

326 E. BOULDER APARTMENTS PUD DEVELOPMENT PLAN

LOTS 7-8, AND A PORTION OF LOT 6, BLOCK 44, CITY (TOWN) OF COLORADO SPRINGS, LOCATED IN THE
SOUTHWEST 1/4 OF SECTION 7, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH P.M. CITY OF COLORADO SPRINGS, STATE OF COLORADO.
ADDRESS: 326 E. BOULDER STREET & 209 CHEYENNE AVENUE

General Notes:

- All common areas, open space and landscape improvements shall be owned and maintained by the property owner and/or management company for the apartments.
- FLOODPLAIN STATEMENT: This property is located within Zone X, per Firm Panel 08041C0729G with an effective date of December 7, 2018.
- School and Park Fees in lieu of land dedication shall be provided at the time of recordation of the Utility Contract.
- All on-site drives, road, and surface parking facilities shall be asphalt and/or concrete.
- Signage is not approved with this plan. A separate sign permit is required. Please contact the City's Development Review Enterprise at 2880 International Circle for a Sign Permit application.
- The parties responsible for this plan have familiarized themselves with all current accessibility criteria and specifications and the proposed plan reflects all site elements required by the applicable ADA design standards and guidelines as published by the United States Department of Justice. Approval of this plan by the City of Colorado Springs does not assure compliance with the ADA or any other Federal or State accessibility laws or any regulations or guidelines enacted or promulgated under or with respect to such laws. Sole responsibility for compliance with Federal and State accessibility laws lies with the property owner.
- All lighting fixtures shall have full cut-off shielding or fixtures to reduce off-site lighting impacts.
- All curb, gutter, pedestrian ramps and sidewalk posing a safety hazard, damaged, exhibiting excessive deterioration or not meeting current City Engineering Standards, along E. Boulder St. and Washatch Ave. adjacent to the site will need to be removed and replaced prior to issuance of the Certificate of Occupancy (C.O.).
- The required parking for all developed uses shall be calculated per this PUD Development Plan.
- A metal sign with raised letters not less than 1 inch (25 mm) in size shall be mounted on all fire department connections serving automatic sprinklers, standpipes or fire pump connections. Such signs shall read: AUTOMATIC SPRINKLERS or STANDPIPES or TEST CONNECTION or a combination thereof as applicable. Where the fire department connection does not serve the entire building, a sign shall be provided indicating the portions of the building served.
- Immediate access to fire department connections shall be maintained at all times and without obstruction by fences, bushes, trees, walls or any other fixed or moveable object. Access to fire department connections shall be approved by the Fire Chief.
- Fences, where provided with an access gate equipped with a sign complying with the legend requirements of section 912.5 and a means of emergency operation. The gate and the means of emergency operation shall be approved by the fire chief and maintained operational at all times.

Legal Description:

Lots e-8, block 44, City of Colorado Springs, State of Colorado, according to the plat thereof recorded in Plat Book A of Page 3, except the part that is described as follows: Beginning at the Southwest corner of Lot 9 in said Block 44; thence West parallel with the South line of Lot 6 to Cheyenne Avenue; thence Northeasterly along the Southerly line of said Avenue to the Northeast corner of said Lot 6; thence South along the East line of said Lot 6 to the place of beginning.

Lot is comprised of 25,000 ± sq. ft. (0.574 ± ac).

Located in the Southwest 1/4 of section 7, township 14 south, range 66 west of the 6th p.m.

Site Data

Master Plan: Imagine Downtown Plan (2009)
 Existing Zoning: R4 - Eight Family Residential
 Existing Land Use: 7 Residential Units
 Proposed Zone: PUD (Multi-Family Residential)
 PUD Standards: 37 du/oc maximum; with a 40-foot maximum building height)
 PUD File No.: CPC-PUZ -18-00131
 Ordinance No.: 21 (16 New)
 Total Dwelling Units: 37 du/oc
 Proposed Gross Density: 6407425005 & 6407425006
 Tax Schedule Number: 25,000 Sq. Ft. (1/4-0.574 acres)
 Reasoning/Development Plan Area: 326 E. Boulder Street & 209 Cheyenne Avenue
 Property Address: Shooks Run
 Drainage Basin:

Dimensional Controls

Maximum Building Height: 40-Foot
 Minimum Building Setbacks:
 Front (E. Boulder St.) - 5-Foot
 Front (Cheyenne Ave.) - 5-Foot
 Side (West) - 5-Foot
 Rear (North) - 5-Foot
 Lot Coverage:
 Site Area - 25,000 Sq. Ft. (100%)
 Proposed Apartment Building - 5,620 Sq. Ft. (30%)
 Drives/Surface Parking - 4,200 Sq. Ft. (22%)
 Open Space (including walks) - 5,180 Sq. Ft. (27%)
 Undisturbed Area - 10,000 Sq. Ft. (21%)

Parking Summary

Overall Parking Required: 7 Spaces
 ADA Accessible parking stalls: 2 (2 Van Accessible Spaces)
 Surface Parking Spaces: 5 Spaces
 Existing Garage Parking: 1 Space
8 Spaces Provided
 Minimum Parking Size:
 9' x 18' Standard 90° Stall
 8' x 16' Compact 90° Stall
 Typical ADA Parking Stall:
 8.5' x 20' Stall
 Typical ADA Loading Zone:
 8' x 20' Stiped Area

Project Contacts:

OWNER
 PATRICK W. MIERITZ
 3411 N. INSTITUTE STREET
 COLORADO SPRINGS, CO 80907
 EMAIL: PATRICKMIERITZ@GMAIL.COM

DEVELOPER
 PATRICK W. MIERITZ
 3411 N. INSTITUTE STREET
 COLORADO SPRINGS, CO 80907
 EMAIL: PATRICKMIERITZ@GMAIL.COM

SURVEYOR
 ALTITUDE LAND CONSULTANTS
 201 ELIAS AVENUE, SUITE 13
 COLORADO SPRINGS, CO 80903
 CONTACT: KARL FRANKLIN, PE, PLS, EYW
 PHONE: 720.413.9671

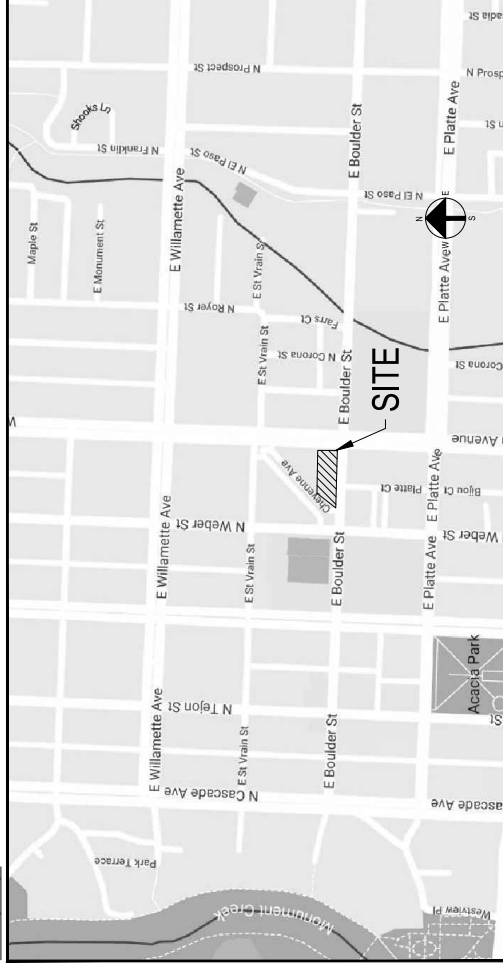
CIVIL ENGINEER
 ALTITUDE LAND CONSULTANTS
 3461 RINGSBY CT, SUITE 125
 DENVER, CO 80204
 CONTACT: ERIC BURTLBAFF, PE
 PHONE: 720.427.6161

LANDSCAPE ARCHITECT
 ALTITUDE LAND CONSULTANTS
 2727 N. CASCADE, SUITE 160
 COLORADO SPRINGS, CO 80907
 CONTACT: JOHN W. OLSON, RLA, LEED-AP, CNU-C
 PHONE: 719.231.3959

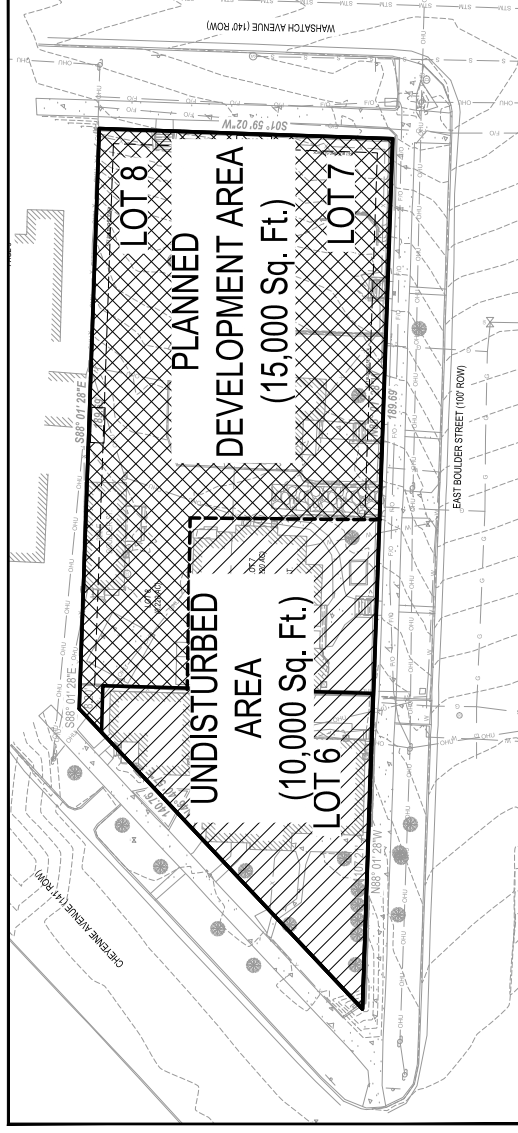
ARCHITECT
 IREMUEL DESIGN GROUP
 201 ELIAS AVENUE, SUITE 13
 COLORADO SPRINGS, CO 80903
 CONTACT: MARK BEHWHEEL, AIA
 PHONE: 719.310.6437

Construction Schedule

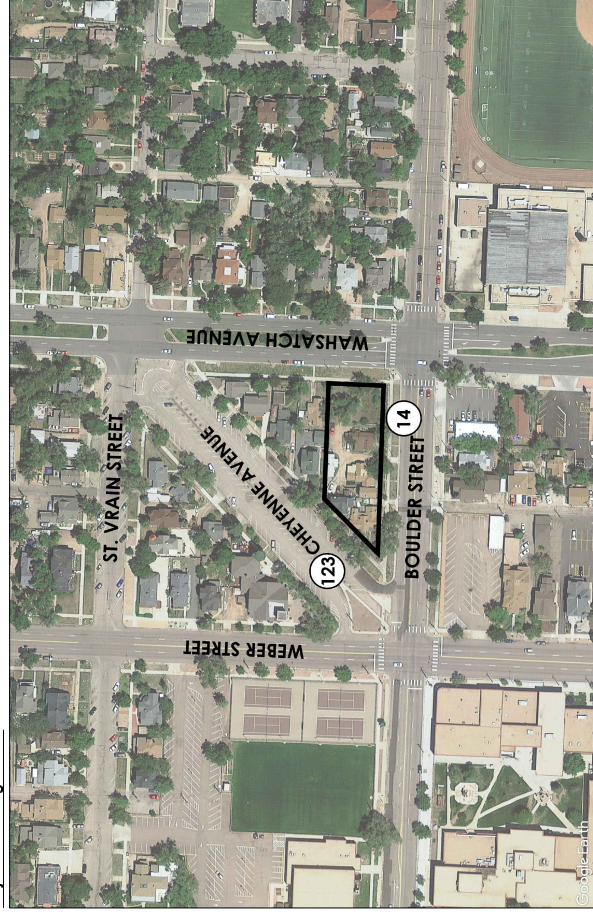
Commence Construction: Fall, 2019
 Construction Completion: Winter, 2021



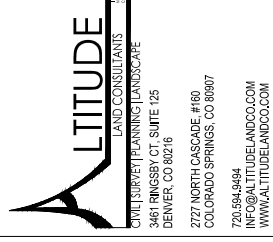
Existing Site Plan:



Adjacent Parking Exhibit:



DRAWING NO.	DRAWING NAME	SHEET NO.
DP1.0	COVER SHEET & NOTES	01 OF 7
DP2.0	SITE PLAN	02 OF 7
DP3.0	PRELIMINARY GRADING & DRAINAGE PLAN	03 OF 7
DP4.0	PRELIMINARY UTILITY PLAN	04 OF 7
DP5.0	PRELIMINARY LANDSCAPE PLAN	05 OF 7
DP6.0	BUILDING ELEVATIONS	06 OF 7
DP7.0	FIRE ACCESS PLAN	07 OF 7



326 E. BOULDER APARTMENTS
 PUD DEVELOPMENT PLAN
 326 E. BOULDER STREET & 209 CHEYENNE AVENUE
 CITY OF COLORADO SPRINGS, STATE OF COLORADO

18-040

NOT FOR CONSTRUCTION

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NO.	DATE	BY
1	03.05.19	JMO
2	03.05.19	JMO

DATE: 10.10.2018
 DRAWN BY: AKT
 CHECKED BY: JMO

COVER SHEET &
 NOTES

DP1.0
 SHEET 1 OF 7

FIGURE 1

326 E. BOULDER APARTMENTS PUD DEVELOPMENT PLAN

LOTS 7-8, AND A PORTION OF LOT 6, BLOCK 44, CITY (TOWN) OF COLORADO SPRINGS, LOCATED IN THE
SOUTHWEST 1/4 OF SECTION 7, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH P.M. CITY OF COLORADO SPRINGS, STATE OF COLORADO.
ADDRESS: 326 E. BOULDER STREET & 209 CHEYENNE AVENUE

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3461 PANGSBY CT, SUITE 425
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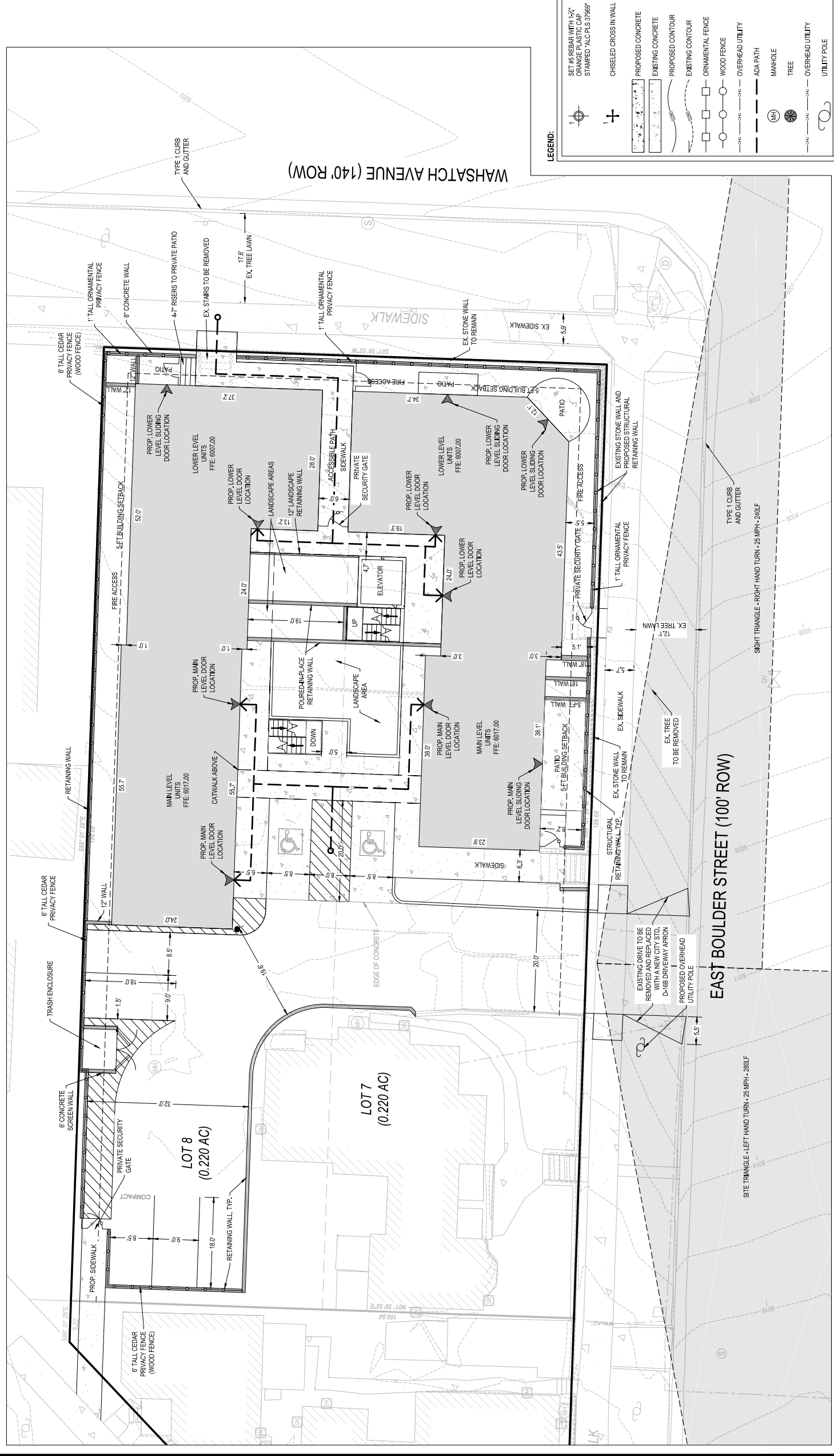
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NO.	DATE	BY
1	03.05.19	JMO
2	03.05.19	JMO

DATE: 10.10.2018
DRAWN BY: AKT
CHECKED BY: JMO

SITE PLAN

DP2.0
SHEET 2 OF 7



LEGEND:

- SET #5 REBAR WITH 1/2" ORANGE PLASTIC CAP STAMPED "ALC PLS 379697"
- CHISELED CROSS IN WALL
- PROPOSED CONCRETE
- EXISTING CONCRETE
- PROPOSED CONTOUR
- EXISTING CONTOUR
- ORNAMENTAL FENCE
- WOOD FENCE
- OVERHEAD UTILITY
- ADA PATH
- MANHOLE
- TREE
- OVERHEAD UTILITY
- UTILITY POLE

ALL PLANNETRIC LINEWORK THAT IS FADED BACK SHOWN HEREIN INDICATES AN EXISTING FEATURE (IMPROVEMENT, TOPOGRAPHY, UTILITY, ETC.). ALL PLANNETRIC TEXT THAT IS FADED BACK AND IT'S DIMENSION LINE HEREIN INDICATES A CALLOUT TO AN EXISTING FEATURE.

0 5 10 15 20 25 30
(IN FEET)
1" = 30'

GENERAL NOTES:

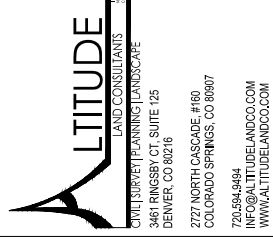
- FIELD WORK PERFORMED IN MARCH OF 2018 BY ALITUDE LAND CONSULTANTS INC.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT AND DOES NOT CONSTITUTE A TITLE SURVEY. EASMENTS AND ENCUMBRANCES REFERENCED HEREIN ARE TO BE DETERMINED BY THE APPLICABLE INSTRUMENTS AND RECORDS.
- BASE OF BEARINGS:** BEARINGS ARE BASED ON THE SOUTH LINE OF LOT 6 BETWEEN A FOUND CHISELED CROSS AND SET MAGNAL ASSUMED TO BEAR S88°17'28"E.
- ALL PROPERTY CORNERS WERE FOUND OR SET AS SHOWN ON THIS SURVEY.
- ALL MEASUREMENTS IN PARENTHESES ARE PER PLAT. ALL MEASUREMENTS IN BOLD ITALICS ARE AS MEASURED IN THE FIELD.
- ALL LINEAR MEASUREMENTS WERE TAKEN USING THE U.S. SURVEY FOOT.
- SITE ADDRESS IS: 326 E. BOULDER STREET & 209 CHEYENNE AVE.
- TEMPORARY POINTS ON THE CALCULATED POSITIONS AND CREATE THE SHEETS DURING CONSTRUCTION IN ACCORDANCE WITH C.S.S. 38-31.
- BENCHMARK:** ELEVATIONS ARE BASED ON COLORADO SPRINGS BENCHMARK 1536 MONUMENTED BY A BRASS CAP FOUND IN THE NORTHEAST CORNER OF A STORM SEWER INLET ON THE NORTHEAST CORNER OF THE INTERSECTION OF PRAIRIE AND BOULDER STREETS (NG 5228).
- SEE THE BLOCK SENSITIVE SETBACK DIAGRAM FOR ALL EXISTING BUILDING SETBACK INFORMATION (SAME SHEET).

LEGAL NOTICE:
ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS LAND SURVEY PLAT WITHIN THREE YEARS AFTER YOU FIRST DISCOVERED SUCH DEFECT IS DISCOVERED. IN NO EVENT MAY ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS LAND SURVEY PLAT BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.

FIGURE 1

326 E. BOULDER APARTMENTS PUD DEVELOPMENT PLAN

LOTS 7-8, AND A PORTION OF LOT 6, BLOCK 44, CITY (TOWN) OF COLORADO SPRINGS, LOCATED IN THE
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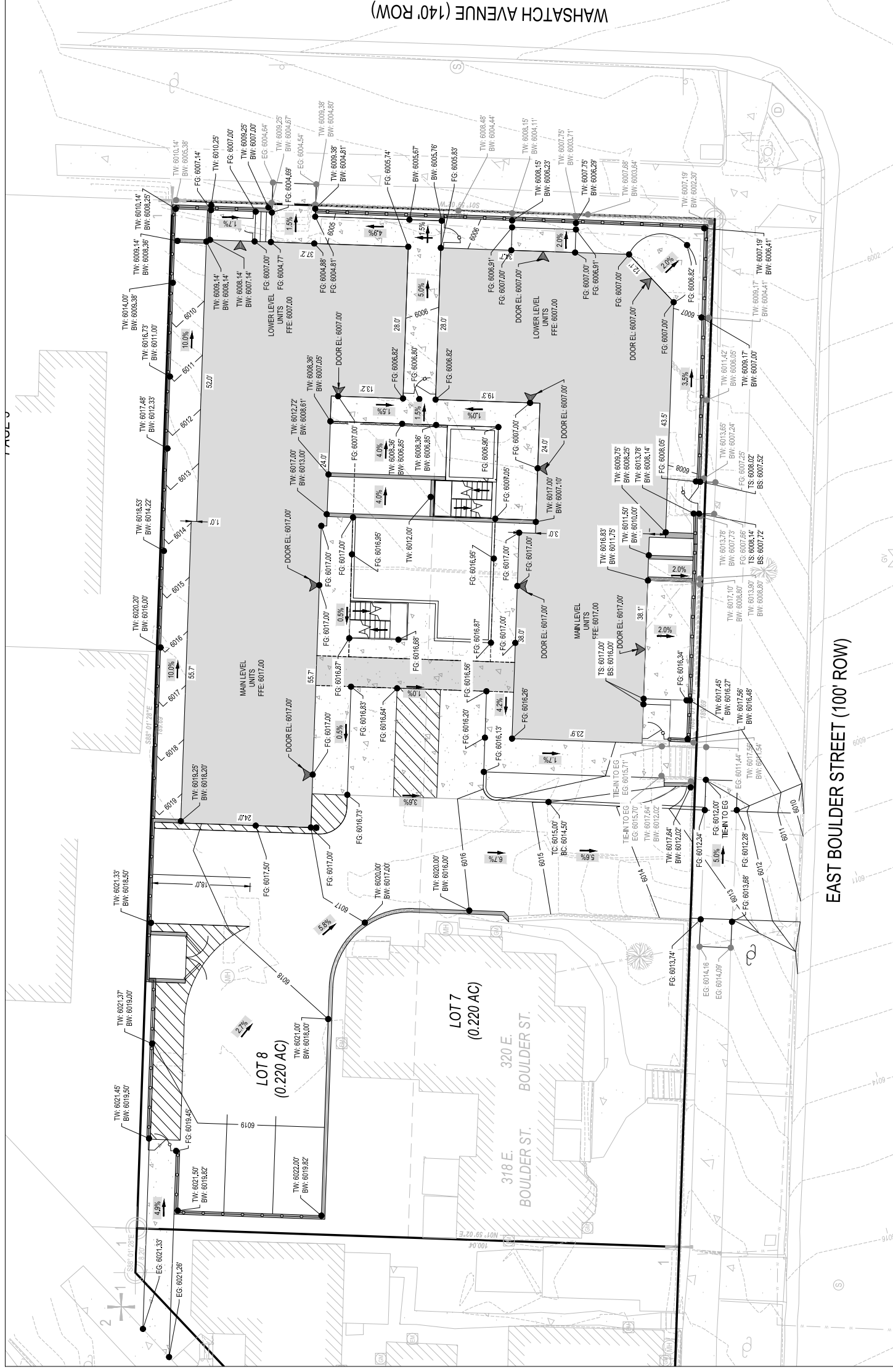
NO.	DATE	BY
1	11/19/18	ADD
2	02/28/19	ADD
3	03/05/19	ADD
4	04/22/19	ADD

DATE: 10/10/2018
DRAWN BY: ADD
CHECKED BY: ETB

**PRELIMINARY
GRADING PLAN**

DP3.0

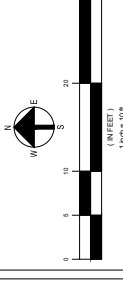
SHEET 3 OF 7



LEGEND:

- SET #5 REBAR WITH 1/4" CHANGE PLASTIC CAPS STAMPED "ALC PLS 37868"
- CHESELED CROSS IN WALL
- MANHOLE
- PROPOSED CONCRETE
- EXISTING CONCRETE
- PROPOSED CONTOUR
- EXISTING CONTOUR
- FLOWLINE
- GROUND SHOT
- ORNAMENTAL FENCE
- WOOD FENCE
- OVERHEAD UTILITY
- SIGN
- SPOT ELEVATION
- TREE
- UTILITY POLE

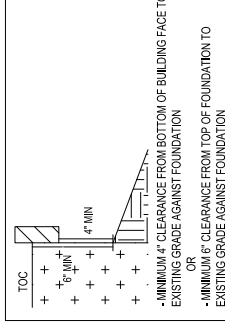
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ABBREVIATION LEGEND

FG	FINISHED GRADE
EG	EXISTING GRADE
FL	FLOW LINE
TC	TOP OF CURB
BC	BOTTOM OF CURB
BS	BOTTOM OF STEP
TS	TOP OF STEP
GS	GROUND SHOT
TW	TOP OF WALL
BW	BOTTOM OF WALL
DS	DOWNSPOUT
FFE	FINISHED FLOOR ELEVATION
HP	HIGH POINT

FOUNDATION DETAIL



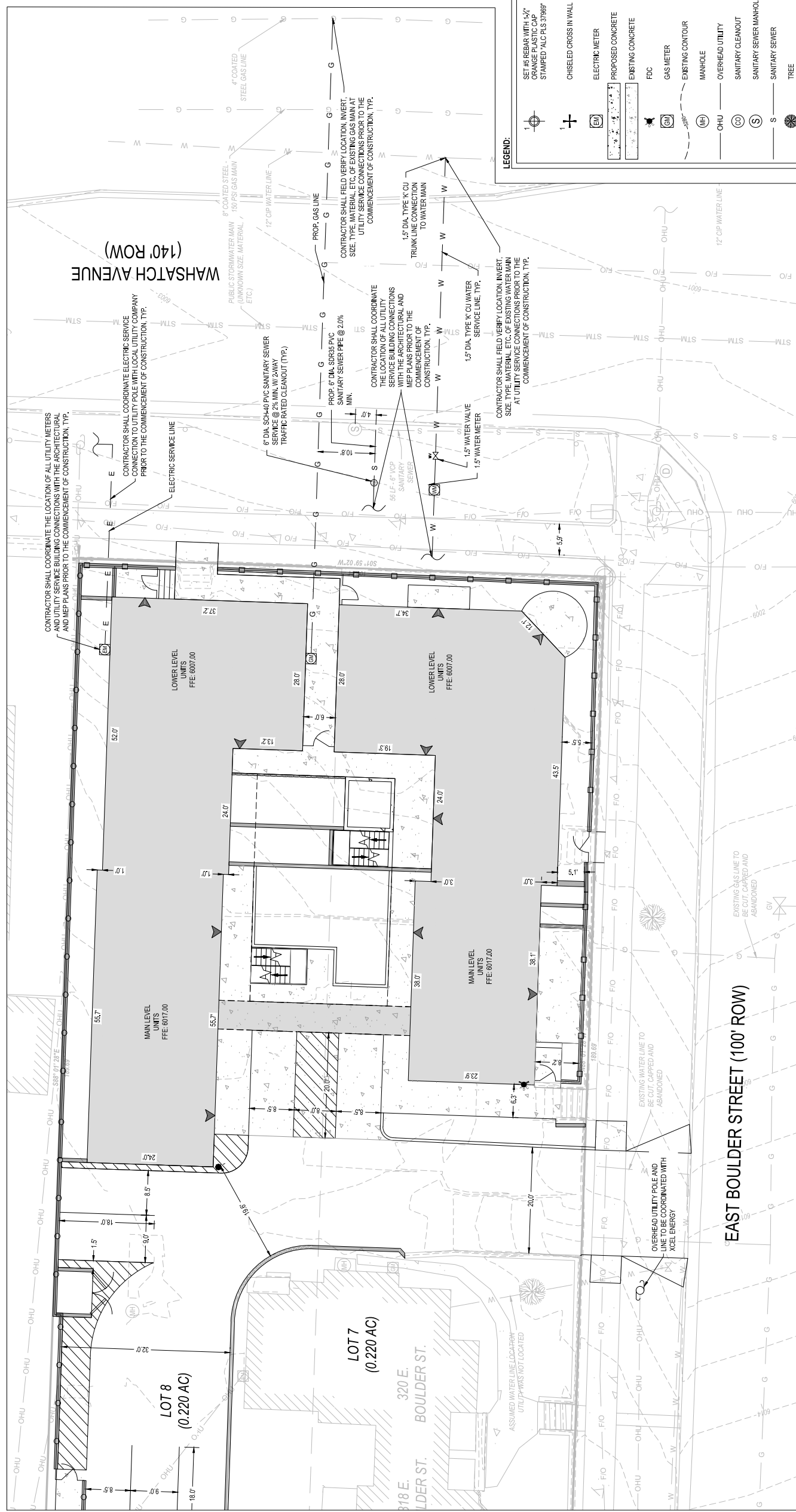
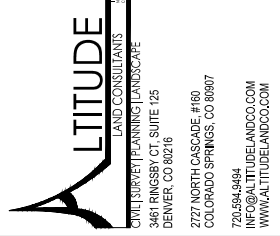
GENERAL NOTES:

- ALL TOPOGRAPHIC AND PLANIMETRIC INFORMATION CONTAINED HEREIN WAS GATHERED IN THE FIELD IN MARCH OF 2018 BY ALITUDE LAND CONSULTANTS, INC.
- ALL SITE SHOWN HEREON WERE BASED ON GRAPHICAL EVIDENCE, UTILITY MAPS FROM THE GOVERNING JURISDICTIONS AND SURVEY RECORDS.
- SITE BENCHMARK IS: 326 E. BOULDER STREET & 209 CHEYENNE AVENUE
- SITE BENCHMARK IS: ELEVATIONS ARE BASED ON COLORADO SPRINGS BENCHMARK V546 MONUMENTED BY A BRASS CAP FOUND IN THE NORTHEAST CORNER OF A STORM SEWER INLET, ON THE NORTHEAST CORNER OF THE INTERSECTION OF PRAIRIE ROAD AND BOULDER STREET. ELEVATION = 6669.25 (NGVD29).
- CONTRACTOR SHALL SLOPE ALL FINED GRADES DOWN AWAY FROM ALL BUILDING DOOR LOCATIONS, AS SHOWN.

FIGURE 1

326 E. BOULDER APARTMENTS PUD DEVELOPMENT PLAN

LOTS 7-8, AND A PORTION OF LOT 6, BLOCK 44, CITY (TOWN) OF COLORADO SPRINGS, LOCATED IN THE
SOUTHWEST 1/4 OF SECTION 7, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH P.M. CITY OF COLORADO SPRINGS, STATE OF COLORADO.
ADDRESS: 326 E. BOULDER STREET & 209 CHEYENNE AVENUE



- GENERAL NOTES:**
1. ALL TOPOGRAPHIC AND PLANNING INFORMATION CONTAINED HEREIN WAS GATHERED IN THE FIELD IN MARCH OF 2018 BY ALITUDE LAND CONSULTANTS, INC.
 2. UTILITIES SHOWN HEREON ARE BASED ON GRAPHICAL EVIDENCE. UTILITY MAPS FROM THE GOVERNING JURISDICTIONS AND SURVEYED EVIDENCE IN THE FIELD.
 3. SITE BENCHMARK IS 326 E. BOULDER STREET & 209 CHEYENNE AVENUE.
 4. SITE BENCHMARK IS ELEVATION BASED ON COLORADO SPRINGS BENCHMARK (566 MONUMENTED BY A BRASS CAP) PRABE ROAD AND BOULDER STREET. ELEVATION = 6927.25 (NGVD28).
 5. CONTRACTOR SHALL CUT AND REMOVE SANITARY SERVICE IN ACCORDANCE WITH CITY OF COLORADO SPRINGS UTILITIES STANDARDS. ABSOLUTELY NO PORTION OF ANY OLD CUTOFF BUILDING SEWER LINE OR SEWER TAP WHICH SERVED ANY BUILDING ON THIS SITE WILL BE ALLOWED TO BE REUSED.
 6. EXISTING GAS SERVICE LINES FOR REMOVED BUILDINGS TO BE CAPPED AND ABANDONED.
- GENERAL NOTES FOR PRELIMINARY UTILITY PLANS:**
1. COLORADO SPRINGS UTILITIES (SPRING UTILITIES) SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION OF ALL WATER, WASTEWATER, ELECTRIC AND GAS FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THIS PRELIMINARY UTILITY PLAN.
 2. OWNER ACKNOWLEDGES THAT THE CONNECTION AND/OR EXTENSION OF UTILITY SERVICES TO THE PROPERTY IDENTIFIED IN THIS PRELIMINARY UTILITY PLAN (PROPERTY) SHALL BE IN ACCORD WITH ALL APPLICABLE CODES AND REGULATIONS. COLORADO SPRINGS UTILITIES LINE EXTENSION & SERVICE STANDARDS (STANDARDS), TARIFFS, COLORADO SPRINGS CITY CODE, RESOLUTIONS, AND POLICIES, AND Pikes Peak REGIONAL BUILDING DEPARTMENT CODES, IN EFFECT AT THE TIME OF UTILITY SERVICE CONNECTION AND/OR EXTENSION.
 3. OWNER ACKNOWLEDGES RESPONSIBILITY FOR THE COSTS OF EXTENSIONS OR UTILITY SYSTEM IMPROVEMENTS THAT

9. COLORADO SPRINGS UTILITIES DETERMINES NECESSARY TO PROVIDE UTILITY SERVICES TO THE PROPERTY OR TO ENSURE TIMELY DEVELOPMENT OF INTEGRATED UTILITY SYSTEMS SERVING THE PROPERTY AND AREAS OUTSIDE THE PROPERTY INCLUDING THE COSTS TO DESIGN AND INSTALL WATER SYSTEMS, WASTEWATER COLLECTION SYSTEMS, AND ANY GAS OR ELECTRIC LINES TO AND WITHIN THE PROPERTY. OWNER MAY BE LIABLE FOR A COST RECOVERY AGREEMENT AS PROVIDED IN UTILITIES RULES AND REGULATIONS.
10. COLORADO SPRINGS UTILITIES SERVICES ARE AVAILABLE ON A FIRST-COME, FIRST-SERVED BASIS, AND COLORADO SPRINGS UTILITIES SERVICES ARE AVAILABLE ON A FIRST-COME, FIRST-SERVED BASIS. UTILITIES SERVICES ARE RESERVED FOR THE OWNER, AND COLORADO SPRINGS UTILITIES MAKES NO COMMITMENT AS TO THE AVAILABILITY OF ANY UTILITY SERVICE UNTIL SUCH TIME AS AN APPLICATION FOR PERMANENT SERVICE IS APPROVED BY COLORADO SPRINGS UTILITIES.
11. THE RELOCATION OR ALTERATION OF ANY EXISTING UTILITY FACILITIES WITHIN THE PROPERTY WILL BE AT THE OWNER'S SOLE COST AND EXPENSE. IF COLORADO SPRINGS UTILITIES DETERMINES THAT OWNER'S RELOCATION OR ALTERATION REQUIRES NEW OR UPDATED EASEMENTS, OWNER SHALL CONVEY THOSE EASEMENTS PRIOR TO RELOCATING OR ALTERING THE EXISTING UTILITY FACILITIES.
12. DISCREPANCIES BETWEEN RECORD DOCUMENT, ALL PROPERTY AND EASEMENTS THAT COLORADO SPRINGS UTILITIES DETERMINES ARE REQUIRED FOR ALL UTILITY FACILITIES NECESSARY TO SERVE THE PROPERTY OR TO ENSURE DEVELOPMENT OF AN INTEGRATED UTILITY SYSTEM, ALL EASEMENTS GRANTED BY SEPARATE INSTRUMENT SHALL UTILIZE COLORADO SPRINGS UTILITIES THEN-CURRENT PERMANENT EASEMENT AGREEMENT FORM.
13. THE WATER SYSTEM UTILITIES MUST MEET COLORADO SPRINGS UTILITIES CRITERIA FOR WATER QUALITY, RELIABILITY AND PRESSURE. INCLUDING LOOPING REQUIREMENTS (SEE COLORADO SPRINGS UTILITIES LINE EXTENSION AND SERVICE STANDARDS).
14. OWNER RECOGNIZES THAT THE EXTENSION OF WATER SYSTEM FACILITIES MAY AFFECT THE QUALITY OF WATER IN THE PROPERTY. OWNER SHALL CONVEY THOSE EASEMENTS PRIOR TO RELOCATING OR ALTERING THE EXISTING UTILITY FACILITIES.

9. WATER QUALITY IN ITS SYSTEM AS A RESULT OF OWNER'S WATER SYSTEM EXTENSIONS. OWNER MAY BE REQUIRED TO SUBMIT A WATER QUALITY PLAN FOR THE PROJECT.
10. OWNER MUST CONTACT COLORADO SPRINGS UTILITIES FIELD ENGINEERING TO DETERMINE THE LOCATION OF ALL PRESSURES IN EXCESS OF SPRING UTILITIES STANDARD GAS SYSTEM PRESSURE. (CONTACT FIELD ENGINEERING NORTH 862-4665 OR SOUTH 862-5664).
11. UTILITIES EASEMENT OR RIGHTS OF WAY WITHOUT THE WRITTEN APPROVAL OF COLORADO SPRINGS UTILITIES IMPROVEMENTS, STRUCTURES AND TREES SHALL NOT BE LOCATED WITHIN UTILITY EASEMENT. SHALL NOT VIOLATE NATIONAL ELECTRIC SAFETY CODE (NEC) PROVISIONS AND CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.
12. COLORADO SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF COLORADO SPRINGS UTILITIES TO APPLY ITS STANDARDS, AND IF THERE ARE ANY CONFLICTS BETWEEN ANY APPROVED DRAWINGS AND ANY PROVISION OF STANDARDS OR THE CITY CODE, THEN THE STANDARDS OR CITY CODE SHALL CONTROL. COLORADO SPRINGS UTILITIES RESERVES THE RIGHT TO MODIFY OR CHANGE ANY OF THE STANDARDS OR CITY CODES AS A CONDITION OF SERVICE. COLORADO SPRINGS UTILITIES SHALL NOT BE CONSIDERED AS A LIMITATION UPON THE AUTHORITY OF THE CITY OF COLORADO SPRINGS OR COLORADO SPRINGS UTILITIES TO ADOPT DIFFERENT ORDINANCES, RULES, REGULATIONS, RESOLUTIONS, POLICES OR CODES WHICH CHANGE ANY OF THE PROVISIONS OF THE STANDARDS SO LONG AS THESE APPLY TO THE CITY GENERALLY AND ARE IN ACCORD WITH THE THEN-CURRENT TARIFFS, RATES AND POLICIES OF COLORADO SPRINGS UTILITIES.

LEGEND:

- SET #5 REBAR WITH 1/2" ORANGE PLASTIC CAP STAMPED "ALC PLS 37969"
- CHISELED CROSS IN WALL
- ELECTRIC METER
- PROPOSED CONCRETE
- EXISTING CONCRETE
- P/C
- GAS METER
- EXISTING CONTOUR
- MANHOLE
- O-H-U OVERHEAD UTILITY
- (C) SANITARY CLEANOUT
- (S) SANITARY SEWER MANHOLE
- S SANITARY SEWER
- TREE
- UTILITY POLE
- W WATER LINE
- W-WATER METER
- X WATER VALVE

ALL PLANNING NETWORK THAT IS FADED BACK SHOWN HEREIN INDICATES AN EXISTING FEATURE IMPROVEMENT, TOPOGRAPHY, UTILITY, ETC. ALL DIMENSIONAL TEXT IS FAGED BACK AND DIMENSIONAL LINES ARE DASHED. DIMENSIONAL LINES INDICATES A CALLOUT TO AN EXISTING FEATURE.

0 10 20 30
(IN FEET)
1" = 30'

NOT FOR CONSTRUCTION

CONTRACT 210
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NO.	DATE	BY
1	02.28.19	ADD
2	02.28.19	ADD
3	03.05.19	ADD
4	04.22.19	ADD

DATE: 10.10.2018
DRAWN BY: ADD
CHECKED BY: ETB

**PRELIMINARY
UTILITY PLAN**

DP4.0

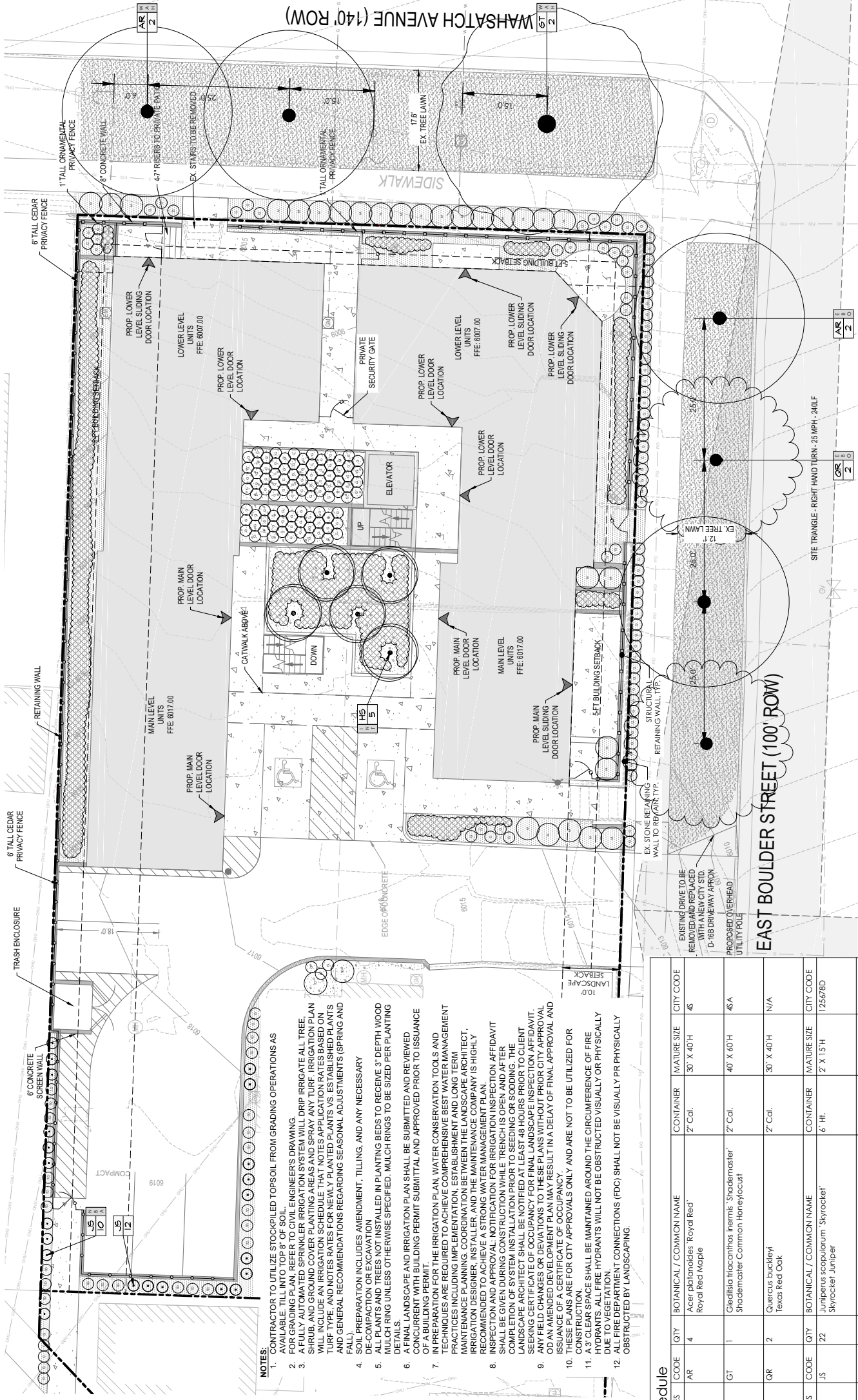
SHEET 4 OF 7

FIGURE 1

326 E. BOULDER APARTMENTS PUD DEVELOPMENT PLAN

LOTS 7-8, AND A PORTION OF LOT 6, BLOCK 44, CITY (TOWN) OF COLORADO SPRINGS, LOCATED IN THE
SOUTHWEST 1/4 OF SECTION 7, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH P.M. CITY OF COLORADO SPRINGS, STATE OF COLORADO.
ADDRESS: 326 E. BOULDER STREET & 209 CHEYENNE AVENUE

GROUND COVERS	QTY	BOTANICAL NAME / COMMON NAME	NOTES
	863 sf	'Genilia Hair' Streeded Cypress Organic Mulch	3" Depth
	2,043 sf	Decomposed Granite Breeze	3" Depth
	3,044 sf	Festuca arundinacea / Rizomatous Tall Fescue 'RIF'	SOD

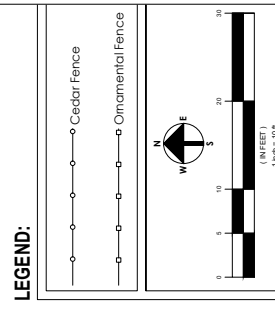


- NOTES:**
- CONTRACTOR TO UTILIZE STOCKPILED TOPSOIL FROM GRADING OPERATIONS AS SHOWN ON THE GRADING PLAN.
 - FOR GRADING PLAN, REFER TO CIVIL ENGINEER'S DRAWING.
 - A FULLY AUTOMATED SPRINKLER IRRIGATION SYSTEM WILL DRIP IRRIGATE ALL TREE, SHRUB, AND GROUND COVER PLANTING AREAS AND SPRAY ANY TURF. IRRIGATION PLAN WILL INCLUDE AN IRRIGATION SCHEDULE THAT NOTES APPLICATION RATES BASED ON TURF TYPE, AND NOTES RATES FOR NEWLY PLANTED PLANTS VS. ESTABLISHED PLANTS AND GENERAL RECOMMENDATIONS REGARDING SEASONAL ADJUSTMENTS (SPRING AND FALL).
 - SOIL PREPARATION INCLUDES AMENDMENT, TILLING, AND ANY NECESSARY SOIL COMPACTION OR EXCAVATION.
 - ALL PLANTS AND TREES NOT INSTALLED IN PLANTING BEDS TO RECEIVE 3" DEPTH WOOD MULCH RING UNLESS OTHERWISE SPECIFIED. MULCH RINGS TO BE SIZED PER PLANTING DETAILS.
 - A FINAL LANDSCAPE AND IRRIGATION PLAN SHALL BE SUBMITTED AND REVIEWED CONCURRENT WITH BUILDING PERMIT SUBMITTAL AND APPROVED PRIOR TO ISSUANCE OF A BUILDING PERMIT.
 - IN PREPARATION FOR THE IRRIGATION PLAN, WATER CONSERVATION TOOLS AND PRACTICES INCLUDING IRRIGATION SCHEDULE, ESTABLISHMENT AND LONG TERM MAINTENANCE PLANNING, COORDINATION BETWEEN THE LANDSCAPE ARCHITECT, IRRIGATION DESIGNER, INSTALLER, AND THE MAINTENANCE COMPANY IS HIGHLY RECOMMENDED TO ACHIEVE A STRONG WATER MANAGEMENT PLAN.
 - INSPECTION AND APPROVAL: NOTIFICATION FOR IRRIGATION INSPECTION AFFIDAVIT SHALL BE GIVEN DURING CONSTRUCTION WHILE TRENCH IS OPEN AND AFTER COMPLETION OF SYSTEM INSTALLATION PRIOR TO SEEDING OR SODDING. THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO CLIENT INSPECTION. ANY FIELD CHANGES OR DEVIATIONS TO THESE PLANS WITHOUT PRIOR CITY APPROVAL AND AN AMENDED DEVELOPMENT PLAN MAY RESULT IN A DELAY OF FINAL APPROVAL AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 - THESE PLANS ARE FOR CITY APPROVALS ONLY AND ARE NOT TO BE UTILIZED FOR CONSTRUCTION.
 - A 3' CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF FIRE HYDRANTS. ALL FIRE HYDRANTS WILL NOT BE OBSTRUCTED VISUALLY OR PHYSICALLY BY ANY LANDSCAPE ELEMENTS. ALL FIRE DEPARTMENT CONNECTIONS (FDC) SHALL NOT BE VISUALLY OR PHYSICALLY OBSTRUCTED BY LANDSCAPING.

Tree Schedule	PLANT SYMBOL	PLANT DESCRIPTION	CONTAINER	MATURE SIZE	QTY	BOUNTING / COMMON NAME	CONTAINER	MATURE SIZE	CITY CODE
DECIDUOUS TREES	AR	Acer platanoides 'Royal Red'	2' Cal.	30' X 40' H	4	Acer platanoides 'Royal Red'	2' Cal.	30' X 40' H	45
	GT	Gleditsia triacanthos 'hermès' 'Shademaster'	2' Cal.	40' X 60' H	1	Gleditsia triacanthos 'hermès' 'Shademaster'	2' Cal.	40' X 60' H	45A
	QR	Quercus laevis 'Texas Red Oak'	2' Cal.	30' X 40' H	2	Quercus laevis 'Texas Red Oak'	2' Cal.	30' X 40' H	N/A
EVERGREEN TREES	JS	Juniperus scopulorum 'Skyrocket'	6" Ht.	2' X 15' H	22	Juniperus scopulorum 'Skyrocket'	6" Ht.	2' X 15' H	125678D
FLOWERING TREES	HS	Hepacodium miconioides 'Seven Sons Flower'	5" Ht.	10' X 20" H	5	Hepacodium miconioides 'Seven Sons Flower'	5" Ht.	10' X 20" H	N/A

PLANT SYMBOL	PLANT DESCRIPTION	CONTAINER	MATURE SIZE
	Tall Deciduous Shrubs (Example: Fraxinus 'atlas' 'Columnaris' Tall Hedge Buckthorn)	#5	18" - 36" Diameter, 60" - 120" H
	Medium Shrubs (Evergreen or Deciduous) (Example: Eucalyptus 'obtus' 'Compactus' Dwarf Burning Bush)	#5	36" - 60" Diameter, 36" - 60" H
	Low Growing/ Step-able Shrubs and Perennials (Example: Penstemon patifolius Pineleaf Penstemon)	#1	Spread Varies; Max Height: 24"
	Ornamental Grasses (Example: Panicum virgatum 'Prairie Sky' Blue Switch Grass)	#1	12" - 36" Diameter, 24" - 36" H

Landscape Buffers & Screens See Code Section/Policy 323 & 317				Landscape Buffers & Screens See Code Section/Policy 322 & 317				Landscape Buffers & Screens See Code Section/Policy 320 & 317												
Street Name or Property Line (Elev.)	Width (in Ft.) Req. / Prov.	Linear Footage	Buffer Trees (1/20' Req./ Prov.)	Evergreen Trees Req. (80%/Prov)	Length of 6-ft Opaque Structure Req./Prov.	Buffer Tree Symbol Denoted on Plan	Percent Ground Plane Veg.	Street Name or Zone Boundary	Width (Feet) Req./Prov.	Linear Footage	Tree Spacing Req./Provided	No. of Trees Req./Provided	Shrub Substitutes Req./Prov.	Ornamental Grass Sub. Req./Prov.	Percent Ground Plane Veg.					
Northern Property Line	15-ft/15-ft	190	10	5	127	NBA	N/A	East Boulder Street	10	12	100	25	4	0	0	75%/75%				
Internal Landscaping (Less Public ROW)	15%	2250	5	5	0	INT	75%/75%	Wahsatch Avenue	10	17.5	100	25	4	3	10	0	0	20	0	75%/75%



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326 E. BOULDER APARTMENTS
PUD DEVELOPMENT PLAN
326 E. BOULDER STREET & 209 CHEYENNE AVENUE
CITY OF COLORADO SPRINGS, STATE OF COLORADO
18-040

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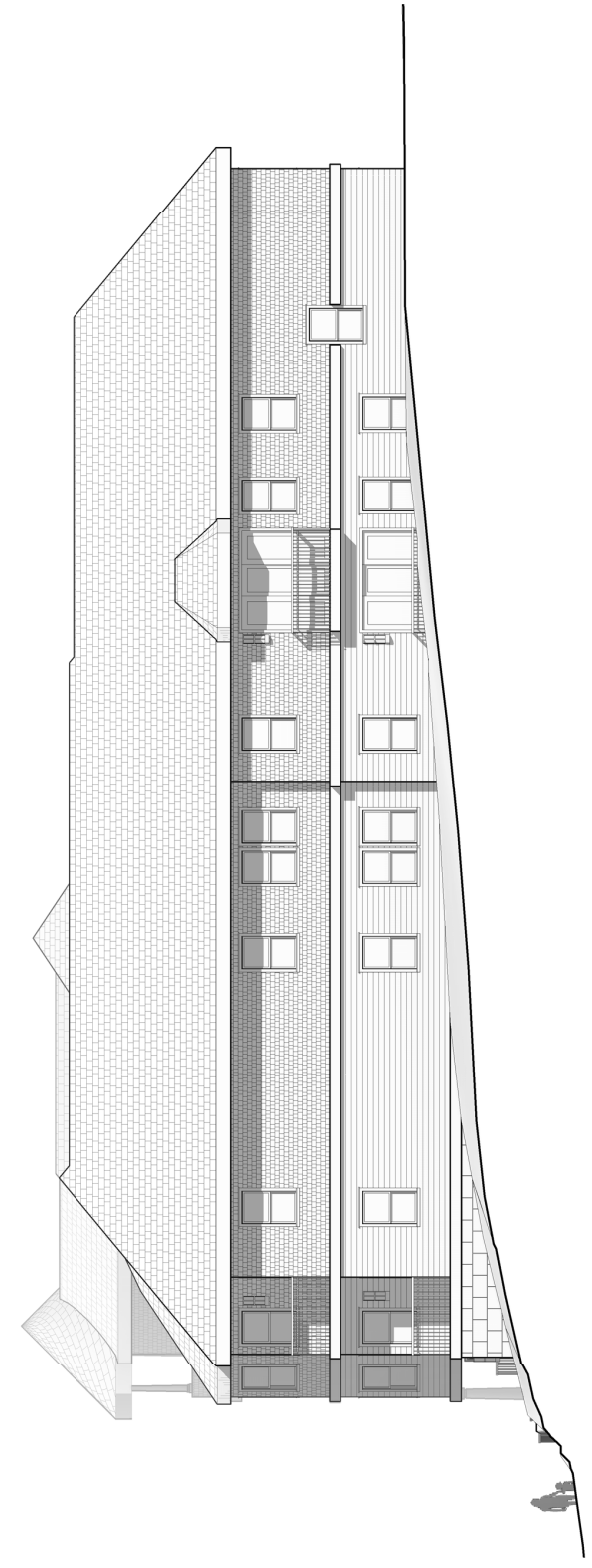
NO.	DATE	BY
1	03.05.19	JMO
2	03.05.19	JMO

DATE: 10.10.2018
DRAWN BY: AKT
CHECKED BY: JMO

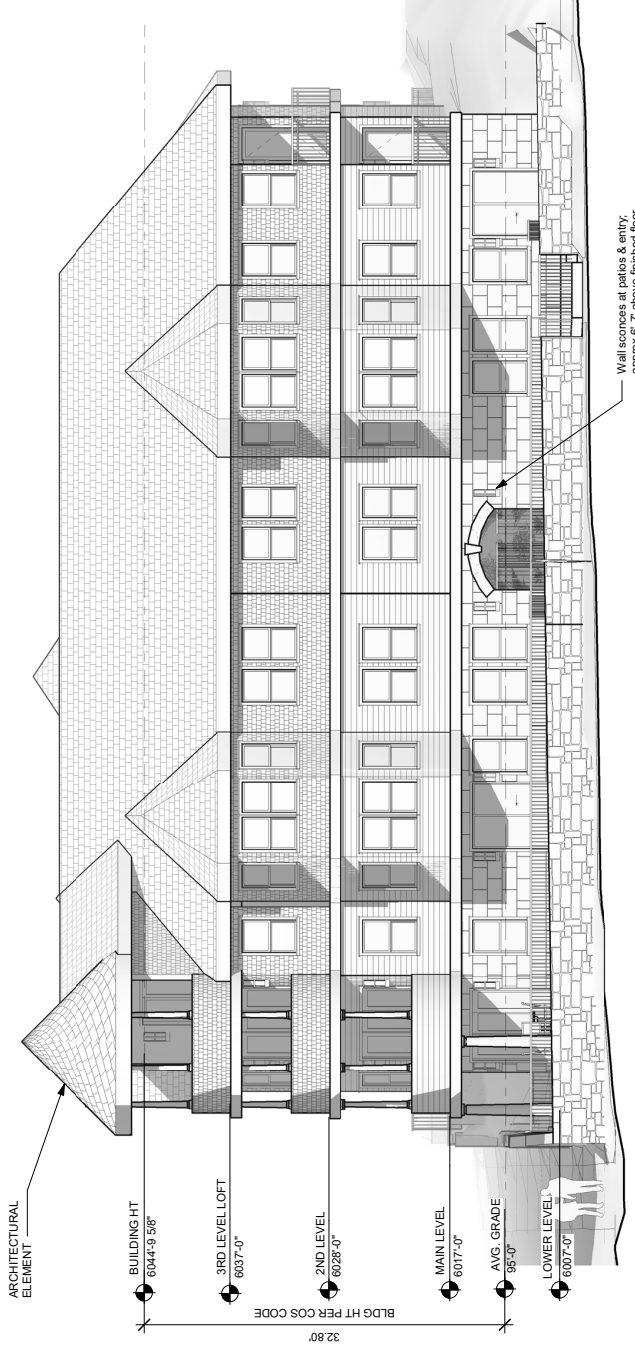
PRELIMINARY
LANDSCAPE
PLAN

DP5.0
SHEET 5 OF 7

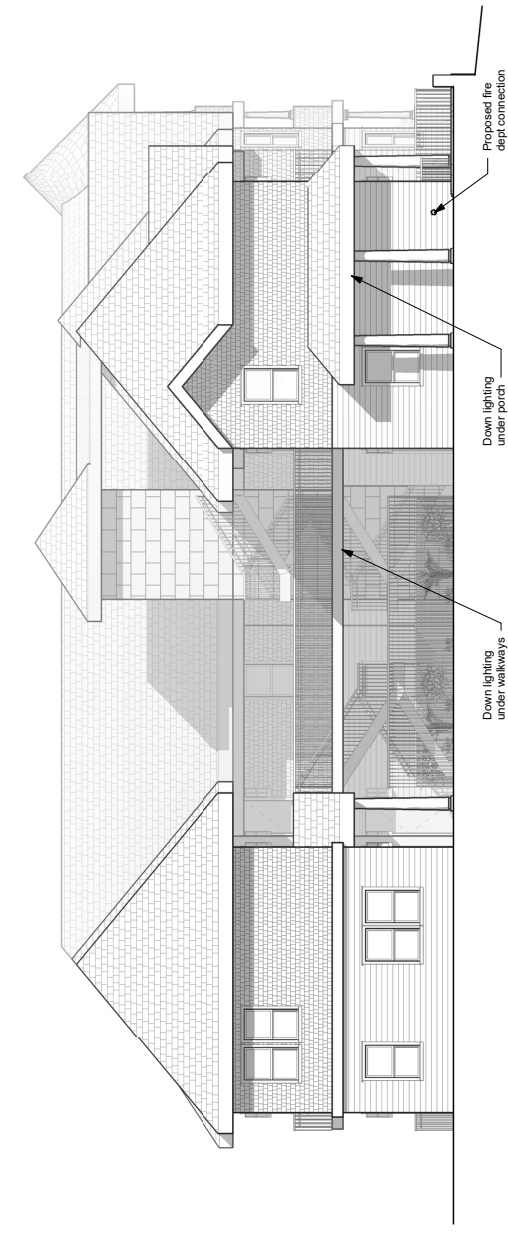
FIGURE 1



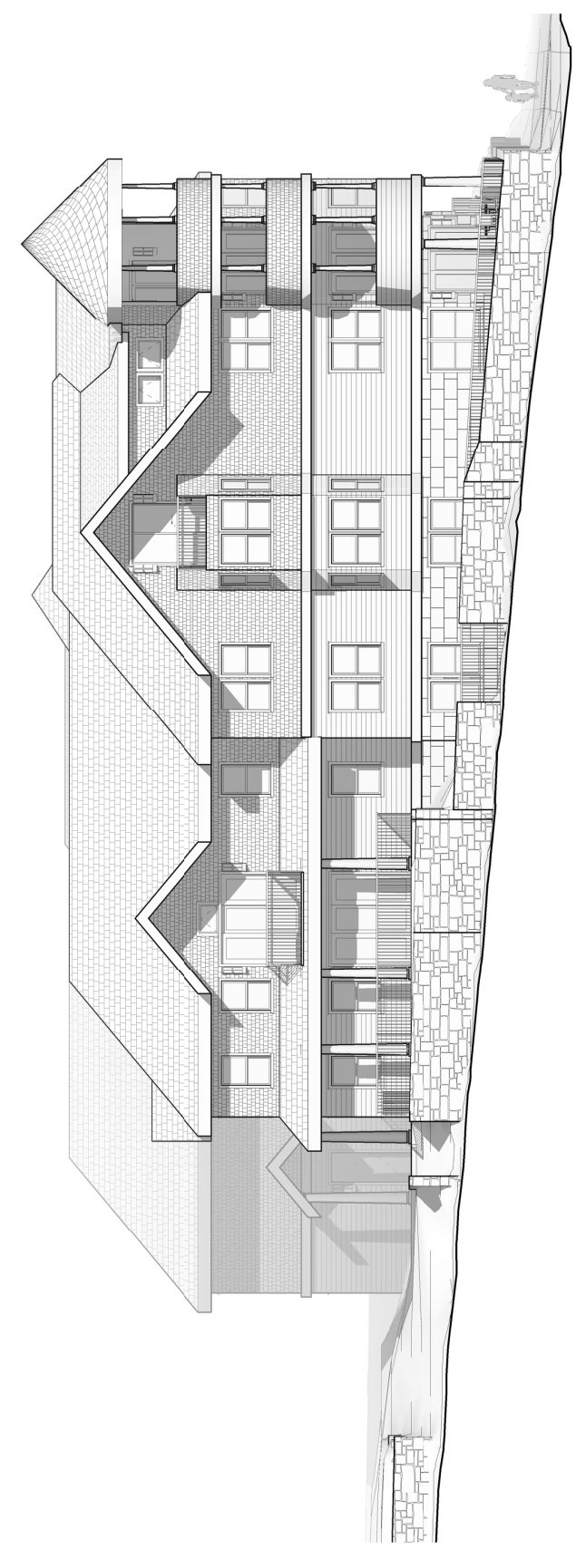
4 NORTH ELEVATION
1/8" = 1'-0"



3 EAST ELEVATION
1/8" = 1'-0"



2 WEST ELEVATION
1/8" = 1'-0"



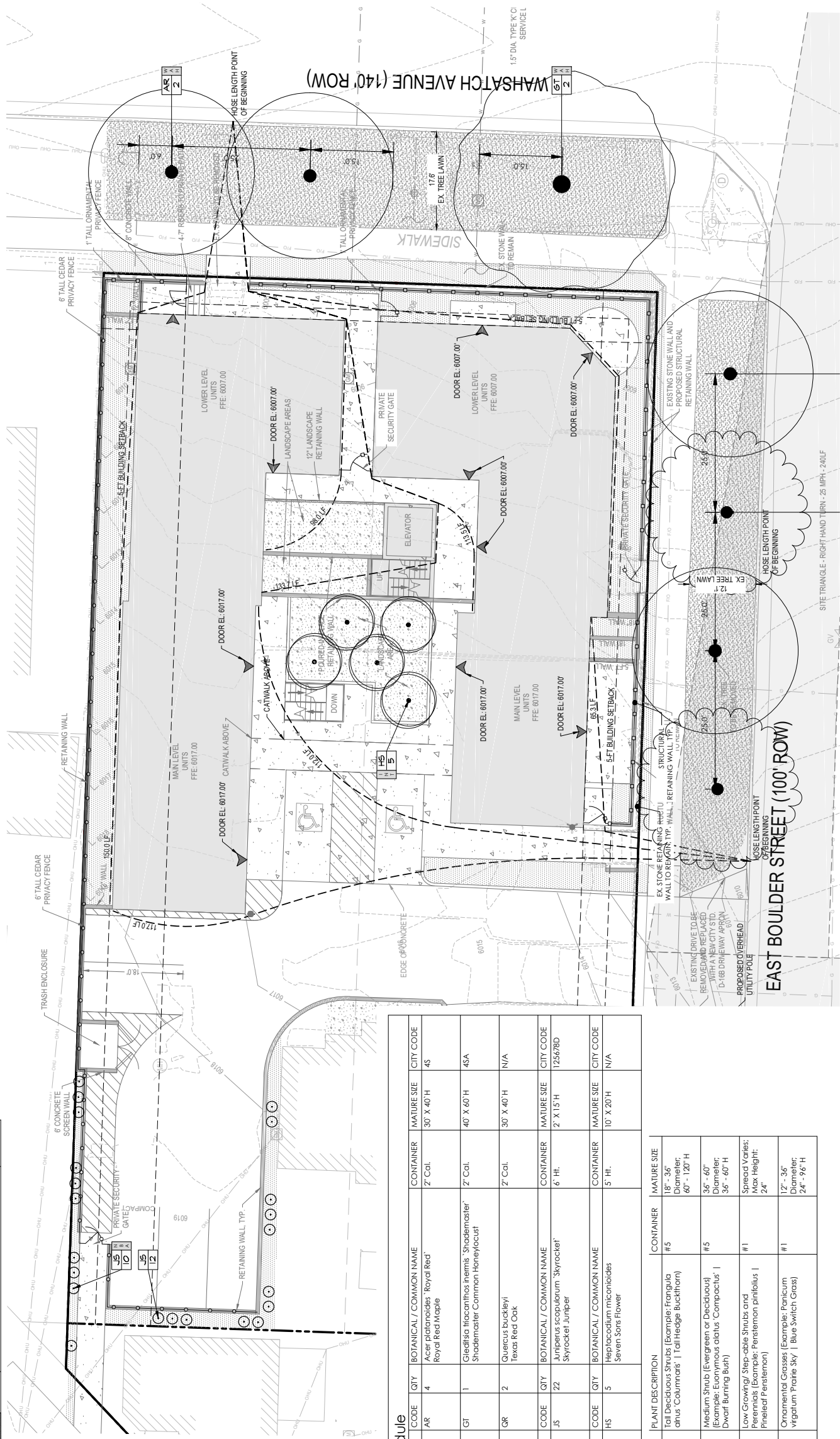
1 SOUTH ELEVATION
1/8" = 1'-0"

FIGURE 1

326 E. BOULDER APARTMENTS PUD DEVELOPMENT PLAN

LOTS 7-8, AND A PORTION OF LOT 6, BLOCK 44, CITY (TOWN) OF COLORADO SPRINGS, LOCATED IN THE
SOUTHWEST 1/4 OF SECTION 7, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH P.M. CITY OF COLORADO SPRINGS, STATE OF COLORADO.
ADDRESS: 326 E. BOULDER STREET & 209 CHEYENNE AVENUE

Ground Plane Schedule		
QTY	BOTANICAL NAME / COMMON NAME	NOTES
863 sf	"Griffia Hair" Streeded Cypress Organic Mulch	3" Depth
2,043 sf	Decomposed Granite Brezze	3" Depth
3,044 sf	Festuca ovindracea / Rhizomatous Tall Fescue "RF"	SOD



Tree Schedule						
DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	MATURE SIZE	CITY CODE
	AR	4	Acer platanoides "Royal Red" Royal Red Maple	2' Col.	30' X 40' H	4S
	GT	1	Gleditsia triacanthos hermsii "Shademaster" Shademaster Common Honeylocust	2' Col.	40' X 60' H	4SA
	QR	2	Quercus buckleyi Texas Red Oak	2' Col.	30' X 40' H	N/A
EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	MATURE SIZE	CITY CODE
	JS	22	Juniperus scopulorum "Skyrocket" Skyrocket Juniper	6" Ht.	2' X 15" H	125678D
FLOWERING TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	MATURE SIZE	CITY CODE
	HS	5	Heptacodium miconioides Seven Sons Flower	5" Ht.	10' X 20" H	N/A

PLANT SYMBOL	PLANT DESCRIPTION	CONTAINER	MATURE SIZE
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	Low Growing/ Step-able Shrubs and Perennials (Example: Penstemon patifolius Phacelia Penstemon)	#1	Spread Varies: Max Height: 24"
	Ornamental Grasses (Example: Panicum virgatum 'Prairie Sky' Blue Switch Grass)	#1	17" - 36" Diameter: 24" - 96" H

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NO. DATE BY
1 03.05.19 JMO
2 03.05.19 JMO

DATE: 10.10.2018
DRAWN BY: AKT
CHECKED BY: JMO

FIRE PROTECTION
SITE PLAN

7.0
SHEET OF 7

LEGEND:

FIGURE 1