

**MAP NOTES**

1. THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED BY MVE, INC. USING DATA PROVIDED BY ROCKY MOUNTAIN LAND SERVICES ON OCTOBER 24, 2023.
2. ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE FROM UTILITY MAIN RECORD MAPS AND UTILITY SERVICE LOCATION MAPS OBTAINED FROM COLORADO SPRINGS UTILITIES. THE LOCATION OF UTILITIES AS SHOWN ARE APPROXIMATE. ALL UTILITIES MAY NOT BE SHOWN OR MAY NOT HAVE BEEN LOCATED. BELOW GROUND UTILITY LOCATIONS WERE NOT PERFORMED.

**FLOODPLAIN STATEMENT**

THIS PROPERTY IS NOT LOCATED WITHIN A FLOOD PRONE AREA. SAID PROPERTY IS IN ZONE X, AREAS DETERMINED TO BE OUTSIDE OF THE 500-YEAR FLOOD PLAIN AS INDICATED ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR EL PASO COUNTY, COLORADO AND INCORPORATED AREAS - MAP NUMBER 08041C0734G, EFFECTIVE DECEMBER 7, 2018.

**LIGHTING INFORMATION**

OUTDOOR LIGHTING WALL PACK	I.D.	QUANTITY
WPX0 LED	X0	3
WPX2 LED	X2	1

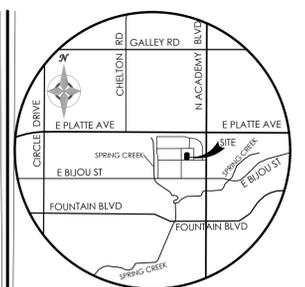
Test #: INT 0602022P12  
 Test Lab: SCALED PHOTOMETRY  
 Catalog: WPX0 LED AL0-4 40K M/VOLT  
 Description: WPX0 LED, 1650 Lumens setting, 4000K Setting, 120-277V  
 Series: WPX0 LED Wall Mount  
 Lamp Output: Total Luminaire Lumens: 1644.7, absolute photometry \*  
 Input Wattage: 12.4(1)  
 Luminous Opening: Rectangle (L: 4.08', W: 2.04')  
 Max Cd: 751.5 of Horizontal: 0°, Vertical: 32°  
 Roadway Class: VERY SHORT, TYPE III  
 Brand Image NIGHTTIME FRIENDLY WPX0 LED Wall Mount Product Image

Test #: 2001010773HA-011P3  
 Test Lab: SCALED PHOTOMETRY  
 Catalog: WPX2 LED 50K M/volt  
 Description: WPX2 LED wallpack 6000lm 5000K color temperature 120-277 Volt  
 Series: WPX2 LED Wall Mount  
 Lamp Output: Total Luminaire Lumens: 6199.6, absolute photometry \*  
 Input Wattage: 46.93  
 Luminous Opening: Rectangle (L: 3.15', W: 9.76')  
 Max Cd: 2,646.2 of Horizontal: 67.5°, Vertical: 46°  
 Roadway Class: VERY SHORT, TYPE III  
 Brand Image NIGHTTIME FRIENDLY



**SITE LIGHTING NOTE**

1. PER CITY CODE SECTION 7.4.102.D, ALL LIGHTING FIXTURES SHALL BE FULL CUT-OFF OR HAVE SHIELDING TO REDUCE OFF-SITE LIGHTING IMPACTS ONTO ADJACENT PROPERTIES AND ROADWAYS. ALL EXTERIOR LIGHTING SHALL BE ARRANGED TO MITIGATE LIGHT DIRECTED AWAY FROM ADJACENT PROPERTIES AND ANY PUBLIC RIGHT-OF-WAY. AN AMENDMENT TO THIS PLAN MAY BE REQUIRED IF THE LIGHTING TYPE IS CHANGED.

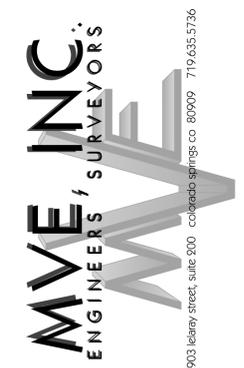
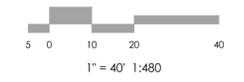


**VICINITY MAP**

NOT TO SCALE

BENCHMARK  
 THE BENCHMARK FOR ELEVATIONS SHOWN ON THIS DRAWING IS ELEVATION = (NGVD29).

BASIS OF BEARINGS: THE BASIS OF ALL BEARINGS SHOWN ON THIS DRAWING IS THE



REVISIONS

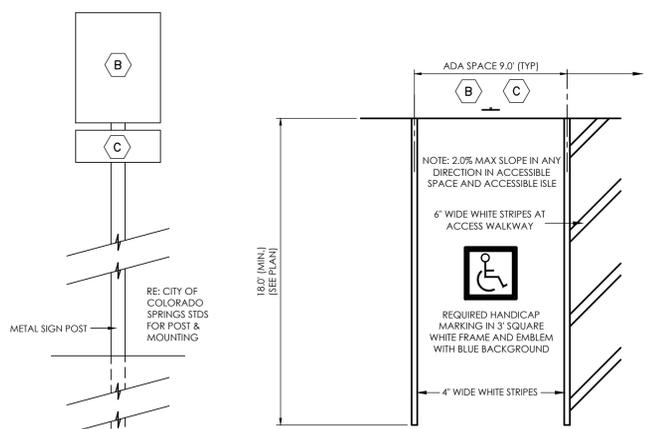
DESIGNED BY \_\_\_\_\_  
 DRAWN BY \_\_\_\_\_  
 CHECKED BY \_\_\_\_\_  
 AS-BUILT BY \_\_\_\_\_  
 CHECKED BY \_\_\_\_\_

**3760 E - BOULDER DEVELOPMENT PLAN**

**SITE PLAN  
 ADA ACCESS  
 PHOTOMETRIC**

**DP-2** MVE PROJECT 51543  
 MVE DRAWING -DEV-SP

**June 2, 2025  
 SHEET 2 OF 11**



**TYPICAL HANDICAP PARKING SPACE**  
 SCALE: NTS



1. TYPOGRAPHY TO BE HELVETICA MEDIUM
2. ALL PRIMARY SIGNS TO BE MOUNTED ON METAL SIGN POST; 7'-0" ABOVE FINISH GRADE TO BOTTOM OF SIGN-TYP. ADDITIONAL PLACARD SIGNS SHALL BE MOUNTED AT LEAST 6'-0" ABOVE FINISH GRADE TO BOTTOM OF SIGN-TYP.
3. DO NOT MOUNT HANDICAP SIGNAGE ON BUILDING.
4. ALL 'STOP' SIGNS WILL BE INSTALLED BY THE DEVELOPER AT THE LOCATIONS SHOWN ON THE DEVELOPMENT PLAN TO MEET MUTCD STANDARDS. CONTACT TRAFFIC ENGINEERING, SIGNS & MARKINGS AT 719-385-6720 FOR ASSISTANCE.

**SITE SIGNAGE LEGEND**  
 SCALE: 1" = 1'-0"

**ADA NOTE**

1. THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.
2. ACCESSIBLE ROUTES, INCLUDING RAMPS AND SIDEWALKS, WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PER THE CITY'S STANDARD DRAWINGS AND SPECIFICATIONS. CITY'S ENGINEERING DEVELOPMENT REVIEW INSPECTOR WILL HAVE THE FINAL AUTHORITY ON ACCEPTING THE PUBLIC IMPROVEMENTS.
3. ACCESSIBLE PARKING SPACES, ACCESS AISLES, AND SIGNAGE SHALL MEET ALL APPLICABLE CITY CODE REQUIREMENTS INCLUDING:
  - PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING ONE TO FIFTY (1:50) (2 PERCENT) IN ALL DIRECTIONS.
  - ACCESSIBLE PARKING SPACES SHALL BE MARKED WITH FOUR INCH (4") LINES.
  - ACCESSIBLE AISLES SHALL BE OUTLINED AND DIAGONALLY STRIPED AT FORTY FIVE DEGREE (45°) ANGLES IN A CONTRASTING COLOR SUCH AS YELLOW, WHITE, OR BLUE.
  - EACH ACCESSIBLE PARKING SPACE SHALL BE DESIGNATED AS RESERVED BY A SIGN SHOWING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. VAN ACCESSIBLE SPACES SHALL HAVE AN ADDITIONAL SIGN CONTAINING THE DESIGNATION, 'VAN ACCESSIBLE', MOUNTED BELOW THE SYMBOL OF ACCESSIBILITY. EACH ACCESSIBLE PARKING SPACE SIGN SHALL BE NO SMALLER THAN EIGHTEEN INCHES (18") TALL BY TWELVE INCHES (12") WIDE. EACH VAN ACCESSIBLE SIGN SHALL BE NO SMALLER THAN SIX INCHES (6") TALL BY TWELVE INCHES (12") WIDE. SIGNS SHALL BE LOCATED AT THE HEAD OF THE SPACE WITH THE BOTTOM OF THE SIGN(S) BETWEEN FIVE FEET (5') AND SEVEN FEET (7') ABOVE THE FINISH FLOOR OR GROUND SURFACE.

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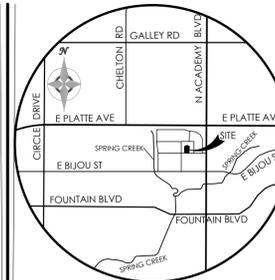
**DEPN - 24 - 0182**

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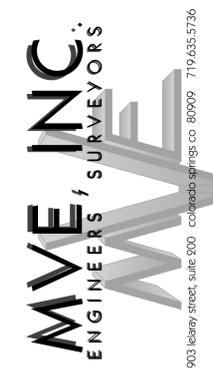
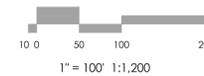
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**VICINITY MAP**  
NOT TO SCALE

**BENCHMARK**  
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REVISIONS

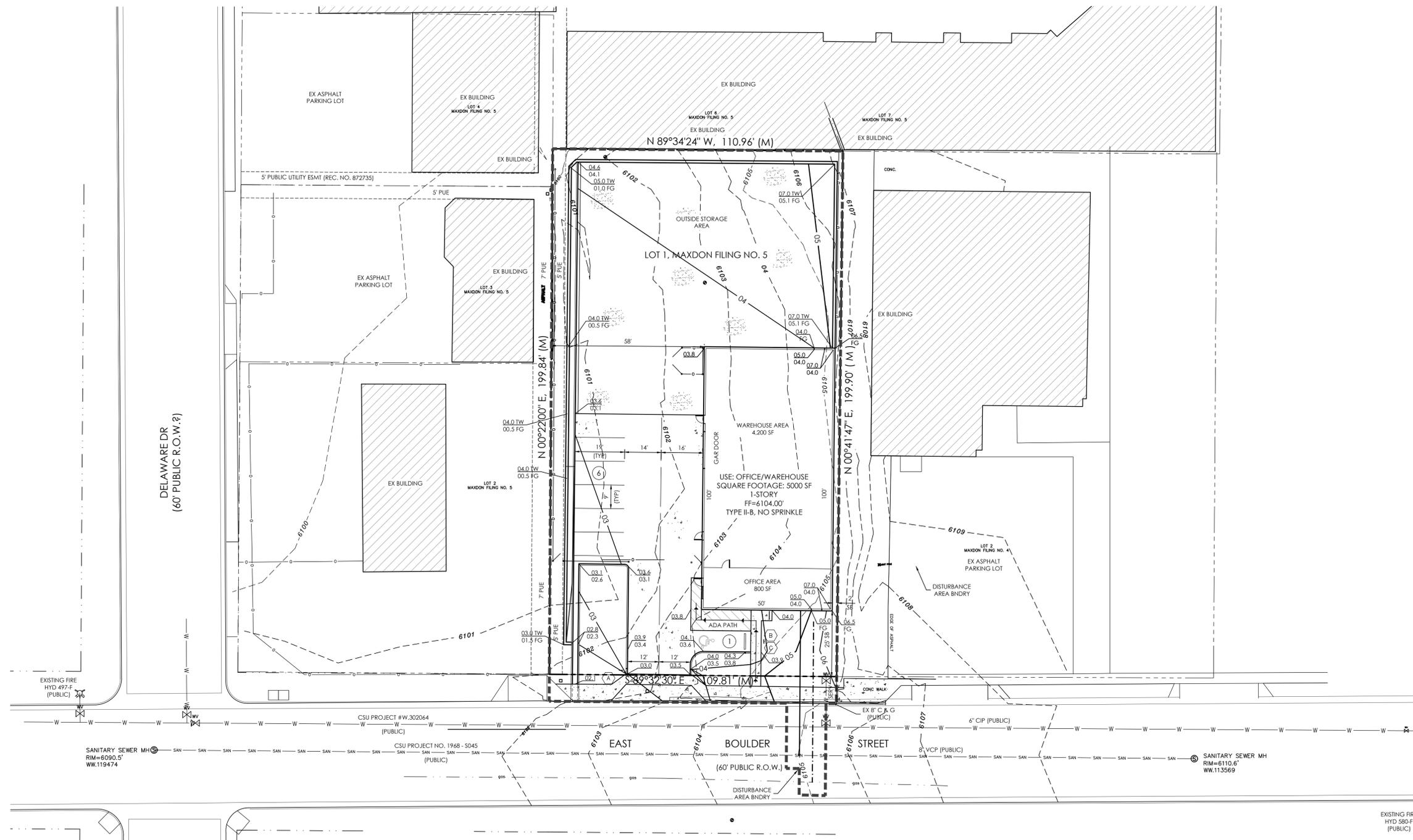
DESIGNED BY \_\_\_\_\_  
 DRAWN BY \_\_\_\_\_  
 CHECKED BY \_\_\_\_\_  
 AS-BUILT BY \_\_\_\_\_  
 CHECKED BY \_\_\_\_\_

**3760 E - BOULDER DEVELOPMENT PLAN**

**PRELIMINARY GRADING SHEET**

**DP-3** MVE PROJECT 51543  
 MVE DRAWING -DEV-PG

**June 2, 2025**  
**SHEET 3 OF 11**



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DEPN - 24 - 0182

**COLORADO SPRINGS UTILITIES  
GENERAL NOTES FOR ALL PRELIMINARY UTILITY PLANS**

PROPERTY OWNER(S) ACKNOWLEDGE AND AGREE TO THE FOLLOWING UPON APPROVAL OF PRELIMINARY UTILITY PLAN:

- COLORADO SPRINGS UTILITIES (SPRINGS UTILITIES) SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION OF ALL WATER, WASTEWATER, ELECTRIC AND GAS FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THIS PRELIMINARY UTILITY PLAN.
- PROPERTY OWNER(S) (OWNER) ACKNOWLEDGE THAT THE CONNECTION AND/OR EXTENSION OF UTILITY SERVICES TO THE PROPERTY IDENTIFIED IN THIS PRELIMINARY UTILITY PLAN (PROPERTY) SHALL BE IN ACCORD WITH ALL APPLICABLE CODES AND REGULATIONS, SPRINGS UTILITIES' LINE EXTENSION AND SERVICE STANDARDS (STANDARDS), TARIFFS, COLORADO SPRINGS CITY CODE, RESOLUTIONS, AND POLICIES, AND Pikes Peak REGIONAL BUILDING DEPARTMENT CODES, IN EFFECT AT THE TIME OF UTILITY SERVICE CONNECTION AND/OR EXTENSION.
- OWNER ACKNOWLEDGES RESPONSIBILITY FOR THE COSTS OF EXTENSIONS OR UTILITY SYSTEM IMPROVEMENTS THAT SPRINGS UTILITIES DETERMINES NECESSARY TO PROVIDE UTILITY SERVICES TO THE PROPERTY OR TO ENSURE TIMELY DEVELOPMENT OF INTEGRATED UTILITY SYSTEMS SERVING THE PROPERTY AND AREAS OUTSIDE THE PROPERTY (INCLUDING THE COSTS TO DESIGN AND INSTALL WATER SYSTEMS, WASTEWATER COLLECTION SYSTEMS, AND ANY GAS OR ELECTRIC LINES TO AND WITHIN THE PROPERTY). OWNER MAY BE ELIGIBLE FOR A COST RECOVERY AGREEMENT AS PROVIDED IN UTILITIES' RULES AND REGULATIONS.
- SPRINGS UTILITIES' UTILITY SERVICES ARE AVAILABLE ON A "FIRST-COME, FIRST-SERVED" BASIS, AND THEREFORE NO SPECIFIC ALLOCATIONS OR AMOUNTS OF UTILITY SERVICES, FACILITIES, CAPACITIES OR SUPPLIES ARE RESERVED FOR THE OWNER, AND SPRINGS UTILITIES MAKES NO COMMITMENT AS TO THE AVAILABILITY OF ANY UTILITY SERVICE UNTIL SUCH TIME AS AN APPLICATION FOR PERMANENT SERVICE IS APPROVED BY SPRINGS UTILITIES.
- THE RELOCATION OR ALTERATION OF ANY EXISTING UTILITY FACILITIES WITHIN THE PROPERTY AT THE OWNER'S SOLE COST AND EXPENSE. IF SPRINGS UTILITIES DETERMINES THAT OWNER'S RELOCATION OR ALTERATION REQUIRES NEW OR UPDATED EASEMENTS, OWNER SHALL CONVEY THOSE EASEMENT PRIOR TO RELOCATING OR ALTERING THE EXISTING UTILITY FACILITIES.
- OWNER SHALL DEDICATE BY PLAT AND/OR CONVEY BY RECORDED DOCUMENT, ALL PROPERTY AND EASEMENTS THAT SPRINGS UTILITIES DETERMINES ARE REQUIRED FOR ALL UTILITY SYSTEM FACILITIES NECESSARY TO SERVE THE PROPERTY OR TO ENSURE DEVELOPMENT OF AN INTEGRATED UTILITY SYSTEM. ALL EASEMENTS GRANTED BY SEPARATE INSTRUMENT SHALL UTILIZE SPRINGS UTILITIES' THEN-CURRENT PERMANENT EASEMENT AGREEMENT FORM.
- THE WATER SYSTEM FACILITIES MUST MEET SPRINGS UTILITIES' CRITERIA FOR WATER QUALITY, RELIABILITY AND PRESSURE, INCLUDING LOOPING REQUIREMENTS [SEE SPRINGS UTILITIES' LINE EXTENSION AND SERVICE STANDARDS].
- OWNER RECOGNIZES THAT THE EXTENSION OF WATER SYSTEM FACILITIES MAY AFFECT THE QUALITY OF WATER IN SPRINGS UTILITIES' WATER SYSTEM. WHEN WATER QUALITY IS AFFECTED, OWNER ACKNOWLEDGES RESPONSIBILITY FOR ANY COSTS THAT SPRINGS UTILITIES DETERMINES NECESSARY TO INCLUDE IN ORDER TO MAINTAIN WATER QUALITY IN ITS SYSTEM AS A RESULT OF OWNER'S WATER SYSTEM EXTENSIONS. OWNER MAY BE REQUIRED TO SUBMIT A WATER-QUALITY PLAN FOR THE PROJECT.
- OWNER MUST CONTACT SPRINGS UTILITIES FIELD ENGINEERING TO DETERMINE THE LOCATION OF ALL NATURAL GAS AND ELECTRIC METERS AND TRANSFORMERS AND TO SECURE APPROVAL OF GAS-SERVICE-LINE PRESSURES IN EXCESS OF SPRINGS UTILITIES STANDARD GAS SYSTEM PRESSURE. (CONTACT FIELD ENGINEERING NORTH 668-4985 OR SOUTH 668-5564).
- IT SHALL NOT BE PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH WITHIN ANY SPRINGS UTILITIES EASEMENT OR RIGHTS OF WAY WITHOUT THE WRITTEN APPROVAL OF SPRINGS UTILITIES. IMPROVEMENTS, STRUCTURES AND TRESS SHALL NOT BE LOCATED WITHIN UTILITY EASEMENT, SHALL NOT VIOLATE NATIONAL ELECTRIC SAFETY CODE (NEC) PROVISIONS AND CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.
- SPRINGS UTILITIES' APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF SPRINGS UTILITIES TO APPLY ITS STANDARDS; AND IF THERE ARE ANY CONFLICTS BETWEEN ANY APPROVED DRAWINGS AND ANY PROVISION OF STANDARDS OR THE CITY CODE, THEN THE STANDARDS OR CITY CODE SHALL APPLY. SPRINGS UTILITIES' APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF THE CITY OF COLORADO SPRINGS OR THE SPRINGS UTILITIES TO ADOPT DIFFERENT ORDINANCES, RULES, REGULATIONS, RESOLUTIONS, POLICIES OR CODES WHICH CHANGE ANY OF THE PROVISIONS OF THE STANDARDS SO LONG AS THESE APPLY TO THE CITY GENERALLY AND ARE IN ACCORD WITH THE THEN-CURRENT TARIFFS, RULES, REGULATIONS AND POLICIES OF SPRINGS UTILITIES.

**NOTES**

- ALL NEW UTILITIES SHOWN ON THIS PRELIMINARY UTILITY PLAN ARE PRELIMINARY ONLY AND NOT FOR CONSTRUCTION. FINAL CONSTRUCTION DOCUMENTS SHALL BE PREPARED DURING FINAL DESIGN AND APPROVED BY COLORADO SPRINGS UTILITIES.
- THE LOCATION OF ALL NEW GAS AND ELECTRIC FACILITIES SHOWN ON THIS PRELIMINARY UTILITY PLAN ARE SUBJECT TO COORDINATION WITH COLORADO SPRINGS UTILITIES FOR FINAL DETERMINATION. COLORADO SPRINGS UTILITIES PROVIDES SERVICE PLANS FOR THE SITE. FINAL LOCATIONS OF GAS AND ELECTRIC FACILITIES MAY NOT BE IN ACCORDANCE WITH THOSE SHOWN ON THIS PRELIMINARY UTILITY PLAN.
- FIRE LINES SHOULD ENTER THE BUILDING PERPENDICULAR TO THE OUTSIDE WALL WHENEVER POSSIBLE, AND SHOULD NEVER BE UNDERGROUND FOR MORE THAN 3 FEET INSIDE THE BUILDING.
- TREES SHALL MAINTAIN A 15-FOOT MINIMUM SEPARATION FROM WATER AND WASTEWATER MAINS AND A 6-FOOT MINIMUM SEPARATION FROM ELECTRIC AND GAS DISTRIBUTION LINES.
- FENCING SHALL NOT STOP ACCESS TO UTILITY LINES OR CONFLICT WITH UTILITY EQUIPMENT.

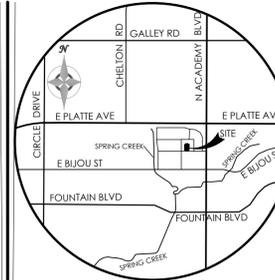
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**PRELIMINARY FIRE FLOW REQUIREMENTS**

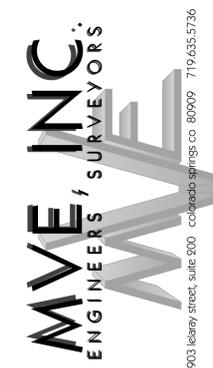
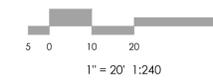
PROPOSED BUILDING - OFFICE WAREHOUSE STRUCTURE  
GROSS BUILDING AREA = 5,000 SF  
IBC BUILDING CONSTRUCTION TYPE = TYPE 11B

FIRE FLOW REQUIREMENTS:  
REQ. FIRE FLOW = 1,500 GPM  
REQ. NO. OF HYDRANTS = 1  
REQ. HOSE LAY DISTANCE = 250 FT



**VICINITY MAP**  
NOT TO SCALE

BENCHMARK  
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REVISIONS

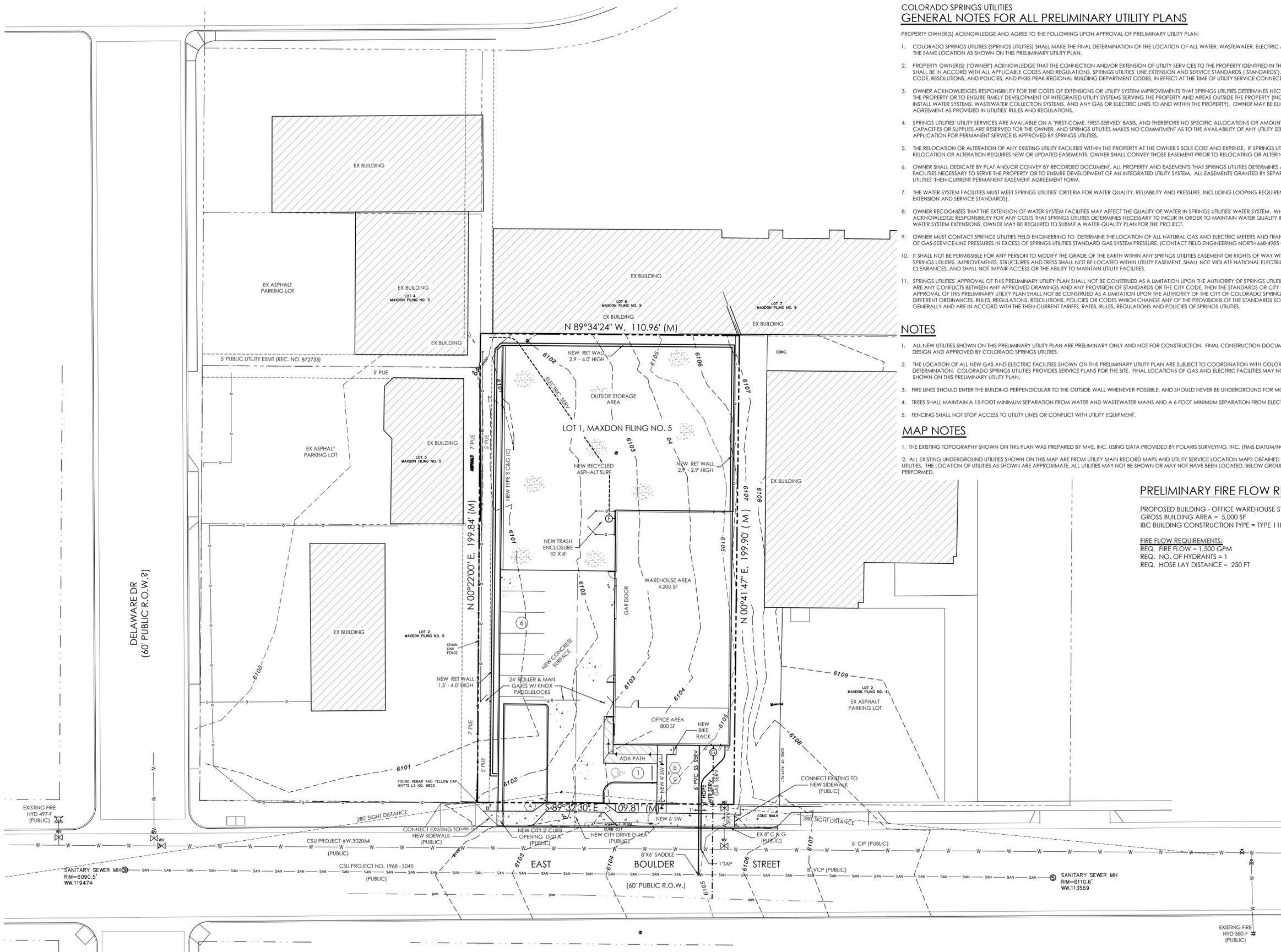
DESIGNED BY  
DRAWN BY  
CHECKED BY  
AS-BUILT BY  
CHECKED BY

**3760 E - BOULDER  
DEVELOPMENT PLAN**

**PRELIMINARY UTILITIES &  
PUBLIC FACILITIES PLAN**

**DP-4** MVE PROJECT 51543  
MVE DRAWING -DEV-PU

**June 2, 2025  
SHEET 4 OF 11**

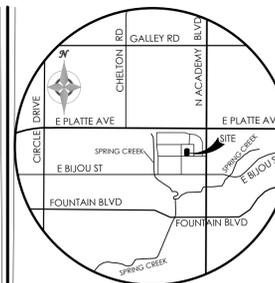


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DEPN - 24 - 0182

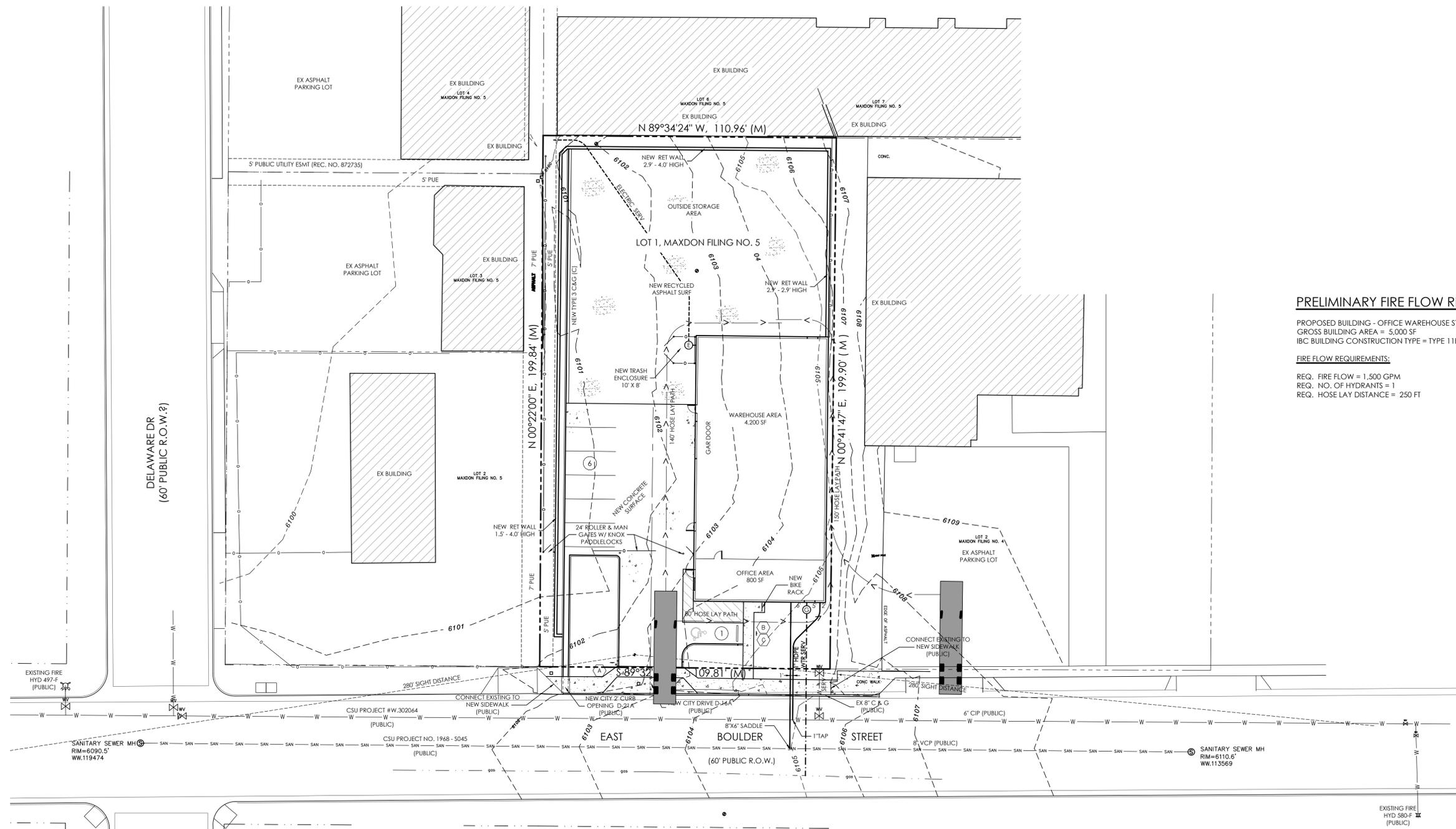
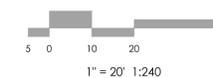
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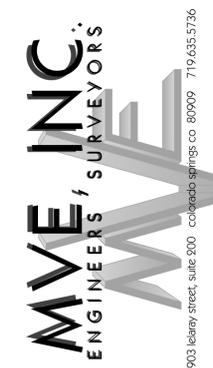


**PRELIMINARY FIRE FLOW REQUIREMENTS**

PROPOSED BUILDING - OFFICE WAREHOUSE STRUCTURE  
GROSS BUILDING AREA = 5,000 SF  
IBC BUILDING CONSTRUCTION TYPE = TYPE 11B

**FIRE FLOW REQUIREMENTS:**

- REQ. FIRE FLOW = 1,500 GPM
- REQ. NO. OF HYDRANTS = 1
- REQ. HOSE LAY DISTANCE = 250 FT



REVISIONS

DESIGNED BY  
DRAWN BY  
CHECKED BY  
AS-BUILTS BY  
CHECKED BY

**3760 E - BOULDER  
DEVELOPMENT PLAN**

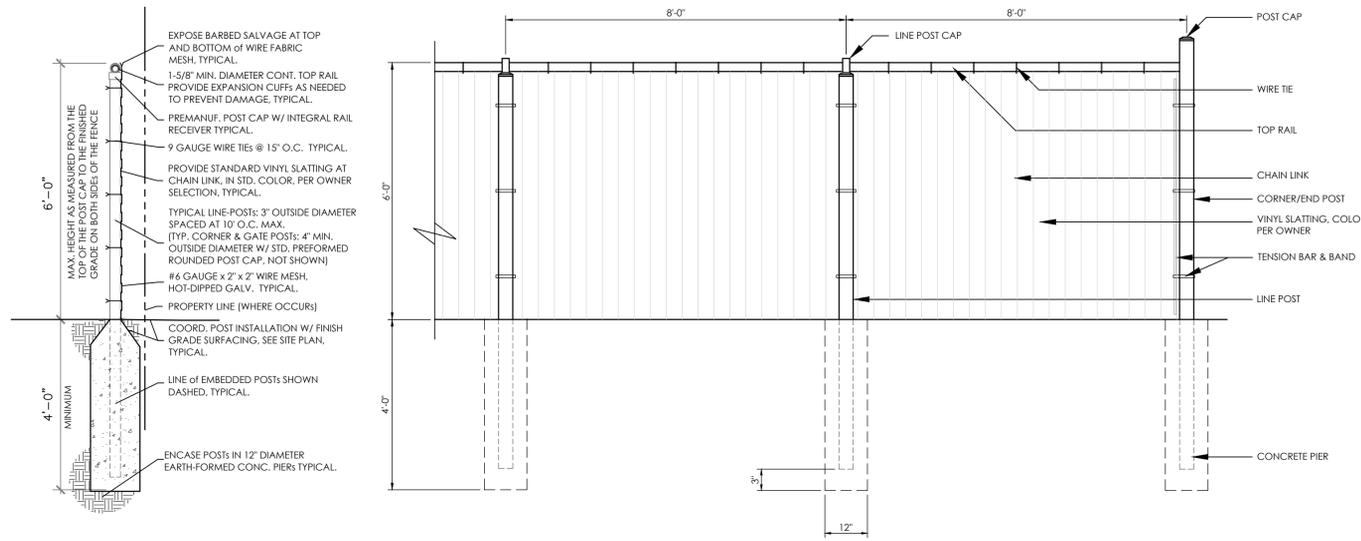
**FIRE ACCESS / HYDRANT  
PLAN**

**DP-5** MVE PROJECT 51543  
MVE DRAWING -DEV-FIRE

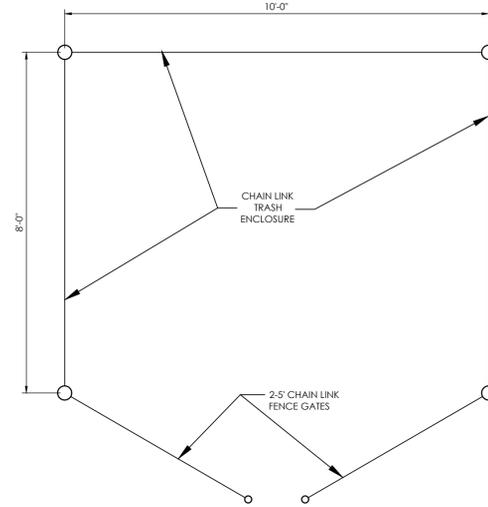
**June 2, 2025  
SHEET 5 OF 11**

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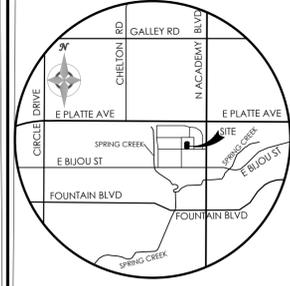
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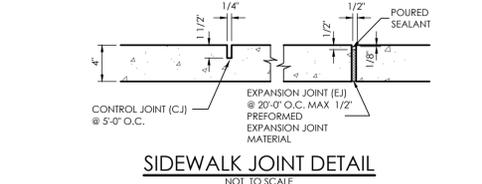


**TRASH ENCLOSURE PLAN**  
SCALE 1" = 2'

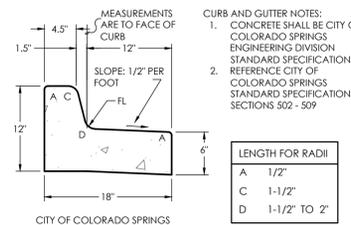


**VICINITY MAP**  
NOT TO SCALE

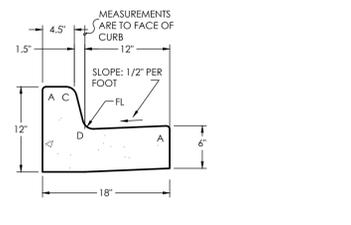
BENCHMARK



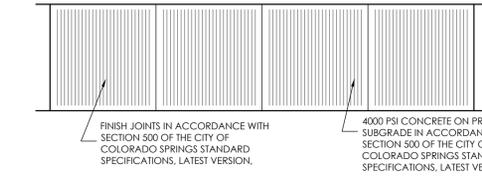
**SIDEWALK JOINT DETAIL**  
NOT TO SCALE



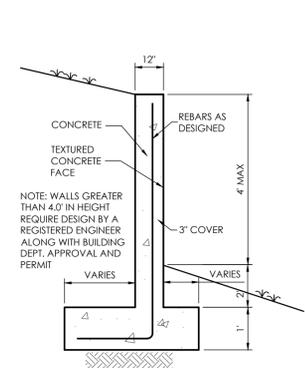
**TYPE 3 CURB & GUTTER (SPILL)**  
SCALE 1" = 1'



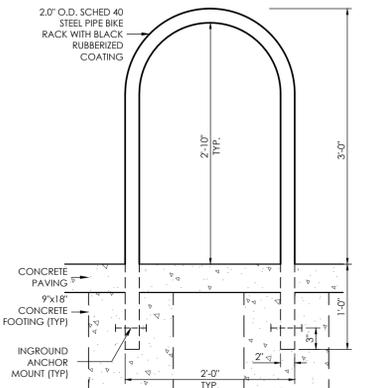
**TYPE 3 CURB & GUTTER (CATCH)**  
SCALE 1" = 1'



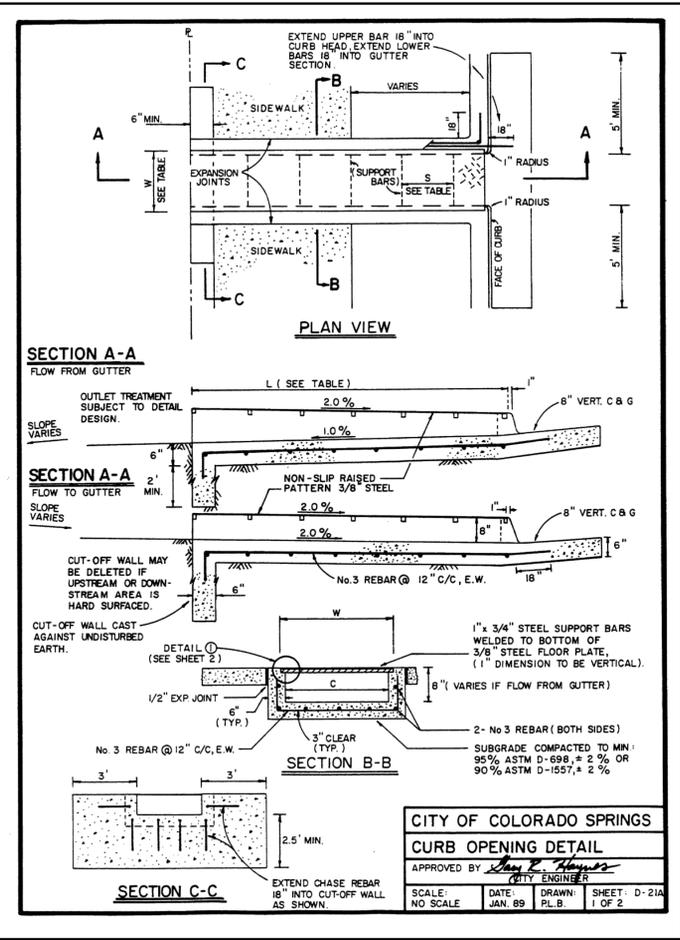
**TYPICAL SIDEWALK DETAIL**  
NOT TO SCALE



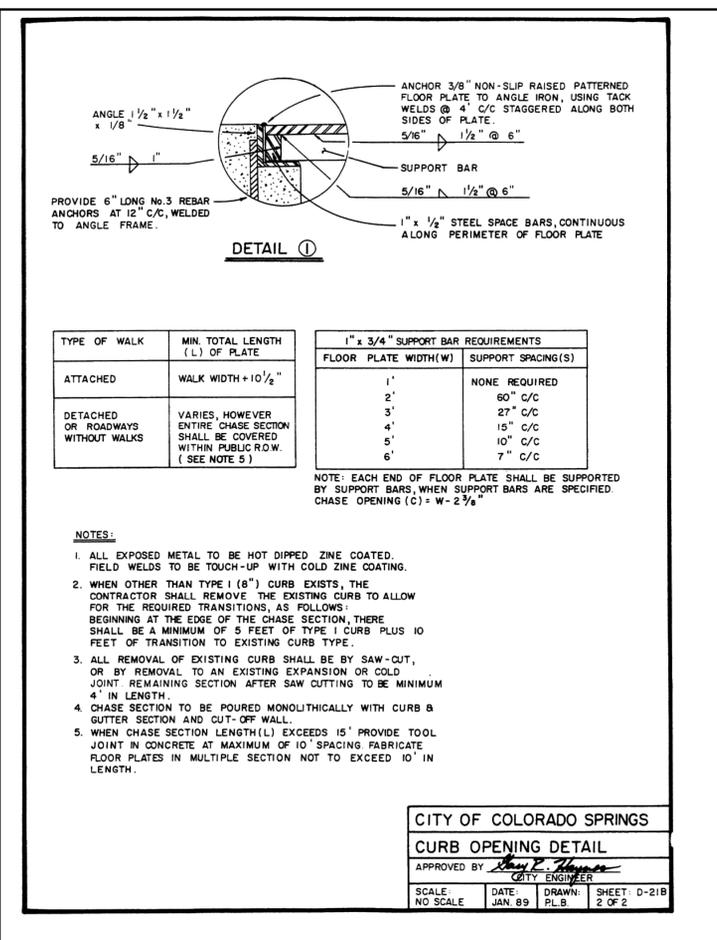
**CONCRETE WALL SECTION**  
NOT TO SCALE



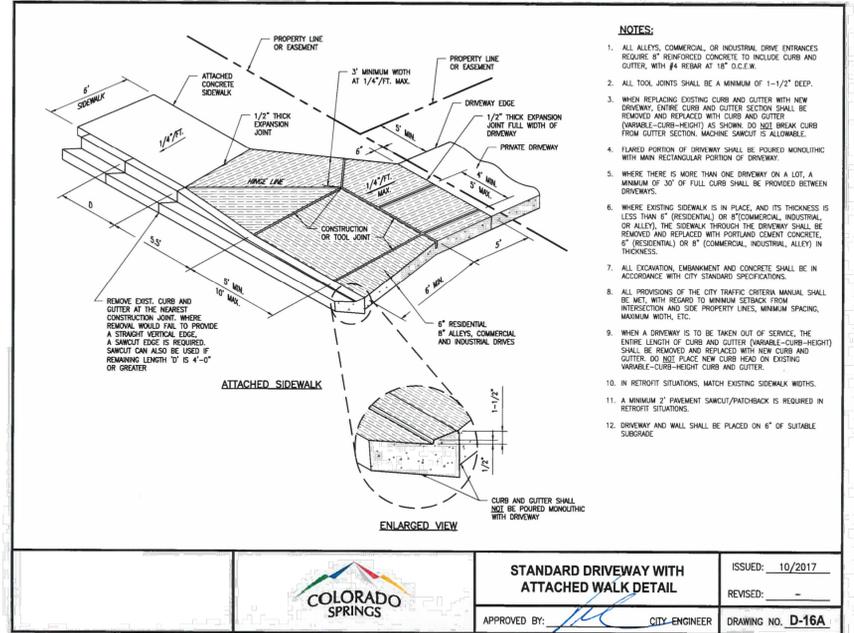
**BIKE RACK DETAIL**  
SCALE 1" = 1.0'



**CITY OF COLORADO SPRINGS CURB OPENING DETAIL**  
APPROVED BY: [Signature]  
SCALE: NO SCALE  
DATE: JAN. 89  
DRAWN: PLB.  
SHEET: D-21A  
1 OF 2



**CITY OF COLORADO SPRINGS CURB OPENING DETAIL**  
APPROVED BY: [Signature]  
SCALE: NO SCALE  
DATE: JAN. 89  
DRAWN: PLB.  
SHEET: D-21B  
2 OF 2



**STANDARD DRIVEWAY WITH ATTACHED WALK DETAIL**  
ISSUED: 10/2017  
REVISED: -  
APPROVED BY: [Signature] CITY-ENGINEER  
DRAWING NO. D-16A

**NOT A CONSTRUCTION DOCUMENT**  
THIS PLAN SHALL NOT BE USED FOR CONSTRUCTION PURPOSES. IT IS PREPARED FOR THE CITY OF COLORADO SPRINGS DEVELOPMENT PLAN APPROVAL PROCESS ONLY. IT IS REQUIRED THAT ANY SUBSEQUENT CONSTRUCTION PLANS ADHERE TO THE APPROVED DEVELOPMENT PLAN.

DEPN - 24 - 0182



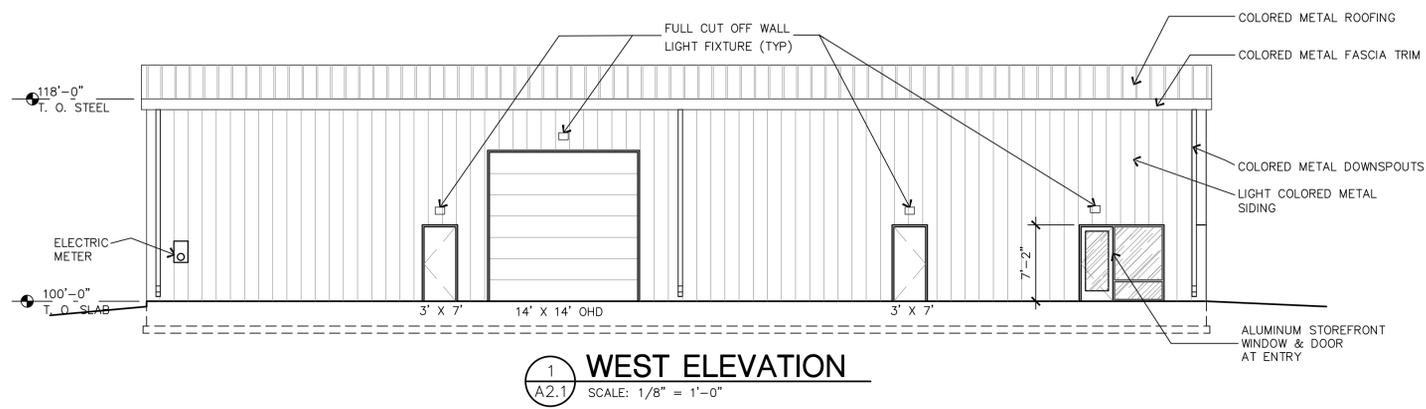
REVISIONS

DESIGNED BY  
DRAWN BY  
CHECKED BY  
AS-BUILTS BY  
CHECKED BY

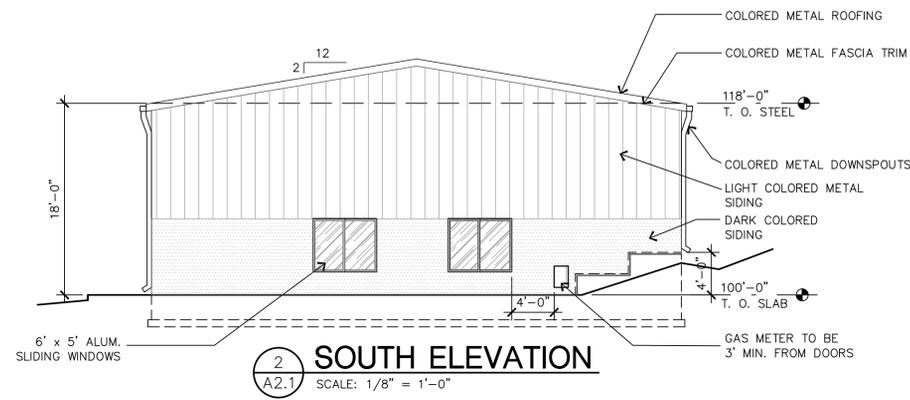
**3760 E - BOULDER DEVELOPMENT PLAN**  
SITE DETAILS SHEET

**DP-6** MVE PROJECT 51543  
MVE DRAWING -DEV-SD

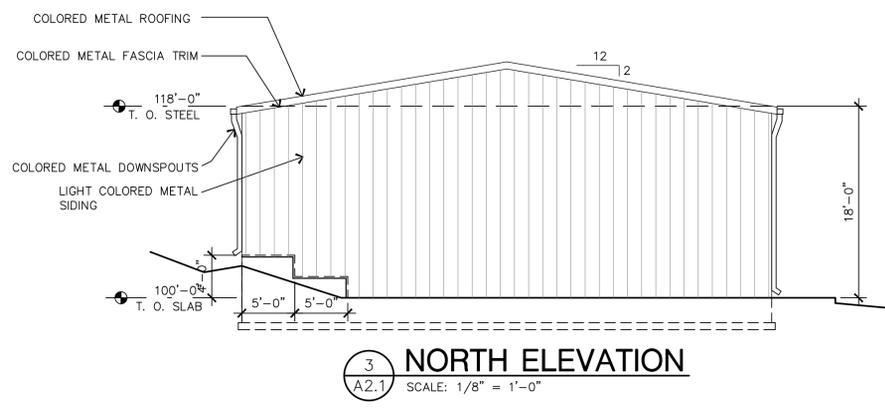
**June 2, 2025**  
SHEET 6 OF 11



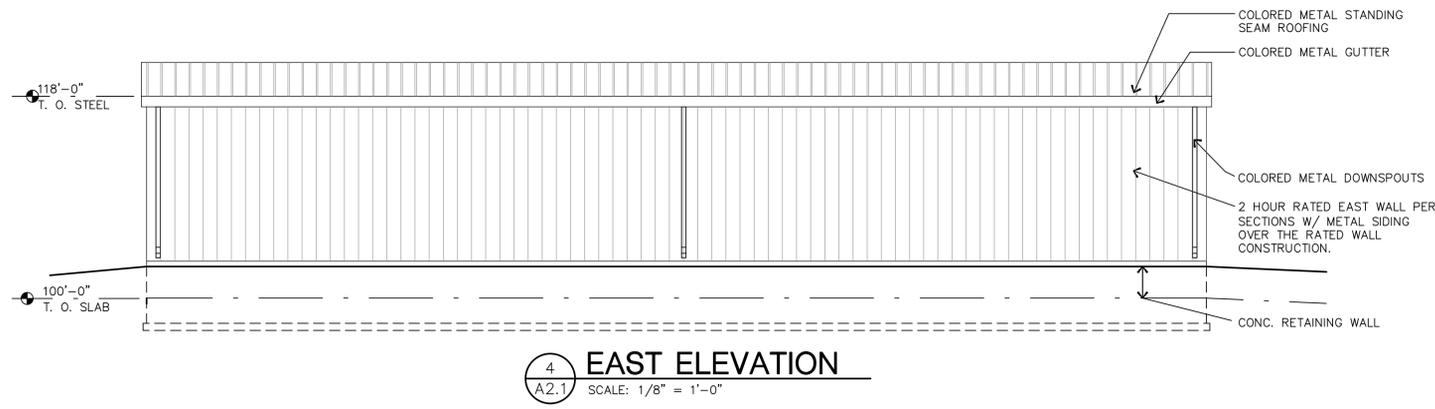
**1 WEST ELEVATION**  
A2.1 SCALE: 1/8" = 1'-0"



**2 SOUTH ELEVATION**  
A2.1 SCALE: 1/8" = 1'-0"



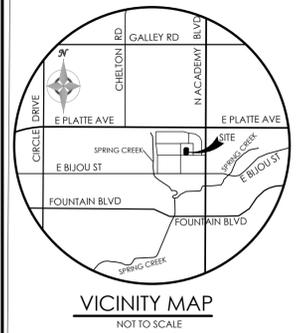
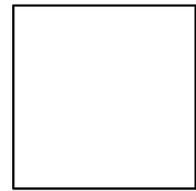
**3 NORTH ELEVATION**  
A2.1 SCALE: 1/8" = 1'-0"



**4 EAST ELEVATION**  
A2.1 SCALE: 1/8" = 1'-0"

**NOT A CONSTRUCTION DOCUMENT**  
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DEPN - 24 - 0182



BENCHMARK



REVISIONS

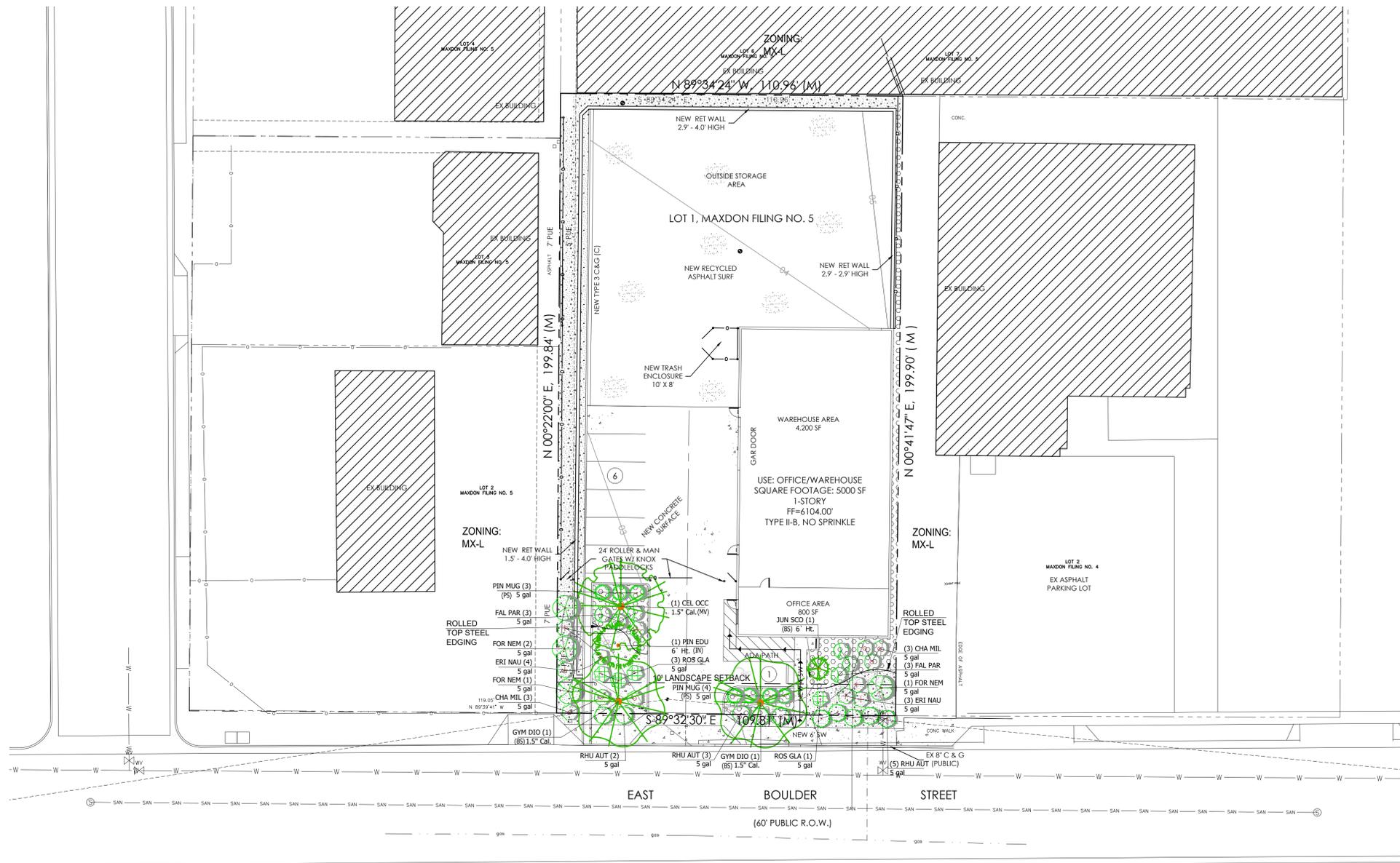
DESIGNED BY \_\_\_\_\_  
DRAWN BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_  
AS-BUILTS BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_

3760 E - BOULDER  
DEVELOPMENT PLAN

ELEVATIONS

DP-7 MVE PROJECT 51513  
MVE DRAWING DEV-EL

June 2, 2025  
SHEET 7 OF 11



### SITE CATEGORY CALCULATIONS

Street Name or Boundary	Street Classification	Width (in Ft.) Req./Prov.	Linear Footage	Tree/Foot Required	No. of Trees Req./Prov.
E. Boulder Street	Non-arterial	10' / 10' (average)	110'	1 / 30'	4 / 3

Shrub Substitutes Req. / Prov.	Orn Grass Subs Req. / Prov.	Plan Symbol Abbreviation	Percent Ground Plane Veg. Req. / Prov.
10 / 10	0 / 0	(BS) E. Boulder St.	75% / 85%

Property Line	Width Req./Prov.	Linear Footage	Tree/Foot Required	No. of Trees Req./Prov.	Evergreen Trees Req./Prov.
None	- / -	-	- / -	- / -	- / -

Shrub Substitutes Req. / Prov.	Orn Grass Subs Req. / Prov.	Plan Symbol Abbreviation	Percent Ground Coverage Req. / Prov.	Length of 6' Tall Fence Req. / Prov.
- / -	- / -	-	- / -	- / -

No. of Vehicles Spaces	Shade Trees (1 per 15) Required/Provided	Abbr. on Plan	Parking Lot Footage	Length of Frontage (Excluding entry access)	2/3 Length of Frontage
11	1 / 1	(MV)	E. Boulder St.	40'	26'

No. of 3' tall screening plants	Evergreen Plants Req. (50%) / Prov.	Plan Symbol Abbreviation	Percent Ground Plane Veg. Req. / Prov.	Length of screening wall / fence / berm
6 / 7	3 / 7	(PS)	75% / 85%	N / A

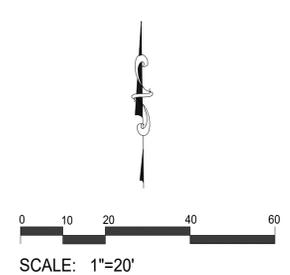
Gross Site Area (SF)	Percent Minimum Internal Area (%)	Internal Area (SF) Required / Provided	Internal Trees (1/500 SF) Required / Provided
22,075	5%	1,104 s.f. / 1,140 s.f.	2 / 1

Shrub Substitutes Required / Provided	Ornamental Grass Subs Required / Provided	Plan Symbol Abbreviation	Percent Ground Coverage Required / Provided
10 / 10	- / -	(N)	75% / 85%

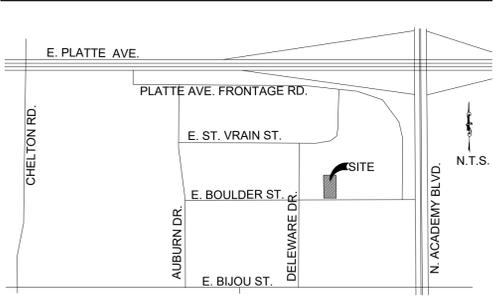
Green Space Required (Y / N)	Active Green Space Percent / SF Required / Provided	Non-Active Green Space Percent / SF Required / Provided	Active Green Space Design Elements
Yes	- / -	5% (1,104 s.f.) / 1,140 s.f.	-

### LANDSCAPE MATERIALS LEGEND

SYMBOL	DESCRIPTION	QTY
	'Royal Granite', 1.5" diameter, crushed rock 3" depth over landscape fabric	2,926 sf
	Blue Gray river rock, 4" to 8" diameter over landscape fabric	1,277 sf



### VICINITY MAP



### PLANT SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES	MATURE HEIGHT	CODE REQ.
<b>DECIDUOUS TREES</b>							
CEL OCC	1	Celtis occidentalis	Common Hackberry	1.5' Cal.	B & B	30'-40' x 30'-40'	Park/ROW/Median/Stream
GYM DIO	2	Gymnocladia dioica 'Espresso'	Espresso Kentucky Coffeetree	1.5' Cal.	B & B	40'-50' x 30'-40'	Park/ROW/Median/Stream
<b>EVERGREEN TREES</b>							
JUN SCO	1	Juniperus scopulorum	Rocky Mountain Juniper	6' Ht.		15'-25' x 8'-15'	Screen / Wall / Trash
PIN EDU	1	Pinus cembroides edulis	Pinon Pine	6' Ht.	B & B	15'-20' x 15'-20'	Screen / Wall / Trash
TOTAL NUMBER OF TREES (100% SELECTED SPECIES- 70% MINIMUM)							
<b>SHRUBS</b>							
CHA MIL	6	Chamaebatiaria millefolium	Fernbush	5 gal		4'-6' x 4'-6'	Screen
ERI NAU	7	Ericameria nauseosa	Tall Green Rabbitbrush	5 gal		3'-6' x 4'-6'	Screen/Wall
FAL PAR	6	Fallugia paradoxa	Apache Plume	5 gal		4'-6' x 4'-6'	Screen/Wall
FOR NEM	4	Forestiera neomexicana	New Mexico Privet	5 gal		8'-10' x 8'-10'	Screen / Trash
PIN MUG	7	Pinus mugo 'Compacta'	Dwarf Mugo Pine	5 gal		3'-6' x 4'-6'	
RHU AUT	10	Rhus trilobata 'Autumn Amber'	Autumn Amber Sumac	5 gal		6'-12" x 6'-8'	
ROS GLA	4	Rosa glauca	Redleaf Rose	5 gal		4'-6' x 4'-6'	
TOTAL NUMBER OF SHRUBS (100% SELECTED SPECIES- 70% MINIMUM)							

CITY PLANNING APPROVAL:

**JWLA**  
**Jon Walsh**  
**LANDSCAPE ARCHITECT**  
 LLC

P.O. Box 354  
 Palmer Lake, CO 80133  
 (719) 640-9428  
 jwlandarch@gmail.com  
 www.jwlandscapearchitect.com

STAMP

PROJECT NAME

**OFFICE / WAREHOUSE**  
 3760 E. Boulder Street  
 Colorado Springs, CO

PLAN TITLE  
**FINAL LANDSCAPE PLAN**

PLAN DATE  
 August 5, 2024

REVISIONS  
 January 14, 2025  
 June 4, 2025

SHEET NO.

**LS-1**

SHEET 8 OF 11

File No. DEPN-24-0182



# SYSTEM DESCRIPTION

IRRIGATION FOR NEW PLANTINGS TO BE PROVIDED FROM AN AUTOMATED SPRINKLER SYSTEM CONNECTING TO PROPOSED 3/4" IRRIGATION LINE LOCATED AT EAST SIDE OF BUILDING. THE BACKFLOW PREVENTER TO BE INSTALLED INSIDE OF BUILDING. CONTROLLER TO BE INSTALLED INSIDE OF BUILDING AND RAIN SENSOR TO BE INSTALLED ON ROOF EVE. THE SYSTEM IS DESIGNED FOR A MINIMUM 40 PSI IN THE MAIN LINE, AND A MINIMUM FLOW OF 6 GPM. COORDINATE INSTALLATION OF ALL IRRIGATION COMPONENTS WITH OWNER'S REPRESENTATIVE AND OTHER TRADES. BALL VALVES ARE PROVIDED BEFORE EACH ZONE VALVE FOR MAINTENANCE OF SYSTEM. POTABLE WATER TO BE USED FOR ALL IRRIGATION.

# IRRIGATION NOTES

- THE IRRIGATION SYSTEM IS TO RUN OFF A 3/4" DEDICATED COPPER IRRIGATION LINE INSIDE OF WAREHOUSE BUILDING. COORDINATE WITH OWNER'S REPRESENTATIVE AND OTHER TRADES TO VERIFY LOCATION OF CONTROLLER AND BACKFLOW DEVICE. BACKFLOW DEVICE TO BE INSTALLED PER REGIONAL BUILDING DEPARTMENT CODES. A MINIMUM STATIC WATER PRESSURE OF 60 PSI IS REQUIRED (SYSTEM IS DESIGNED FOR OPERATING PRESSURE OF 30 PSI AFTER PRESSURE REGULATOR FOR DRIP ZONE). VERIFY PRESSURE AND DISCHARGE RATE ON SITE PRIOR TO CONSTRUCTION OF IRRIGATION SYSTEM BEYOND THE BACKFLOW DEVICE.
- CONTRACTOR IS TO VERIFY THAT ALL PROPOSED PIPES ARE FULLY OPERATIONAL AND OPERATING WITHOUT ANY LEAKS. AFTER INSTALLATION OF NEW IRRIGATION CONTRACTOR IS TO TEST ALL ZONES CHECKING AND FIXING ANY LEAKS AND VERIFYING FULL OPERATION OF ZONE.
- AFTER CONSTRUCTION, CONTRACTOR IS TO SET CONTROLLER TO RUN ZONE PER IRRIGATION SCHEDULE. CONTROLLER WATERING DAYS AND TIMES ARE TO BE REDUCED IN SPRING AND FALL. CONTRACTOR IS TO MONITOR PLANT HEALTH AND ADJUST CONTROLLER AS NECESSARY THROUGHOUT WARRANTY PERIOD.
- ALL UNDERGROUND UTILITIES ARE TO BE LOCATED AND CLEARLY MARKED PRIOR TO ANY DIGGING ON SITE. UTILITY LOCATIONS ARE TO REMAIN CLEARLY MARKED AND VISIBLE THROUGHOUT CONSTRUCTION OF LANDSCAPE AND IRRIGATION. ALL MATERIALS AND INSTALLATION PRACTICES ARE TO BE IN COMPLIANCE WITH LOCAL CODES. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ALL IRRIGATION SLEEVING. SLEEVING FOR DRIP LATERAL LINES IS TO BE 12" BELOW FINAL GRADE. ALL SLEEVING IS TO EXTEND 6" BEYOND EDGE OF CONCRETE OR ASPHALT. ENDS OF SLEEVING ARE TO BE SECURELY COVERED AFTER INSTALLATION, AND SLEEVE LOCATIONS ARE TO BE CLEARLY MARKED WITH PAINTED STAKES. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL SLEEVE LOCATIONS PRIOR TO CONSTRUCTION AND INSTALL ANY MISSING SLEEVES, AS NECESSARY.
- IRRIGATION PLAN IS DIAGRAMMATIC. ANY COMPONENTS SHOWN ON PLAN OUTSIDE OF LANDSCAPE AREAS ARE SHOWN FOR CLARITY ONLY. USE ONLY STANDARD FITTINGS. 3/4" POLY DRIP LINE IS TO BE SECURED AT FINAL SOIL GRADE IN ROCK OR MULCH BEDS, UNLESS OTHERWISE NOTED, AND BE COVERED BY ROCK OR WOOD MULCH.
- NOTIFY LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN PLAN DRAWINGS AND CONDITIONS IN THE FIELD PRIOR TO CONSTRUCTION OF ANY PROPOSED IRRIGATION.
- JON WALSH, LANDSCAPE ARCHITECT, LLC. (JWLA) PREPARED THIS PLAN BASED ON SITE LAYOUT AND SITE GRADING PLANS PROVIDED BY OTHERS. JWLA ASSUMES NO LIABILITY FOR ANY WATER DAMAGE ON THIS SITE.
- CONTRACTOR IS TO PROVIDE A ONE YEAR WARRANTY FOR IRRIGATION SYSTEM TO COMMENCE UPON COMPLETION OF LANDSCAPE AND IRRIGATION CONSTRUCTION. WARRANTY SHALL COVER ALL MATERIALS AND WORKMANSHIP RELATED TO IRRIGATION SYSTEM.

# STANDARD CITY OF COLORADO SPRINGS IRRIGATION NOTES

- THE CITY HAS ADOPTED PERMANENT WATER-WISE REGULATIONS AS OF JANUARY 1, 2020, WHICH WILL AFFECT THE OVERALL OPERATION OF THE IRRIGATION SYSTEM. FROM MAY 1 TO OCTOBER 15, SPRINKLERS CAN BE OPERATED BEFORE 10 A.M. AND AFTER 6 P.M. WATERING IS LIMITED TO THREE DAYS A WEEK (DRIP IRRIGATION IS ALLOWED AT ANY TIME). ESTABLISHMENT PERMITS ARE REQUIRED FROM COLORADO SPRINGS UTILITIES FOR CUSTOMERS WHO NEED TO TEMPORARILY WATER MORE THAN THREE DAYS A WEEK TO ESTABLISH NEW LANDSCAPES. ALLOCATION PLANS ARE AVAILABLE FOR CUSTOMERS WHO NEED MORE WATERING SCHEDULE FLEXIBILITY FROM COLORADO SPRINGS UTILITIES.
- FOR ALL DESIGN IRRIGATION SYSTEMS, IF MORE THAN THREE DAYS A WEEK ARE REQUIRED TO PROVIDE REQUIRED COVERAGE WITH SPRAY/ROTOR STATIONS/VALVES, A WATER ALLOCATION PLAN IS REQUIRED FROM COLORADO SPRINGS UTILITIES.
- CITY AFFIDAVIT NOTE - THE DESIGN PROFESSIONAL OF RECORD IS TO COMPLETE THE IRRIGATION INSPECTION AFFIDAVIT BASED ON APPROVED IRRIGATION PLAN. THIS SHOULD REQUIRE LIMITED CONSTRUCTION OBSERVATION VISITS AND A FUNCTIONAL TEST OF THE IRRIGATION SYSTEM SHALL BE PERFORMED TO ACCURATELY COMPLETE THE AFFIDAVIT. FINAL CO OR FINANCIAL ASSURANCES RELEASE SHALL NOT BE PROCESSED UNTIL AN EXECUTED AND APPROVED AFFIDAVIT IS SUBMITTED TO CITY STAFF. WHEN READY TO CALL FOR INSPECTION AND SUBMIT AFFIDAVITS, FIRST CONTACT THE CITY PLANNER OF RECORD FOR THE PROJECT (719-385-5905) AND AS NECESSARY OUR DRE OFFICE (719-385-5982).

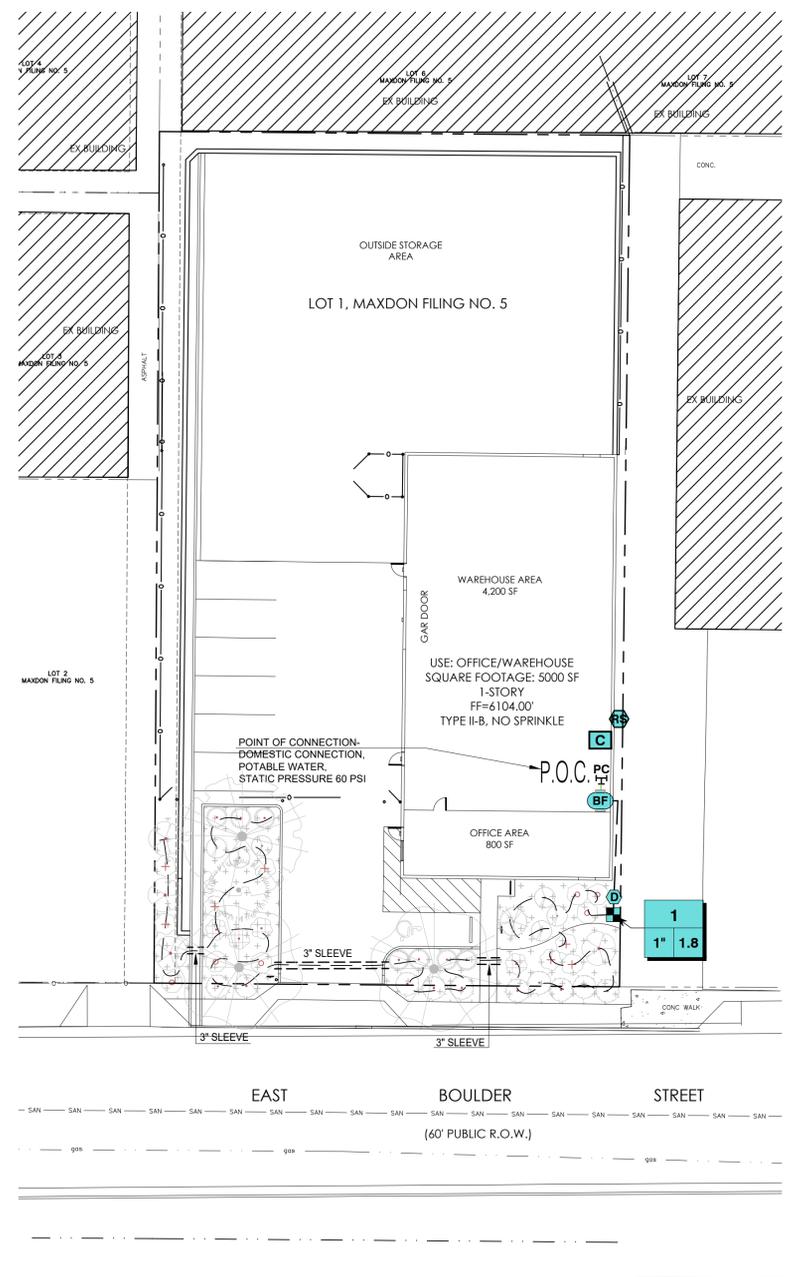
# CRITICAL ANALYSIS

Generated: 2024-08-02 13:45

P.O.C. NUMBER: 01

Water Source Information:

<b>FLOW AVAILABLE</b>	
Point of Connection Size:	3/4"
Flow Available:	6.8 GPM
<b>PRESSURE AVAILABLE</b>	
Static Pressure at POC:	60 PSI
Pressure Available:	60 PSI
<b>DESIGN ANALYSIS</b>	
Maximum Station Flow:	1.8 GPM
Flow Available at POC:	6.8 GPM
Residual Flow Available:	5.0 GPM
Design Pressure:	30 PSI
Friction Loss:	1.2 PSI
Fittings Loss:	0.7 PSI
Elevation Loss:	0 PSI
Loss through Valve:	4.4 PSI
Pressure Req. at Critical Station:	30 PSI
Loss for Fittings:	0.9 PSI
Loss for Main Line:	0.4 PSI
Loss through pipe:	4 PSI
Loss for Backflow:	11 PSI
Critical Station Pressure at POC:	11 PSI
Pressure Available:	60 PSI
Residual Pressure Available:	7.4 PSI



ZONE	PLANT MATERIAL	IRRIGATION TYPE	OPERATING PRESSURE	APPLICATION RATE	FLOW RATE	RUN TIME	NUMBER OF CYCLES	NUMBER OF IRRIGATION DAYS PER WEEK	ESTIMATE WATER USE
1	TREES / SHRUBS	DRIP	30 PSI	.15 IN./HR.	1.80 GPM	35 MIN.	1	3	189 GAL./WK

LANDSCAPE AREAS	AREA (SQ. FT.)	WATER USE (GALLONS)
TURF GRASS	0	0
NATIVE GRASS	0	0
SHRUB BEDS	2,151	4,914
<b>TOTAL:</b>		<b>4,914</b>

# IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
■	Rain Bird XCZLF-100-PRF 1" Low Flow, 0.2-10 GPM, with 1in. Low Flow Valve valve and 1in. Pressure Regulating RBY filter and 40psi pressure regulator.	1
⊕	Area to Receive Drip Emitters Rain Bird XB-PC Single Outlet, Pressure Compensating Drip Emitters. Flow rates of 1.0 GPH=black, Comes with a self-piercing barb inlet x barb outlet. Emitter Notes: 10PC emitters (2 assigned to each 5 gal plant) 10PC emitters (4 assigned to each 1.5" cal. & 6' ht. plant)	2,151 sf 88 20
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
D	Drain Valve Manual Drain Valve- 3/4" Febco 624-BS Brass Gate Valve with Cross Handle. To be placed at low points along main line	1
BF	Febco 825Y 3/4" Reduced Pressure Backflow Preventer	1
C	Rain Bird TM2-4-120V 4 station 120v model. Suitable for indoor or outdoor installations Factory-installed outdoor-rated power cord. LNK WiFi ready	1
RS	Rain Bird RSD-BEx Rain Sensor, with metal latching bracket, extension wire.	1
PC	Point of Connection 3/4"	1
---	Irrigation Mainline: PVC Class 200 SDR 21 3/4"	30.9 lf
---	Pipe Sleeve: PVC Class 200 SDR 21	36.0 lf
⊕	Valve Cutout Valve Number Valve Flow Valve Size	
---	Drip 3/4" diameter drip tubing (Rain Bird XBS 940) (.940 o.d., route accordingly to plant materials)	262 l.f.
---	3/4" Drip tubing compression end plug (Install in 6" min. valve box)	



**JWLA**  
Jon Walsh  
LANDSCAPE ARCHITECT  
LLC

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(719) 640-9428  
jwlandarch@gmail.com  
www.jwlandscapearchitect.com

STAMP

PROJECT NAME

**OFFICE / WAREHOUSE**  
3760 E. Boulder Street  
Colorado Springs, CO

PLAN TITLE

**IRRIGATION PLAN**

PLAN DATE

August 2, 2024

REVISIONS

January 14, 2025  
June 4, 2025

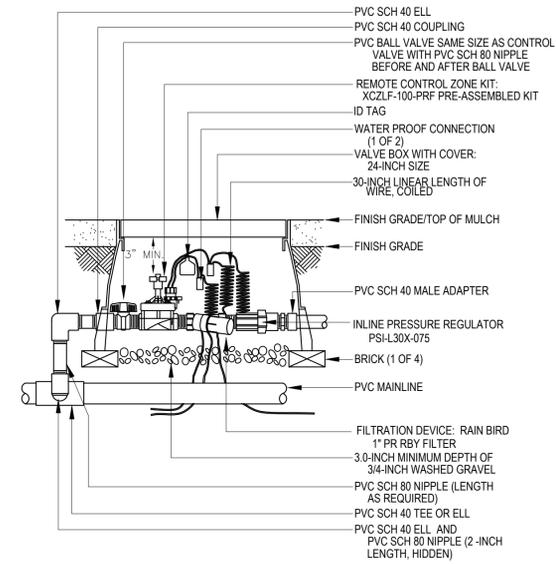
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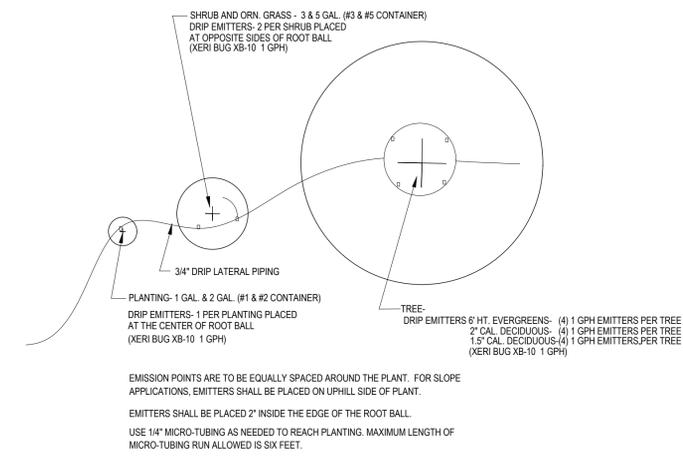
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LS-3

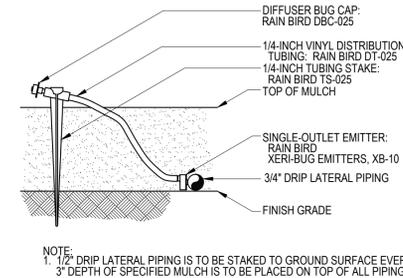
SHEET 10 OF 11



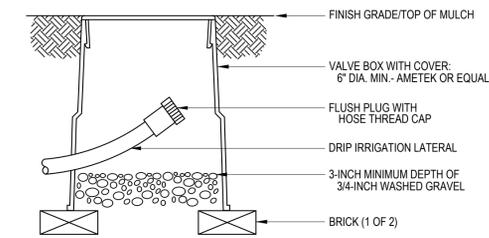
1 DRIP IRRIGATION VALVE ASSEMBLY



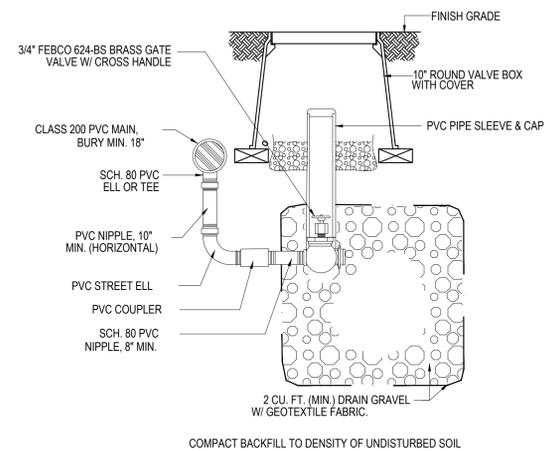
2 DRIP EMITTER PLACEMENT



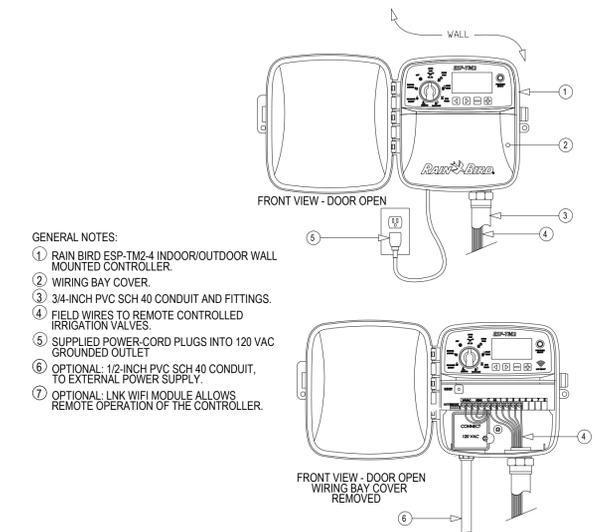
3 TYPICAL EMITTER ASSEMBLY



4 DRIP FLUSH CAP



5 MANUAL DRAIN VALVE



6 CONTROLLER

CITY PLANNING APPROVAL: