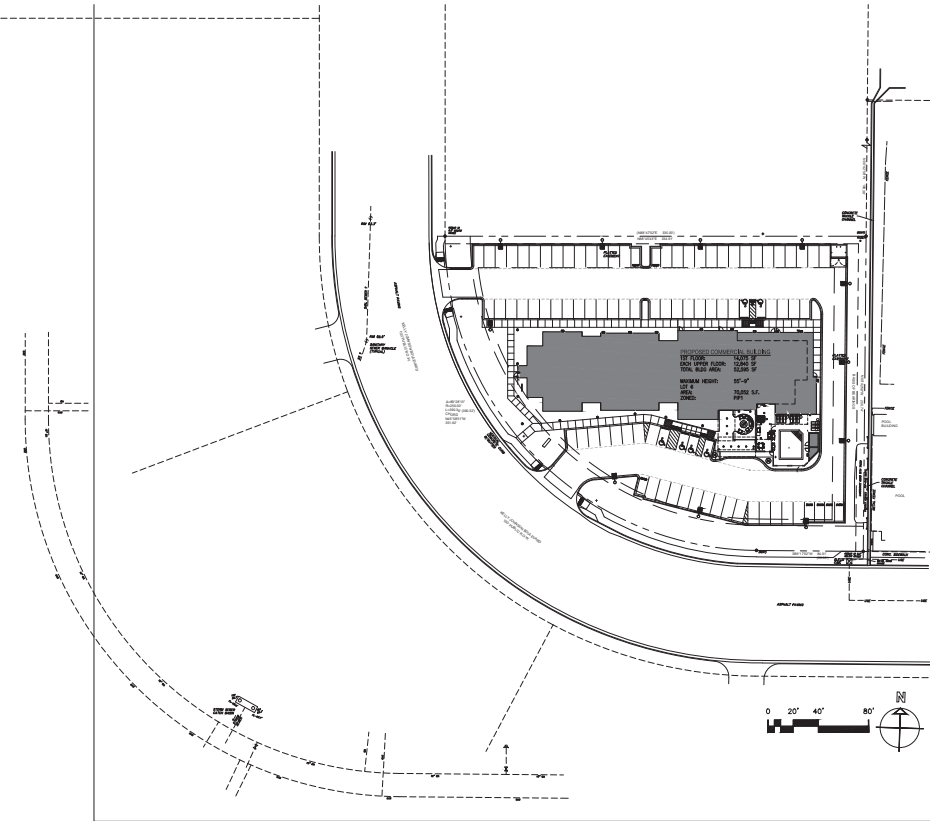
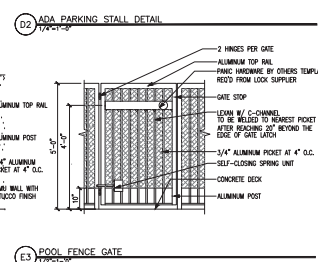
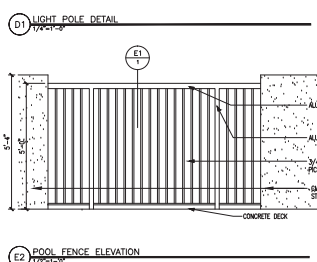
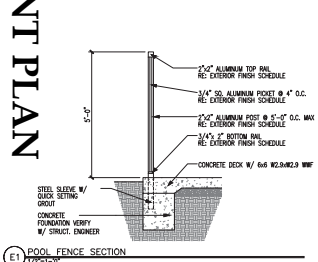
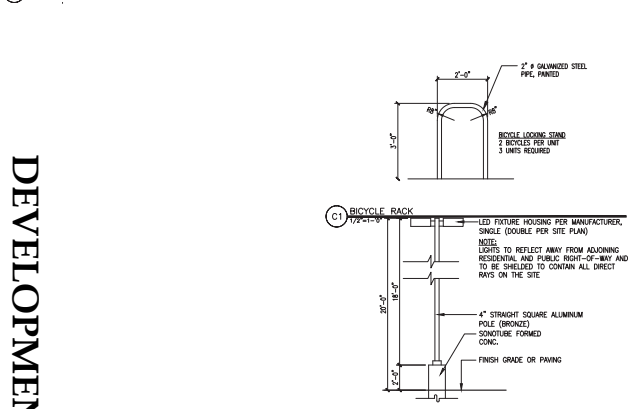
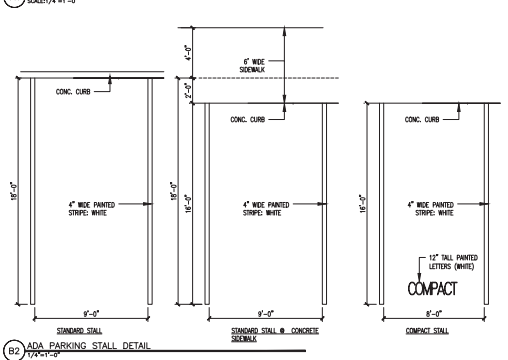
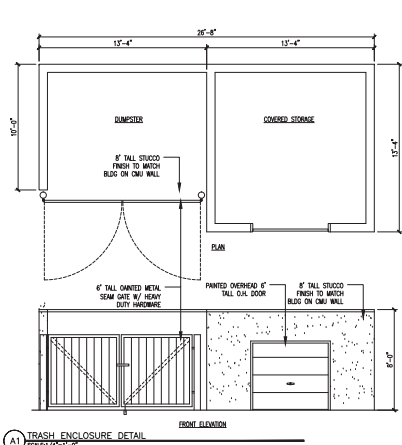


DEVELOPMENT PLAN



LOT 6, BLOCK 2, CHAPEL HILLS TECHNOLOGICAL CENTER
COLORADO SPRING, COLORADO 80920
1.61 ACRES
DEVELOPMENT PLAN

pba
 peter butlerfield architect
 13013 glenwood hills ct, ne
 albuquerque nm 87111
 (505) 514 1304

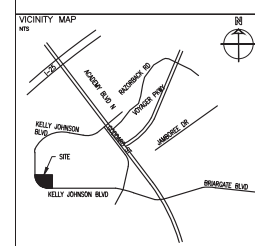
PROPERTY ADDRESS:
 1000 KELLY JOHNSON BOULEVARD

LEGAL DESCRIPTION:
 PROPERTY DESCRIPTION:
 LOT 1, BLOCK 2, CHAPEL HILLS TECHNOLOGICAL CENTER IN THE CITY OF COLORADO SPRING, EL PASO COUNTY, COLORADO, ACCORDING TO THE SUBDIVISION PLAT THEREOF RECORDED IN PLAT BOOK P-2 AT PAGE 76 OF THE EL PASO COUNTY RECORDS.

NOTES:
 1. NOTICE: THIS PROPERTY MAY BE IMPACTED BY NOISE AND OTHER SIMILAR INCIDENTAL SENSORY EFFECTS OF FLIGHT CAUSED BY AIRCRAFT USED IN THE LIGHT AIRCRAFT MANAGEMENT PROGRAM. THIS NOTICE SHALL REMAIN IN EFFECT UNTIL THE AIRCRAFT SHALL CEASE TO BE ACTIVELY USED. THIS NOTICE SHALL RUN WITH THE LAND.
 2. ALL CURB, CUTLIP, PROCESSION RAMP AND SIDEWALK POSING A SAFETY HAZARD, UNLESS EXISTING EXCESSIVE SLOPES, OR DOES NOT MEET THE CURRENT CITY ENGINEERING STANDARDS ALONG KELLY JOHNSON BOULEVARD TO THIS SITE WILL NEED TO BE REMOVED AND REPLACED. AN ON-SITE MEETING CAN BE SET UP WITH ENGINEERING DEPARTMENT INSPECTOR TO DETERMINE WHAT IF ANY IMPROVEMENTS ARE REQUIRED. THE INSPECTOR CAN BE REACHED AT 305-5077.

ADA DESIGN PROFESSIONAL STANDARD NOTE:
 THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE UNDERTAKEN THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA SPECIFIC TO THE PROPOSED PLAN. REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PURSUED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRING DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.

SITE DATA:
 TAX SCHEDULE NO: 435301006
 AREA: 1.61 ACRES
 EX ZONE: G-2 Zone POC (Planned Business Center) (City) (City No. 17-1)
 EX USE: HOTEL
 CONCRETE FLOOR: General Plan: 1000 Kelly Johnson Blvd (City of 17-10000)
 DEVELOPMENT SCHEDULE: 25
 BUILDING SETBACK REQUIREMENT: 25'
 LANDSCAPE BUFFER REQUIREMENT: 5'
 PROPOSED MAXIMUM BUILDING HEIGHT: 35'-0"



ON-SITE REGULATOR SIGNAGE:
 THE DEVELOPER SHALL INSTALL ALL ON-SITE REGULATOR SIGNAGE SHOWN ON THE DEVELOPMENT PLAN TO MEET MINIMUM STANDARDS.

LIGHTING NOTES:
 PER CITY CODE SECTION 14.01.02 ALL EXTERIOR LIGHTING SHALL BE ARRANGED TO MINIMIZE LIGHT POLLUTION AND GLARE. EXTERIOR LIGHTING INCLUDING PARKING LOT LIGHTS, SHALL BE FULL CITY-OF-SPRING TYPE AND NOT SAG LENS.

DRAINAGE BASIN:
 COTTONWOOD CREEK

PARKING CALCULATIONS:
 PARKING REQUIREMENTS:
 1 APS/ROOM: 1439 89 REQUIRED
 REDUCED 1 APS/2 SEATS OF MTD SPACE 6 REQUIRED
 TOTAL STALLS REQUIRED: 95 REQUIRED
 MINIMUM IN MINIMUM PARKING SPACE REQUIREMENT 74.204M(1)(c)
 STALLS = 95 STALLS
 MODIFIED TOTAL STALLS REQUIRED: 90 REQUIRED
 CAR & VAN ADA STALLS REQUIRED: (5 STALLS) 5 PROVIDED
 VAN-ACCESSIBLE ADA STALLS REQUIRED: (1 STALLS) 1 PROVIDED
 STANDARD STALLS PROVIDED: 77 PROVIDED
 COMPACT STALLS PROVIDED: 2 PROVIDED
 TOTAL STALLS PROVIDED: 80 PROVIDED

NOTES:
 1. THE PROPERTY IS SUBJECT TO AN AVIATION EASEMENT AS RECORDED UNDER 21000743.
 2. NOTICE: THIS PROPERTY MAY BE IMPACTED BY NOISE AND OTHER SIMILAR INCIDENTAL SENSORY EFFECTS OF FLIGHT CAUSED BY AIRCRAFT USED IN THE UNITED STATES AIR FORCE AIRCRAFT MANAGEMENT PROGRAM. THIS NOTICE SHALL REMAIN IN EFFECT UNTIL THE AIRCRAFT SHALL CEASE TO BE ACTIVELY USED. THIS NOTICE SHALL RUN WITH THE LAND.
 3. NON-USE WARNING: THE INVOICE SHALL REQUEST THE ALLOWANCE OF A PRIVATE WALL OF 6" AT 2'-0" AND THE ROOF TOP IS AT 4'-0" AT THE PERMANENT ELEVATION IS EXCEEDING THE MINIMUM ALLOWANCE BY 5'-3" THE NUMBER IS 17-00088 THIS USE IS NOT WITH A DESIGNATED SIGN LOCATION.
 4. SIGNAGE LOCATION AND TYPE SHOWN ON THIS PLAN IS NOT APPROVED WITH THE DEVELOPMENT PLAN. ALL SIGNAGE MUST BE APPROVED THROUGH THE CITY SIGN OFFICER.
 5. STREET TREES, STREETSCAPE IMPROVEMENTS AND VEGETATION WITHIN THE CITY OF SPRING IS MANAGED BY THE CITY OF SPRING. THE RESPONSIBILITY OF THE OWNER, ARCHITECT OR OTHER DESIGNER.
 6. LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER, ARCHITECT OR OTHER DESIGNER.

DRAWING INDEX:
 1 COVER SHEET
 2 DEVELOPMENT PLAN
 3 PRELIMINARY GRADING
 4 PRELIMINARY UTILITIES AND FACILITIES PLAN
 5 FINAL LANDSCAPE PLAN
 6 PHOTOGRAPHIC STALLS
 7 SIGNAGE ELEVATIONS
 8 BUILDING ELEVATIONS

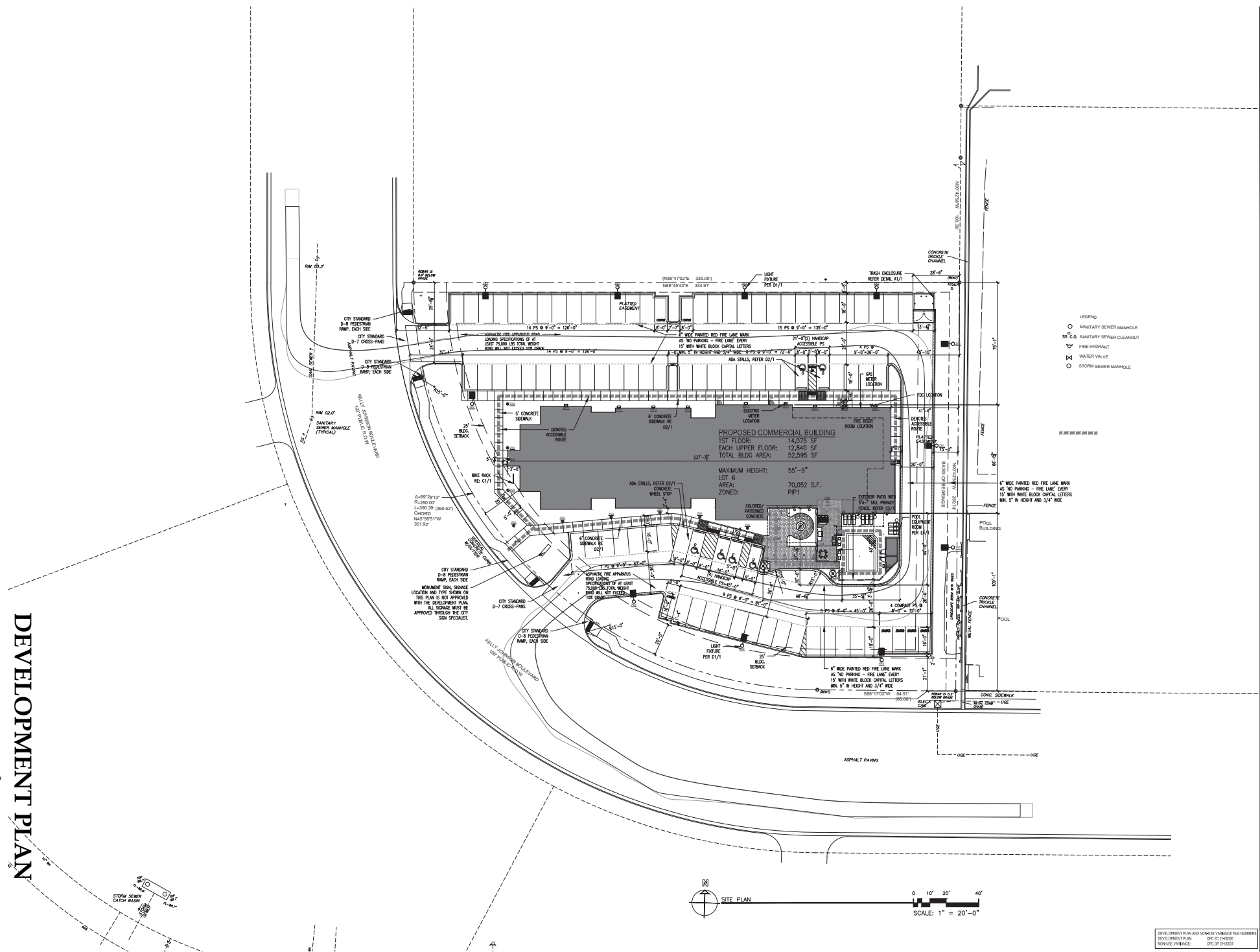
DEVELOPMENT PLAN AND NON-USE WARNING (SEE NUMBER 8)
 DEVELOPMENT PLAN: CPC 22-140009
 NON-USE WARNING: CPC 02-140007

TownPlace Suites
 1230 Kelly Johnson Boulevard
 Colorado Springs, Colorado

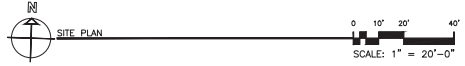
TOWNEPLAC SUITES
 BY HARBERT

March 1, 2021

DEVELOPMENT PLAN



- LEGEND
- SANITARY SEWER MANHOLE
 - S.S. C.A. SANITARY SEWER CLEANOUT
 - ⊕ FIRE HYDRANT
 - ⊕ WATER VALVE
 - STORM SEWER MANHOLE

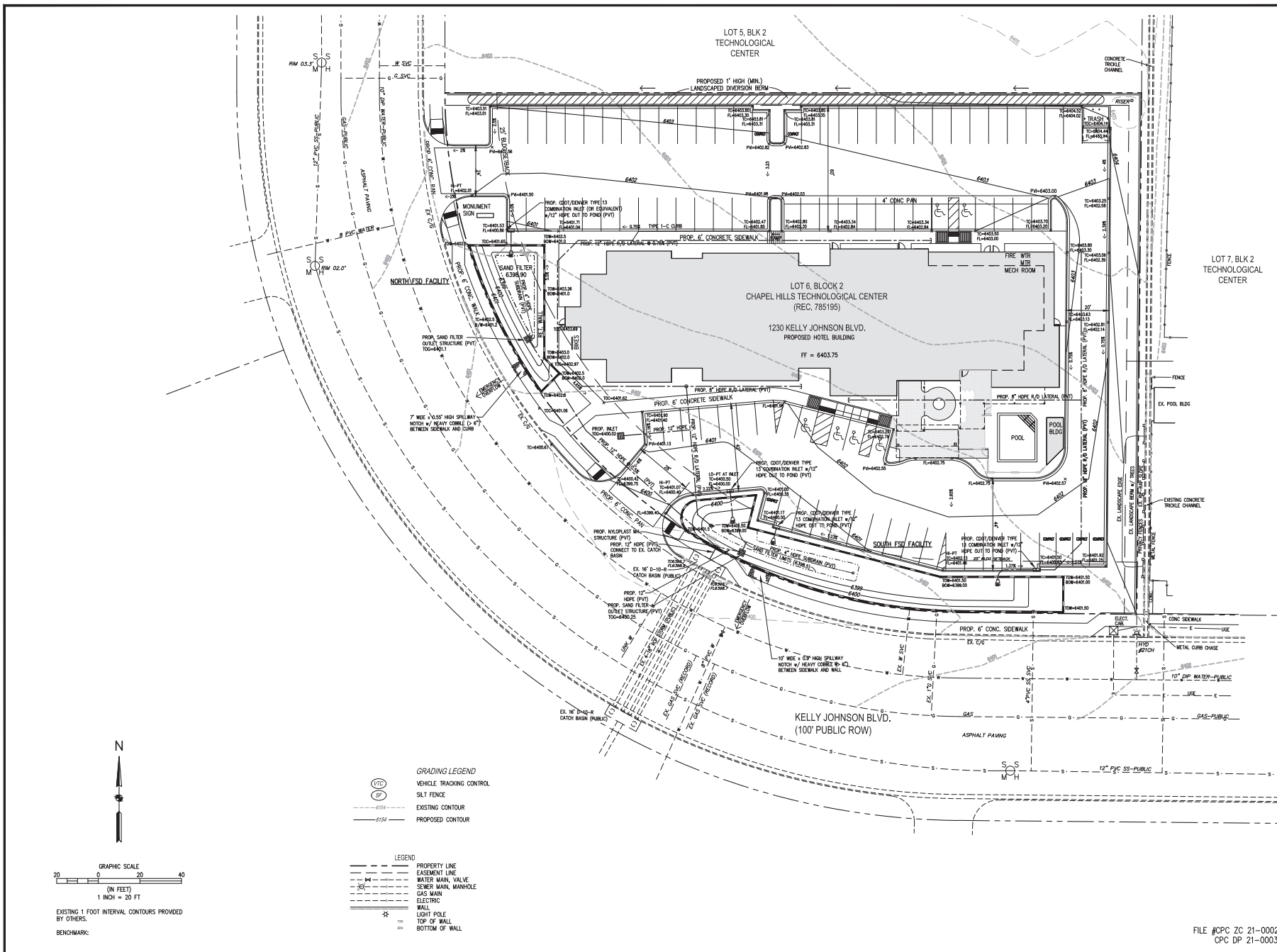


DEVELOPMENT PLAN AND NON-SUBJECT TIE IN NUMBER
 DEVELOPMENT PLAN CIP 22-14000-0
 NON-SUBJECT CIP 07-24000-07

SHEET NO.

R:\35030\KellJohnson\JPH\MIN\35030_Grd-1018.dwg, 5/21/2021 4:07:55 PM, Linda Arnsold

DEVELOPMENT PLAN



DESIGNED BY	SGB
DRAWN BY	LJA
CHECKED BY	SGB
REVISION DESCRIPTION	
PREPARED BY	DATE

PRELIMINARY GRADING PLAN
 EL PASO COUNTY
 LOT 6, BLK 2, CHAPEL HILLS TECHNOLOGICAL CENTER
 1230 KELLY JOHNSON BLVD
 #####

FOR AND ON BEHALF OF
 BASALINE CORPORATION
 INITIAL SUBMITTAL: 02/02/04
 DRAWING SIZE: 24" X 36"
 SURVEY FROM: SURVEY DATE: 02/02/04
 JOB NO.: 35030
 DRAWING NAME: 35030_Grd-1018.dwg
 SHEET: 3 of 8

FILE #CPC ZC 21-00026
 CPC DP 21-00037

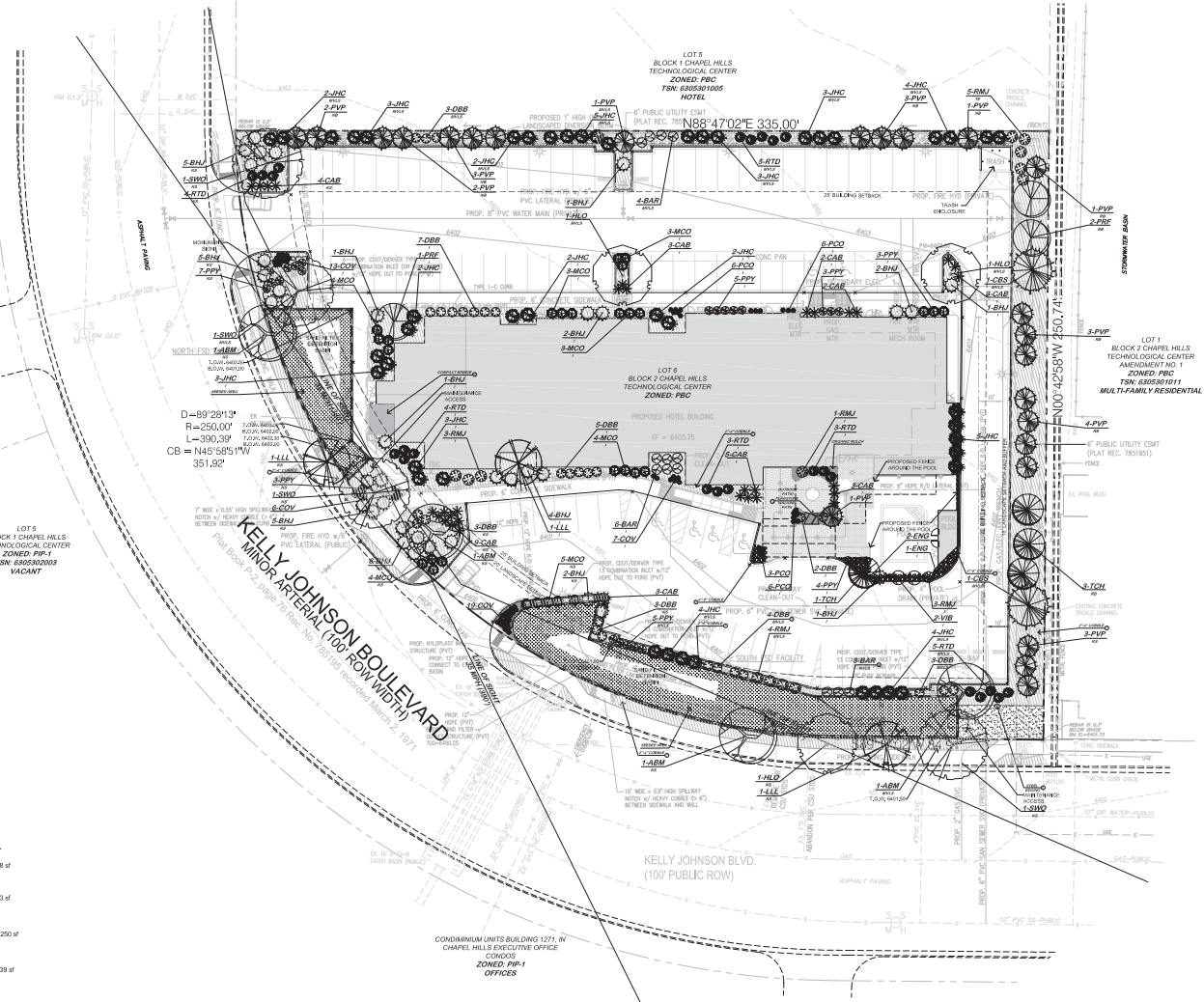
- SEE SHEET 2 OF 2 FOR HYDROZONE MAP
- KEYED NOTES (not all notes shown, items listed condensed only)
- TYPICAL DECIDUOUS TREE PLANTING (see schedule)
- TYPICAL EVERGREEN TREE PLANTING (see schedule)
- TYPICAL SHRUB PLANTING (see schedule)
- TYPICAL ORNAMENTAL PERENNIAL PLANTING (see schedule)
- LANDSCAPE BOLLARD (see schedule)
- TREEL EDGE (see schedule)
- 2" BLUE GREY GRAVEL MULCH (see schedule)
- SCREEN WALL (see schedule)
- 4" COBBLE (see schedule)
- COMPACTED BREEZE (see schedule)
- TURF LAWN AREA (THERMAL BLUE BLEND) (see schedule note for material placement)
- FLAGSTONE PATHWAY

LOT 6 BLOCK 2 CHAPEL HILLS TECHNOLOGICAL CENTER

1230 Kelly Johnson Blvd.
 COLORADO SPRINGS, COLORADO 80920
 1.62 ACRES
 FINAL LANDSCAPE PLAN



YOW ARCHITECTS
 A PROFESSIONAL CORPORATION ARCHITECTURE & PLANNING
 115 S. Weber, Colorado Springs, Colorado 80903
 475-8133



LEGAL DESCRIPTION

LOT 6 BLOCK 2 CHAPEL HILLS TECHNOLOGICAL CENTER

SITE CATEGORY CALCULATIONS

LANDSCAPE STRIPINGS		10000 SECTION PROJECT 2017 (11/10/17) P. 4 & 50	
Code	Area (sq ft)	Required	Provided
10	1000	1000	1000
11	1000	1000	1000
12	1000	1000	1000
13	1000	1000	1000
14	1000	1000	1000
15	1000	1000	1000
16	1000	1000	1000
17	1000	1000	1000
18	1000	1000	1000
19	1000	1000	1000
20	1000	1000	1000
21	1000	1000	1000
22	1000	1000	1000
23	1000	1000	1000
24	1000	1000	1000
25	1000	1000	1000
26	1000	1000	1000
27	1000	1000	1000
28	1000	1000	1000
29	1000	1000	1000
30	1000	1000	1000
31	1000	1000	1000
32	1000	1000	1000
33	1000	1000	1000
34	1000	1000	1000
35	1000	1000	1000
36	1000	1000	1000
37	1000	1000	1000
38	1000	1000	1000
39	1000	1000	1000
40	1000	1000	1000
41	1000	1000	1000
42	1000	1000	1000
43	1000	1000	1000
44	1000	1000	1000
45	1000	1000	1000
46	1000	1000	1000
47	1000	1000	1000
48	1000	1000	1000
49	1000	1000	1000
50	1000	1000	1000

MOTOR VEHICLE LOTS

10000 SECTION PROJECT 2017 (11/10/17) P. 4 & 50	
Code	Area (sq ft)
10	1000
11	1000
12	1000
13	1000
14	1000
15	1000
16	1000
17	1000
18	1000
19	1000
20	1000
21	1000
22	1000
23	1000
24	1000
25	1000
26	1000
27	1000
28	1000
29	1000
30	1000
31	1000
32	1000
33	1000
34	1000
35	1000
36	1000
37	1000
38	1000
39	1000
40	1000
41	1000
42	1000
43	1000
44	1000
45	1000
46	1000
47	1000
48	1000
49	1000
50	1000

INTERNAL LANDSCAPING

10000 SECTION PROJECT 2017 (11/10/17) P. 4 & 50	
Code	Area (sq ft)
10	1000
11	1000
12	1000
13	1000
14	1000
15	1000
16	1000
17	1000
18	1000
19	1000
20	1000
21	1000
22	1000
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36	1000
37	1000
38	1000
39	1000
40	1000
41	1000
42	1000
43	1000
44	1000
45	1000
46	1000
47	1000
48	1000
49	1000
50	1000

SCREENING

10000 SECTION PROJECT 2017 (11/10/17) P. 4 & 50	
Code	Area (sq ft)
10	1000
11	1000
12	1000
13	1000
14	1000
15	1000
16	1000
17	1000
18	1000
19	1000
20	1000
21	1000
22	1000
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39	1000
40	1000
41	1000
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44	1000
45	1000
46	1000
47	1000
48	1000
49	1000
50	1000

LANDSCAPE PLANT SCHEDULE

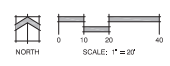
Code	Quantity	Plant Name	Size	Notes
1-BH	10	Blueberry	12" x 12"	Plant in 10" container
2-JHC	20	Japanese Holly	12" x 12"	Plant in 10" container
3-MCO	15	Manzanita	12" x 12"	Plant in 10" container
4-DBB	10	Deciduous Broadleaf	12" x 12"	Plant in 10" container
5-RTD	10	Red-Tipped Dogwood	12" x 12"	Plant in 10" container
6-PPY	10	Prunella	12" x 12"	Plant in 10" container
7-PPY	10	Prunella	12" x 12"	Plant in 10" container
8-PPY	10	Prunella	12" x 12"	Plant in 10" container
9-PPY	10	Prunella	12" x 12"	Plant in 10" container
10-PPY	10	Prunella	12" x 12"	Plant in 10" container
11-PPY	10	Prunella	12" x 12"	Plant in 10" container
12-PPY	10	Prunella	12" x 12"	Plant in 10" container
13-PPY	10	Prunella	12" x 12"	Plant in 10" container
14-PPY	10	Prunella	12" x 12"	Plant in 10" container
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16-PPY	10	Prunella	12" x 12"	Plant in 10" container
17-PPY	10	Prunella	12" x 12"	Plant in 10" container
18-PPY	10	Prunella	12" x 12"	Plant in 10" container
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41-PPY	10	Prunella	12" x 12"	Plant in 10" container
42-PPY	10	Prunella	12" x 12"	Plant in 10" container
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46-PPY	10	Prunella	12" x 12"	Plant in 10" container
47-PPY	10	Prunella	12" x 12"	Plant in 10" container
48-PPY	10	Prunella	12" x 12"	Plant in 10" container
49-PPY	10	Prunella	12" x 12"	Plant in 10" container
50-PPY	10	Prunella	12" x 12"	Plant in 10" container

IRRIGATION SUBMITTALS

1. An irrigation plan shall be submitted at the time of building permit application and approved within 100 days subsequent to building permit issuance or prior to issuance of a certificate of occupancy, whichever comes first.
2. Upon receipt by the applicant, an irrigation plan shall be submitted within 100 days subsequent to building permit issuance and approved prior to the finalization of any irrigation components and prior to issuance of a certificate of occupancy.
3. In the case of the construction of accessory to residential use that does not involve the construction of a structure, an irrigation plan shall be submitted and approved concurrent with development plan review and approval.
4. The irrigation plan shall graphically and through notes detail a water efficient design consistent with the landscape and grading plans.
5. The irrigation plan shall show and note hydrometers. The hydrometers shall take into account the water demand plants, slopes, microclimates, environmental factors, and water pressure.
6. Irrigation systems shall conform to the irrigation standards and other provisions of the Landscape Code and Irrigation policy manual.
7. This is submitted directly to City Planning & Community Development, Land Use Review office, located at 30 South Nevada Ave, Suite 105.

HATCH LEGEND

TURF	628 sf
4" COBBLE	903 sf
3" COBBLE	10,250 sf
ORGANIC MULCH	239 sf
NATIVE SEED MIX	3,736 sf
PERENNIAL BUTTERFLY FIELD (40% PLANTING)	
20% Blue Grass	
20% Butterfly Grass	
20% Western Ornamental	
20% Mexican Grass	
10% Green Redgrass	
10% Seed Orchard	
COMPACTED BREEZE	131 sf



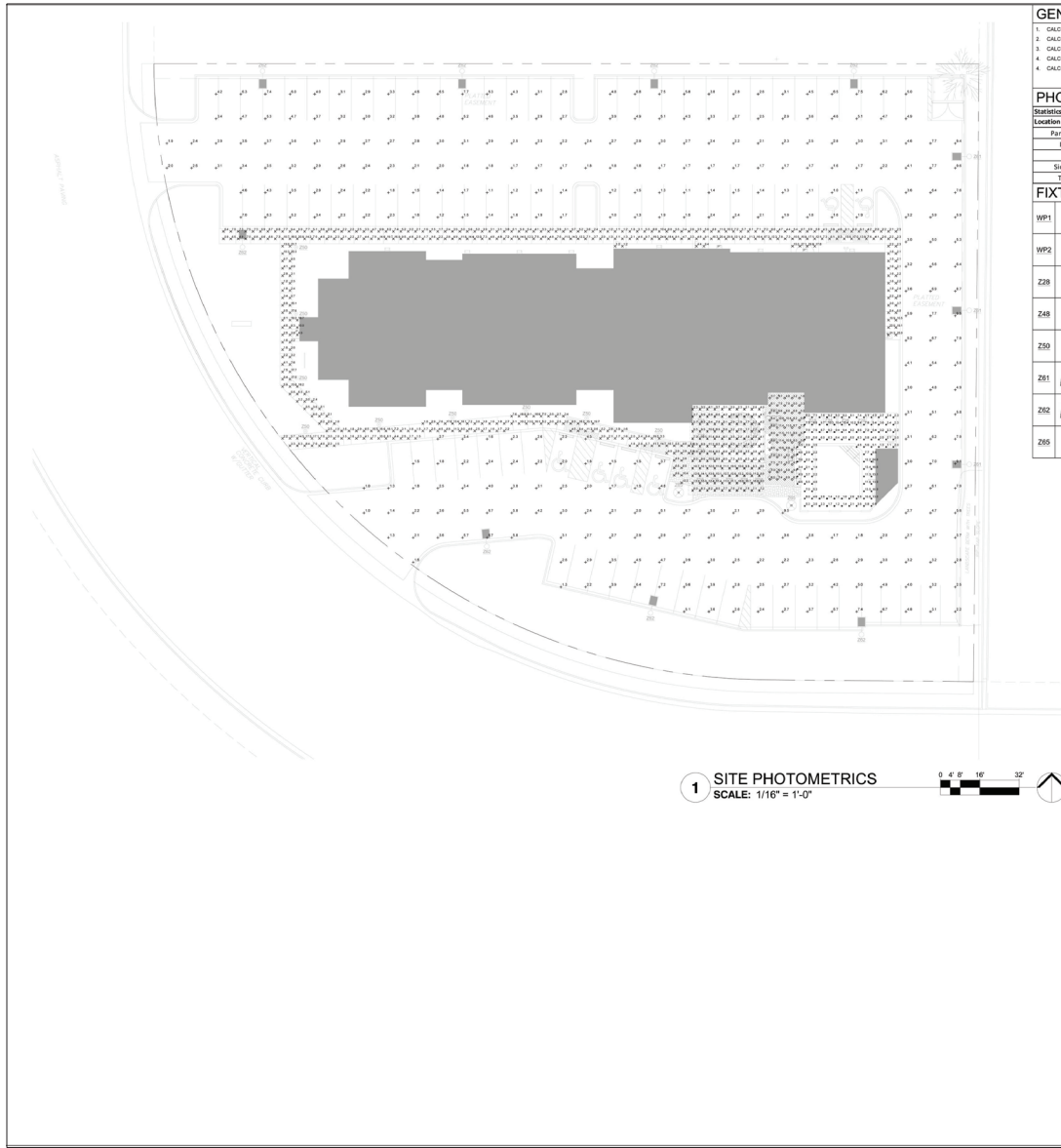
DEVELOPMENT PLAN

Lot 6 Block 2 Chapel Hills Technological Center
 1230 Kelly Johnson
 Colorado Springs, Colorado 80903

DATE	2024
DRAWN	SP
DATE	5-19-2021
REVISION	

5 of 8
 LANDSCAPE PLAN

DEVELOPMENT PLAN



1 SITE PHOTOMETRICS
SCALE: 1/16" = 1'-0"

GENERAL NOTES:

1. CALCULATION ZONE @ PARKING LOT IS A 15'X17' GRID.
2. CALCULATION ZONE @ PATIO IS A 3'X3' GRID.
3. CALCULATION ZONE @ POOL IS A 3'X3' GRID.
4. CALCULATION ZONE @ SIDEWALK IS A 3'X3' GRID.
5. CALCULATION ZONE @ TRELLIS IS A 3'X3' GRID.

PHOTOMETRIC STATISTICS:

Location	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking Lot	+	3.5 fc	9.6 fc	1.0 fc	9.6:1	3.5:1
Patio	*	7.5 fc	11.9 fc	1.0 fc	7.5:1	4.7:1
Pool	■	6.1 fc	16.9 fc	1.1 fc	15.4:1	5.5:1
Sidewalk	◇	6.9 fc	11.3 fc	1.0 fc	11.3:1	6.9:1
Trellis	+	7.5 fc	14.1 fc	1.7 fc	8.3:1	4.2:1

FIXTURE SCHEDULE:

WP1		30W 5W WALL PACK 4000K DARK BRONZE
WP2		30W 5W WALL PACK 4000K DARK BRONZE
Z28		30W LED STEAMHEATED CYLINDER 4000K W/REDM FLOOD BLACK
Z48		30W LED WALL LIGHT 4000K BLACK
Z30		20W CONE REFLECTOR BOLLARD 4000K DARK BRONZE
Z81		14 W LED HEAD, DARK BRONZE 5000K, TYPE 2 DISTRIBUTION 8\"/>
Z82		14 W LED HEAD, DARK BRONZE 5000K, TYPE 2 DISTRIBUTION 8\"/>
Z85		30W POST TOP LIGHT, BRONZE 4000K 8\"/>

LIGHTING CONSULTANT



535 PRINCELAND COURT
CORONA, CA 92679
P: 951.345.8475
JSA@ASSOCIATESINC.COM

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OWNER



SUN CAPITALS HOTELS & SUITES
8001 ADAMS ST
ALBUQUERQUE, NM 87113

PROJECT:

TOWNEPLACE SUITES - HARRIOTT

TOWNEPLACE SUITES - COLORADO SPRINGS, CO
COLORADO SPRINGS, CO

DESCRIPTION: SITE LIGHTING DESIGN & PHOTOMETRICS

DATE: 2021.02.03

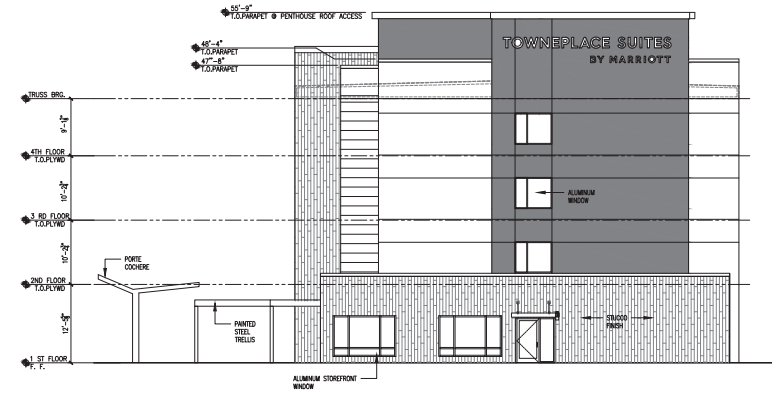
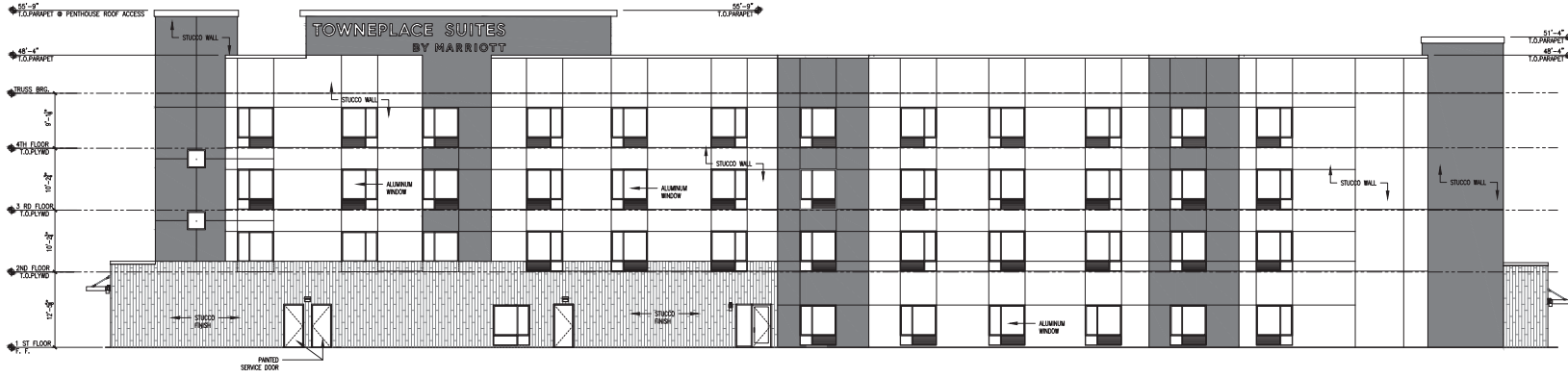
PRELIMINARY

NOT FOR CONSTRUCTION

DRAWN BY: L.V.
CHECKED BY: S.G.
SCALE: AS SHOWN
SHEET TITLE:
SITE PHOTOMETRICS
SHEET NO.:
LTG-1.1

DEVELOPMENT PLAN AND NON-DEVELOPMENT PLAN NUMBER:
DEVELOPMENT PLAN: CPC 22-140019
NON-DEVELOPMENT PLAN: CPC DP 2-140017

DEVELOPMENT PLAN



VARIANCE NOTE

- NON-USE VARIANCE - THIS VARIANCE SHALL REDUCE THE ALLOWANCE OF A PARAPET WALL AT THE PENHOUSE ROOF ACCESS TO EXCEED THE 4:20' HEIGHT MINIMUM ABOVE THE ROOF LINE.
- THE BRACKET WALL EXTENDS ON THE BUILDING IS AT 40'-0"
- THE HIGHEST POINT OF THE ROOF TOP IS AT 40'-0"
- THE CHIMNEY, POKE IS EXCEEDING THE MINIMUM ALLOWANCE BY 4'-0"

ELEVATION PLAN

DEVELOPMENT PLAN AND NON-USE VARIANCE (SEE NUMBER)
 DEVELOPMENT PLAN: CPC 22-140020
 NON-USE VARIANCE: CPC DP 2-0007

DRAWING NAME
 REVISIONS
 Δ

TownePlace Suites
 1230 Kelly Johnson Boulevard
 Colorado Springs, Colorado

TOWNEPLACE SUITES BY MARRIOTT