

**ECO-SITE / T-MOBILE WILL CONSIDER COLLOCATION PROPOSALS FROM OTHER COMMERCIAL RADIO PROVIDERS WITH AN INTEREST IN THIS FACILITY (ORD. 01-42)**

**NOTE TO GENERAL CONTRACTOR**  
NO WORK IS TO BE PERFORMED ON THIS SITE WITHOUT REVIEW OF THE APPROVED STRUCTURAL ANALYSIS. IF ANY DISCREPANCIES ARE FOUND THE GENERAL CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING. AT NO TIME WILL ANY ADDITIONAL ANTENNAS BE INSTALLED WITHOUT WRITTEN CONSENT FROM TOWER ENGINEER.

**NOTE:**  
ACCORDING TO THE F.I.R.M. COMMUNITY PANEL #08041C0539F, DATED 03/17/1997, THE PROPOSED SITE IS NOT IN A FLOODPLAIN.

**ECO-SITE SITE NAME:  
CO-0048 NEW CENTER POINT**

**T-MOBILE SITE ID:  
DN04026B**

**SITE ADDRESS:  
3113 NEW CENTER POINT  
COLORADO SPRINGS  
COLORADO 80922**

**NEW 40'-0"X40'-0" FENCED COMMUNICATIONS COMPOUND  
& 60'-0" CLOCK TOWER W/ CONCEALMENT PANELS INSTALLED  
WITHIN 50'-0"X50'-0" LEASE AREA**

**PROPERTY LEGAL DESCRIPTION**  
AN INTEREST IN LAND SAID INTEREST BEING OVER A PORTION OF THE FOLLOWING DESCRIBED PARENT PARCEL:  
A TRACT OF LAND BEING A PORTION OF GOVERNMENT LOT 2, (SOUTHWEST QUARTER OF THE NORTHWEST QUARTER) OF SECTION 30, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE 6TH P.M., EL PASO COUNTY, COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
COMMENCING AT THE MOST NORTHERLY CORNER OF LOT 1, FIRST AND MAIN TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE 6TH P.M., EL PASO COUNTY, COLORADO, THE RECORDS OF SAID EL PASO COUNTY; THENCE S85°46'04"E A DISTANCE OF 107.65 FEET TO THE POINT OF BEGINNING; THENCE N00°42'11"E A DISTANCE OF 50.00 FEET; THENCE S89°17'49"E A DISTANCE OF 50.00 FEET; THENCE S00°42'11"W A DISTANCE OF 50.00 FEET; THENCE N89°17'49"W A DISTANCE OF 50.00 FEET TO THE POINT OF BEGINNING AND CONTAINING 0.057 ACRE OR 2,500 SQUARE FEET OF LAND, MORE OR LESS.

**SITE INFORMATION**  
ECO-SITE SITE NAME: CO-0048 NEW CENTER POINT  
T-MOBILE SITE ID: DN04026B  
SITE ADDRESS: 3113 NEW CENTER POINT, COLORADO SPRINGS, COLORADO 80922  
CITY OF COLORADO SPRINGS, COLORADO  
EL PASO COUNTY, COLORADO  
JURISDICTION: PBC-A0 (PLANNED BUSINESS CENTER-AIRPORT OVERLAY)  
ZONING: 53312-00-044  
TAX ACCOUNT ID: 19-65-31  
TOWNSHIP-RANGE-SECT: 2.77 AC. / 2,500.0 S.F.  
PARCEL SIZE / COMPOUND SIZE: N 36° 52' 7.726" (RAD 63) W 104° 42' 57.168" (RAD 63)  
SITE COORDINATES: 6,483.57; (NAD83)  
GROUND ELEVATION: 60'-0" AGL (TOP OF CLOCK TOWER)  
STRUCTURE TYPE: CLOCK TOWER W/ CONCEALMENT PANELS  
STRUCTURE HEIGHT: 60'-0" AGL (TOP OF CLOCK TOWER)  
ANTENNA RAD CENTER: 55'-0" AGL  
GROUND LANDLORD NAME: FIRST & MAIN LLC  
GROUND LANDLORD ADDRESS: 111 SOUTH TELSON STREET, SUITE 222, COLORADO SPRINGS, COLORADO 80903  
APPLICANT: ECO-SITE, INC., 240 LEIGHT FARM ROAD, DURHAM, NORTH CAROLINA 27707

**CODE ANALYSIS**  
BUILDING CODE: IBC 2015  
ELECTRICAL CODE: NEC 2014  
FIRE SAFETY CODE: IFC 2015  
USE GROUP: U (UTILITY)  
CONSTRUCTION TYPE: IB



**AREA MAP**  
COLORADO SPRINGS, COLORADO  
SCALE: 1" = 1,000'-0"

**DIRECTIONS:**  
HEADING FROM COLORADO SPRINGS AIRPORT: HEAD NORTH ON MILTON E PROBY PARKWAY, THEN TURN RIGHT ONTO CO-21 NORTH, THEN TURN RIGHT ONTO SOUTH CAROLINA STREET. THE TRAFFIC CIRCLE AND CONTINUE ON SOUTH CAROLINA STREET. THE SITE WILL BE ON THE LEFT.

**T-Mobile**  
WEST LLC  
T-MOBILE WEST LLC  
2323 BELMONT STREET  
DENVER, COLORADO 80216  
PHONE (313) 433-0090  
FAX (313) 433-9393

**Eco-Site**  
ECO-SITE, INC.  
240 LEIGHT FARM ROAD,  
DURHAM, NORTH CAROLINA 27707

**advantage engineers**  
103 PRODUCE AVENUE, SUITE C  
DURHAM, NORTH CAROLINA 27703  
PHONE (919) 489-8888  
WWW.ADVANTAGEENGINEERS.COM

**SCHEDULE OF REVISIONS**

REV. NO.	DATE	DESCRIPTION OF CHANGES
5		
4		
3	05-05-17	REV PER CITY COMMENTS
2	03-07-17	TOWER DESIGN
1	02-27-17	SURVEY REVISION
0	01-06-17	ISSUED FOR ZONING
4	11-21-16	ISSUED FOR 90% REVIEW (2DR)

DRAWN BY: MTO  
CHECKED BY:  
SCALE: NOTED  
JOB NO: M590430-000

**TITLE SHEET**

**DRAWING SHEET: T-1**

**SHEET NUMBER: 1 OF 9**

**SITE INFORMATION:**  
ECO-SITE SITE NAME:  
**CO-0048 NEW CENTER POINT**  
T-MOBILE SITE ID:  
**DN04026B**  
SITE ADDRESS:  
**3113 NEW CENTER POINT  
COLORADO SPRINGS,  
COLORADO 80922**  
JURISDICTION:  
**CITY OF COLORADO SPRINGS  
EL PASO COUNTY, CO**

**PROFESSIONAL ENGINEER**  
THOMAS ALAN WHYTE  
PE#074985  
REGISTERED PROFESSIONAL ENGINEER  
THOMAS ALAN WHYTE, P.E.  
COLORADO PROFESSIONAL ENGINEER  
LICENSE # 81473

**SHEET INDEX**

SHEET NO.	SHEET DESCRIPTION
T-1	TITLE SHEET
Z-1	EXISTING SITE PLAN
Z-1A	PROPOSED SITE PLAN
Z-1B	LEGAL DESCRIPTIONS
Z-2	COMPOUND PLAN
Z-3	ELEVATION
Z-4	CONSTRUCTION DETAILS
L-1	LANDSCAPING PLAN, DETAILS & NOTES
PH-1	PHOTO SIMULATIONS

**PROJECT DESCRIPTION**

- PROPOSED 40'-0"X40'-0" WALLED COMMUNICATIONS COMPOUND TO BE INSTALLED WITHIN 50'-0"X50'-0" LEASE AREA.
- PROPOSED 60'-0" CLOCK TOWER W/ CONCEALMENT PANELS TO BE INSTALLED WITHIN WALLED COMPOUND.
- TWELVE (12) PROPOSED T-MOBILE ANTENNAS TO BE INSTALLED WITHIN NEW CLOCK TOWER W/ CONCEALMENT PANELS.
- NEW ELECTRICAL SERVICE TO BE INSTALLED TO COMMUNICATIONS COMPOUND.
- PROPOSED T-MOBILE EQUIPMENT CABINETS TO BE INSTALLED ON NEW STEEL EQUIPMENT PLATFORM.

**LAND USE REVIEW FILE No: CPC CM1 17-00032**

**FIGURE 1**

**T-Mobile**  
WEST LLC  
T-MOBILE WEST LLC  
3333 DELGANY STREET  
DENVER, COLORADO 80216  
PHONE: (303) 733-8300  
FAX: (303) 733-8383

**Eco-Site**  
ECO-SITE, INC.  
240 LEWIS AND ROAD,  
SUITE 441  
DURHAM, NORTH CAROLINA 27717

**advantage engineers**  
AS INCORPORATED ENGINEERS  
MECHANICAL, ELECTRICAL, PLUMBING  
AND HVAC ENGINEERS  
10101 W. WASHINGTON  
DENVER, COLORADO 80231

SCHEDULE OF REVISIONS	
NO.	DATE
3	05-05-17
2	03-07-17
1	02-27-17
0	01-05-17
4	11-21-16

REV. NO. DATE DESCRIPTION OF CHANGES  
 3 05-05-17 REV PER CITY COMMENTS  
 2 03-07-17 TOWER DESIGN  
 1 02-27-17 SURVEY REVISION  
 0 01-05-17 ISSUED FOR ZONING  
 4 11-21-16 ISSUED FOR 90% REVIEW (ZMA)  
 DRAWN BY: MTG  
 CHECKED BY: NOTED  
 SCALE: NOTED  
 JOB NO: H590430.000

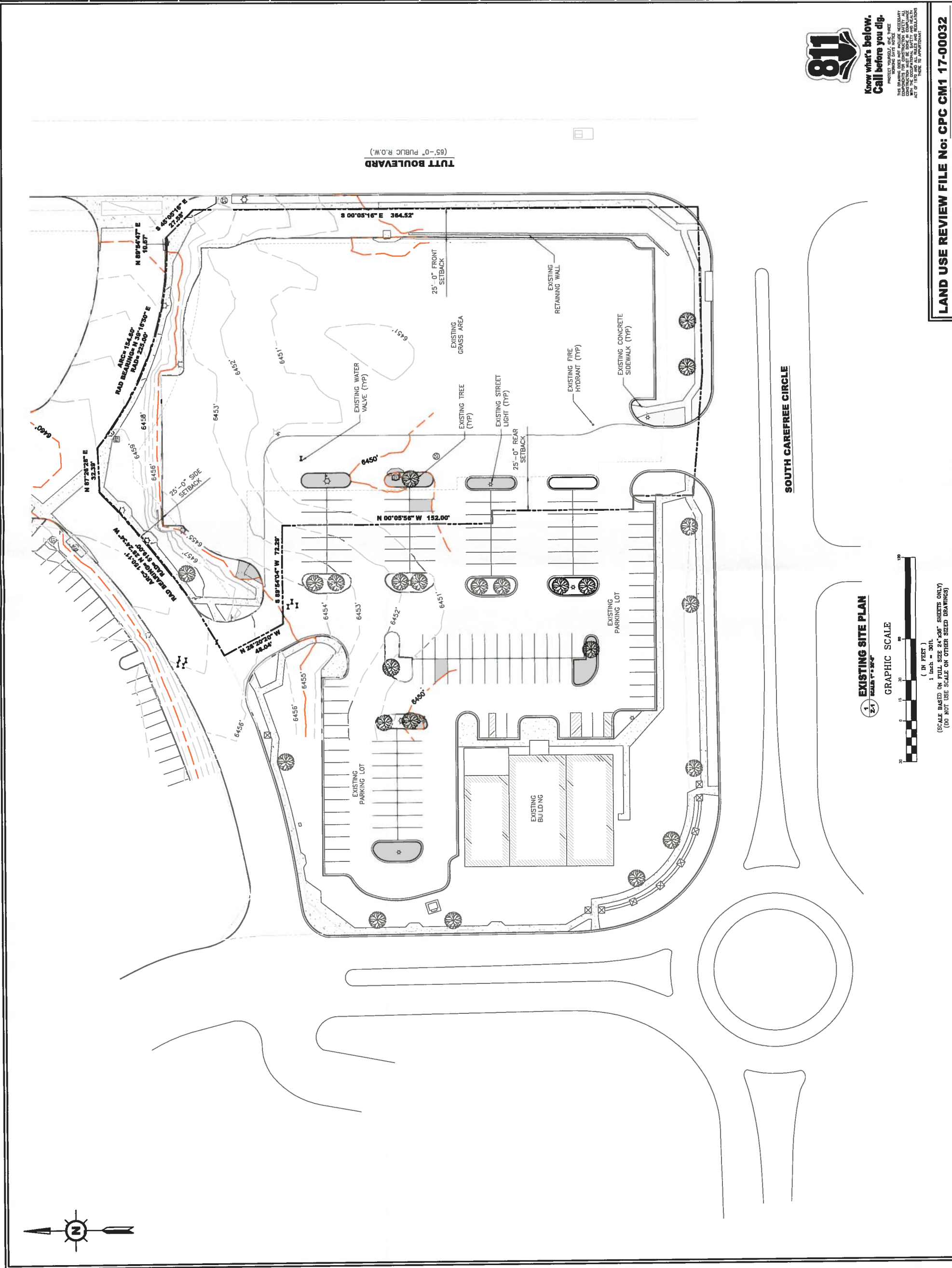
DRAWING TITLE:  
**EXISTING SITE PLAN**

DRAWING SHEET:  
**Z-1**

SHEET NUMBER:  
**2 OF 9**

SITE INFORMATION:  
ECO-SITE SITE NAME:  
**CO-0048 NEW CENTER POINT**  
T-MOBILE SITE ID:  
**DIN04026B**  
SITE ADDRESS:  
**3113 NEW CENTER POINT**  
**COLORADO SPRINGS,**  
**COLORADO 80922**  
JURISDICTION:  
**CITY OF COLORADO SPRINGS**  
**EL PASO COUNTY, CO**

THOMAS ALAN WHYTE, P.E.  
REGISTERED PROFESSIONAL ENGINEER  
PE074985  
COLORADO PROFESSIONAL ENGINEER  
LICENSE # 81473



**811**  
Know what's below.  
Call before you dig.  
PROFESSIONAL DATA NOTICE  
THIS DRAWING IS FOR CONSTRUCTION PURPOSES ONLY. ALL INFORMATION IS BASED ON FIELD SURVEY DATA AND RECORDS. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.

LAND USE REVIEW FILE NO: CPC CM1 17-00032

FIGURE 1



**T-Mobile**  
WEST LLC  
T-MOBILE WEST LLC  
2123 DELAWARE STREET  
DENVER, COLORADO 80216  
PHONE: (716) 633-3288  
FAX: (716) 633-3282

**Eco-Site**  
ECO-SITE, INC.  
240 LEIGH FARM ROAD,  
DURHAM, NORTH CAROLINA 27717

**advantage engineers**  
PROFESSIONAL ENGINEERING FIRM  
1000 UNIVERSITY DRIVE  
DURHAM, NORTH CAROLINA 27701  
PHONE: (919) 487-1100  
FAX: (919) 487-1101

**SCHEDULE OF REVISIONS**

REV. NO.	DATE	DESCRIPTION OF CHANGES
1	02-27-17	SURVEY REVISION
2	05-05-17	REV PER CITY COMMENTS
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5	11-21-16	ISSUED FOR 90% REVIEW (ZONING)

DRAWN BY: MTG  
CHECKED BY: NOTED  
SCALE: NS90430.000  
JOB NO: NS90430.000  
DRAWING TITLE: **PROPOSED SITE PLAN**

DRAWING SHEET:  
**Z-1A**

SHEET NUMBER:  
**3 OF 9**

SITE INFORMATION:  
**ECO-SITE SITE NAME: CO-0048 NEW CENTER POINT**  
T-MOBILE SITE ID: DNO4026B  
SITE ADDRESS: 3113 NEW CENTER POINT  
COLORADO SPRINGS, COLORADO 80922  
JURISDICTION: CITY OF COLORADO SPRINGS  
EL PASO COUNTY, CO

**THOMAS ALAN WHYTE**  
PROFESSIONAL ENGINEER  
PE074985  
LICENSE # 84473

- GENERAL NOTES:**
- THIS PLAN WAS PREPARED USING AN APPROVED PLAN ENTITLED "RAW LAND SURVEY" BY CLARK LAND-SURVEYING, INC., DATED 11/01/2016.
  - THE PROPOSED FACILITY WILL CAUSE "DE MINIMIS" INCREASE IN STORMWATER RUNOFF. THEREFORE, NO DRAINAGE STRUCTURES ARE PROPOSED.
  - NO NOISE, SMOKE, DUST, OR ODOR WILL RESULT FROM THIS FACILITY.
  - THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. (THERE IS NO HANDICAP ACCESS REQUIRED).
  - ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NVD 1988).
  - THE PROPOSED DEVELOPMENT DOES NOT INCLUDE STREET SIGNS OF ANY TYPE.
  - THE PROPOSED DEVELOPMENT DOES NOT INCLUDE OUTDOOR STORAGE OR ANY SOLID WASTE RECEPTACLES.
  - ACCORDING TO THE F.I.R.M. COMMUNITY PANEL #0804100539F, DATED 03/17/1987, THE PROPOSED SITE IS NOT IN A FLOODPLAIN.

**BULK REQUIREMENTS**  
PBC - PLANNED BUSINESS CENTER

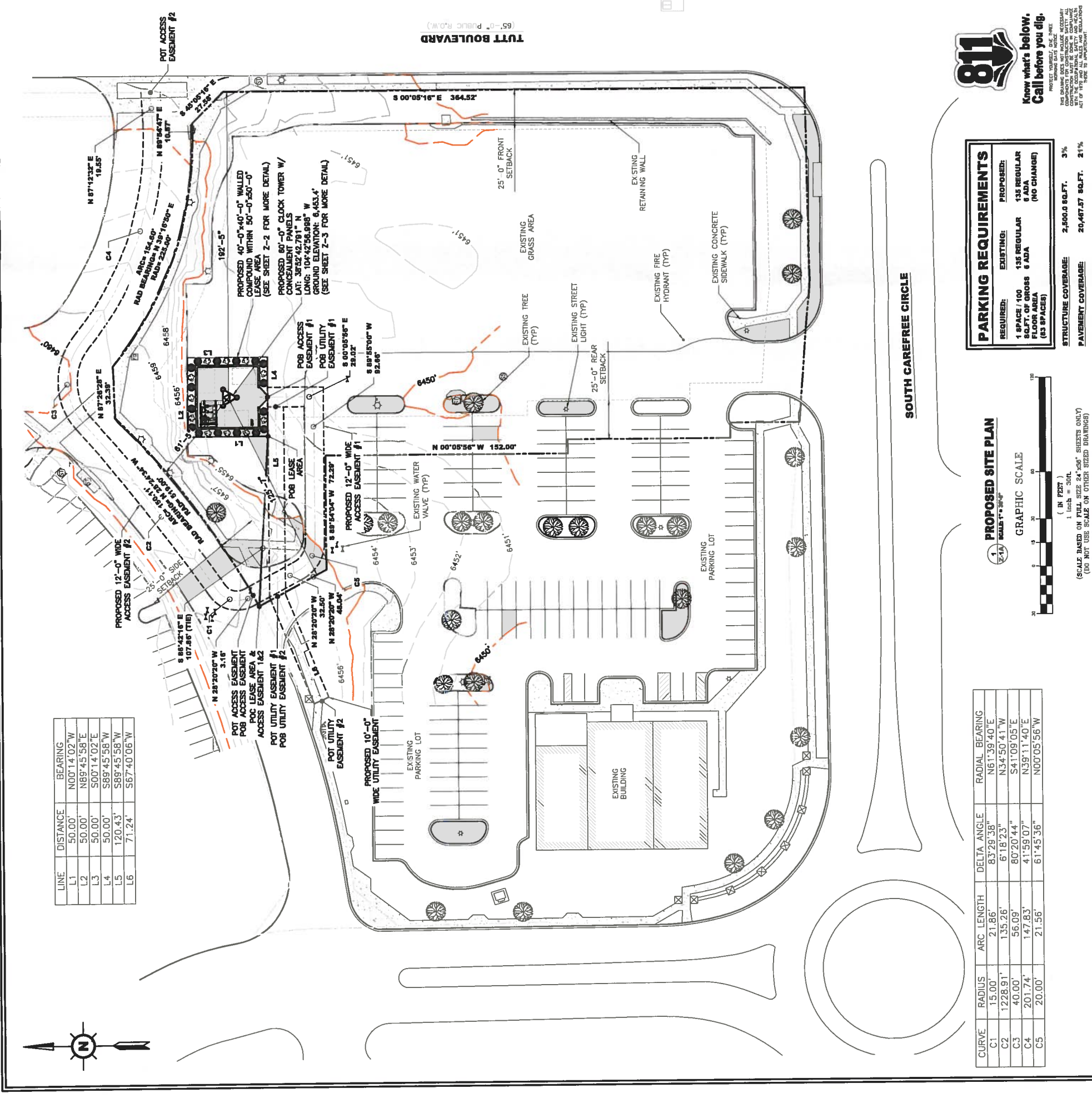
DESCRIPTION:	REQUIRED:	EXISTING:	PROPOSED:
MIN. LOT AREA:	1 AC.	2.27 AC.	(NO CHANGE)
MIN. LOT WIDTH:	N/A	304.5 FT.	(NO CHANGE)
MAX. BUILDING COVERAGE:	35%	0%	35%
MIN. SIDE YARD:	25 FT.	N/A	25 FT.
MIN. REAR YARD:	25 FT.	N/A	25 FT.
MAX. BUILDING HEIGHT:	45 FT.	45 FT.	45 FT.
COMMUNICATION MOBILE RADIO SERVICE:	SECTION 7.4.608		
DESCRIPTION:	REQUIRED:	EXISTING:	PROPOSED:
TOWER HEIGHT:	45 FT.	N/A	60 FT.
TOWER SETBACK FROM PUB:	300 FT.	N/A	1,162.2 FT.
(50' TOWER HEIGHT)			

**PARKING REQUIREMENTS**

REQUIRED:	EXISTING:	PROPOSED:
1 SPACE / 100 SQ.FT. OF GROSS FLOOR AREA (83 SPACES)	135 REGULAR 6 ADA	135 REGULAR 6 ADA (NO CHANGE)
STRUCTURE COVERAGE:	2,500.0 SQ.FT.	3%
PAVEMENT COVERAGE:	20,467.57 SQ.FT.	21%

**PLANNING COMMISSION APPROVAL**

**LAND USE REVIEW FILE No: CPC CM1 17-00032**



**811**  
Know what's below.  
Call before you dig.  
PROTECT UNKNOWING DIG. FINE.  
THIS DRAWING DOES NOT INDICATE NECESSARY UTILITY LOCATIONS. CONTRACTOR MUST BE DONE IN COMPLIANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS AND ALL APPLICABLE PERMITS. SEE TO BE INFORMED.

**SOUTH CAREFREE CIRCLE**

**TUTT BOULEVARD**  
65'-0" PUBLIC R.O.W.

LINE	DISTANCE	BEARING
L1	50.00'	N00°14'02"W
L2	50.00'	N89°45'58"E
L3	50.00'	S00°14'02"E
L4	50.00'	S89°45'58"W
L5	120.43'	S89°45'58"W
L6	71.24'	S67°40'06"W

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	RADIAL BEARING
C1	15.00'	21.86'	83°29'38"	N61°39'40"E
C2	1228.91'	135.26'	6°18'23"	N34°50'41"W
C3	40.00'	56.09'	80°20'44"	S41°09'05"E
C4	201.74'	147.83'	41°59'07"	N39°11'40"E
C5	20.00'	21.56'	61°45'36"	N00°05'56"W

**FIGURE 1**





**T-Mobile**  
WEST LLC  
T-MOBILE WEST LLC  
2323 DELGANY STREET  
DENVER, COLORADO 80216  
TEL: 303.733.1100  
FAX: (303) 633-8393

**Eco-Site**  
ECO-SITE, INC.  
240 W. 10TH AVE., SUITE 415  
DURHAM, NORTH CAROLINA 27707

**advantage engineers**  
420 INDEPENDENCE AVENUE, SUITE C  
MECHANICSBURG, PENNSYLVANIA 17055  
www.advantageengineers.com

SCHEDULE OF REVISIONS		
8		
7		
6		
5		
4		
3	05-05-17 REV PER CITY COMMENTS	
2	03-07-17 TOWER DESIGN	
1	02-27-17 SURVEY REVISION	
0	01-06-17 ISSUED FOR ZONING	
A	11-24-16 ISSUED FOR 90% REVIEW (ZONING)	
REV. NO.	DATE	DESCRIPTION OF CHANGES

DRAWN BY: MFG  
CHECKED BY: NOTED  
SCALE: HSB96436.000  
JOB NO:

**COMPOUND PLAN**

DRAWING SHEET:  
**Z-2**

SHEET NUMBER:  
**5 OF 9**

SITE INFORMATION:  
ECO-SITE SITE NAME:  
**CO-0048 NEW CENTER POINT**  
T-MOBILE SITE ID:  
**DN04026B**  
SITE ADDRESS:  
**3113 NEW CENTER POINT**  
**COLORADO SPRINGS,**  
**COLORADO 80922**  
JURISDICTION:  
**CITY OF COLORADO SPRINGS**  
**EL PASO COUNTY, CO**

COMMONWEALTH OF PENNSYLVANIA  
REGISTERED PROFESSIONAL ENGINEER  
**THOMAS ALAN WHYHE**  
PE074985  
THOMAS ALAN WHYHE, P.E.  
COLORADO PROFESSIONAL ENGINEER  
LICENSE # 81473

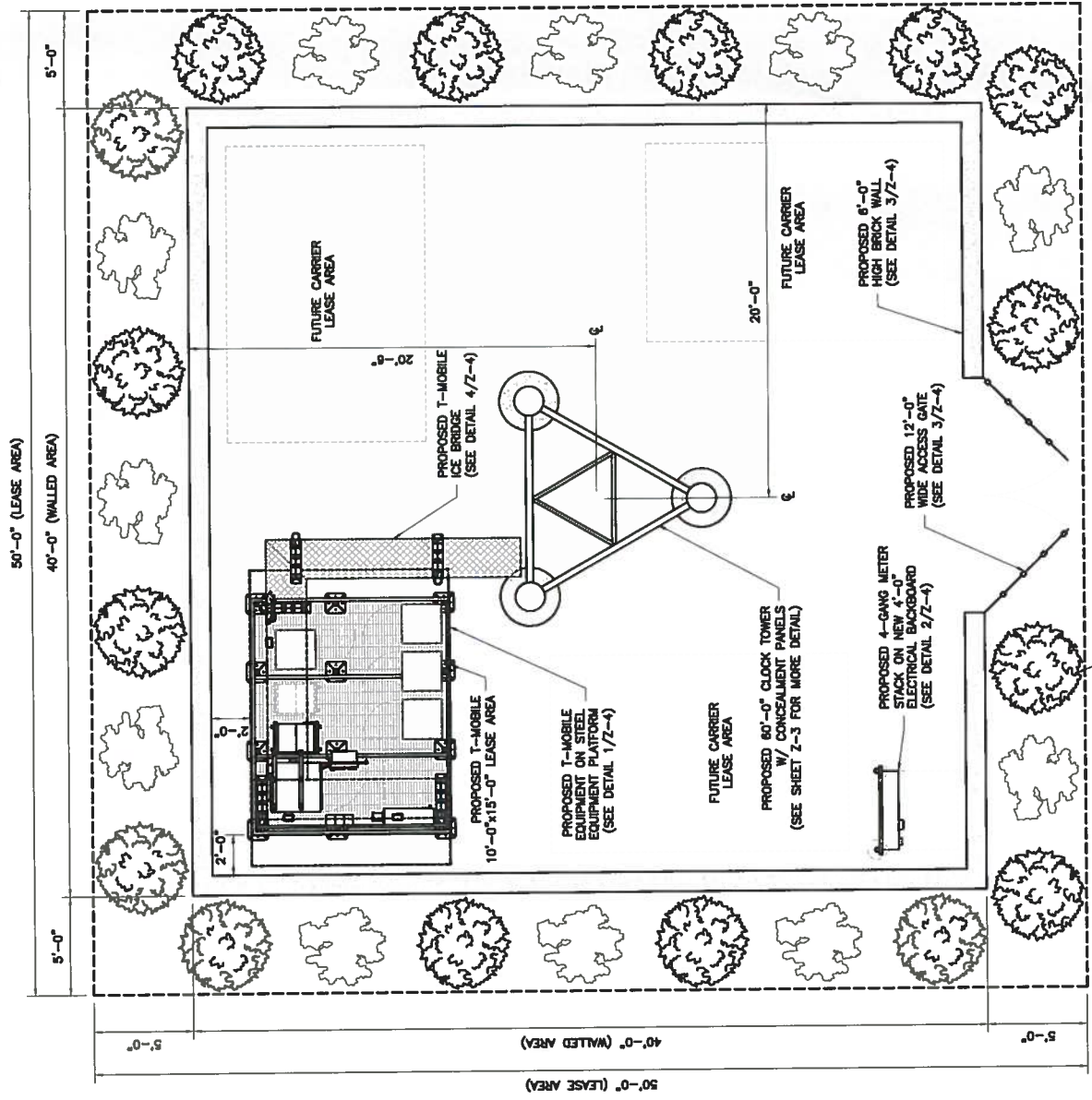
**GENERAL NOTES**

- FOR THE PURPOSE OF ZONING DRAWING, THE FOLLOWING DEFINITIONS SHALL APPLY:  
CONTRACTOR- GENERAL CONTRACTOR  
SUBCONTRACTOR- SUBCONTRACTOR HIRED BY GENERAL CONTRACTOR  
OWNER- ECO-SITE  
OEM- ORIGINAL EQUIPMENT MANUFACTURER
- PRIOR TO THE SUBMISSION OF BIDS, THE CONTRACTOR SHALL VISIT THE CELL SITE AND THE SUBCONTRACTOR SHALL VISIT THE CELL SITE TO VERIFY THE EXISTING CONDITIONS AND TO CONFIRM THAT THE WORK CAN BE ACCOMPLISHED AS SHOWN ON THE CONSTRUCTION DRAWINGS. ANY DISCREPANCY FOUND SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER.
- ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND AUTHORITY REGARDING THE PERFORMANCE OF THE WORK. ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.
- UNLESS NOTED OTHERWISE, THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
- THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
- IF THE SPECIFIED EQUIPMENT CAN NOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION FOR APPROVAL BY THE OWNER.
- CONTRACTOR SHALL DETERMINE ACTUAL ROUTING OF CONDUIT, POWER AND T1 CABLES, GROUNDING CABLES AS SHOWN ON THE POWER, GROUNDING AND T1 TELLER PLAN DRAWINGS.
- THE CONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGED PART SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF OWNER.
- CONTRACTOR SHALL LEGALLY AND PROPERLY DISPOSE OF ALL SCRAP ITEMS, SUCH AS COAXIAL CABLES AND OTHER ITEMS REMOVED FROM THE EXISTING FACILITY.
- CONTRACTOR SHALL LEAVE THE PREMISES IN CLEAN CONDITION.
- CONSTRUCTION SHALL COMPLY WITH ECO-SITE MASTER SPECIFICATIONS AND THESE DRAWINGS. WHERE A CONFLICT EXISTS, IT IS CONTRACTOR'S RESPONSIBILITY TO NOTIFY OWNER.
- NOTHING CONTAINED IN THESE DRAWINGS SHALL CREATE ANY CONTRACTUAL RELATIONS BETWEEN ANY SUBCONTRACTOR(S) AND ECO-SITE.
- CONTRACTOR SHALL HOLD HARMLESS ECO-SITE AND ITS REPRESENTATIVES FROM ALL SUITS, ACTIONS, OR CLAIMS, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING OUT OF OR RESULTING FROM THE CONSTRUCTION OF THIS PROJECT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS FOR ANY AND ALL PERSONS, INCLUDING SUBCONTRACTORS, ON SITE AS REQUIRED BY CURRENT OSHA STANDARDS, INCLUDING BUT NOT LIMITED TO:  
A) PERSONAL PROTECTIVE EQUIPMENT  
B) SIGNS, SIGNALS & BARRICADES  
C) TOOLS - HAND & POWER  
D) ELECTRICAL  
E) FALL PROTECTION  
F) EXCAVATIONS  
G) CONCRETE & MASONRY CONSTRUCTION  
H) OTHER TRADES  
I) POWER TRANSMISSION & DISTRIBUTION  
J) CRANES & DERRICKS IN CONSTRUCTION

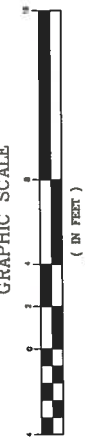


**Know what's below.  
Call before you dig.**  
PROTECT YOURSELF, ONE TRICE.  
CALL 811 TO REPORT ANY POTENTIAL  
UNDERGROUND UTILITY LOCATIONS.  
CONTRACTORS TO THE PUBLIC SHALL CALL  
811 TO LOCATE ALL UTILITIES BEFORE  
ANY EXCAVATION OR DRILLING.  
IT IS THE CONTRACTOR'S RESPONSIBILITY  
TO CALL 811 AT LEAST 3 BUSINESS DAYS  
BEFORE ANY EXCAVATION OR DRILLING.  
MAKE IT A HABIT!

LAND USE REVIEW FILE No: CPC CM1 17-00032




**COMPOUND PLAN**  
SCALE: 1/4" = 1'-0"




(SCALE BASED ON FULL SIZE 24" x 36" SHEETS ONLY)  
(DO NOT USE SCALE ON OTHER SIZED DRAWINGS)


FIGURE 1



T-MOBILE WEST LLC  
2323 BELGAMY STREET  
DENVER, COLORADO 80216  
PHONE (313) 833-5500  
FAX (313) 833-5595



Eco-SITE, INC.  
240 LEIGH FARM ROAD,  
DURHAM, NORTH CAROLINA 27707



advantage engineers  
4814 FAYWOOD AVENUE, SUITE C  
MECHANICSVILLE, PENNSYLVANIA 17055  
PHONE (717) 528-2200  
WWW.ADVANTAGEENGINEERS.COM


**SCHEDULE OF REVISIONS**

REV. NO.	DATE	DESCRIPTION OF CHANGES
A	11-21-16	ISSUED FOR 90% REVIEW (20th)
5	01-06-17	ISSUED FOR ZONING
1	02-27-17	SURVEY REVISION
2	03-07-17	TOWER DESIGN
3	05-05-17	REV PER CITY COMMENTS

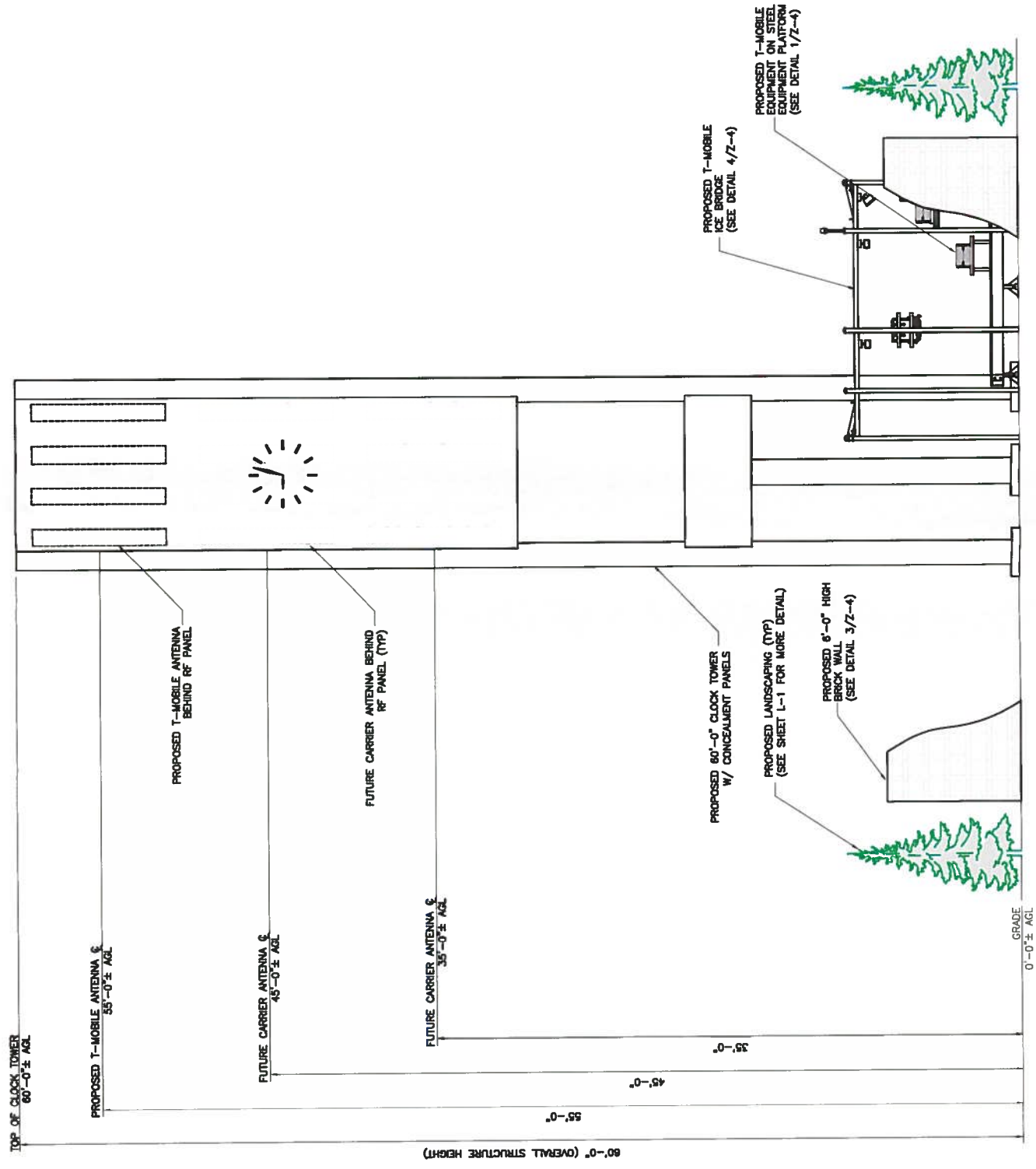
DRAWN BY: MTO  
CHECKED BY: NOTED  
SCALE: NOTED  
JOB NO: NS90430.000  
DRAWING TITLE: **ELEVATION**

DRAWING SHEET:  
**Z-3**  
SHEET NUMBER:  
**6 OF 9**

SITE INFORMATION:  
ECO-SITE SITE NAME:  
**CO-0048 NEW CENTER POINT**  
T-MOBILE SITE ID:  
**DN040268**  
SITE ADDRESS:  
**3113 NEW CENTER POINT**  
**COLORADO SPRINGS,**  
**COLORADO 80922**  
JURISDICTION:  
**CITY OF COLORADO SPRINGS**  
**EL PASO COUNTY, CO**



THOMAS ALAN WHYE, P.E.  
COLORADO PROFESSIONAL ENGINEER  
LICENSE # 81472



**ELEVATION**  
Z-3  
SCALE: 1/4" = 1'-0"

GRAPHIC SCALE

(IN FEET)  
1/4" = 1'-0"

(SCALE BASED ON FIELD SIZE 24"x36" SHEETS ONLY)  
(DO NOT USE SCALE ON OTHER SIZED DRAWINGS)

LAND USE REVIEW FILE No: CPC CM1 17-00032

FIGURE 1



**T-Mobile**  
WEST LLC  
T-MOBILE WEST LLC  
2333 DELAWARE STREET  
DENVER, COLORADO 80216  
PHONE (316) 533-5260  
FAX (316) 533-5323

**Eco-Site**  
ECO-SITE, INC.  
240 LEIGH PASO ROAD,  
DURHAM, NORTH CAROLINA 27717

**advantage engineers**  
AS INCORPORATED ENGINEERS  
MECHANICAL, ELECTRICAL, P.L.L.C.  
10011 W. UNIVERSITY AVENUE  
DENVER, COLORADO 80231  
PH: 303.440.2000

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4		
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CHECKED BY:  
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JOB NO: NS90430.000  
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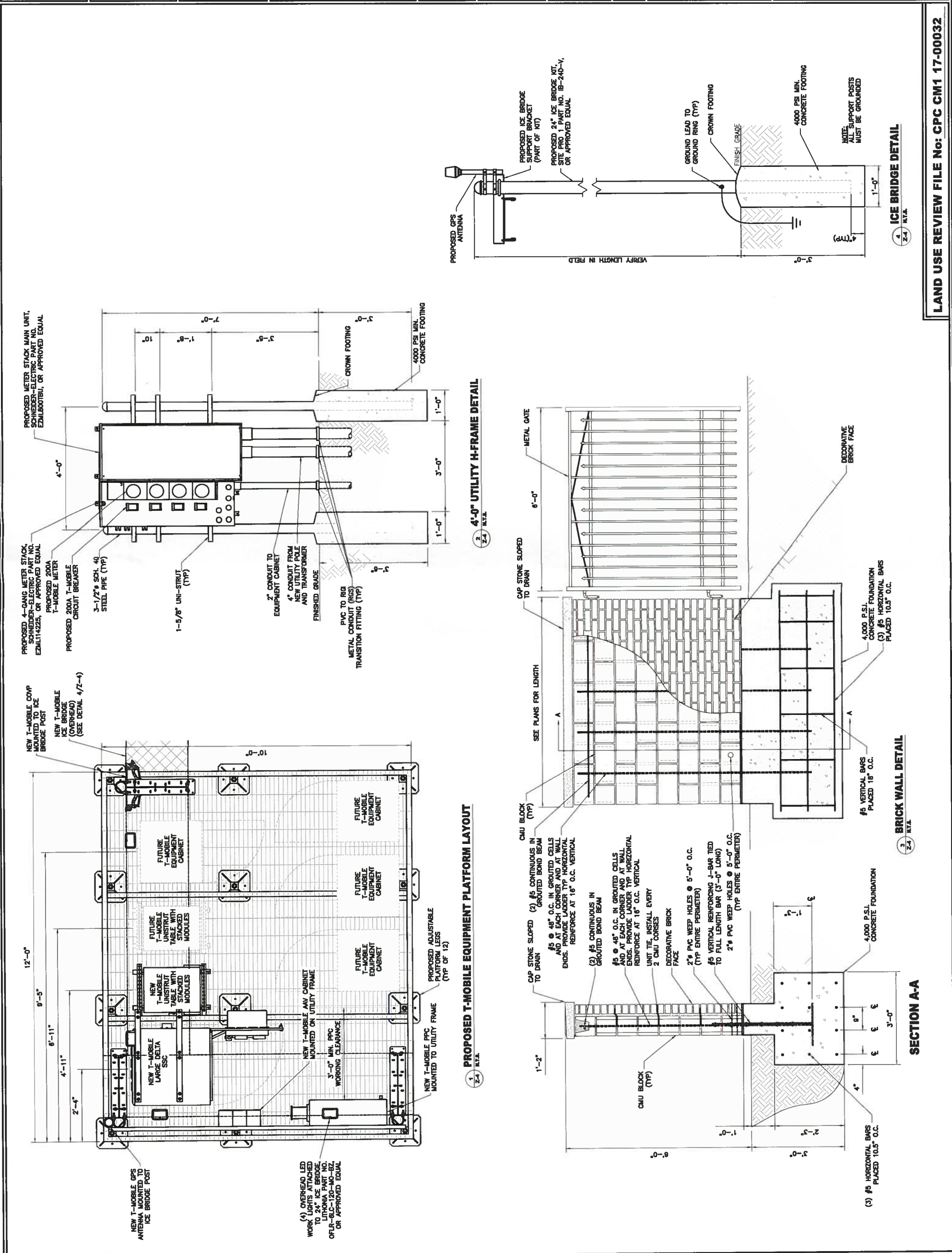
**CONSTRUCTION DETAILS**

DRAWING SHEET:  
**Z-4**

SHEET NUMBER:  
**7 OF 9**

SITE INFORMATION:  
**ECO-SITE SITE NAME:**  
**CO-0048 NEW CENTER POINT**  
**T-MOBILE SITE ID:**  
**DNO-40268**  
**SITE ADDRESS:**  
**3113 NEW CENTER POINT**  
**COLORADO SPRINGS,**  
**COLORADO 80922**  
**JURISDICTION:**  
**CITY OF COLORADO SPRINGS**  
**EL PASO COUNTY, CO**

THOMAS ALAN WHYTE, P.E.  
REGISTERED PROFESSIONAL ENGINEER  
LICENSE # 074985  
COLORADO



LAND USE REVIEW FILE No: CPC CM1 17-00032

FIGURE 1



**T-Mobile**  
WEST LLC  
T-MOBILE WEST LLC  
10000 W. CENTURY BLVD  
DENVER, COLORADO 80231  
PHONE: (315) 633-5290  
FAX: (315) 633-5393

**Eco-Site**  
Eco-Site, Inc.  
240 LEBON FARM ROAD,  
SUITE 415  
DURHAM, NORTH CAROLINA 27707

**advantage engineers**  
ADVANTAGE ENGINEERS, P.C.  
10000 W. CENTURY BLVD, SUITE 415  
DENVER, COLORADO 80231  
PHONE: (315) 633-5290  
FAX: (315) 633-5393

**SCHEDULE OF REVISIONS**

NO.	DATE	DESCRIPTION OF CHANGES
1	05-05-17	REV PER CITY COMMENTS
2	05-07-17	TOWER DESIGN
3	05-27-17	SURVEY REVISION
4	05-06-17	ISSUED FOR ZONING
5	11-21-16	ISSUED FOR 90% REVIEW (2D)
6		

**DRAWN BY:** MTG  
**CHECKED BY:**  
**SCALE:** NOTED  
**JOB NO.:** HSP0430.000

**LANDSCAPING PLAN,  
DETAILS & NOTES**

**DRAWING SHEET:**  
**L-1**  
**SHEET NUMBER:**  
**8 OF 9**

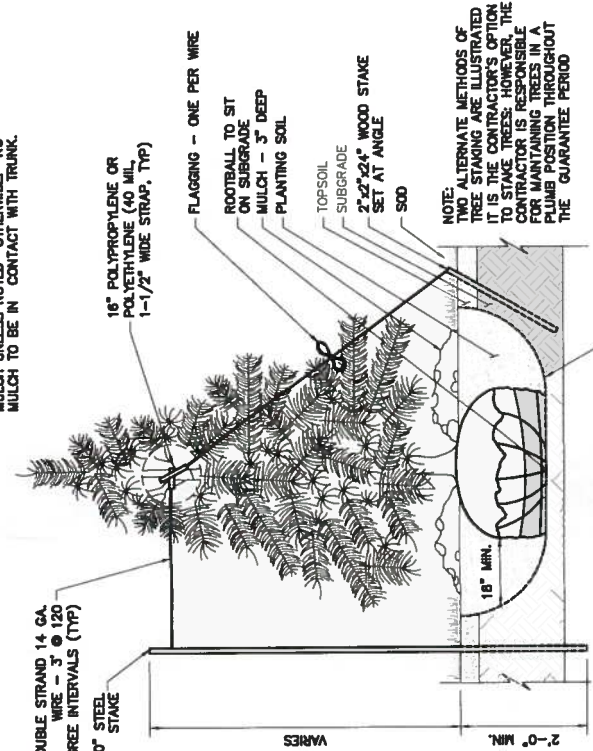
**SITE INFORMATION:**  
**ECS-SITE SITE NAME:**  
**CO-0048 NEW CENTER POINT**  
**T-MOBILE SITE ID:**  
**DN04026B**  
**SITE ADDRESS:**  
**3113 NEW CENTER POINT**  
**COLORADO SPRINGS,**  
**COLORADO 80922**  
**JURISDICTION:**  
**CITY OF COLORADO SPRINGS**  
**EL PASO COUNTY, CO**

**PROFESSIONAL SEAL**  
**THOMAS ALAN WHYTE**  
**REGISTERED PROFESSIONAL ENGINEER**  
**PE07985**  
**COLORADO PROFESSIONAL ENGINEER**  
**LICENSE # 07985**

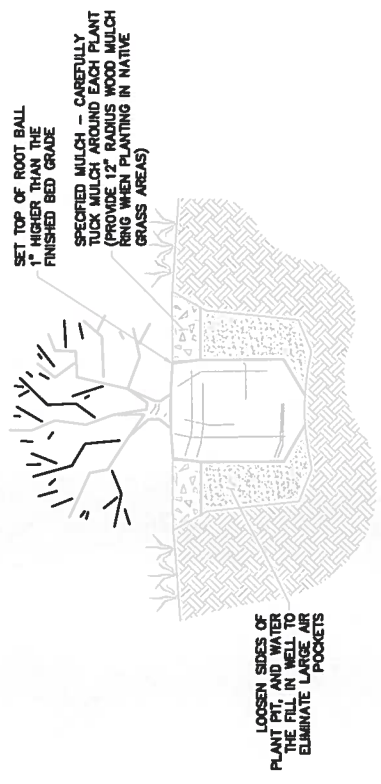
**LANDSCAPING NOTES**

- ALL PLANT MATERIAL AND INSTALLATION OF PLANT MATERIAL SHALL BE IN STRICT CONFORMANCE WITH USDA STANDARDS FOR NURSERY STOCK AND THE "AMERICAN STANDARD FOR NURSERY STOCK" PUBLISHED BY AMERICAN HORTICULTURE INDUSTRY ASSOCIATION, LATEST EDITION.
- CONTRACTOR SHALL VERIFY ALL UTILITIES WITHIN WORK AREA AND SHALL BE RESPONSIBLE FOR THEIR PROTECTION.
- THE CONTRACTOR SHALL FURNISH AND PLANT ALL PLANTS SHOWN ON THE DRAWINGS, AS SPECIFIED, AND IN QUANTITIES INDICATED ON THE PLANT LIST.
- ALL PLANTS SHALL BE NURSERY GROWN.
- ALL PLANTS SHALL BE HARDY UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT.
- ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OR GROWTH. THEY SHALL BE SOUND, HEALTHY AND VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF. THEY SHALL BE FREE OF DISEASE, INJURY, DEFOLIATION, OR LARVAE. THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS.
- SUBSTITUTIONS: WHEN PLANTS OF A SPECIFIED KIND OR SIZE ARE NOT AVAILABLE WITH A REASONABLE DISTANCE, SUBSTITUTIONS MAY BE MADE UPON REQUEST BY THE CONTRACTOR IF APPROVED BY THE LANDSCAPE ARCHITECT OR HIS/HER REPRESENTATIVE.
- ALL AREAS TO BE SHOWN AS LAWN SHALL BE GRASSED, AS SPECIFIED, AND WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- TREE LOCATIONS MAY NEED TO BE ADJUSTED BASED ON LOCATIONS OF PROPOSED UTILITIES.
- ALL PLANTING BEDS TO RECEIVE 3" SHREDDED HARDWOOD MULCH AS SHOWN ON DETAILS.
- ROOT BALLS OF ALL PLANTS SHALL BE ADEQUATELY PROTECTED AT ALL TIMES FROM SUN AND DRYING WINDS OR FROST.
- PLANTS WITH BROKEN ROOT BALLS OR EXCESSIVE DAMAGE TO THE CROWN SHALL BE REPLACED PRIOR TO PLANTING.
- ROPE AT TOP OF BALL SHALL BE CUT. REMOVE TOP 1/3 OF BURLAP. NON-BIODEGRADABLE MATERIAL SHALL BE TOTALLY REMOVED.
- PREPARATION OF PLANTING: CLEAN TOPSOIL OF ROOTS, PLANTS, STONES, CLAY LUMPS, AND OTHER EXTRANEOUS MATERIALS HARMFUL OR TOXIC TO PLANT GROWTH.
- DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING.
- NO PLANT SHALL BE PLACED IN THE GROUND BEFORE ROUGH GRADING HAS BEEN COMPLETED AND APPROVED BY THE PROJECT LANDSCAPE ARCHITECT OR HIS/HER EQUAL.
- ALL PLANTS SHALL HAVE THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANT'S ORIGINAL GRADE BEFORE DIGGING.
- ALL EXISTING TREES THAT ARE TO BE SAVED AS DETERMINED BY LANDSCAPE ARCHITECT SHALL BE PROTECTED UNTIL CONSTRUCTION HAS BEEN COMPLETED. AREA WITHIN DRILLPIE SHALL NOT BE TRAVELLED ACROSS BY CONSTRUCTION TRAFFIC.
- TREES PLANTED ALONG STREETS SHALL HAVE A SINGLE STRAIGHT TRUNK THAT DOES NOT FORK BELOW 6'.
- ALL PLANTS SHALL BE BALLED AND WRAPPED OR CONTAINER GROWN AS SPECIFIED. CONTAINER GROWN PLANTS SHALL BE ACCURATELY BALLED AND ALL ROOTS AND ALL ROOTS AND ALL ROOTS SHALL BE MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED AT TIME OF PLANTING.
- WITH CONTAINER GROWN STOCK, THE CONTAINER SHALL BE REMOVED AND THE CONTAINER BALL CUT THROUGH THE SURFACE IN TWO VERTICAL LOCATIONS.
- THE CONTRACTOR SHALL LAYOUT WITH IDENTIFIABLE STAKES INDIVIDUAL TREE LOCATIONS AND AREAS FOR MULTIPLE PLANTING ALONG WITH THE ARRANGEMENTS AND OUTLINE OF PLANTING BEDS AS INDICATED ON DRAWING. THE LAYOUT OF PLANTING WILL THEN BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO ANY EXCAVATION OF PLANT PITS OR PLANT BEDS.
- AT PLANTING TIME, ALL PLANT MATERIAL SHALL BE THINNED BY REMOVING BROKEN AND/OR DEAD VEGETATIVE MATERIAL.
- ALL PLANTS SHALL BE INSTALLED AS PER DETAIL AND THE CONTRACT SPECIFICATIONS.
- ALL PLANTS SHALL BE STAKED AND PLUMB UNLESS OTHERWISE SPECIFIED.
- ALL PLANTS SHALL BE THOROUGHLY WATERED DURING THE FIRST 24 HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED WEEKLY OR MORE OFTEN, IF NECESSARY, DURING THE FIRST GROWING SEASON.
- WARRANTY TREES AND SHRUBS FOR A PERIOD OF ONE YEAR AFTER WRITTEN DATE OF ACCEPTANCE BY THE LANDSCAPE ARCHITECT AND/OR CONSTRUCTION MANAGER AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH. DURING THE ONE YEAR WARRANTY PERIOD AND NOTIFY THE OWNER IF PROBLEMS DEVELOP. PLANTS THAT DIE DURING THE WARRANTY PERIOD SHALL BE REMOVED IMMEDIATELY. REPLACEMENTS SHALL BE PLACED UNDER WARRANTY FOR AN ADDITIONAL ONE YEAR PERIOD.
- CONDITIONS DETRIMENTAL TO PLANTS: THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DAMAGE TO PLANTS OR PLANTING BEDS WHICH THE CONTRACTOR CONSIDERS DETRIMENTAL TO THE GROWTH OF PLANTS. HE SHALL STATE THE CONDITIONS AND SUBMIT A PROPOSAL FOR CORRECTING THE CONDITIONS INCLUDING ANY CHANGE IN COST FOR REVIEW AND ACCEPTANCE BY THE PROJECT REPRESENTATIVE.
- MINOR ADJUSTMENTS TO TREE LOCATION MAY BE NECESSARY DUE TO FIELD CONDITIONS AND/OR UNUSUAL GROUND CONDITIONS. CONTRACTOR SHALL NOTIFY THE OWNER IF MAJOR ADJUSTMENTS ARE REQUIRED.

NOTE: CONFIR TO HAVE SHREDDED HARDWOOD MULCH UNLESS NOTED OTHERWISE. NO MULCH TO BE IN CONTACT WITH TRUNK.



**TREE PLANTING DETAIL**



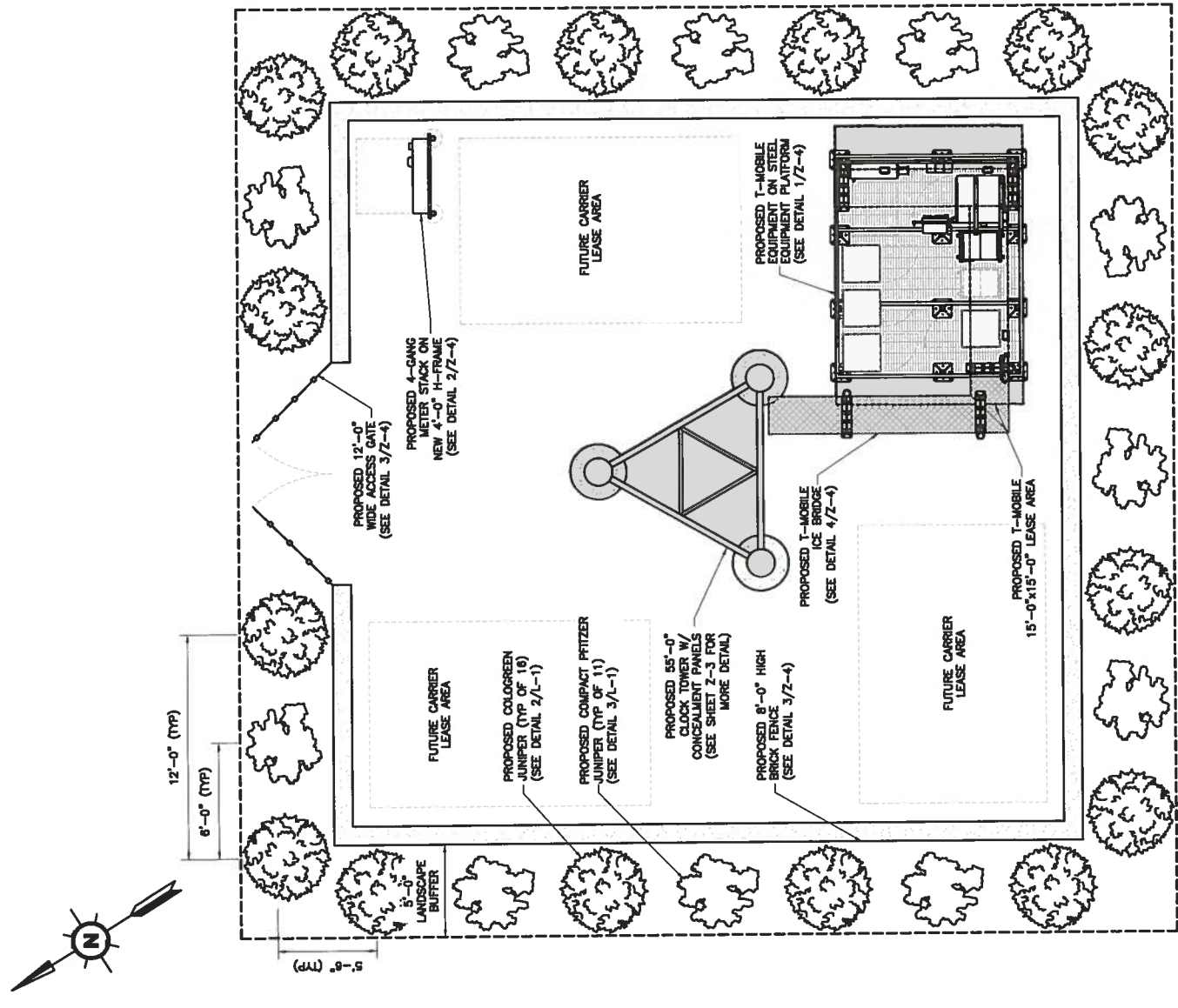
**NOTES:**

- PRUNE ALL DEAD OR DAMAGED BRANCHES PRIOR TO, AND AFTER PLANTING.
- CRUMBLING OR BROKEN ROOT BALLS WILL BE REJECTED.
- DO NOT PLANT PITS AS WIDE AND HIGH AS CONTAINER.
- DO NOT DAMAGE ROOT BALL WHEN REMOVING THE PLANT FROM ITS CONTAINER.
- FOR ALL PLANTS IDENTIFIED WITH WATER USE OF "LOW" OR "VERY LOW" ON THE PLANT LIST, KEEP WOOD MULCH 2" BACK FROM TRUNK OR STEM.
- FILL PLANT PIT WITH 1/2 SPECIFIED SOIL MIX AND 1/2 PIT SOIL.
- SCORE ROOT BOUND ROOT BALLS TO FREE UP ROOTS.

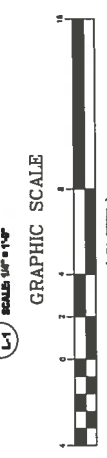
**SHRUB PLANTING DETAIL**

**TYPICAL PLANT LIST**

SYMBOL	COMMON NAME	BOTANICAL NAME	QUANTITY	MATURE HEIGHT	MATURE SPREAD	WATER USE
	COLORADO JUNIPER	JUNIPERUS SCOPULORUM COLOOREN	16	16'-20'	8'-12'	LOW
	COMPACT PRITZER JUNIPER	JUNIPERUS X MEDIA PRITZERIANA COMPACTA	11	3'-4'	4'-6'	LOW



**LANDSCAPING PLAN**



(IN FEET)  
1/4 inch = 1 ft  
(SCALE BASED ON FULL SIZE 24"x36" SHEETS ONLY)  
(DO NOT USE SCALE ON OTHER SIZED DRAWINGS)



**Know what's below. Call before you dig.**

PROVIDING DATA NOTICE: THE DRAWING AND ANY INFORMATION HEREON IS FOR YOUR INFORMATION ONLY. THE DRAWING IS NOT A CONTRACT. THE CONTRACTOR SHALL VERIFY ALL UTILITIES AND CONDITIONS OF THE SITE AND ALL ALIEN RIGHTS AND ENCUMBRANCES PRIOR TO CONSTRUCTION.

**FIGURE 1**



**T-Mobile**  
WEST LLC  
T-MOBILE WEST LLC  
2323 DELGANY STREET  
DENVER, COLORADO 80216  
PHONE: (303) 441-5500  
FAX: (303) 433-3393

**Eco-Site**  
ECO-SITE, INC.  
1801 FARM ROAD,  
DURHAM, NORTH CAROLINA 27707

**advantage engineers**  
425 KENNEDY AVENUE, SUITE C  
MECHANICSBURG, PENNSYLVANIA 17055  
PHONE: (717) 839-9900  
WWW.ADVANTAGEENGINEERS.COM

**SCHEDULE OF REVISIONS**

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DRAWN BY: MTO  
CHECKED BY: NOTED  
SCALE: H590430.000  
JOB NO: H590430.000

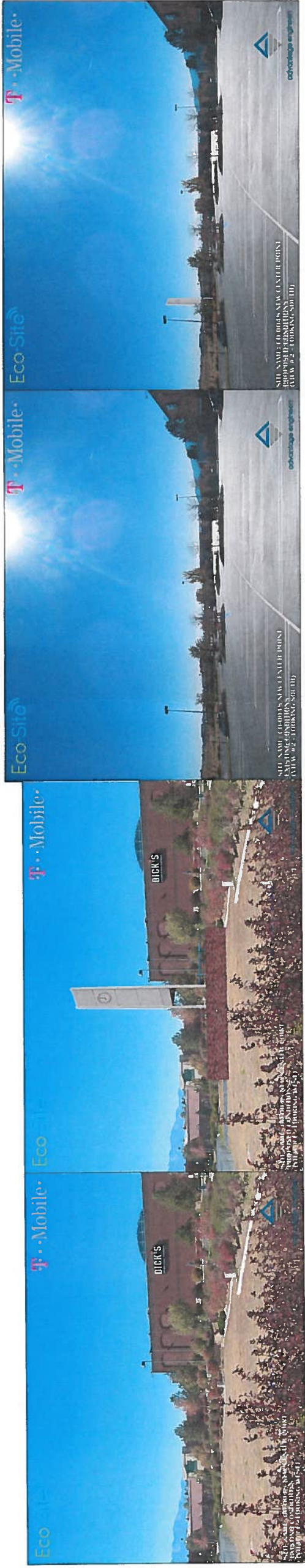
**PHOTO SIMULATIONS**

DRAWING SHEET:  
**PH-1**

SHEET NUMBER:  
**9 OF 9**

SITE INFORMATION:  
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JURISDICTION:  
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COMMONWEALTH OF PENNSYLVANIA  
REGISTERED PROFESSIONAL ENGINEER  
THOMAS ALAN WHYTE  
PE 074985  
THOMAS ALAN WHYTE, P.E.  
COLORADO PROFESSIONAL ENGINEER  
LICENSE # 14773



LAND USE REVIEW FILE No: CPC CM1 17-00032

FIGURE 1