROVAL OF THE CITY OF COLORADO
 SPRINGS DEVELOPMENT DEPARTMENT. IT IS REQUIRED THAT ANY SUBSEQUENT CONSTRUCTION
 PLANS ADHERE TO THE APPROVED DEVELOPMENT PLAN.



Preliminary Grading Plan
 CPC CU 14-00029-A1MN14
 MM02

FIGURE 7

**COLORADO SPRINGS UTILITIES
GENERAL NOTES FOR ALL PRELIMINARY UTILITY PLANS:**

- PROPERTY OWNER(S) ACKNOWLEDGE AND AGREE TO THE FOLLOWING UPON APPROVAL OF PRELIMINARY UTILITY PLAN:
THE DRAWING IS A PRELIMINARY UTILITY PLAN AND THEREFORE, COLORADO SPRINGS UTILITIES SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION OF ALL WATER, WASTEWATER, ELECTRIC, AND GAS FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THE PRELIMINARY UTILITY PLAN.
- PROPERTY OWNER(S) FURTHER ACKNOWLEDGE THAT THE CONNECTION AND/OR EXTENSION OF UTILITY SERVICES TO THE PROPERTY AND THE LOCATION OF ALL WATER, WASTEWATER, ELECTRIC, AND GAS FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THE PRELIMINARY UTILITY PLAN, IS THE RESPONSIBILITY OF THE PROPERTY OWNER(S). THE PROPERTY OWNER(S) SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES, INCLUDING BUT NOT LIMITED TO, THE CITY OF COLORADO SPRINGS, COLORADO SPRINGS UTILITIES, AND LOCAL, STATE, AND FEDERAL AGENCIES. THE PROPERTY OWNER(S) SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES, INCLUDING BUT NOT LIMITED TO, THE CITY OF COLORADO SPRINGS, COLORADO SPRINGS UTILITIES, AND LOCAL, STATE, AND FEDERAL AGENCIES. THE PROPERTY OWNER(S) SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES, INCLUDING BUT NOT LIMITED TO, THE CITY OF COLORADO SPRINGS, COLORADO SPRINGS UTILITIES, AND LOCAL, STATE, AND FEDERAL AGENCIES.
- OWNER ACKNOWLEDGES RESPONSIBILITY FOR THE COST OF EXTENDING OR IMPROVING EXISTING UTILITY SERVICES TO THE PROPERTY AND THE LOCATION OF ALL WATER, WASTEWATER, ELECTRIC, AND GAS FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THE PRELIMINARY UTILITY PLAN, IS THE RESPONSIBILITY OF THE PROPERTY OWNER(S). THE PROPERTY OWNER(S) SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES, INCLUDING BUT NOT LIMITED TO, THE CITY OF COLORADO SPRINGS, COLORADO SPRINGS UTILITIES, AND LOCAL, STATE, AND FEDERAL AGENCIES. THE PROPERTY OWNER(S) SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES, INCLUDING BUT NOT LIMITED TO, THE CITY OF COLORADO SPRINGS, COLORADO SPRINGS UTILITIES, AND LOCAL, STATE, AND FEDERAL AGENCIES.
- UTILITIES UTILITY SERVICES ARE AVAILABLE ON A FIRST-COME, FIRST-SERVED BASIS AND THEREFORE THE PROPERTY OWNER(S) SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES, INCLUDING BUT NOT LIMITED TO, THE CITY OF COLORADO SPRINGS, COLORADO SPRINGS UTILITIES, AND LOCAL, STATE, AND FEDERAL AGENCIES. THE PROPERTY OWNER(S) SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES, INCLUDING BUT NOT LIMITED TO, THE CITY OF COLORADO SPRINGS, COLORADO SPRINGS UTILITIES, AND LOCAL, STATE, AND FEDERAL AGENCIES.
- ONLY WITH THE PRIOR WRITTEN APPROVAL BY SPRINGS UTILITIES, OWNER MAY CAUSE THE RELOCATION OR ALTERATION OF ANY EXISTING UTILITY FACILITIES WITHIN THE PROPERTY AT THE OWNER'S SOLE COST AND EXPENSE. SPRINGS UTILITIES DETERMINES THAT THE RELOCATION OR ALTERATION OF ANY EXISTING UTILITY FACILITIES WITHIN THE PROPERTY AT THE OWNER'S SOLE COST AND EXPENSE IS NECESSARY TO MAINTAIN THE QUALITY AND SAFETY OF THE UTILITY SYSTEM. SPRINGS UTILITIES WILL BE RESPONSIBLE FOR THE RELOCATION OR ALTERATION OF ANY EXISTING UTILITY FACILITIES WITHIN THE PROPERTY AT THE OWNER'S SOLE COST AND EXPENSE.
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LEGEND

PROPERTY LINE
EASEMENT LINE
SETBACK LINE
EXISTING INDEB CONTOUR
EXISTING INTERDATE CONTOUR
EXISTING CONCRETE AREA
PROPOSED CONCRETE AREA
EXISTING CURB AND GUTTER
PROPOSED CURB AND GUTTER
EXISTING RETAINING WALL
PROPOSED RETAINING WALL
WATER LINE / SIZE
WATER VALVE
FIRE HYDRANT
SANITARY SEWER LINE / SIZE
SANITARY SEWER MANHOLE
GAS LINE
OVERHEAD ELECTRIC LINE
UTILITY POLE
SIGN
PROPOSED LIGHT POLE
PROPOSED 6" SANITARY SERVICE

BENCHMARK

2

MWE, INC.
ENGINEERS & SURVEYORS
1903 Healy Street, Suite 200
Colorado Springs, CO 80909 719.535.5730

REVISIONS
△ REVISED GRADES AT MANAGERS RESIDENCE
ADDED RETAINING WALLS AND
REVISED BUILDINGS I & IA.

DESIGNED BY CDC
CHECKED BY JHW
DATE 3/26/2014
ASSEMBLED BY
CHECKED BY

2150 GARDEN OF THE GODS
DEV PLAN MINOR AMENDMENT

DP-6
2150 GOG STORAGE
PRELIMINARY UTILITIES

MVE PROJECT 51312
HAVE DRAWING DEV-PU

August 1, 2014
SHEET 6 OF 10

APPROVED
CITY OF COLORADO SPRINGS
JUL 28 2016
BY CITY PLANNING

NOT A CONSTRUCTION DOCUMENT
THIS PLAN SHALL NOT BE USED FOR CONSTRUCTION PURPOSES. IT IS PROVIDED FOR THE CITY OF COLORADO SPRINGS DEVELOPMENT PLAN APPROVAL PROCESS ONLY. SPRINGS DEVELOPMENT PLAN APPROVAL PROCESS PLANS SHALL ADVISE TO THE APPROVED DEVELOPMENT PLAN.

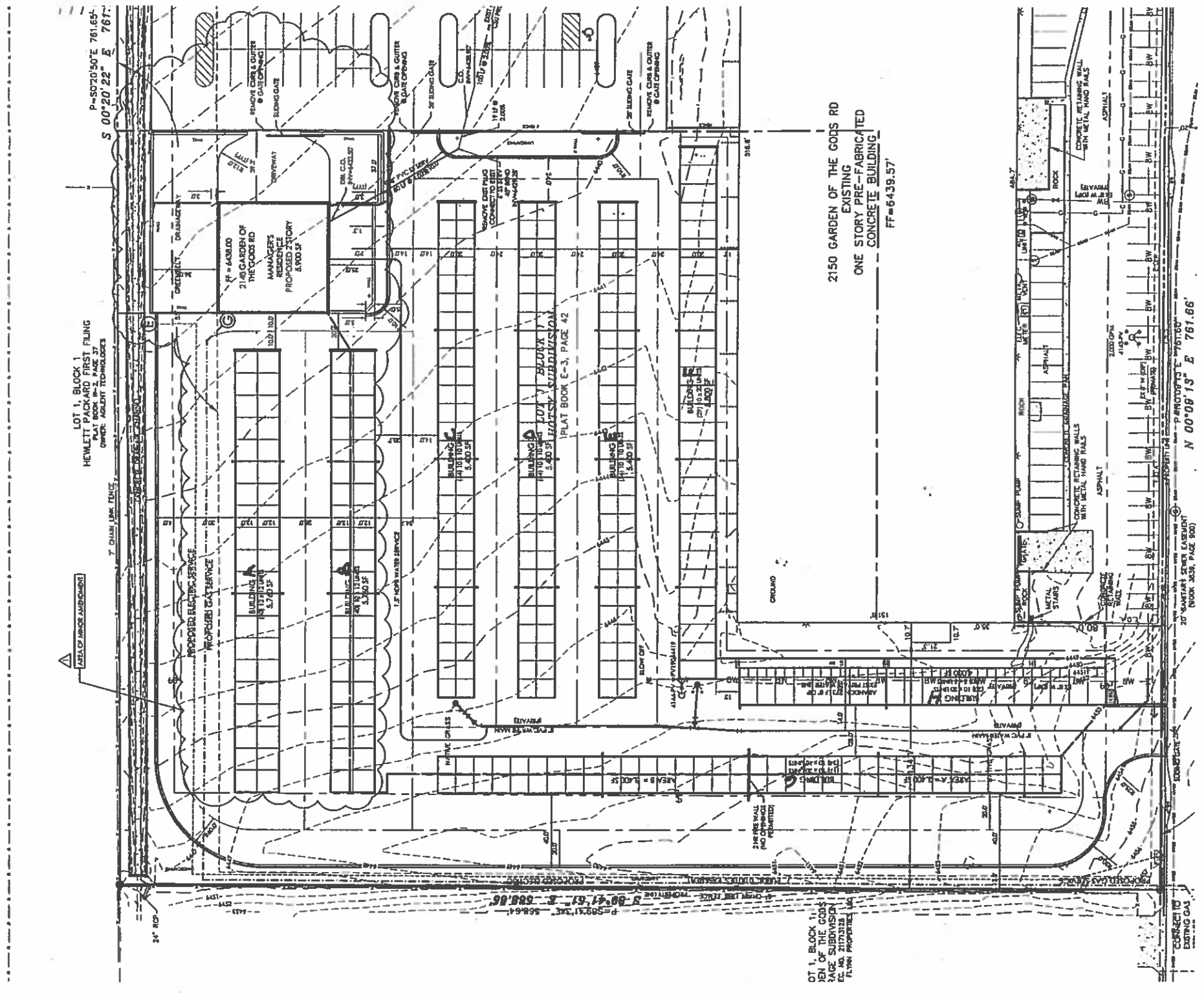
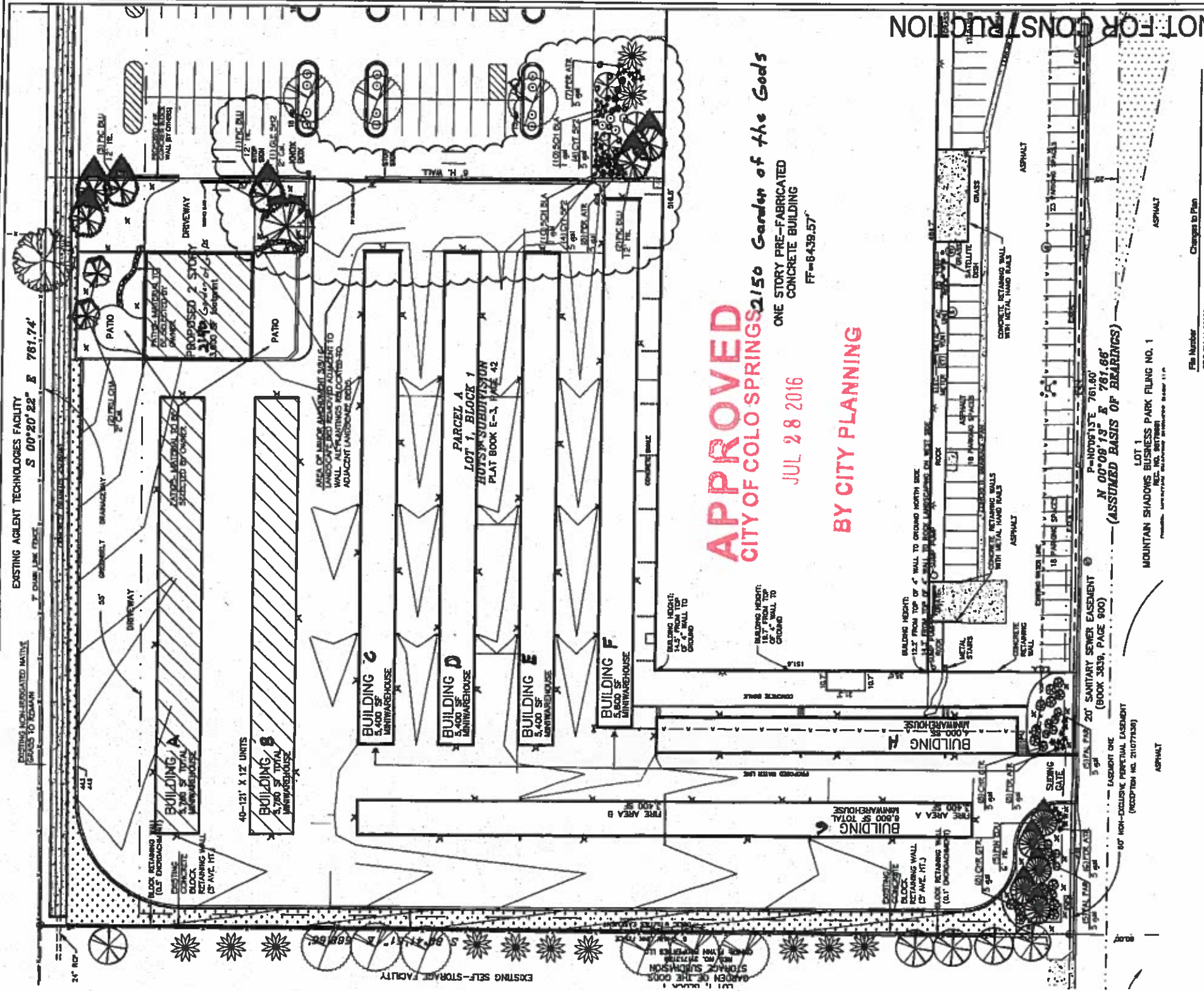
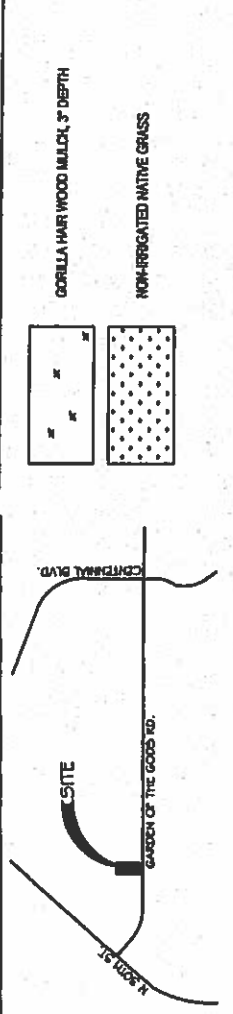


FIGURE 7

VICINITY MAP



JULIA LANDSCAPE ARCHITECT
 JOY WALKER, LLC
 P.O. Box 354
 1700 W. 10th Ave., Suite 100
 Colorado Springs, CO 80904
 (719) 520-5555
 julia@jwalkerllc.com

DEVELOPMENT PLAN MAJOR AMENDMENT FOR
 PROPOSED SELF STORAGE FACILITY
 2150 GARDEN OF THE GODS ROAD
 Colorado Springs, CO

PROJECT NAME: FINAL LANDSCAPE PLAN
 SHEET TITLE: 08 APRIL 2014
 10 AUGUST 2014 MINOR AMENDMENT
 3 MARCH 2016 MINOR AMENDMENT
 SHEET NO. 7 of 10
 CPC CU 14-00029-A1MIN14

GROUND PLANE TREATMENT

CORALLA HART WOOD MULCH, 3" DEPTH

NON-IRRIGATED NATIVE GRASS

PLANT SCHEDULE

CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE	REMARKS	MATURE WIDTH	PLANT KEY
GLE SH2	1	Gelechia trachanthus var. 'Studenoster' TM / Studenoster Locust	2' Cal.	B & B	50' to 40'	45
PC BLU	6	Picea pungens glauca / Colorado Blue Spruce	12' Ht.	B & B	20' to 30'	67AS
PN CDU	5	Pinus contorta conata / Pinyon Pine	6' Ht.	B & B	15' to 20'	125C0
PRU CHA	2	Prunella coccinea / Chautauque Pear	2' Cal.	B & B	15' to 20'	A
Percent Signature Trees: 14 Total No. of Trees: 11 = 70% Signature Trees						
CHR GTR	16	Chrysothamnus macrocarpa gracilior / Tall Green Rabbitbrush	5 gal		4' to 6'	1235D
CYT SP2	6	Cytisus pycnanthus 'Spanish Gold' / Spanish Gold Broom	5 gal		4' to 6'	D
FAL PAK	10	Fallopia pennsylvanica / Apache Plume	5 gal		3' to 5'	1235C0
PER ATR	25	Perovskia atrorubra / Russian Sage	5 gal		3' to 4'	12D
Percent Signature Shrubs: 15 Total No. of Shrubs: 63 = 67% Signature Shrubs						
SCH DUA	20	Schizachyrium scoparium 'Dues' / Blue Little Bluestem	1 gal		2' to 3'	1245D

NOTE: (30) OF THE SHRUBS LISTED ABOVE ARE TO BE CONSIDERED EXEMPT AS DEFINED BY THE LANDSCAPE POLICY MANUAL

SITE CATEGORY CALCULATIONS:

Category	Item	Value	Requirement	Status
Landscape Setbacks	Street Setback	0'	5'	Not Met
	Front Yard Setback	0'	5'	Not Met
Motor Vehicle Lots	Length of Frontage	233'	200'	Met
	Length of Frontage (excluding driveways)	233'	200'	Met
Internal Landscaping	Internal Area (SF)	172,825	177,114	Met
	Internal Area (SF) (Required)	172,825	177,114	Met
Landscape Buffer & Screens	Buffer Area (SF)	0	0	Met
	Buffer Area (SF) (Required)	0	0	Met

EXISTING PLANT MATERIAL LEGEND

- RUSSIAN OLIVE (K) CALIFERN - GOOD CONDITION
- HAWTHORN (K) CALIFERN - GOOD CONDITION
- HONEYLOCUST (K) CALIFERN - GOOD CONDITION
- PINON PINE (T) HEIGHT - GOOD CONDITION

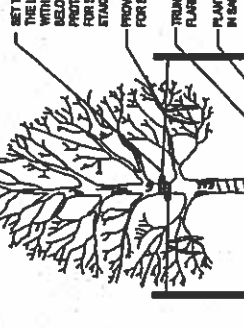
NOTE: THE PROPOSED LANDSCAPE FOR THIS PHASE IS LIMITED TO THE AREA WITHIN THE PROPOSED STORAGE FACILITY THAT ENCOMPASSES APPROXIMATELY 3.967 ACRES.

SCALE: 1"=30'

FIGURE 7

PLANTING DETAILS

- DO NOT REMOVE OR CUT LEAVES.
- PLANT ONLY DEAD OR BROKEN BRANCHES AND WEAK OR HANGING BRANCHES.
- DO NOT REMOVE LOWER BRANCHES OR BRUISED BRANCHES FOR AT LEAST TWO GROWING SEASONS.
- KEEP PLANTS MOIST AND WATER AS NEEDED.
- DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
- WRAP TRUNK ON EXPOSED SITES OR SPECIES WITH THIN BARK. USE ELECTRICAL TAPE NOT TWINE.
- WRAP OCTOBER 15 AND REMOVE BY MARCH 31.



- SET TREE PLANT, STAKE UP TO 2 CALIBER TREES WITH 2 POSTS ON THE LEeward AND windward sides. STAKE TREES OVER 2 CALIBER WITH 3 EQUALLY SPACED POSTS. USE NYLON STRAP WITH GROUVERT BELOW MIDPOINT OF TREE. TOUCHING AND GUY WIRE BY THRESHOLD. PROTECT BRANCHES FROM TOUCHING WIRE. ALLOW A SLIGHT SAG FOR SWAY. PROVIDE FLAGGING TAPE WITH MINIMUM 1" HANG. SET STAKES IN MINIMUM 18" FROM SOIL.
- PROVIDE 2" LENGTH ORANGE FLUORESCENT FLAGGING ON ALL WIRES FOR SAFETY.
- TRUNK FLAKE MUST BE VISIBLE AT TOP OF ROOTBALL. POSITION ROOT FLAKE AT GRADE.
- PLANT ROOTBALL 2" ABOVE FRESH GRADE IN CLAY SOIL, AND AT GRADE IN SANDY SOIL.
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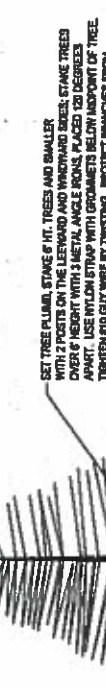


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Deciduous Tree Planting Detail

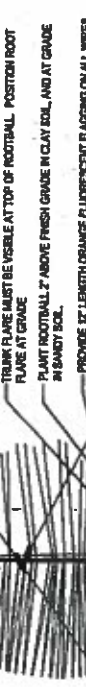


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Coniferous Tree Planting Detail



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Shrub Planting Detail



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- WRAP OCTOBER 15 AND REMOVE BY MARCH 31.



Landscape Boulder Placement

- ALL REFERENCES TO CONTRACTOR REFER TO LANDSCAPE CONTRACTOR, UNLESS OTHERWISE NOTED.
- CONTRACTOR IS RESPONSIBLE FOR GETTING ALL UTILITY LOCATES 1-800-422-1987 PRIOR TO STARTING ANY WORK ON SITE AND ALSO HAVING UTILITIES RELOCATED AS NECESSARY FOR THE DURATION OF CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL LANDSCAPE SHOWN ON THIS PLAN. ANY DEFICIENCIES OR DEVIATIONS FROM THIS PLAN ARE TO BE APPROVED BY OWNERS REPRESENTATIVE OR LANDSCAPE ARCHITECT. ANY CHANGES FROM THE APPROVED PLAN MAY REQUIRE APPROVAL FROM THE CITY OF COLORADO SPRINGS PLANNING DEPARTMENT AND MAY DELAY COMPLETION OF PROJECT.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF MATERIALS NEEDED TO COMPLETE THIS PLAN IN THE FIELD. NOTIFY OWNERS REPRESENTATIVE OF DEFICIENCIES BETWEEN THE DRAWINGS AND CONDITIONS IN THE FIELD. SUBSTITUTIONS OF LANDSCAPE OR PLANT MATERIALS ARE NOT ALLOWED WITHOUT APPROVAL FROM LANDSCAPE ARCHITECT GIVEN PRIOR TO INSTALLATION. NOTIFY LANDSCAPE ARCHITECT PRIOR TO PLANTING PROPOSED PLANTING LOCATIONS NEED TO BE ALTERED DUE TO ON-SITE CONDITIONS. GRAPHIC PLANT QUANTITIES PREVAIL OVER WRITTEN QUANTITIES.
- ALL PLANT MATERIAL BROUGHT TO THE JOB SITE MUST CONFORM WITH CURRENT COLORADO NURSERY ACT STANDARDS. REMOVE DEAD BRANCHES FROM ALL NEW AND EXISTING PLANT MATERIALS. IF MORE THAN 10% OF THE LIMBS OF A NEW PLANT ARE REMOVED THE PLANT WILL BE REJECTED. CENTRAL LIMBS SHALL NOT BE REMOVED AT ANY TIME.
- CONTRACTOR IS TO PROVIDE A ONE YEAR WARRANTY ON ALL PLANT MATERIAL. IRRIGATION COMPONENTS, AND WORKMANSHIP. REPLACEMENT PLANT MATERIALS SHALL BE OF THE SAME SPECIES AND SIZE AS THE DEAD OR REMOVED PLANT MATERIAL. CONTRACTOR IS TO PROVIDE OWNER WITH WARRANTY CONDITIONS AND COMMENCE WARRANTY PERIOD UPON FINAL ACCEPTANCE OF LANDSCAPE INSTALLATION.
- CONTRACTOR SHALL REFER TO ASSOCIATED LANDSCAPE CONTRACTORS OF COLORADO SPECIFICATIONS HANDBOOK, 1998 (OR MORE RECENT) REVISED EDITION FOR SPECIFICATIONS RELATING TO LANDSCAPE AND IRRIGATION CONSTRUCTION ON THIS SITE. REFER TO SECTIONS 02110, 02030, 02040, AND 02060. CONTRACTOR SHOULD CONTACT OWNERS REPRESENTATIVE OR LANDSCAPE ARCHITECT FOR CLARIFICATIONS OR QUESTIONS.
- THE OWNER OF THIS PROPERTY AND ANY FUTURE OWNERS SHALL BE RESPONSIBLE FOR THE PROPER LANDSCAPE AND IRRIGATION MAINTENANCE OF THIS SITE. MAINTENANCE OF THIS SITE INCLUDES: FERTILIZATION, MOULCHING, WEEDING, IRRIGATION ADJUSTMENTS, IRRIGATION SYSTEM SHUT DOWN AND START UP, REPLACEMENTS, PRUNING, AND WEEDING. ALL MAINTENANCE SHOULD BE IN ACCORDANCE WITH STANDARDS SPECIFIED WITHIN THE "ALSO SPECIFICATIONS HANDBOOK" REVISED EDITION. CONTRACTOR SHOULD CONTACT LANDSCAPE CONTRACTOR OR LANDSCAPE ARCHITECT REGARDING ANY QUESTIONS RELATING TO THE LANDSCAPE OR IRRIGATION MAINTENANCE OF THIS SITE.

PROJECT NOTES

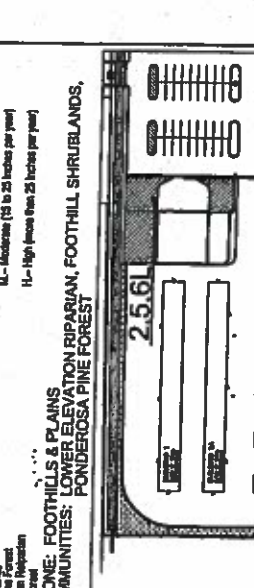
- FINE GRADING TO BE PERFORMED BY LANDSCAPE CONTRACTOR TO REJECT FINISHED GRADERS SHOWN ON THE PROJECT GRADING PLANS. ALL FINISHED GRADERS ARE TO HAVE A MINIMUM 2% SLOPE. CONTRACTOR IS TO REPORT POOR DRAINAGE CONDITIONS OR ANY GRADERS IN LANDSCAPE AREAS LESS THAN 2% TO GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT PRIOR TO LANDSCAPE CONSTRUCTION WORK. FINISHED GRADERS SHALL BE FREE OF WEEDS AND FREE OF DEBRIS AND ROCKS GREATER THAN ONE HALF INCH.
- CONTRACTOR IS TO PROVIDE FINAL GRADERS ADJACENT TO HIRSCHEP SURFACES AT THE FOLLOWING SPECIFICATIONS:
 - 2" BELOW TOP OF CONCRETE FOR ALL MULCH AND ROCK COVER BEDS.
 - 2" BELOW TOP OF CONCRETE FOR NATIVE SEED AREAS.
 - CONTRACTOR IS TO COORDINATE THESE GRADING SPECIFICATIONS WITH GENERAL CONTRACTOR AND/OR WHATEVER IS PROVIDING ROUGH GRADING. FINAL GRADERS IN ALL LANDSCAPE AREAS ARE TO BE ESTABLISHED USING ON-SITE STOOPELTOP TOPOGRAPHY.
- ALL PROPOSED PLANTING BEDS ARE TO BE ROTO-TILLED TO A 6" DEPTH. PLANTING BEDS ARE TO BE RAVED SMOOTH AND FINISHED GRADERS ARE TO BE ESTABLISHED AND VERIFIED TO THE TOLERANCES LISTED ABOVE PRIOR TO PLANTING. PARKING LOT SURFACES ARE TO BE EXCAVATED TO A 30" DEPTH AND HALF OF EXCAVATED SOIL IS TO BE MIXED WITH TOPSOIL AND REPLACED INTO PARKING. ALL PROPOSED PLANTING BEDS ARE TO BE TO RECEIVE 2 COLTUS PER 1,000 SQ. FT. SAND. REFER TO PLANTING DETAILS FOR PLANTING SOIL MIXTURE.
- AFTER PLANTING, BEFORE MULCH IS INSTALLED, ALL PLANTING BEDS ARE TO RECEIVE A GRANULAR PRE-EMERGENT HERBICIDE (PRESEN OR SHARPHOT). APPLY PRE-EMERGENT FROM FOLIAGE AND ACTIVE HERBICIDE.
- ROCK COVER AREAS TO CONSIST OF 2" OF 2" DIAMETER ARKANSAS TANK RIVER ROCK COBBLE (C3C SAND), SPREAD OVER LANDSCAPE FABRIC. LANDSCAPE FABRIC TO CONSIST OF TERRY WEED BARRIER PRO, 3 OZ BLACK WOVEN POLYPROPYLENE FABRIC. FABRIC TO OVERLAP 6" MINIMUM AT ALL SEAMS. 6" STEEL ANCHOR PINS TO BE INSTALLED @ 6" O.C. MIN.
- LANDSCAPE BOULDERS TO CONSIST OF 18" TO 30" DIAMETER DELACROCE BOULDERS (PIONEER SAND), PARTIALLY BURIED INTO GROUND.
- GORILLA HAIR WOOD MULCH IS TO BE PROVIDED IN ALL PLANTING BEDS AT SPECIFIED DEPTHS SHOWN ON LANDSCAPE PLAN. CONTRACTOR IS TO SPRAY MULCH WITH WATER IMMEDIATELY AFTER SPREADING TO HELP MAT IT DOWN AND PREVENT MULCH FROM BLOWING AWAY.
- STEEL EDGING IS TO CONSIST OF 16 GAUGE, 4" HT. X 12" LENGTH ROLL-TOP STEEL EDGING TO SEPARATE WOOD MULCH BEDS, TURF, ROCK COVER AREAS, AND NATIVE SEED AREAS. EDGING IS TO BE PARTIALLY BURIED SO THAT TOP OF EDGING IS APPROXIMATELY 2" ABOVE FINAL SOIL GRADE. PROVIDE STAKING EVERY 7' MINIMUM.
- ALL AREAS SHOWN AS NATIVE SEED TO BE SEEDED WITH NATIVE PRairie MIX (PRAIRIE BUTTE SEED, INC.) AT A RATE OF 1 LB. PER 1,000 SQ. FT. RAVED INTO THE TOP 1/4" OF SOIL ON HIRSCHEP. REFER TO NATIVE SEED ESTABLISHMENT SPECIFICATION FOR MORE DETAILED INSTRUCTIONS.
- ALL PROPOSED TREES AND SHRUBS ARE TO BE DRIP IRRIGATED. REFER TO IRRIGATION PLAN.

SOIL PREPARATION NOTES

- PLANTING BEDS, REMOVED TREES AND SHRUBS: ALL PROPOSED SHRUB BEDS TO RECEIVE 3 COLTUS PER 1,000 SQ. FT. 100% MULCH. 100% MULCH AREAS AND BE INCORPORATED AND ROTO-TILLED TO A 6" DEPTH. TO PREPARE EXCESSIVE LIME IN PLANTING BEDS SOIL, APPLY 2 LB. OF ELEMENTAL SULFUR OR 15 TO 25 LB. OF ALUMINUM SULFATE PER 1,000 SQ. FT. IN EARLY FALL AND WATER WELL DURING GROWING SEASON. APPLY 1 LB. OF 0-0-20 FERTILIZER OR IRON CHELATE EACH TREE EXCEEDING THREE TIMES THE DIAMETER OF THE DRIFTLINE. DO NOT APPLY FERTILIZER UNTIL TREES HAVE BEEN PLANTED. IN LATE FALL, APPLY HALF THE FERTILIZER IN SPRING AND HALF IN FALL. USE THE RECOMMENDED FERTILIZER RATES FOR DECIDUOUS TREES. USE HALF THE FULL YEAR RATES FOR EVERGREEN TREES. SHRUBS TO RECEIVE 0.5 LB. OF NITROGEN AND 1.1 LB. OF PHOSPHATE PER 1,000 SQ. FT. SPREAD RECOMMENDED RATES USED EVERY 30 DAYS FOR SHRUBS, STARTING 10 WEEKS FROM THE PLANT DATE AND EXTENDING 1' BEYOND THE ENDS OF THE BRANCHES. APPLY HALF THE RECOMMENDED FERTILIZER IN EARLY SPRING AND HALF IN EARLY SUMMER.
- NATIVE GRASS AREAS: ALL SEEDS ARE TO RECEIVE 2 COLTUS PER 1,000 SQ. FT. OF 100% MULCH. AREAS TO RECEIVE 100% MULCH AND ROTO-TILLED TO A 6" DEPTH. TO REDUCE EXCESSIVE LIME IN NATIVE GRASS AREAS, APPLY 2 LB. OF ELEMENTAL SULFUR OR 15 TO 25 LB. OF ALUMINUM SULFATE PER 1,000 SQ. FT. IN EARLY FALL AND WATER WELL DURING GROWING SEASON. NATIVE GRASS AREAS ARE ALSO TO RECEIVE 1 LB. OF NITROGEN IN LATE SPRING, 0.7 LB. OF NITROGEN IN LATE SUMMER, AND 0.3 LB. OF NITROGEN IN EARLY FALL. NATIVE GRASS AREAS ARE ALSO TO RECEIVE 1.1 LB. OF PHOSPHATE PER 1,000 SQ. FT. IN EARLY FALL AND WATER INTO SOIL AFTER ROTO-TILLING.

Schematic Landscape Diagram

- Names of Project Amendment for 2150 Garden of the Gods Road Issue: 2/28/14
 Citywide - Zoned from (Figure 4 of Landscape Policy Manual):
 Possible: Possible & Prime
- Plant Communities:
 1- High Forest
 2- Lower Forest
 3- Lower Riparian
 4- Ponderosa Pine Forest
 5- Ponderosa Pine Forest
 6- Lower Forest
 7- Lower Forest
- Height by Species on Vegetation:
 V- Very Low (6 to 7 inches per year)
 L- Low (7 to 13 inches per year)
 M- Moderate (15 to 25 inches per year)
 H- High (more than 25 inches per year)
- Climate Zone: Foothills & Plains
 Lower Elevation Riparian, Foothill Shrublands,
 Ponderosa Pine Forest



NATIVE SEED ESTABLISHMENT

- STOOPELTOP TOPOGRAPHY SHOULD BE SPREAD EVENLY OVER ALL AREAS TO RECEIVE NATIVE SEED. SEED BED IS TO BE WEED-FREE. SPECIFIED SOIL AMENDMENTS SHOULD BE SPREAD AND INCORPORATED INTO TOP 6" OF SOIL. SEED BED IS TO BE RAVED SMOOTH AND FREE OF DEBRIS LARGER THAN 7/8" IN DIAMETER. ANY AREAS THAT THE CONTRACTOR BELIEVES TO BE SUSCEPTIBLE TO EROSION ARE TO BE BROUGHT TO THE ATTENTION OF THE GENERAL CONTRACTOR PRIOR TO SEEDING. THE SPECIFIED SEED MIX IS TO BE APPLIED AT THE RATE SPECIFIED BY BRUSHED TUFF GRADE AND APPLYING INTO TOP 6" OF SOIL OR BY MECHANICAL HYDROSEEDING. SEED IS TO BE APPLIED BETWEEN APRIL 1 AND SEPTEMBER 30. SEED SHALL NOT BE BORN IF GROUND IS IN A FROZEN STATE. CONTRACTOR IS TO PROVIDE INCIDENTAL WATER DURING THE SEEDING PROCESS. SPECIFIED FERTILIZER IS TO BE PROVIDED A MINIMUM OF 1 WEEKS, OR UNTIL ESTABLISHED AND MEETING CONSUMER REQUIREMENTS. SPECIFIED FERTILIZER IS TO BE PROVIDED 3 WEEKS AFTER SEEDING BEGINS. MOVING MAY BE NECESSARY DURING THE SEEDING PROCESS TO KEEP WHADSE WEEDS FROM SETTING SEEDS. CONTRACTOR IS RESPONSIBLE FOR KEEPING BARE AREAS COVERED UNDER CONTROL FOR 12 MONTHS AFTER INITIAL SEEDING AND IS ALSO RESPONSIBLE FOR OVER SEEDING BARE AREAS UNTIL SPECIFIED NATIVE GRASSES COVER ALL AREAS AND AREAS WITHOUT SPECIFIED NATIVE GRASS DO NOT EXCEED 6" AT ANY TIME.
- EVER SEEDING: SIX WEEKS AFTER THE INITIAL SEEDING DURING THE FIRST GROWING SEASON AND DURING THE SPRING OF THE SECOND GROWING SEASON CONTRACTOR IS TO REPAIR ANY ERODED AREAS AND OVER SEED ALL BARE NATIVE GRASS AREAS. CONTRACTOR IS TO USE SPECIFIED SEED MIX TO BE BROADCAST AND RAVED INTO TOP 6" TO 8" OF SOIL OR BY MECHANICAL HYDROSEEDING. INCIDENTAL SEED MIX IS TO BE PROVIDED TO ESTABLISH OVER-SEEDED AREAS. SPECIFIED FERTILIZER IS TO BE APPLIED 3 WEEKS AFTER SEEDING. BROADCAST SEEDS ARE TO BE KEPT UNDER CONTROL BY MANUALLY PULLING OR CUTTING WEEDS OR SPRAYING AS BROADCAST SEEDS EMERGE. HERBICIDE AND APPLICATION SHALL CONFORM TO ALL APPLICABLE LAWS OF THE STATE OF COLORADO AND MANUFACTURERS INSTRUCTIONS.

REQUIRED INSPECTIONS

- THE CITY OF COLORADO SPRINGS REQUIRES THE FOLLOWING INSPECTIONS AND DOCUMENTS IN ORDER TO ACCEPT LANDSCAPE AND IRRIGATION AFFAIRS PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY. FAILURE TO PROVIDE THE REQUIRED DOCUMENTS AND COORDINATE INSPECTIONS DURING AND AFTER CONSTRUCTION WILL DELAY FINAL ACCEPTANCE OF THE LANDSCAPE. CONTRACTOR IS RESPONSIBLE FOR CONTRACTING AND SCHEDULING INSPECTIONS WITH LANDSCAPE ARCHITECT AT LEAST 48 HOURS PRIOR TO DESIRED INSPECTION DATE.
- LANDSCAPE PLANT MATERIAL INSPECTION: LANDSCAPE ARCHITECT WILL VERIFY CONDITION OF PLANT MATERIAL, INSTALLATION CONFORMANCE WITH PLANTING DETAILS, CORRECT PLANT MATERIAL SPECIES, SIZE, QUANTITY, AND PLANTING LOCATION.
- LANDSCAPE ELIGIBILITY INSPECTION: LANDSCAPE ARCHITECT WILL VERIFY FINAL GRADERS, SOIL AMENDMENTS, FERTILIZER, ELONGATION, AND EROSION CONTROL, MULCH, AND WOOD MULCH. FINAL GRADERS, SOIL AMENDMENTS, FERTILIZER, AND OTHER LANDSCAPE INSTALLATION ELEMENTS FOR CONFORMANCE WITH LANDSCAPE ARCHITECT PLANTING AND IRRIGATION SPECIFICATIONS. CONTRACTOR IS RESPONSIBLE TO PROVIDE ACCESS TO ALL AREAS TO BE INSPECTED AND TO PROVIDE ACCESS TO THE REQUIRED PLANTING MATERIALS AND PLANTING EQUIPMENT. RECEIPTS MUST HAVE THE DATE AND PROJECT NAME OF THE INSPECTION, THE NAME OF THE INSPECTOR, AND THE RESULTS OF THE INSPECTION.
- FINISHED IRRIGATION SYSTEM INSPECTION: LANDSCAPE ARCHITECT WILL VERIFY SYSTEM COMPONENTS, ACTIVATE AND TEST EACH ZONE, DRIP IRRIGATION OPERATION, AND OVERALL COMPLIANCE WITH THE IRRIGATION PLAN.

FINAL LANDSCAPE PLAN

PROJECT NAME:
 DEVELOPMENT PLAN MAJOR AMENDMENT FOR
 PROPOSED SELF STORAGE FACILITY
 2150 GARDEN OF THE GODS ROAD
 Colorado Springs, CO

DATE: 08 APRIL 2014
 SHEET NO.: 10
 SHEET TITLE: FINAL LANDSCAPE PLAN

DATE: 10 AUGUST 2014
 SHEET NO.: 8
 SHEET TITLE: MINOR AMENDMENT

DATE: 3 MARCH 2016
 SHEET NO.:
 SHEET TITLE: MINOR AMENDMENT

FIGURE 7

IRRIGATION LEGEND

- MANHOLE PIPE-CLASS 200 PVC PIPE (1-1/4" DIA. UNLESS OTHERWISE NOTED)
- ◇ PIPE SLEEVE SIZE (CLASS 200 PVC)
- P.O.C. POINT OF CONNECTION (TO EXISTING MAINLINE)
- ⊗ BACKFLOW PREVENTION DEVICE (FEBCO 1" GSI) (PP INSTALLED PER CODE OUTSIDE OF BUILDING)
- ⊙ QUICK-CLOSURE VALVE (RAMBERD MODEL 87C)
- ⊠ 3/4" BRASS CROSS-HANDLE GATE VALVE (MANUAL DRAIN FOR MAINLINE)
- ⊡ FEBCO 1/2" BS (RAMBERD ESPRIMO INDOOR MOUNT Q STATIONS USED)
- ▲ HANDED WIRELESS RAIN-CLICK AND WIR-CRICK RAIN SENSOR SYSTEM (INSTALLED ON BUILDING ROOF EYE)
- ② ZONE # (GPM DISCHARGE)
- ⊕ REMOTE CONTROL VALVE SIZE
- ⊖ DRIP IRRIGATION REMOTE CONTROL VALVE ASSEMBLY (RAMBERD P2A VALVE, 1/2" BS-150A (100-MESH) FILTER)
- LATERAL PIPE FOR DRIP IRRIGATION (CULVERT/PIPE FROM 10" TO 1/4" DIAMETER BURY LATERAL UP TO 12" DEEP)
- ▲ RAMBERD PS-HMG-100 IN-LINE PRESSURE REGULATOR (INSTALL IN 1" MIN. VALVE BOX)
- RAMBERD ZERO-TURE 770 DRIP IRRIGATION PIPE (1/2" DIA. ROUTE ACCORDINGLY TO PLANT MATERIAL)
- RAMBERD FLUSH-CAP TPO-C5-21 (INSTALL IN 1" MIN. VALVE BOX)

SYSTEM DESCRIPTION

IRRIGATION FOR NEW PLANTINGS TO BE PROVIDED FROM AN AUTOMATED SPRINKLER SYSTEM CONNECTING TO A DEDICATED 1" IRRIGATION WATERLINE INSIDE THE MANAGER'S BUILDING. THE BACKFLOW PREVENTER AND CONTROLLER ARE TO BE LOCATED INSIDE THE BUILDING. THE SYSTEM IS DESIGNED FOR A MINIMUM 80 PSI IN THE MAIN LINE, AND THE NEW ZONES USE APPROX. 2 GPM COMBINED. COORDINATE INSTALLATION OF ALL IRRIGATION COMPONENTS WITH OWNERS REPRESENTATIVE AND OTHER TRADES. BALL VALVES ARE PROVIDED BEFORE EACH ZONE VALVE FOR MAINTENANCE OF SYSTEM. POTABLE WATER TO BE USED FOR ALL IRRIGATION.

IRRIGATION NOTES

1. THE IRRIGATION SYSTEMS TO RUN OFF A 1" DEDICATED COPPER IRRIGATION LINE COMING FROM THE MECHANICAL ROOM INSIDE THE BUILDING. IRRIGATION SHUT-OFF AND 1" FEBCO BS RP BACKFLOW PREVENTER AND CONTROLLER ARE TO BE LOCATED INSIDE MECHANICAL ROOM. CONTRACTOR TO VERIFY INSTALLATION OF SHUT OFF VALVE AND BACKFLOW DEVICE. BACKFLOW DEVICE TO BE INSTALLED PER REGIONAL BUILDING DEPARTMENT CODES. A MINIMUM 1" WATER PRESSURE OF 80 PSI IS REQUIRED (SYSTEM IS DESIGNED FOR OPERATING PRESSURE OF 80 PSI) AFTER PRESSURE REGULATORS FOR DRIP ZONES). VERIFY PRESSURE AND DISCHARGE RATE ON SITE PRIOR TO CONSTRUCTION OF IRRIGATION SYSTEM BEYOND THE BACKFLOW DEVICE.
2. COORDINATE LOCATION OF CONTROLLER AND RAIN SENSOR WITH OWNERS REPRESENTATIVE. CONNECT CONTROLLER TO POWER SUPPLY COORDINATE WITH OWNER, ZONE VALVE WIRES, RAIN SENSOR, DRINKING. INSTALL AS PER MANUFACTURERS INSTRUCTIONS. CONTRACTOR IS TO INSTALL A MANUAL DRAIN VALVE AT LOW POINT ALONG MAINLINE. LOCATION IS TO BE NOTED ON AS-BUILT DRAWING.
3. CONTRACTOR IS TO INSTALL 1/4" IRRIGATION WIRE BETWEEN CONTROLLER AND ELECTRIC VALVES. INSTALL TWO EXTRA WIRES FOR TROUBLESHOOTING OR FUTURE ADDITIONS TO SYSTEM.
4. CONTRACTOR IS TO VERIFY THAT MAINLINE AND LATERALS ARE FULLY OPERATIONAL AND OPERATING WITHOUT ANY LEAKS. AFTER INSTALLATION OF NEW IRRIGATION CONTRACTOR IS TO TEST ALL ZONES CHECKING AND FEELS ANY LEAKS AND VERIFYING FLOPPED OPERATION OF EACH ZONE.
5. AFTER CONSTRUCTION CONTRACTOR IS TO SET NEW CONTROLLER TO RUN DRIP ZONES FOR 30 MINUTES FOUR TIMES PER WEEK. CONTROLLER WATERING DAYS AND TIMES ARE TO BE REDUCED IN SPRING AND FALL. CONTRACTOR IS TO MONITOR PLANT HEALTH AND ADJUST CONTROLLER AS NECESSARY THROUGHOUT WINTER PERIOD.
6. ALL UNDERGROUND UTILITIES ARE TO BE LOCATED AND CLEARLY MARKED PRIOR TO ANY DIGGING ON SITE. ALL MATERIALS AND INSTALLATION PRACTICES ARE TO BE IN COMPLIANCE WITH LOCAL CODES. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
7. CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ALL IRRIGATION SLEEVING. SLEEVING FOR DRIP LATERAL LINES IS TO BE 1/2" UNDERGROUND. ALL SLEEVING IS TO EXTEND TO BEYOND EDGE OF CONCRETE OR ASPHALT. ENDS OF SLEEVING ARE TO BE SECURELY COVERED AFTER INSTALLATION, AND SLEEVE LOCATIONS ARE TO BE CLEARLY MARKED WITH PAINTED STAKES. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL SLEEVE LOCATIONS PRIOR TO CONSTRUCTION AND INSTALL ANY MISSING SLEEVES, IF NECESSARY.
8. IRRIGATION PLAN IS DIMENSIONAL. ANY COMPONENTS SHOWN ON PLAN OUTSIDE OF LANDSCAPE ARE SHOWN FOR CLARITY ONLY. USE ONLY STANDARD FITTINGS. MAINLINE PIPE DEPTH IS TO BE 18" TO 24". LATERAL LINE DEPTH IS TO BE 18" TO 24". 1/2" OR 3/4" POLY DRIP LINE IS TO BE SECURED AT FINAL SOIL GRADE IN ROCK OR MULCH BEDS, UNLESS OTHERWISE NOTED.
9. NOTIFY LANDSCAPE ARCHITECT AND OWNERS REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN PLAN DRAWINGS AND CONDITIONS IN THE FIELD PRIOR TO CONSTRUCTION OF ANY PROPOSED IRRIGATION.
10. JON WALSH, LANDSCAPE ARCHITECT, L.L.C. (JWA) PREPARED THIS PLAN BASED ON SITE LAYOUT AND SITE GRADING PLANS PROVIDED BY OTHERS. JWA ASSUMES NO LIABILITY FOR ANY WATER DAMAGE ON THIS SITE.
11. CONTRACTOR IS TO PROVIDE A ONE YEAR WARRANTY ON ALL IRRIGATION PARTS AND WORKMANSHIP. CONTRACT IS TO PREPARE AND PROVIDE AS-BUILT IRRIGATION DRAWINGS TO OWNER AT COMPLETION OF LANDSCAPE AND IRRIGATION CONSTRUCTION.
12. THE OWNER OF THIS PROPERTY AND ANY FUTURE OWNERS SHALL BE RESPONSIBLE FOR THE PROPER IRRIGATION MAINTENANCE OF THIS SITE. MAINTENANCE OF THIS SITE INCLUDES, BUT IS NOT LIMITED TO, IRRIGATION INSPECTIONS AND ADJUSTMENTS, IRRIGATION SYSTEM SHUT DOWN AND START UP, IRRIGATION LEAK REPAIR, IRRIGATION HEAD REPLACEMENT, RAIN SENSOR ADJUSTMENT, IRRIGATION CONTROLLER ADJUSTMENT, DRIP IRRIGATION MAINTENANCE, AND VERIFICATION THAT ALL LANDSCAPE AREAS ARE NOT BEING OVER-WATERED OR UNDER-WATERED. ALL MAINTENANCE SHOULD BE IN ACCORDANCE WITH STANDARDS PREPARED WITH THE "ALCC SPECIFICATIONS HANDBOOK" REVISED EDITION- 1986. OWNER SHOULD CONTACT THE LANDSCAPE MAINTENANCE CONTRACTOR, LANDSCAPE ARCHITECT, OR LANDSCAPE ARCHITECT REGARDING ANY QUESTIONS RELATING TO THE LANDSCAPE OR IRRIGATION MAINTENANCE OF THIS SITE.

VALVE DEMANDS

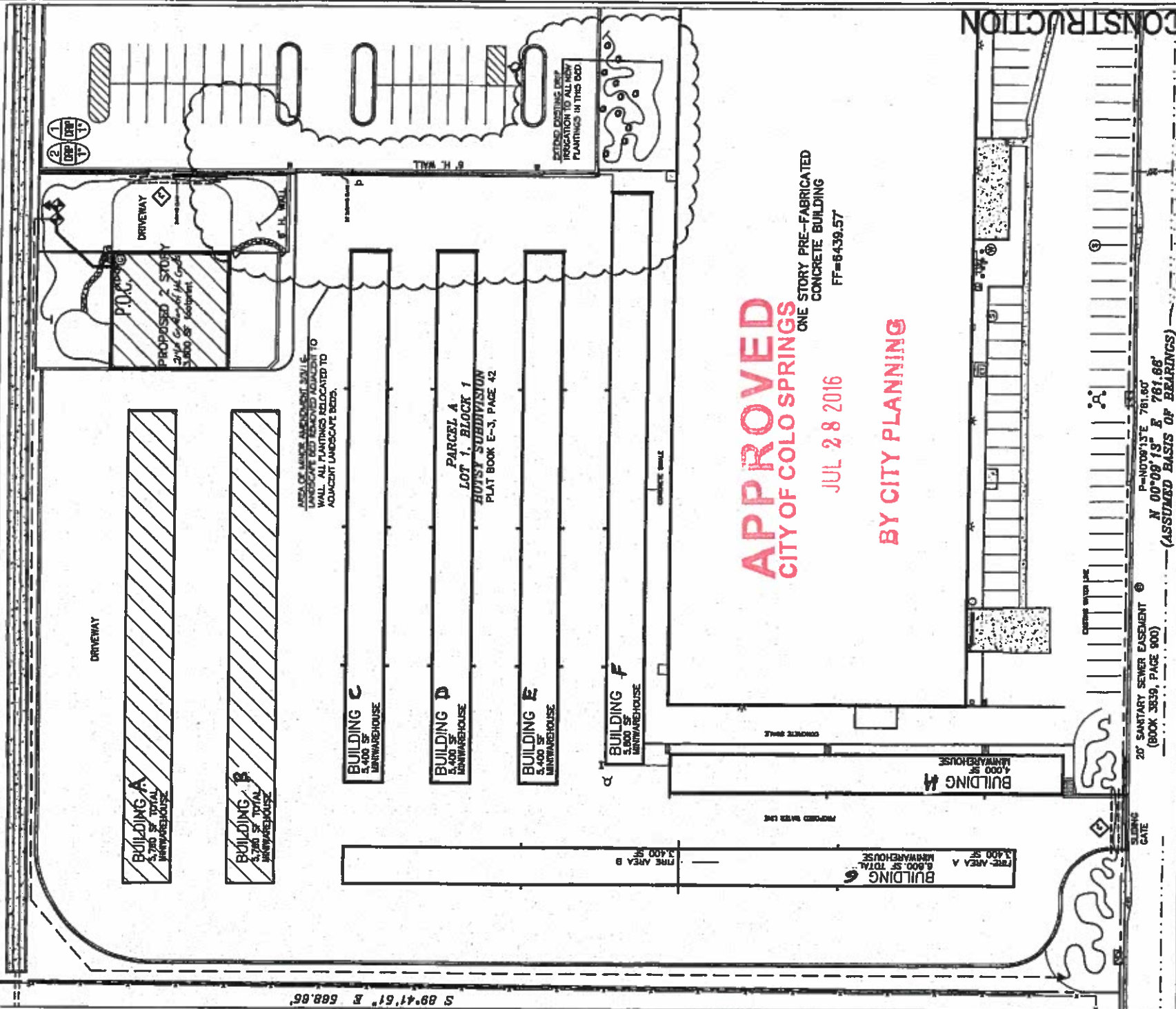
ZONE NUMBER	OPERATING PRESSURE	FLOW (GPM)	AVE. RUN TIME (MINUTES PER DAY)
1 (DRIP)	40 PSI	0.65	20
2 (DRIP)	40 PSI	0.45	20

SCALE: 1"=30'

File Number
CPC CU 14-00029-A1M114

Changes to Plan
Revised notes, paths, and walls at manager's residence

NOT FOR CONSTRUCTION



IRRIGATION PLAN

PROJECT NAME: DEVELOPMENT PLAN MAJOR AMENDMENT FOR PROPOSED SELF STORAGE FACILITY
2150 GARDEN OF THE GODS ROAD
Colorado Springs, CO

DATE: 08 APRIL 2014
REVISION: 10 AUGUST 2014
DESCRIPTION: SEE MINOR AMENDMENT
DATE: 3 MARCH 2016
DESCRIPTION: MINOR AMENDMENT

JWALSH
LANDSCAPE ARCHITECT
L.L.C.
JOHN WALSH, ARCHITECT

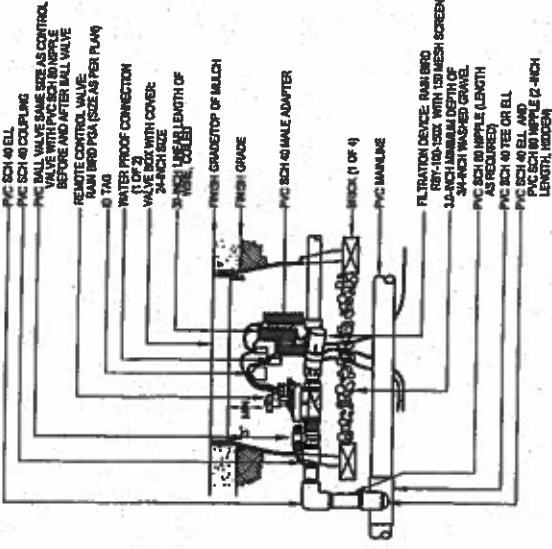
P.O. Box 354
Palmer Lake, CO 80133
(719) 640-9420
(719) 358-2529 fax
jwalsh@jwalshllc.com

DATE: 08 APR 2014
TIME: 09:00 AM
DRAWN BY: JWA

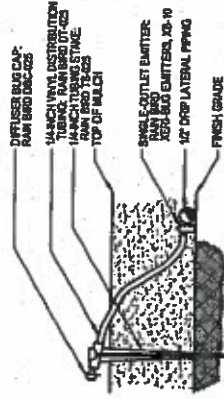
STAMP NO. 9 of 10
SHEET NO. 9 of 10
CPC CU 14-00029-A1M114

FIGURE 7

THWA02



2 DRIP IRRIGATION ZONE CONTROL VALVE



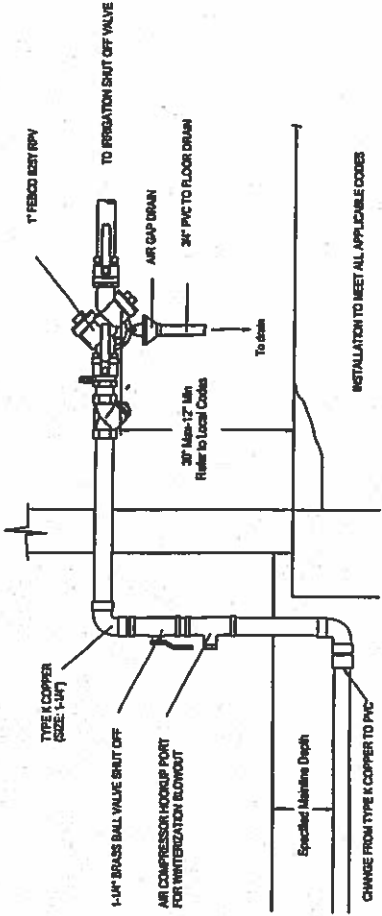
NOTE: DRIP LATERAL PIPING IS TO BE STATED TO GROUND SURFACE DEPTH OF 6\"/>

5 TYPICAL EMITTER ASSEMBLY

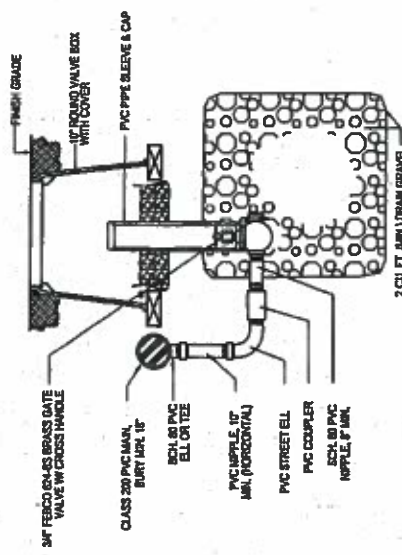
APPROVED
 CITY OF COLO SPRINGS

JUL 28 2016

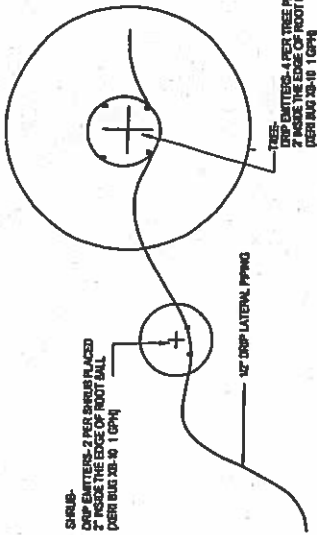
BY CITY PLANNING



1 BACKFLOW PREVENTION DEVICE

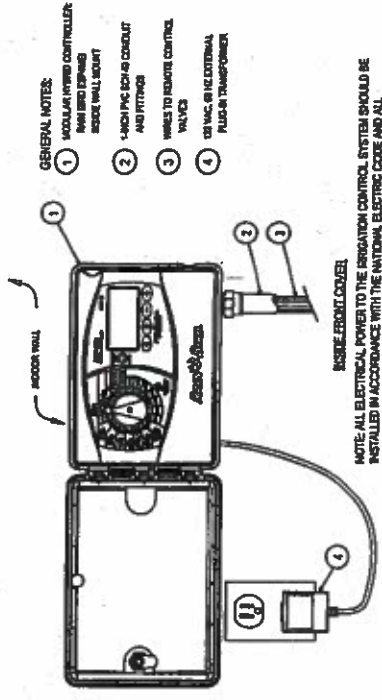


3 MANUAL DRAIN VALVE



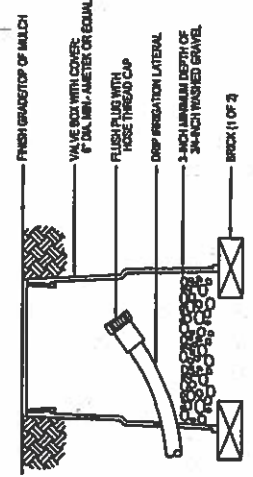
EMITTERS ARE TO BE EQUALLY SPACED AROUND THE PLANT. FOR SLOPE APPLICATIONS, EMITTERS SHALL BE PLACED ON UPHILL SIDE OF PLANT. EMITTERS SHALL BE PLACED 2\"/>

4 DRIP EMITTER PLACEMENT



NOTE: ALL ELECTRICAL POWER TO THE IRRIGATION CONTROL SYSTEM SHOULD BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE AND ALL APPLICABLE LOCAL ELECTRIC UTILITY CODES.

7 CONTROLLER



6 DRIP FLUSH CAP

FIGURE 7