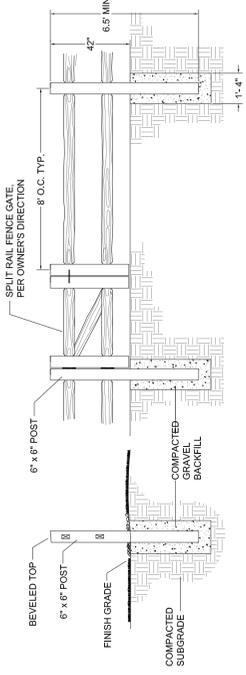
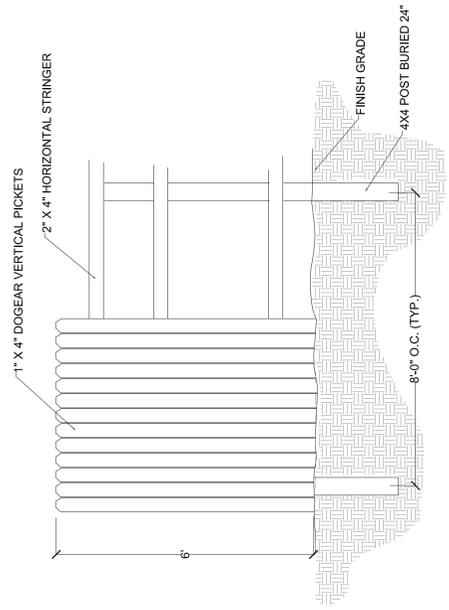


FIELDHOUSE BREWING DEVELOPMENT PLAN

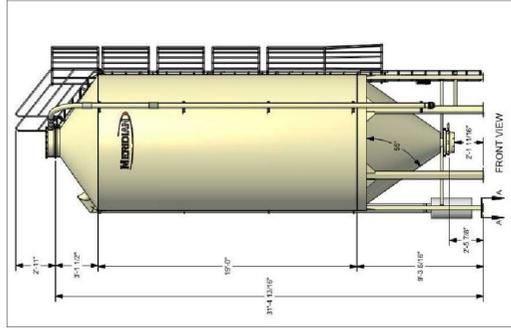


1 **SPLIT RAIL FENCE DETAIL**
N.T.S.

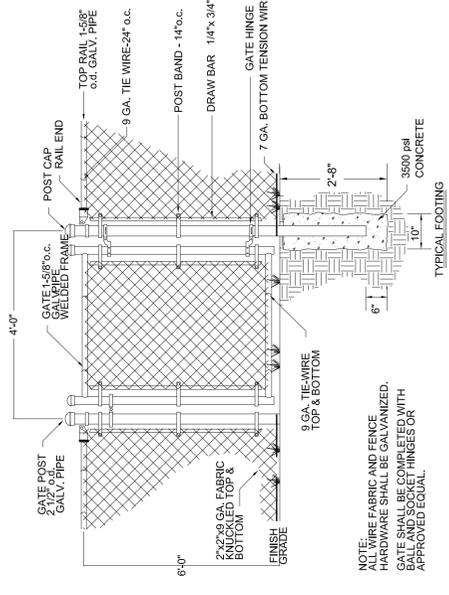
NOTES: FENCE MATERIAL TO BE DETERMINED.



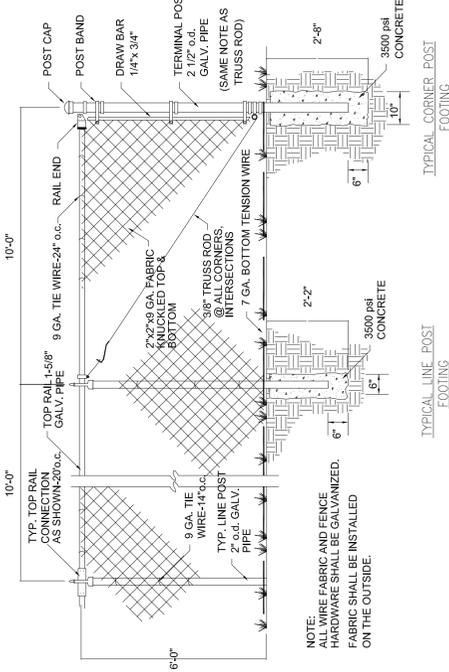
2 **6' CEDAR PICKET FENCE**
N.T.S.



4 **GRAIN SILO ELEVATION**
N.T.S.



3 **FENCING-MAN GATE**
N.T.S.



FENCING

SITE DATA:

SITE LOCATION:	2480 VICTOR PLACE AND 2480 VICTOR PLACE, COLORADO SPRINGS, CO 80915
TAX SCHEDULE NUMBER:	6401100033
GROSS SITE ACREAGE:	4.37 AC
EXISTING PROPOSED ZONING:	PP/2 AO
EXISTING LAND USE:	LANDSCAPE CONTRACTOR OFFICE & YARD
PROPOSED LAND USE:	BREWING FACILITY AND TAP HOUSE
MINIMUM SETBACK - FRONT:	25'
MINIMUM SETBACK - SIDE:	10'
MINIMUM SETBACK - REAR:	25'
MAXIMUM BUILDING HEIGHT:	45'
MINIMUM LOT AREA:	0.5 AC
BARREL ROOM BLDG.	5,580 SF
TAPROOM BLDG.	2,192 SF
PERCENTAGE OF LOT COVERAGE:	47,862 SF / 25.04%
STRUCTURES AND IMPERVIOUS:	
SCHEDULE FOR CONSTRUCTION:	SPRING / SUMMER 2018

PARKING INFORMATION:

PARKING TYPE	USE SF	MIN. REQUIRED	SPACE REQUIRED
BREWING OPERATIONS	4,410	1/1000	4
BAR SPACE (TAP ROOM)	1,170	1/1000	12
BARRELL ROOM	1,437	1/1000	5
COOLER/STORAGE/OFFICES	1,661	1/1000	2
OUTDOOR SEATING	6,000	1/2000	30
TOTAL PARKING SPACES REQ.			53

PARKING TYPE	PARKING REQ. / PROVIDED
STANDARD PARKING	49 / 49
HANDICAPPED PARKING	4 / 3 STANDARD & 1 VAN
TOTAL PARKING	53 / 53

LEGAL DESCRIPTION:

LOT 1 BLOCK 1 GERTSCH-MENDERHALL SUB NO. 1, EX E 30 FT

PROJECT DESCRIPTION:

A REZONING PLAN SUBMITTAL FOR THE REDEVELOPMENT OF THE EXISTING SITE AND MAIN FACILITY STRUCTURES FOR USE AS A BREWING OPERATIONS FACILITY, TAPROOM, AND OUTDOOR PATIO SPACE. AS PART OF THE DEVELOPMENT PLAN APPLICATION, A USE VARIANCE AND NONUSE VARIANCE IS BEING REQUESTED TO ALLOW THE TAPROOM USE WITHIN THE PP/2 AO ZONING DISTRICT.

PROJECT NOTES:

- ALL EXISTING STRUCTURES EXCEPT THOSE NOTED ON THE PLANS TO REMAIN ARE TO BE REMOVED AS PART OF REDEVELOPMENT. THIS INCLUDES EXISTING CONSTRUCTION OFFICE TRAILERS, A GREENHOUSE AND STORAGE UNITS.
- THE DESIGN PROFESSIONAL RESPONSIBLE FOR THIS PLAN HAS FAMILIARIZED HIMSELF WITH ALL CURRENT ADA CRITERIA AND SPECIFICATIONS, AND THE PROPOSED PROJECT WILL BE DESIGNED TO COMPLY WITH ALL CURRENT ADA CRITERIA AND SPECIFICATIONS, AS PUBLISHED BY THE DEPARTMENT OF JUSTICE (DOJ).
- THE IRRIGATION AND LANDSCAPING ON-SITE WILL BE MAINTAINED BY THE OWNER OF THE SITE.
- ALL EXISTING SIDEWALK, CURB CUTTER, PEDESTRIAN RAMPS, CROSSPANS AND CURBS SHALL BE MAINTAINED OR REPLACED TO MEET CURRENT CITY ENGINEERING STANDARDS ALONG WITH THE IRRIGATION AND LANDSCAPING ON-SITE WILL BE MAINTAINED BY THE OWNER OF THE SITE.
- ALL LIGHTING WILL BE PER CITY CODE AND REQUIREMENTS.
- CITY STANDARD D-J PEDESTRIAN RAMPS TO BE PROVIDED FOR ADA ACCESS.
- ALL CURBS AND GUTTERS TO BE THE SPILL CURB AND THE SPILL CURB.
- ALL SIDEWALKS AND CURBS WILL BE CONCRETE PER CITY DETAILS.
- ALL SIGNAGE WILL BE APPROVED WITH A SEPARATE PERMIT.
- THE AVIGATION EASEMENT DEDICATED HEREIN FOR PUBLIC AVIGATION PURPOSES, SHALL BE CONSIDERED A PUBLIC EASEMENT SUBJECT TO THE RECORDS AND RECORDS OF THE RECORDS OF EL PASO COUNTY, COLORADO. ALL OTHER EASEMENTS OR INTERESTS OF RECORD AFFECTING ANY OF THE PLATTED PROPERTY DEPICTED HEREON SHALL NOT BE AFFECTED AND SHALL REMAIN IN FULL FORCE AND EFFECT.
- THE OWNER SHALL FILE THE FEDERAL AVIATION ADMINISTRATION (FAA) FORM 7460-1 NOTICE OF PROPOSED CONSTRUCTION OR ALTERATION FROM AN NEW VERTICAL DEVELOPMENT AT THIS SITE, INCLUDING TEMPORARY CONSTRUCTION EQUIPMENT, AND PROVIDE FAA DOCUMENTATION TO THE AIRPORT BEFORE THE CONSTRUCTION OF ANY STRUCTURE OR FACILITY.
- A REMOTE ADDRESS SIGN SHALL BE REQUIRED FOR THESE STRUCTURE BECAUSE THEY ARE OVER 100 FEET FROM THE ADDRESSING STREET. THE BUILDINGS ARE REQUIRED TO HAVE A MINIMUM OF TWO ADDRESS NUMBERS POSTED. ONE ADDRESS MUST BE POSTED ON THE STRUCTURE ITSELF AND THE SECOND MUST BE A REMOTE ADDRESS SIGN CLEARLY POSTED AT ALL OF THE STREET ENTRANCES TO THE STRUCTURE.

FLOODPLAIN:

PORTIONS OF THIS PROPERTY IS NOT LOCATED WITHIN A DESIGNATED FEMA FLOODPLAIN AS DETERMINED BY THE FLOODPLAIN INSURANCE RATE MAP, COMMUNITY MAP NUMBER 08041C0751F, EFFECTIVE DATE MARCH 17, 1997.

INDEX TO DRAWINGS

- DEVELOPMENT PLAN COVER SHEET 1 OF 9
- DEVELOPMENT PLAN 2 OF 9
- SITE GRADING 3 OF 9
- UTILITY & PUBLIC FACILITY 4 OF 9
- LANDSCAPE DETAILS & NOTES 5 OF 9
- LANDSCAPE PLAN 6 OF 9
- ARCHITECTURE FLOOR PLAN 7 OF 9
- ARCHITECTURE ELEVATION 8 OF 9
- PHOTOMETRIC 9 OF 9

PROJECT TEAM

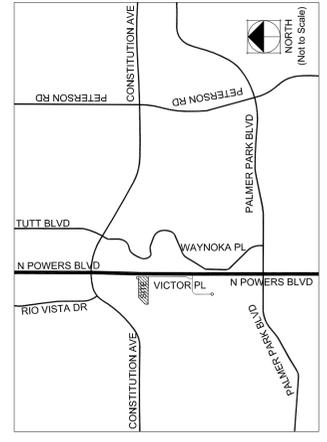
PLANNERS/LANDSCAPE ARCH.:
THOMAS & THOMAS
702 N. TEJON STREET
COLORADO SPRINGS, CO 80903

OWNER:
TIM ENICK
20825 ANDALUSIAN WAY
PUEBLO, CO 81008

CIVIL ENGINEER:
JPS ENGINEERING, INC.
19 E. WILLAMETTE AVE.
COLORADO SPRINGS, CO 80903

DEVELOPER:
VICTOR INVESTMENTS, LLC
421 S TEJON ST., SUITE 330
COLORADO SPRINGS, CO 80903

VICINITY MAP



THOMAS & THOMAS
Planning
Urban Design
Landscape Architecture
702 North Tejon
Colorado Springs, Colorado 80903
(719) 578-8777

REV #	REVISIONS	DATE	DRAWN	CHECKED	APPROVED
1	CITY COMMENT REV1	3/9/18			
2					
3					
4					
5					
6					

DESIGNED	MF	02.01.18
DRAWN	MF	02.01.18
CHECKED	JFA	02.01.18
PROJECT NUMBER:	3732.00	
SCALE:	AS NOTED	

FIELDHOUSE BREWING
COMPANY
Colorado Springs, CO
DEVELOPMENT PLAN

P1
1 of 9

JPS ENGINEERING
 19 E. Wilmette Ave.
 Colorado Springs, CO 80903
 PH: 719-477-9429
 FAX: 719-477-0766
 www.jpseng.com

CALL UTILITY NOTIFICATION CENTER OF COLORADO 1-800-922-1987
 BEFORE YOU DIG, GRADE, OR EXCAVATE. CALL 2-BUSINESS DAYS IN ADVANCE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

NO.	REVISION	BY	DATE
		JPS	1/31/18
		JPS	3/09/18
	CITY SUBMITTAL		
	CITY COMMENTS		

SITE GRADING & EROSION CONTROL PLAN
 PROJECT NO: 121704
 SHEET: C1
 3 OF 9

FIELDHOUSE BREWING
 2480-2490 VICTOR PL., COLORADO SPRINGS, COLORADO

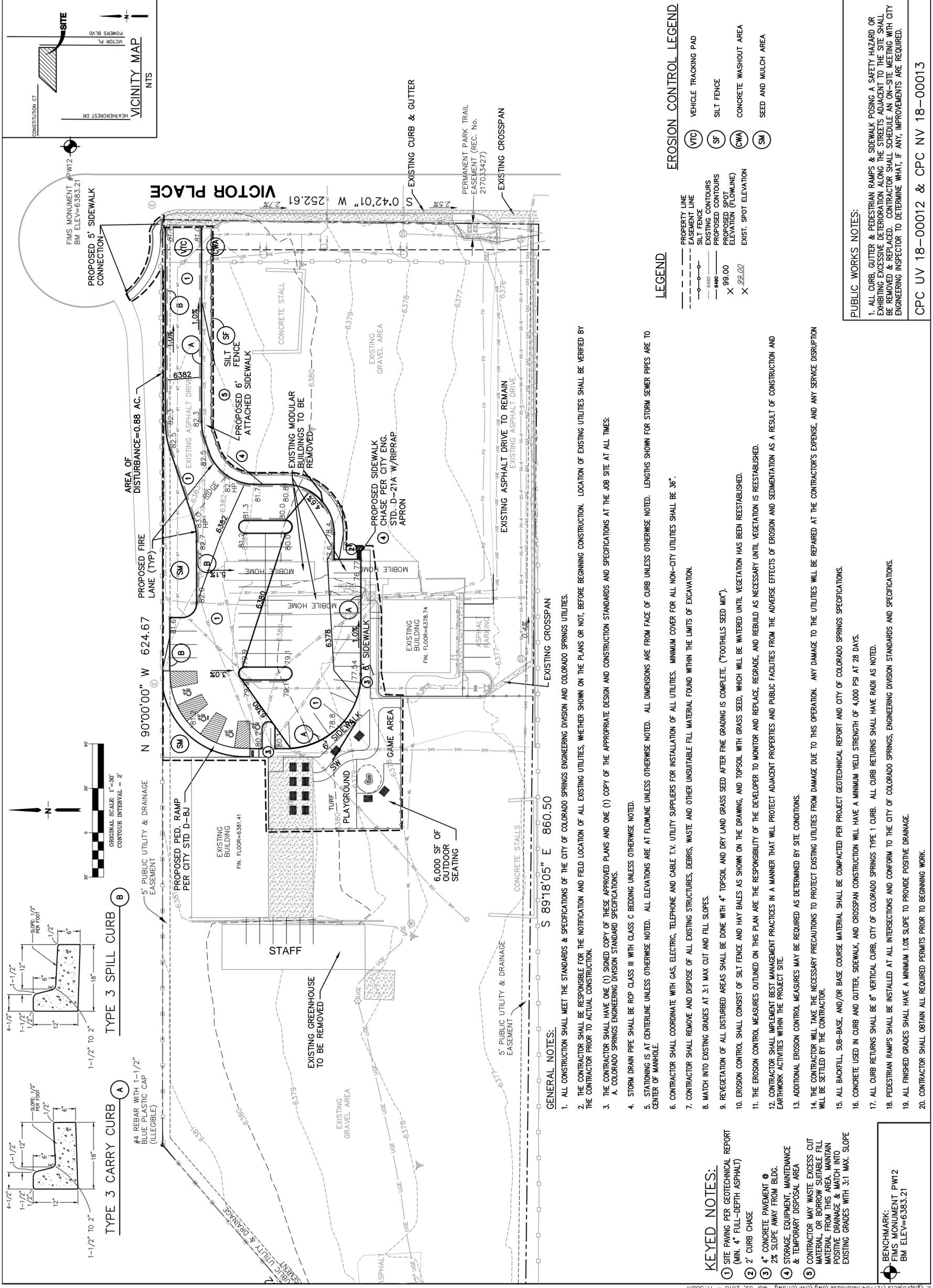
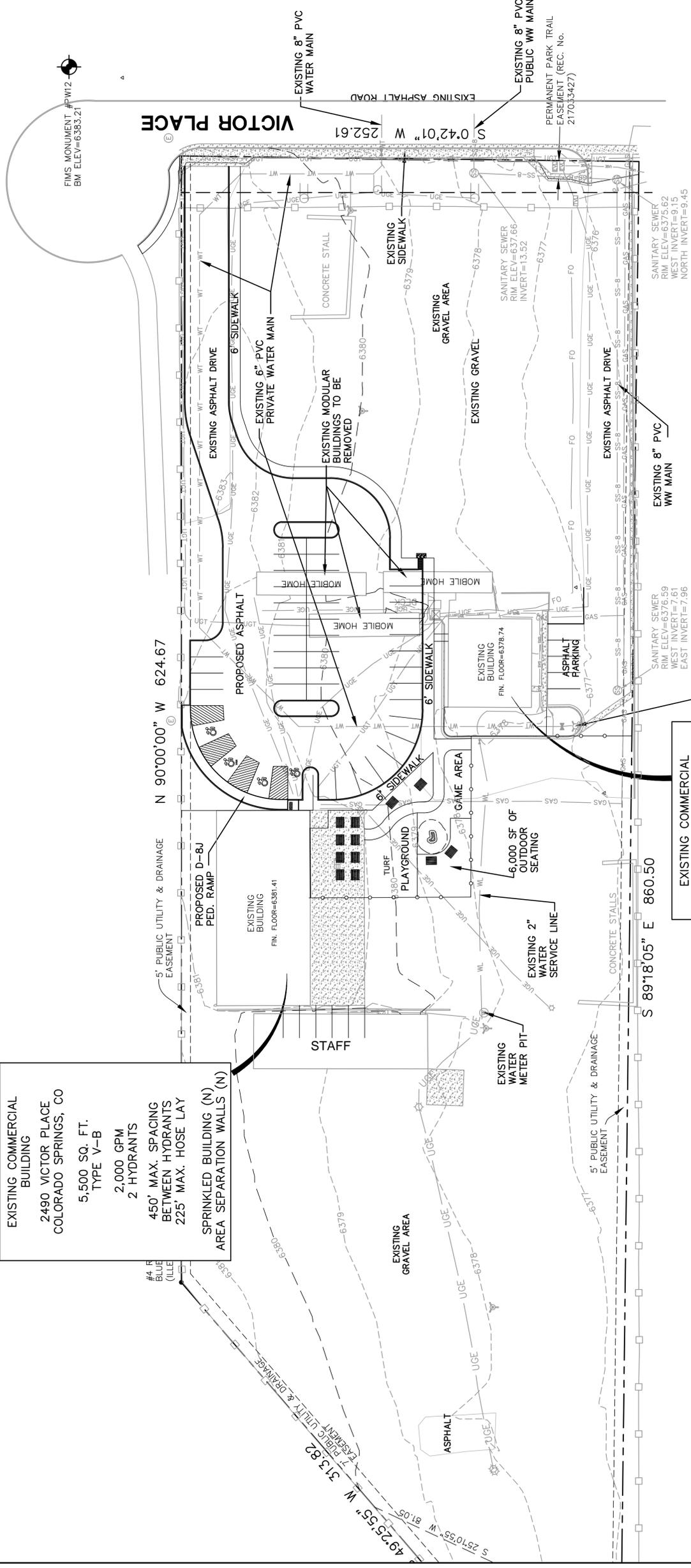


FIGURE 2

EXISTING COMMERCIAL BUILDING
 2490 VICTOR PLACE
 COLORADO SPRINGS, CO
 5,500 SQ. FT.
 TYPE V-B
 2,000 GPM
 2 HYDRANTS
 450' MAX. SPACING BETWEEN HYDRANTS
 225' MAX. HOSE LAY
 SPRINKLED BUILDING (N)
 AREA SEPARATION WALLS (N)

EXISTING COMMERCIAL BUILDING
 2480 VICTOR PLACE
 COLORADO SPRINGS, CO
 2,260 SQ. FT.
 TYPE V-B
 1,500 GPM
 1 HYDRANT
 500' MAX. SPACING BETWEEN HYDRANTS
 250' MAX. HOSE LAY
 SPRINKLED BUILDING (N)
 AREA SEPARATION WALLS (N)

- KEYED NOTES:**
- ① COORDINATE WITH CSU FOR GAS SERVICE
 - ② COORDINATE WITH CSU FOR ELECTRIC SERVICE
 - ③ COORDINATE W/ CENTURY LINK FOR TELEPHONE SERVICE



Client Notes for all Preliminary Utility Plans (required for all Development Plan submissions)

- Property Owner (Owner) acknowledges and agrees to the following upon approval of Preliminary Utility Plan:
 - Property Owner shall provide all necessary information for the design of the utility system, including but not limited to: location of all existing water, gas, electric, and sewer lines; location of all existing utility easements; location of all existing utility structures; location of all existing utility valves; location of all existing utility meters; location of all existing utility equipment; location of all existing utility structures; location of all existing utility valves; location of all existing utility meters; location of all existing utility equipment.
 - Property Owner (Owner) acknowledges that the connection and/or extension of utility services to the property is the responsibility of the Property Owner. The Property Owner shall be responsible for obtaining all necessary permits, easements, and approvals from the appropriate authorities. The Property Owner shall be responsible for the cost of all utility services, including but not limited to: design, construction, installation, and maintenance. The Property Owner shall be responsible for the cost of all utility services, including but not limited to: design, construction, installation, and maintenance.
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NO.	REVISION	DATE
1	CITY SUBMITTAL	1/31/18
2	CITY COMMENTS	3/09/18

PRELIMINARY UTILITY & PUBLIC FACILITIES PLAN
FIELDHOUSE BREWING
2480-2490 VICTOR PL., COLORADO SPRINGS, COLORADO

HORIZ. SCALE: 1"=30'
 VERT. SCALE: 1"=30'
 SURVEYED: N/A
 DESIGNED: JPS
 CHECKED: JPS
 CREATED: 1/25/18
 LAST MODIFIED: 3/09/18
 PROJECT NO.: 121704
 MODIFIED BY: BU
 SHEET: U1

CPC UV 18-00012 & CPC NV 18-00013

4 OF 9

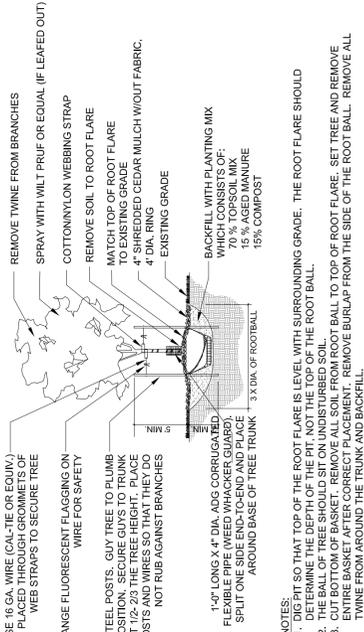
FIGURE 2

GENERAL NOTES:

- A FINAL LANDSCAPE AND IRRIGATION PLAN SHALL BE SUBMITTED AND REVIEWED CONCURRENT WITH BUILDING PERMIT SUBMITTAL AND APPROVED PRIOR TO ISSUANCE OF A BUILDING PERMIT.
- ALL UTILITY LOCATIONS MUST BE OBTAINED BY THE LANDSCAPE CONTRACTOR PRIOR TO DIGGING.
- ALL AREAS DISTURBED DUE TO CONSTRUCTION SHALL BE REVEGETATED AS PART OF THE BASE BID UNLESS OTHERWISE SHOWN.
- LOCATION OF STEEL EDGERS MUST BE STAKED AND APPROVED BY THE OWNERS REPRESENTATIVE PRIOR TO INSTALLATION. AVOID BROKEN BACK CURVES AND LONG TANGENTS BETWEEN CURVES.
- ALL TREE LOCATIONS SHALL BE STAKED PRIOR TO PLANTING FOR APPROVAL BY THE OWNER'S REPRESENTATIVE. ALL SHRUBS SHALL BE PLACED AND THEIR LOCATION APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO PLANTING.
- CONTRACTOR IS RESPONSIBLE FOR EROSION CONTROL PRACTICES AS PER THE CITY OF COLORADO SPRINGS SPECIFICATIONS.
- TURF AREAS IS TO BE IRRIGATED VIA AN AUTOMATED SYSTEM OF GEAR DRIVEN ROTORS AND POP-UP SPRAYS. ALL SHRUBS, GRASSES AND TREES SHALL BE DRIP IRRIGATED. AN AUTOMATIC IRRIGATION CONTROLLER AND RAIN SENSOR WILL BE INCLUDED IN THE IRRIGATION SYSTEM DESIGN.
- SEEDING SHALL OCCUR AFTER SPRING THAW AND BEFORE APRIL 15 OR AFTER SEPTEMBER 1 AND BEFORE CONSISTENT GROUND FREEZE.
- FOR PROPOSED SITE GRADING, HEIGHT AND SLOPE OF BERMS, SEE GRADING PLAN.
- PRIOR TO BIDDING, LANDSCAPE CONTRACTOR SHALL CONTACT COLORADO SPRINGS UTILITIES TO OBTAIN CURRENT REGULATIONS AND REQUIREMENTS FOR TEMPORARY WATERING PERMITS FOR SEED AND SOD AREAS.
- MAINTENANCE OF ALL LANDSCAPE, FENCINGS, WALLS, ETC. WILL BE BY THE OWNER.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR 4" TOP SOIL FOR ALL PLANTING AND TURF/SEED AREAS RELATED TO FINISH GRADES FOR SPECS.
- ALL RIGHT OF WAY FRONTAGE IS THE MAINTENANCE RESPONSIBILITY OF EACH PROPERTY OWNER PER CITY CODE.

SOILS:

- PER THE COLORADO SPRINGS GENERAL VEGETATION AND SOIL ASSOCIATION MAP, THE SITE CONSISTS OF SANDY PLAINS.
- A SOIL ANALYSIS WITH RECOMMENDATIONS FOR SOIL AMENDMENTS AND FERTILIZERS WILL BE COMPLETED WITH THE FINAL LANDSCAPE PLAN SUBMITTAL PACKAGE.



1 DECIDUOUS TREE PLANTING DETAIL

- DO NOT CUT LEADER. PRUNE DAMAGED OR DEAD WOOD PRIOR TO PLANTING.
 - GUY WIRES TO BE UNIFORMLY AND NEATLY TIGHTENED (TYP.).
 - COTTON NYLON WEBBING STRAP
 - DOUBLE STRAND GALV. WIRE (10GA.)
 - SHREDDED CEDAR MULCH W/OUT FABRIC (4" DEPTH X 4 DIAMETER)
 - SOLID GREEN "T" POSTS TO EXTEND NO MORE THAN 6" ABOVE GRADE. 3 PER TREE
 - BACKFILL WITH PLANTING MIX WHICH CONSISTS OF:
 - 70% TOPSOIL MIX
 - 15% AGED MANURE
 - 15% COMPOST
 - REMOVE SOIL TO THE ROOT FLARE
 - FINISHED GRADE
 - PLANTING PIT TO BE 2.5X THE WIDTH OF ROOTBALL
 - REMOVE EXISTING MULCH AND WIRE BASKET FROM ROOTBALL
- NOTES:
- DIG PIT SO THAT TOP OF THE ROOT FLARE IS LEVEL WITH SURROUNDING GRADE. THE ROOT FLARE SHOULD DETERMINE THE DEPTH OF THE PIT, NOT THE TOP OF THE ROOT BALL.
 - THE BALL OF TREE SHOULD SIT ON UNDISTURBED SOIL
 - ENTIRE BASKET AFTER CORRECT PLACEMENT. REMOVE BURLAP FROM THE SIDE OF THE ROOT BALL. REMOVE ALL TWINE FROM AROUND THE TRUNK AND BACKFILL.

2 EVERGREEN TREE PLANTING DETAIL

- CONTRACTOR TO WATER PLANT MATERIAL DAILY UNTIL AN AUTOMATIC IRRIGATION SYSTEM IS OPERATIONAL.
- THE FINISH GRADES SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM WALLS AND BUILDINGS.
- PROTECTION FROM COMPACTON AND CONSTRUCTION TRAFFIC SHOULD BE PROVIDED.

3 SHRUBS DETAIL PLANTING DETAIL

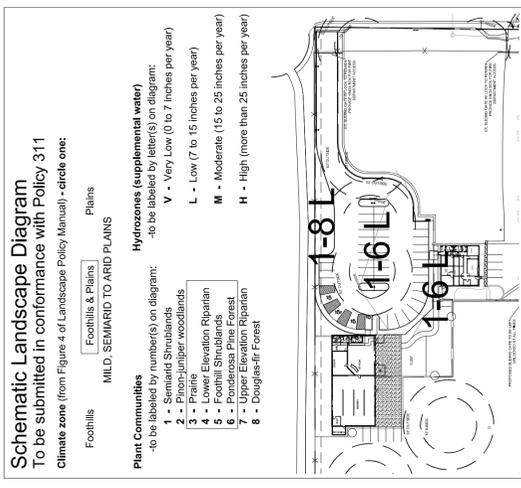
- MULCH AS SPECIFIED ON PLAN
- KEEP PLANTS MOIST AND SHADED UNTIL PLANTING LEVEL AND AT GRADE
- BACKFILL WITH PLANTING MIX WHICH CONSISTS OF:
 - 70% TOPSOIL MIX
 - 15% AGED MANURE
 - 15% COMPOST
- 4 CU. YARDS / 1,000 SF
- COMPOST AMENDMENT
- EVENLY SPREAD TOPSOIL 4" DEEP
- SUB SOIL
- 12" DEEP
- PROVIDE A SMOOTHLY RAKED FINISH GRADE. PROVIDE POSITIVE DRAINAGE.
- SOIL/SEED APPLICATION
- 8"

4 ORNAMENTAL GRASS DETAIL PLANTING DETAIL

- APPLY 20-15-10 NPK FERTILIZER AT 1 LB / 1,000 SF
- 4 CU. YARDS / 1,000 SF
- COMPOST AMENDMENT
- EVENLY SPREAD TOPSOIL 4" DEEP
- SUB SOIL
- 12" DEEP
- PROVIDE A SMOOTHLY RAKED FINISH GRADE. PROVIDE POSITIVE DRAINAGE.
- SOIL/SEED APPLICATION
- 8"

5 SOIL PREPARATION- SOD AND SEED AREA PLANTING DETAIL

- CONTRACTOR TO WATER PLANT MATERIAL DAILY UNTIL AN AUTOMATIC IRRIGATION SYSTEM IS OPERATIONAL.
- THE FINISH GRADES SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM WALLS AND BUILDINGS.
- PROTECTION FROM COMPACTON AND CONSTRUCTION TRAFFIC SHOULD BE PROVIDED.



Schematic Landscape Diagram

To be submitted in conformance with Policy 311 Climate zone (from Figure 4 of Landscape Policy Manual) - circle one:

Foothills Foothills & Plains Plains MLD. SEMIARID TO ARID PLAINS

Plant Communities - to be labeled by number(s) on diagram:

- 1 - Semiarid Shrublands
- 2 - Pinon-Juniper woodlands
- 3 - Prairie Eriogonum-Biscuitroot
- 4 - Foothill Shrublands
- 5 - Foothill Shrublands
- 6 - Ponderosa Pine Forest
- 7 - Upper Elevation Riparian
- 8 - Douglas-fir Forest

Hydrozones (supplemental water) - to be labeled by letter(s) on diagram:

- V - Very Low (0 to 7 inches per year)
- L - Low (7 to 15 inches per year)
- M - Moderate (15 to 25 inches per year)
- H - High (more than 25 inches per year)

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	KEY	HEIGHT	WIDTH	SIZE	NOTES
	TT	2	Tilia tomentosa	STERLING SILVER LINDEN	4S	40-50'	30-40"	2.0' Caliper	B&B
	GT	2	Gleditsia triacanthos Inermis 'Shademaster'	SHADEMASTER HONEYLOCUST	4SA	40-50'	30-40"	2.0' Caliper	B&B
	AF	2	Acer x freemanii 'Jeffersred'	AUTUMN BLAZE MAPLE	S	40-50'	30-40"	2.0' Caliper	B&B

SIGNATURE TREES: 4
TOTAL NUMBER OF TREES: 6
= 66.6% SIGNATURE TREES

SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	KEY	HEIGHT	WIDTH	SIZE	NOTES
	CM	8	Cercocarpus montanus	MOUNTAIN MAHOGANY	12SD	5-10'	5-8"	5 GALLON	CONTAINER
	PO	10	Physocarpus opulifolius 'Center Glow'	CENTER GLOW NINEBARK	568SA	6-8"	6-8"	5 GALLON	CONTAINER
	PA	27	Perovskia altiplicifolia	RUSSIAN SAGE	12D	3-4"	3-4"	5 GALLON	CONTAINER

SIGNATURE SHRUBS: 45
TOTAL NUMBER OF SHRUBS: 45
= 100% SIGNATURE SHRUBS

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	KEY	HEIGHT	WIDTH	SIZE	NOTES
	CAK	20	Callamagrostis x acutiflora 'Karl Foerster'	KARL FOERSTER FEATHER REED GRASS	A	4-5'	18-24"	1 GALLON	CONTAINER
	HS	23	Helictotrichon sempervirens	BLUE OAT GRASS	123SD	2-3'	2-3'	1 GALLON	CONTAINER
	PV	10	Panicum virgatum 'Shenandoah'	SHENANDOAH SWITCH GRASS	1234SD	3-4'	24-36"	1 GALLON	CONTAINER
	MS	13	Miscanthus sinensis 'Gracillimus'	MAIDEN GRASS	DA	4-5'	4-5'	1 GALLON	CONTAINER

LANDSCAPE MATERIAL SCHEDULE

SYMBOL CALLOUT NOTES:

PER PLAN	NOTES
	NATIVE SEED: INSTALLED PER SEED SUPPLIERS SPECIFICATIONS. SUBMIT CUT-SHEET FOR APPROVAL PRIOR TO INSTALLATION.
	PBSI Low Grow Native Mix (25% Idaho Fescue (25%) Sandberg Bluegrass (25%) Rocky Mountain Fescue (25%) Canby Bluegrass
	TURF: 3-WAY FESCUE BLEND SOD
	GRAVEL MULCH: SIZE TO BE DETERMINED IN FINAL LANDSCAPE PLAN
	STEEL EDGE TO BE DURABLE 1/2" THICK X 5" WIDE ROLLED TOP STEEL EDGE. COLOR TO BE GREEN. INSTALL PER MANUFACTURERS SPECIFICATIONS.

DEVELOPMENT PLAN DATA:

LANDSCAPE SETBACKS:

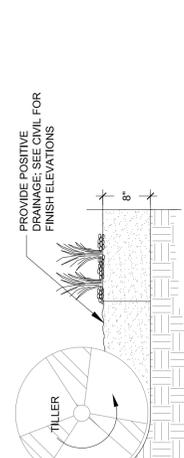
STREET NAME OR ZONE BOUNDARY:	VICTOR PLACE
NO	NO
LOCAL	LOCAL
107' 10"	107' 10"
253'	253'
1/30	1/30
8/11 EXISTING	8/11 EXISTING
0/0	0/0
PS	PS
75%/75%	75%/75%

MOTOR VEHICLE LOTS:

NUMBER OF VEHICLE SPACES PROVIDED:	53
SHADE TREES 1 PER 15 SPACES REQ./PROV.:	4/4
VEHICLE LOT FRONTS:	NORTH SIDE:
LENGTH OF FRONTAGE:	36'
2/3 LENGTH OF FOOTAGE:	24'
MIN. 2 SCREENING PLANTS REQ/PROV.:	24/36'
LENGTH OF SCREENING OR BERM PROVIDED:	NA
VEHICLE LOT PLANT ABBREVIATED ON PLAN:	PL
% GROUND PLANE VEG. REQUIRED/PROVIDED:	75%/75%

INTERNAL LANDSCAPING:

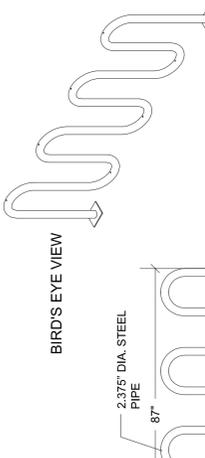
NET SITE AREA:	54,709
PERCENT MINIMUM INTERNAL AREA:	5%
INTERNAL AREA REQUIRED/PROVIDED:	2,735 sf / 4,362 sf
TREE/FEET REQUIRED:	1 Tree / 500 SF
INTERNAL TREES REQUIRED/PROVIDED:	5/2
SHRUB SUBSTITUTES REQUIRED/PROVIDED:	30/30
ORN. GRASS SUBSTITUTES REQ/PROV.:	0/0
INTERNAL PLANT ABBREVIATED ON PLAN:	IN
% GROUND PLANE VEG. REQUIRED/PROVIDED:	75%/75%



- NOTES:
- TOPSOIL TO CONSIST OF DARK, LIGHT LOAM SOIL FREE OF ROCKS, ROOTS, AND FOREIGN MATERIALS. THE FINISH GRADE SHOULD BE DELAYED IF PLANTING DOES NOT OCCUR WITHIN 2-3 DAYS OF FERTILIZING.
 - PROTECTION FROM COMPACTON AND CONSTRUCTION TRAFFIC SHOULD BE PROVIDED.
 - FINISH GRADE SHOULD MATCH THE FINISHED SURFACE OF WALKS AND CURBS.

6 SOIL PREPARATION- PLANTING BED AREAS PLANTING DETAIL

- KEEP PLANTS MOIST AND SHADED UNTIL PLANTING LEVEL AND AT GRADE
- BACKFILL WITH PLANTING MIX WHICH CONSISTS OF:
 - 70% TOPSOIL MIX
 - 15% AGED MANURE
 - 15% COMPOST
- 4 CU. YARDS / 1,000 SF
- COMPOST AMENDMENT
- EVENLY SPREAD TOPSOIL 4" DEEP
- SUB SOIL
- 12" DEEP
- PROVIDE A SMOOTHLY RAKED FINISH GRADE. PROVIDE POSITIVE DRAINAGE.
- SOIL/SEED APPLICATION
- 8"



7 BIKE RACK PLANTING DETAIL

- NOTES:
- DERO BIKE RACK CO 1-888-337-6729
 - MODEL: ROLLING RACK RRRH-9 BIKES
 - COLOR: BLACK POWDER-COATED
 - INSTALLATION METHODS: DIRECT MOUNT INTO CONCRETE PER MANUFACTURER'S RECOMMENDATIONS.

8 SOIL PREPARATION- SOD AND SEED AREA PLANTING DETAIL

- CONTRACTOR TO WATER PLANT MATERIAL DAILY UNTIL AN AUTOMATIC IRRIGATION SYSTEM IS OPERATIONAL.
- THE FINISH GRADES SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM WALLS AND BUILDINGS.
- PROTECTION FROM COMPACTON AND CONSTRUCTION TRAFFIC SHOULD BE PROVIDED.

9 EVERGREEN TREE PLANTING DETAIL

- CONTRACTOR TO WATER PLANT MATERIAL DAILY UNTIL AN AUTOMATIC IRRIGATION SYSTEM IS OPERATIONAL.
- THE FINISH GRADES SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM WALLS AND BUILDINGS.
- PROTECTION FROM COMPACTON AND CONSTRUCTION TRAFFIC SHOULD BE PROVIDED.

10 DECIDUOUS TREE PLANTING DETAIL

- CONTRACTOR TO WATER PLANT MATERIAL DAILY UNTIL AN AUTOMATIC IRRIGATION SYSTEM IS OPERATIONAL.
- THE FINISH GRADES SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM WALLS AND BUILDINGS.
- PROTECTION FROM COMPACTON AND CONSTRUCTION TRAFFIC SHOULD BE PROVIDED.

11 EVERGREEN TREE PLANTING DETAIL

- CONTRACTOR TO WATER PLANT MATERIAL DAILY UNTIL AN AUTOMATIC IRRIGATION SYSTEM IS OPERATIONAL.
- THE FINISH GRADES SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM WALLS AND BUILDINGS.
- PROTECTION FROM COMPACTON AND CONSTRUCTION TRAFFIC SHOULD BE PROVIDED.

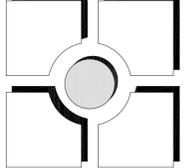
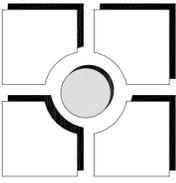


FIGURE 2

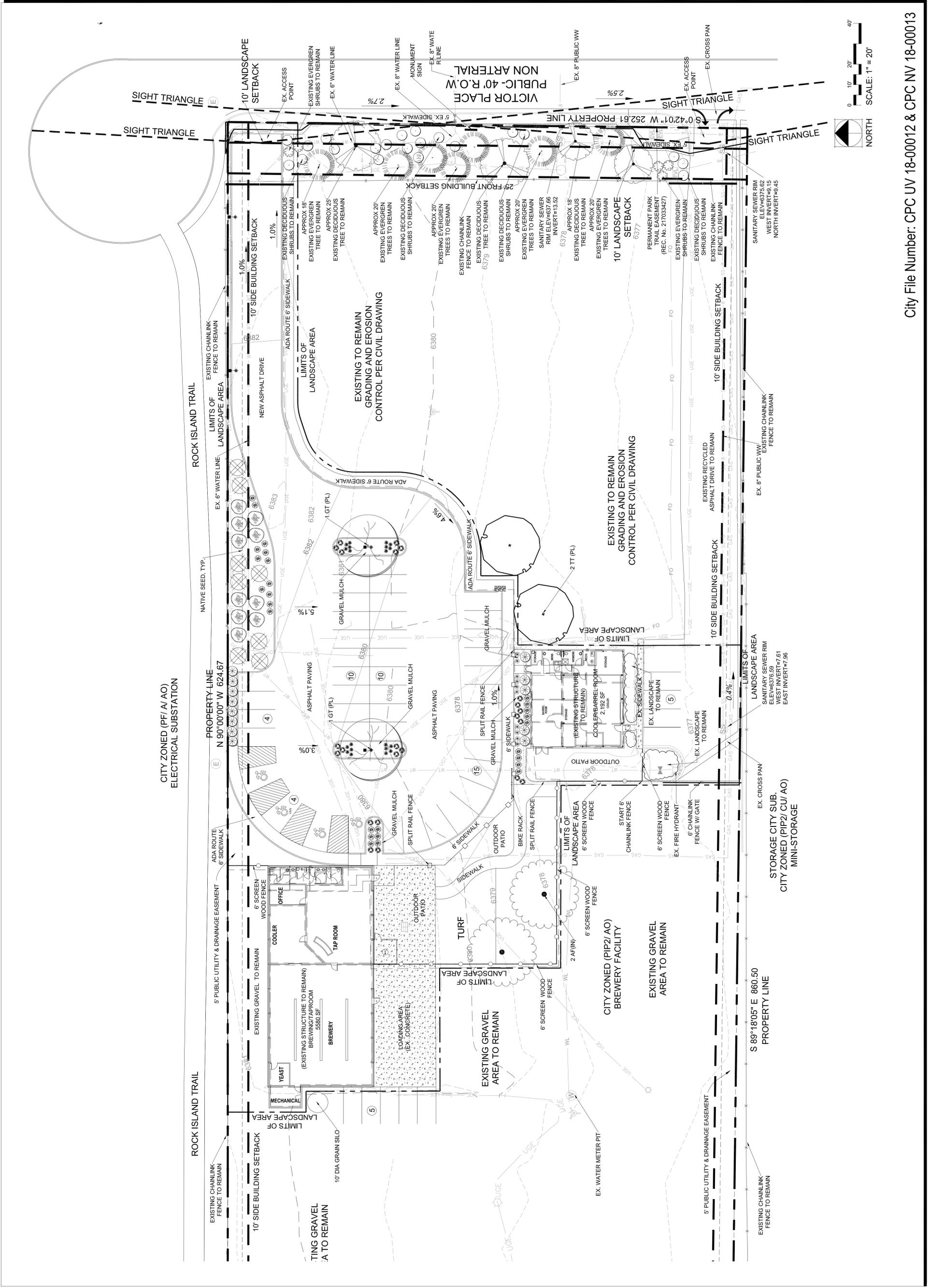


THOMAS & THOMAS
 Planning
 Landscape Architecture
 702 North Tejon
 Colorado Springs, Colorado 80903
 (719) 578-8777

REV #	DATE	REVISIONS	DRAWN	CHECKED	APPROVED
1	3/9/18	CITY COMMENTS REV1			
2					
3					
4					
5					
6					

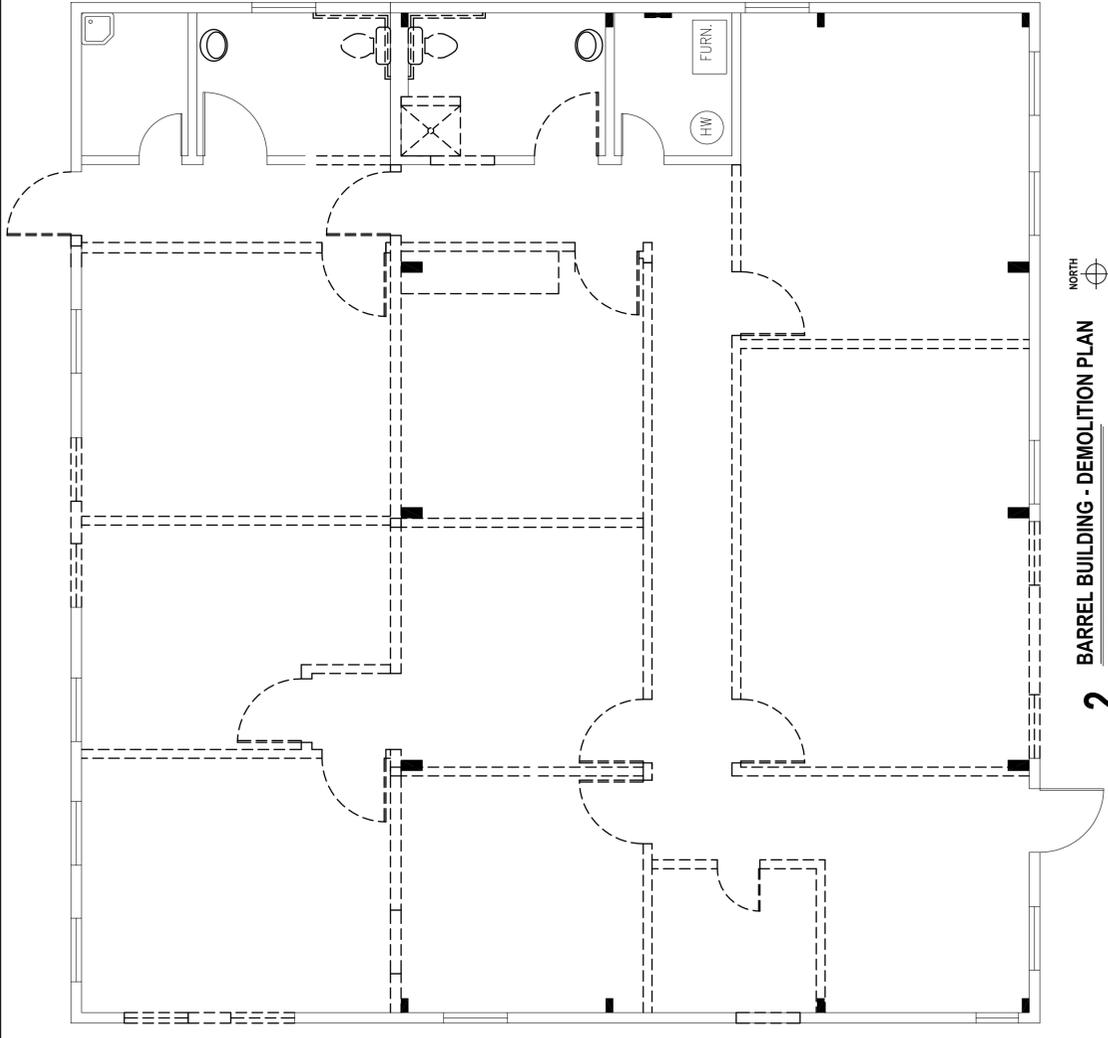
DESIGNED	DATE	PROJECT NUMBER	SCALE
MF	02.01.18	3732.00	AS NOTED
JFA	02.01.18		

FIELDHOUSE BREWING COMPANY
 Colorado Springs, CO
PRELIMINARY LANDSCAPE PLAN

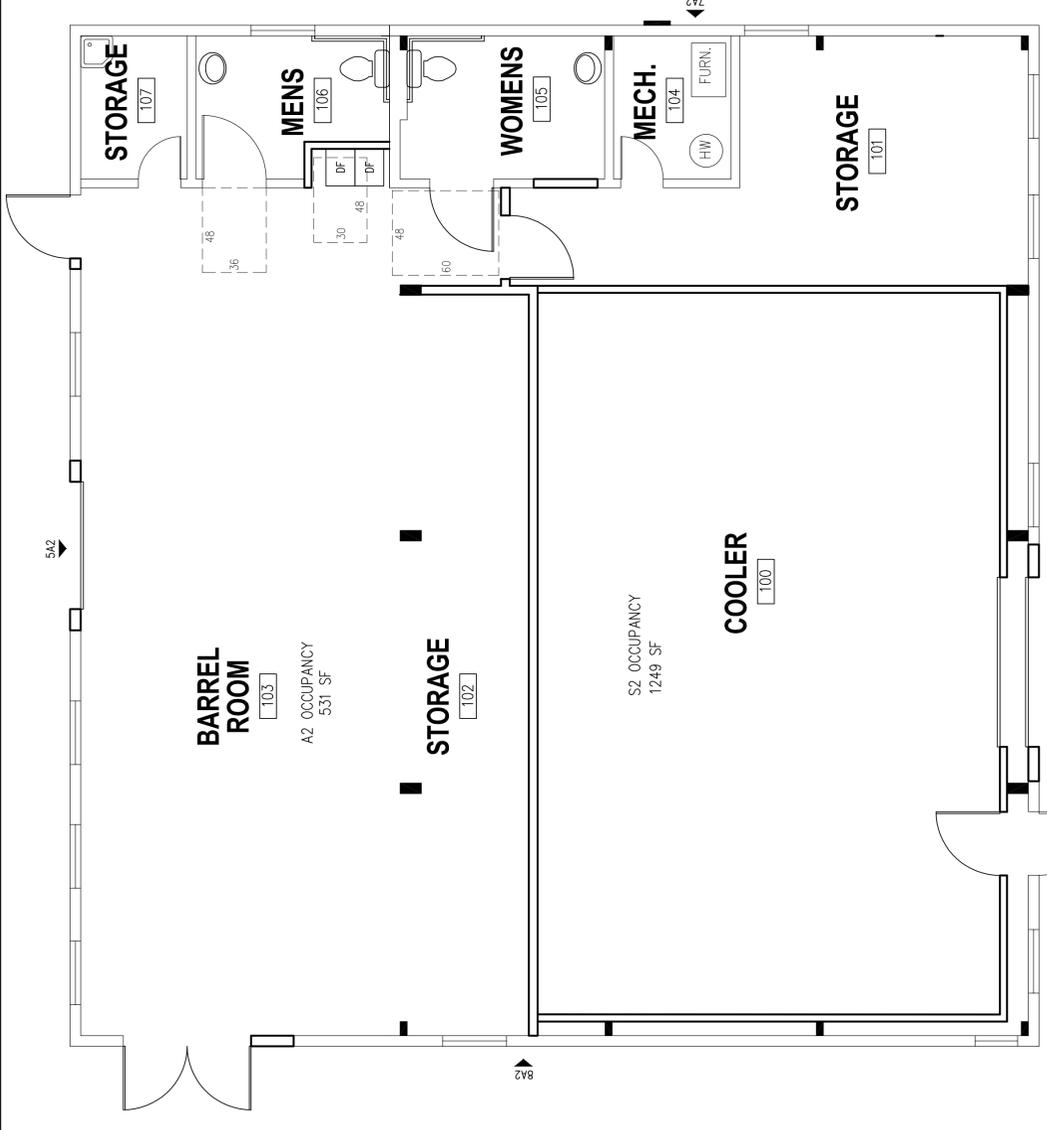


City File Number: CPC UV 18-00012 & CPC NV 18-00013

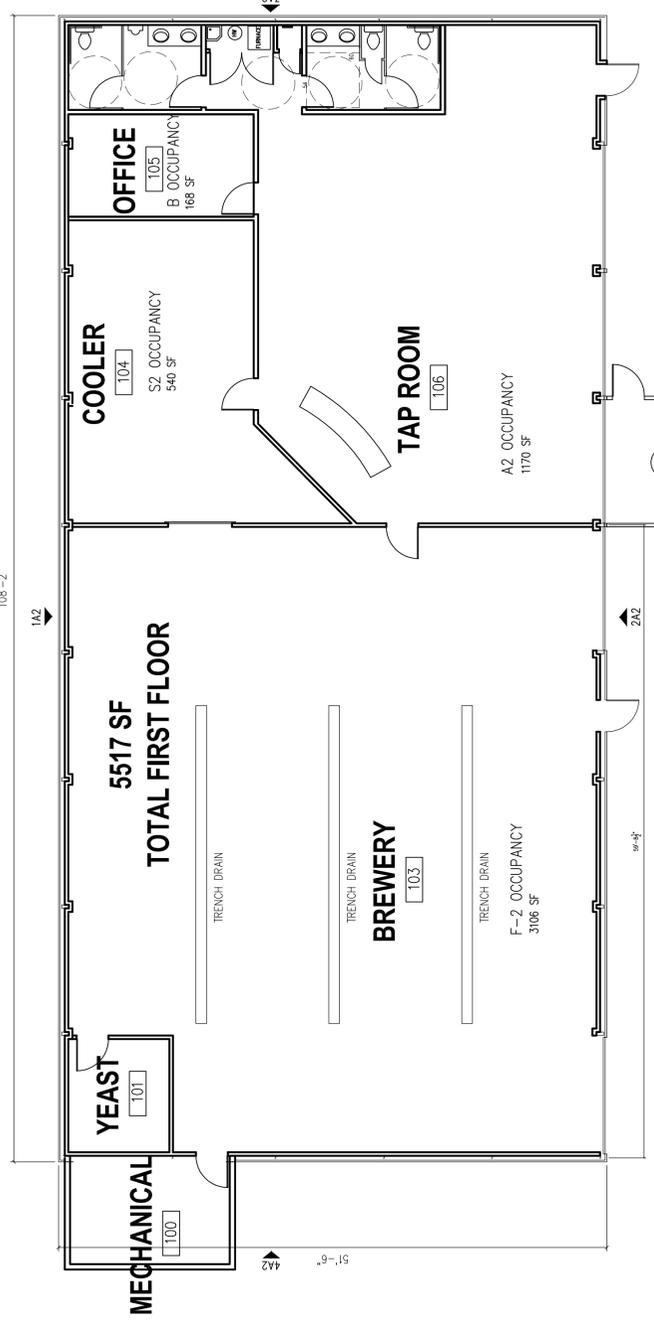
FIGURE 2



2 BARREL BUILDING - DEMOLITION PLAN
1/4" = 1'-0"



1 BARREL BUILDING - FLOOR PLAN
1/4" = 1'-0"

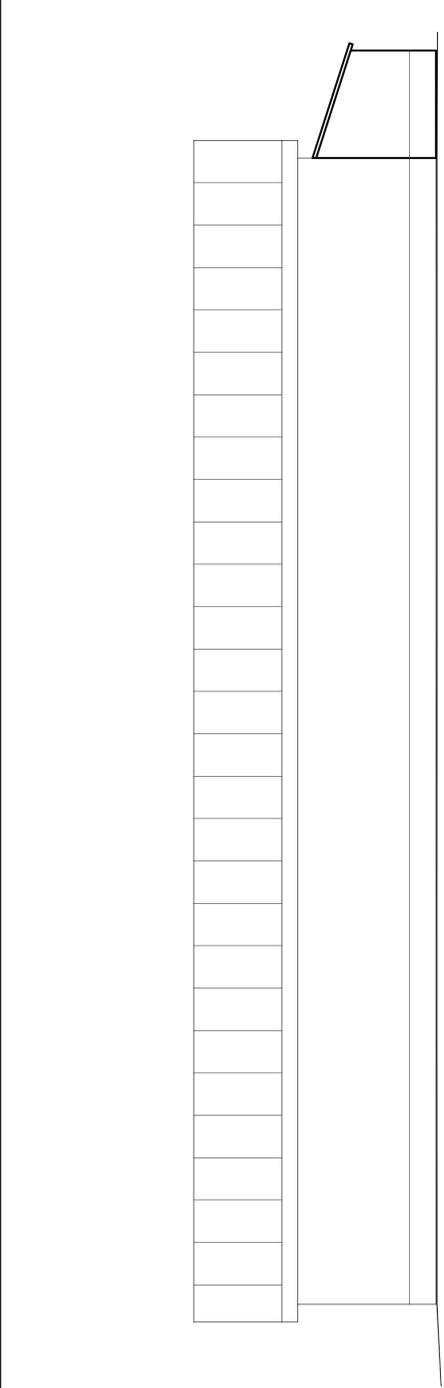


3 BREW BUILDING FIRST FLOOR
1/8" = 1'-0"

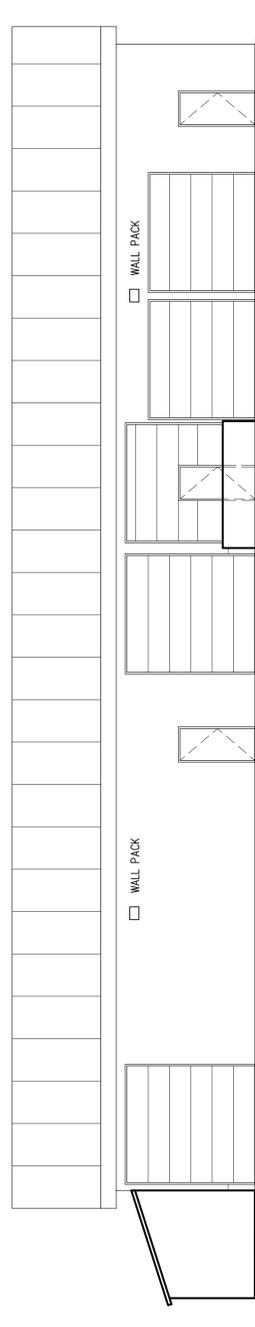
<p>ARCHITECTURAL SOLUTIONS, INC. 1308 WEST PIKES PEAK AVENUE COLORADO SPRINGS, COLORADO 80904 719-535-8527 FAX: 877-455-9477 EMAIL: NLIKA7201@AOL.COM VISIT OUR WEBSITE: WWW.ARCHSOLUTIONSCOLORADO.COM</p>	<p>DATE: FEB. 2, 2018 JOB NO. ***** DRAWN BY: NK CHECKED BY: NK</p>	<p>FH BEERWORKS 2480 NORTH POWERS BLVD COLORADO SPRINGS, COLORADO 80915</p>	<p>FLOOR PLAN AND NOTES</p>	<p>7 of 9</p>
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DEVELOPMENT
PLAN SUBMITTAL

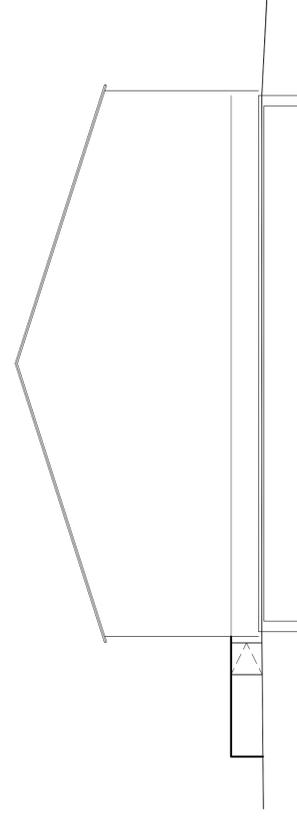
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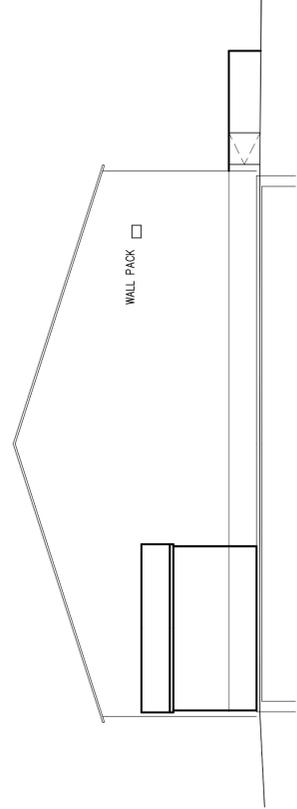
1 NORTH ELEVATION - BREW BUILDING
1/8" = 1'-0"



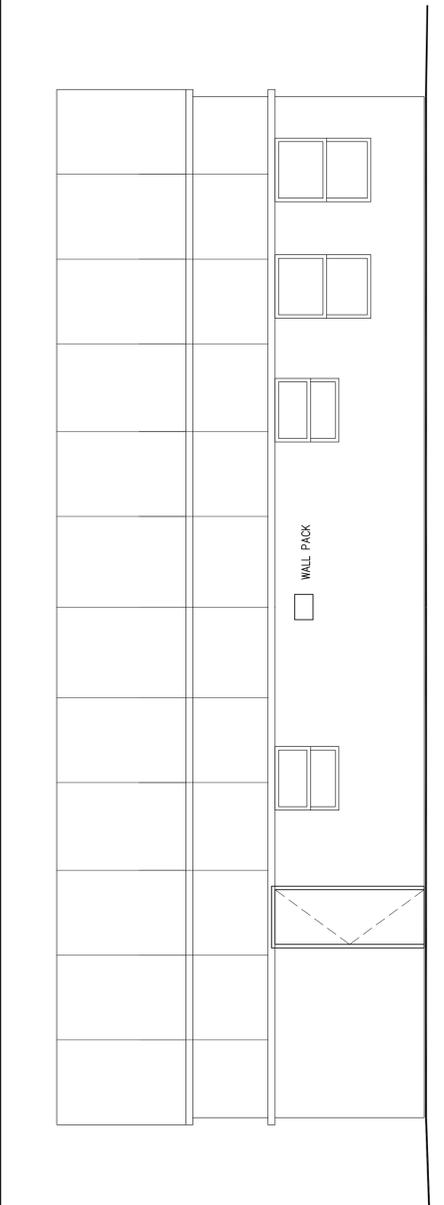
2 SOUTH ELEVATION - BREW BUILDING
1/8" = 1'-0"



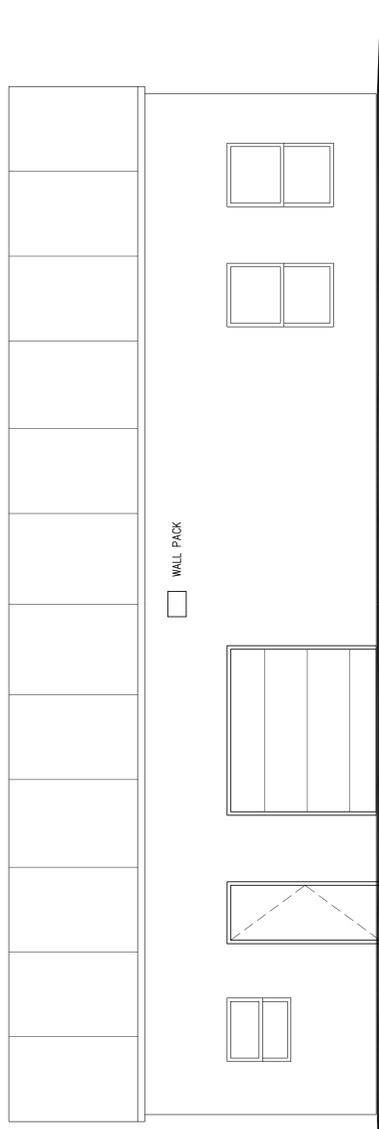
3 EAST ELEVATION - BREW BUILDING
1/8" = 1'-0"



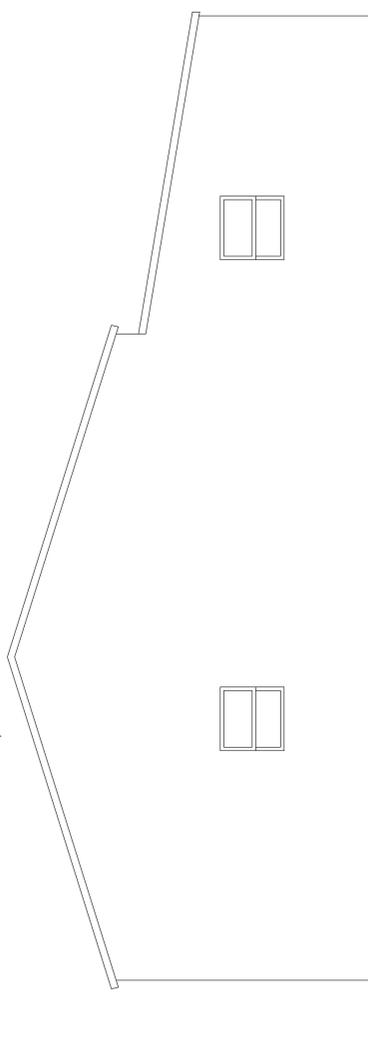
4 WEST ELEVATION - BREW BUILDING
1/8" = 1'-0"



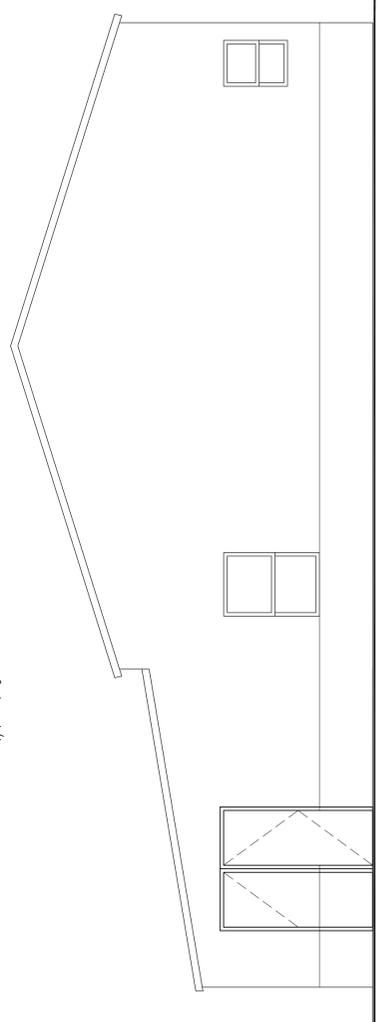
5 NORTH ELEVATION - BARREL BUILDING
1/4" = 1'-0"



6 SOUTH ELEVATION - BARREL BUILDING
1/4" = 1'-0"



7 EAST ELEVATION - BARREL BUILDING
1/4" = 1'-0"



8 WEST ELEVATION - BARREL BUILDING
1/4" = 1'-0"

**DEVELOPMENT
PLAN SUBMITTAL**

City File Number: CPC UV
18-00012 & CPC NV 18-00013

VIPER L SERIES
LINEAR LED LUMINAIRE

PRODUCT IMAGES

DIMENSIONS

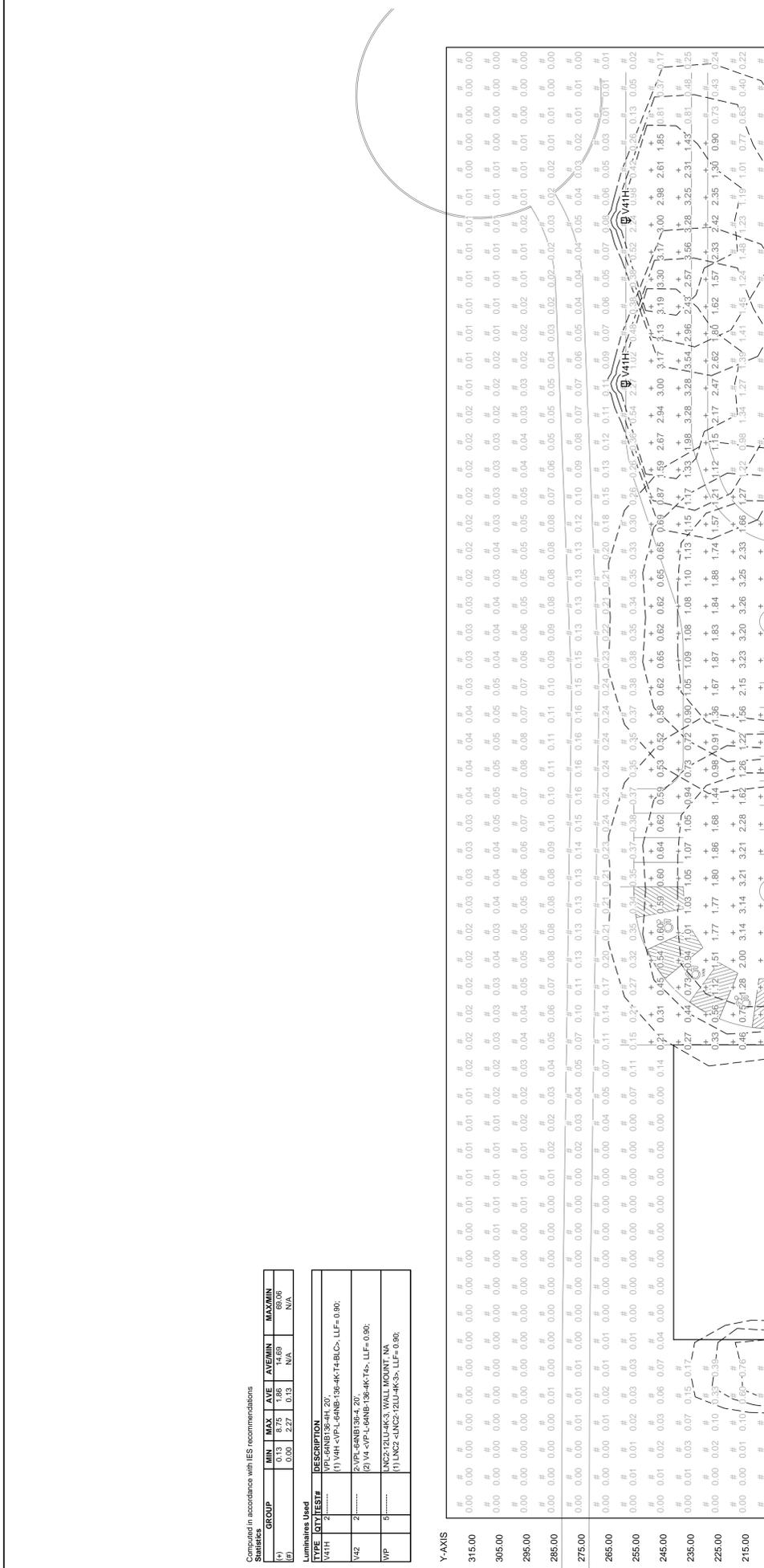
MOUNTING OPTIONS

Common/Optional:

- Available with optional premium lensed diffuser for enhanced glare control.
- Available with optional premium lensed diffuser for enhanced glare control.
- Available with optional premium lensed diffuser for enhanced glare control.

Specifications:

Model	Length (ft)	Height (ft)	Weight (lb)
VIPER L-10	10	1.5	15
VIPER L-15	15	1.5	22.5
VIPER L-20	20	1.5	30



LED WALLPACKS

LNCS Compact LED Wallpack - Zero Uplight

ORDERING INFORMATION

Ordering Code	System	Delivered Lumens	Voltage	CT	Beam Spread	Height	Width	Depth	Weight	Code
LNCS-210-10-3-3	210W	21000	120V/277V	5000K	30°	10.0"	10.0"	1.5"	7.2 (13.3)	REC
LNCS-210-15-3-3	210W	31500	120V/277V	5000K	30°	15.0"	15.0"	1.5"	10.8 (19.3)	REC
LNCS-210-20-3-3	210W	42000	120V/277V	5000K	30°	20.0"	20.0"	1.5"	14.4 (26.3)	REC
LNCS-210-30-3-3	210W	63000	120V/277V	5000K	30°	30.0"	30.0"	1.5"	21.6 (39.3)	REC

ORDERING INFORMATION - (SEE PAGE 100)

