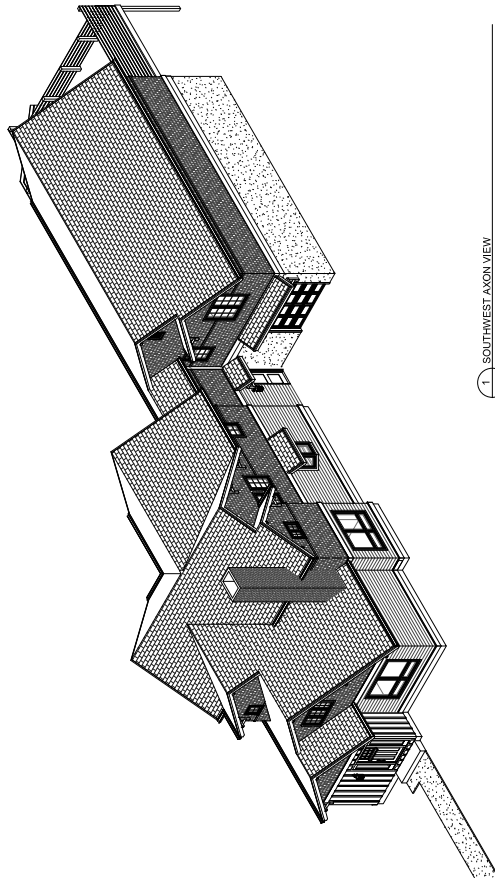


1823 N. WAHSATCH AVE. INTEGRATED ADU & ADDITION

1823 N. WAHSATCH AVE.
COLORADO SPRINGS, CO 80907



1. SOUTHWEST AXON VIEW

CONDITIONAL USE DEVELOPMENT SUBMITTAL

JUNE 21, 2021

SYMBOL LEGEND

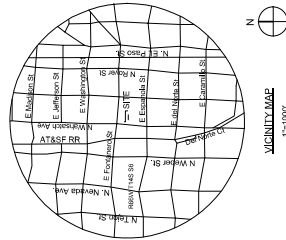
	BUILDING SECTION NUMBER SHEET NUMBER		EXTERIOR ELEVATION NUMBER SHEET NUMBER
	MAIN SECTION NUMBER SHEET NUMBER		INTERIOR ELEVATION NUMBER SHEET NUMBER
	DETAIL SECTION NUMBER SHEET NUMBER		ROOM NAME ROOM NUMBER
	DETAIL NUMBER SHEET NUMBER		DOOR NUMBER
	COLUMN GRID BUBBLE		WINDOW TYPE
	LEVEL NAME ELEVATION		PARTITION TYPE
	FIRST FLOOR 10'-0"		CEILING HEIGHT
	ACCESSORY TYPE		ACCESSORY TYPE

PROJECT TEAM

OWNER
WA & KRISTEN JOHNSON
1823 N. WAHSATCH AVE.
COLORADO SPRINGS, CO 80907

ARCHITECT
R. AUSTIN ARCHITECT LLC
1000 S. WASHINGTON AVE.
COLORADO SPRINGS, CO 80907
(719) 528-9499

VICINITY MAP



VICINITY MAP
1"=100'

DRAWING LIST

COVER SHEET
GENERAL PLAN
FIRST FLOOR PLAN
SECOND FLOOR PLAN
BUILDING ELEVATIONS
CALL

PROJECT DESCRIPTION

1823 N. WAHSATCH AVE.
COLORADO SPRINGS, CO 80907
R. AUSTIN ARCHITECT
1000 S. WASHINGTON AVE.
COLORADO SPRINGS, CO 80907
ROBERT J. AUSTIN, WA, NCARB
210 BOYD STREET
COLORADO SPRINGS, CO 80902

PROJECT DESCRIPTION
THE PROJECT SCOPE INCLUDES A SECOND STORY ADDITION TO THE PRINCIPAL RESIDENCE AND THE ADDITION OF AN INTEGRATED ADU OVER THE EXISTING DETACHED GARAGE AT 1823 N. WAHSATCH AVE.

LOT LINE
LOT AREA: 26,243 SF
MINIMUM REQUIRED LOT AREA: 17,500 - 4,800 SF
LOT AREA: 26,243 SF

MINIMUM REQUIRED LOT WIDTH: 73.04' - 50'
MINIMUM REQUIRED LOT DEPTH: 173.04' - 50'

MINIMUM REQUIRED LOT AREA: 4,800 SF
MINIMUM REQUIRED LOT AREA: 17,500 - 4,800 SF
TOTAL: 26,243 SF

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TOTAL: 26,243 SF

NOT FOR CONSTRUCTION

CLIENT
WA & KRISTEN JOHNSON
1823 N. WAHSATCH AVE.
COLORADO SPRINGS, CO 80907

ARCHITECT OF RECORD
R. AUSTIN ARCHITECT
1000 S. WASHINGTON AVE.
COLORADO SPRINGS, CO 80907

ROBERT J. AUSTIN, WA, NCARB
210 BOYD STREET
COLORADO SPRINGS, CO 80902

PROJECT NO.
24-116-00

1823 N. WAHSATCH AVE.
INTEGRATED ADU & ADDITION
CONDITIONAL USE DEVELOPMENT PLAN SUBMITTAL

DATE
6/21/2021

REVISIONS
NO. DATE DESCRIPTION
1 6/21/2021 RESPONSES

SHEET NAME
COVER SHEET

SHEET 1 OF 6
C-A0.0

CPC CU 21-00078;
CPC NV 21-00079

APPROVED SPECIAL APPLICANT NOTES:

- All exterior walls, stairs, balconies, and driveways shall be constructed in accordance with the minimum standards for exterior walls, stairs, balconies, and driveways as set forth in the Colorado Building Code. All exterior walls shall be constructed in accordance with the minimum standards for exterior walls as set forth in the Colorado Building Code. All exterior walls shall be constructed in accordance with the minimum standards for exterior walls as set forth in the Colorado Building Code.
- Specifications, City of Engineering Department Review Report, shall have the final authority in resolving the public improvements.

NOT FOR CONSTRUCTION

CLIENT
IAN & KRISTEN JOHNSON
1823 N. WAHSATCH AVE.
COLORADO SPRINGS, CO 80907

ARCHITECT OF RECORD
R. AUSTIN ARCHITECT
ROBERT J. AUSTIN, IAN, IANAS
P.O. BOX 63603
COLORADO SPRINGS, CO 80962

PROJECT NO.
24-016.00

1823 N. WAHSATCH AVE.
INTEGRATED ADU & ADDITION
CONDITIONAL USE DEVELOPMENT PLAN SUBMITTAL

DATE
6/21/2021

REVISIONS
NO. DATE DESCRIPTION
1 07/26/2021 RESPONSES
2 08/23/2021 PLANNING REVIEW

SHEET NAME
DEVELOPMENT PLAN
SHEET 2 OF 6
C-A1.0

CPC CU 21-00078;
CPC NV 21-00079



Scale 1" = 20'
Contour Interval: 1'
CONTOUR DATA
8% SW PROCP. COR.

- LEGEND
- ◆ FOUND #20858 WASHER ON CONC NAIL - 9' OFFSET
 - FOUND 1-1/2" AL. CAP #20858 ON #5 REBAR

CONDITIONAL USE DEVELOPMENT PLAN
SCALE 1" = 20'

NONUSE VARIANCE

NOT FOR CONSTRUCTION

CLIENT
IAN & KRISTEN JOHNSON
1823 N. WAHSATCH AVE.
COLORADO SPRINGS, CO 80907

ARCHITECT OF RECORD
R. AUSTIN ARCHITECT

ROBERT LAUSTIN, IAN, NCARB
P.O. BOX 63003
COLORADO SPRINGS, CO 80962

PROJECT NO.
24-016.00

1823 N. WAHSATCH AVE.
INTEGRATED ADU & ADDITION
CONDITIONAL USE DEVELOPMENT PLAN SUBMITTAL

DATE
6/21/2021

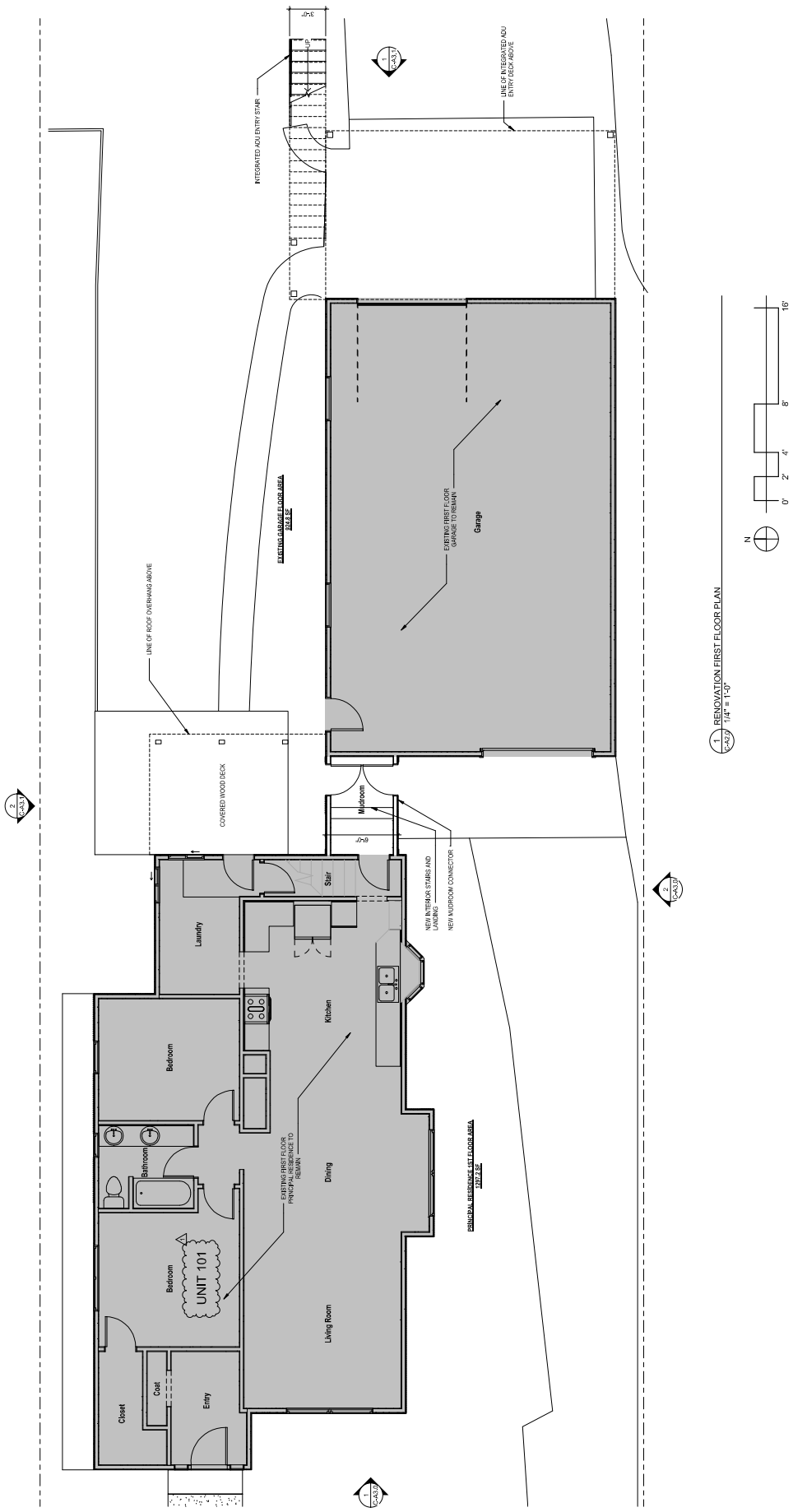
REVISIONS
NO. DATE DESCRIPTION
1 6/23/2021 RESPONSES

SHEET NAME
FIRST FLOOR PLAN

SHEET 3 OF 6

C-A2.0

CPC CU 21-00078;
CPC NV 21-00079



1. RENOVATION FIRST FLOOR PLAN
2/20' 1/4\" = 1'-0"

NONUSE VARIANCE

NOT FOR CONSTRUCTION

CLIENT
IAN & KRISTEN JOHNSON
1823 N. WAHSATCH AVE.
COLORADO SPRINGS, CO 80907

ARCHITECT OF RECORD
R. AUSTIN ARCHITECT
ROBERT J. AUSTIN, IAN, NCARB
P.O. BOX 62603
COLORADO SPRINGS, CO 80962

PROJECT NO.
24-016.00

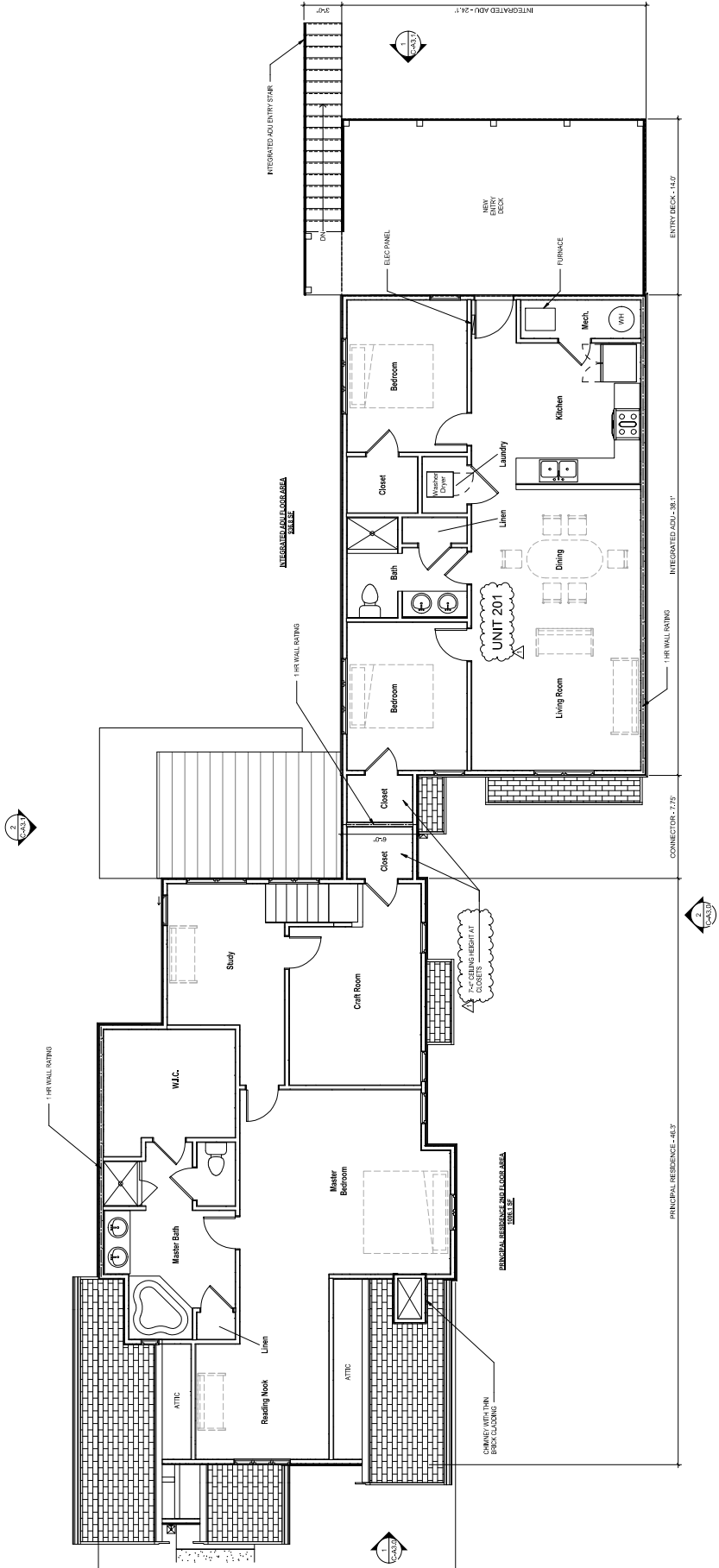
1823 N. WAHSATCH AVE.
INTEGRATED ADU & ADDITION
CONDITIONAL USE DEVELOPMENT PLAN SUBMITTAL

DATE
6/21/2021

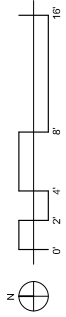
REVISIONS
NO. DATE DESCRIPTION
1 6/23/2021 RESPONSES

SHEET NAME
SECOND FLOOR PLAN
SHEET 4 OF 6
C-A2.1

CPC CU 21-00078;
CPC NV 21-00079



1. RENOVATION SECOND FLOOR PLAN
1/4" = 1'-0"



NONUSE VARIANCE

NOT FOR CONSTRUCTION

CLIENT
IAN & KRISTEN JOHNSON
1823 N. WAHSATCH AVE
COLORADO SPRINGS, CO 80907

ARCHITECT OF RECORD
R. AUSTIN ARCHITECT

ROBERT J. AUSTIN, AIA, NCARB
P.O. BOX 5363
COLORADO SPRINGS, CO 80902

PROJECT NO.
21-038-00

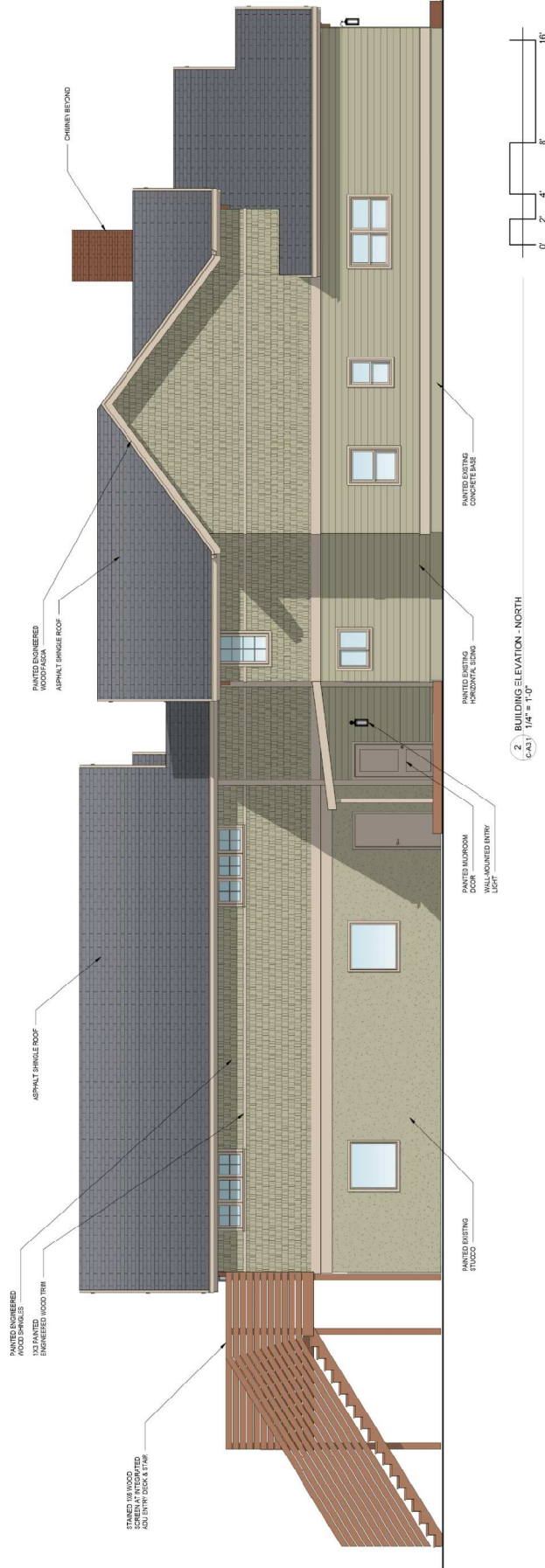
1823 N. WAHSATCH AVE.
INTEGRATED ADU & ADDITION
CONDITIONAL USE DEVELOPMENT PLAN SUBMITTAL

DATE
6/21/2021

REVISIONS
NO. DATE DESCRIPTION
1 07/29/2021 RESPONSES

SHEET NAME
BUILDING ELEVATIONS
SHEET 6 OF 6
C-A3.1

CPC CU 21-00078;
CPC NV 21-00079



NONUSE VARIANCE