

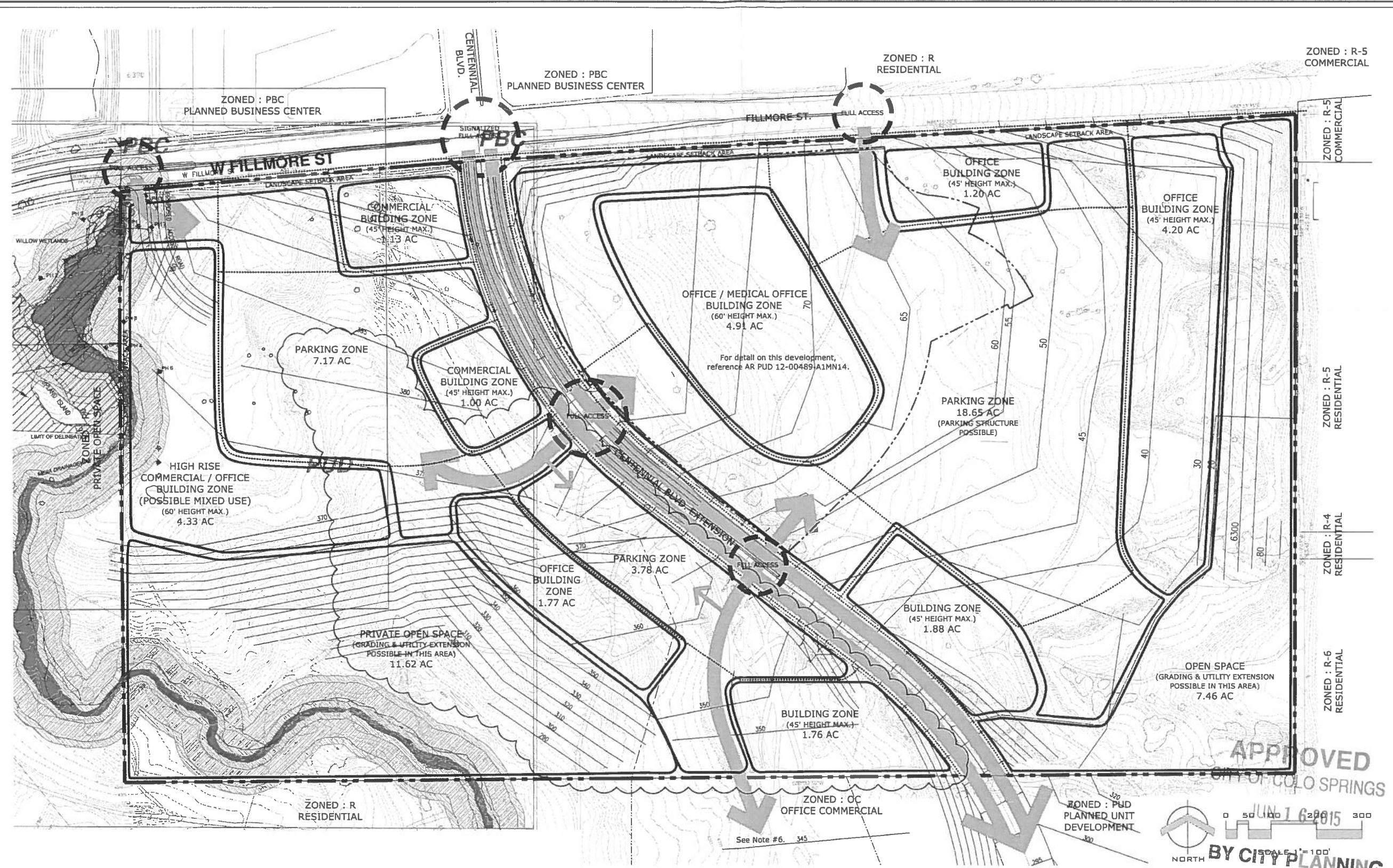
CENTENNIAL
PUD ZONE PLAN

DATE: 3/1/04
DRAWN: ADT
APPROVED: TYB

REVISIONS:	DATE:	BY:	COMMENTS:

PUD ZONE PLAN

SHEET NO
1
OF 1 SHEETS



LEGEND:

	OFFICE BUILDING ZONE: 15.72 ACRES MEDICAL OFFICE: 151,000 S.F. GENERAL OFFICE: 210,000 S.F.		OPEN SPACE: 19.08 ACRES CIRCULATION: 12.21 ACRES
	COMMERCIAL BUILDING ZONE: 6.46 ACRES SHOPPING CENTER: 151,000 S.F.		ACCESS POINT
	PARKING ZONE: 29.60 ACRES		PEDESTRIAN CIRCULATION
			Zoning Boundaries
			Parcels
			Banks
			WETLANDS
			Streamside Buffer
			Middle Buffer
			Outer Buffer
TOTAL SITE AREA: 83.07 ACRES			

LEGAL DESCRIPTION:
That portion of the South 1/4 of the Northwest 1/4 and the North 1/4 of the Southwest 1/4 of Section 36, Township 13 South, Range 67 West of the Sixth Principal Meridian, El Paso County, Colorado more particularly described as follows:
Bearings are based on the east line of the southwest 1/4 of said Section 36 and is assumed to bear N00°19'03"E;
BEGINNING at the northeast corner of the southwest 1/4 of said Section 36, thence 500°19'03"W, along the east line of said southwest 1/4, a distance of 985.46 feet; thence S89°32'50"W, a distance of 2587.50 feet to the west line of the southwest 1/4 of said Section 36; thence N00°27'10"W, along said west line, a distance of 979.53 feet to the northwest corner of said southwest 1/4 of Section 36; thence N00°37'46"E, along the west line of the NW 1/4 of said Section 36, a distance of 330.08 feet to the south right-of-way line of Fillmore Street as described in a resolution by the Board of County Commissioners of El Paso County, dated August 27, 1970; thence along said south right-of-way line the following (in (2) courses): (1) N84°06'42"E, a distance of 68.42 feet; (2) N84°59'44"E, a distance of 621.31 feet; (3) N86°17'21"E, a distance of 501.20 feet; (4) N86°55'20"E, a distance of 1194.10 feet; (5) N86°23'35"E, a distance of 220.52 feet to the east line of the northwest 1/4 of said Section 36; thence S00°18'56"W, along said east line, a distance of 475.31 feet to the POINT OF BEGINNING containing 83.066 acres more or less.

NOTES:
1. GEOHAZARD STATEMENT: THIS PROPERTY IS SUBJECT TO THE FINDINGS SUMMARY AND CONCLUSIONS OF A PRELIMINARY GEOLOGICAL HAZARD REPORT PREPARED BY CL THOMPSON, INC., APPROVED JUNE 17, 2004. A COPY OF SAID REPORT HAS BEEN PLACED WITHIN FILE CPC-PUP-04-04 OF THE CITY OF COLORADO SPRINGS, DEVELOPMENT SERVICE DIVISION. CONTACT DEVELOPMENT SERVICES 30 SOUTH NEVADA AVENUE, SUITE 301, COLORADO SPRINGS, CO, IF YOU WOULD LIKE TO REVIEW SAID REPORT.
2. A SITE SPECIFIC GEOLOGIC HAZARD REPORT WILL BE REQUIRED AT TIME OF DEVELOPMENT PLAN.
3. GRADING FOR THIS SITE CAN ONLY OCCUR ONCE A GRADING PLAN AND GEOLOGIC HAZARD REPORT HAS BEEN ACCEPTED AND APPROVED BY THE CITY.
4. AN UNEXPECTED TRAFFIC REPORT SHALL BE SUBMITTED WITH FUTURE DEVELOPMENT PLANS TO ENSURE THAT ALL MOVEMENTS MEET CITY STANDARDS FOR OPERATION.
5. IF THE EAST OR WEST ACCESS ON FILLMORE STREET ILLUSTRATED ON THE PLAN REACHES A FALLING MOVEMENT, THE ACCESS COULD BE MODIFIED TO A 1/2 MOVEMENT INTERSECTION.
6. ACCESS TO THE PROPERTY TO THE SOUTH IS A PUBLIC STREET.
7. FILE NUMBER: CPC-PUZ 04-00044, ORDINANCE NUMBER 04-101.

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