

AIRPORT CREEK POINT APARTMENTS CONDITIONAL USE DEVELOPMENT PLAN

SITUATED IN A PORTION OF THE NORTHEAST 1/4 OF SECTION 24, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

BASIS OF BEARINGS
Lot 1, S. 3. Wilson & Powers Subdivision, Plat No. 3, recorded December 26, 2006, as Reception No. 200712408 in the Record of Deeds, Book 100, Page 100, Colorado Springs, El Paso County, Colorado.
Lot 2, S. 3. Wilson & Powers Subdivision, Plat No. 3, recorded December 26, 2006, as Reception No. 200712408 in the Record of Deeds, Book 100, Page 100, Colorado Springs, El Paso County, Colorado.

LEGAL DESCRIPTION
LOT 1 & 2, AIRPORT & POWERS SUBDIVISION, PLAT NO. 3, RECORDED DECEMBER 26, 2006, AS RECEPTION NO. 200712408 IN THE RECORD OF DEEDS, BOOK 100, PAGE 100, COLORADO SPRINGS, EL PASO COUNTY, COLORADO.
WEST OF THE 6TH P.M. OF THE CITY OF COLORADO SPRINGS, EL PASO COUNTY, COLORADO.
BASE OF BEARINGS IS THE WEST LINE OF LOT 2, AIRPORT & POWERS SUBDIVISION, PLAT NO. 3, MONUMENTED ON THE NORTH END WITH A 66' MAG. AND S.W. QUARTER CORNER OF THE 6TH P.M. ON THE SOUTH END WITH A 66' REAR AND GREEN PLASTIC MONUMENT. THE 6TH P.M. IS LOCATED 14.5' SOUTH OF THE 6TH P.M. AND 14.5' WEST OF THE 6TH P.M. THE 6TH P.M. IS LOCATED 251,905 S.F. OR 5.743 ACRES, MORE OR LESS.

SITE DATA	
SITE ADDRESS	61.80 AC.
MAP SHEET IN PLAN	GATEWAY PARK CO. 18 R 30, AS AMENDED
ACRES	59.5 STAFF REPORT GREEN POWER
TOTAL LOTS	20
GROSS DENSITY	20.17 DU/AC
TAX SCHEDULE NUMBER	8421000-0841008
DEVELOPMENT SCHEDULE	SPRINKLER/SMR/021
DRAINAGE BASIN	SPRINKLER
MAP SHEET	SPRINKLER
COCOAFACT TYPE	R2 (APARTMENTS) (AN COLORADO)
CONSTRUCTION TYPE	1/4 APARTMENTS (AN COLORADO)
MAX BUILDING HEIGHT	40'0"
EXISTING ZONE	PRG-020E
PROPOSED ZONE	WANTY
PROPOSED ZONE USE	PRG-020E
PROPOSED ZONE USE	MULTI-FAMILY
FRONT SETBACK	20'
REAR SETBACK	20'

GENERAL NOTES

- THE APPLICANT IS RESPONSIBLE FOR THE PLAN BEING FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY, CRITERIA AND REGULATIONS AS FURNISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT CONSTITUTE AN ENDORSEMENT OR GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED HEREIN. THE APPLICANT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AGENCIES INVOLVED IN THE REVIEW AND APPROVAL OF THIS PLAN. THE APPLICANT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AGENCIES INVOLVED IN THE REVIEW AND APPROVAL OF THIS PLAN.
- THE APPLICANT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AGENCIES INVOLVED IN THE REVIEW AND APPROVAL OF THIS PLAN.
- THE APPLICANT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AGENCIES INVOLVED IN THE REVIEW AND APPROVAL OF THIS PLAN.
- THE APPLICANT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AGENCIES INVOLVED IN THE REVIEW AND APPROVAL OF THIS PLAN.
- THE APPLICANT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AGENCIES INVOLVED IN THE REVIEW AND APPROVAL OF THIS PLAN.
- THE APPLICANT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AGENCIES INVOLVED IN THE REVIEW AND APPROVAL OF THIS PLAN.
- THE APPLICANT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AGENCIES INVOLVED IN THE REVIEW AND APPROVAL OF THIS PLAN.
- THE APPLICANT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AGENCIES INVOLVED IN THE REVIEW AND APPROVAL OF THIS PLAN.
- THE APPLICANT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AGENCIES INVOLVED IN THE REVIEW AND APPROVAL OF THIS PLAN.
- THE APPLICANT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AGENCIES INVOLVED IN THE REVIEW AND APPROVAL OF THIS PLAN.
- THE APPLICANT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AGENCIES INVOLVED IN THE REVIEW AND APPROVAL OF THIS PLAN.
- THE APPLICANT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AGENCIES INVOLVED IN THE REVIEW AND APPROVAL OF THIS PLAN.
- THE APPLICANT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AGENCIES INVOLVED IN THE REVIEW AND APPROVAL OF THIS PLAN.
- THE APPLICANT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AGENCIES INVOLVED IN THE REVIEW AND APPROVAL OF THIS PLAN.
- THE APPLICANT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AGENCIES INVOLVED IN THE REVIEW AND APPROVAL OF THIS PLAN.

FEMA FLOOD ZONING
THIS PROPERTY IS LOCATED WITHIN A DESIGNATED FLOOD ZONE AS DETERMINED BY THE FLOOD INSURANCE RATE MAP, COMMUNITY MAP NUMBER 70041002505, EFFECTIVE DATE 1/27/2016.

PREPARED: 1/16/2021
Kimley-Horn
© 2021 (KIMLEY-HORN AND ASSOCIATES, INC.)
2 NORTH NEVADA AVENUE, SUITE 300
COLORADO SPRINGS, COLORADO 80903 (719) 443-0180

SHEET LIST TABLE	
SHEET NUMBER	SHEET TITLE
1	COVER SHEET
2	EXISTING CONDITIONS
3	SITE PLAN
4	SITE DETAILS
5	STREAMSIDE OVERLAY
6	PRELIMINARY UTILITY AND PUBLIC FACILITIES PLAN
7	PRELIMINARY GRADING PLAN
8	PRELIMINARY LANDSCAPE PLAN
9	PRELIMINARY LANDSCAPE NOTES
10	PRELIMINARY LANDSCAPE DETAILS
11	PRELIMINARY LANDSCAPE DETAILS
12	BUILDING ELEVATIONS
13	BUILDING ELEVATIONS
14	BUILDING ELEVATIONS
15	BUILDING ELEVATIONS
16	PHOTOMETRIC PLAN
17	OUT SHEETS

APARTMENT "A" TYPE	
1 BED, 1 BATH UNIT	35
2 BED, 2 BATH UNIT	2
3 BED, 2 BATH UNIT	4
UNITS PER BUILDING	67
BEDROOMS PER BUILDING	103

TOTAL DWELLING UNITS	
U1 = (086/764) X 2	70
U2 = (086/764) X 2	56
U3 = (086/764) X 2	8
TOTAL UNITS X 2	134
TOTAL BEDROOM COUNT	206

GROSS BUILDING AREAS	
APARTMENT - 1ST	20,640 SF
APARTMENT - 1ST	20,640 SF
APARTMENT - 1ST	20,640 SF
APARTMENT - 1ST	20,640 SF
APARTMENT - 1ST	20,640 SF
FITNESS	11,000 SF
LEASING	11,000 SF
TOTAL	22,779 SF

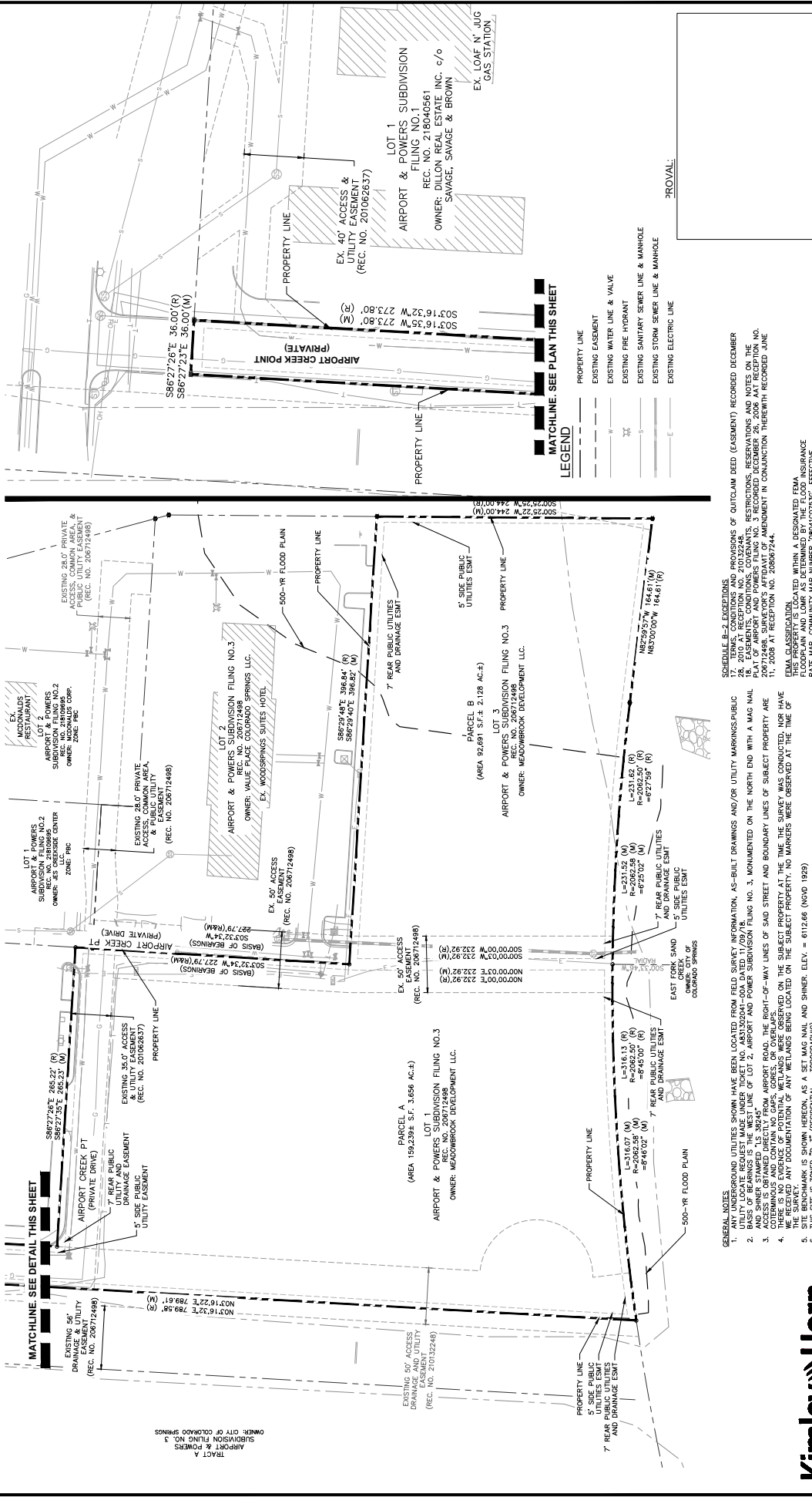
LANDSCAPE/OPEN SPACE	
SITE DIMENSIONS	251,905 S.F./5.743 AC.
LANDSCAPE/OPEN SPACE	41,000 S.F./0.944 AC.
TOTAL OPEN SPACE PROVIDED	84,779 S.F./1.944 AC. ±

CITY APPROVAL:

AIRPORT CREEK POINT APARTMENTS

CONDITIONAL USE DEVELOPMENT PLAN

SITUATED IN A PORTION OF THE NORTHEAST 1/4 OF SECTION 24, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

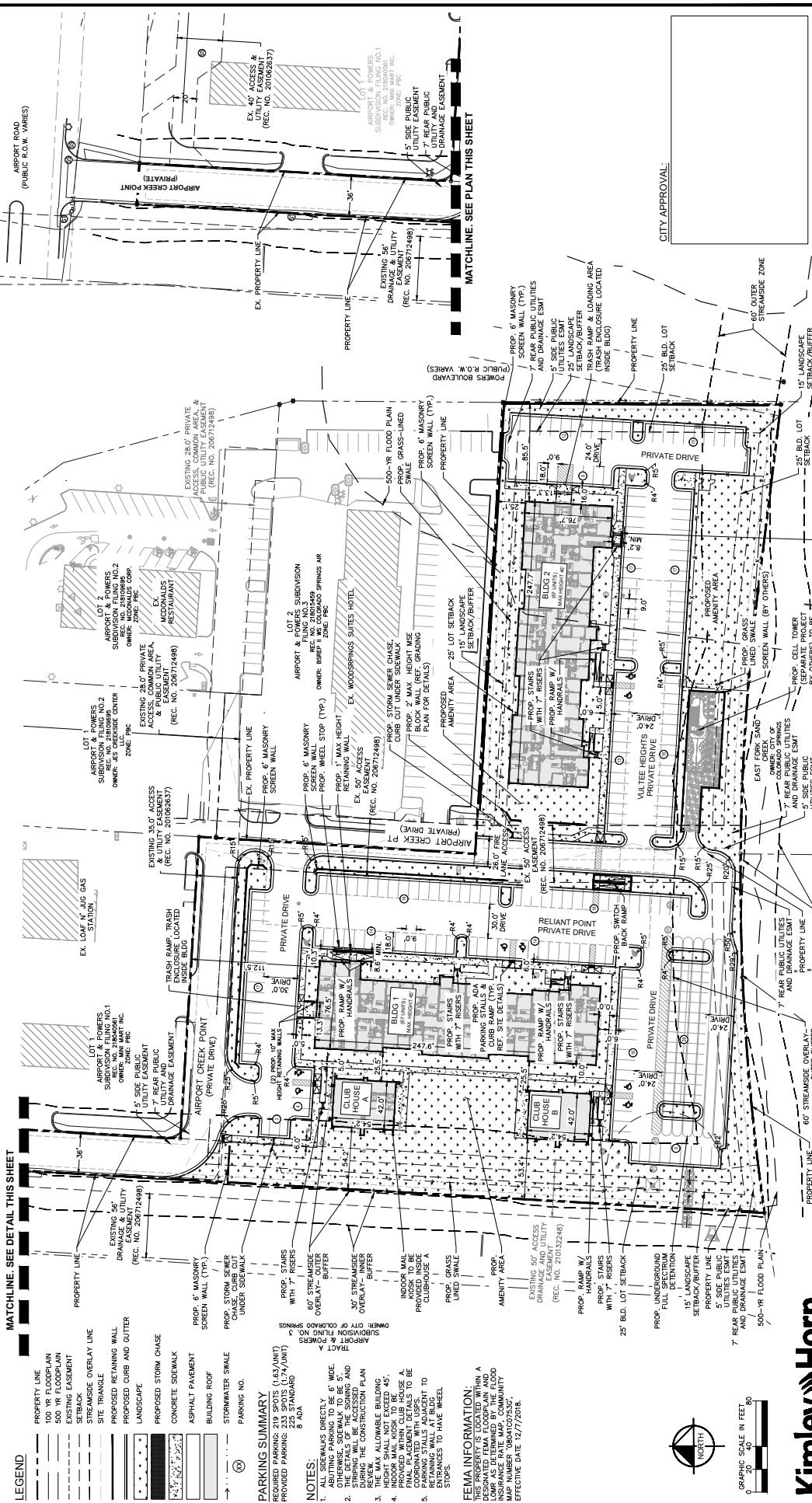


© 2021 KIMLEY-HORN & ASSOCIATES, INC.
 2 NORTH NEVADA AVENUE, SUITE 300
 COLORADO SPRINGS, COLORADO 80903 (719) 453-0180

AIRPORT CREEK POINT APARTMENTS

CONDITIONAL USE DEVELOPMENT PLAN

SITUATED IN A PORTION OF THE NORTHEAST 1/4 OF SECTION 24, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



MATCHLINE: SEE DETAIL THIS SHEET

MATCHLINE: SEE PLAN THIS SHEET

- LEGEND**
- PROPERTY LINE
 - 100-YR FLOODPLAIN
 - EXISTING EASEMENT
 - SETBACK
 - STREAMScape OVERLAY LINE
 - PROPOSED RETAINING WALL
 - PROPOSED CURB AND OUTER LANDSCAPE
 - PROPOSED STORM CHASE
 - CONCRETE SIDEWALK
 - ASPHALT PAVEMENT
 - BUILDING ROOF
 - STORMWATER SWALE
 - PARKING NO.

PARKING SUMMARY
REQUIRED PARKING: 219 SPOTS (1.83/UNIT)
PROVIDED PARKING: 233 SPOTS (1.94/UNIT)

- NOTES:**
1. ALL SIDEWALKS DIRECTLY ADJACENT TO THE BUILDING SHALL BE 5' WIDE. OTHERWISE, SIDEWALK TO BE 5'.
 2. THE DETAILS OF THE SIGNING AND LIGHTING SHALL BE DETERMINED DURING THE CONSTRUCTION PLAN.
 3. THE MAX ALLOWABLE BUILDING HEIGHT SHALL NOT EXCEED 45'.
 4. PROVIDED WITHIN CLUB HOUSE A FINISH PLACEMENT DETAILS TO BE PROVIDED TO THE ARCHITECT.
 5. PARKING STALLS ADJACENT TO ENTRANCES TO MAKE WHEEL STOPS.

FEMA INFORMATION:
THIS PROPERTY IS LOCATED WITHIN A DESIGNATED FEMA FLOODPLAIN AND THE PROPERTY IS SUBJECT TO FLOOD INSURANCE RATE MAP COMMUNITY MAP NUMBER 0604100753C. EFFECTIVE DATE 12/7/2016.

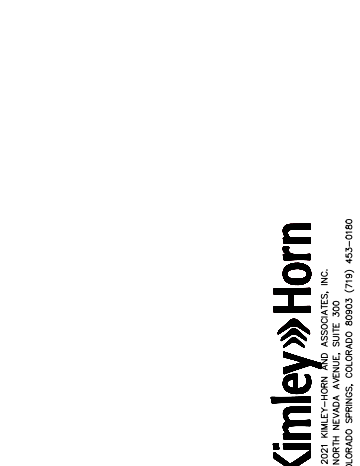
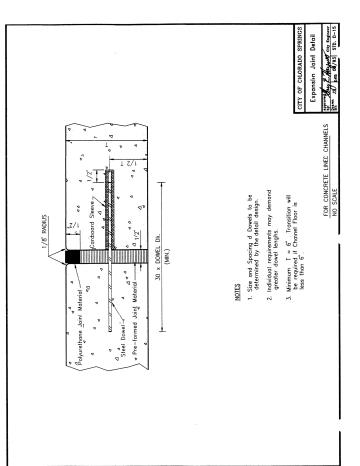
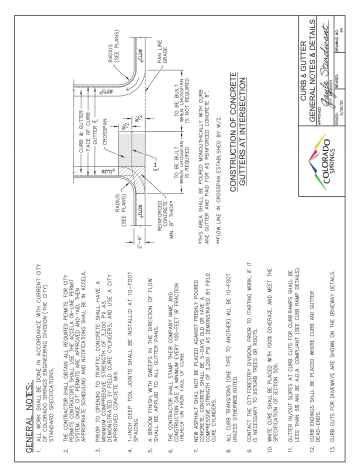
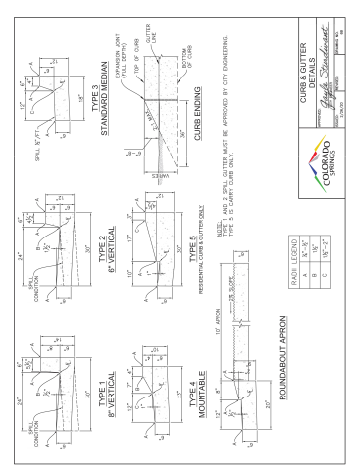
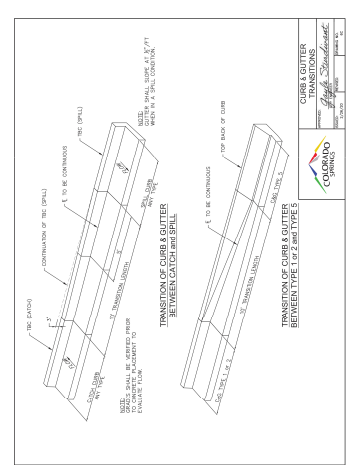
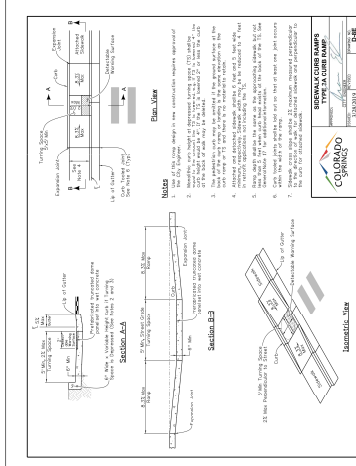
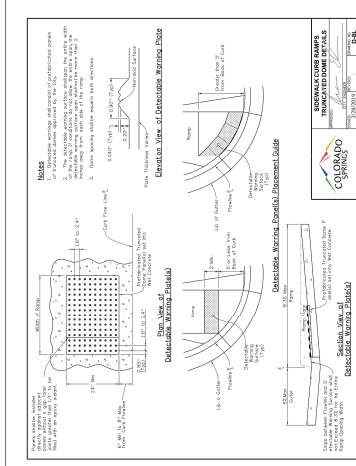
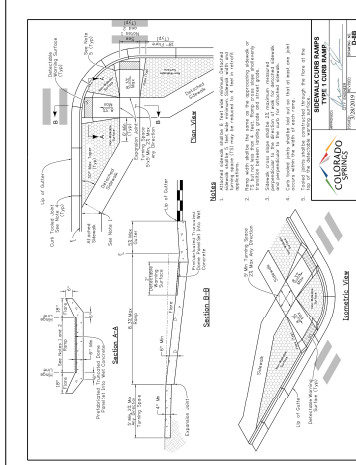


Kimley»Horn
© 2021 (WILEY-HORN AND ASSOCIATES, INC.
2 NORTH NEVADA AVENUE, SUITE 300
COLORADO SPRINGS, COLORADO 80903 (719) 455-0180

AIRPORT CREEK POINT APARTMENTS

CONDITIONAL USE DEVELOPMENT PLAN

SITUATED IN A PORTION OF THE NORTHEAST 1/4 OF SECTION 24, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



CITY APPROVAL:

AIRPORT CREEK POINT APARTMENTS CONDITIONAL USE DEVELOPMENT PLAN

SITUATED IN A PORTION OF THE NORTHEAST 1/4 OF SECTION 24, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

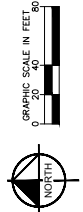
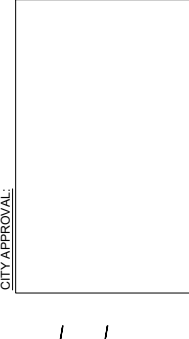
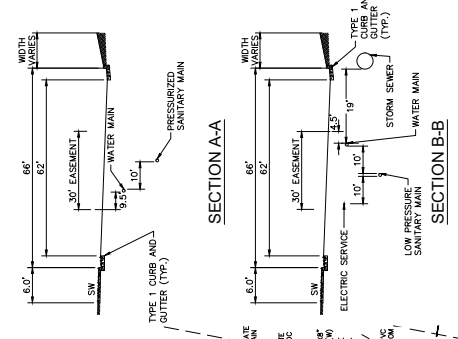
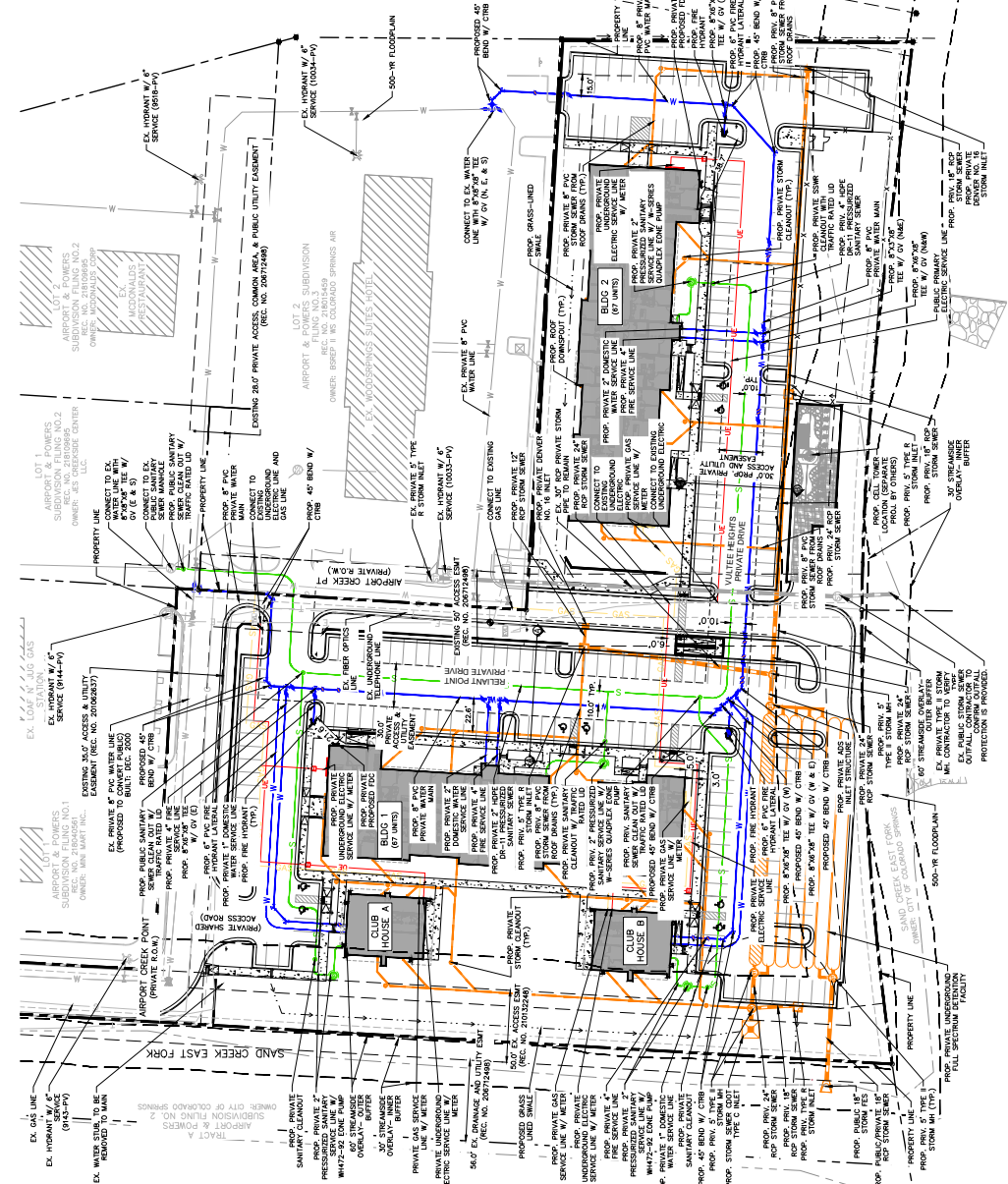
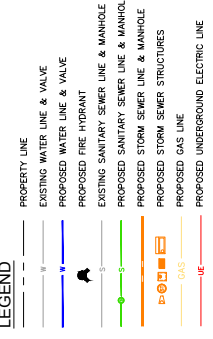
GENERAL NOTES

- Colorado Springs Utilities (Spring Utilities) shall make the final determination of the location of all water, wastewater, electric and gas service lines. All service lines shall be the same location as shown on this Preliminary Utility Plan.
- Property Owner(s) (Owner) acknowledges that the connection and/or extension of utility services to the property identified in this Preliminary Utility Plan shall be the responsibility of the Owner. The Owner shall obtain all necessary permits, fees, and approvals from the City of Colorado Springs, Colorado Springs Utilities, and the State of Colorado. The Owner shall be responsible for the cost of utility service connection and/or extension.
- Owner acknowledges responsibility for the costs of extensions or utility services to the property or to ensure timely development of integrated utility systems serving the property and areas outside the property boundaries. The Owner shall be responsible for the design, construction, and installation of all utility lines and structures within the property boundaries. The Owner shall be responsible for the design, construction, and installation of all utility lines and structures outside the property boundaries. The Owner shall be responsible for the design, construction, and installation of all utility lines and structures within the property boundaries. The Owner shall be responsible for the design, construction, and installation of all utility lines and structures outside the property boundaries.
- Spring Utilities utility services are available on a first-come, first-served basis, and therefore no specific allocations or amounts of utility services are guaranteed. The Owner shall be responsible for the design, construction, and installation of all utility lines and structures within the property boundaries. The Owner shall be responsible for the design, construction, and installation of all utility lines and structures outside the property boundaries.
- The relocation or alteration of any existing utility facilities within the property boundaries shall be the responsibility of the Owner. The Owner shall be responsible for the design, construction, and installation of all utility lines and structures within the property boundaries. The Owner shall be responsible for the design, construction, and installation of all utility lines and structures outside the property boundaries.
- The Owner shall be responsible for the design, construction, and installation of all utility lines and structures within the property boundaries. The Owner shall be responsible for the design, construction, and installation of all utility lines and structures outside the property boundaries.
- The Owner shall be responsible for the design, construction, and installation of all utility lines and structures within the property boundaries. The Owner shall be responsible for the design, construction, and installation of all utility lines and structures outside the property boundaries.
- The Owner shall be responsible for the design, construction, and installation of all utility lines and structures within the property boundaries. The Owner shall be responsible for the design, construction, and installation of all utility lines and structures outside the property boundaries.
- The Owner shall be responsible for the design, construction, and installation of all utility lines and structures within the property boundaries. The Owner shall be responsible for the design, construction, and installation of all utility lines and structures outside the property boundaries.
- The Owner shall be responsible for the design, construction, and installation of all utility lines and structures within the property boundaries. The Owner shall be responsible for the design, construction, and installation of all utility lines and structures outside the property boundaries.

NOTE: ALL SANITARY SEWER, STORM SEWER, AND WATER INFRASTRUCTURE ARE PRIVATE.

FEMA CLASSIFICATION
THIS PROPERTY IS LOCATED WITHIN A DESIGNATED FEMA
FLOOD HAZARD ZONE. THE FLOOD INSURANCE RATE MAP, COMMUNITY
MAP NUMBER 108041007535, EFFECTIVE DATE 12/7/2018.

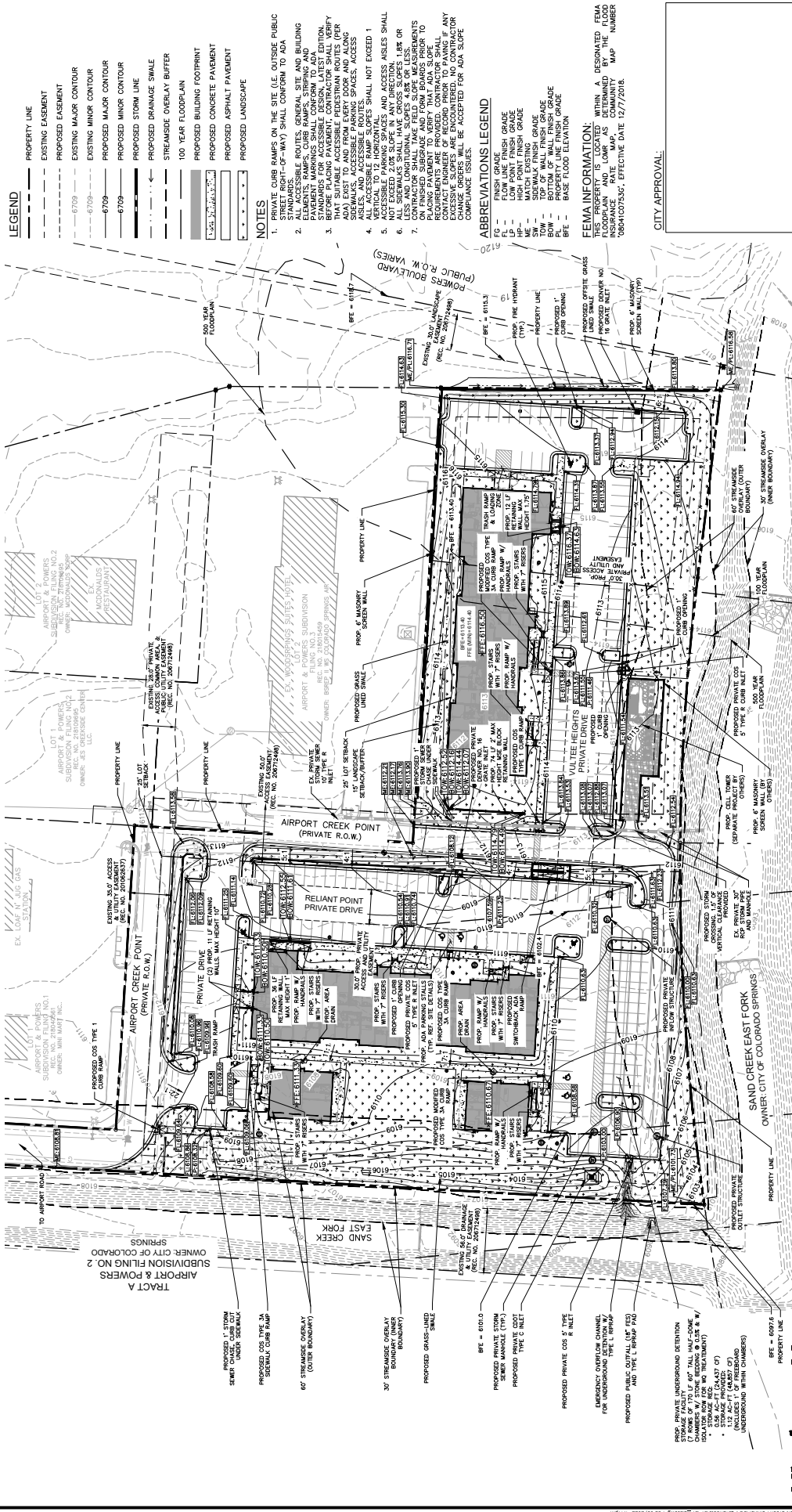
- ## PROJECT SPECIFIC NOTES
- EXISTING SANITARY SEWER LINE AND MANHOLE
 - EXISTING WATER LINE AND VALVE
 - PROPOSED WATER LINE AND VALVE
 - PROPOSED FIRE HYDRANT
 - EXISTING SANITARY SEWER LINE AND MANHOLE
 - PROPOSED SANITARY SEWER LINE AND MANHOLE
 - PROPOSED STORM SEWER STRUCTURES
 - PROPOSED GAS LINE
 - PROPOSED UNDERGROUND ELECTRIC LINE



Kimley»Horn
© 2021 KIMLEY-HORN AND ASSOCIATES, INC.
2 NORTH NEVADA AVENUE, SUITE 300
COLORADO SPRINGS, COLORADO 80903 (719) 453-0180

AIRPORT CREEK POINT APARTMENTS CONDITIONAL USE DEVELOPMENT PLAN

SITUATED IN A PORTION OF THE NORTHEAST 1/4 OF SECTION 24, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



LEGEND

---	PROPERTY LINE
---	EXISTING EASEMENT
---	PROPOSED EASEMENT
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	PROPOSED MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	PROPOSED STORM LINE
---	PROPOSED DRAINAGE SWALE
---	STREAMSIDE OVERLAY BUFFER
---	100 YEAR FLOODPLAIN
---	PROPOSED BUILDING FOOTPRINT
---	PROPOSED CONCRETE PAVEMENT
---	PROPOSED ASPHALT PAVEMENT
---	PROPOSED LANDSCAPE

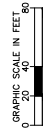
- NOTES**
1. CURB RAMP ON THE SITE (I.E. OVERSIDE PUBLIC STREET RIGHT-OF-WAY) SHALL CONFORM TO ADA STANDARDS.
 2. STANDARD, BOLLARDS, GENERAL SITE AND BUILDING ELEMENTS, RAMPS, CURB RAMP, STRIPING AND SIGNAGE SHALL CONFORM TO THE LATEST EDITION, STANDARD FOR ACCESSIBLE DESIGN (ANSI A117.1).
 3. BEFORE PLACING PAVEMENT, CONTRACTOR SHALL VERIFY ADAI EXIST TO AND FROM EVERY DOOR AND ALONG SIDEWALKS, ACCESSIBLE PARKING SPACES, ACCESSIBLE RAMP, ACCESSIBLE RAMP SLOPES SHALL NOT EXCEED 1:12.
 4. ALL ACCESSIBLE RAMP SLOPES SHALL NOT EXCEED 1:12.
 5. ACCESSIBLE RAMP SLOPES AND ACCESSIBLE ASLES SHALL NOT EXCEED 2.0% SLOPE IN ANY DIRECTION.
 6. ALL ACCESSIBLE RAMP SLOPES SHALL NOT EXCEED 1:12.
 7. CONTRACTOR SHALL TAKE FIELD SLOPE MEASUREMENTS BEFORE PLACING PAVEMENT TO VERIFY THAT ADA SLOPE TO PLACING PAVEMENT TO VERIFY THAT ADA SLOPE TO CONTACT ENGINEER OF RECORD PRIOR TO PAVING IF ANY EXCESSIVE SLOPES ARE ENCOUNTERED. NO CONTRACTOR COMPLIANCE ISSUES.

ABBREVIATIONS LEGEND

FG	FINISH GRADE
FL	FLOW LINE FINISH GRADE
HP	HIGH POINT FINISH GRADE
ME	MATCH EXISTING GRADE
TOP	TOP OF WALL FINISH GRADE
FP	PROPERTY LINE FINISH GRADE
BFE	BASE FLOOD ELEVATION

FEMA INFORMATION:
THIS PROJECT IS LOCATED WITHIN A DESIGNATED FEMA FLOODPLAIN AND DAMAGE AS DETERMINED BY THE FLOOD INSURANCE RATE MAP NUMBER 38041C0243C, EFFECTIVE DATE 12/7/2018.

CITY APPROVAL:



PRELIMINARY GRADING PLAN
SHEET 7 OF 17

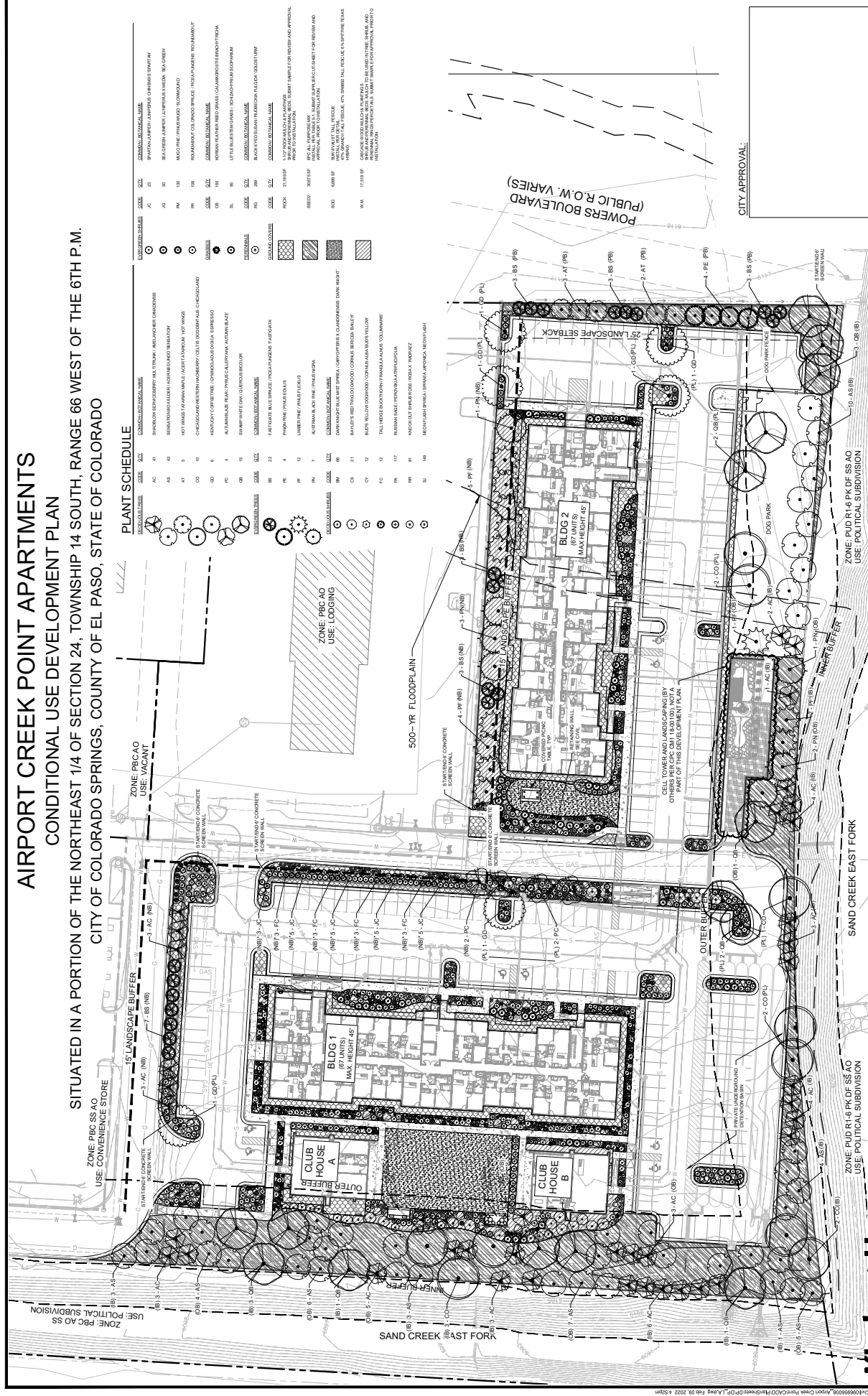
AIRPORT CREEK POINT - CITY FILE NO. CPC CU 21-00097

Kimley»Horn
© 2021 KIMLEY-HORN AND ASSOCIATES, INC.
2 NORTH NEVADA AVENUE, SUITE 300
COLORADO SPRINGS, COLORADO 80903 (719) 453-0180

AIRPORT CREEK POINT APARTMENTS

CONDITIONAL USE DEVELOPMENT PLAN

SITUATED IN A PORTION OF THE NORTHEAST 1/4 OF SECTION 24, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



PLANT SCHEDULE

SYMBOL	COMMON NAME	REMARKS
(Symbol)	SHADY BERRY	PLANT SPECIES
(Symbol)	SPRING BLOSSOM	PLANT SPECIES
(Symbol)

CONSTRUCTION SCHEDULE

SYMBOL	DESCRIPTION	REMARKS
(Symbol)	CONCRETE	...
(Symbol)	ASPHALT	...
(Symbol)

CITY APPROVAL:

Kimley»Horn
© 2021 KIMLEY-HORN AND ASSOCIATES, INC.
2 NORTH NEVADA AVENUE, SUITE 300
COLORADO SPRINGS, COLORADO 80903 (719) 453-0180

PRELIMINARY LANDSCAPE PLAN
SHEET 8 OF 17

AIRPORT CREEK POINT - CITY FILE NO. CPC CU 21-00097

NOTE: LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF OWNER, AND/OR THEIR ASSIGNS

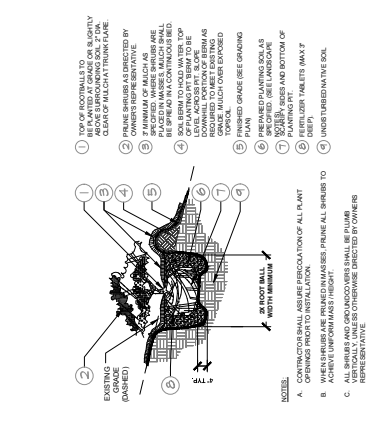
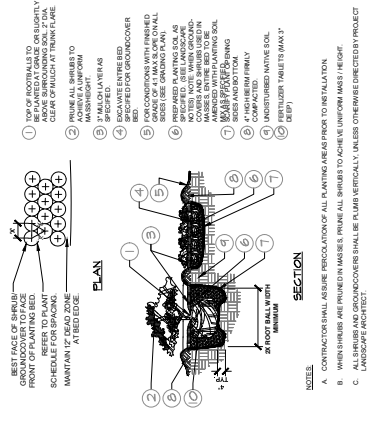
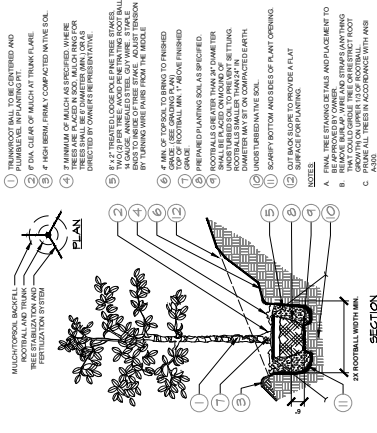
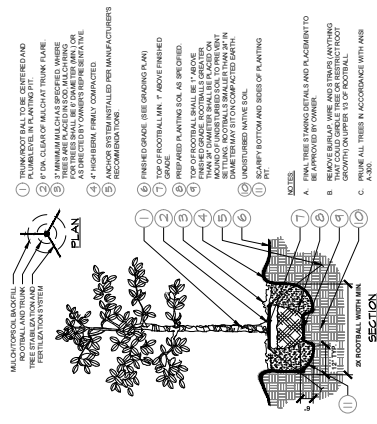
GRAPHIC SCALE IN FEET: 0, 15, 30, 45

SCALE: 1" = 30'

DATE: 08/11/2022

AIRPORT CREEK POINT APARTMENTS CONDITIONAL USE DEVELOPMENT PLAN

SITUATED IN A PORTION OF THE NORTHEAST 1/4 OF SECTION 24, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

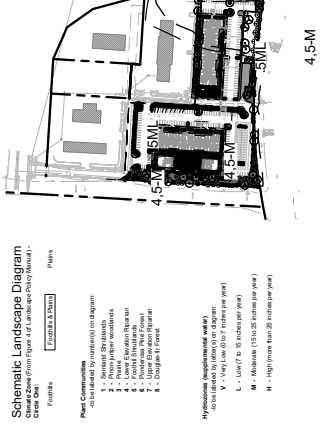
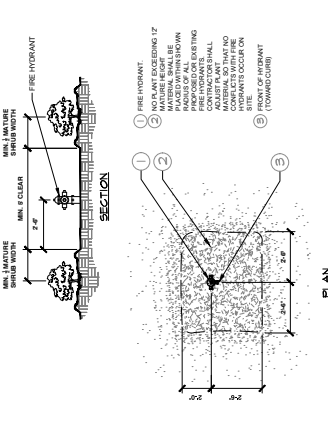
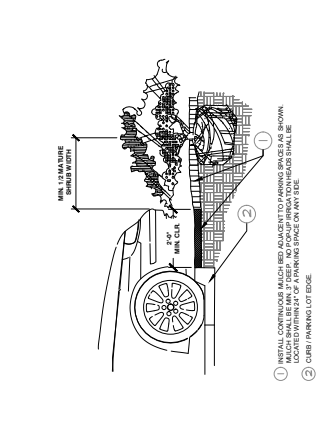
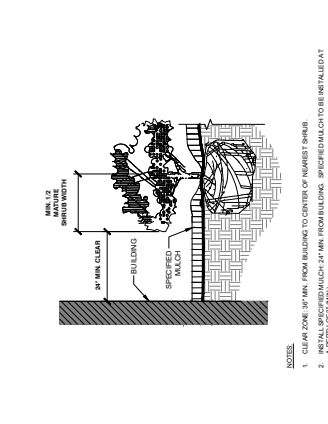


1. TREE PLANTING ON A SLOPE
SECTION/PLAN

2. TREE PLANTING ON A SLOPE
SECTION/PLAN

3. SHRUB/GRASSCOVER PLANTING ON A SLOPE
SECTION/PLAN

4. SHRUB/GRASSCOVER PLANTING ON A SLOPE
SECTION/PLAN



5. PLANTING ADJACENT TO BUILDINGS
SECTION

6. PARKING SPACE/CURB PLANTING
SECTION

7. SHRUB PLANTING AT FIRE HYDRANT
SECTION/PLAN

8. SHRUB/GRASSCOVER PLANTING ON A SLOPE
SECTION/PLAN

5. PLANTING ADJACENT TO BUILDINGS
SECTION

6. PARKING SPACE/CURB PLANTING
SECTION

7. SHRUB PLANTING AT FIRE HYDRANT
SECTION/PLAN

8. SHRUB/GRASSCOVER PLANTING ON A SLOPE
SECTION/PLAN

TABLE 1.1: Planting Specifications for Various Plant Types, Species, and Sizes

Plant Type	Species	Size	Planting Depth	Planting Width	Planting Height	Planting Spacing
Tree	Deciduous	12-18"	24"	24"	24"	12'
Tree	Evergreen	12-18"	24"	24"	24"	12'
Shrub	Deciduous	12-18"	24"	24"	24"	12'
Shrub	Evergreen	12-18"	24"	24"	24"	12'
Grass	Perennial	12-18"	24"	24"	24"	12'
Grass	Annual	12-18"	24"	24"	24"	12'
Flower	Perennial	12-18"	24"	24"	24"	12'
Flower	Annual	12-18"	24"	24"	24"	12'
Groundcover	Perennial	12-18"	24"	24"	24"	12'
Groundcover	Annual	12-18"	24"	24"	24"	12'

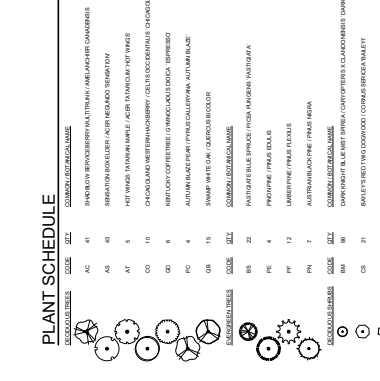
TABLE 1.2: Planting Specifications for Various Plant Types, Species, and Sizes

Plant Type	Species	Size	Planting Depth	Planting Width	Planting Height	Planting Spacing
Tree	Deciduous	12-18"	24"	24"	24"	12'
Tree	Evergreen	12-18"	24"	24"	24"	12'
Shrub	Deciduous	12-18"	24"	24"	24"	12'
Shrub	Evergreen	12-18"	24"	24"	24"	12'
Grass	Perennial	12-18"	24"	24"	24"	12'
Grass	Annual	12-18"	24"	24"	24"	12'
Flower	Perennial	12-18"	24"	24"	24"	12'
Flower	Annual	12-18"	24"	24"	24"	12'
Groundcover	Perennial	12-18"	24"	24"	24"	12'
Groundcover	Annual	12-18"	24"	24"	24"	12'

Kimley-Horn
© 2021 KIMLEY-HORN AND ASSOCIATES, INC.
2 NORTH NEVADA AVENUE, SUITE 300
COLORADO SPRINGS, COLORADO 80903 (719) 455-0180

AIRPORT CREEK POINT APARTMENTS CONDITIONAL USE DEVELOPMENT PLAN

SITUATED IN A PORTION OF THE NORTHEAST 1/4 OF SECTION 24, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



PLANT SCHEDULE

SYMBOL	PLANT CODE	PLANT NAME	PLANT TYPE	PLANT SIZE	PLANT SPACING	PLANT MATING	PLANT DATE
1	BB	SHRUB	12" DIA. 5 FT. MIN.	12" DIA. 5 FT. MIN.	20' x 20'	10/15	10/15
2	BB	SHRUB	12" DIA. 5 FT. MIN.	12" DIA. 5 FT. MIN.	20' x 20'	10/20	10/20
3	BB	SHRUB	12" DIA. 5 FT. MIN.	12" DIA. 5 FT. MIN.	20' x 20'	10/25	10/25
4	BB	SHRUB	12" DIA. 5 FT. MIN.	12" DIA. 5 FT. MIN.	20' x 20'	10/30	10/30
5	BB	SHRUB	12" DIA. 5 FT. MIN.	12" DIA. 5 FT. MIN.	20' x 20'	10/35	10/35
6	BB	SHRUB	12" DIA. 5 FT. MIN.	12" DIA. 5 FT. MIN.	20' x 20'	10/40	10/40
7	BB	SHRUB	12" DIA. 5 FT. MIN.	12" DIA. 5 FT. MIN.	20' x 20'	10/45	10/45
8	BB	SHRUB	12" DIA. 5 FT. MIN.	12" DIA. 5 FT. MIN.	20' x 20'	10/50	10/50
9	BB	SHRUB	12" DIA. 5 FT. MIN.	12" DIA. 5 FT. MIN.	20' x 20'	10/55	10/55
10	BB	SHRUB	12" DIA. 5 FT. MIN.	12" DIA. 5 FT. MIN.	20' x 20'	10/60	10/60
11	BB	SHRUB	12" DIA. 5 FT. MIN.	12" DIA. 5 FT. MIN.	20' x 20'	10/65	10/65
12	BB	SHRUB	12" DIA. 5 FT. MIN.	12" DIA. 5 FT. MIN.	20' x 20'	10/70	10/70
13	BB	SHRUB	12" DIA. 5 FT. MIN.	12" DIA. 5 FT. MIN.	20' x 20'	10/75	10/75
14	BB	SHRUB	12" DIA. 5 FT. MIN.	12" DIA. 5 FT. MIN.	20' x 20'	10/80	10/80
15	BB	SHRUB	12" DIA. 5 FT. MIN.	12" DIA. 5 FT. MIN.	20' x 20'	10/85	10/85
16	BB	SHRUB	12" DIA. 5 FT. MIN.	12" DIA. 5 FT. MIN.	20' x 20'	10/90	10/90
17	BB	SHRUB	12" DIA. 5 FT. MIN.	12" DIA. 5 FT. MIN.	20' x 20'	10/95	10/95
18	BB	SHRUB	12" DIA. 5 FT. MIN.	12" DIA. 5 FT. MIN.	20' x 20'	11/00	11/00
19	BB	SHRUB	12" DIA. 5 FT. MIN.	12" DIA. 5 FT. MIN.	20' x 20'	11/05	11/05
20	BB	SHRUB	12" DIA. 5 FT. MIN.	12" DIA. 5 FT. MIN.	20' x 20'	11/10	11/10
21	BB	SHRUB	12" DIA. 5 FT. MIN.	12" DIA. 5 FT. MIN.	20' x 20'	11/15	11/15
22	BB	SHRUB	12" DIA. 5 FT. MIN.	12" DIA. 5 FT. MIN.	20' x 20'	11/20	11/20



NOTES:
 1. GROUND ALL WELDS SMOOTH
 2. ALL METAL PIECES TO BE PREFINISHED ALUMINUM. COLOR TO BE BLACK SEMI-GLOSS.
 3. ANCHOR SYSTEM TO BE RED HEAD TRU-BOLT WEDGE ANCHOR 1/4\"/>



NOTES:
 1. GROUND ALL WELDS SMOOTH
 2. ALL METAL PIECES TO BE PREFINISHED ALUMINUM. COLOR TO BE BLACK SEMI-GLOSS.
 3. ANCHOR SYSTEM TO BE RED HEAD TRU-BOLT WEDGE ANCHOR 1/4\"/>

STANDARD FENCING



NOTES:
 1. GROUND ALL WELDS SMOOTH
 2. ALL METAL PIECES TO BE PREFINISHED ALUMINUM. COLOR TO BE BLACK SEMI-GLOSS.
 3. ANCHOR SYSTEM TO BE RED HEAD TRU-BOLT WEDGE ANCHOR 1/4\"/>

DOOR PARK GATE



NOTES:
 1. GROUND ALL WELDS SMOOTH
 2. ALL METAL PIECES TO BE PREFINISHED ALUMINUM. COLOR TO BE BLACK SEMI-GLOSS.
 3. ANCHOR SYSTEM TO BE RED HEAD TRU-BOLT WEDGE ANCHOR 1/4\"/>

Plant Schedule Table

PLANT CODE	PLANT NAME	PLANT TYPE	PLANT SIZE	PLANT SPACING	PLANT MATING	PLANT DATE
BB	SHRUB	12" DIA. 5 FT. MIN.	12" DIA. 5 FT. MIN.	20' x 20'	10/15	10/15
BB	SHRUB	12" DIA. 5 FT. MIN.	12" DIA. 5 FT. MIN.	20' x 20'	10/20	10/20
BB	SHRUB	12" DIA. 5 FT. MIN.	12" DIA. 5 FT. MIN.	20' x 20'	10/25	10/25
BB	SHRUB	12" DIA. 5 FT. MIN.	12" DIA. 5 FT. MIN.	20' x 20'	10/30	10/30
BB	SHRUB	12" DIA. 5 FT. MIN.	12" DIA. 5 FT. MIN.	20' x 20'	10/35	10/35
BB	SHRUB	12" DIA. 5 FT. MIN.	12" DIA. 5 FT. MIN.	20' x 20'	10/40	10/40
BB	SHRUB	12" DIA. 5 FT. MIN.	12" DIA. 5 FT. MIN.	20' x 20'	10/45	10/45
BB	SHRUB	12" DIA. 5 FT. MIN.	12" DIA. 5 FT. MIN.	20' x 20'	10/50	10/50
BB	SHRUB	12" DIA. 5 FT. MIN.	12" DIA. 5 FT. MIN.	20' x 20'	10/55	10/55
BB	SHRUB	12" DIA. 5 FT. MIN.	12" DIA. 5 FT. MIN.	20' x 20'	10/60	10/60
BB	SHRUB	12" DIA. 5 FT. MIN.	12" DIA. 5 FT. MIN.	20' x 20'	10/65	10/65
BB	SHRUB	12" DIA. 5 FT. MIN.	12" DIA. 5 FT. MIN.	20' x 20'	10/70	10/70
BB	SHRUB	12" DIA. 5 FT. MIN.	12" DIA. 5 FT. MIN.	20' x 20'	10/75	10/75
BB	SHRUB	12" DIA. 5 FT. MIN.	12" DIA. 5 FT. MIN.	20' x 20'	10/80	10/80
BB	SHRUB	12" DIA. 5 FT. MIN.	12" DIA. 5 FT. MIN.	20' x 20'	10/85	10/85
BB	SHRUB	12" DIA. 5 FT. MIN.	12" DIA. 5 FT. MIN.	20' x 20'	10/90	10/90
BB	SHRUB	12" DIA. 5 FT. MIN.	12" DIA. 5 FT. MIN.	20' x 20'	10/95	10/95
BB	SHRUB	12" DIA. 5 FT. MIN.	12" DIA. 5 FT. MIN.	20' x 20'	11/00	11/00
BB	SHRUB	12" DIA. 5 FT. MIN.	12" DIA. 5 FT. MIN.	20' x 20'	11/05	11/05
BB	SHRUB	12" DIA. 5 FT. MIN.	12" DIA. 5 FT. MIN.	20' x 20'	11/10	11/10
BB	SHRUB	12" DIA. 5 FT. MIN.	12" DIA. 5 FT. MIN.	20' x 20'	11/15	11/15
BB	SHRUB	12" DIA. 5 FT. MIN.	12" DIA. 5 FT. MIN.	20' x 20'	11/20	11/20



Schematic Landscape Diagram
 Shows building footprint, parking area, and landscaping layout.
 Dimensions: 4.5-M, 4.5-M, 4.5-M, 4.5-M, 4.5-M.

City Approval Stamp

CITY APPROVAL:

PRELIMINARY LANDSCAPE DETAILS
 SHEET 11 OF 17

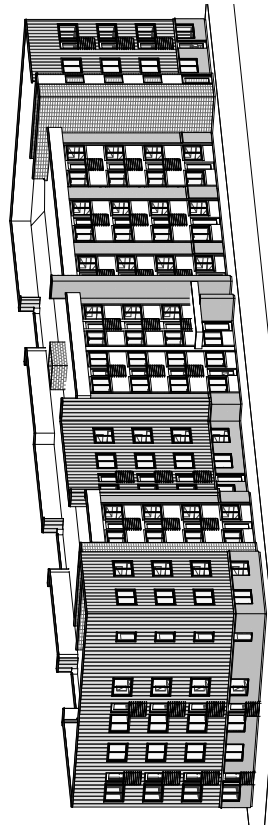
AIRPORT CREEK POINT - CITY FILE NO. CPC CU 21-00097

Kimley»Horn

© 2021 KIMLEY-HORN AND ASSOCIATES, INC.
 2 NORTH NEVADA AVENUE, SUITE 300
 COLORADO SPRINGS, COLORADO 80903 (719) 453-0180

AIRPORT CREEK POINT PUD DEVELOPMENT PLAN

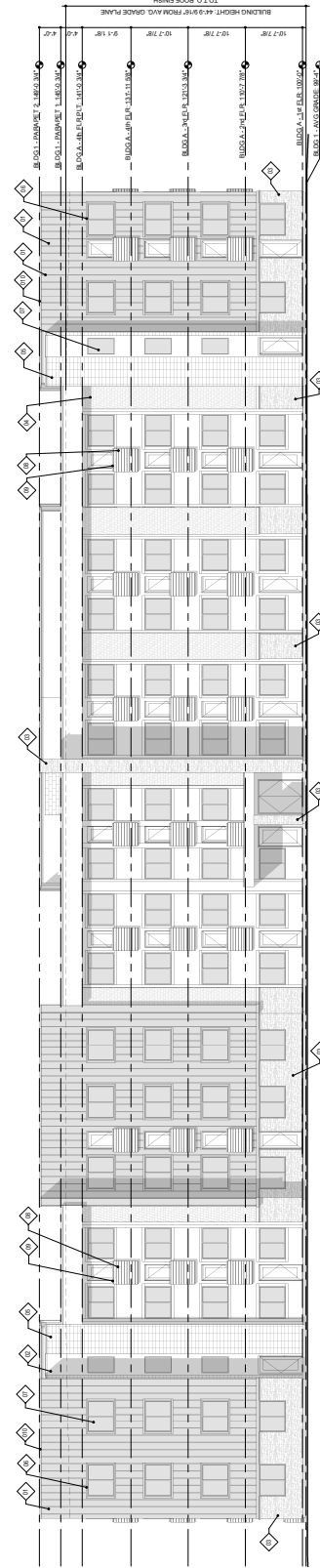
SITUATED IN A PORTION OF THE NORTHEAST 1/4 OF SECTION 24, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



2 FRONT LEFT CORNER ISOMETRIC

MATERIAL LEGEND	
	BOARD AND BATTEN 1/4"
	CEMENTITIOUS PANEL
	MANUFACTURED STONE VENEER
	BRICK - 8 INCH
	GFI

KEY NOTES	
01	BOARD AND BATTEN 1/4"
02	CEMENTITIOUS PANEL
03	MANUFACTURED STONE VENEER
04	BRICK - 8 INCH
05	GFI
06	WOOD TRIM
07	WOOD TRIM
08	WOOD TRIM
09	WOOD TRIM
10	WOOD TRIM
11	WOOD TRIM
12	WOOD TRIM
13	WOOD TRIM
14	WOOD TRIM
15	WOOD TRIM
16	WOOD TRIM
17	WOOD TRIM
18	WOOD TRIM
19	WOOD TRIM
20	WOOD TRIM
21	WOOD TRIM
22	WOOD TRIM
23	WOOD TRIM
24	WOOD TRIM
25	WOOD TRIM
26	WOOD TRIM
27	WOOD TRIM
28	WOOD TRIM
29	WOOD TRIM
30	WOOD TRIM
31	WOOD TRIM
32	WOOD TRIM
33	WOOD TRIM
34	WOOD TRIM
35	WOOD TRIM
36	WOOD TRIM
37	WOOD TRIM
38	WOOD TRIM
39	WOOD TRIM
40	WOOD TRIM
41	WOOD TRIM
42	WOOD TRIM
43	WOOD TRIM
44	WOOD TRIM
45	WOOD TRIM
46	WOOD TRIM
47	WOOD TRIM
48	WOOD TRIM
49	WOOD TRIM
50	WOOD TRIM
51	WOOD TRIM
52	WOOD TRIM
53	WOOD TRIM
54	WOOD TRIM
55	WOOD TRIM
56	WOOD TRIM
57	WOOD TRIM
58	WOOD TRIM
59	WOOD TRIM
60	WOOD TRIM
61	WOOD TRIM
62	WOOD TRIM
63	WOOD TRIM
64	WOOD TRIM
65	WOOD TRIM
66	WOOD TRIM
67	WOOD TRIM
68	WOOD TRIM
69	WOOD TRIM
70	WOOD TRIM
71	WOOD TRIM
72	WOOD TRIM
73	WOOD TRIM
74	WOOD TRIM
75	WOOD TRIM
76	WOOD TRIM
77	WOOD TRIM
78	WOOD TRIM
79	WOOD TRIM
80	WOOD TRIM
81	WOOD TRIM
82	WOOD TRIM
83	WOOD TRIM
84	WOOD TRIM
85	WOOD TRIM
86	WOOD TRIM
87	WOOD TRIM
88	WOOD TRIM
89	WOOD TRIM
90	WOOD TRIM
91	WOOD TRIM
92	WOOD TRIM
93	WOOD TRIM
94	WOOD TRIM
95	WOOD TRIM
96	WOOD TRIM
97	WOOD TRIM
98	WOOD TRIM
99	WOOD TRIM
100	WOOD TRIM



1 FRONT ELEVATION
3/32" = 1'-0"

CITY APPROVAL



APARTMENT ELEVATIONS
SHEET 12 OF 17

**Kimley-Horn
and Associates, Inc.**
A PROFESSIONAL SERVICE CORPORATION
3100 South Broadway, Suite 200
Denver, Colorado 80209 (303) 228-2370

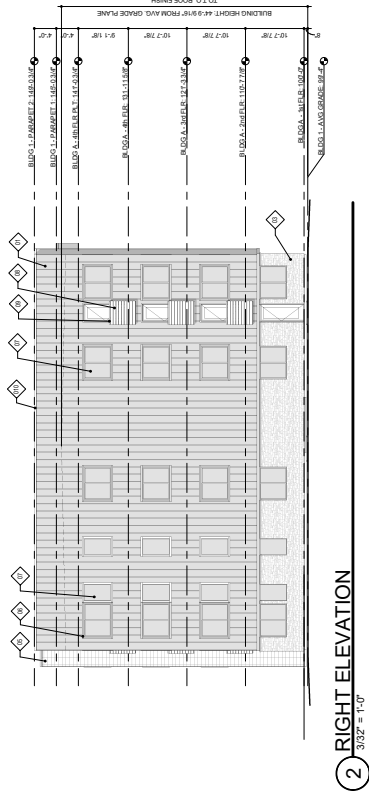
AIRPORT CREEK POINT DEVELOPMENT PLAN - CITY FILE NO. CPC CU 21-00097

AIRPORT CREEK POINT PUD DEVELOPMENT PLAN

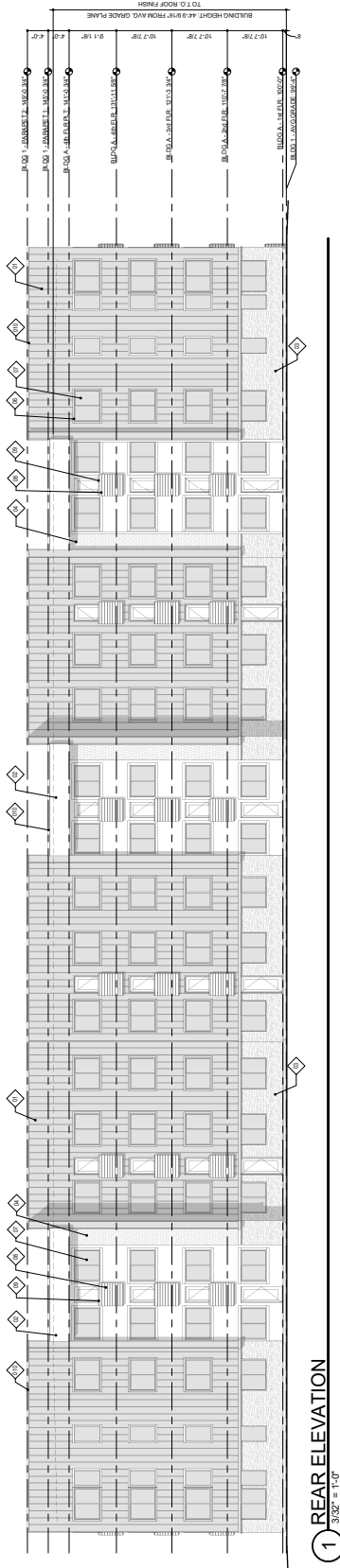
SITUATED IN A PORTION OF THE NORTHEAST 1/4 OF SECTION 24, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

MATERIAL LEGEND	
	BOARD AND BATTEN #4
	CEMENTITIOUS PANEL
	MANUFACTURED STONE VENEER
	BRICK - 8" WIDE
	GFI

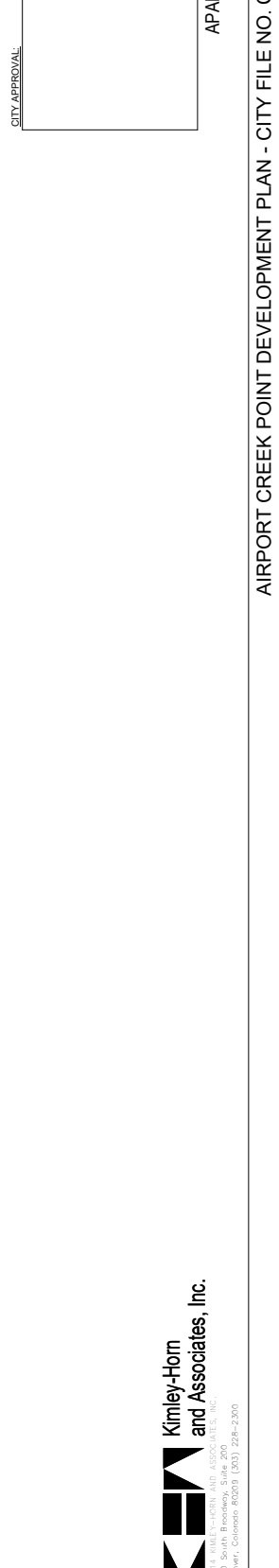
KEY NOTES	
01	BOARD AND BATTEN #4
02	CEMENTITIOUS PANEL
03	MANUFACTURED STONE VENEER
04	BRICK - 8" WIDE
05	GFI
06	CONCRETE
07	ASPHALT
08	GRAVEL
09	PAVEMENT
10	LANDSCAPE
11	PLANTING
12	UTILITIES
13	STRUCTURE
14	FOUNDATION
15	ROOFING
16	MECHANICAL
17	ELECTRICAL
18	PLUMBING
19	HEATING
20	Cooling
21	INSULATION
22	GLASS
23	SCREENS
24	DOORS
25	WINDOWS
26	STAIRS
27	ELEVATION
28	SECTION
29	FOUNDATION
30	FOUNDATION
31	FOUNDATION
32	FOUNDATION
33	FOUNDATION
34	FOUNDATION
35	FOUNDATION
36	FOUNDATION
37	FOUNDATION
38	FOUNDATION
39	FOUNDATION
40	FOUNDATION



③ LEFT ELEVATION
3/32" = 1'-0"



② RIGHT ELEVATION
3/32" = 1'-0"



① REAR ELEVATION
3/32" = 1'-0"

CITY APPROVAL

APARTMENT ELEVATIONS
SHEET 13 OF 17

**Kimley-Horn
and Associates, Inc.**
3100 South Broadway, Suite 200
Denver, Colorado 80209 | (303) 228-2370

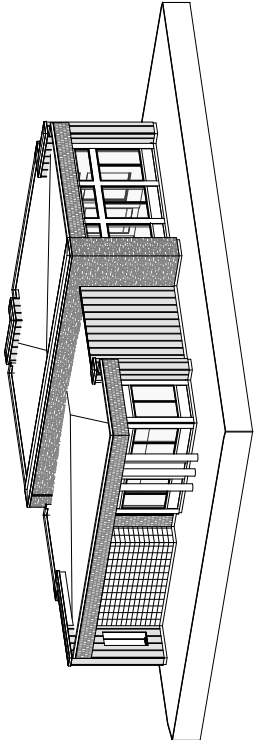
AIRPORT CREEK POINT DEVELOPMENT PLAN - CITY FILE NO. CPC CU 21-00097

AIRPORT CREEK POINT PUD DEVELOPMENT PLAN

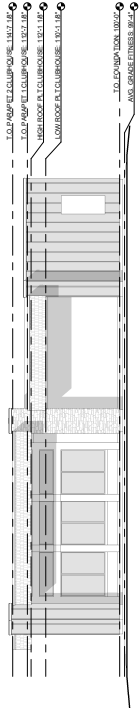
SITUATED IN A PORTION OF THE NORTHEAST 1/4 OF SECTION 24, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

MATERIAL LEGEND	
	BOARD AND BATTEN 1/4"
	CEMENTITIOUS PANEL
	MANUFACTURED STONE VENEER
	STONE - SQUARE
	GFI

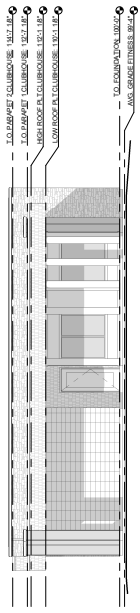
KEY NOTES	
01	BOARD AND BATTEN 1/4"
02	CEMENTITIOUS PANEL
03	MANUFACTURED STONE VENEER
04	STONE - SQUARE
05	GFI
06	CONCRETE
07	ASPHALT
08	GRAVEL
09	GRAVEL
10	GRAVEL
11	GRAVEL
12	GRAVEL
13	GRAVEL
14	GRAVEL
15	GRAVEL
16	GRAVEL
17	GRAVEL
18	GRAVEL
19	GRAVEL
20	GRAVEL
21	GRAVEL
22	GRAVEL
23	GRAVEL
24	GRAVEL
25	GRAVEL
26	GRAVEL
27	GRAVEL
28	GRAVEL
29	GRAVEL
30	GRAVEL
31	GRAVEL
32	GRAVEL
33	GRAVEL
34	GRAVEL
35	GRAVEL
36	GRAVEL
37	GRAVEL
38	GRAVEL
39	GRAVEL
40	GRAVEL
41	GRAVEL
42	GRAVEL
43	GRAVEL
44	GRAVEL
45	GRAVEL
46	GRAVEL
47	GRAVEL
48	GRAVEL
49	GRAVEL
50	GRAVEL
51	GRAVEL
52	GRAVEL
53	GRAVEL
54	GRAVEL
55	GRAVEL
56	GRAVEL
57	GRAVEL
58	GRAVEL
59	GRAVEL
60	GRAVEL
61	GRAVEL
62	GRAVEL
63	GRAVEL
64	GRAVEL
65	GRAVEL
66	GRAVEL
67	GRAVEL
68	GRAVEL
69	GRAVEL
70	GRAVEL
71	GRAVEL
72	GRAVEL
73	GRAVEL
74	GRAVEL
75	GRAVEL
76	GRAVEL
77	GRAVEL
78	GRAVEL
79	GRAVEL
80	GRAVEL
81	GRAVEL
82	GRAVEL
83	GRAVEL
84	GRAVEL
85	GRAVEL
86	GRAVEL
87	GRAVEL
88	GRAVEL
89	GRAVEL
90	GRAVEL
91	GRAVEL
92	GRAVEL
93	GRAVEL
94	GRAVEL
95	GRAVEL
96	GRAVEL
97	GRAVEL
98	GRAVEL
99	GRAVEL
100	GRAVEL



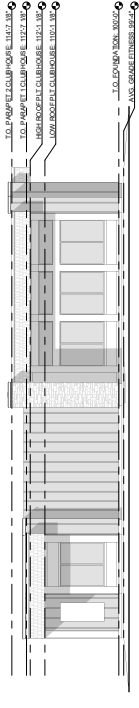
5 NORTHWEST CORNER ISO - LEASING



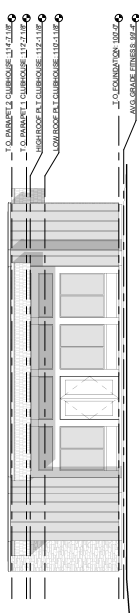
4 EAST LEASING ELEVATION
1/8" = 1'-0"



2 NORTH LEASING ELEVATION
1/8" = 1'-0"

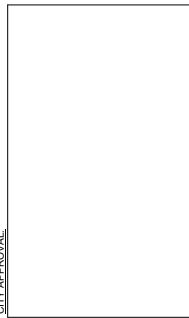


3 WEST LEASING ELEVATION
1/8" = 1'-0"



1 SOUTH LEASING ELEVATION
1/8" = 1'-0"

CITY APPROVAL



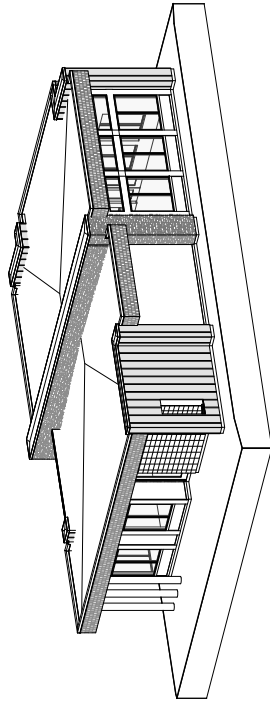
**Kimley-Horn
and Associates, Inc.**
3100 South Broadway, Suite 200
Denver, Colorado 80209 (303) 228-2370

LEASING ELEVATIONS
SHEET 14 OF 17

AIRPORT CREEK POINT DEVELOPMENT PLAN - CITY FILE NO. CPC CU 21-00097

AIRPORT CREEK POINT PUD DEVELOPMENT PLAN

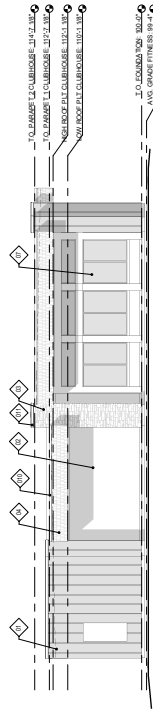
SITUATED IN A PORTION OF THE NORTHEAST 1/4 OF SECTION 24, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



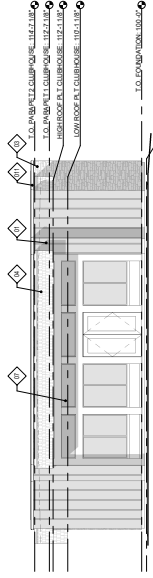
5 NORTHWEST CORNER ISO - FITNESS

MATERIAL LEGEND	
	BOARD AND BATTEN 1/4"
	CEMENTITIOUS PANEL
	MANUFACTURED STONE VENEER
	SPINE - SQUARE
	GFI

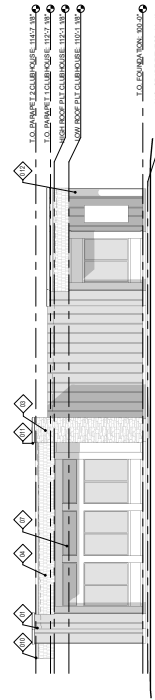
KEY NOTES	
1	BOARD AND BATTEN 1/4"
2	CEMENTITIOUS PANEL
3	MANUFACTURED STONE VENEER
4	SPINE - SQUARE
5	GFI
6	CONCRETE
7	ASPHALT
8	GRAVEL
9	GRAVEL
10	GRAVEL
11	GRAVEL
12	GRAVEL
13	GRAVEL
14	GRAVEL
15	GRAVEL
16	GRAVEL
17	GRAVEL
18	GRAVEL
19	GRAVEL
20	GRAVEL
21	GRAVEL
22	GRAVEL
23	GRAVEL
24	GRAVEL
25	GRAVEL
26	GRAVEL
27	GRAVEL
28	GRAVEL
29	GRAVEL
30	GRAVEL
31	GRAVEL
32	GRAVEL
33	GRAVEL
34	GRAVEL
35	GRAVEL
36	GRAVEL
37	GRAVEL
38	GRAVEL
39	GRAVEL
40	GRAVEL
41	GRAVEL
42	GRAVEL
43	GRAVEL
44	GRAVEL
45	GRAVEL
46	GRAVEL
47	GRAVEL
48	GRAVEL
49	GRAVEL
50	GRAVEL
51	GRAVEL
52	GRAVEL
53	GRAVEL
54	GRAVEL
55	GRAVEL
56	GRAVEL
57	GRAVEL
58	GRAVEL
59	GRAVEL
60	GRAVEL
61	GRAVEL
62	GRAVEL
63	GRAVEL
64	GRAVEL
65	GRAVEL
66	GRAVEL
67	GRAVEL
68	GRAVEL
69	GRAVEL
70	GRAVEL
71	GRAVEL
72	GRAVEL
73	GRAVEL
74	GRAVEL
75	GRAVEL
76	GRAVEL
77	GRAVEL
78	GRAVEL
79	GRAVEL
80	GRAVEL
81	GRAVEL
82	GRAVEL
83	GRAVEL
84	GRAVEL
85	GRAVEL
86	GRAVEL
87	GRAVEL
88	GRAVEL
89	GRAVEL
90	GRAVEL
91	GRAVEL
92	GRAVEL
93	GRAVEL
94	GRAVEL
95	GRAVEL
96	GRAVEL
97	GRAVEL
98	GRAVEL
99	GRAVEL
100	GRAVEL



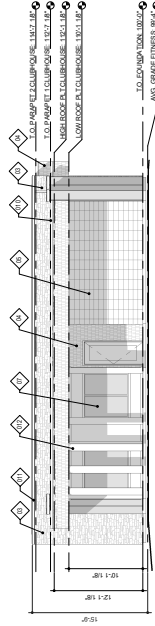
4 EAST ELEVATION - FITNESS
1/8" = 1'-0"



2 NORTH ELEVATION - FITNESS
1/8" = 1'-0"



3 WEST ELEVATION - FITNESS
1/8" = 1'-0"



1 SOUTH ELEVATION - FITNESS
1/8" = 1'-0"

CITY APPROVAL



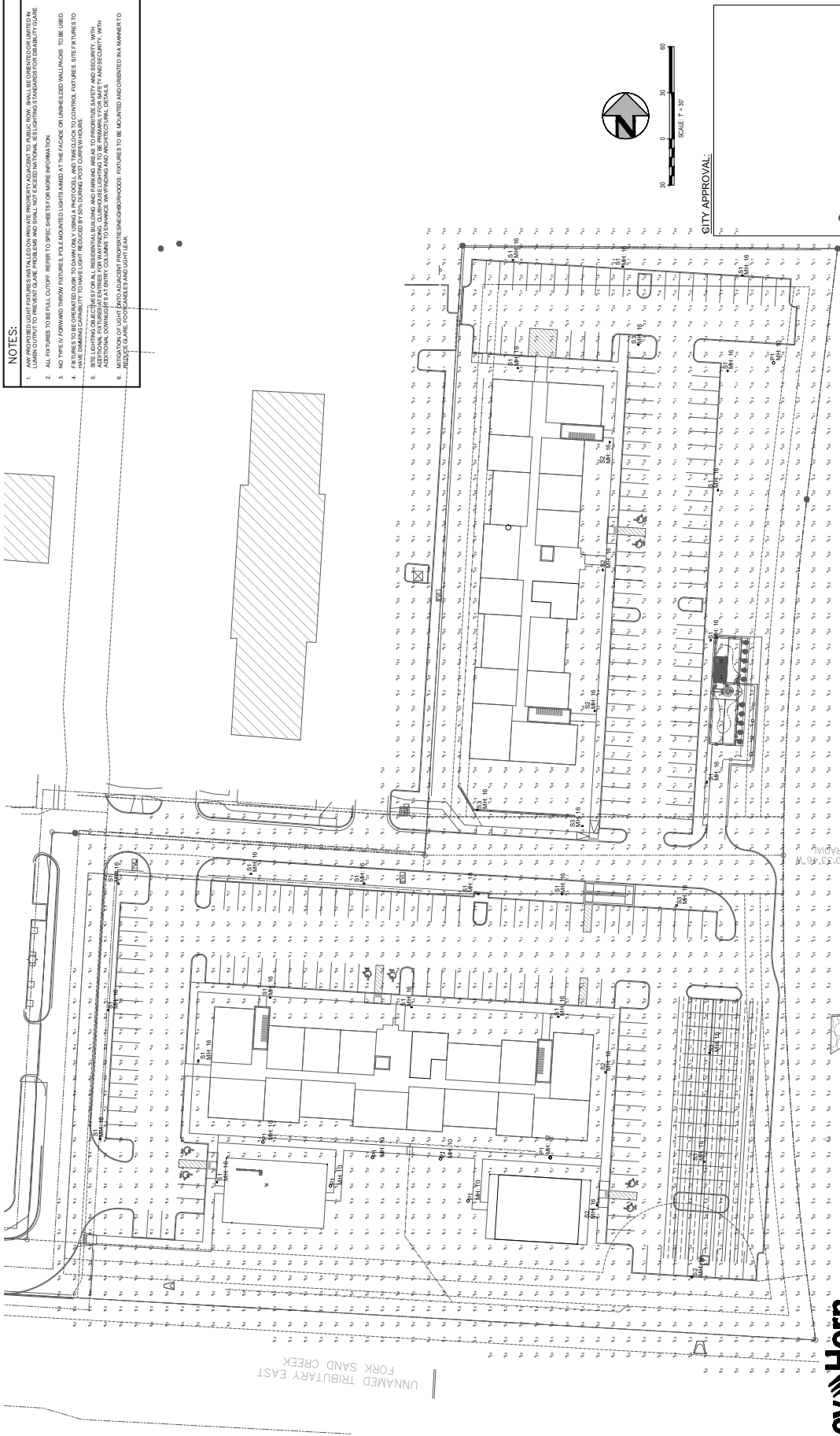
**Kimley-Horn
and Associates, Inc.**
3100 South Broadway, Suite 200
Denver, Colorado 80209 (303) 228-2370

FITNESS ELEVATIONS
SHEET 15 OF 17

AIRPORT CREEK POINT DEVELOPMENT PLAN - CITY FILE NO. CPC CU 21-00097

AIRPORT CREEK POINT PUD DEVELOPMENT PLAN

SITUATED IN A PORTION OF THE NORTHEAST 1/4 OF SECTION 24, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO




- NOTES:**
1. ALL LIGHT FIXTURES SHALL BE IN ACCORDANCE WITH THE ILLUMINANCE MAINTENANCE AND LIGHT POLLUTION CONTROL ACT AND THE ILLUMINANCE MAINTENANCE AND LIGHT POLLUTION CONTROL ACT. ALL LIGHT FIXTURES SHALL BE IN ACCORDANCE WITH THE ILLUMINANCE MAINTENANCE AND LIGHT POLLUTION CONTROL ACT.
 2. ALL FIXTURES TO BE FULL CUTOFF. REFER TO SPEC SHEET FOR MORE INFORMATION.
 3. NO FIXTURES TO BE OPERATED DUE TO DAMAGING LIGHTS AT THE FACADE OR UNREINFORCED WALLS. TO BE USED.
 4. FIXTURES TO BE OPERATED DUE TO DAMAGING LIGHTS AT THE FACADE OR UNREINFORCED WALLS. TO BE USED.
 5. HAVE DIMMING CAPABILITY TO DIM LIGHT REDUCED BY 50% DURING POST CURFEW HOURS.
 6. SITE LIGHTING OBJECTIVE IS TO PROVIDE ADEQUATE LIGHTING TO THE BUILDING AND PARKING AREAS TO PROVIDE VISIBILITY AND SECURITY. WITH ADDITIONAL DOWNCASTS IN ENTRY AREAS TO ENHANCE WAYFINDING AND ARCHITECTURAL DETAILS.
 7. ILLUMINATION OF LIGHT FIXTURES SHALL BE IN ACCORDANCE WITH THE ILLUMINANCE MAINTENANCE AND LIGHT POLLUTION CONTROL ACT.

AIRPORT CREEK POINT PUD DEVELOPMENT PLAN

SITUATED IN A PORTION OF THE NORTHEAST 1/4 OF SECTION 24, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

LUMINAIRE SCHEDULE					
TYPE	LAMP/SELVIN	DESCRIPTION	LOAD, VA	VOLTS	INITIAL LUMENS
S1	4000K LED	LED AREA FIXTURE, TYPE 4 DISTRIBUTION HOSE SIDE SHIELD, 20' SQUARE POLE	49	120	4653
S2	4000K LED	LED AREA FIXTURE, TYPE 3 DISTRIBUTION HOSE SIDE SHIELD, 20' SQUARE POLE	49	120	4098
S3	4000K LED	LED AREA FIXTURE, TYPE 6 DISTRIBUTION, 20' SQUARE POLE	49	120	6286
P1	4000K LED	POST TOP LED FIXTURE, WITH 10' ROUND POLE	25	120	3021




D Series Size 0
LED Area Luminaire

Specifications
EPA: 100 lm/w
Length: 18.5 in
Width: 13.5 in
Height: 7.5 in
Weight: 16.5 lbs

Introduction
The modern styling of the D-Series is striking and stands out in its environment. The D-Series distills the benefits of performance, high efficacy, long life, luminaire, and outstanding photometric performance into a single, sleek, and modern luminaire. The D-Series is available in a variety of pole heights for replacing up to 400W metal halide with typical luminaire life of over 100,000 hours.

Ordering Information

Series	SKU	Color Temperature	Beam Spread	Height	Weight	Specifications
D Series	D01	3000K	15°	10' (3050mm)	16.5 lb (7.5 kg)	100 lm/w, 100,000 hrs, 100,000 hrs, 100,000 hrs, 100,000 hrs
	D02	4000K	15°	10' (3050mm)	16.5 lb (7.5 kg)	100 lm/w, 100,000 hrs, 100,000 hrs, 100,000 hrs, 100,000 hrs
	D03	5000K	15°	10' (3050mm)	16.5 lb (7.5 kg)	100 lm/w, 100,000 hrs, 100,000 hrs, 100,000 hrs, 100,000 hrs
	D04	6000K	15°	10' (3050mm)	16.5 lb (7.5 kg)	100 lm/w, 100,000 hrs, 100,000 hrs, 100,000 hrs, 100,000 hrs



Radcan Post Top
LED Area Luminaire

Specifications
EPA: 100 lm/w
Length: 24 in
Width: 24 in
Height: 4 in
Weight: 10.5 lbs

Introduction
The architecturally-inspired shape of the Radcan Post Top LED Area Luminaire is the perfect complement to the Radcan family. The two copper-core cast aluminum arms, supportive anodized superstructure, casting into a base of comfort by night. Triangular arms reflect reflection maintaining its visually appealing shape. These LED luminaires are ideal for lighting and visual comfort to transform common areas like courtyards, outdoor retail locations, pedestrian-friendly nighttime environments.

Ordering Information

Series	SKU	Color Temperature	Beam Spread	Height	Weight	Specifications
Radcan Post Top	RT01	3000K	15°	10' (3050mm)	10.5 lb (4.8 kg)	100 lm/w, 100,000 hrs, 100,000 hrs, 100,000 hrs, 100,000 hrs
	RT02	4000K	15°	10' (3050mm)	10.5 lb (4.8 kg)	100 lm/w, 100,000 hrs, 100,000 hrs, 100,000 hrs, 100,000 hrs
	RT03	5000K	15°	10' (3050mm)	10.5 lb (4.8 kg)	100 lm/w, 100,000 hrs, 100,000 hrs, 100,000 hrs, 100,000 hrs
	RT04	6000K	15°	10' (3050mm)	10.5 lb (4.8 kg)	100 lm/w, 100,000 hrs, 100,000 hrs, 100,000 hrs, 100,000 hrs



CITY APPROVAL

TYPE P1

TYPE S1, S2, S3