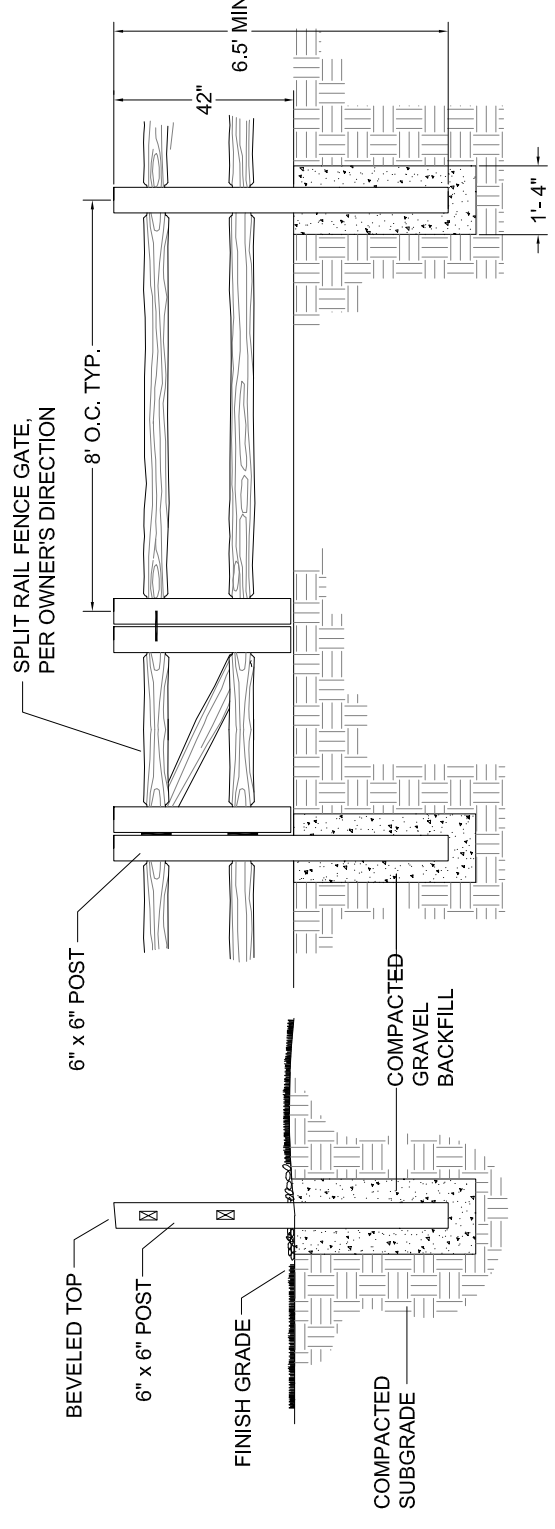
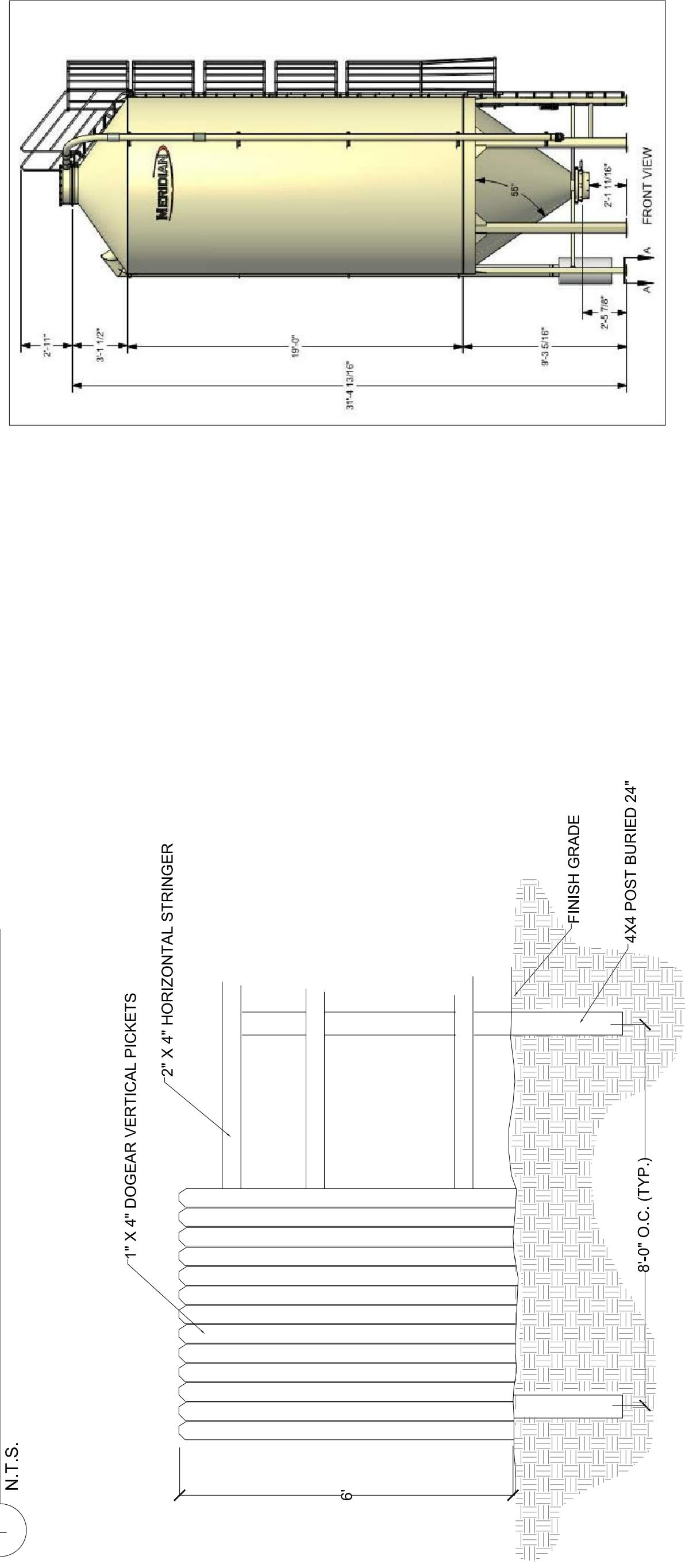


FIELDHOUSE BREWING DEVELOPMENT PLAN

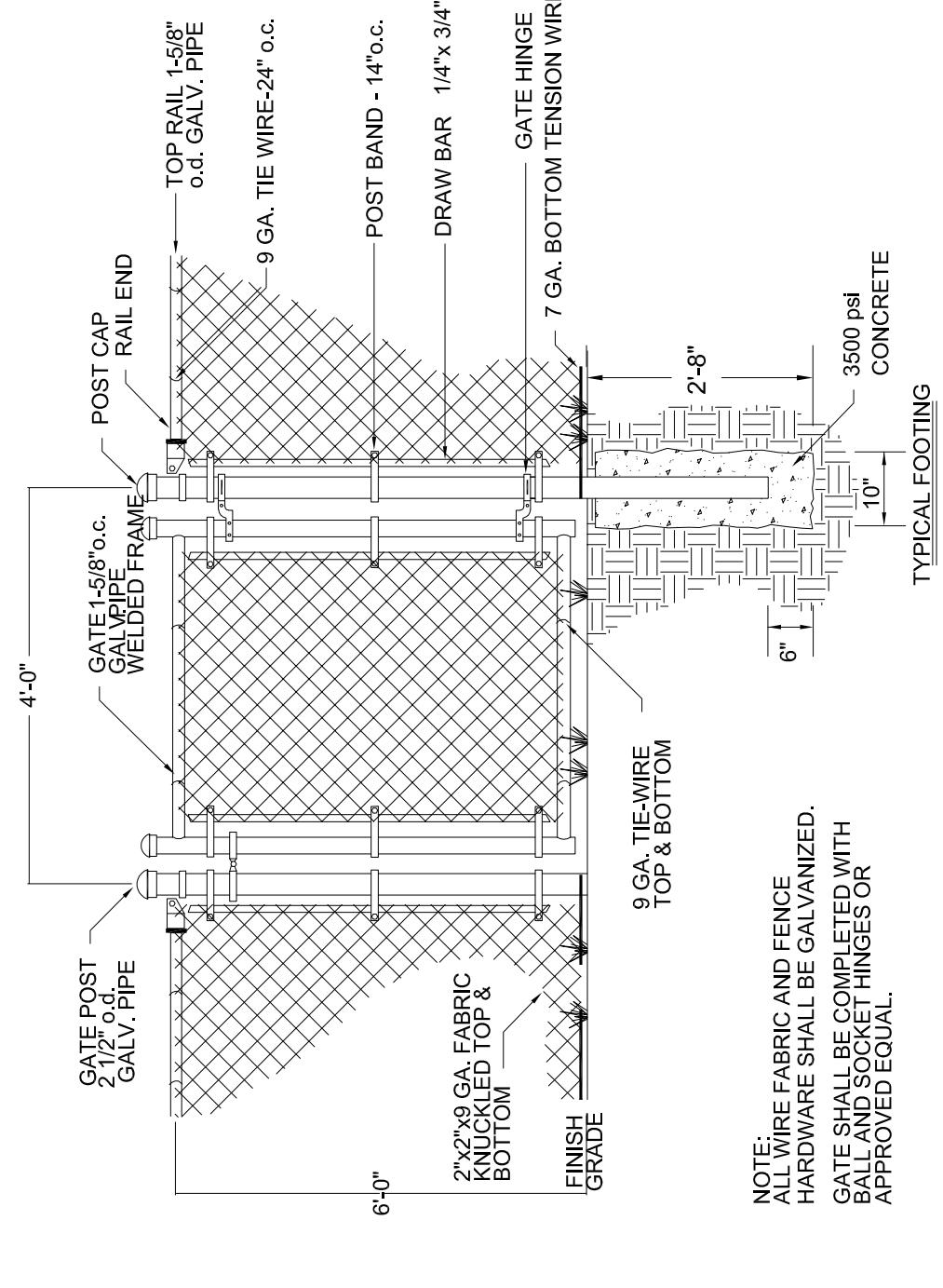


1 **SPLIT RAIL FENCE DETAIL**
N.T.S.

NOTES: FENCE MATERIAL TO BE DETERMINED.

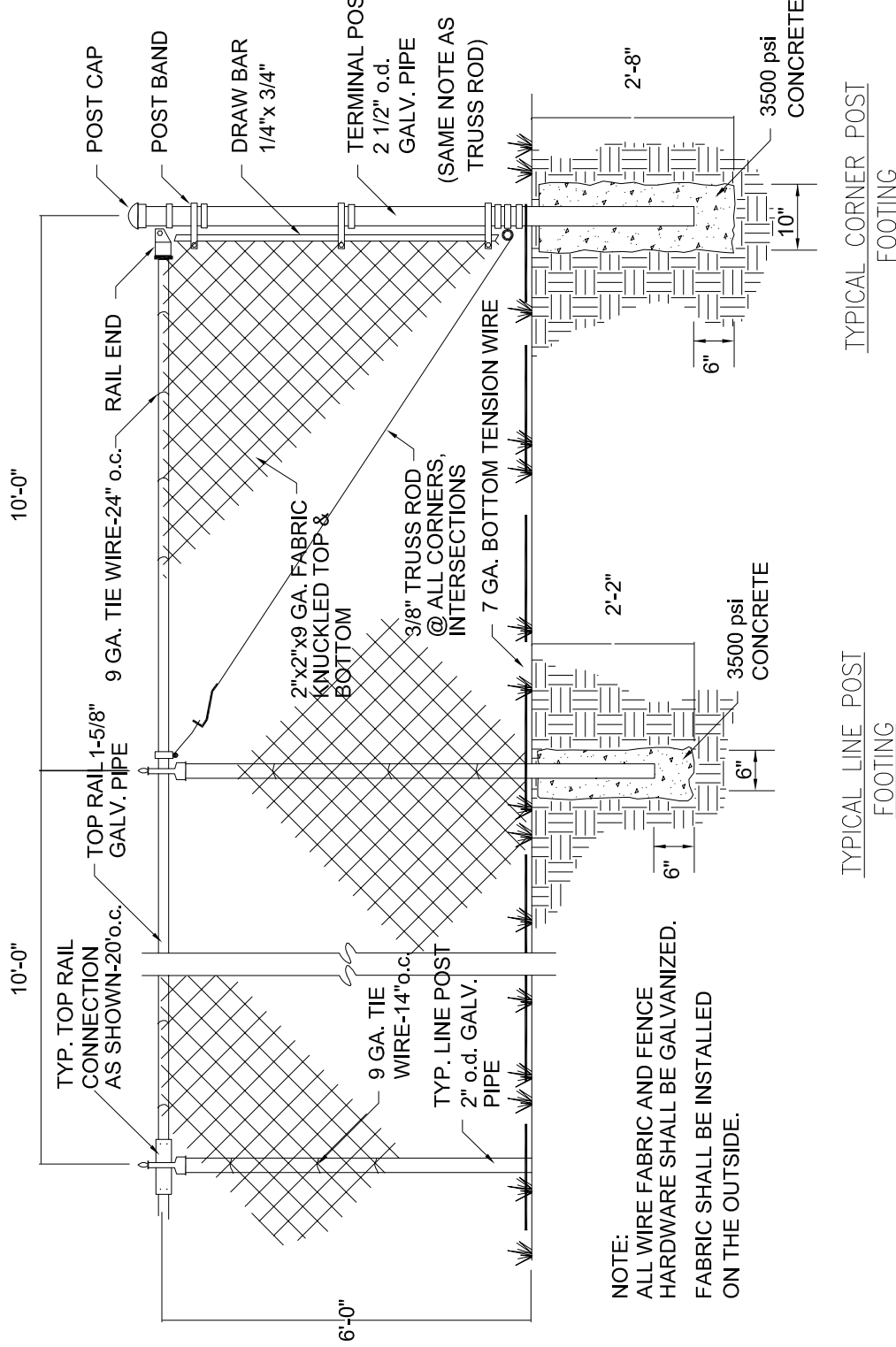


4 **GRAIN SILO ELEVATION**
N.T.S.



2 **6' CEDAR PICKET FENCE**
N.T.S.

NOTE: ALL WIRE FABRIC AND FENCE HARDWARE SHALL BE GALVANIZED. GATE SHALL BE COMPLETED WITH APPROVED EQUAL HINGES OR APPROVED EQUAL.



FENCING-MAN GATE

NOTE: ALL WIRE FABRIC AND FENCE HARDWARE SHALL BE GALVANIZED. FABRIC SHALL BE INSTALLED ON THE OUTSIDE.

SITE DATA:

SITE LOCATION:	2480 VICTOR PLACE AND 2480 VICTOR PLACE, COLORADO SPRINGS, CO 80915
TAX SCHEDULE NUMBER:	6401100033
GROSS SITE ACREAGE:	4.37 AC
EXISTING PROPOSED ZONING:	PP2/AO
EXISTING LAND USE:	LANDSCAPE CONTRACTOR OFFICE & YARD
PROPOSED LAND USE:	BREWING FACILITY AND TAP HOUSE
MINIMUM SETBACK - FRONT:	25'
MINIMUM SETBACK - SIDE:	10'
MINIMUM SETBACK - REAR:	25'
MAXIMUM BUILDING HEIGHT:	45'
MINIMUM LOT AREA:	0.5 AC
BARREL ROOM BLDG.	5,580 SF
TAPROOM BLDG.	2,192 SF
PERCENTAGE OF LOT COVERAGE:	47,862 SF / 23.04%
STRUCTURES AND IMPERVIOUS:	
SCHEDULE FOR CONSTRUCTION:	SPRING / SUMMER 2018

PARKING INFORMATION:

PARKING TYPE	USE SF	MIN. REQUIRED	SPACE REQUIRED
BREWING OPERATIONS	4,410	1/1000	4
BAR SPACE (TAP ROOM)	1,170	1/1000	12
BARREL ROOM	1,437	1/1000	5
COOLER/STORAGE/OFFICES	1,661	1/1000	2
OUTDOOR SEATING	6,000	1/2000	30
TOTAL PARKING SPACES REQ.			53

PARKING TYPE	PARKING REQ. / PROVIDED
STANDARD PARKING	49 / 49
HANDICAPPED PARKING	4 / 3 STANDARD & 1 VAN
TOTAL PARKING	53 / 53

LEGAL DESCRIPTION:

LOT 1 BLOCK 1 GERTSCH-MENDERHALL SUB NO. 1, EX E 30 FT

PROJECT DESCRIPTION:

A REDEVELOPMENT PLAN SUBMITTAL FOR THE REDEVELOPMENT OF THE EXISTING SITE AND MAIN FACILITY STRUCTURES FOR USE AS A BREWING OPERATIONS FACILITY, TAPROOM, AND OUTDOOR PATIO SPACE. AS PART OF THE DEVELOPMENT PLAN APPLICATION, A USE VARIANCE AND NONUSE VARIANCE IS BEING REQUESTED TO ALLOW THE TAPROOM USE WITHIN THE PP2/AO ZONING DISTRICT.

PROJECT NOTES:

- ALL EXISTING STRUCTURES EXCEPT THOSE NOTED ON THE PLANS TO REMAIN ARE TO BE REMOVED AS PART OF REDEVELOPMENT. THIS INCLUDES EXISTING CONSTRUCTION OFFICE TRAILERS, A GREENHOUSE AND STORAGE UNITS. THE DESIGN PROFESSIONAL RESPONSIBLE FOR THIS PLAN HAS FAMILIARIZED HIMSELF WITH ALL CURRENT ADA CRITERIA AND SPECIFICATIONS, AND THE PROJECT WILL BE DESIGNED TO MEET ALL CURRENT ADA CRITERIA AND SPECIFICATIONS FOR ACCESSIBLE DESIGN, AS PUBLISHED BY THE DEPARTMENT OF JUSTICE (DOJ). THE IRRIGATION AND LANDSCAPING ON-SITE WILL BE MAINTAINED BY THE OWNER OF THE SITE.
- ALL EXISTING SIDEWALK, CURB CUTTER, PEDESTRIAN RAMPS, CROSSPANS AND CURBS SHALL BE MAINTAINED OR REPLACED TO MEET ALL CURRENT ADA CRITERIA AND SPECIFICATIONS. DETERIORATION OR NOT MEETING CURRENT CITY ENGINEERING STANDARDS ALONG VICTOR PL. ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED PRIOR TO ISSUING THE CERTIFICATE OF OCCUPANCY (C.O.). AN ON-SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW INSPECTOR TO DISCUSS ANY CONCERNS. IMPROVEMENTS ARE REQUIRED. THE INSPECTOR CAN BE REACHED AT 719-395-5877.
- ALL LIGHTING WILL BE PER CITY CODE AND REQUIREMENTS.
- CITY STANDARD D-J PEDESTRIAN RAMPS TO BE PROVIDED FOR ADA ACCESS. CURBS AND GUTTERS TO BE THE SPILL CURB AND THE SPILL CURB. SIDEWALKS AND CURBS WILL BE CONCRETE PER CITY DETAILS.
- ALL SIGNAGE WILL BE APPROVED WITH A SEPARATE PERMIT.
- THE AVIGATION EASEMENT DEDICATED HEREIN FOR PUBLIC AVIGATION PURPOSES, SHALL BE CONSIDERED A PUBLIC EASEMENT SUBJECT TO THE PROVISIONS AND CONDITIONS OF THE RECORDS OF EL PASO COUNTY, COLORADO. ALL OTHER EASEMENTS OR INTERESTS OF RECORD AFFECTING ANY OF THE PLATTED PROPERTY DEPICTED HEREON SHALL NOT BE AFFECTED AND SHALL REMAIN IN FULL FORCE AND EFFECT. THE FEDERAL AVIATION ADMINISTRATION (FAA) FORM 7460-1 NOTICE OF PROPOSED CONSTRUCTION OR ALTERATION FROM AN NEW VERTICAL DEVELOPMENT AT THIS SITE, INCLUDING TEMPORARY CONSTRUCTION EQUIPMENT, AND PROVIDE FAA DOCUMENTATION TO THE AIRPORT BEFORE THE CONSTRUCTION BEGINS. THE FAA FORM 7460-1 MUST BE OBTAINED FROM THE FAA. A REMOTE ADDRESS SIGN IS REQUIRED FOR THESE STRUCTURE BECAUSE THEY ARE OVER 100 FEET FROM THE ADDRESSING STREET. THE BUILDINGS ARE REQUIRED TO HAVE A MINIMUM OF TWO ADDRESS NUMBERS POSTED. ONE ADDRESS MUST BE POSTED ON THE STRUCTURE ITSELF AND THE SECOND MUST BE A REMOTE ADDRESS SIGN CLEARLY POSTED AT ALL OF THE STREET ENTRANCES TO THE STRUCTURE.

FLOODPLAIN:

PORTIONS OF THIS PROPERTY IS NOT LOCATED WITHIN A DESIGNATED FEMA FLOODPLAIN AS DETERMINED BY THE FLOODPLAIN INSURANCE RATE MAP, COMMUNITY MAP NUMBER 08041C0751F, EFFECTIVE DATE MARCH 17, 1997.

INDEX TO DRAWINGS

- DEVELOPMENT PLAN COVER SHEET 1 OF 9
- DEVELOPMENT PLAN 2 OF 9
- SITE GRADING 3 OF 9
- UTILITY & PUBLIC FACILITY 4 OF 9
- LANDSCAPE DETAILS & NOTES 5 OF 9
- LANDSCAPE PLAN 6 OF 9
- ARCHITECTURE FLOOR PLAN 7 OF 9
- ARCHITECTURE ELEVATION 8 OF 9
- PHOTOMETRIC 9 OF 9

PROJECT TEAM

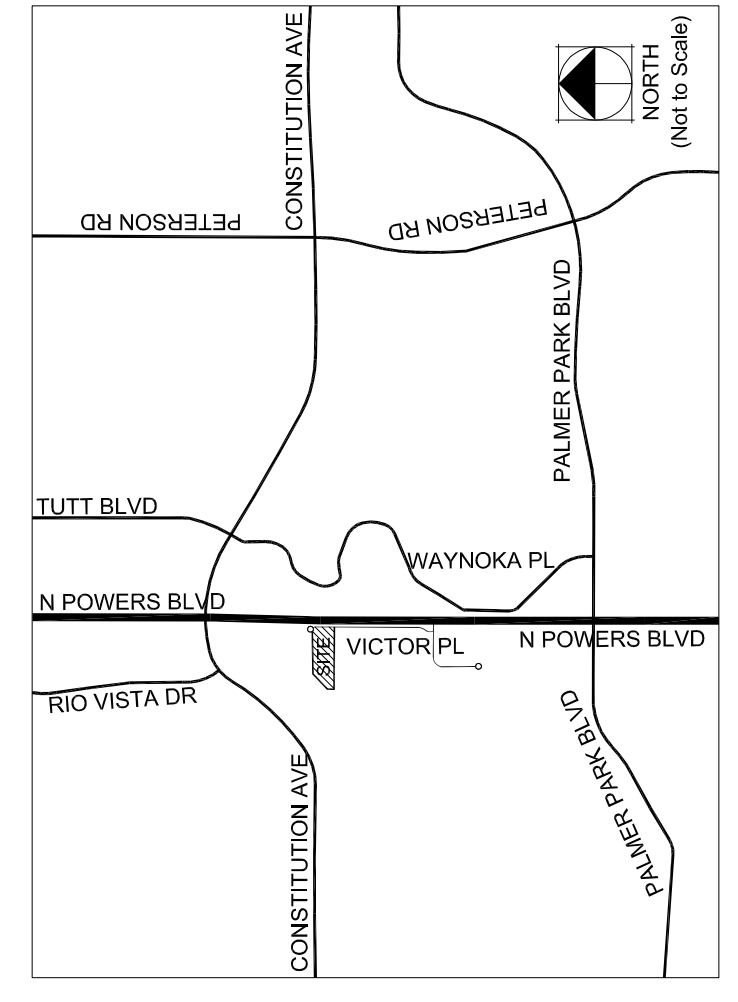
PLANNERS/LANDSCAPE ARCH.:
THOMAS & THOMAS
702 N. TEJON STREET
COLORADO SPRINGS, CO 80903

OWNER:
TIM ENICK
20825 ANDALUSIAN WAY
PUEBLO, CO 81008

CIVIL ENGINEER:
JPS ENGINEERING, INC.
19 E. WILLAMETTE AVE.
COLORADO SPRINGS, CO 80903

DEVELOPER:
VICTOR INVESTMENTS, LLC
421 S TEJON ST., SUITE 330
COLORADO SPRINGS, CO 80903

VICINITY MAP



THOMAS & THOMAS
Planning
Urban Design
Landscape Architecture
702 North Tejon
Colorado Springs, Colorado 80903
(719) 578-8777

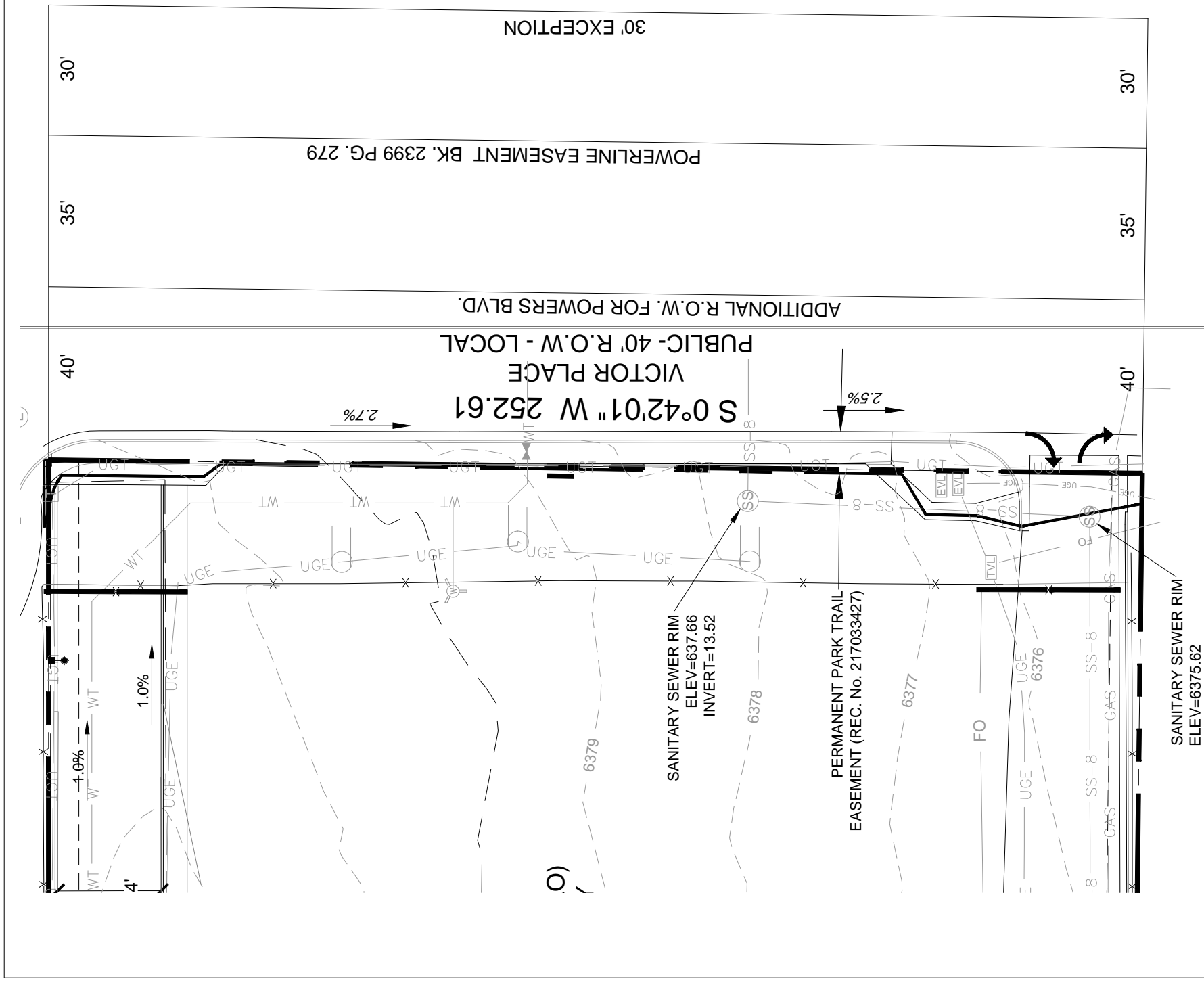
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1	CITY COMMENT REVI	3/9/18			
2					
3					
4					
5					
6					

DESIGNED	MF	02.01.18
DRAWN	MF	02.01.18
CHECKED	JFA	02.01.18
PROJECT NUMBER:	3732.00	
SCALE:	AS NOTED	

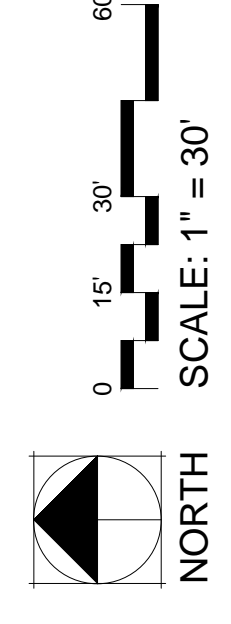
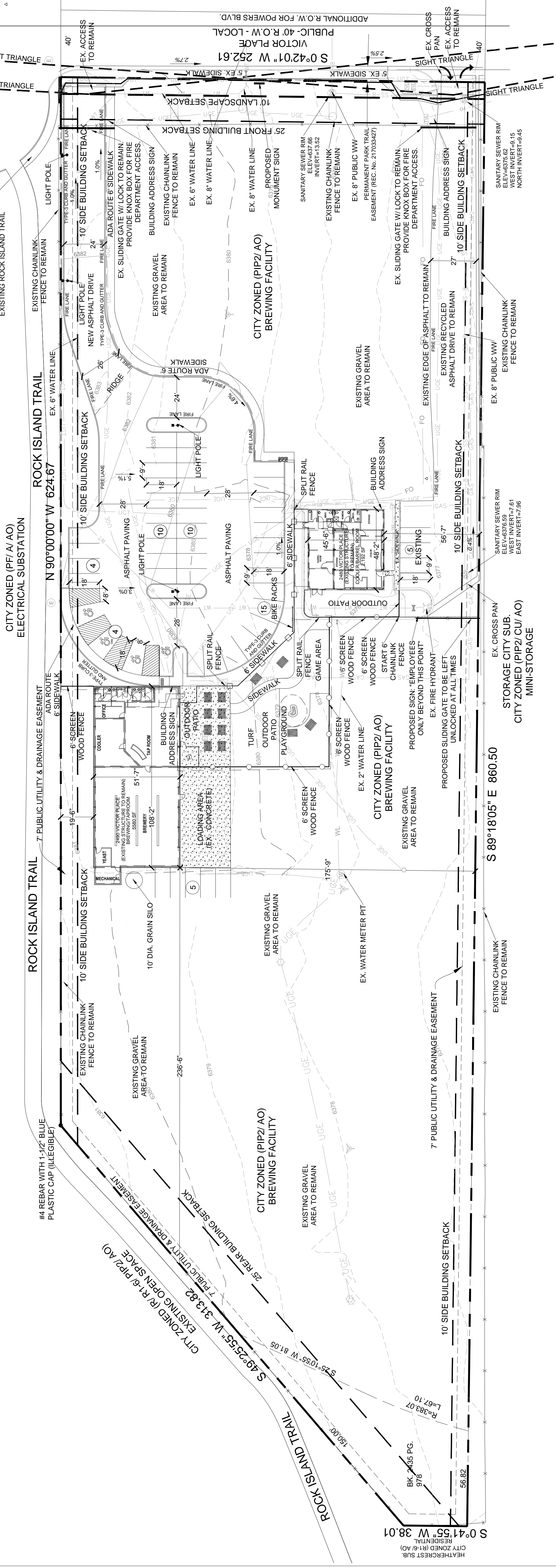
FIELDHOUSE BREWING
COMPANY
Colorado Springs, CO
DEVELOPMENT PLAN

P1 1 of 9

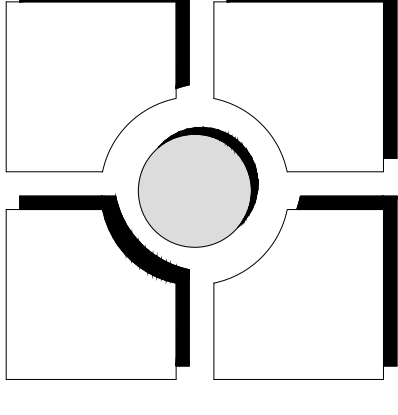
FIELDHOUSE BREWING DEVELOPMENT PLAN



POWERS BLVD./ VICTOR PL EASEMENT EXHIBIT



City File Number: CPC UV 18-00012 & CPC NV 18-00013



THOMAS & THOMAS
Planning
Landscape Architecture
Urban Design
702 North Tejon
Colorado Springs, Colorado 80903
(719) 578-8777

REV #	DATE	REVISIONS	APPROVED
1	3/9/18	CITY COMMENT REVI	
2			
3			
4			
5			
6			

DESIGNED	DATE	DRAWN	CHECKED	PROJECT NUMBER	SCALE
MF	02.01.18	JRA	JRA	3732.00	AS NOTED
MF	02.01.18				

FIELDHOUSE BREWING
COMPANY
Colorado Springs, CO
DEVELOPMENT PLAN

FIGURE 2

JPS ENGINEERING
 19 E. Wilmette Ave.
 Colorado Springs, CO 80903
 PH: 719-477-9429
 FAX: 719-477-0766
 www.jpseng.com

CALL UTILITY NOTIFICATION CENTER OF COLORADO 1-800-922-1987
 BEFORE YOU DIG, GRADE, OR EXCAVATE. CALL 2-BUSINESS DAYS IN ADVANCE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

NO.	REVISION	BY	DATE
1	CITY SUBMITTAL	JPS	1/31/18
2	CITY COMMENTS	JPS	3/09/18

SITE GRADING & EROSION CONTROL PLAN
 PROJECT NO: 121704
 SHEET: C1
 3 OF 9

FIELDHOUSE BREWING
 2480-2490 VICTOR PL., COLORADO SPRINGS, COLORADO

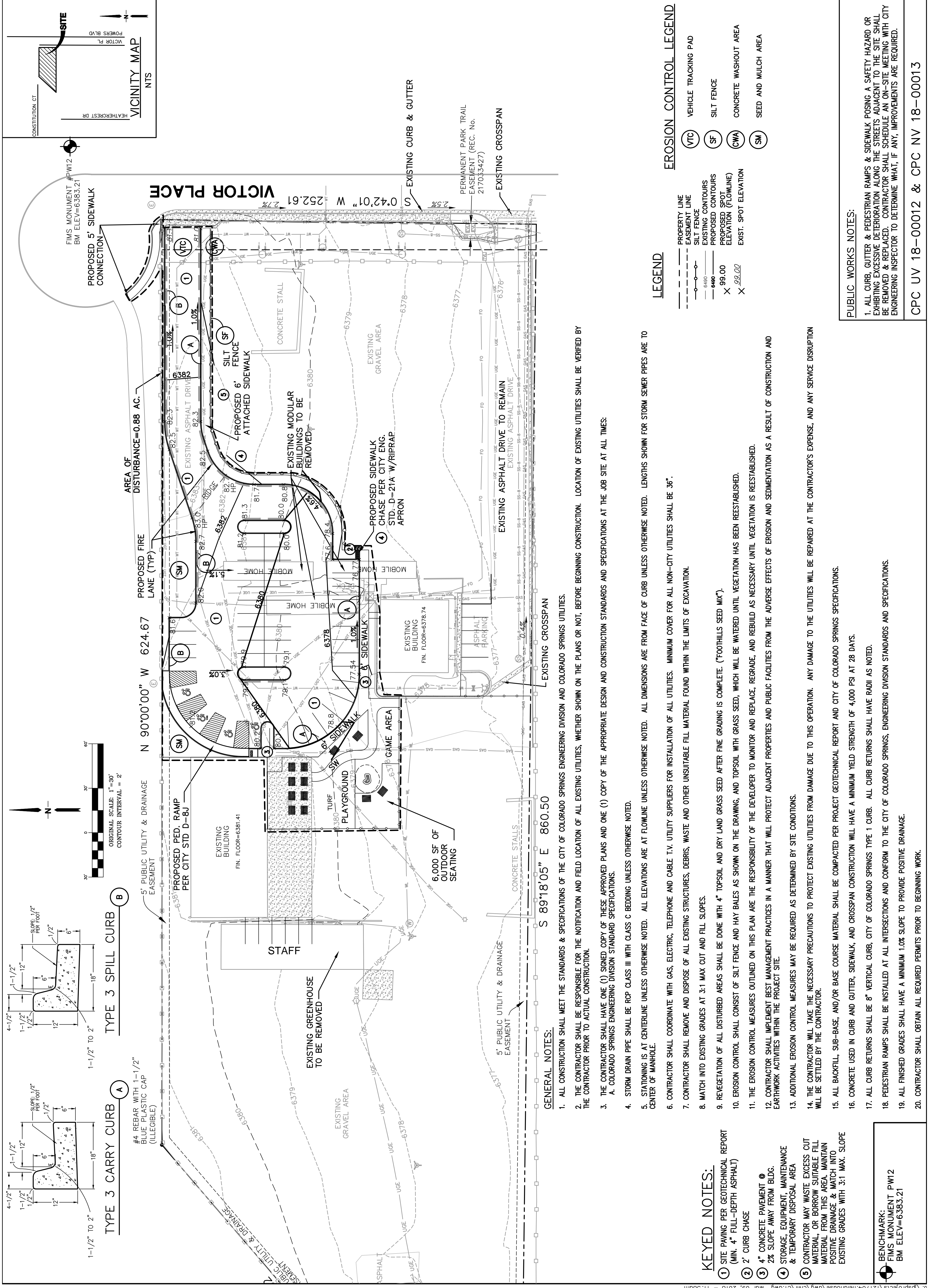
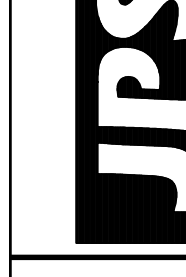
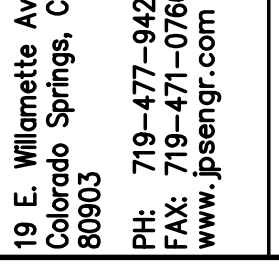


FIGURE 2



19 E. Wilmette Ave
Colorado Springs, CO
80903
PH: 719-477-9429
FAX: 719-477-0766
www.jpseng.com



CALL UTILITY NOTIFICATION CENTER OF COLORADO 1-800-922-1987
FOR THE MARKING OF UNDERGROUND UTILITIES.
CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE.

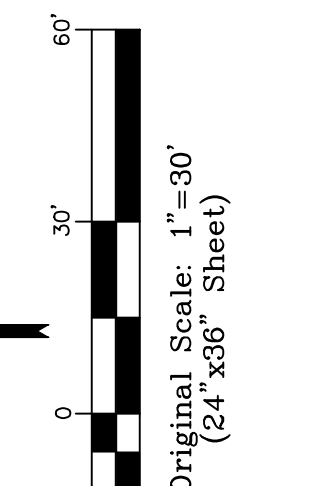
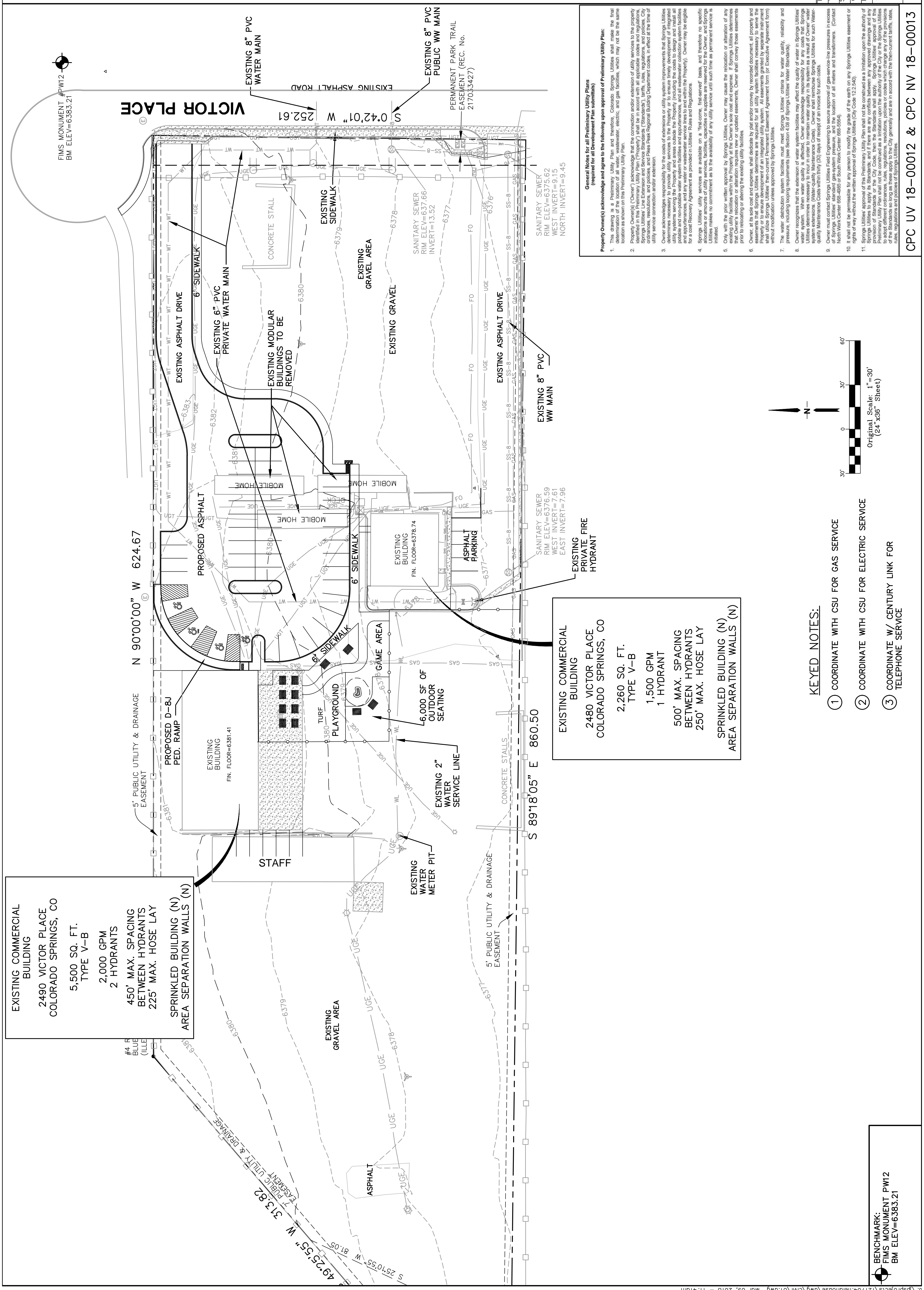
NO.	REVISION	BY	DATE
1	CITY SUBMITTAL	JPS	1/31/18
2	CITY COMMENTS	JPS	3/09/18

PRELIMINARY UTILITY & PUBLIC FACILITIES PLAN

FIELDHOUSE BREWING
2480-2490 VICTOR PL., COLORADO SPRINGS, COLORADO

HORIZ. SCALE: 1"=30'
VERT. SCALE: 1"=30'
DESIGNED: N/A
CHECKED: JPS
SURVEYED: COMPASS
LAST MODIFIED: JPS
CREATED: 1/25/18
PROJECT NO.: 121704
MODIFIED BY:
SHEET: U1

4 OF 9



EXISTING COMMERCIAL BUILDING
2490 VICTOR PLACE
COLORADO SPRINGS, CO
5,500 SQ. FT.
TYPE V-B
2,000 GPM
2 HYDRANTS
450' MAX. SPACING
BETWEEN HYDRANTS
225' MAX. HOSE LAY
SPRINKLED BUILDING (N)
AREA SEPARATION WALLS (N)

EXISTING COMMERCIAL BUILDING
2480 VICTOR PLACE
COLORADO SPRINGS, CO
2,260 SQ. FT.
TYPE V-B
1,500 GPM
1 HYDRANT
500' MAX. SPACING
BETWEEN HYDRANTS
250' MAX. HOSE LAY
SPRINKLED BUILDING (N)
AREA SEPARATION WALLS (N)

- KEYED NOTES:**
- ① COORDINATE WITH CSU FOR GAS SERVICE
 - ② COORDINATE WITH CSU FOR ELECTRIC SERVICE
 - ③ COORDINATE W/ CENTURY LINK FOR TELEPHONE SERVICE

Consent Notes for all Preliminary Utility Plans (required for all Development Plan submissions)

Property Owner(s) acknowledge and agree to the following upon approval of Preliminary Utility Plan:

- Owner(s) shall be responsible for obtaining all necessary permits from the City of Colorado Springs, including but not limited to the location of all water, wastewater, electric, and gas facilities, which may not be the same as shown on this Preliminary Utility Plan.
- Property Owner(s) shall acknowledge that the connection and/or extension of utility services to the property shall be the responsibility of the Property Owner(s) and shall be subject to the City of Colorado Springs Utility Line Extension and Service Standards ("Standards"), tariffs, rules, regulations, and policies. City of Colorado Springs Utility Line Extension and Service Standards ("Standards"), tariffs, rules, regulations, and policies, and other applicable rules, regulations, and policies, and other applicable rules, regulations, and policies, shall apply to the property.
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BENCHMARK:
FIMS MONUMENT PW12
BM ELEV=6383.21

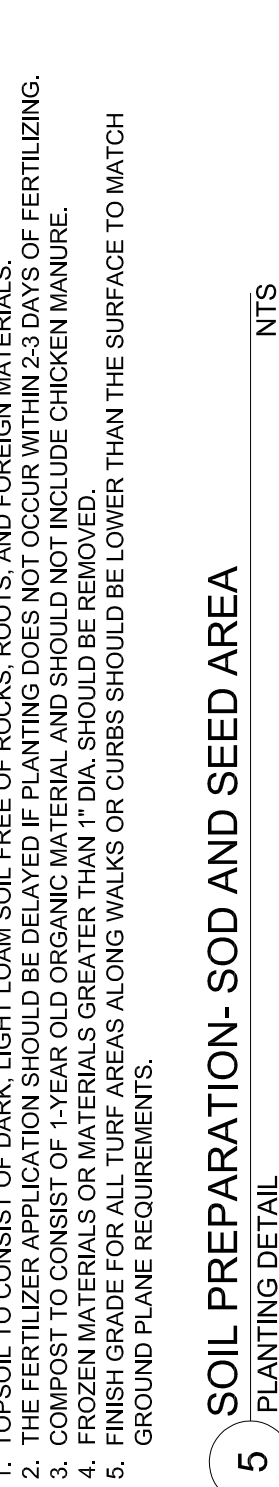
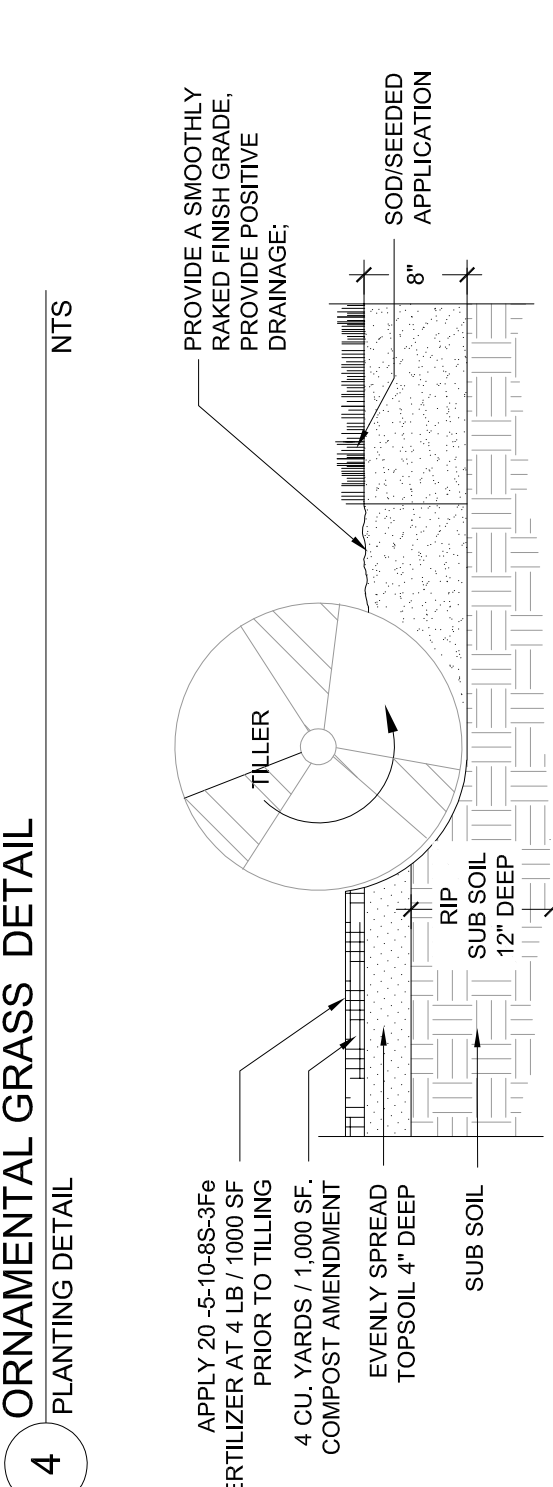
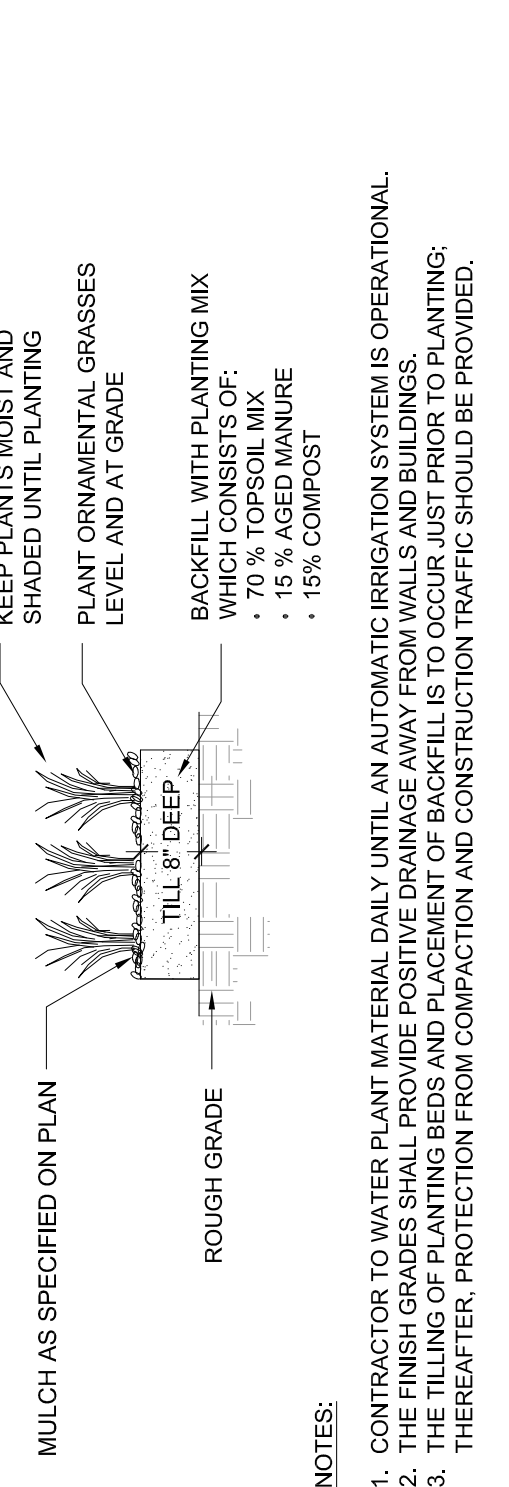
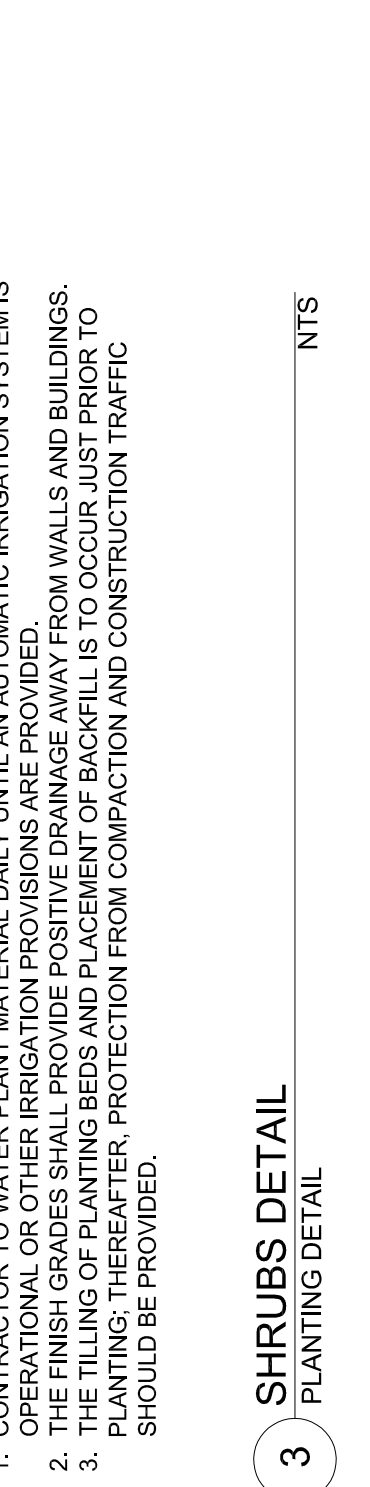
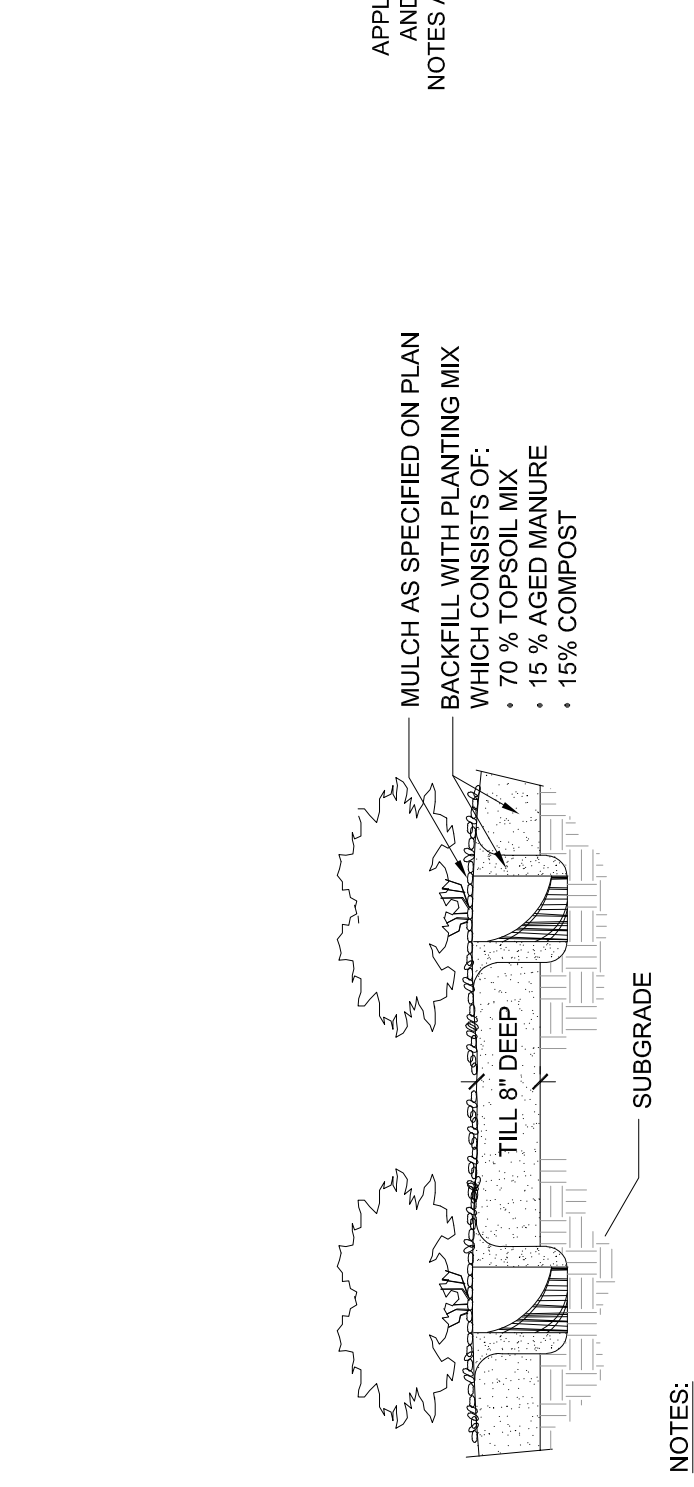
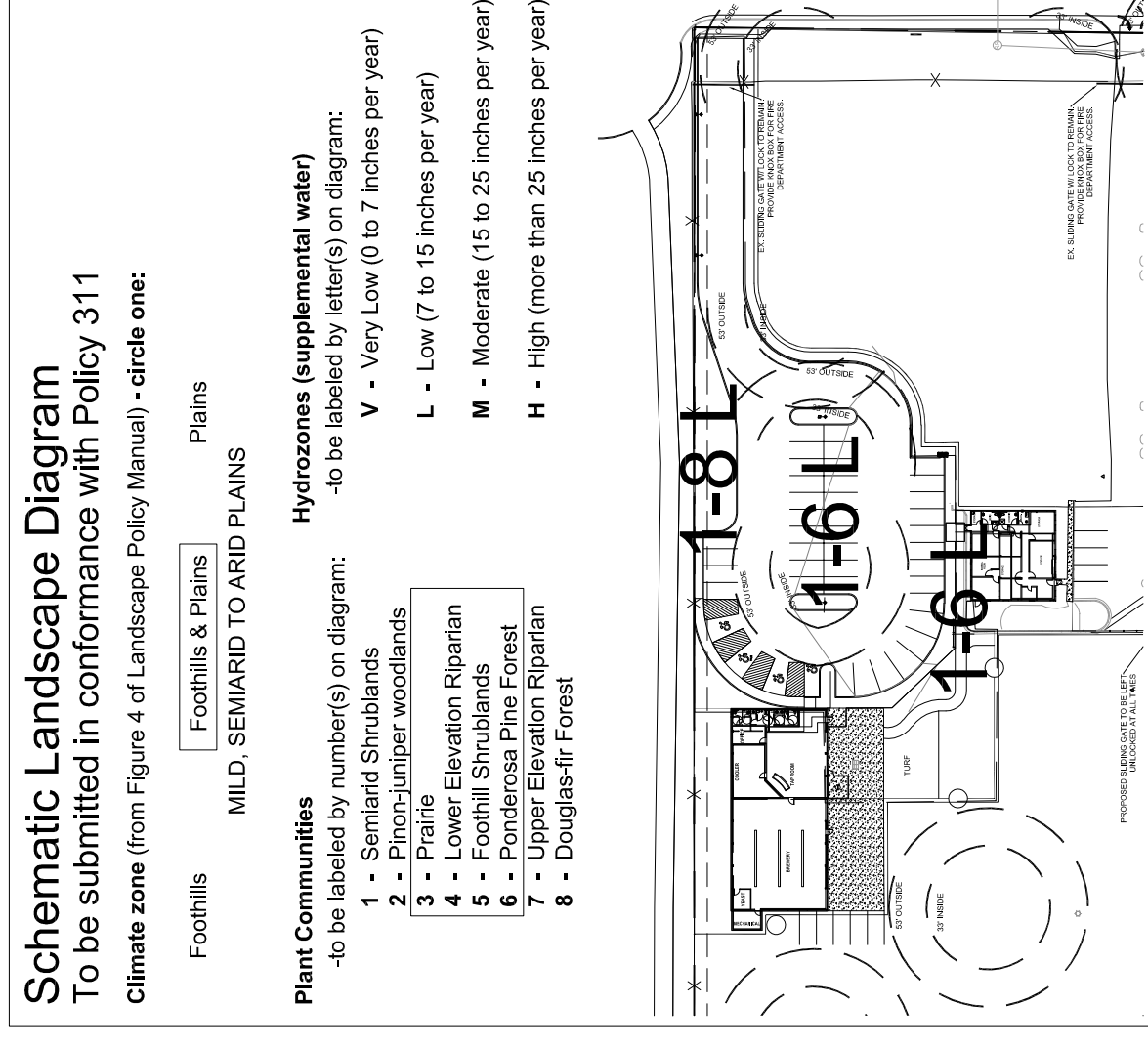
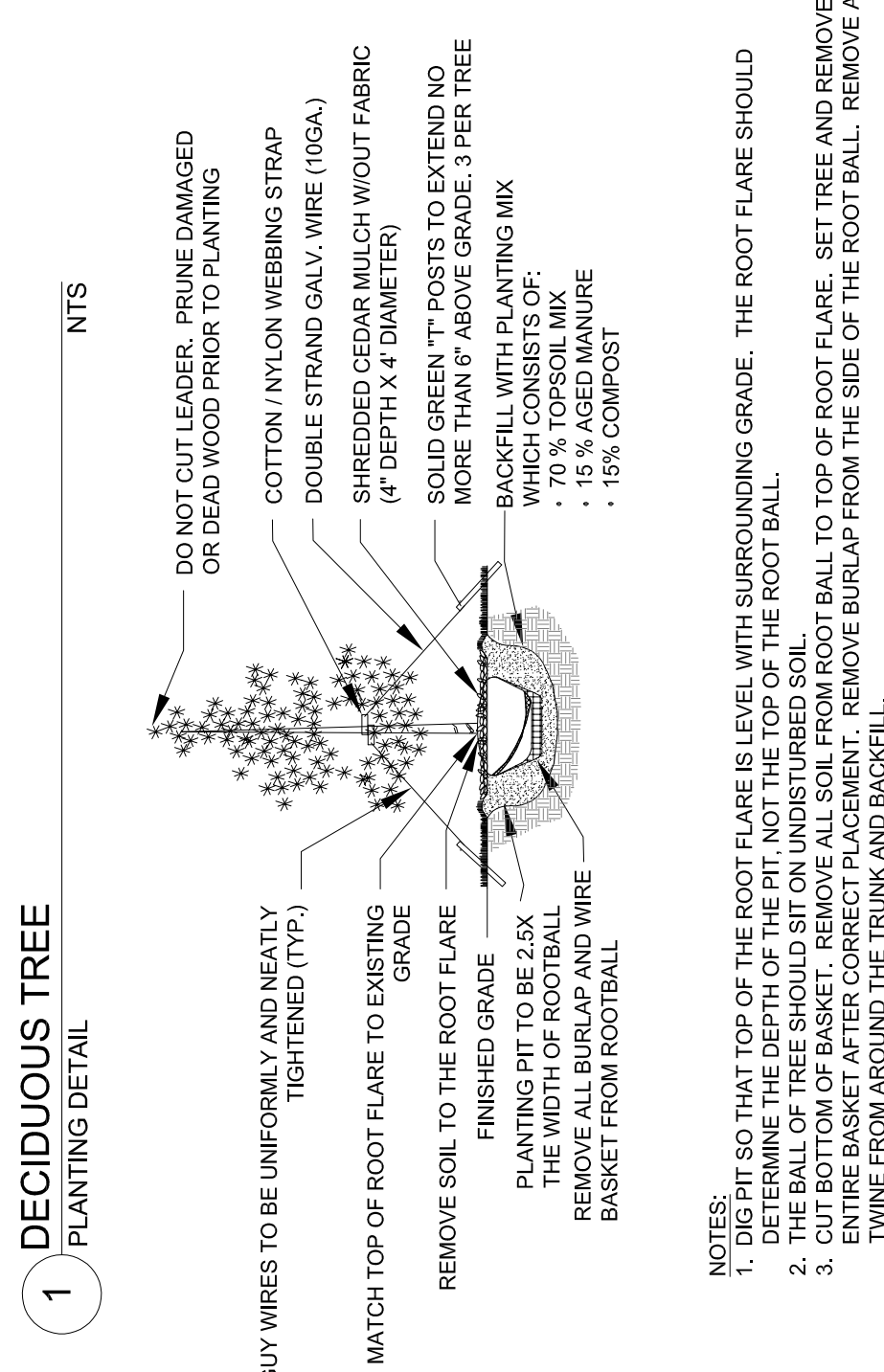
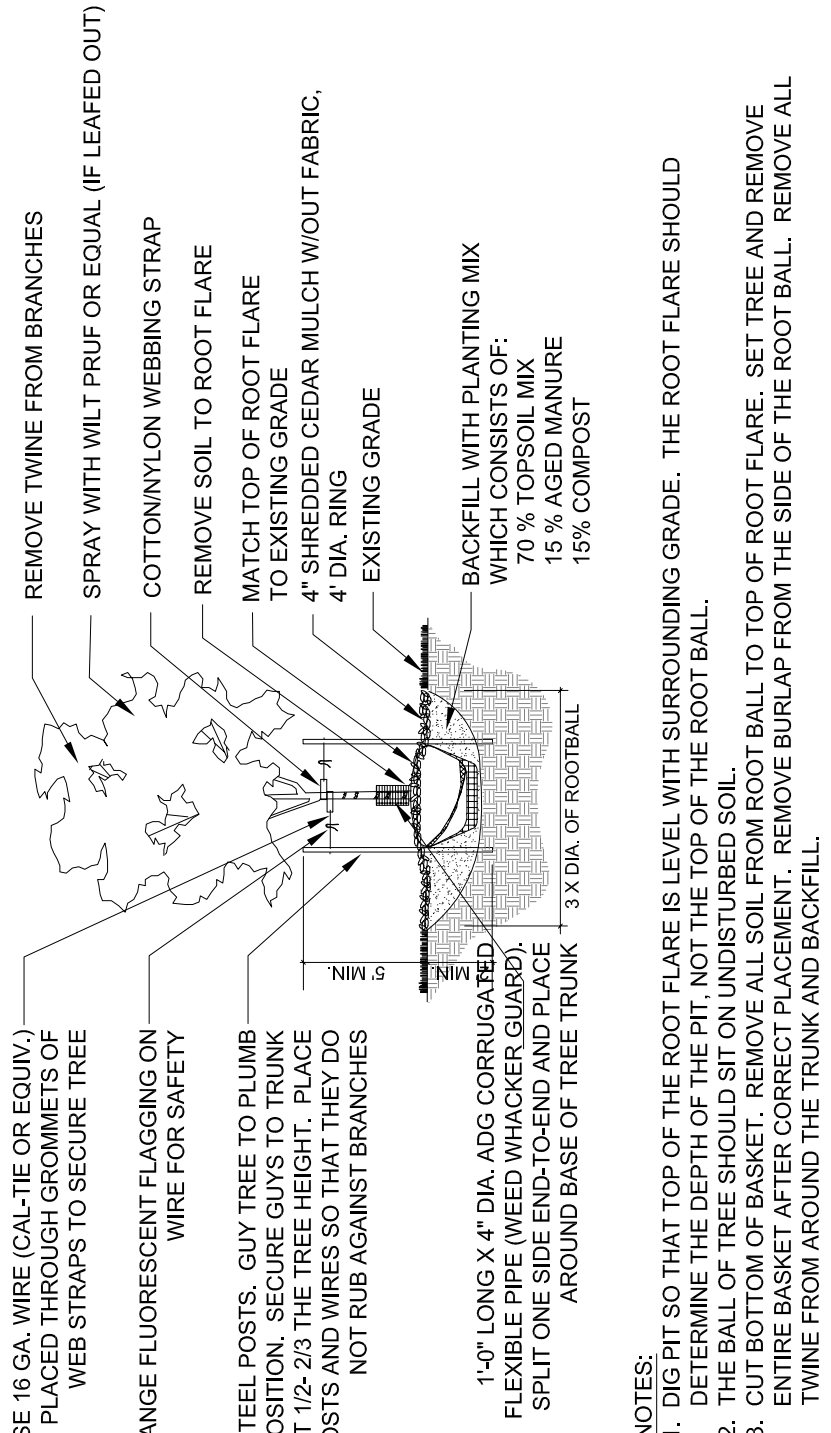
FIGURE 2

GENERAL NOTES:

- A FINAL LANDSCAPE AND IRRIGATION PLAN SHALL BE SUBMITTED AND REVIEWED CONCURRENT WITH BUILDING PERMIT SUBMITTAL AND APPROVED PRIOR TO ISSUANCE OF A BUILDING PERMIT.
- ALL UTILITY LOCATIONS MUST BE OBTAINED BY THE LANDSCAPE CONTRACTOR PRIOR TO DIGGING.
- ALL AREAS DISTURBED DUE TO CONSTRUCTION SHALL BE REVEGETATED AS PART OF THE BASE BID UNLESS OTHERWISE SHOWN.
- LOCATION OF STEEL EDGERS MUST BE STAKED AND APPROVED BY THE OWNERS REPRESENTATIVE PRIOR TO INSTALLATION. AVOID BROKEN BACK CURVES AND LONG TANGENTS BETWEEN CURVES.
- ALL TREE LOCATIONS SHALL BE STAKED PRIOR TO PLANTING FOR APPROVAL BY THE OWNER'S REPRESENTATIVE. ALL SHRUBS SHALL BE PLACED AND THEIR LOCATION APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO PLANTING.
- CONTRACTOR IS RESPONSIBLE FOR EROSION CONTROL PRACTICES AS PER THE CITY OF COLORADO SPRINGS SPECIFICATIONS.
- TURF AREAS IS TO BE IRRIGATED VIA AN AUTOMATED SYSTEM OF GEAR DRIVEN ROTORS AND POP-UP SPRAYS. ALL SHRUBS, GRASSES AND TREES SHALL BE DRIP IRRIGATED. AN AUTOMATIC IRRIGATION CONTROLLER AND RAIN SENSOR WILL BE INCLUDED IN THE IRRIGATION SYSTEM DESIGN.
- SEEDING SHALL OCCUR AFTER SPRING THAW AND BEFORE APRIL 15 OR AFTER SEPTEMBER 1 AND BEFORE CONSISTENT GROUND FREEZE.
- FOR PROPOSED SITE GRADING, HEIGHT AND SLOPE OF BERMS, SEE GRADING PLAN.
- PRIOR TO BIDDING, LANDSCAPE CONTRACTOR SHALL CONTACT COLORADO SPRINGS UTILITIES TO OBTAIN CURRENT REGULATIONS AND REQUIREMENTS FOR TEMPORARY WATERING PERMITS FOR SEED AND SOD AREAS.
- MAINTENANCE OF ALL LANDSCAPE, FENCINGS, WALLS, ETC. WILL BE BY THE OWNER.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR 4" TOP SOIL FOR ALL PLANTING AND TURF/SEED AREAS RELATED TO FINISH GRADES FOR SPECS.
- ALL RIGHT OF WAY FRONTAGE IS THE MAINTENANCE RESPONSIBILITY OF EACH PROPERTY OWNER PER CITY CODE.

SOILS:

- PER THE COLORADO SPRINGS GENERAL VEGETATION AND SOIL ASSOCIATION MAP, THE SITE CONSISTS OF SANDY PLAINS.
- A SOIL ANALYSIS WITH RECOMMENDATIONS FOR SOIL AMENDMENTS AND FERTILIZERS WILL BE COMPLETED WITH THE FINAL LANDSCAPE PLAN SUBMITTAL PACKAGE.



PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	KEY	HEIGHT	WIDTH	SIZE	NOTES
	TT	2	Tilia tomentosa	STERLING SILVER LINDEN	4S	40-50'	30-40"	2.0' Caliper	B&B
	GT	2	Gleditsia triacanthos Inermis 'Shademaster'	SHADEMASTER HONEYLOCUST	4SA	40-50'	30-40"	2.0' Caliper	B&B
	AF	2	Acer x freemanii 'Jeffersred'	AUTUMN BLAZE MAPLE	S	40-50'	30-40"	2.0' Caliper	B&B

PERCENT SIGNATURE TREES: 4
(60% MINIMUM REQUIRED)

SIGNATURE TREES: 4
TOTAL NUMBER OF TREES: 6

= 66.6% SIGNATURE TREES

SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	KEY	HEIGHT	WIDTH	SIZE	NOTES
	CM	8	Cercocarpus montanus	MOUNTAIN MAHOGANY	12SD	5-10'	5-8"	5 GALLON	CONTAINER
	PO	10	Physocarpus opulifolius 'Center Glow'	CENTER GLOW NINEBARK	568SA	6-8"	6-8"	5 GALLON	CONTAINER
	PA	27	Perovskia altiplicifolia	RUSSIAN SAGE	12D	3-4"	3-4"	5 GALLON	CONTAINER

PERCENT SIGNATURE SHRUBS: 45
(60% MINIMUM REQUIRED)

SIGNATURE SHRUBS: 45
TOTAL NUMBER OF SHRUBS: 45

= 100% SIGNATURE SHRUBS

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	KEY	HEIGHT	WIDTH	SIZE	NOTES
	CAK	20	Callamagrostis x acutiflora 'Karl Foerster'	KARL FOERSTER FEATHER REED GRASS	A	4-5'	18-24"	1 GALLON	CONTAINER
	HS	23	Helleborichon sempervirens	BLUE OAT GRASS	123SD	2-3'	2-3"	1 GALLON	CONTAINER
	PV	10	Panicum virgatum 'Shenandoah'	SHENANDOAH SWITCH GRASS	1234SD	3-4'	24-36"	1 GALLON	CONTAINER
	MS	13	Miscanthus sinensis 'Gracillimus'	MAIDEN GRASS	DA	4-5'	4-5"	1 GALLON	CONTAINER

LANDSCAPE MATERIAL SCHEDULE

SYMBOL CALLOUT NOTES:

PER PLAN	NOTES:
	NATIVE SEED; INSTALLED PER SEED SUPPLIERS SPECIFICATIONS. SUBMIT CUT-SHEET FOR APPROVAL PRIOR TO INSTALLATION.
	PBSI Low Grow Native Mix (25% Idaho Fescue (25%) Sandberg Bluegrass (25%) Rocky Mountain Fescue (25%) Canby Bluegrass
	TURF: 3-WAY FESCUE BLEND SOD
	GRAVEL MULCH: SIZE TO BE DETERMINED IN FINAL LANDSCAPE PLAN
	STEEL EDGE TO BE DURABLE 1/2" THICK X 5" WIDE ROLLED TOP STEEL EDGE. COLOR TO BE GREEN. INSTALL PER MANUFACTURERS SPECIFICATIONS.

DEVELOPMENT PLAN DATA:

LANDSCAPE SETBACKS:

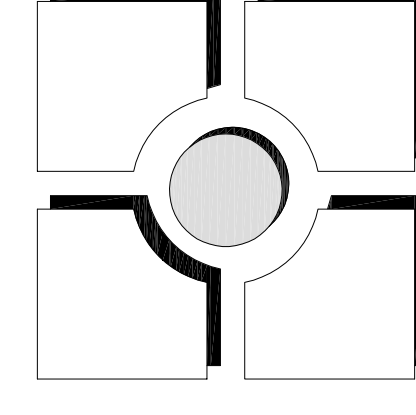
STREET NAME OR ZONE BOUNDARY:	VICTOR PLACE
NO	
LOCAL	
10' / 10'	
25'	
1/30	
8/11 EXISTING	
0/0	
PS	
75%/75%	

MOTOR VEHICLE LOTS:

NUMBER OF VEHICLE SPACES PROVIDED:	53
SHADE TREES 1 PER 15 SPACES REQ./PROV.:	4/4
VEHICLE LOT FRONTS:	NORTH SIDE:
LENGTH OF FRONTAGE:	36'
2/3 LENGTH OF FOOTAGE:	24'
MIN. 2 SCREENING PLANTS REQ./PROV.:	24/36'
LENGTH OF SCREENING OR BERM PROVIDED:	NA
VEHICLE LOT PLANT ABBREVIATED ON PLAN:	PL
% GROUND PLANE VEG. REQUIRED/PROVIDED:	75%/75%

INTERNAL LANDSCAPING:

NET SITE AREA:	54,709
PERCENT MINIMUM INTERNAL AREA:	5%
INTERNAL AREA REQUIRED/PROVIDED:	2,735 sf / 4,362 sf
TREE/FEET REQUIRED:	1 Tree / 500 SF
INTERNAL TREES REQUIRED/PROVIDED:	5/2
SHRUB SUBSTITUTES REQUIRED/PROVIDED:	30/30
ORN. GRASS SUBSTITUTES REQ./PROV.:	0/0
INTERNAL PLANT ABBREVIATED ON PLAN:	IN
% GROUND PLANE VEG. REQUIRED/PROVIDED:	75%/75%



THOMAS THOMAS
Landscape Architecture
703 North Tejon
Colorado Springs, Colorado 80903
(719) 578-8777

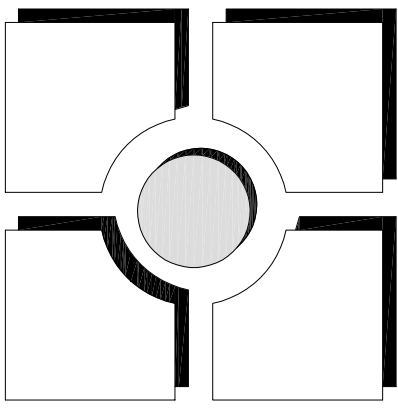
REV #	DATE	REVISIONS	CHECKED	APPROVED
1	3/9/18	CITY COMMENTS REV1	JMA	
2				
3				
4				
5				

SCALE: AS NOTED

DESIGNED	DRAWN	CHECKED	PROJECT NUMBER:
MF 02.01.18	MF 02.01.18	JMA	3732.00

FIELDHOUSE BREWING COMPANY
Colorado Springs, CO
PRELIMINARY LANDSCAPE PLAN

FIGURE 2

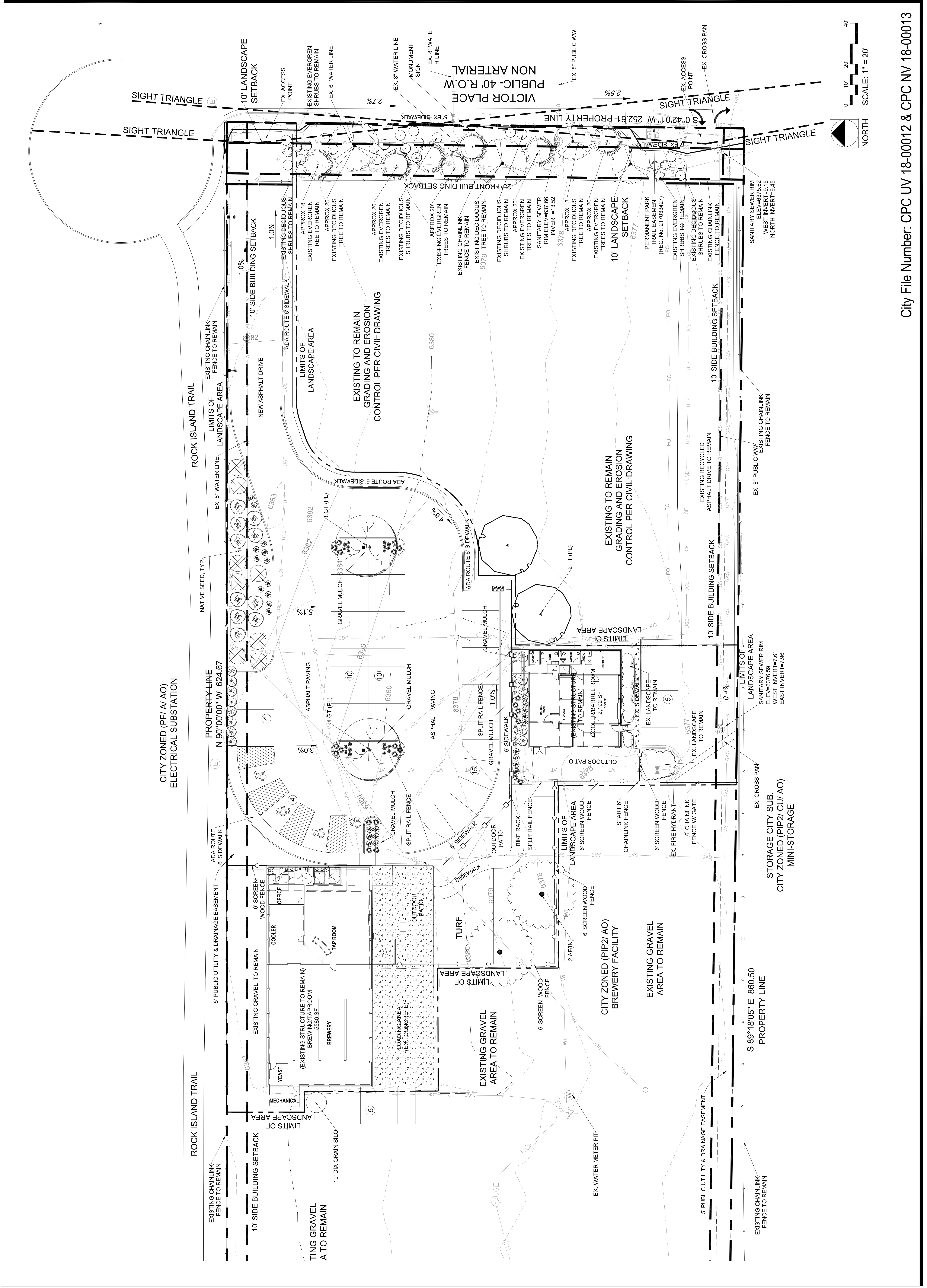


THOMAS & THOMAS
 Planning
 Landscape Architecture
 702 North Tejon
 Colorado Springs, Colorado 80903
 (719) 578-8777

REV #	DATE	REVISIONS	DRAWN	CHECKED	APPROVED
1	3/9/18	CITY COMMENTS REV1			
2					
3					
4					
5					
6					

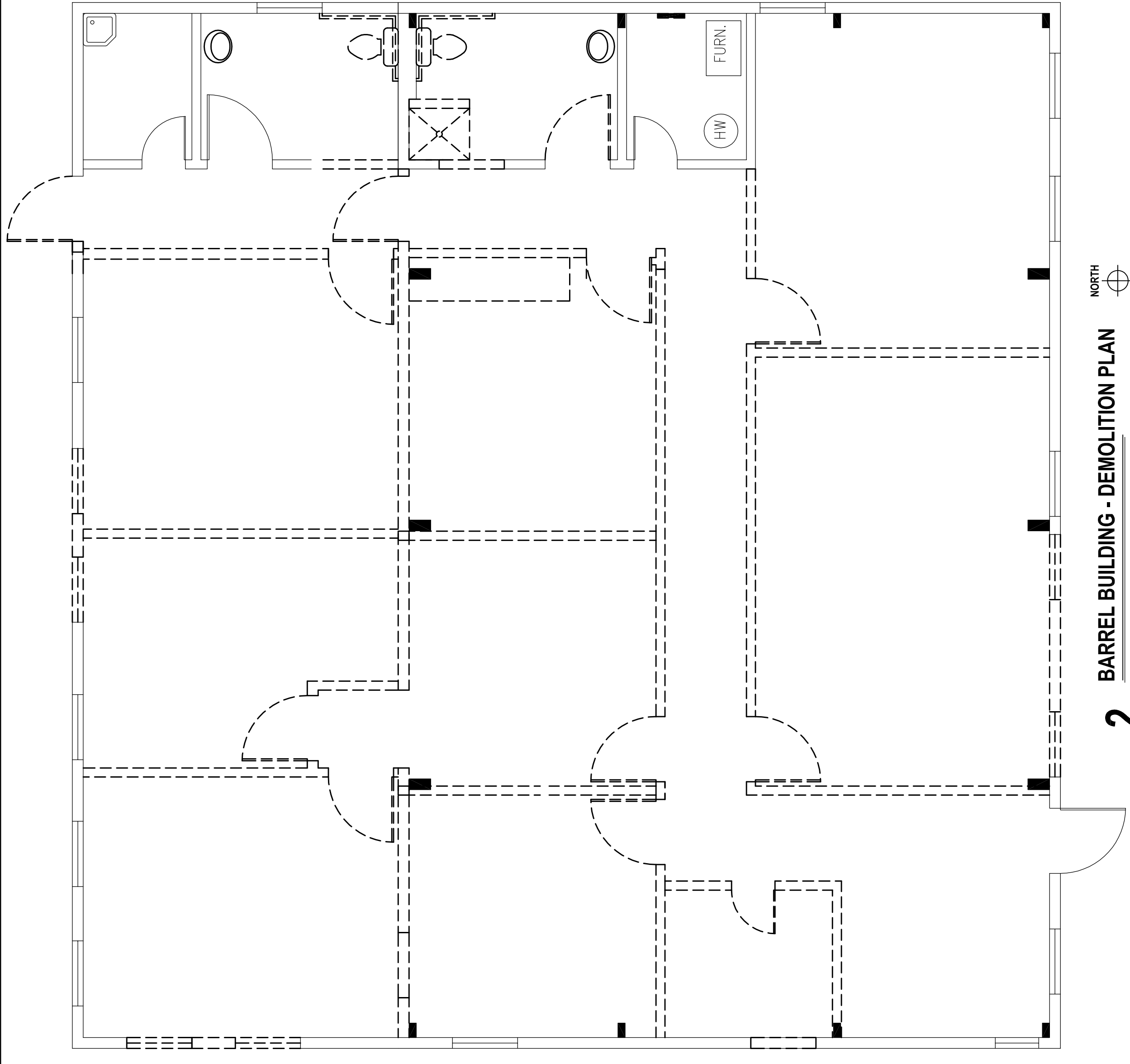
DESIGNED	DATE	PROJECT NUMBER	SCALE
MF	02.01.18	3732.00	AS NOTED
JFA	02.01.18		

FIELDHOUSE BREWING COMPANY
 Colorado Springs, CO
PRELIMINARY LANDSCAPE PLAN

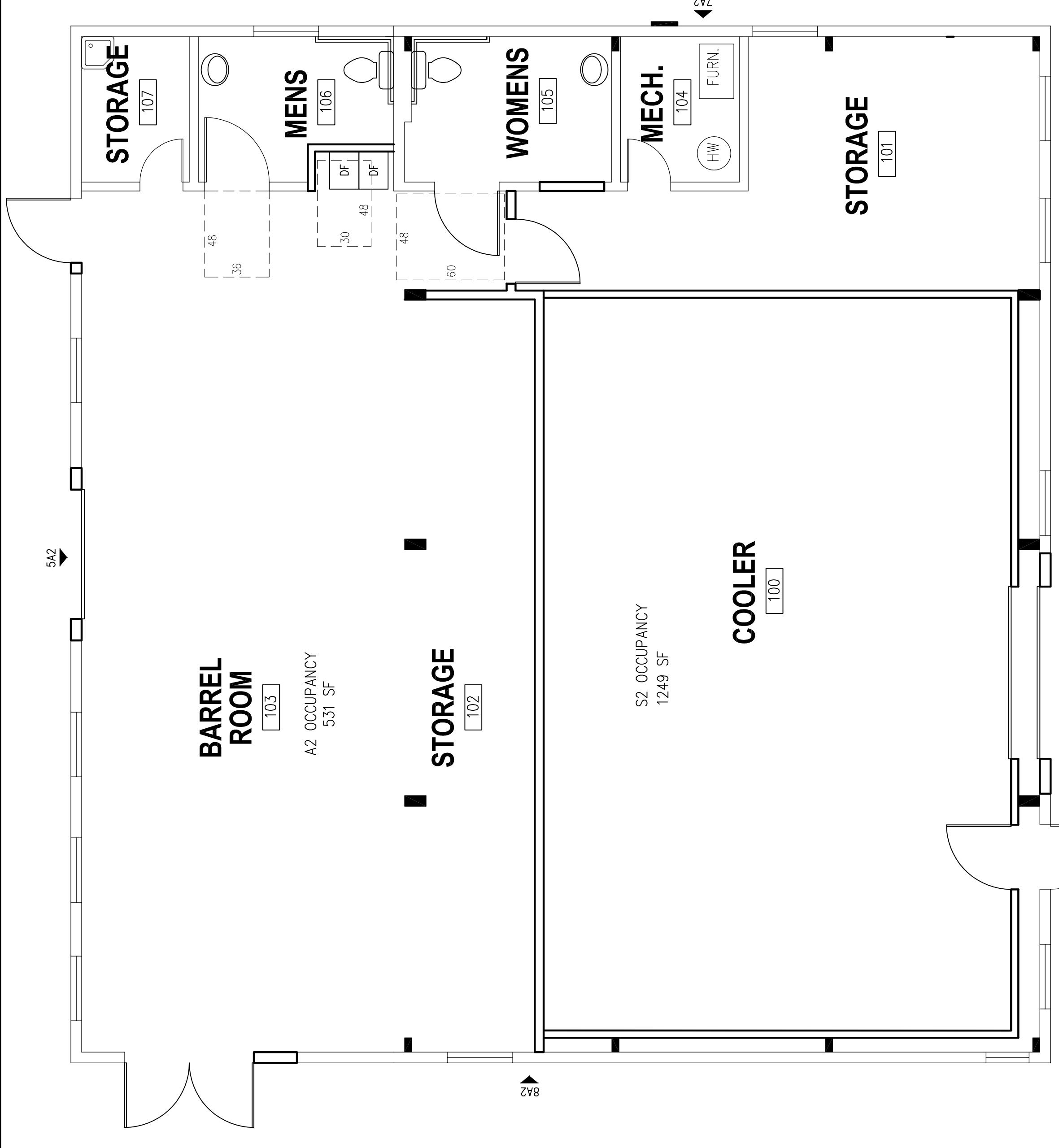


City File Number: CPC UV 18-00012 & CPC NV 18-00013

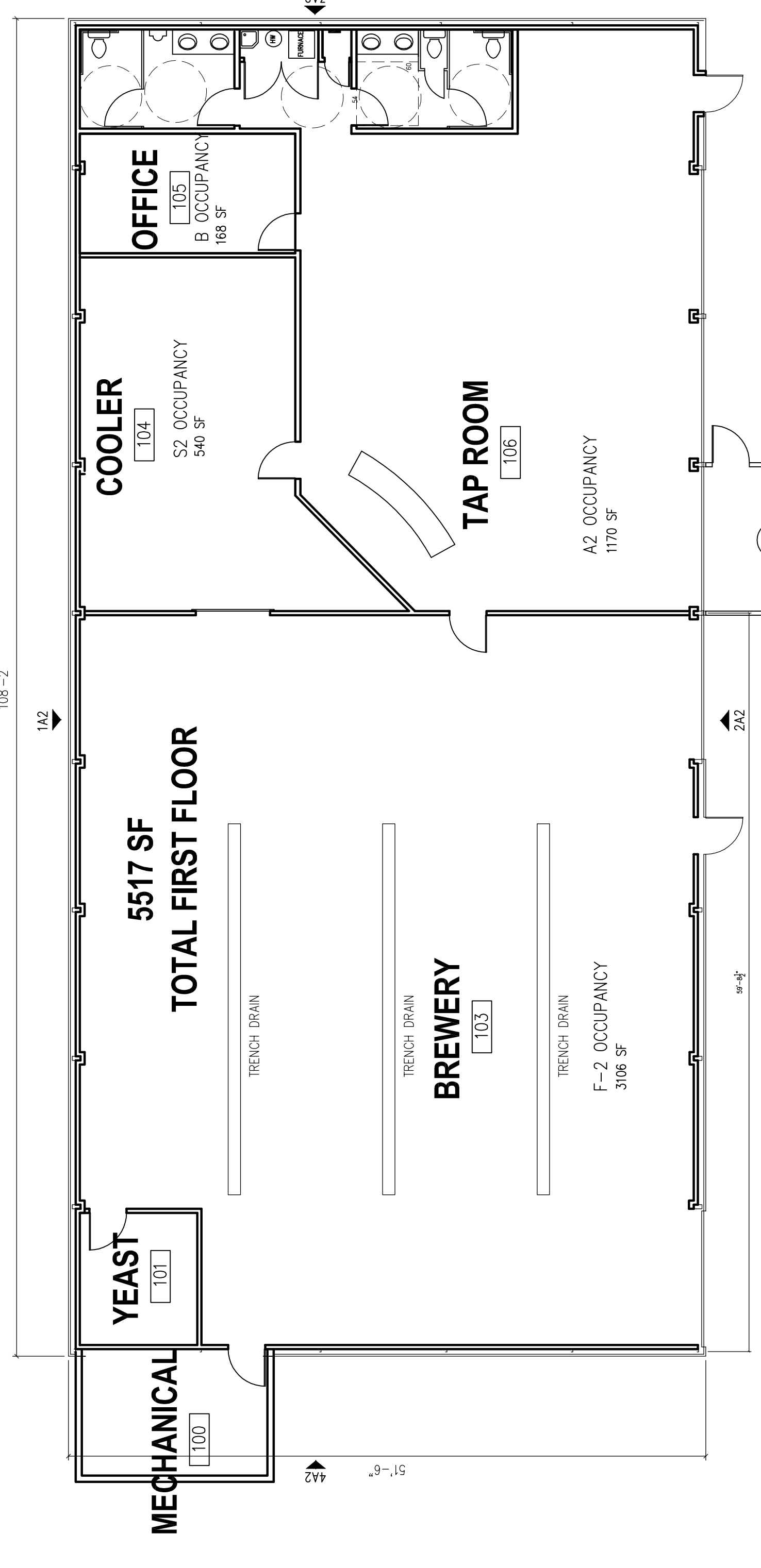
FIGURE 2



2 BARREL BUILDING - DEMOLITION PLAN
1/4" = 1'-0"



1 BARREL BUILDING - FLOOR PLAN
1/4" = 1'-0"



3 BREW BUILDING FIRST FLOOR
1/8" = 1'-0"

City File Number: CPC UV
18-00012 & CPC NV 18-00013

FH BEERWORKS

2480 NORTH POWERS BLVD
COLORADO SPRINGS, COLORADO 80915

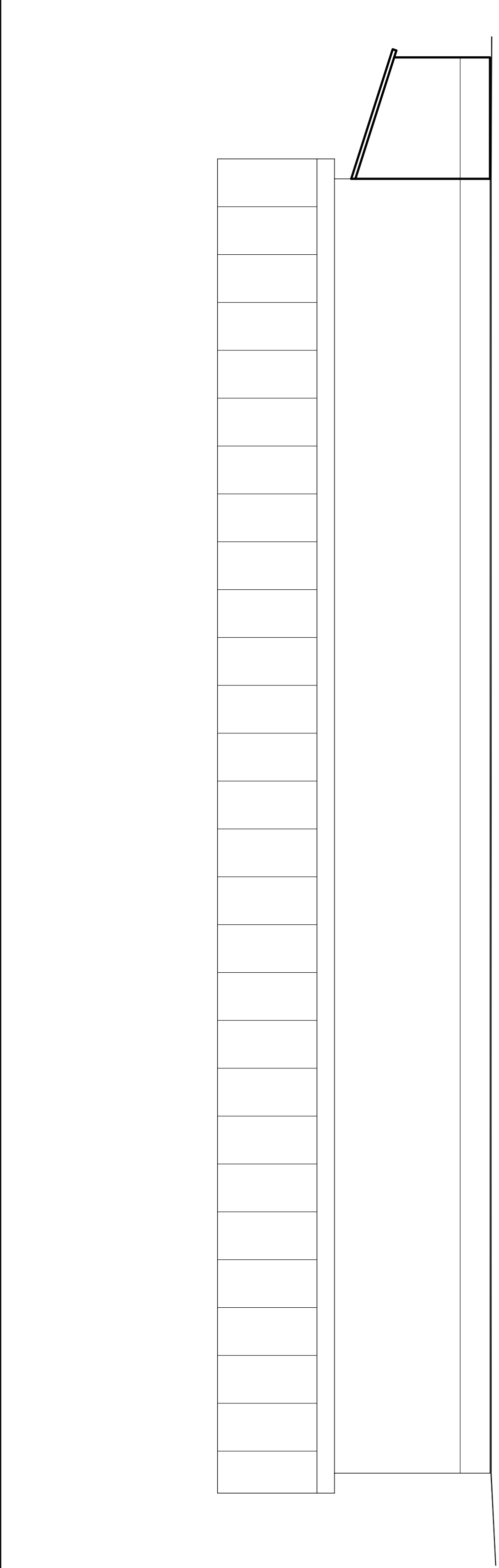
ARCHITECTURAL SOLUTIONS, INC.

DATE: FEB. 2, 2018
JOB NO. *****
DRAWN BY: NK
CHECKED BY: NK
E-MAIL: NLIKATZ@AOL.COM
1308 WEST PIKES PEAK AVENUE
COLORADO SPRINGS, COLORADO 80904
719-535-8527 FAX: 877-455-9477
VISIT OUR WEBSITE: WWW.ARCHSOLUTIONSCOLORADO.COM

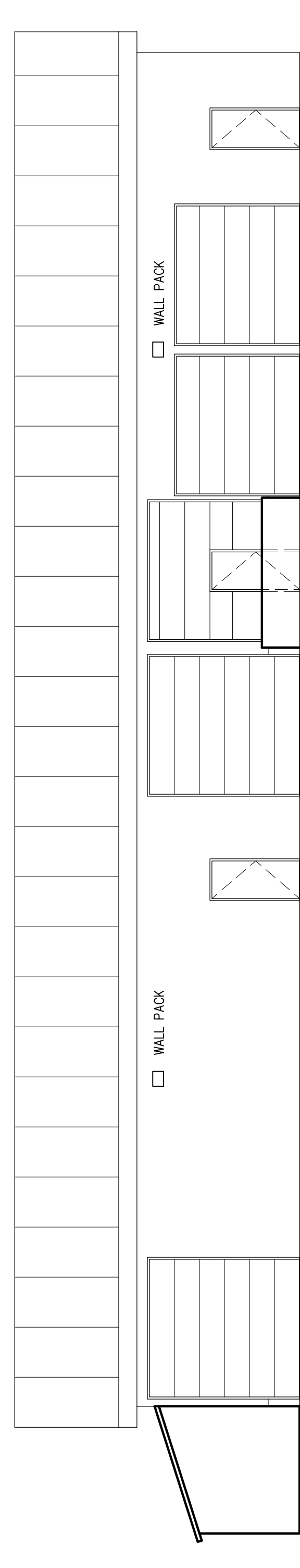
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DEVELOPMENT
PLAN SUBMITTAL

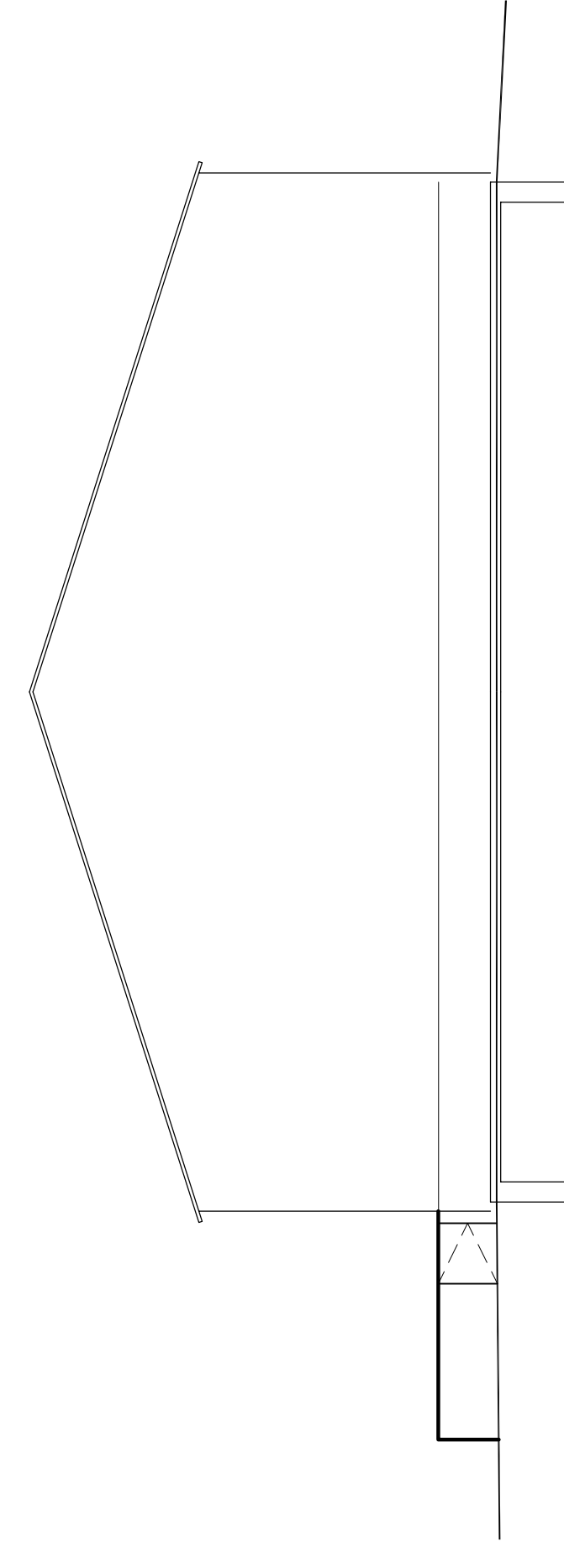
FIGURE 2



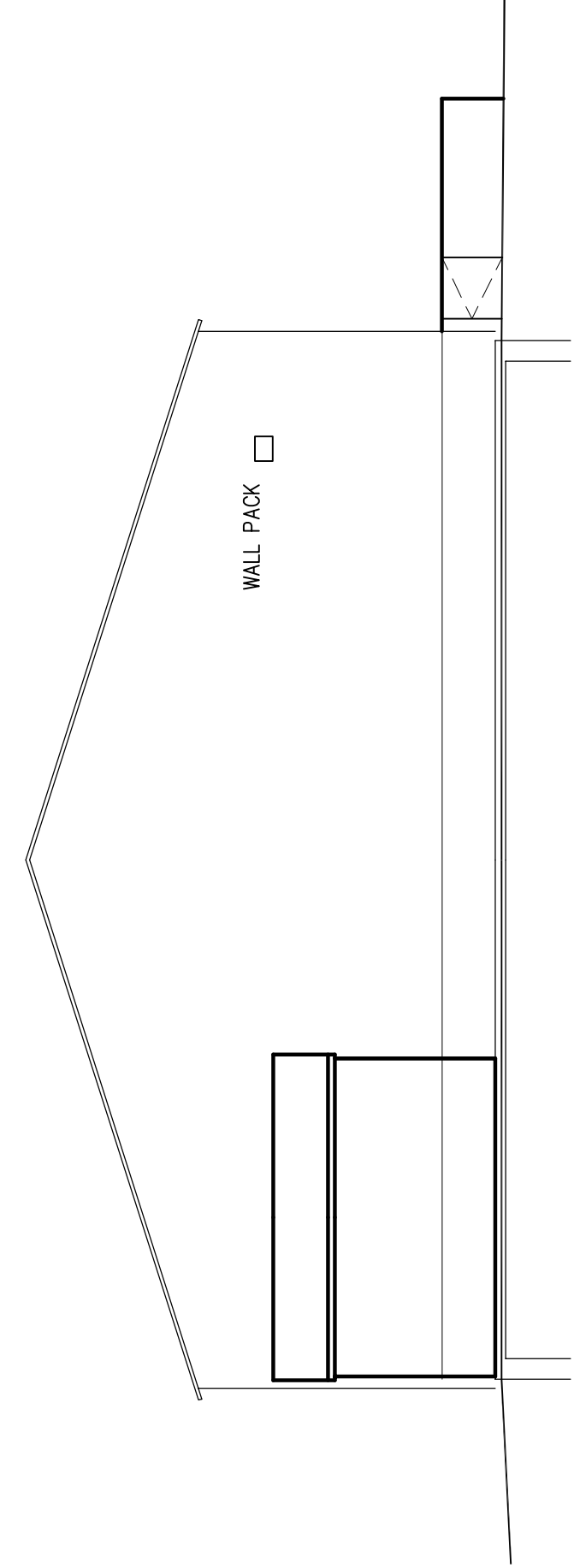
1 NORTH ELEVATION - BREW BUILDING
 1/8" = 1'-0"



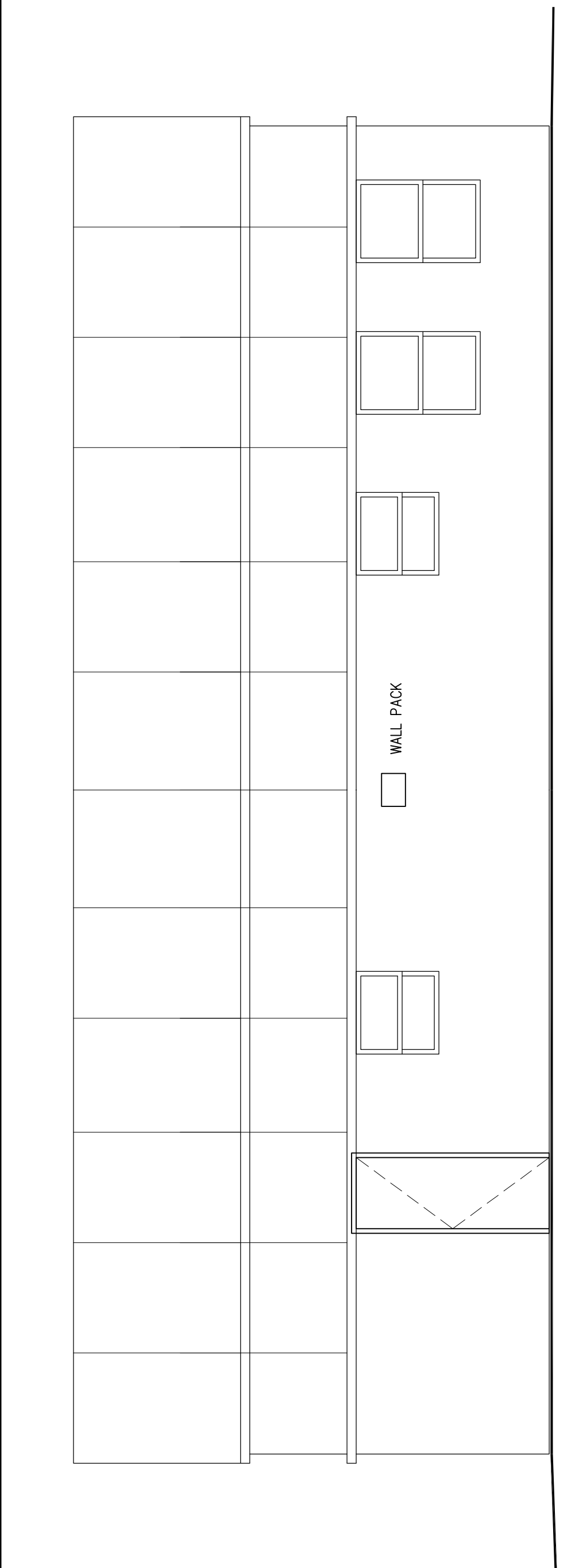
2 SOUTH ELEVATION - BREW BUILDING
 1/8" = 1'-0"



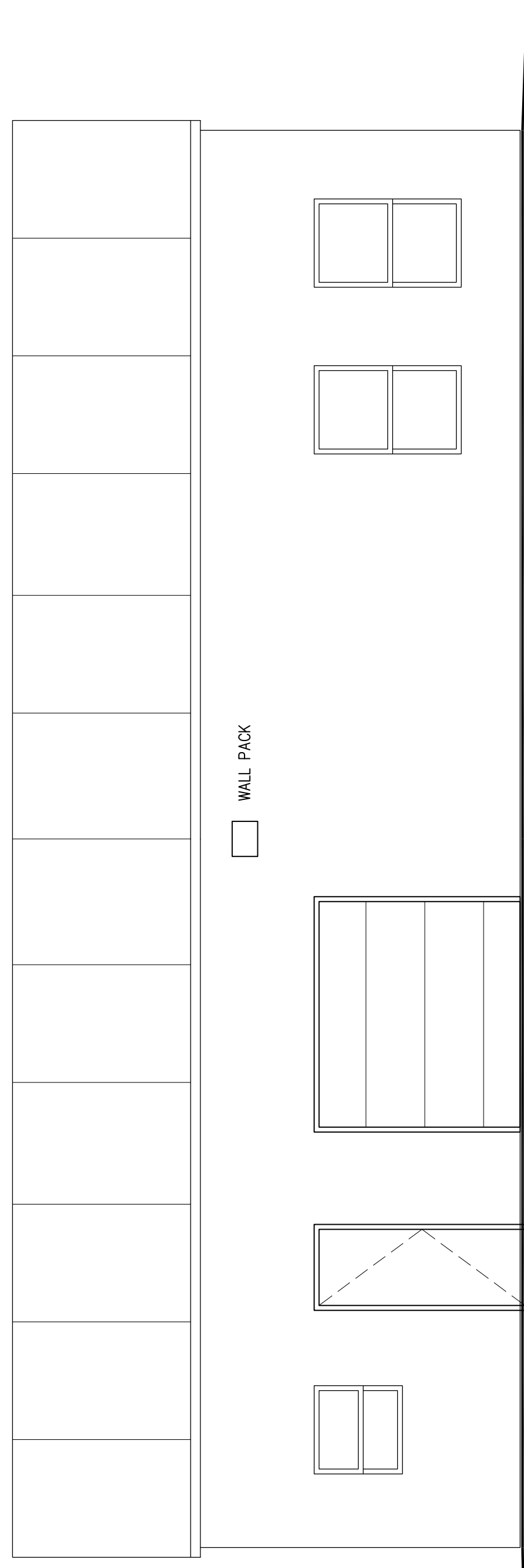
3 EAST ELEVATION - BREW BUILDING
 1/8" = 1'-0"



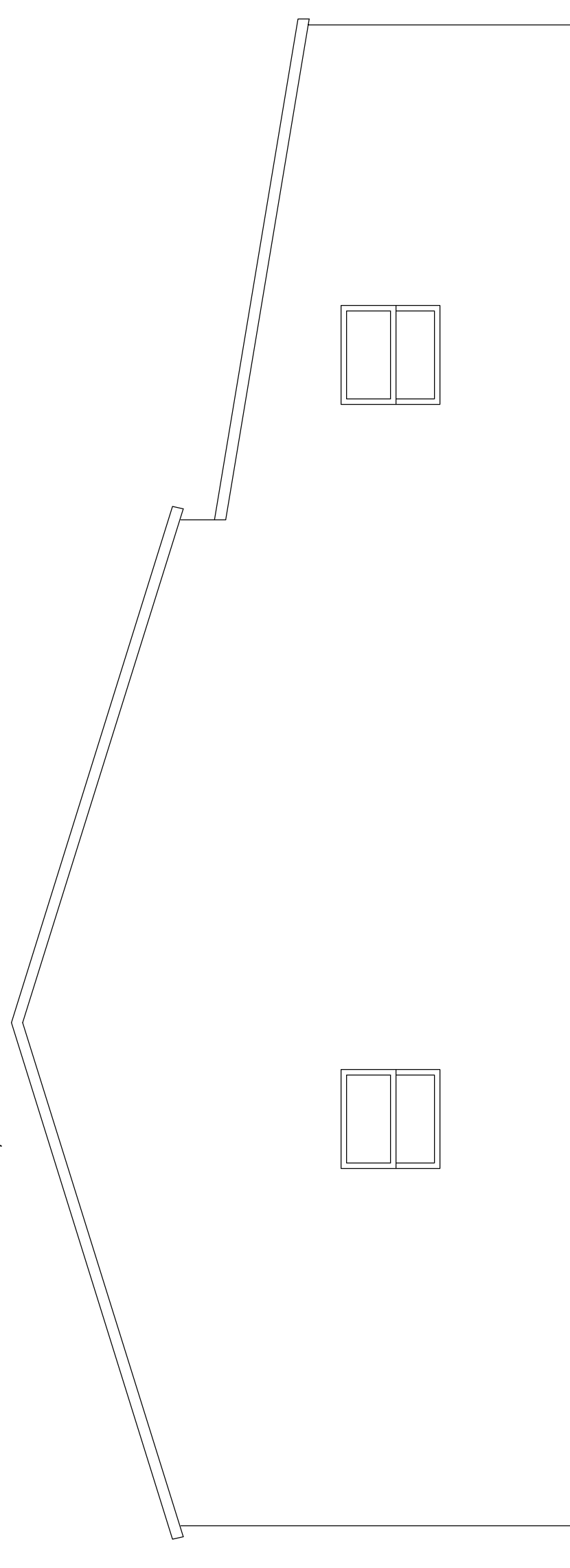
4 WEST ELEVATION - BREW BUILDING
 1/8" = 1'-0"



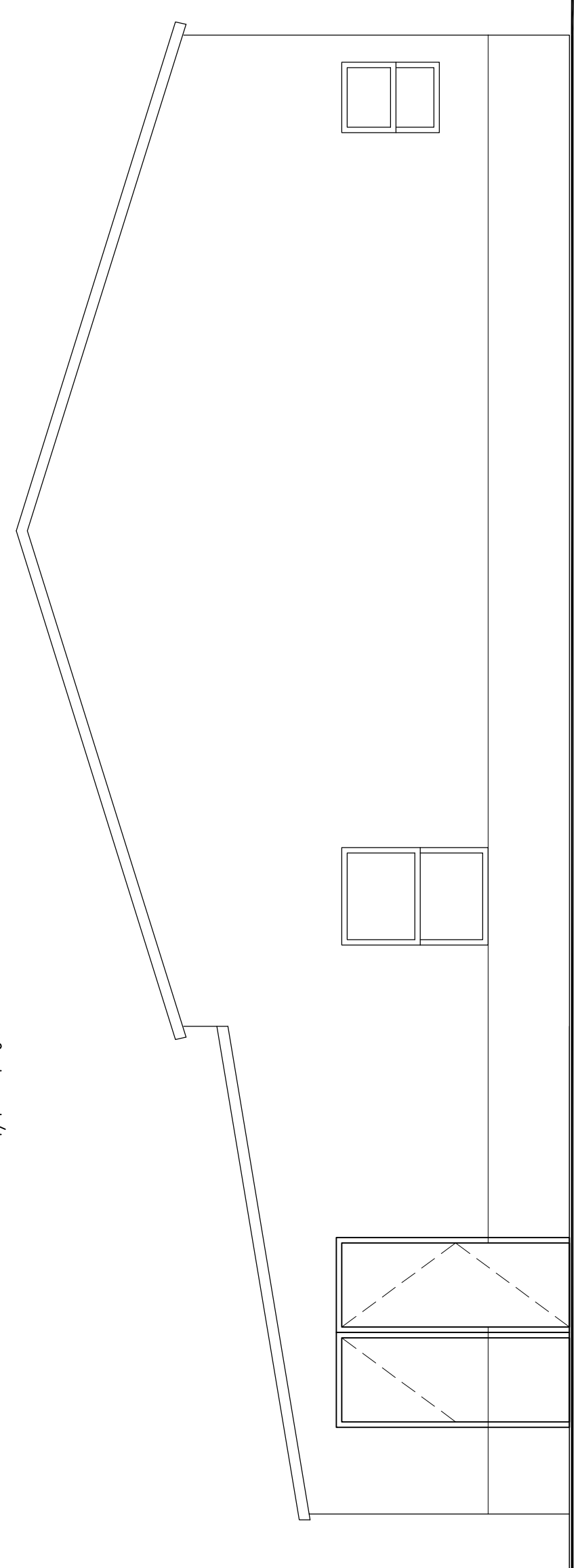
5 NORTH ELEVATION - BARREL BUILDING
 1/4" = 1'-0"



6 SOUTH ELEVATION - BARREL BUILDING
 1/4" = 1'-0"



7 EAST ELEVATION - BARREL BUILDING
 1/4" = 1'-0"



8 WEST ELEVATION - BARREL BUILDING
 1/4" = 1'-0"

**DEVELOPMENT
 PLAN SUBMITTAL**

City File Number: CPC UV
 18-00012 & CPC NV 18-00013

PHOTOMETRICS PLAN

51EC INC.

PHOTOMETRICS
2480 NORTH POWERS BLVD
COLORADO SPRINGS, CO 80915

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FIELDHOUSE BREWERY

PHOTOMETRICS
2480 NORTH POWERS BLVD
COLORADO SPRINGS, CO 80915



51EC INC.

31 NORTH TEJON ST. SUITE 304
COLORADO SPRINGS, CO 80903
HFTY@51EC.COM
T 719-368-7394

CLIENT:	
ARCHITECT:	ARCHITECTURAL SOLUTIONS, INC. 1308 WEST PEAK AVENUE COLORADO SPRINGS, CO 80904
SITE:	
TITLE:	PHOTOMETRICS PLAN
SCALE:	DRAWN BY: _____
PROJECT NO.:	CHECKED BY: _____
DATE:	
SHEET NO.:	
	9 of 9

VIPER L SERIES LINC SUPER LIMBARE

BEACON LIGHTING

PRODUCT IMAGES:

DIMENSIONS:

Model	Length (A)	Depth (B)	Height (C)	Weight (D)
VP 9 (9 LEDs)	4.17" (107 mm)	1.57" (40 mm)	3.12" (79 mm)	2.05 lb (0.93 kg)
VP 15 (15 LEDs)	6.93" (176 mm)	1.57" (40 mm)	3.12" (79 mm)	3.50 lb (1.59 kg)

MOUNTING OPTIONS:

- Standard (4-Pin)
- Surface Mount (2-Pin)
- Recessed (4-Pin)
- Recessed (2-Pin)

Common/Optional:

- Available with optional premium blend lens (PBL) for enhanced beam spread.
- Available with optional premium blend lens (PBL) for enhanced beam spread.
- Available with optional premium blend lens (PBL) for enhanced beam spread.

Notes:

- Mounting hardware not included.
- For more information, visit www.beaconlighting.com.

Compact LED Wallpack - Zero Uplight

LED WALLPACKS

ORDERING INFORMATION

Model	Length (A)	Depth (B)	Height (C)	Weight (D)	Beam Spread (E)
WPC 4000K	4.17"	1.57"	3.12"	2.05 lb	25°
WPC 5000K	4.17"	1.57"	3.12"	2.05 lb	25°

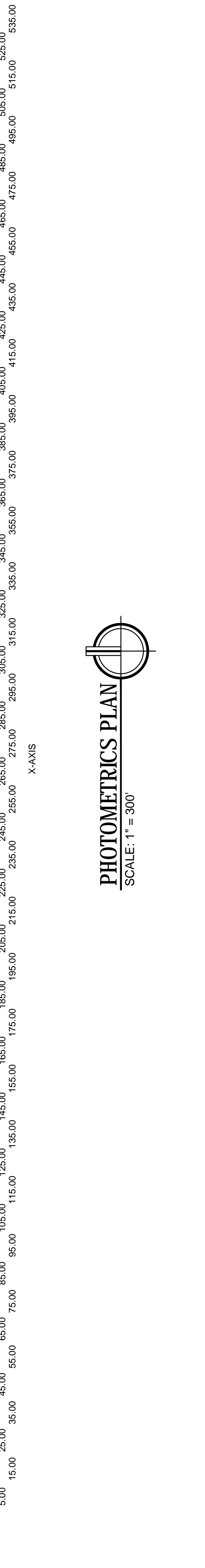
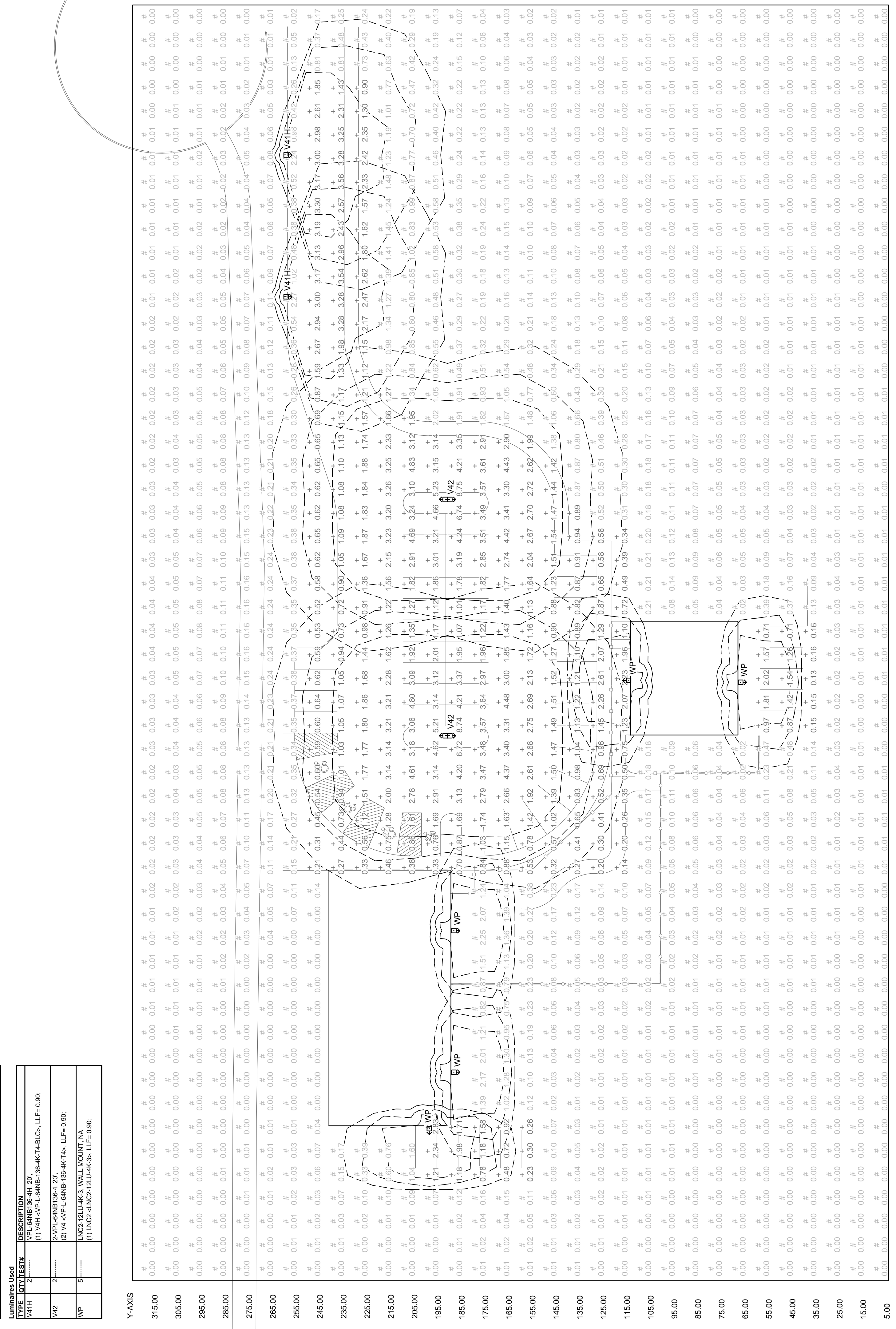
ORDERING INFORMATION - (SEE PAGE 08)

Series	Length (A)	Depth (B)	Height (C)	Weight (D)	Beam Spread (E)
WPC 4000K	4.17"	1.57"	3.12"	2.05 lb	25°
WPC 5000K	4.17"	1.57"	3.12"	2.05 lb	25°

GROUP	MIN	MAX	AVE	ALIGNED	MAX/MIN	60/90
(1)	0.00	0.13	0.05	0.00	14.69	N/A
(2)	0.00	0.27	0.13	0.00	N/A	N/A

Computed in accordance with IES recommendations

LUMINAIRE USED	TYPE	LOU/TEST
VPL-6NB136-4H-20	1	VPL-6NB136-4H-20
VPL-6NB136-4H-20	2	VPL-6NB136-4H-20
VPL-6NB136-4H-20	3	VPL-6NB136-4H-20



City File Number: CPC UV 18-00012 & CPC NV 18-00013