



# Bates Student Housing

Colorado Springs, Colorado  
Colorado Springs City Planning Commission  
July 16, 2015

# Team

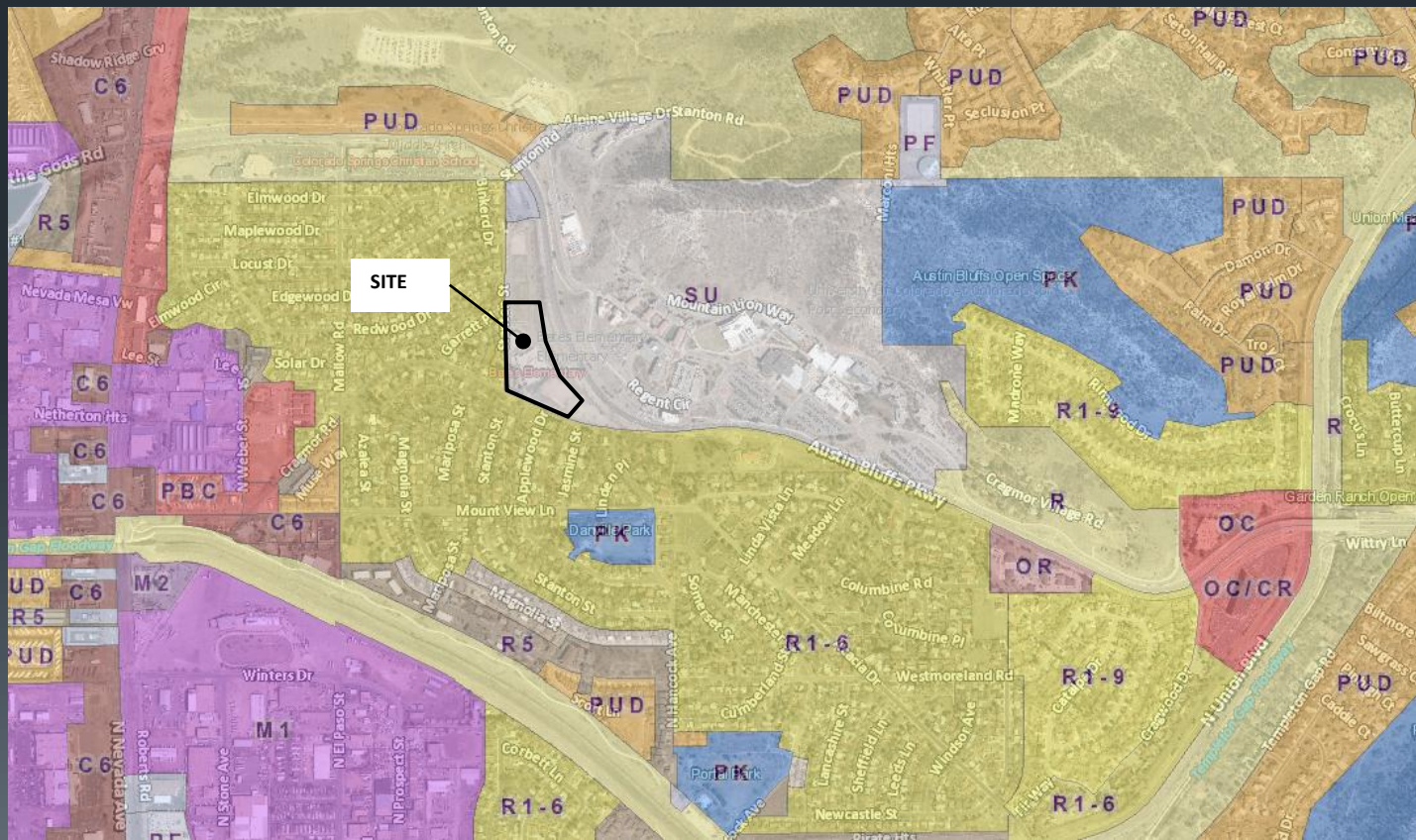
Developer:	GGLG Colorado Springs
Vertical Partner:	Gilbane Dev. Co.
Applicant/Landscape Architect:	N.E.S. Inc.
Architect:	Kitchen & Associates
Civil Engineer:	JPS Engineering
Traffic:	Felsburg Holt & Ullevig
Geotechnical:	Terracon

# STAKEHOLDER PROCESS

- Neighborhood Meeting (Introductory)- March 5, 2015
- CONO Meeting- April 13, 2015
- CONO Meeting- May 11, 2015
- Neighborhood Meeting (Development Application)- May 19, 2015
- CONO Meeting- July 7, 2015

# ZONING

SU (Special Use), which includes multi-family residential as a permitted use (as are dormitory, fraternity and sorority house). The zoning code defines Special Use as: *This zone district accommodates primarily colleges or universities and those uses customarily associated with and in close proximity to those institutions. The zone encourages the use of active and passive open space within an urban environment.*

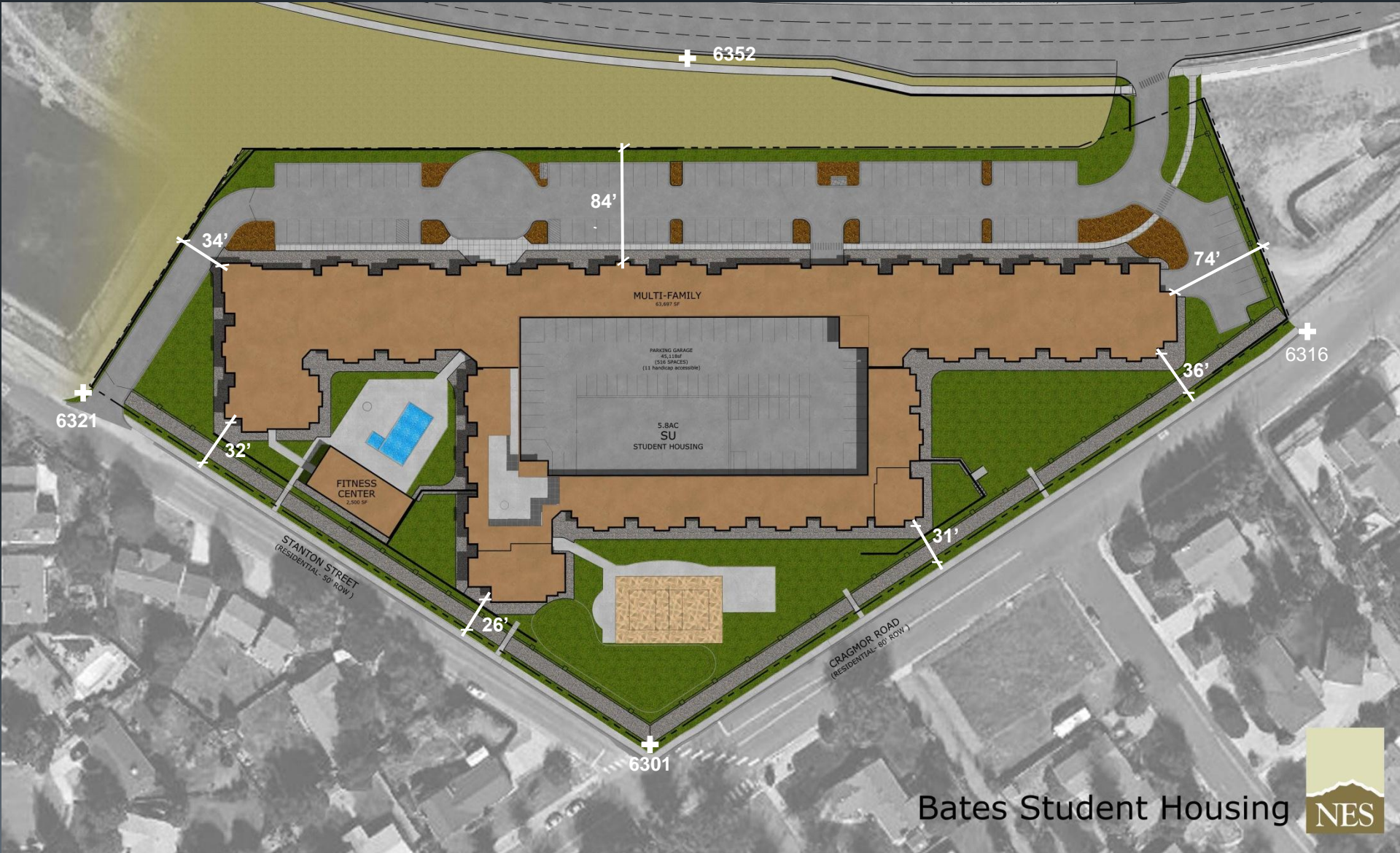




# ZONING

SU Zones	Permitted	Proposed
Building setbacks		
- Front (Austin Bluffs)	25' min.	86'
- Rear (Cragmor/Stanton)	25' min.	26'+
- Sides	5' min.	34'
Lot Coverage	50% max.	38%
Building Height	60' max.	56' max.

# ZONING

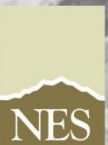


## DEVELOPMENT DATA

Lot size:	5.8 ac
Total units:	187
Total bedrooms:	621
Parking required (apartments):	355 spaces
Parking provided:	621 spaces



# DEVELOPMENT PLAN





# DEVELOPMENT PLAN REVIEW CRITERIA

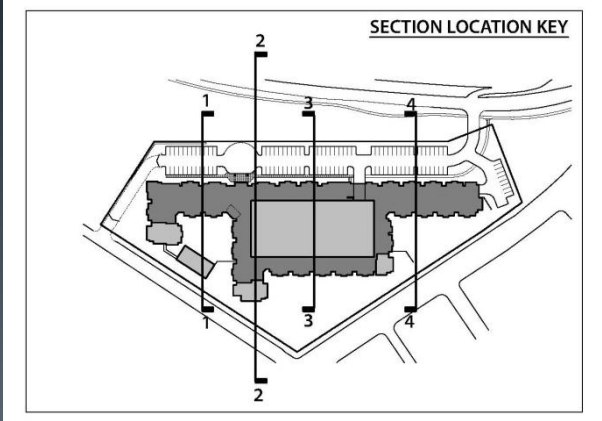
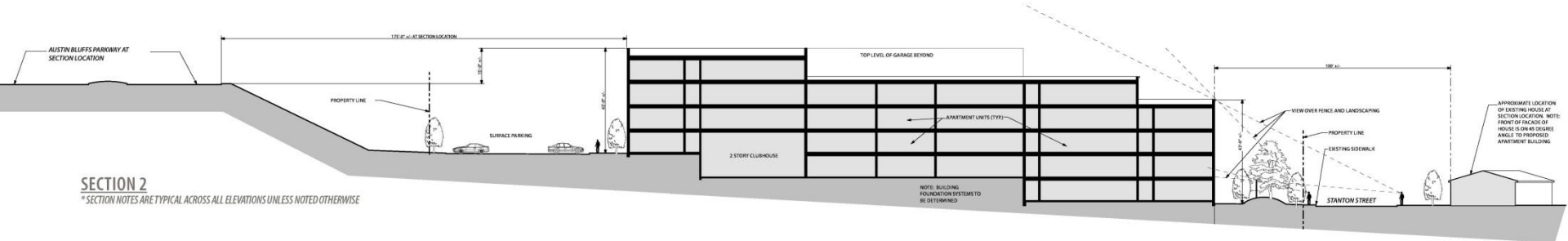
1. Will the project design be harmonious with the surrounding land uses and neighborhood? YES





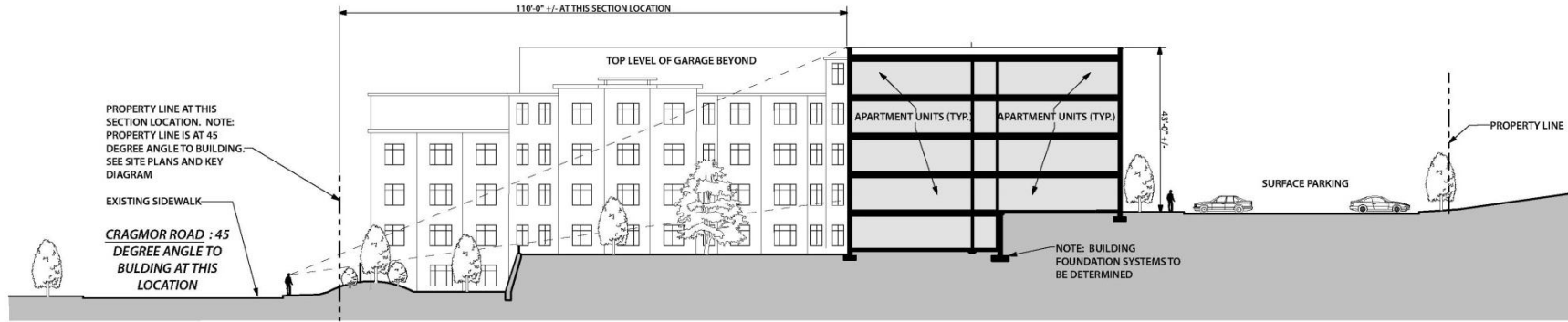
# DEVELOPMENT PLAN REVIEW CRITERIA

1. Will the project design be harmonious with the surrounding land uses and neighborhood? YES

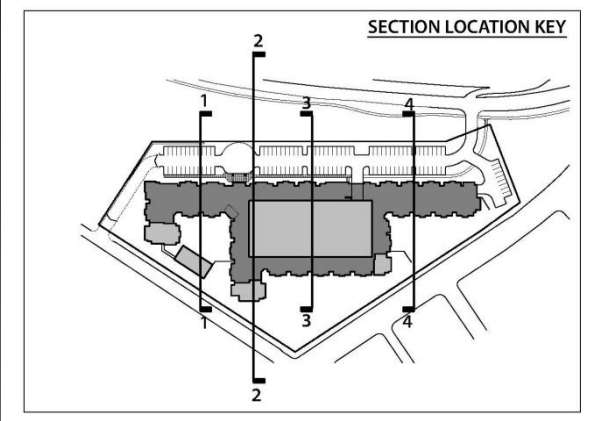


# DEVELOPMENT PLAN REVIEW CRITERIA

1. Will the project design be harmonious with the surrounding land uses and neighborhood? YES



**SECTION 4**  
\*SECTION NOTES ARE TYPICAL ACROSS ALL ELEVATIONS UNLESS NOTED OTHERWISE



# DEVELOPMENT PLAN REVIEW CRITERIA

12

1. Will the project design be harmonious with the surrounding land uses and neighborhood? YES



STANTON ST. ELEVATION

# DEVELOPMENT PLAN REVIEW CRITERIA

1. Will the project design be harmonious with the surrounding land uses and neighborhood? YES

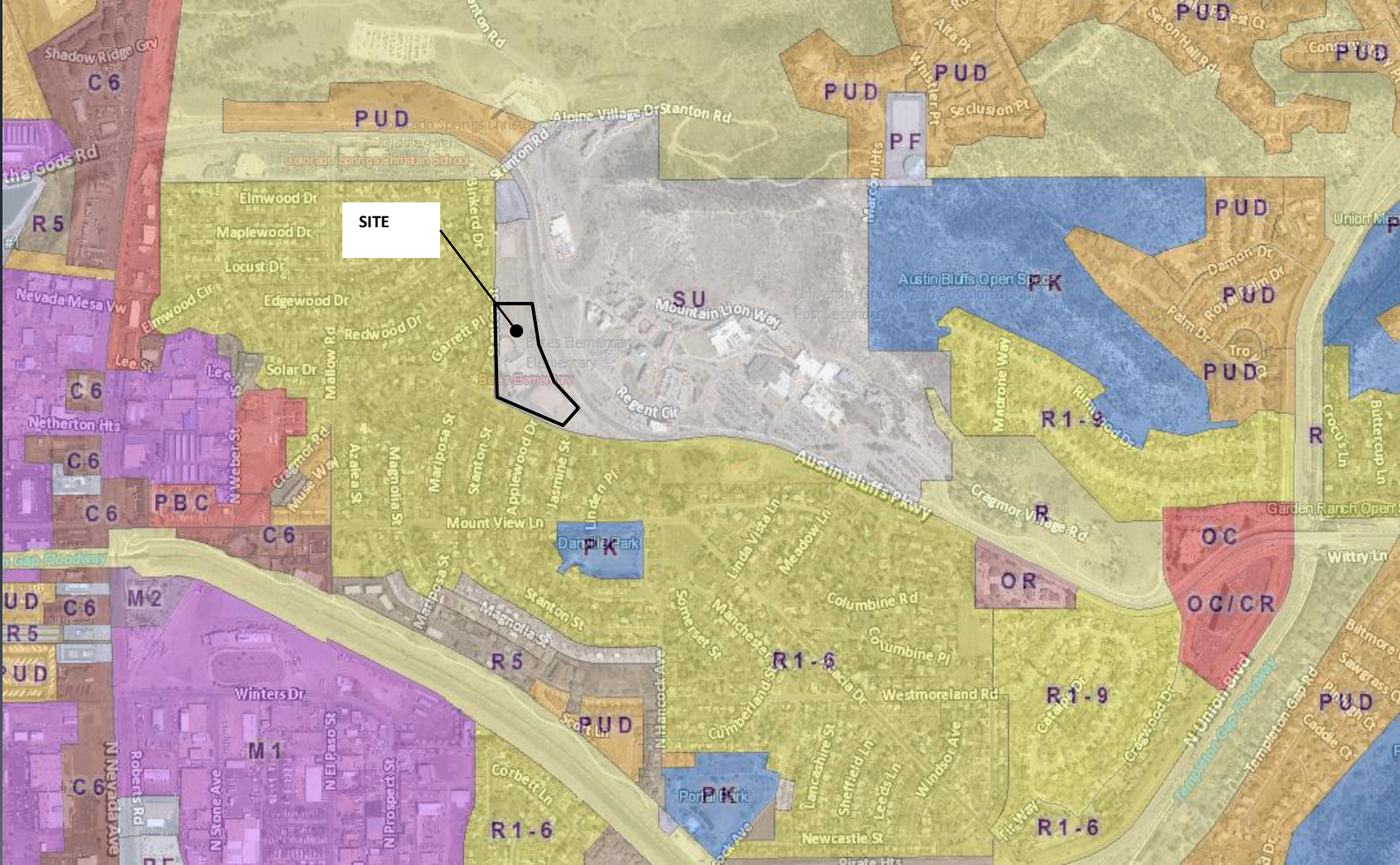


CRAGMOR RD. ELEVATION



# DEVELOPMENT PLAN REVIEW CRITERIA

2. Will the proposed land uses be compatible with the surrounding neighborhood? YES





# DEVELOPMENT PLAN REVIEW CRITERIA

3. Will the structures be located to minimize the impact of their use and bulk on adjacent properties? YES

15





# DEVELOPMENT PLAN REVIEW CRITERIA



4. Will landscaping, berms, fences and/or walls be provided to buffer the site from undesirable views, noise, lighting or other off site negative influences and to buffer adjacent properties from negative influences that may be created by the proposed development? YES





# DEVELOPMENT PLAN REVIEW CRITERIA



4. Will landscaping, berms, fences and/or walls be provided to buffer the site from undesirable views, noise, lighting or other off site negative influences and to buffer adjacent properties from negative influences that may be created by the proposed development? YES



# DEVELOPMENT PLAN REVIEW CRITERIA



- 4. Will landscaping, berms, fences and/or walls be provided to buffer the site from undesirable views, noise, lighting or other off site negative influences and to buffer adjacent properties from negative influences that may be created by the proposed development? YES

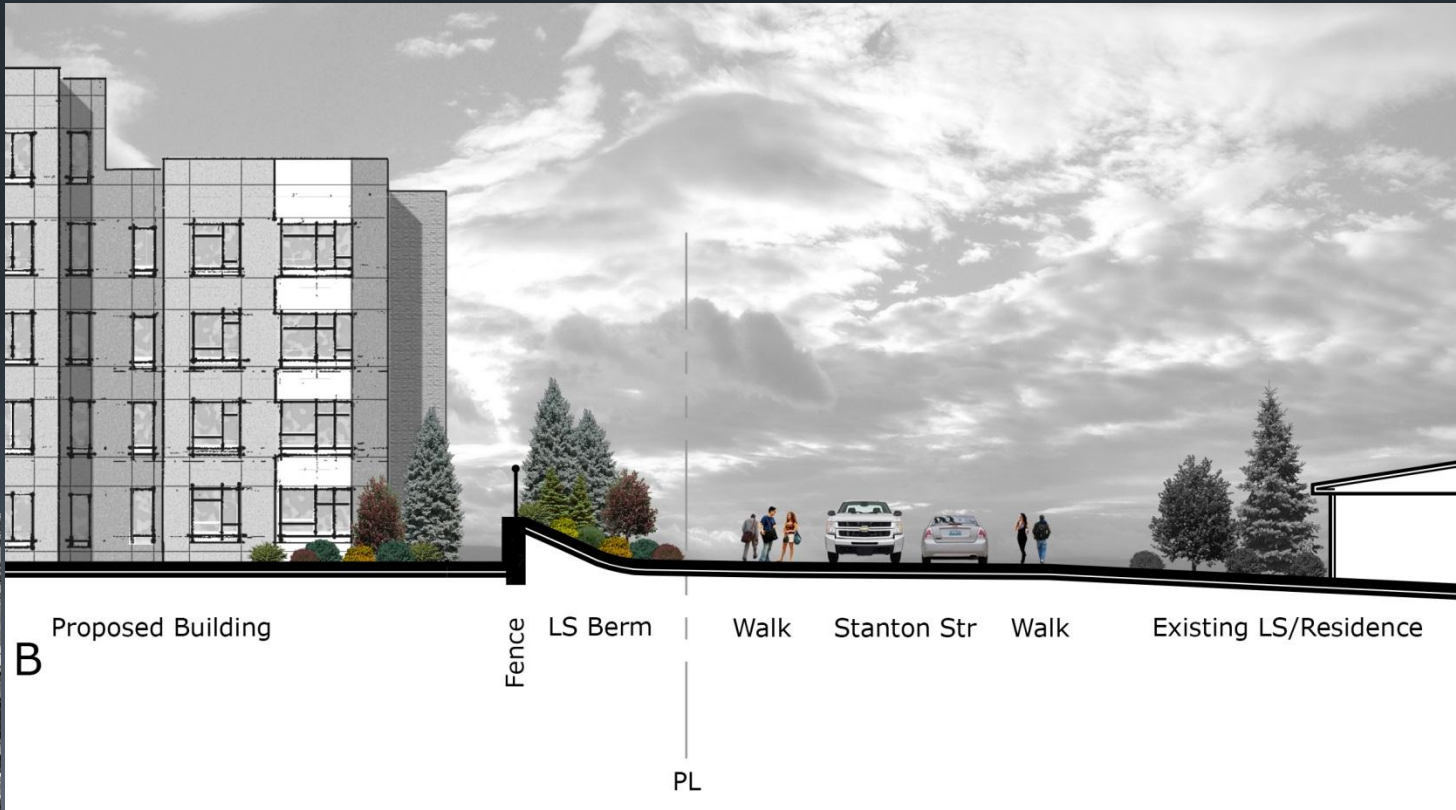




# DEVELOPMENT PLAN REVIEW CRITERIA



- 4. Will landscaping, berms, fences and/or walls be provided to buffer the site from undesirable views, noise, lighting or other off site negative influences and to buffer adjacent properties from negative influences that may be created by the proposed development? YES

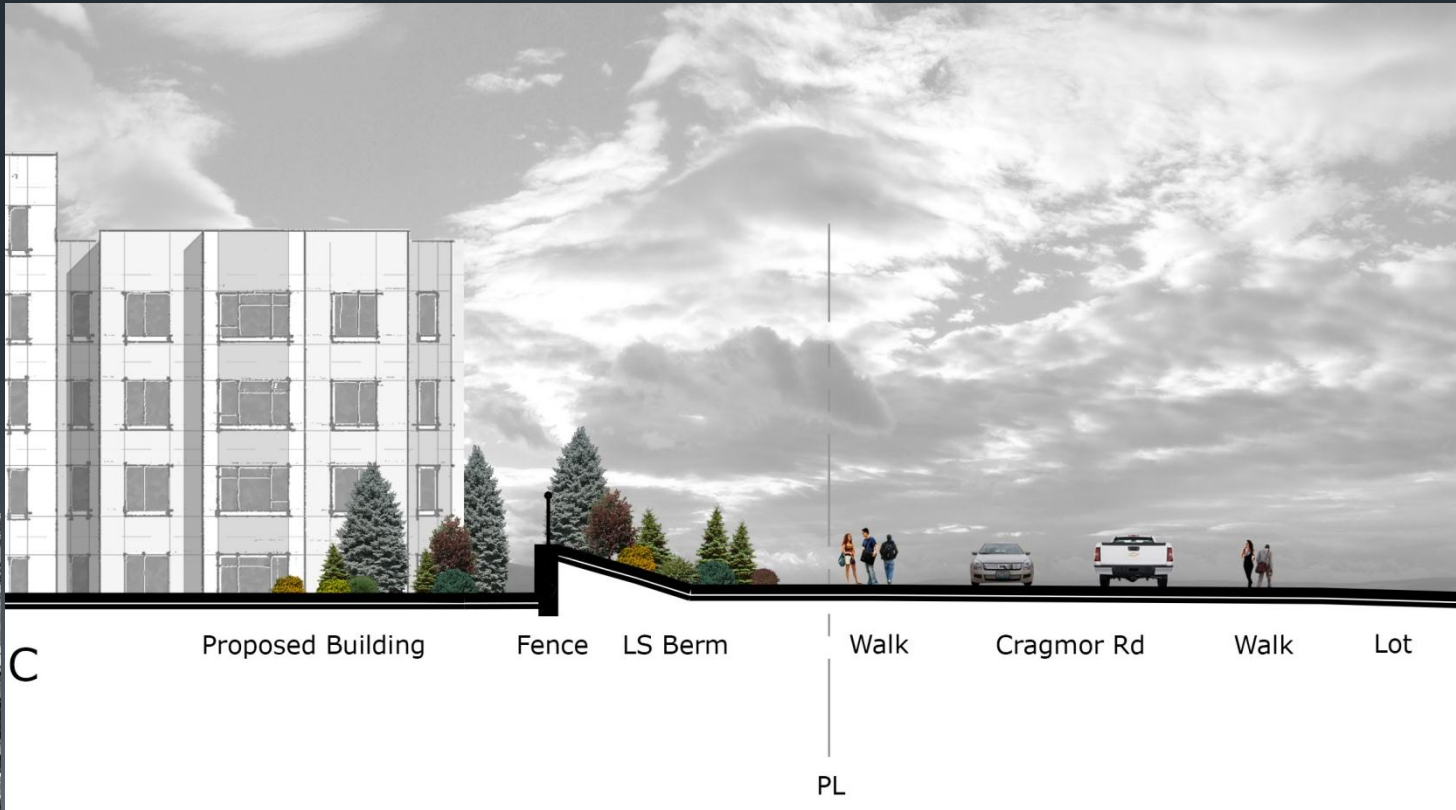




# DEVELOPMENT PLAN REVIEW CRITERIA



- 4. Will landscaping, berms, fences and/or walls be provided to buffer the site from undesirable views, noise, lighting or other off site negative influences and to buffer adjacent properties from negative influences that may be created by the proposed development? YES



# DEVELOPMENT PLAN REVIEW CRITERIA



- 4. Will landscaping, berms, fences and/or walls be provided to buffer the site from undesirable views, noise, lighting or other off site negative influences and to buffer adjacent properties from negative influences that may be created by the proposed development? YES



# DEVELOPMENT PLAN REVIEW CRITERIA

- 5. Will vehicular access from the project to streets outside the project be combined, limited, located, designed and controlled to channel traffic to and from such areas conveniently and safely and in such a manner which minimizes traffic friction, noise and pollution and promotes free traffic flow without excessive interruption? YES





# DEVELOPMENT PLAN REVIEW CRITERIA

- 6. Will all the streets and drives provide logical, safe and convenient vehicular access to the facilities within the project? YES



# DEVELOPMENT PLAN REVIEW CRITERIA

- 7. Will streets and drives within the project area be connected to streets outside the project area in such a way that discourages their use by through traffic? YES





# DEVELOPMENT PLAN REVIEW CRITERIA



8. Will adequately sized parking areas be located throughout the project to provide safe and convenient access to specific facilities? YES





# DEVELOPMENT PLAN REVIEW CRITERIA



9. Will safe and convenient provision for the access and movement of handicapped persons and parking of vehicles for the handicapped be accommodated in the project design? **YES**





# DEVELOPMENT PLAN REVIEW CRITERIA

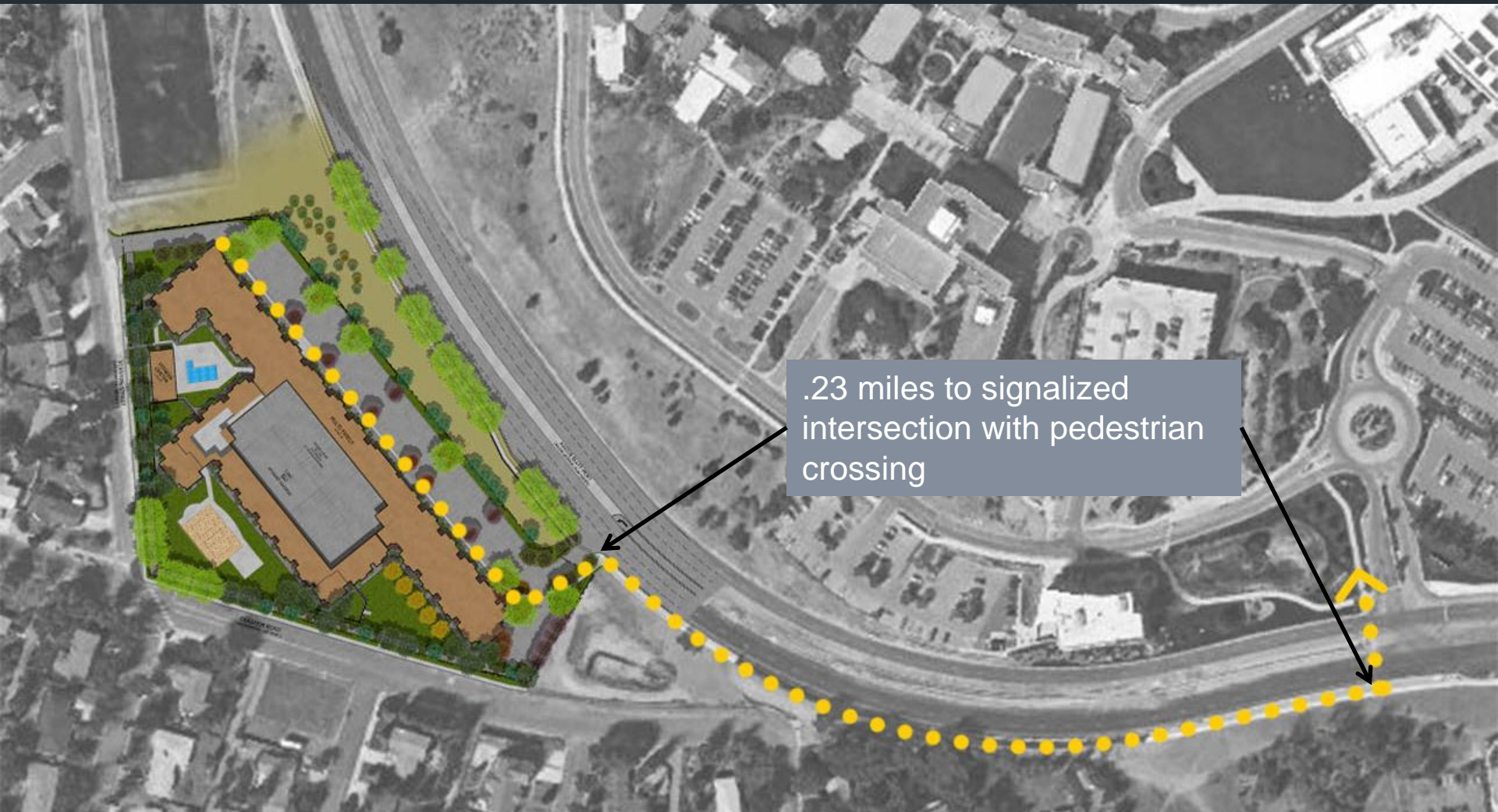
10. Will the design of streets, drives and parking areas within the project result in a minimum of area devoted to asphalt? YES





# DEVELOPMENT PLAN REVIEW CRITERIA

11. Will pedestrian walkways be functionally separated from vehicular traffic and landscaped to accomplish this? Will pedestrian walkways be designed and located in combination with other easements that are not used by motor vehicles? YES





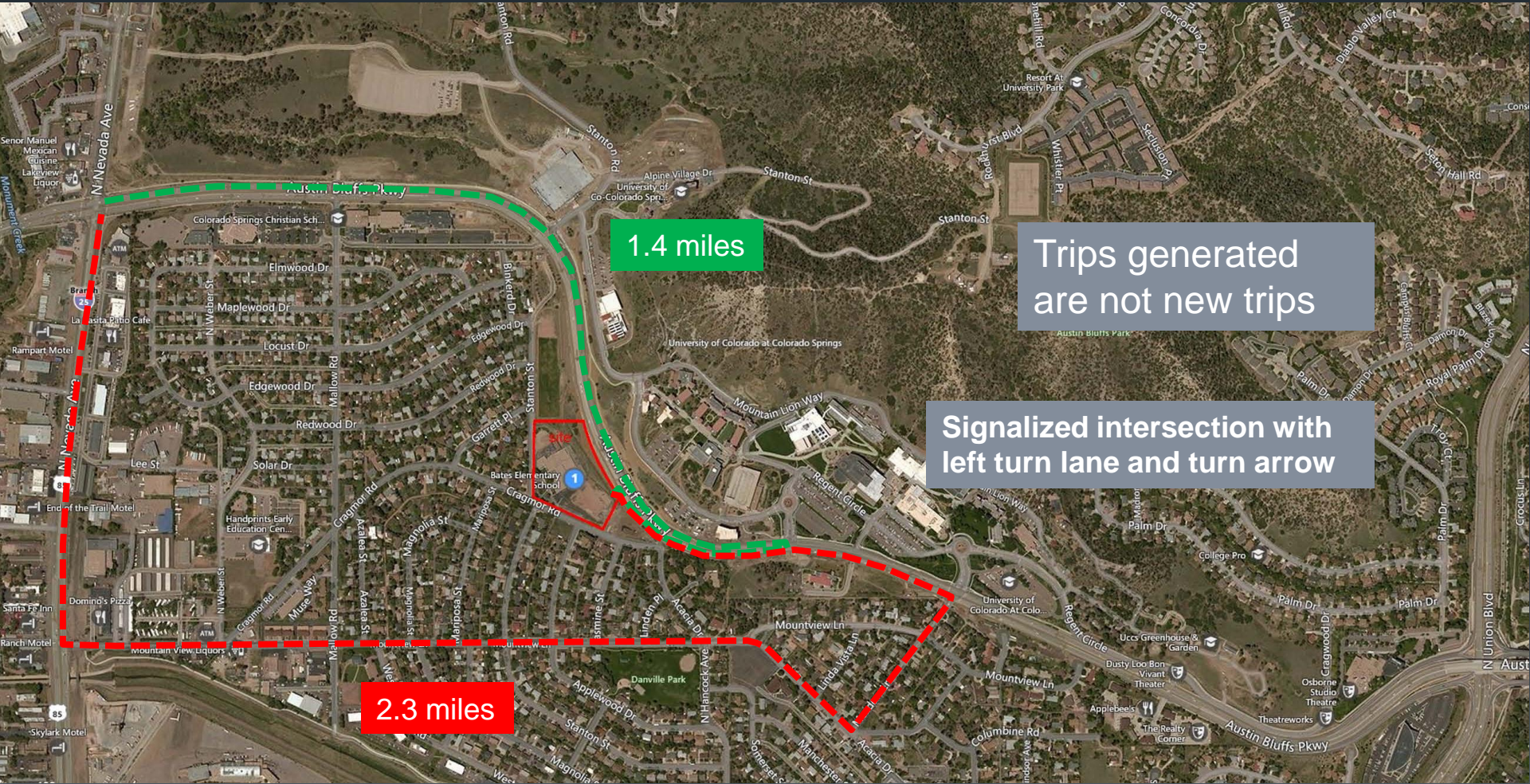
# DEVELOPMENT PLAN REVIEW CRITERIA

12. Does the design encourage the preservation of significant natural features such as healthy vegetation, drainage channels, steep slopes and rock outcroppings? Are these significant natural features incorporated into the project design? N/A

29



# Traffic



1.4 miles

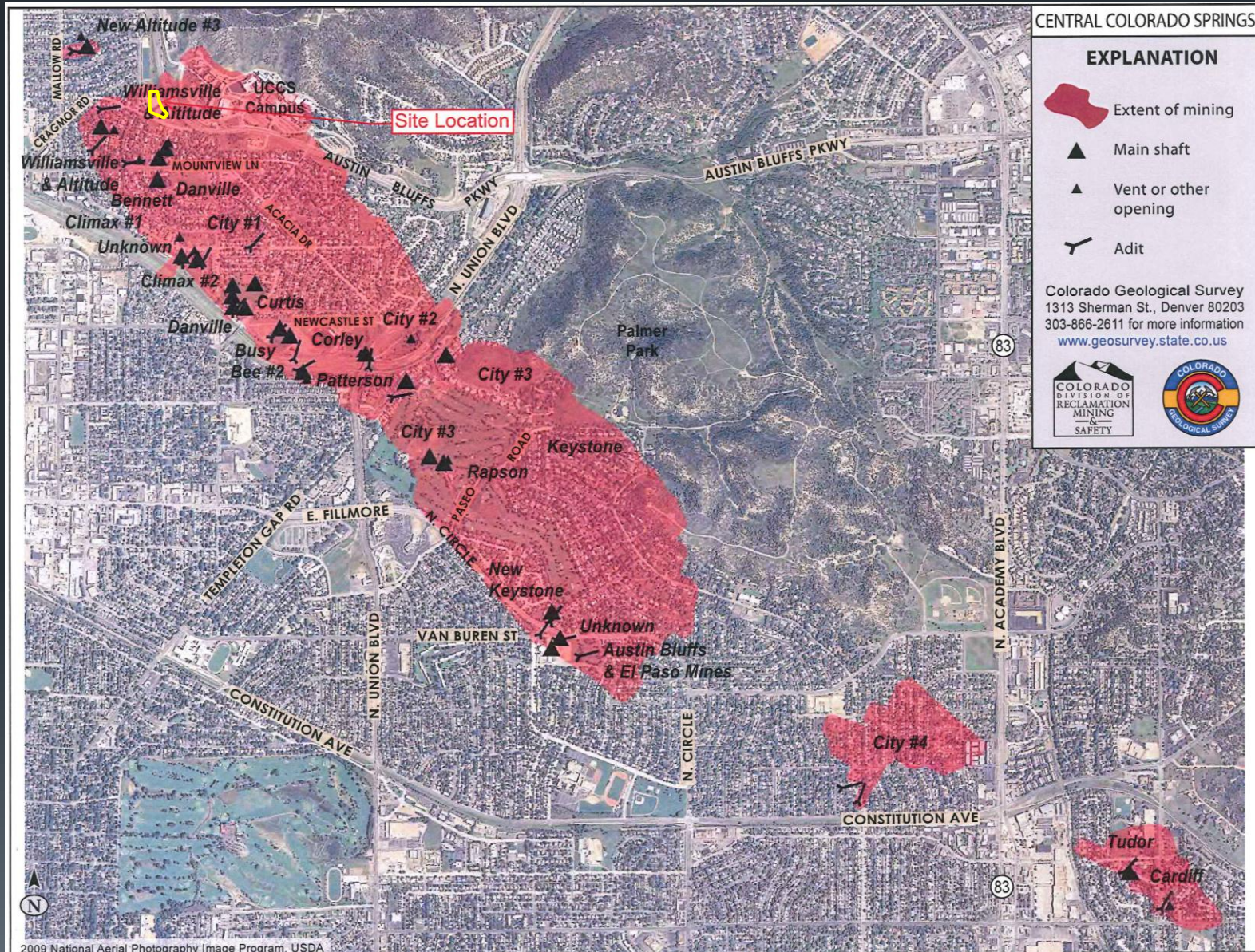
Trips generated are not new trips

Signalized intersection with left turn lane and turn arrow

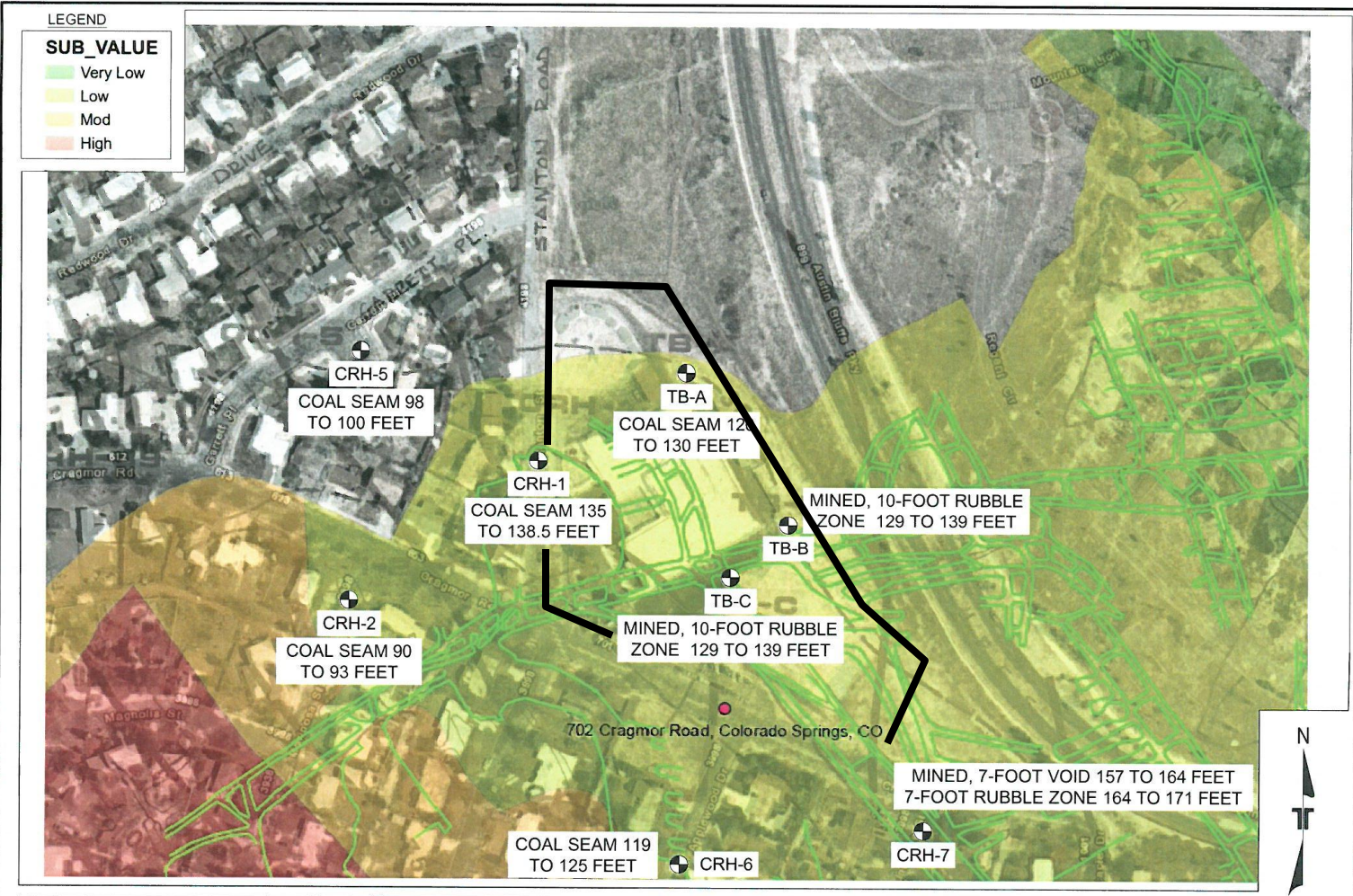
2.3 miles



# Geotechnical/Mines







NOTE: COLORADO DIVISION OF RECLAMATION MINING & SAFETY MINE SUBSIDENCE HAZARD POTENTIAL MAP, USED AS BASE DRAWING.

DIAGRAM IS FOR GENERAL LOCATION ONLY, AND IS NOT INTENDED FOR CONSTRUCTION PURPOSES.

Project Mgr:	RWF	Project No:	23155012
Drawn By:	RMH	Scale:	NOT TO SCALE
Checked By:	RWF	File No:	Fig7-MSH
Approved By:	RWF	Date:	04-28-2015

**Terracon**  
Consulting Engineers and Scientists

4172 Center Park Drive Colorado Springs, Colorado 80916  
PH: (719) 597-2116 FAX: (719) 597-2117

SITE VICINITY MAP MINE SUBSIDENCE HAZARD POTENTIAL

GG Land Group Colorado Springs LLC  
UCCS BATES STUDENT HOUSING  
702 CRAGMOR ROAD  
COLORADO SPRINGS COLORADO

Ex. No.  
**A-6**



# Quality of Life

- No balconies
- 24/7 property management with live-in staff
- State-of-the-art amenities
- Resident social programs





# Drainage





# UCCS:

## 2012 Master Plan

### Housing Needs

*There are no guidelines for the amount of residential space a campus should provide. Supply of on-campus student housing is the result of an interaction between policy decisions about student housing, student demand, and market supply of housing units nearby.*

20% of students housed on campus at CU Boulder and CSU.

As of Fall 2014, Freshmen under 20 with less than 30 hours of completed course work are required to live on campus (unless El Paso, Teller, Douglas or Pueblo County resident)

### Projected growth

2011	9321 students/900 beds (1491 beds)
2020	13,000 (2400 beds)

Master Plan allocates capacity for facilities that would accommodate 20,000 to 23,000 students

20% model: 20,000 students= 4,000 on campus/16,000 off campus

# Infill/Redevelopment

White Paper Draft 7/1/2014

Infill is any combination of development of vacant properties, redevelopment, major expansion or adaptive reuse occurring in predominantly developed areas of the City

Property lies within the infill boundary defined by the City.

As with mixed use, densification or intensification is not recommended as a definitional requirement. However in many circumstances this is and should be a desired result.

## Barriers

Opposition from neighboring property owners can increase the risk of project denial or need for costly mitigation. And, the required public process can take longer in these areas, resulting in higher processing and/or financing costs. This issue is most prevalent in higher end single-family areas.

Infill developers may be required to make costly transportation or utility upgrades to facilities that do not meet current standards, and/or provide additional capacity. Compared with many greenfield scenarios, there may be limited potential for cost recovery from other developers.



## Request approval of the Bates Student Housing Project :

Compliant with City codes

Supports UCCS

Infill/Redevelopment

Development costs (access, mines, environmental)



# Bates Student Housing

Colorado Springs, Colorado



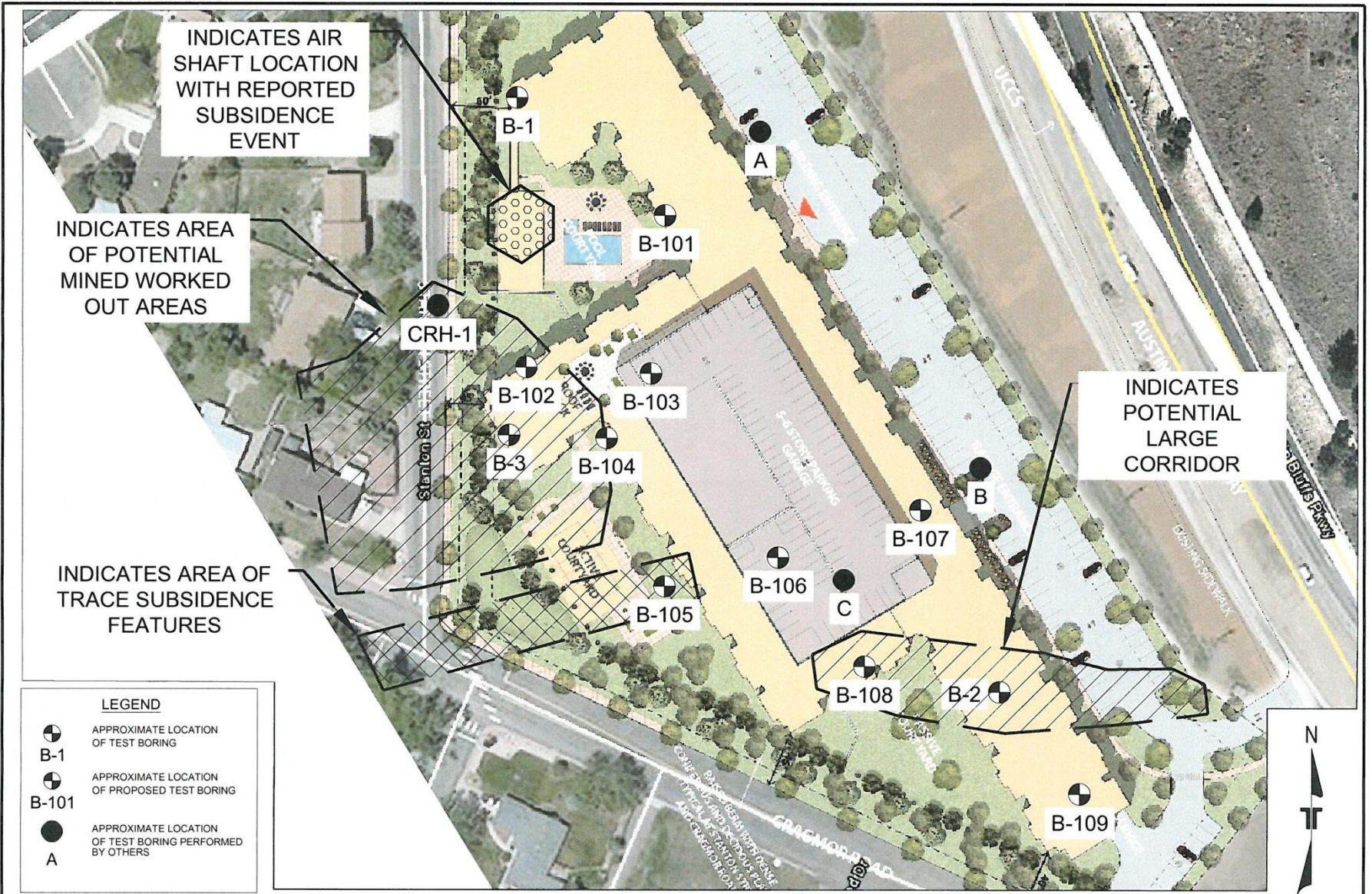


# Geotechnical/Mines

40










INDICATES AIR SHAFT LOCATION WITH REPORTED SUBSIDENCE EVENT

INDICATES AREA OF POTENTIAL MINED WORKED OUT AREAS

INDICATES AREA OF TRACE SUBSIDENCE FEATURES

INDICATES POTENTIAL LARGE CORRIDOR

**LEGEND**

-  APPROXIMATE LOCATION OF TEST BORING
-  APPROXIMATE LOCATION OF PROPOSED TEST BORING
-  APPROXIMATE LOCATION OF TEST BORING PERFORMED BY OTHERS

NOTE: PROPOSED UCSS BATES ELEMENTARY SCHOOL STUDENT HOUSING SITE LAYOUT, USED AS BASE DRAWING.

Project Mgr:	RWF	Project No:	23155012
Drawn By:	RMH	Scale:	NOT TO SCALE
Checked By:	RWF	File No:	Fig10-PDS
Approved By:	RWF	Date:	04-28-2015

**Terracon**  
 Consulting Engineers and Scientists  
 4172 Center Park Drive Colorado Springs, Colorado 80916  
 PH. (719) 597-2116 FAX. (719) 597-2117

EXISTING AND PROPOSED MINE BORINGS WITH PROPOSED LAYOUT  
 GG Land Group Colorado Springs LLC  
 UCSS BATES STUDENT HOUSING  
 702 CRAGMOR ROAD  
 COLORADO SPRINGS COLORADO

Ex. No.  
**A-1**

DIAGRAM IS FOR GENERAL LOCATION ONLY, AND IS NOT INTENDED FOR CONSTRUCTION PURPOSES.



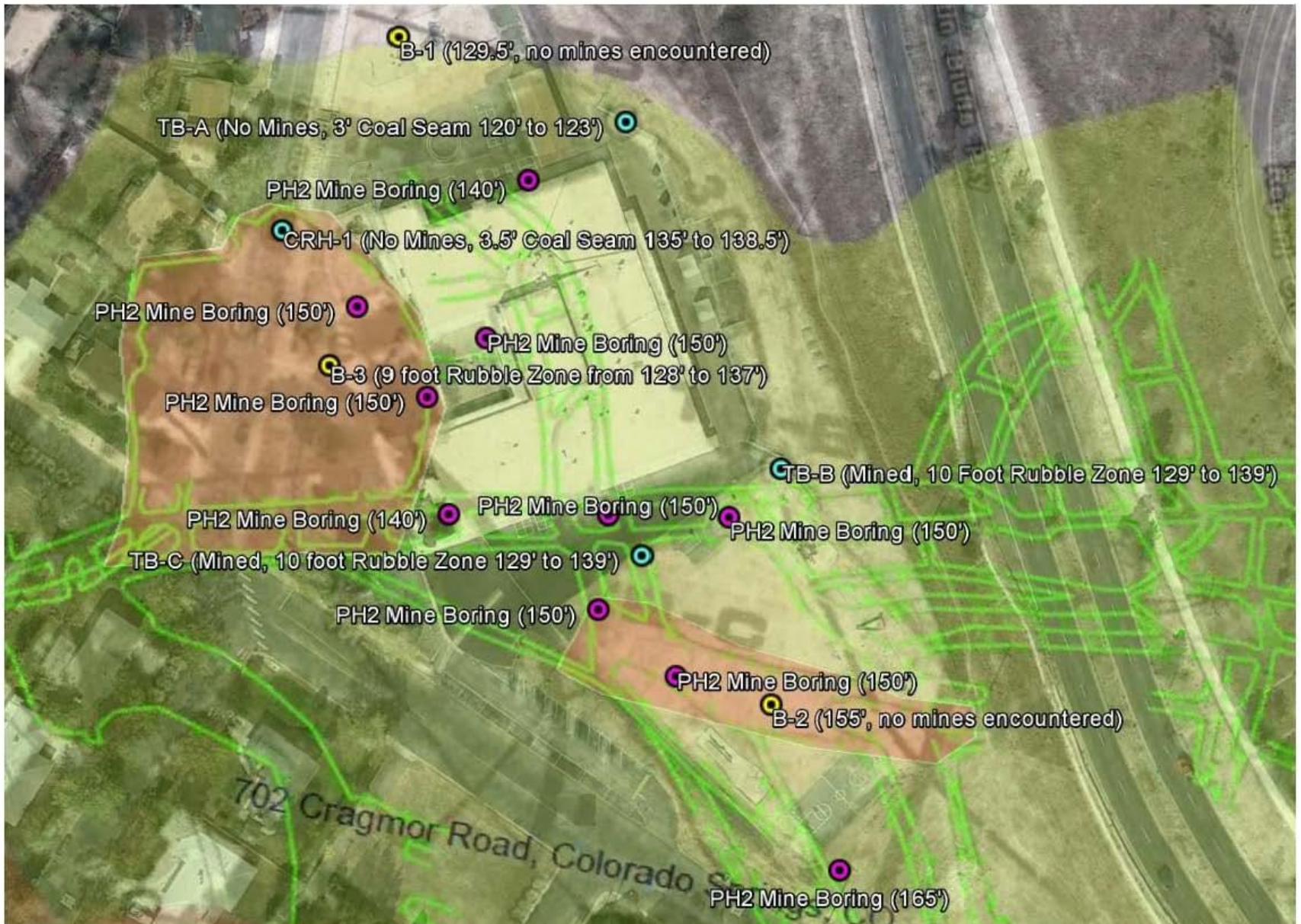


Exhibit A-2, Existing and Proposed Borings with Mine Map Overlay





Exhibit A-3, Existing and Proposed Borings with Proposed Building Overlay



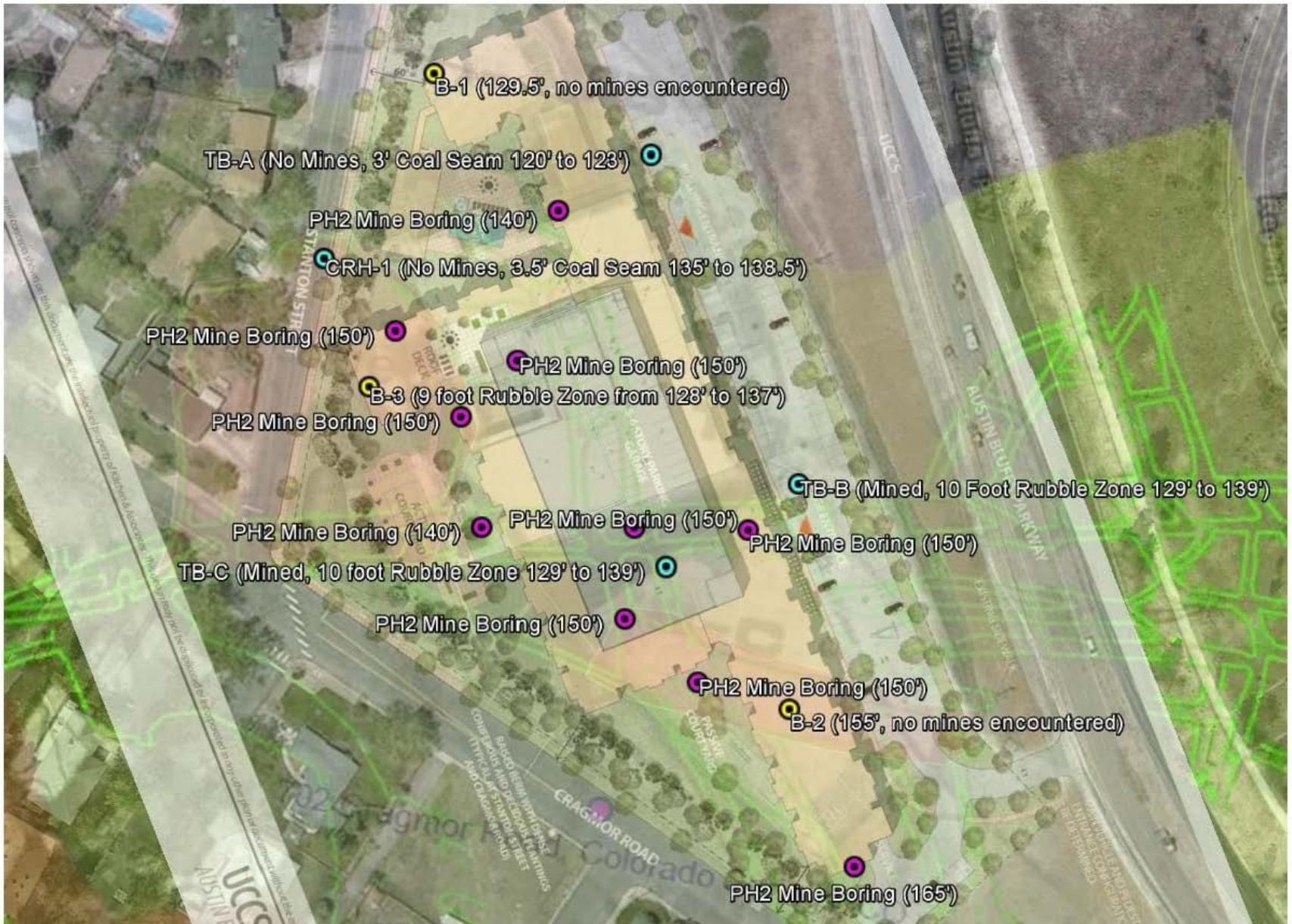
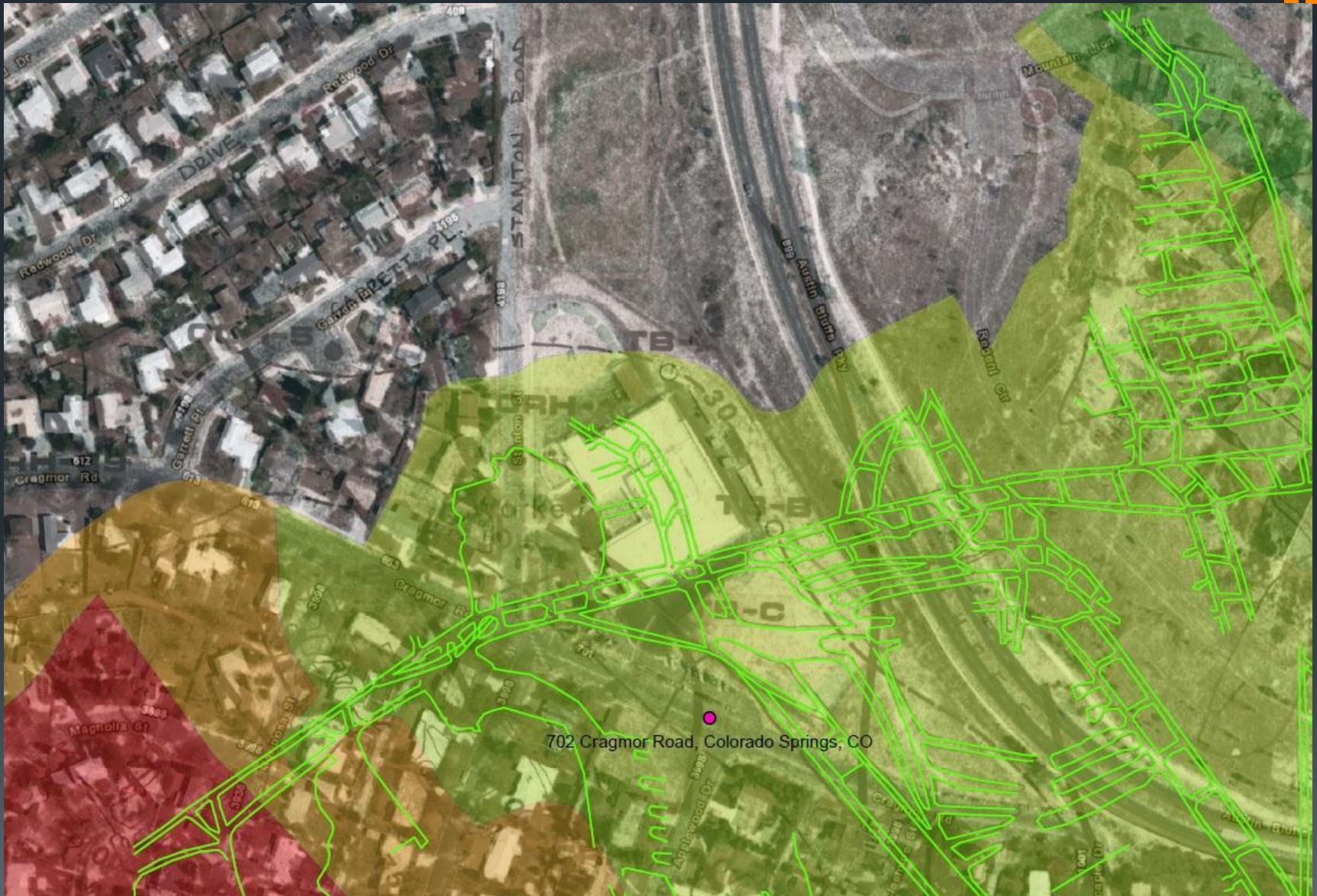


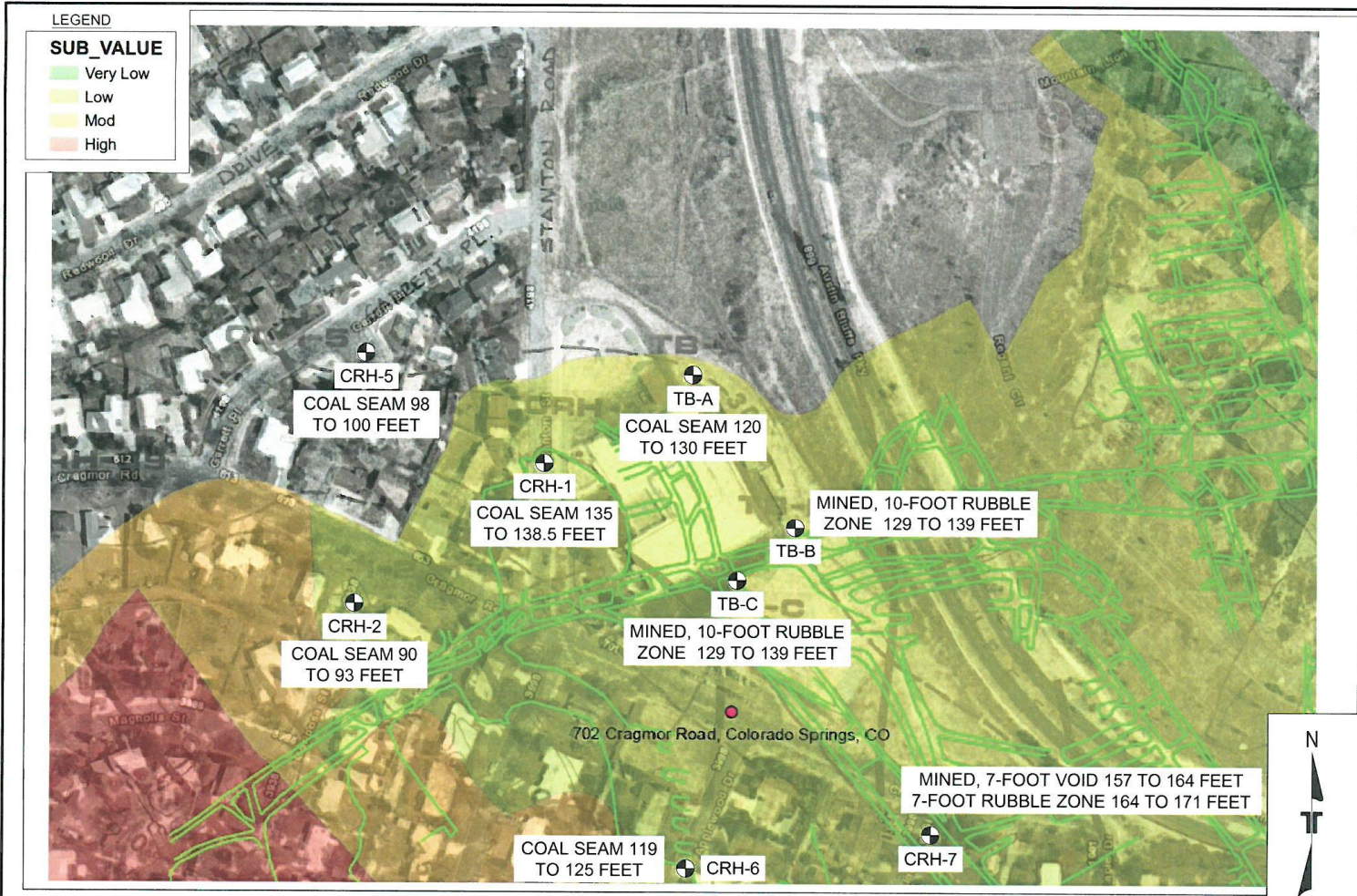
Exhibit A-4, Existing and Proposed Borings with Mine Map and Proposed Building Overlay



# Geotechnical/Mines







NOTE: COLORADO DIVISION OF RECLAMATION MINING & SAFETY MINE SUBSIDENCE HAZARD POTENTIAL MAP, USED AS BASE DRAWING.

DIAGRAM IS FOR GENERAL LOCATION ONLY, AND IS NOT INTENDED FOR CONSTRUCTION PURPOSES.

Project Mgr:	RWF	Project No:	23155012
Drawn By:	RMH	Scale:	NOT TO SCALE
Checked By:	RWF	File No:	Fig7-MSH
Approved By:	RWF	Date:	04-28-2015

**Terracon**  
Consulting Engineers and Scientists

4172 Center Park Drive Colorado Springs, Colorado 80916  
PH: (719) 597-2116 FAX: (719) 597-2117

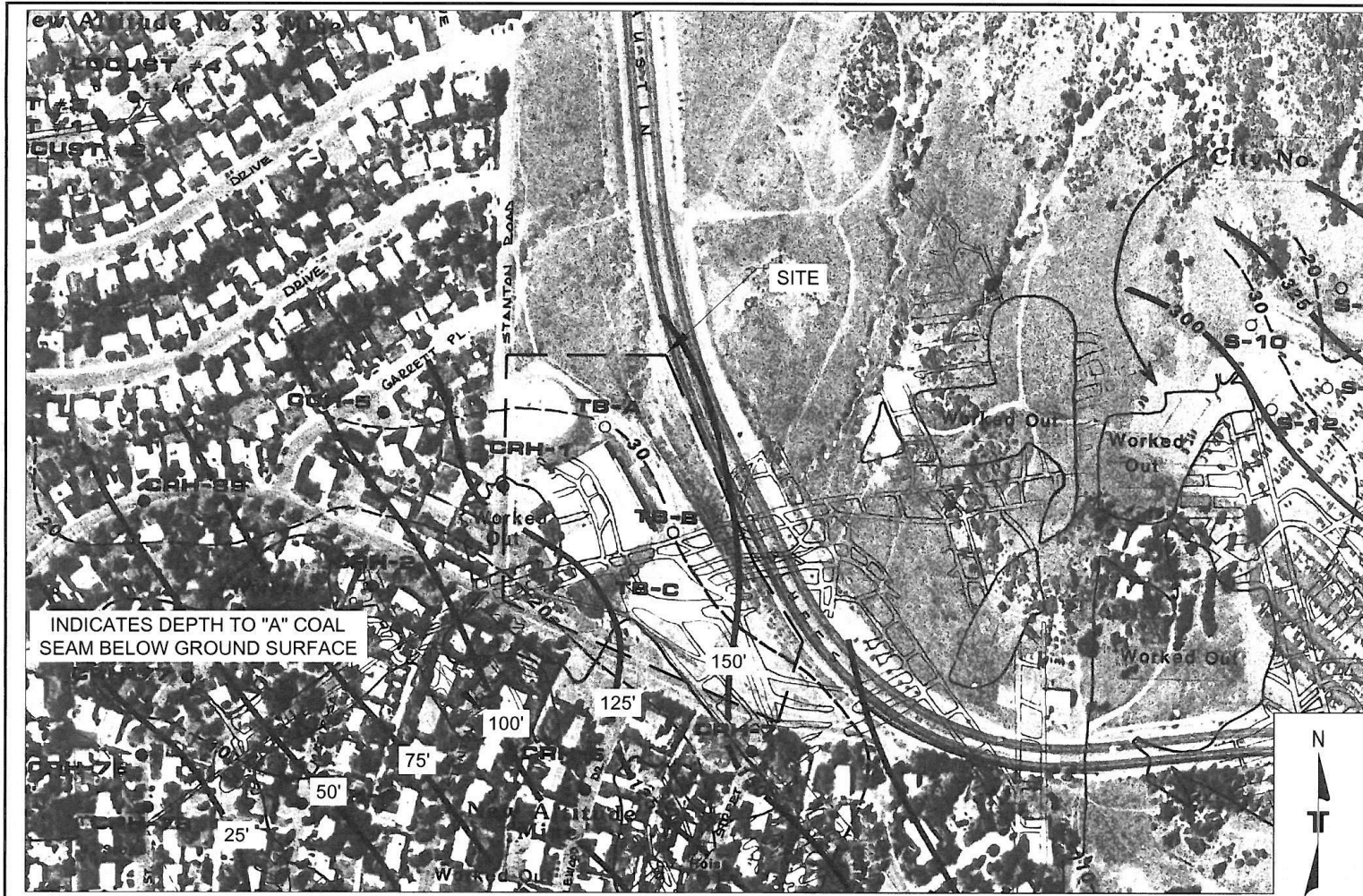
SITE VICINITY MAP MINE SUBSIDENCE HAZARD POTENTIAL

GG Land Group Colorado Springs LLC  
UCCS BATES STUDENT HOUSING  
702 CRAGMOR ROAD

COLORADO SPRINGS COLORADO

Ex. No.	A-6
---------	-----





INDICATES DEPTH TO "A" COAL SEAM BELOW GROUND SURFACE

NOTE: COLORADO DIVISION OF RECLAMATION MINING & SAFETY DEPTH TO "A" COAL SEAM, USED AS BASE DRAWING.

DIAGRAM IS FOR GENERAL LOCATION ONLY, AND IS NOT INTENDED FOR CONSTRUCTION PURPOSES.

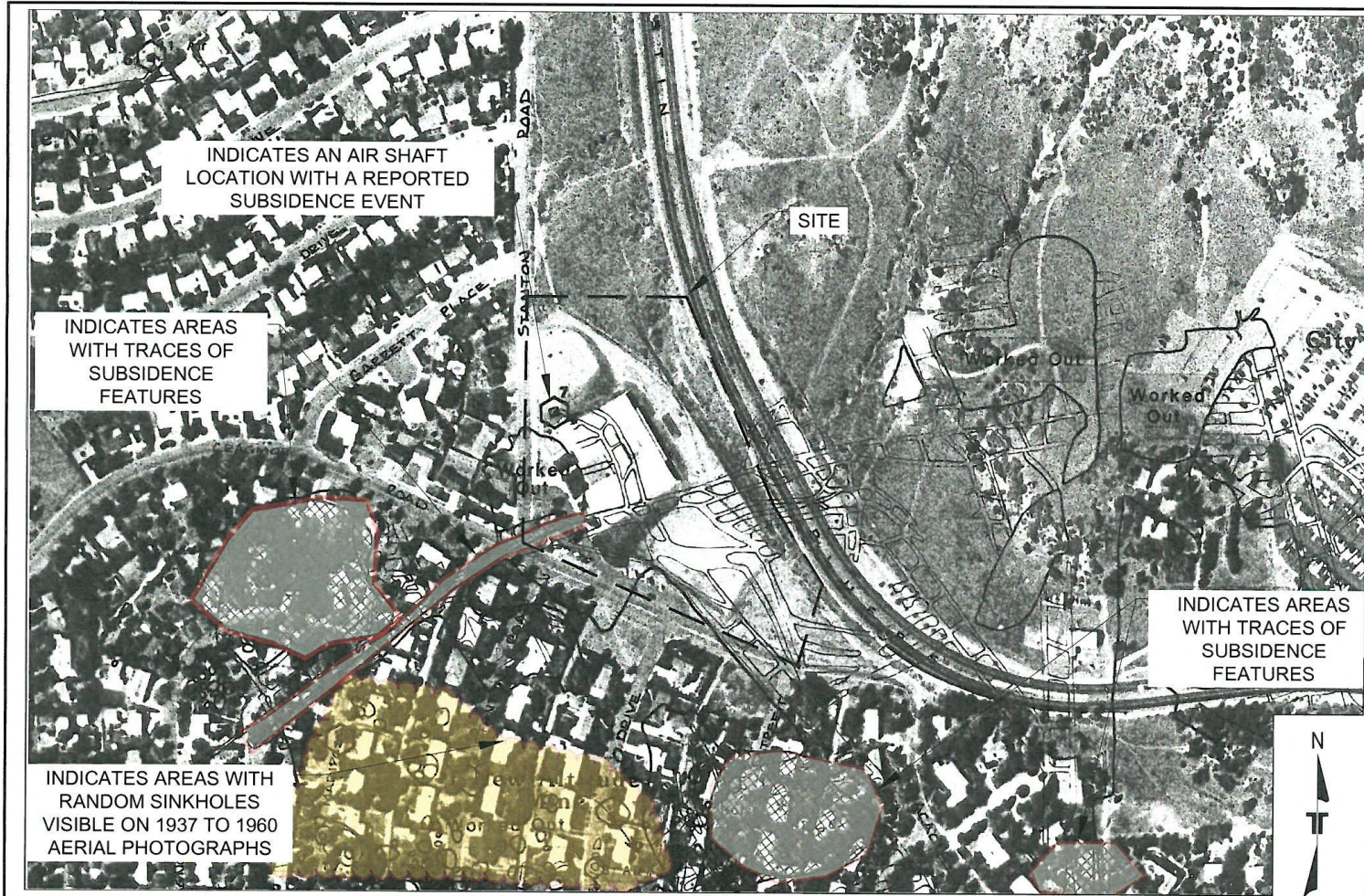
Project Mgr:	RWF	Project No.:	23155012
Drawn By:	RMH	Scale:	NOT TO SCALE
Checked By:	RWF	File No.:	Fig8-AS
Approved By:	RWF	Date:	04-28-2015

**Terracon**  
 Consulting Engineers and Scientists  
 4172 Center Park Drive Colorado Springs, Colorado 80916  
 PH: (719) 597-2116 FAX: (719) 597-2117

SITE VICINITY MAP WITH DEPTH TO "A" COAL SEAM  
 GG Land Group Colorado Springs LLC  
 UCCS BATES STUDENT HOUSING  
 702 CRAGMOR ROAD  
 COLORADO SPRINGS COLORADO

Ex. No.  
**A-8**





NOTE: COLORADO DIVISION OF RECLAMATION MINING & SAFETY PREVIOUSLY DOCUMENTED SUBSIDENCE EVENTS, USED AS BASE DRAWING.

Project Mgr:	RWF	Project No:	23155012
Drawn By:	RMH	Scale:	NOT TO SCALE
Checked By:	RWF	File No.:	Fig9-PDS
Approved By:	RWF	Date:	04-28-2015

**Terracon**  
 Consulting Engineers and Scientists  
 4172 Center Park Drive Colorado Springs, Colorado 80916  
 PH: (719) 597-2116 FAX: (719) 597-2117

SITE VICINITY WITH PREVIOUSLY DOCUMENTED SUBSIDENCE  
 GG Land Group Colorado Springs LLC  
 UCCS BATES STUDENT HOUSING  
 702 CRAGMOR ROAD  
 COLORADO SPRINGS COLORADO

Ex. No.  
**A-9**

DIAGRAM IS FOR GENERAL LOCATION ONLY, AND IS NOT INTENDED FOR CONSTRUCTION PURPOSES.



## subsidence features

### HOLES

Subsidence pits, chimneys and potholes are names for holes of various sizes that appear at the surface over mines (Figure 9). Holes occur as caving allows voids to migrate upward from the mine. Holes are usually circular in shape, but can be of different diameters and depths. When newly formed, pits have vertical walls or bell-shaped overhanging walls.

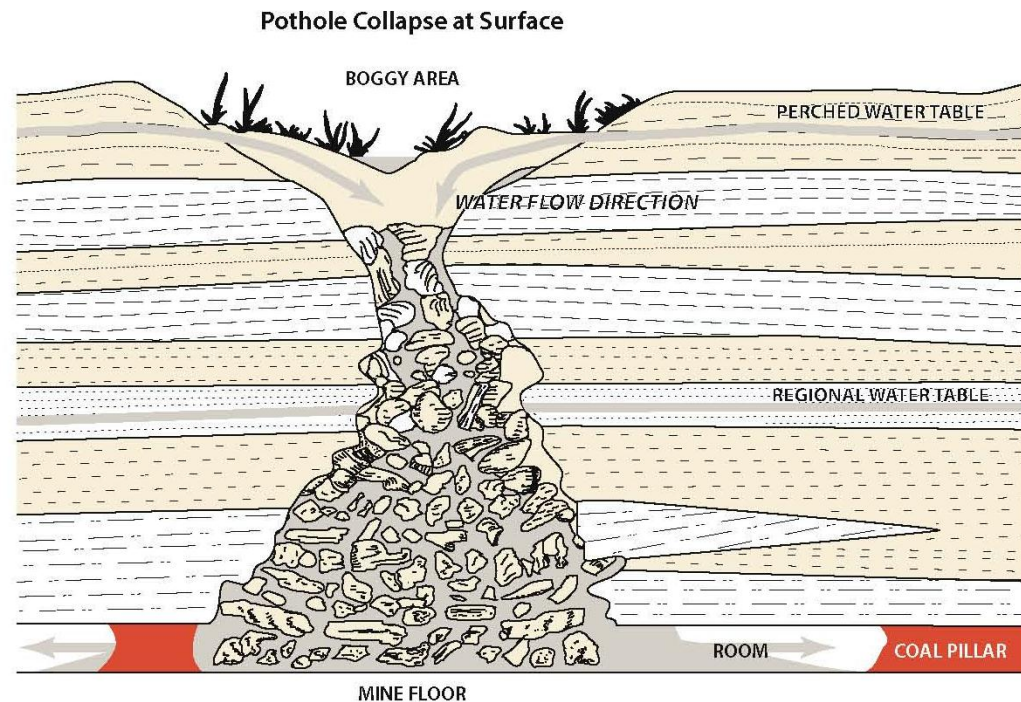


Figure 9. Cross-sectional view of a subsidence pit (original drawn by Bruce Stover, DRMS).

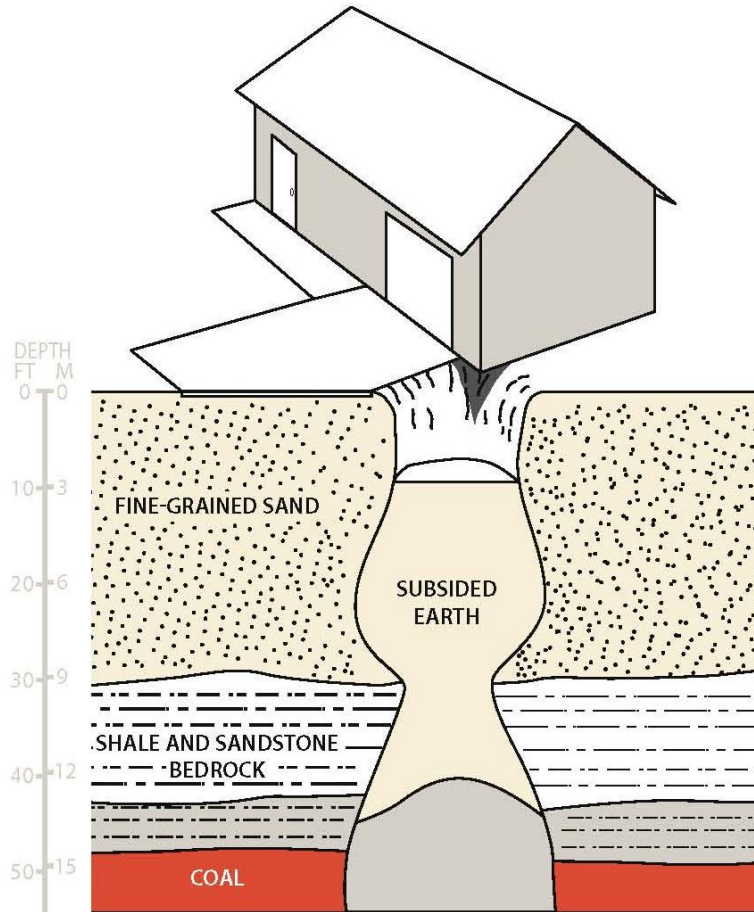


Figure 10 shows a cross section of a hole that formed under a residence. Bell-shaped pits, also known as crown holes, have a small opening at the surface that widens with depth. In areas that have thick soils or unconsolidated sediments, a pit can be deeper than the thickness of coal removed from the mine. This happens when the loose surficial material is washed into the mine and dispersed by groundwater movement.

Subsidence features can occur over relatively flat-lying coal seams and over steeply dipping coal seams on the upturned edge of basins. In dipping coal beds voids can propagate vertically and up-dip along the seam toward the surface, through a process called stoping. Pits usually form where mining is within 100 feet of the surface. Once at the surface, holes usually increase in size as the sides cave and materials continue to move downward.

*Figure 10. Cross-section of a subsidence pit under a house, in an area of thick soil cover. (Modified from P.B. DuMontelle, 1981, Mine Subsidence in Illinois: Facts for the Homeowner, I.G.S., Environmental Notes 99.)*



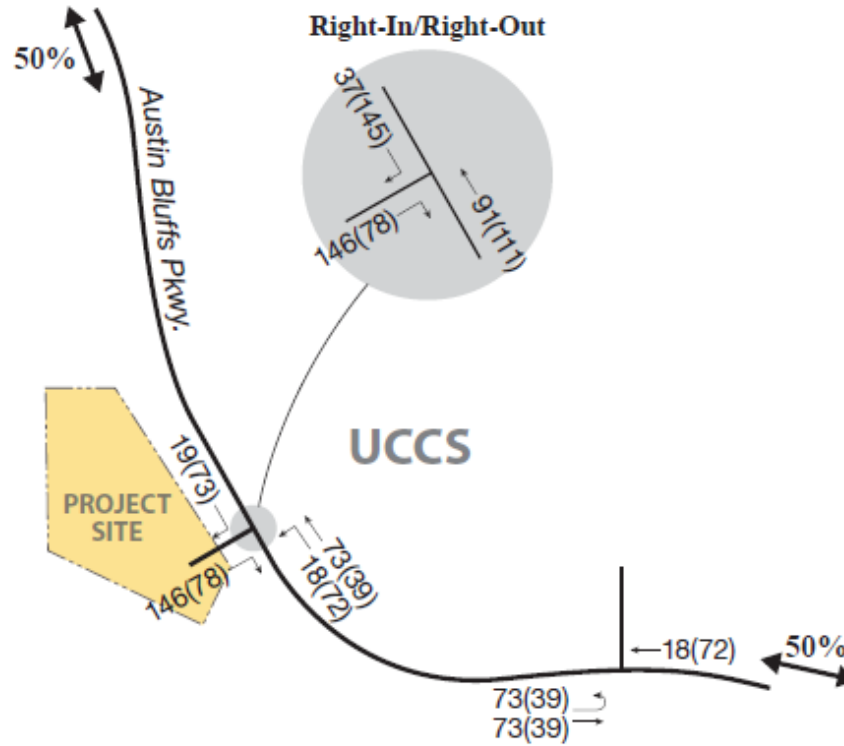
# Traffic



**Table 1. Trip Generation Summary**

Source	Type	Quantity	Units	Daily Trips	Weekday AM Trips			Weekday PM Trips		
					In	Out	Total	In	Out	Total
ITE 220	Apartments	359	Units	2,387	37	146	183	145	78	223
Spack Memo <sup>1</sup>	Student Housing	717	Beds	510	22	29	51	49	44	93





### LEGEND

- xxx(yyy) = AM(PM) Peak Hour Traffic Volumes
- xx% = Site Trip Distribution

Figure 5  
Site Generated Traffic Volumes and Trip Distribution

# Development Plan





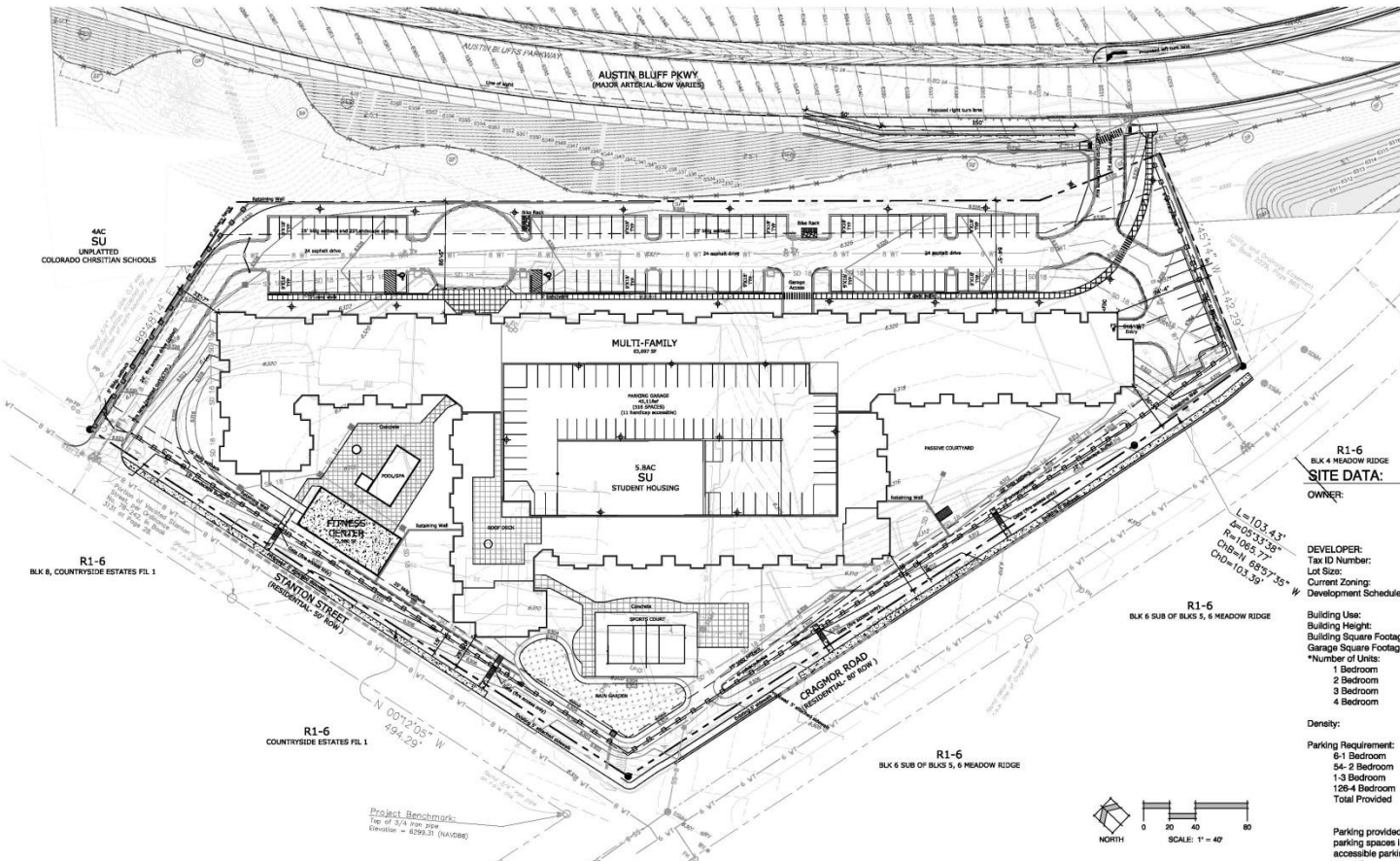
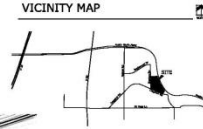
**SHEET INDEX:**

SHEET 1:	S1 DEVELOPMENT PLAN
SHEET 2:	S2 PRELIMINARY LANDSCAPE PLAN
SHEET 3:	C1 SITE GRADING AND EROSION CONTROL
SHEET 4:	U1 PRELIMINARY UTILITY AND PUBLIC FACILITY PLAN
SHEET 5:	PRELIMINARY ELEVATION
SHEET 6:	PRELIMINARY ELEVATIONS AND PARTIAL BUILDING SECTION
SHEET 7:	LIGHTING DIAGRAMS

## BATES STUDENT HOUSING

### DEVELOPMENT PLAN

#### COLORADO SPRINGS, CO



**R1-6**  
BLK 6 SUB OF BLKS 5, 6 MEADOW RIDGE

**BLK 6 SUB OF BLKS 5, 6 MEADOW RIDGE**

**R1-6**  
BLK 6 SUB OF BLKS 5, 6 MEADOW RIDGE

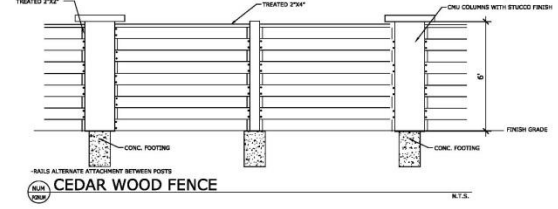
**R1-6**  
BLK 6 SUB OF BLKS 5, 6 MEADOW RIDGE

**R1-6**  
BLK 6 SUB OF BLKS 5, 6 MEADOW RIDGE

**BLK 6 SUB OF BLKS 5, 6 MEADOW RIDGE**

**R1-6**  
BLK 6 SUB OF BLKS 5, 6 MEADOW RIDGE

**R1-6**  
BLK 6 SUB OF BLKS 5, 6 MEADOW RIDGE



**LEGAL DESCRIPTION:**  
(See Land Title Guaranty Company certificate no. 323094707)  
 A TRACT OF LAND IN THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 26, TOWNSHIP 33 SOUTH, RANGE 66 WEST OF THE 6TH PA. LINES SOUTH AND WEST OF BLOCK 6 AND NORTHWEST OF BLOCK 1 IN A VACATION PLAT OF A PORTION OF CRAGMOR HILLS SUBDIVISION RECORDED JULY 25, 1978 IN PLAT BOOK 43 AT PAGE 13 AND NORTH OF CRAGMOR ROAD AND EAST OF STANTON STREET AS PLATTED BY CRAGMOR HILLS SUBDIVISION RECORDED JANUARY 4, 1977 IN PLAT BOOK 41 AT PAGE 67 AND TOGETHER WITH THAT PORTION OF THE EAST 20 FEET OF VACATED STANTON STREET LINES ADJACENT TO SUBJECT PROPERTY VACATED BY ORDINANCE NO. 76-26 RECORDED JANUARY 16, 1976 IN BOOK 312 AT PAGE 28 AND TOGETHER WITH THAT PORTION OF BLOCK 1 OF THE VACATION PLAT OF A PORTION OF CRAGMOR HILLS SUBDIVISION RECORDED JULY 25, 1978 IN PLAT BOOK 43 AT PAGE 17 EXCEPTED FROM THE EXSCRIPTION CONTAINED IN SAID RECORDED PAR. 6, 1 USE IN PLAT BOOK 43 AT PAGE 68 AND EXCEPT THAT PORTION CONVEYED TO THE CITY OF COLORADO SPRINGS BY QUILTEAM DEED RECORDED APRIL 18, 1978 IN BOOK 308 AT PAGE 18, AND DECEPT A 20 FOOT STRIP OF LAND BOUNDING CRAGMOR ROAD DEDICATED TO PUBLIC USE AS NOTED ON THE PLAT OF SAID CRAGMOR HILLS SUBDIVISION RECORDED JULY 25, 1978 IN PLAT BOOK 43 AT PAGE 17, EL PASO COUNTY, COLORADO.

THIS SITE MUST BE PLATTED PRIOR TO ISSUANCE OF A BUILDING PERMIT

- NOTES:**
- This property is subject to the findings summary and conclusions of a geological hazard report prepared by Entech Engineering, Inc. dated 06/15/2015. A copy of said report has been placed within the AR DP 15-00231 of the City of Colorado Springs, development service division. Contact development services 30 South Nevada Avenue, Suite 501, Colorado Springs, CO. if you would like to review said report.
  - This property is not within a designated F.E.M.A. floodplain as determined by the Flood Insurance Rate Map, Community Panel Number 080410018 F, effective March 17, 1997.
  - All curb, gutter, pedestrian ramps and sidewalks posing a safety hazard, damaged or exhibiting excessive deterioration along Crags Road adjacent to the site will need to be removed and replaced. An on-site meeting can be set up with the City Engineering Inspector to determine what, if any improvements are required. This inspector can be reached at 385-5977.
  - Fire access gates will be provided with an all weather sign of red reflective lettering on white reflective background stating "Fire Department Access". These gates will be used for emergency access only and will be locked. Each gate will have fire department approved equipment to allow for access of emergency personnel.

**BATES STUDENT HOUSING**  
DEVELOPMENT PLAN

702 Cragmor Road

DATE: 4.29.15  
PROJECT MGR: B. Roberts  
PREPARED BY: J. Romano

**DEVELOPMENT PLAN**

DATE:	4.29.15
PROJECT MGR:	B. Roberts
PREPARED BY:	J. Romano

**DEVELOPMENT PLAN**

DATE:	BT:	DESCRIPTION:
6/8/15	JR:	Pre City Comments
6/10/15	AK:	Pre City Comments

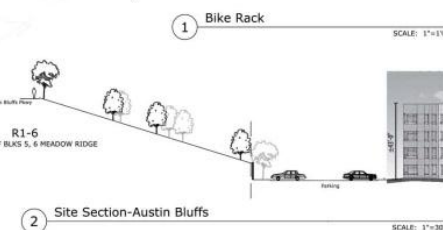
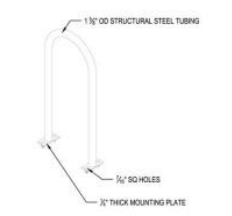
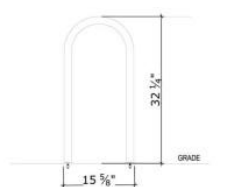
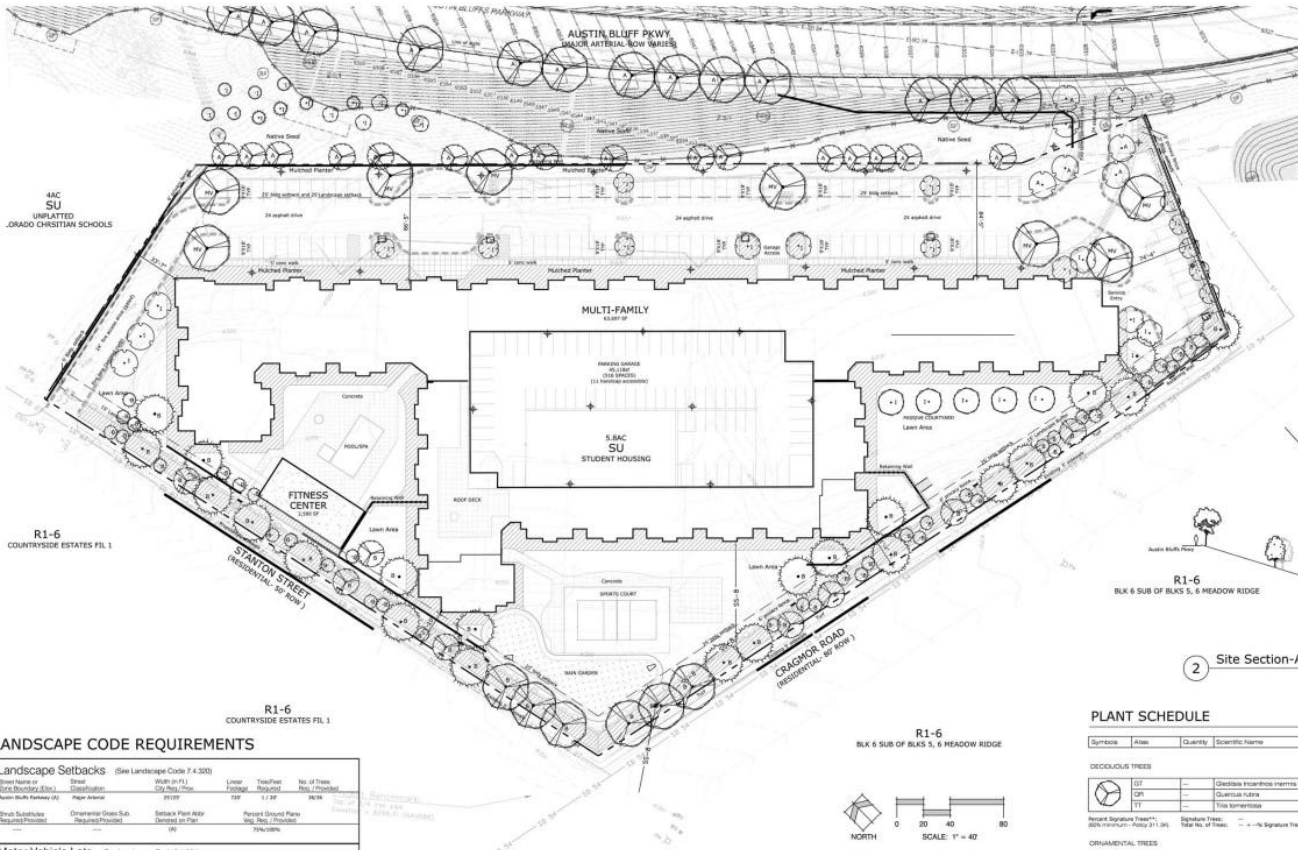
**DEVELOPMENT PLAN**

**S1**

1 OF 8

AR DP 15-00231

# Preliminary Landscape Plan



## LANDSCAPE CODE REQUIREMENTS

Landscape Setbacks (See Landscape Code 7.4.3.20)			
Street Name or Area Boundary (Dist.)	Setback (ft.)	Linear Footing (ft.)	Total Footing (ft.)
Street Name (Dist.)	10	0	10
Area Boundary (Dist.)	5	0	5
Motor Vehicle Lots (See Landscape Code 7.4.3.21)			
Lot Area (sq. ft.)	Minimum	Length of Parking (ft.)	Width of Parking (ft.)
10,000	10	10	10
Internal Landscaping (See Landscape Code 7.4.3.22)			
Net Site Area (sq. ft.)	Percent Minimum Internal Area (%)	Internal Area (sq. ft.)	Internal Tree Required (Minimum)
100,000	10%	10,000	10
Landscape Buffers and Screens (See Landscape Code 7.4.3.23)			
Street Name or Property Line (Dist.)	Setback (ft.)	Linear Footing (ft.)	Total Footing (ft.)
Street Name (Dist.)	10	0	10
Property Line (Dist.)	5	0	5

## LANDSCAPE NOTES

- SOIL ANALYSIS - PER SOIL ANALYSIS, CONTRACTOR TO UTILIZE STOCKPILED TOPSOIL FROM GRADING OPERATION AS AVAILABLE. TILL INTO TOP 6" OF SOIL.
- FOR GRADING PLAN, REFER TO CIVIL ENGINEER'S DRAWINGS.
- FOR STANDARD LIGHTING AND LOCATIONS, REFER TO PHOTOGRAPHIC PLAN.
- A FULLY AUTOMATED SPRINKLER IRRIGATION SYSTEM WILL BE REQUIRED FOR ALL TURF, SHRUB, AND GRASS COVER PLANTING AREAS AND SPRAY AND TURF IRRIGATION. PLAN WILL INCLUDE AN IRRIGATION SCHEDULE THAT NOTES APPLICATION RATES BASED ON TURF TYPE, AND NOTES RATES FOR NEWLY PLANTED PLANTS VS. ESTABLISHED PLANTS AND GENERAL RECOMMENDATIONS REGARDING SEASONAL ADJUSTMENTS (SPRING AND FALL).
- MATURE SEED AREAS TO USE SEED MIX SPECIFIED ON THIS SHEET. ALL SEED AREAS SHALL BE IRRIGATED UNTIL ESTABLISHMENT. SUBMIT SEED MIX PRODUCT INFORMATION IN FOR APPROVAL PRIOR TO INSTALLATION.
- EROSION CONTROL BLANKET TO BE APPLIED ON ALL SEED AREAS WITH SLOPES 3:1 OR GREATER.
- ALL PLANTS AND TREES NOT INSTALLED IN PLANTING BEDS TO RECEIVE 3 INCH DEPTH WOOD MULCH KING unless otherwise specified. MULCH KING TO BE SIZED PER PLANTING DETAILS.
- SOIL SHALL BE KENTUCKY BLUEGRASS BLEND.
- ALL SOFTFUR, ROCK, & SHRUB BEDS TO BE SEPARATED BY SOLID STEEL EDGING. ALL SHRUB BEDS TO BE ENCLOSED BY STEEL EDGING. SEPARATION BETWEEN SOFT AND NATIVE SEED, AND BETWEEN ALTERNATIVE TURF AND NATIVE SEED SHALL BE A WOODEN STEEL WITHOUT STEEL EDGING.
- SEE "SOLID STEEL EDGING" TO BE "QUADRAEDGE" (LUB) THICK x 4" WIDE STEEL LANDSCAPE EDGING, GREEN COLOR, WITH ROLLED EDGE AND STEEL STAKES. USE SOLID STEEL EDGING EXCEPT WHERE NOTED ON THE PLANS.
- SEE "PREPARED STEEL EDGING TO BE: ACHS (1.4 GA. x 4" WIDE) GALVANIZED STEEL EDGING, WITH ROLLED EDGE AND GALVANIZED STEEL STAKES. SEE PLAN FOR LOCATIONS OF PSE.
- COBBLE: 2"-3" CUMBER CREEK ONE, AT 3"-4" DEPTH, AT ALL INTERSECTION CORNERS BETWEEN HAZICAP RAMP. INSTALL GEOTEXTILE FABRIC UNDER ALL COBBLE AREAS.
- ROCK: 3/4" CUMBER GRANITE, AT 3"-4" DEPTH. INSTALL GEOTEXTILE FABRIC UNDER ALL ROCK AREAS.
- ALL PLANTS NOT LABELED AS FULFILLING A CITY LANDSCAPE REQUIREMENT ARE "EXTRA" PER CITY STANDARDS, AND WILL BE INSTALLED AT THE OWNER'S DISCRETION.
- A FINAL LANDSCAPE AND IRRIGATION PLAN SHALL BE SUBMITTED AND REVIEWED CONCURRENT WITH BUILDING PERMIT SUBMITTAL AND APPROVED PRIOR TO ISSUANCE OF A BUILDING PERMIT.

## PLANT SCHEDULE

Symbol	Alias	Quantity	Scientific Name	Common Name	Size	Qty	Mature Width	Notes
<b>DECIDUOUS TREES</b>								
QT	---	0	Quercus bicolor	White Oak	2" cal.	45A	20-30'	BA8
QF	---	0	Quercus falcata	White Oak	2" cal.	45	40-60'	BA8
TT	---	0	Tilia tomentosa	Silver Linden	2" cal.	55	25-30'	BA8
<b>ORNAIMENTAL TREES</b>								
AT	---	0	Acer glabrum	Red Maple	1.5" cal.	457A	10-20'	BA8
CD	---	0	Cercis canadensis	Eastern Redbud	1.5" cal.	5	15-20'	BA8
CCG	---	0	Chaetochloa ovata	Common Hawthorn	1.5" cal.	259AD	20-30'	BA8
CC	---	0	Cornus amomum	Spice Hawthorn	1.5" cal.	48	10-12'	BA8
MR	---	0	Malus x 'Crimson Tm'	Crimson Crab Apple	1.5" cal.	4875	15-20'	BA8
MSD	---	0	Malus x 'Spring Snow'	Spring Snow Crab Apple	1.5" cal.	4875	15-20'	BA8
PD	---	0	Physocarpus	Smooth Sumac	1" cal.	367AD	15-10'	BA8
<b>EVERGREEN TREES</b>								
PP	---	0	Prunella angustifolia	Blackthorn	6-12" ht.	618B	20-30'	BA8
PN	---	0	Pinus nigra	Austrian Pine	6-12" ht.	25073A	30-40'	BA8
<b>DECIDUOUS EVERGREEN SHRUBS</b>								
AJ	---	0	Amelanchier canadensis	Wax Service Berry	6 GAL.	12570A	6-12'	COVET
CC	---	0	Cornus canadensis	Common Spicebush	6 GAL.	4617B	6-12'	COVET
CCJ	---	0	Cornus juncea	Common Spicebush	6 GAL.	125680A	3-4'	COVET
FM	---	0	Physocarpus opulifolius	Japanese Amelanchier	6 GAL.	5658A	3-4'	COVET
SP	---	0	Spirea alba	White Spirea	6 GAL.	56	2-4'	COVET
SP	---	0	Spirea japonica	Japanese Spirea	6 GAL.	565A	5-10'	COVET
VV	---	0	Viburnum x Burbankii	Burbank Viburnum	6 GAL.	47A	10-15'	COVET

Land Planning  
Landscape  
Architecture  
Urban Design

N.E.S. Inc.  
619 N. Cascade Avenue, Suite 200  
Colorado Springs, CO 80903  
Tel. 719.471.0377  
Fax 719.471.0367  
www.nescolorado.com  
© 2012. All Rights Reserved.

**BATES STUDENT HOUSING**  
DEVELOPMENT PLAN  
702 Cragmor Road

DATE: 4.28.15  
PROJECT NO: 8-2804  
PREPARED BY: J. Ranner

## DEVELOPMENT PLAN

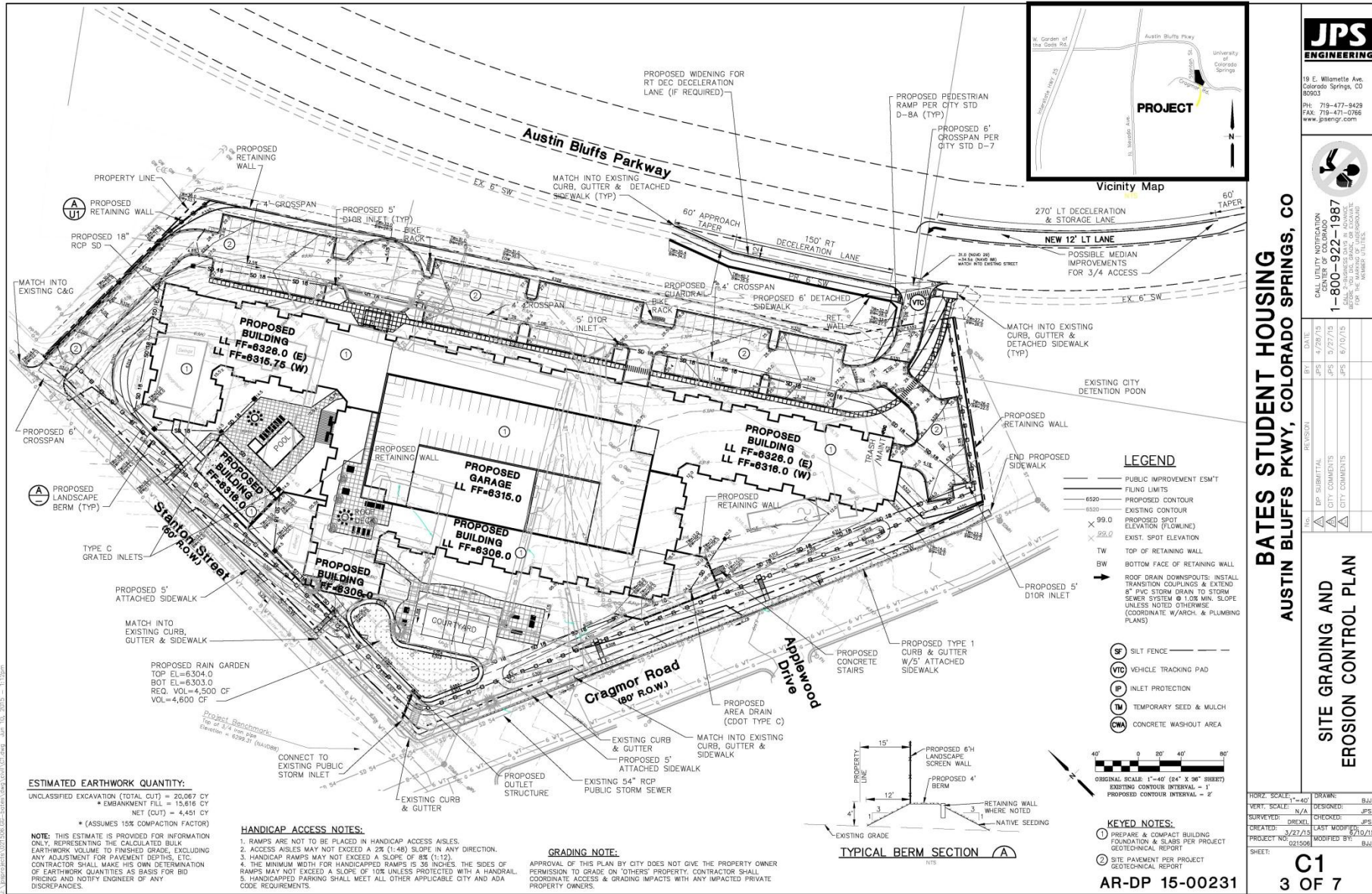
DATE:	BY:	SCALE:
5/28/15	JR	As Shown
5/28/15	AR	As Shown

**PRELIMINARY LANDSCAPE PLAN**

2 OF 8



# Grading/Erosion Control Plan



**ESTIMATED EARTHWORK QUANTITY:**  
 UNCLASSIFIED EXCAVATION (TOTAL CUT) = 20,067 CY  
 \* EMBANKMENT FILL = 15,616 CY  
 NET (CUT) = 4,451 CY  
 \* (ASSUMES 15% COMPACTION FACTOR)

**NOTE:** THIS ESTIMATE IS PROVIDED FOR INFORMATION ONLY, REPRESENTING THE CALCULATED BULK EARTHWORK VOLUME TO FINISHED GRADE, EXCLUDING ANY ADJUSTMENT FOR PAVEMENT DEPTH, ETC. CONTRACTOR SHALL MAKE HIS OWN DETERMINATION OF EARTHWORK QUANTITIES AS BASIS FOR BIDDING AND NOTIFY ENGINEER OF ANY DISCREPANCIES.

**HANDICAP ACCESS NOTES:**  
 1. RAMPS ARE NOT TO BE PLACED IN HANDICAP ACCESS AISLES.  
 2. ACCESS AISLES MAY NOT EXCEED A 2% (1:48) SLOPE IN ANY DIRECTION.  
 3. HANDICAP RAMPS MAY NOT EXCEED A SLOPE OF 1% (1:100).  
 4. THE MINIMUM WIDTH FOR HANDICAPPED RAMPS IS 36 INCHES. THE SIDES OF RAMPS MAY NOT EXCEED A SLOPE OF 10% UNLESS PROTECTED WITH A HANDRAIL.  
 5. HANDICAPPED PARKING SHALL MEET ALL OTHER APPLICABLE CITY AND ADA CODE REQUIREMENTS.

**GRADING NOTE:**  
 APPROVAL OF THIS PLAN BY CITY DOES NOT GIVE THE PROPERTY OWNER PERMISSION TO GRADE ON "OTHERS" PROPERTY. CONTRACTOR SHALL COORDINATE ACCESS & GRADING IMPACTS WITH ANY IMPACTED PRIVATE PROPERTY OWNERS.

**LEGEND**

- PUBLIC IMPROVEMENT ESM'T
- FILING LIMITS
- 6320 PROPOSED CONTOUR
- 6320 EXISTING CONTOUR
- 99.0 PROPOSED SPOT ELEVATION (FLOWLINE)
- 99.0 EXIST. SPOT ELEVATION
- TW TOP OF RETAINING WALL
- BW BOTTOM FACE OF RETAINING WALL
- ROOF DRAIN DOWNSPOUTS: INSTALL TRANSITION COUPLINGS & EXTEND 8" PVC STORM DRAIN TO STORM SEWER SYSTEM @ 1.0% MIN. SLOPE UNLESS NOTED OTHERWISE (COORDINATE WITH ARCH. & PLUMBING PLANS)

- ⊙ SILT FENCE
- ⊙ VTC VEHICLE TRACKING PAD
- ⊙ I INLET PROTECTION
- ⊙ TM TEMPORARY SEED & MULCH
- ⊙ WA CONCRETE WASHOUT AREA

ORIGINAL SCALE: 1"=40' (24" X 36" SHEET)  
 EXISTING CONTOUR INTERVAL = 1'  
 PROPOSED CONTOUR INTERVAL = 2'

**KEYED NOTES:**  
 ① PREPARE & SUBMIT BUILDING FOUNDATION & SLABS PER PROJECT GEOTECHNICAL REPORT  
 ② SITE PAVEMENT PER PROJECT GEOTECHNICAL REPORT

AR-DP 15-00231

**BATES STUDENT HOUSING  
 AUSTIN BLUFFS PKWY, COLORADO SPRINGS, CO**

**SITE GRADING AND  
 EROSION CONTROL PLAN**



19 E. Willamette Ave.  
 Colorado Springs, CO 80903  
 PH: 719-477-9429  
 FAX: 719-471-0766  
 www.jpsengr.com



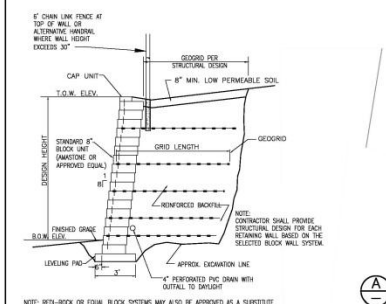
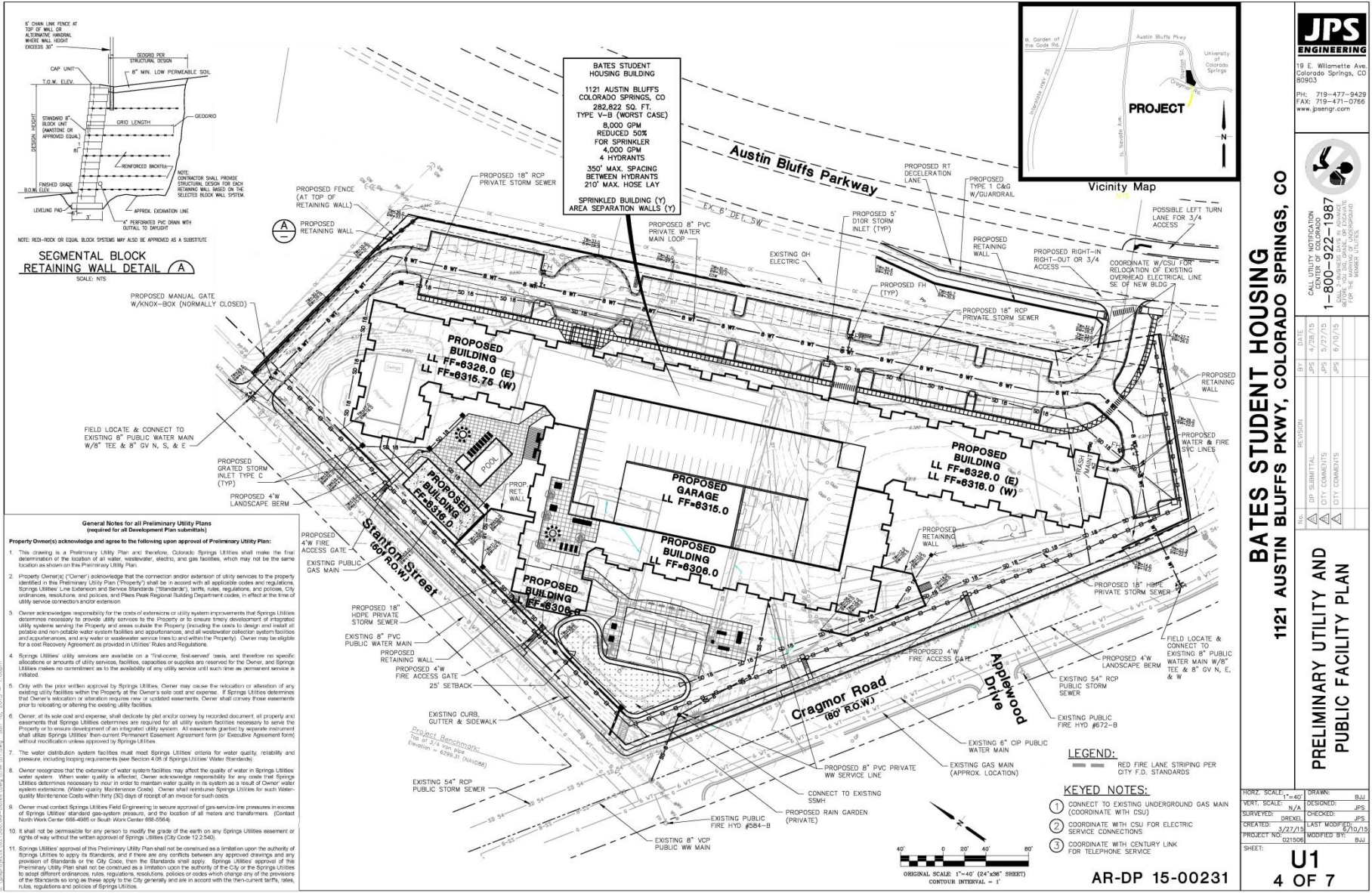
**CALL UTILITY NOTIFICATION  
 CENTER OF COLORADO  
 1-800-922-1987**  
 (FOR ALL UTILITIES EXCEPT GAS)  
 (FOR GAS UTILITIES, CALL THE GAS COMPANY)

NO.	DATE	REVISION
1	9/7/15	ISSUE FOR PERMIT
2	9/7/15	CITY COMMENTS
3	9/7/15	DOT COMMENTS

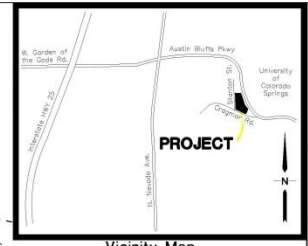
DATE: 9/7/15  
 DRAWN: BJJ  
 DESIGNED: BJJ  
 CHECKED: JPS  
 SURVEYED: DEWE  
 CREATED: 3/27/15  
 PROJECT NO: 021500  
 MODIFIED BY: BJJ  
 SHEET: **C1**  
 3 OF 7



# Preliminary Utility Plan



**BATES STUDENT HOUSING BUILDING**  
 1121 AUSTIN BLUFFS  
 COLORADO SPRINGS, CO  
 282,822 SQ. FT.  
 TYPE V-5 (WORST CASE)  
 8,000 GPM  
 REDUCED 50%  
 FOR SPRINKLER  
 4,000 GPM  
 4 HYDRANTS  
 350' MAX. SPACING  
 BETWEEN HYDRANTS  
 210' MAX. HOSE LAY  
 SPRINKLER BUILDING (Y)  
 AREA SEPARATION WALLS (Y)



**SEGMENTAL BLOCK RETAINING WALL DETAIL (A)**  
 SCALE: NTS

- General Notes for all Preliminary Utility Plans (required for all Development Plan submittals)**
- Property Owner(s) acknowledge and agree to the following upon approval of Preliminary Utility Plan:**
- This drawing is a Preliminary Utility Plan and therefore, Colorado Springs Utilities shall make the final determination of the location of all water, wastewater, electric, and gas facilities, which may not be the same location as shown on this Preliminary Utility Plan.
  - Property Owner(s) acknowledge that the connection and/or extension of utility services to the property identified in this Preliminary Utility Plan (Property) shall be in accordance with all applicable codes and regulations, Springs Utilities Line Extension and Service Standards (Standard), tariffs, rules, regulations, and policies, City ordinances, resolutions, and policies, and the State Regional Building Department codes, in effect at the time of utility service connection and/or extension.
  - Owner acknowledges responsibility for the costs of extraction or utility system improvements that Springs Utilities determines necessary to provide utility services to the Property or to ensure timely development of integrated utility systems serving the Property and areas outside the Property (including the costs to design and install all poles and non-potable water system facilities and appurtenances, and all wastewater collection system facilities and appurtenances, and any water or wastewater service lines to and within the Property). Owner may be eligible for a cost recovery Agreement as provided in Utilities' Rules and Regulations.
  - Springs Utilities utility services are available on a "first-come, first-served" basis, and therefore no specific allocations or amounts of utility services, facilities, appurtenances or supplies are reserved for the Owner, and Springs Utilities reserves no commitment as to the availability of any utility service until such time as a permitted service is initiated.
  - Only with the prior written approval by Springs Utilities, Owner may cause the relocation or alteration of any existing utility facilities within the Property at the Owner's sole cost and expense. If Springs Utilities determines that Owner's relocation or alteration requires new or updated easements, Owner shall convey those easements prior to relocating or altering the existing utility facilities.
  - Owner, at its sole cost and expense, shall dedicate by plat and/or convey by recorded document, all property and easements that Springs Utilities determines necessary for all utility system facilities necessary to serve the Property or to ensure development of an integrated utility system. All easements granted by separate instrument shall utilize Springs Utilities' then-current Permanent Easement Agreement form (or Executive Agreement form without modification unless approved by Springs Utilities).
  - The water distribution system facilities must meet Springs Utilities' criteria for water quality, reliability and pressure, including looping requirements (see Section 4.05 of Springs Utilities' Water Standards).
  - Owner recognizes that the extension of water system facilities may affect the quality of water in Springs Utilities water systems. When water quality is affected, Owner acknowledges responsibility for any costs that Springs Utilities determines necessary to incur in order to maintain water quality in its system as a result of Owner's water system extensions. (Water Quality Maintenance Costs). Owner shall reimburse Springs Utilities for such Water Quality Maintenance Costs within thirty (30) days of receipt of an invoice for such costs.
  - Owner must contact Springs Utilities Field Engineering to secure approval of gas-service-line pressures in excess of Springs Utilities' standard gas-service pressures, and the location of all meters and transmitters. Contact North Work Center 688-4885 or South Work Center 688-5564.
  - It shall not be permissible for any person to modify the grade of the earth on any Springs Utilities easement or right-of-way without the written approval of Springs Utilities (City Code 12-2-56).
  - Springs Utilities' approval of this Preliminary Utility Plan shall not be construed as a limitation upon the authority of Springs Utilities to apply its Standards, and if there are any conflicts between any approved drawings and any provision of Standards or the City Code, then the Standards shall apply. Springs Utilities drawings and any provision of this Preliminary Utility Plan shall not be construed as a limitation upon the authority of the City or the Springs Utilities to adopt different ordinances, rules, regulations, resolutions, policies or codes, which change any of the provisions of the Standards so long as these apply to the City generally and are in accordance with the then-current tariffs, rates, rules, regulations and policies of Springs Utilities.

**BATES STUDENT HOUSING**  
**1121 AUSTIN BLUFFS PKWY, COLORADO SPRINGS, CO**



19 E. Willamette Ave  
 Colorado Springs, CO  
 80903

Ph: 719-477-9429  
 Fax: 719-471-0766  
 www.jpseng.com



**CALL UTILITY NOTIFICATION CENTER OF COLORADO**  
**1-800-922-1987**  
 UTILITY LOCATIONS ON PLANS  
 FOR THE WORKS OF THIS PROJECT

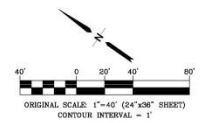
NO.	DATE	REVISION
1	5/27/15	SP SUBMITTAL
2	5/27/15	CITY COMMENTS
3	9/10/15	CITY COMMENTS

**PRELIMINARY UTILITY AND PUBLIC FACILITY PLAN**

- LEGEND:**
- CONNECT TO EXISTING UNDERGROUND GAS MAIN (COORDINATE WITH CSU)
  - COORDINATE WITH CSU FOR ELECTRIC SERVICE CONNECTIONS
  - COORDINATE WITH CENTURY LINK FOR TELEPHONE SERVICE

**KEYED NOTES:**

1 CONNECT TO EXISTING UNDERGROUND GAS MAIN (COORDINATE WITH CSU)  
 2 COORDINATE WITH CSU FOR ELECTRIC SERVICE CONNECTIONS  
 3 COORDINATE WITH CENTURY LINK FOR TELEPHONE SERVICE

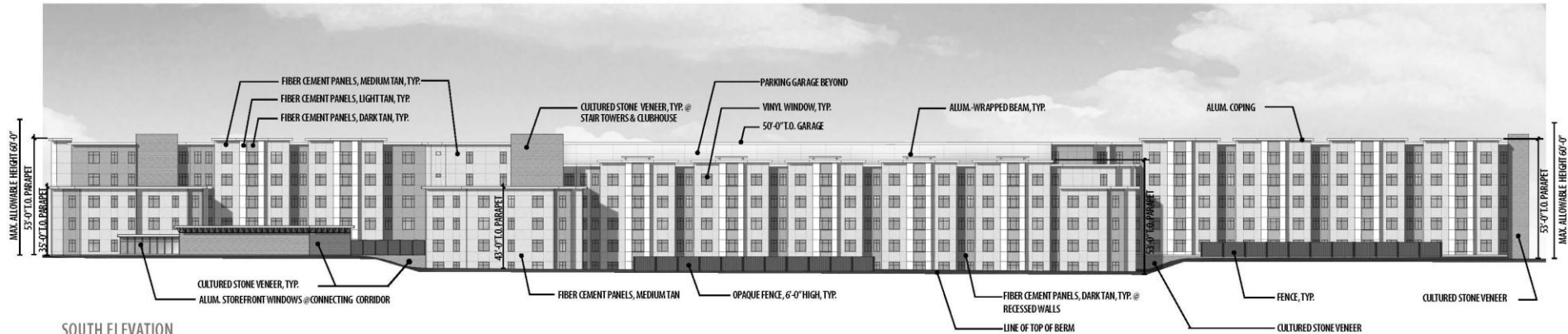


AR-DP 15-00231

U1  
 4 OF 7

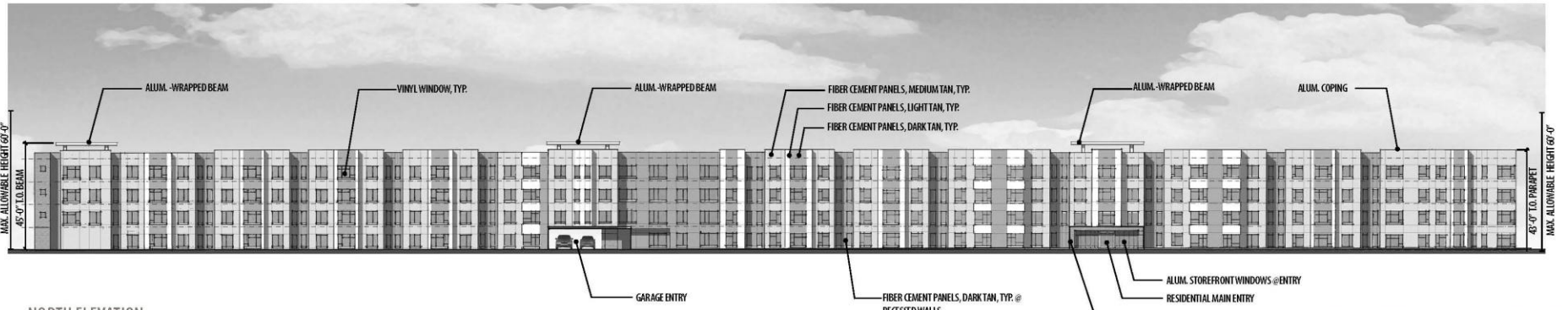
I:\Projects\15-00231\15-00231-01.dwg Date: 10/20/15 11:08am





**SOUTH ELEVATION**

\* ELEVATION NOTES ARE TYPICAL ACROSS ALL ELEVATIONS UNLESS NOTED OTHERWISE



**NORTH ELEVATION**

\* ELEVATION NOTES ARE TYPICAL ACROSS ALL ELEVATIONS UNLESS NOTED OTHERWISE

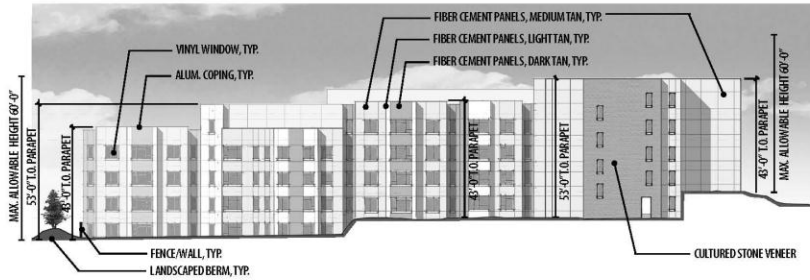
FILE #: AR DP 15-00231 PAGE 5 OF 8

**PRELIMINARY ELEVATIONS**

GRAPHIC SCALE (UNLESS NOTED OTHERWISE)

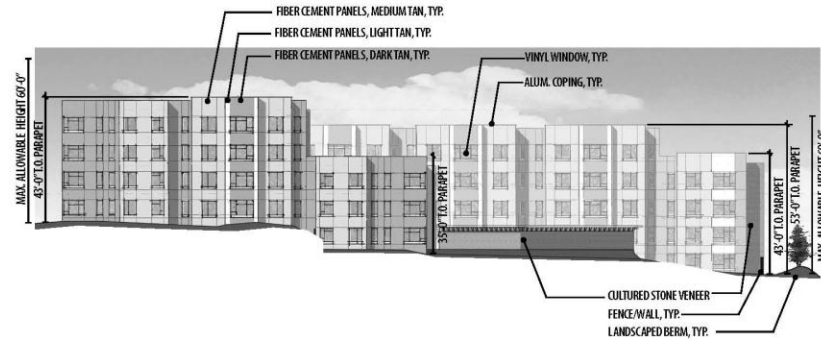
DATE: 15 JUNE 2015 K&A #: 15014

©2015 - Kitchen & Associates. All planning and architectural concepts shown on this document are the intellectual property of Kitchen & Associates. This design may not be duplicated or incorporated in any other plan or document without the express written consent of Kitchen & Associates.



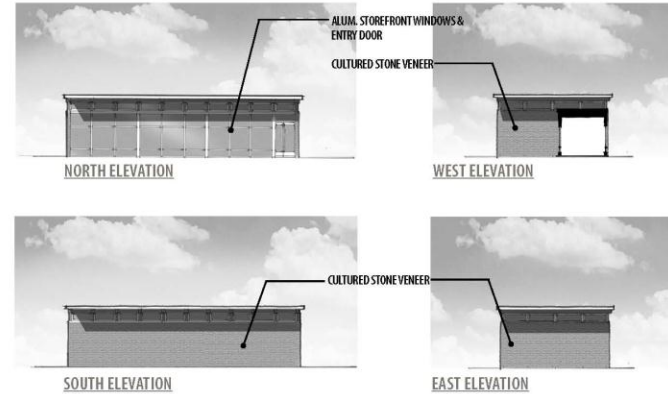
**EAST ELEVATION**

\*ELEVATION NOTES ARE TYPICAL ACROSS ALL ELEVATIONS UNLESS NOTED OTHERWISE



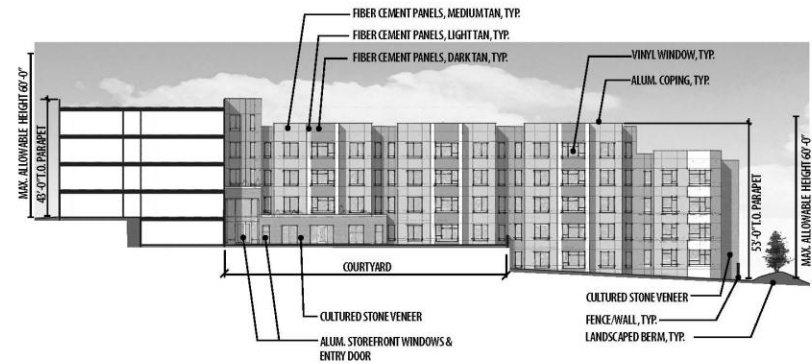
**WEST ELEVATION**

\*ELEVATION NOTES ARE TYPICAL ACROSS ALL ELEVATIONS UNLESS NOTED OTHERWISE



**FITNESS CENTER ELEVATIONS**

\*ELEVATION NOTES ARE TYPICAL ACROSS ALL ELEVATIONS UNLESS NOTED OTHERWISE



**SECTION #1**

\*SEE SECTION LOCATION KEY PLAN ON SHEET 7 OF 8

FILE #: AR DP 15-00231 PAGE 6 OF 8

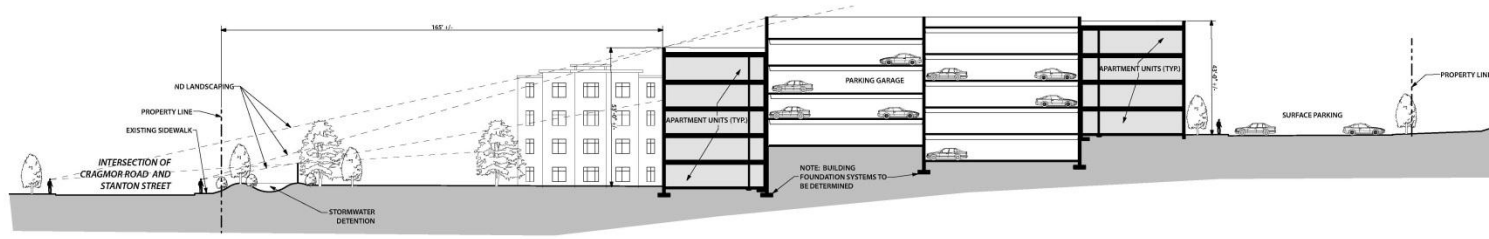
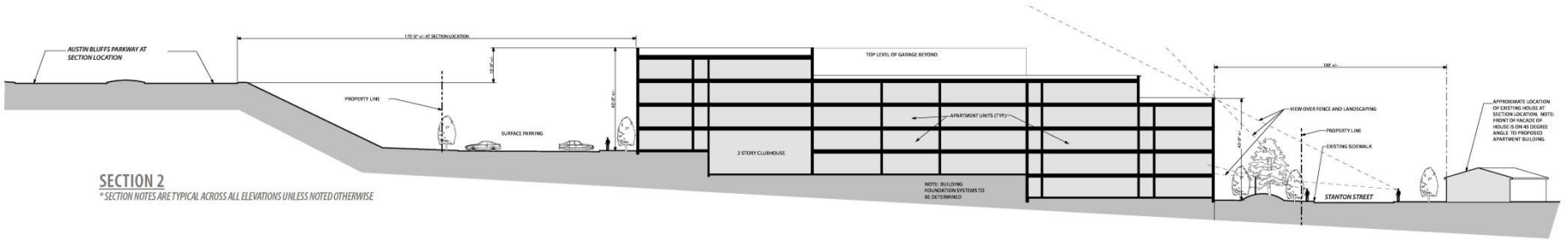
PRELIMINARY ELEVATIONS & PARTIAL BUILDING SECTION

GRAPHIC SCALE (UNLESS NOTED OTHERWISE)

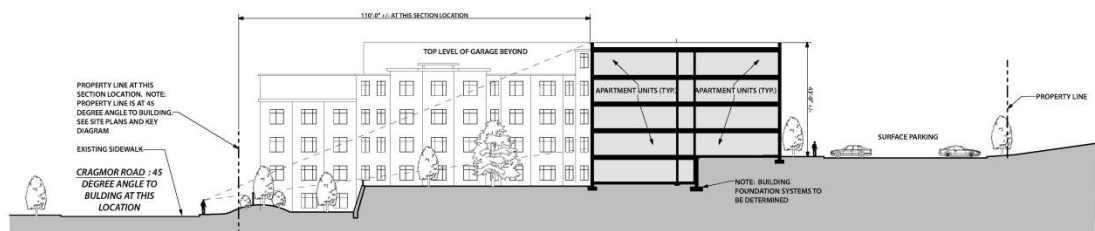
0 20ft 40ft 80ft

DATE: 15 JUNE 2015 K&A #: 15014

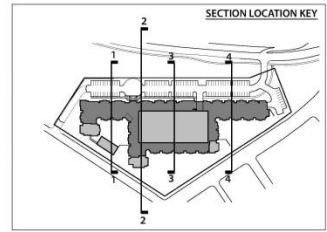




**SECTION 3**  
\*SECTION NOTES ARE TYPICAL ACROSS ALL ELEVATIONS UNLESS NOTED OTHERWISE



**SECTION 4**  
\*SECTION NOTES ARE TYPICAL ACROSS ALL ELEVATIONS UNLESS NOTED OTHERWISE



FILE #: AR DP 15-00231 PAGE 7 OF 8

**PRELIMINARY BUILDING SECTIONS**

GRAPHIC SCALE (UNLESS NOTED OTHERWISE)

0 20FT 40FT 80FT

DATE: 15 JUNE 2015 K&A #:15014

©2015 - Kitchen & Associates. All planning and architectural concepts shown on this document are the intellectual property of Kitchen & Associates. This design may not be duplicated or incorporated in any other plan or document without the express written consent of Kitchen & Associates.





# Developments





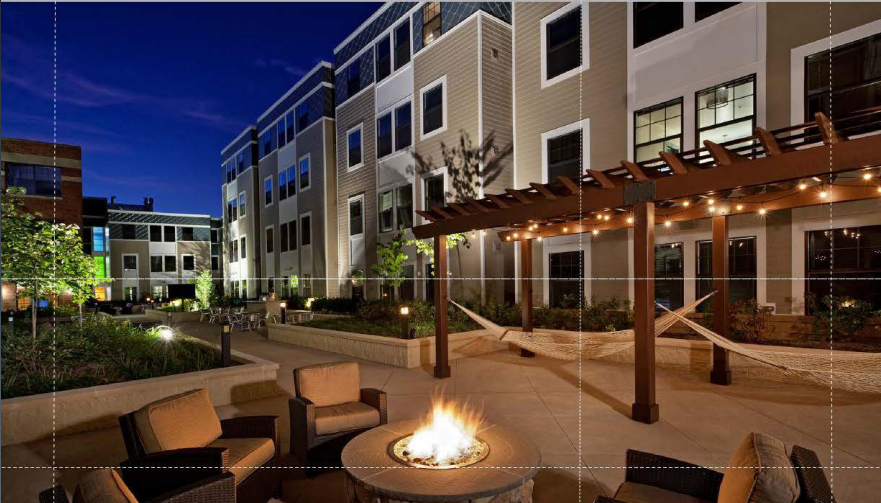


# Development



1200 WEST MARSHALL AT VIRGINIA COMMONWEALTH UNIVERSITY

RICHMOND, VA



THE DEN AT UNIVERSITY OF MISSOURI

COLUMBIA, MO





# Crime



# Quality of Life

<a href="#">14540710</a>	12/13/14	18:18	5877 N NEVADA AV; THE LODGES	THEFT - DLR	4
<a href="#">14539546</a>	12/12/14	22:48	5877 N NEVADA AV; THE LODGES	KEGGER-LOUD PARTY	2
<a href="#">14529515</a>	12/06/14	02:49	5877 N NEVADA AV; @ THE LODGES		
<a href="#">14519464</a>	11/28/14	23:05	5877 N NEVADA AV; THE LODGES	SUSP VEHICLE	3
<a href="#">14484690</a>	11/04/14	21:41	5877 N NEVADA AV #302B; THE LODGES	ALPHA - PD REQ-CODE 2	3
<a href="#">14484628</a>	11/04/14	20:50	5877 N NEVADA AV #302B; THE LODGES	SUICIDE OR ATTEMPT - IP	1
<a href="#">14479008</a>	11/01/14	03:05	5877 N NEVADA AV; THE LODGES	911 CELL CALL HANG UP	3
<a href="#">14477682</a>	10/31/14	11:37	5877 N NEVADA AV; THE LODGES	STRUCTURE FIRE	1
<a href="#">14470058</a>	10/26/14	15:47	5877 N NEVADA AV; THE LODGES	WATER MAIN BREAK	3
<a href="#">14458227</a>	10/19/14	01:14	5877 N NEVADA AV; THE LODGES	DISTURBANCE	1
<a href="#">14418233</a>	09/23/14	21:39	5877 N NEVADA AV; THE LODGES	TRAFFIC STOP	4
<a href="#">14406802</a>	09/17/14	01:04	5877 N NEVADA AV	BURGLARY ALARM	3
<a href="#">14367287</a>	08/24/14	01:48	5877 N NEVADA AV; THE LODGES	DISTURBANCE	1
<a href="#">14359770</a>	08/19/14	18:02	5877 N NEVADA AV	MISCELLANEOUS CALL FOR SERVICE	4
<a href="#">14359749</a>	08/19/14	17:51	5877 N NEVADA AV	MISCELLANEOUS CALL FOR SERVICE	4



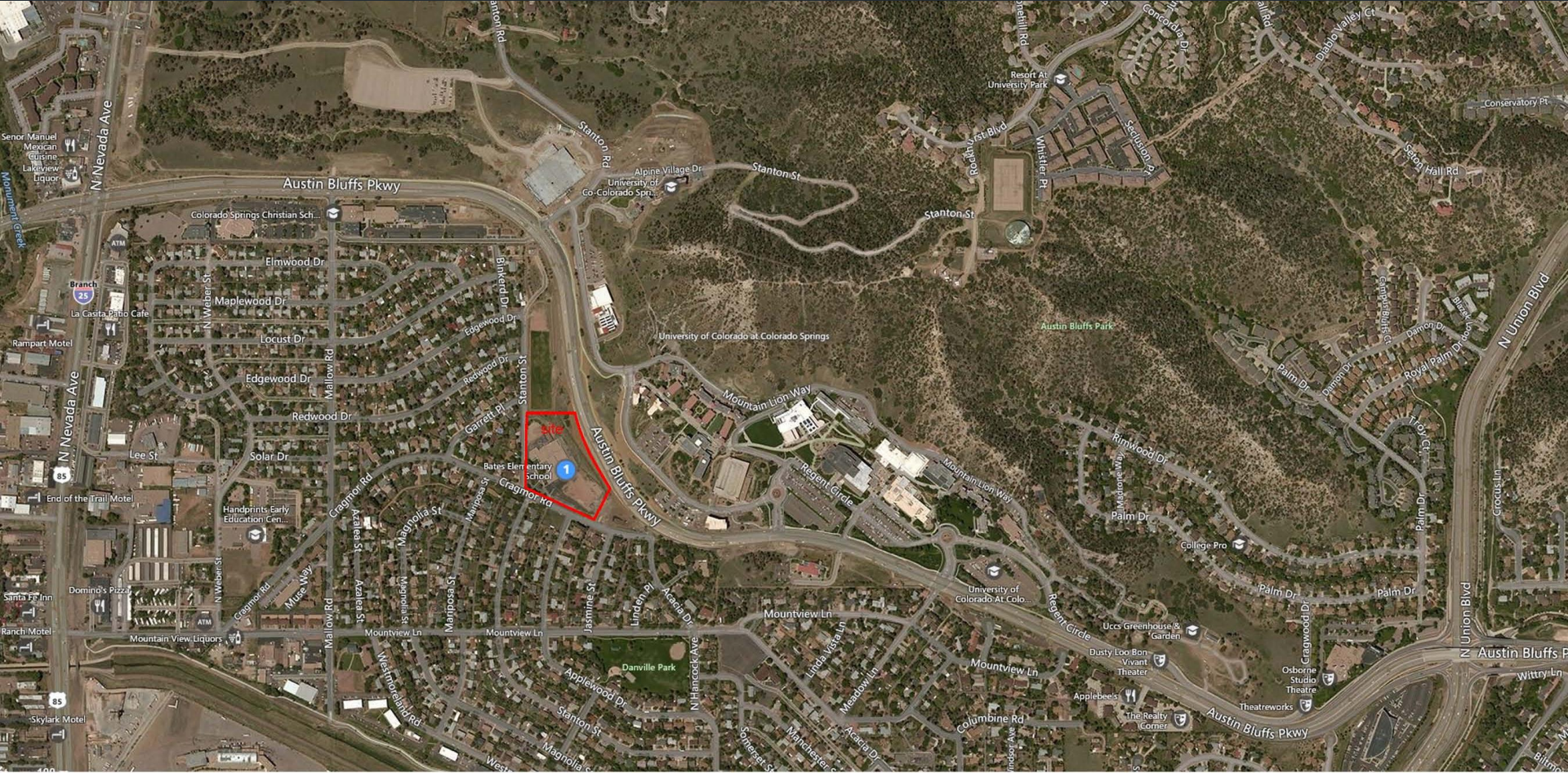
## Austin Bluffs

6680





# Emergency Access/Evacuation

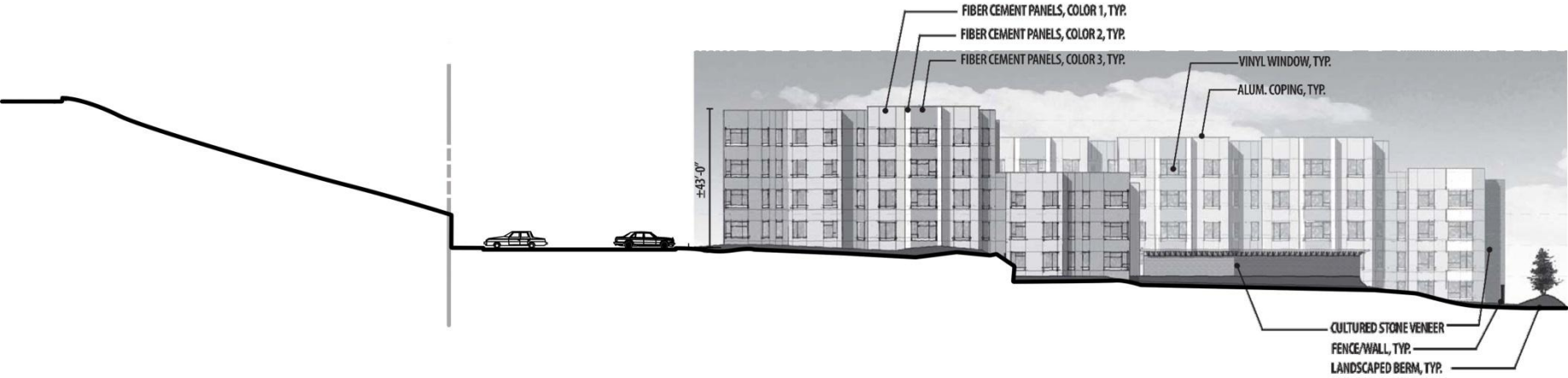




# Emergency Access/Evacuation

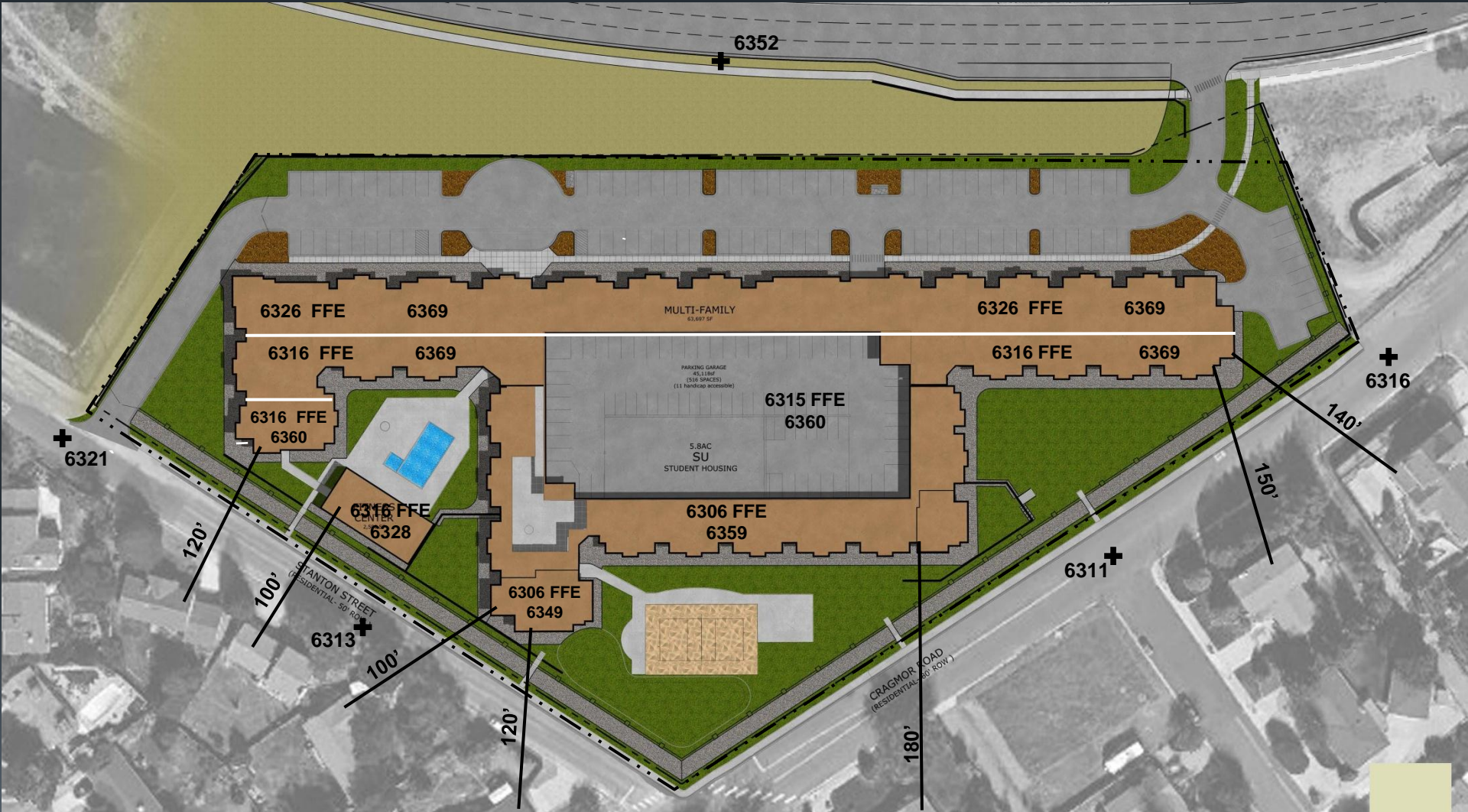


# DEVELOPMENT PROPOSAL



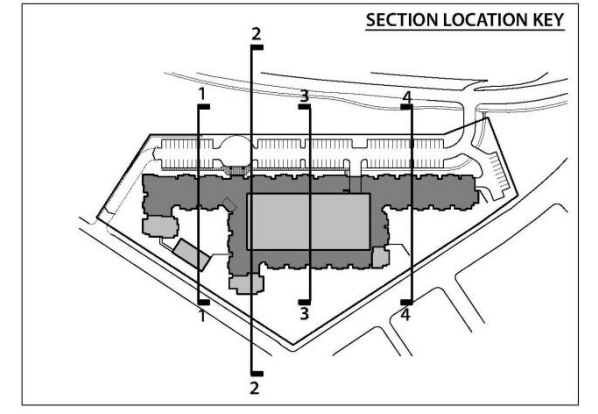
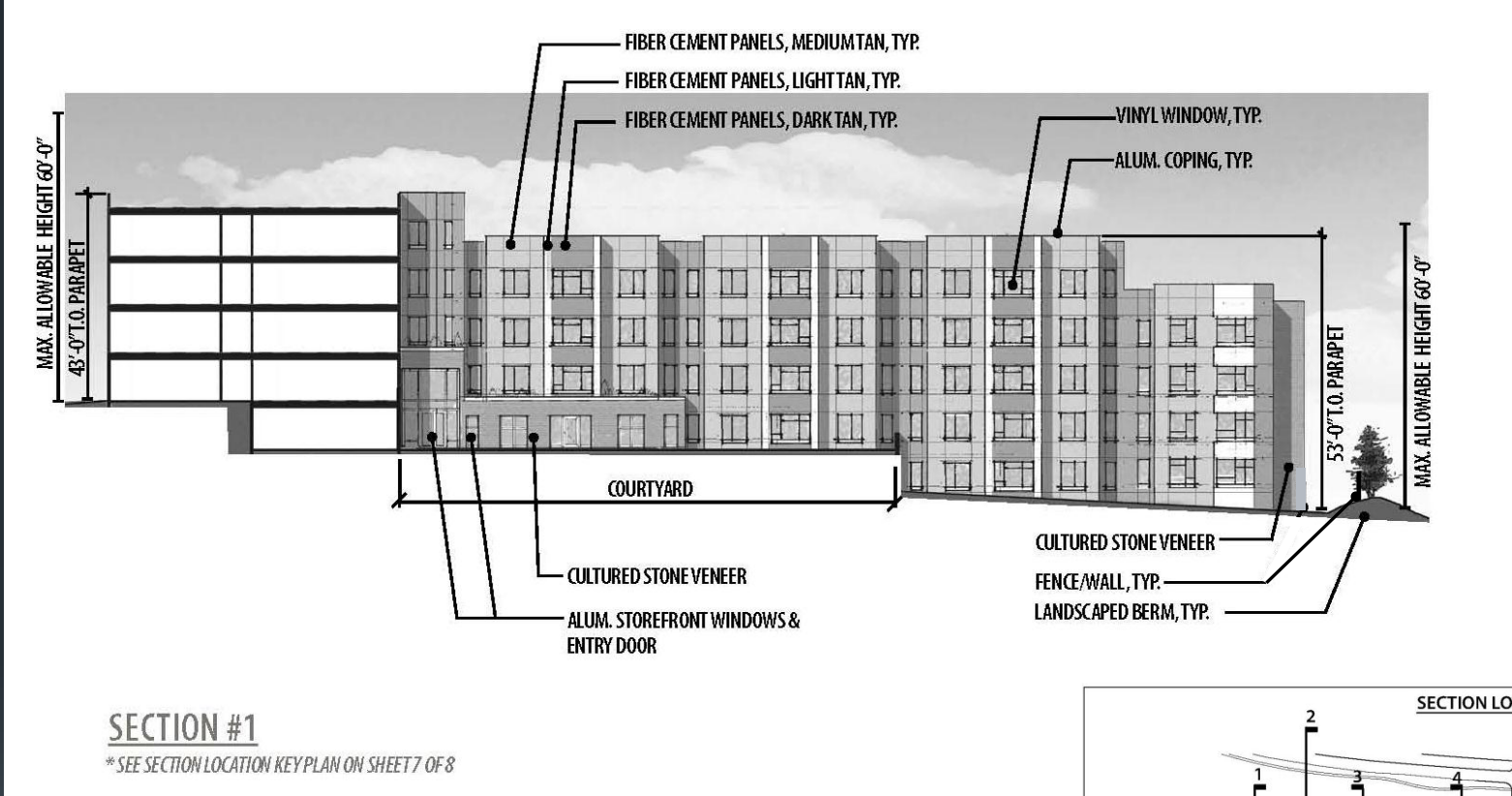


# DEVELOPMENT PLAN



# DEVELOPMENT PLAN REVIEW CRITERIA

1. Will the project design be harmonious with the surrounding land uses and neighborhood? YES

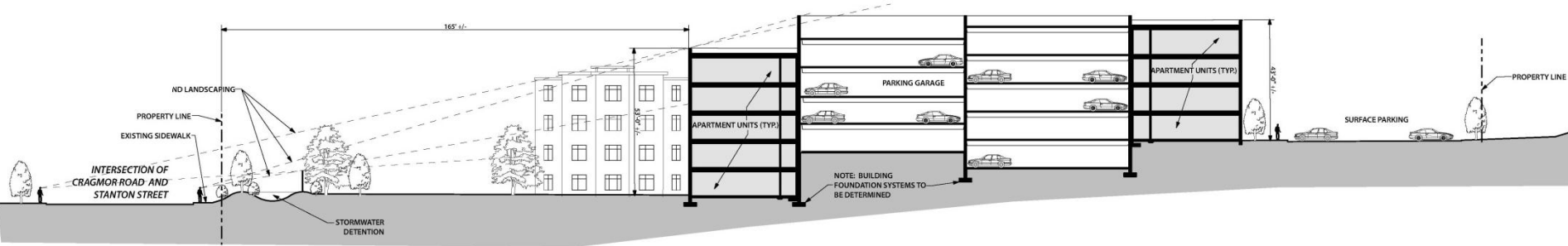




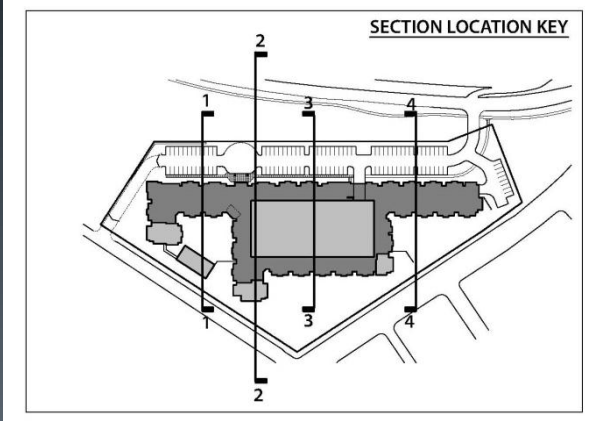
# DEVELOPMENT PLAN REVIEW CRITERIA



1. Will the project design be harmonious with the surrounding land uses and neighborhood? YES



**SECTION 3**  
\* SECTION NOTES ARE TYPICAL ACROSS ALL ELEVATIONS UNLESS NOTED OTHERWISE



# DEVELOPMENT PLAN REVIEW CRITERIA

76

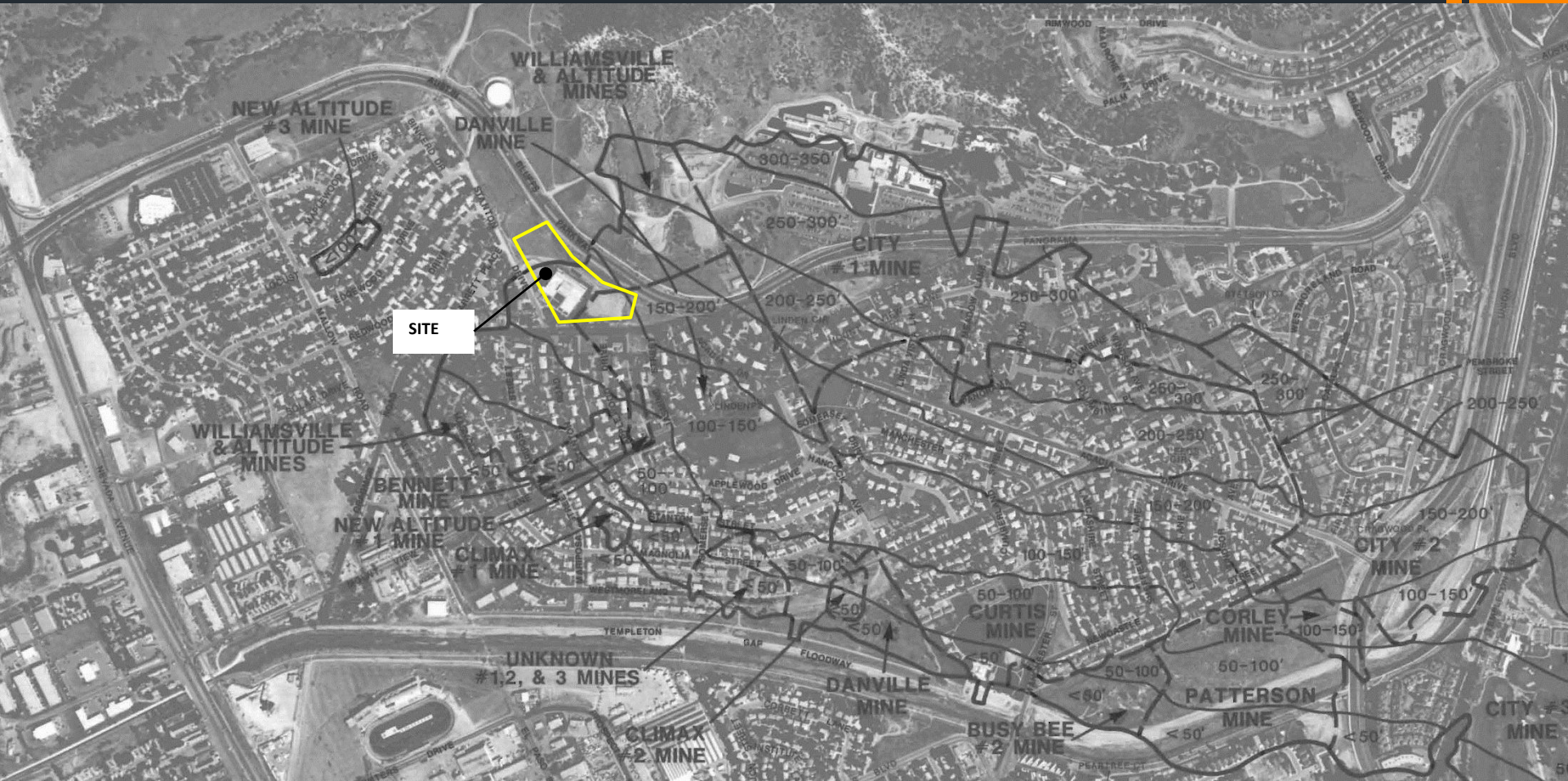
1. Will the project design be harmonious with the surrounding land uses and neighborhood?



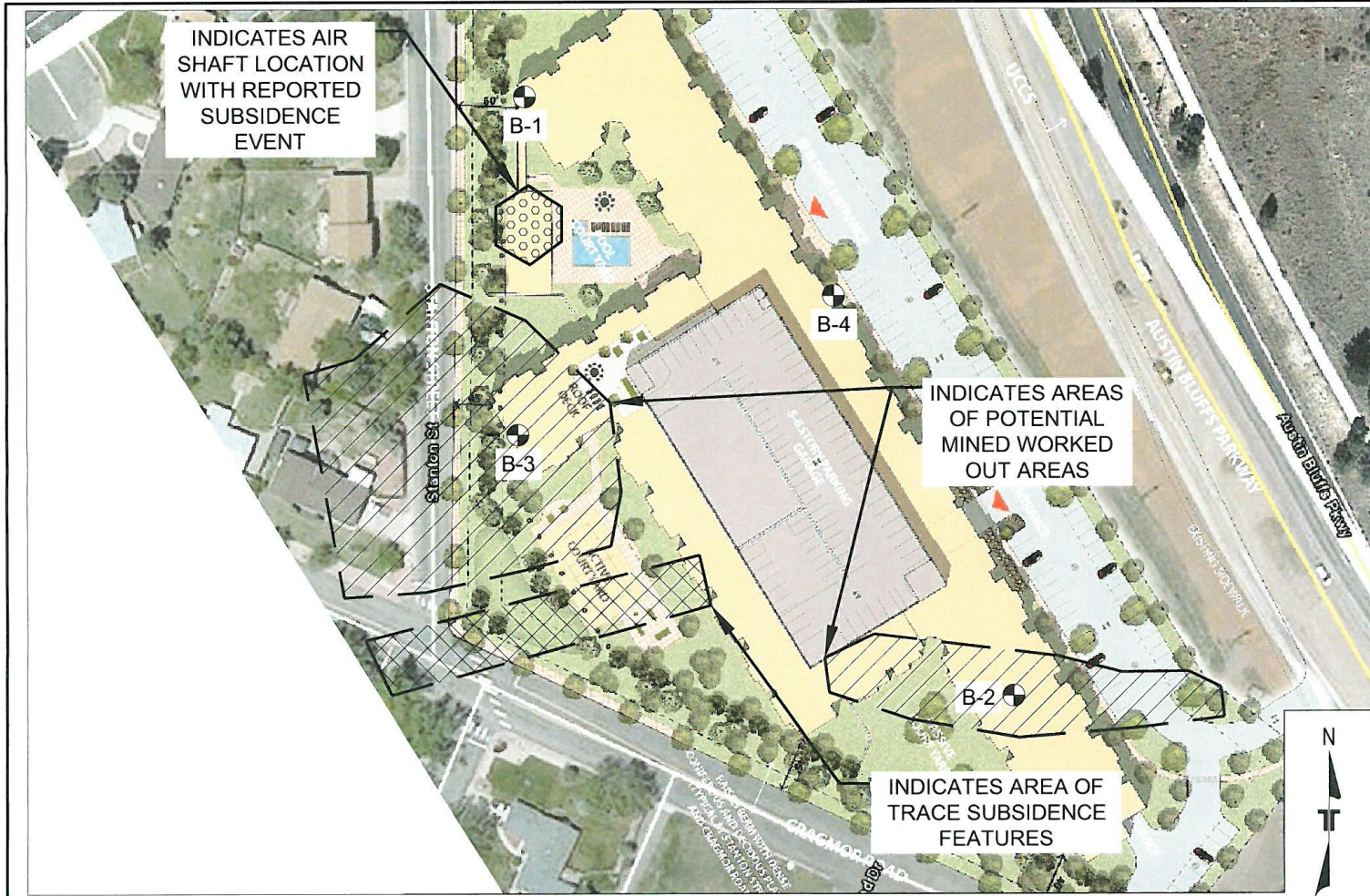


# Traffic









NOTE: COLORADO DIVISION OF RECLAMATION MINING & SAFETY PREVIOUSLY DOCUMENTED SUBSIDENCE EVENTS. USED AS BASE DRAWING.

DIAGRAM IS FOR GENERAL LOCATION ONLY, AND IS NOT INTENDED FOR CONSTRUCTION PURPOSES.

Project Mng:	RWF	Project No:	23155012
Drawn By:	RMH	Scale:	NOT TO SCALE
Checked By:	RWF	File No:	Fig10-PDS
Approved By:	RWF	Date:	04-28-2015

**Terracon**  
 Consulting Engineers and Scientists  
 4172 Center Park Drive Colorado Springs, Colorado 80916  
 PH. (719) 597-2116 FAX. (719) 597-2117

PROPOSED IMPROVEMENTS WITH DOCUMENTED MINING FEATURES  
 GG Land Group Colorado Springs LLC  
 UCCS BATES STUDENT HOUSING  
 702 CRAGMOR ROAD  
 COLORADO SPRINGS COLORADO

Ex. No.  
**A-10**

# UCCS:

## 2012 Master Plan

### Housing Needs

*There are no guidelines for the amount of residential space a campus should provide. Supply of on-campus student housing is the result of an interaction between policy decisions about student housing, student demand, and market supply of housing units nearby.*

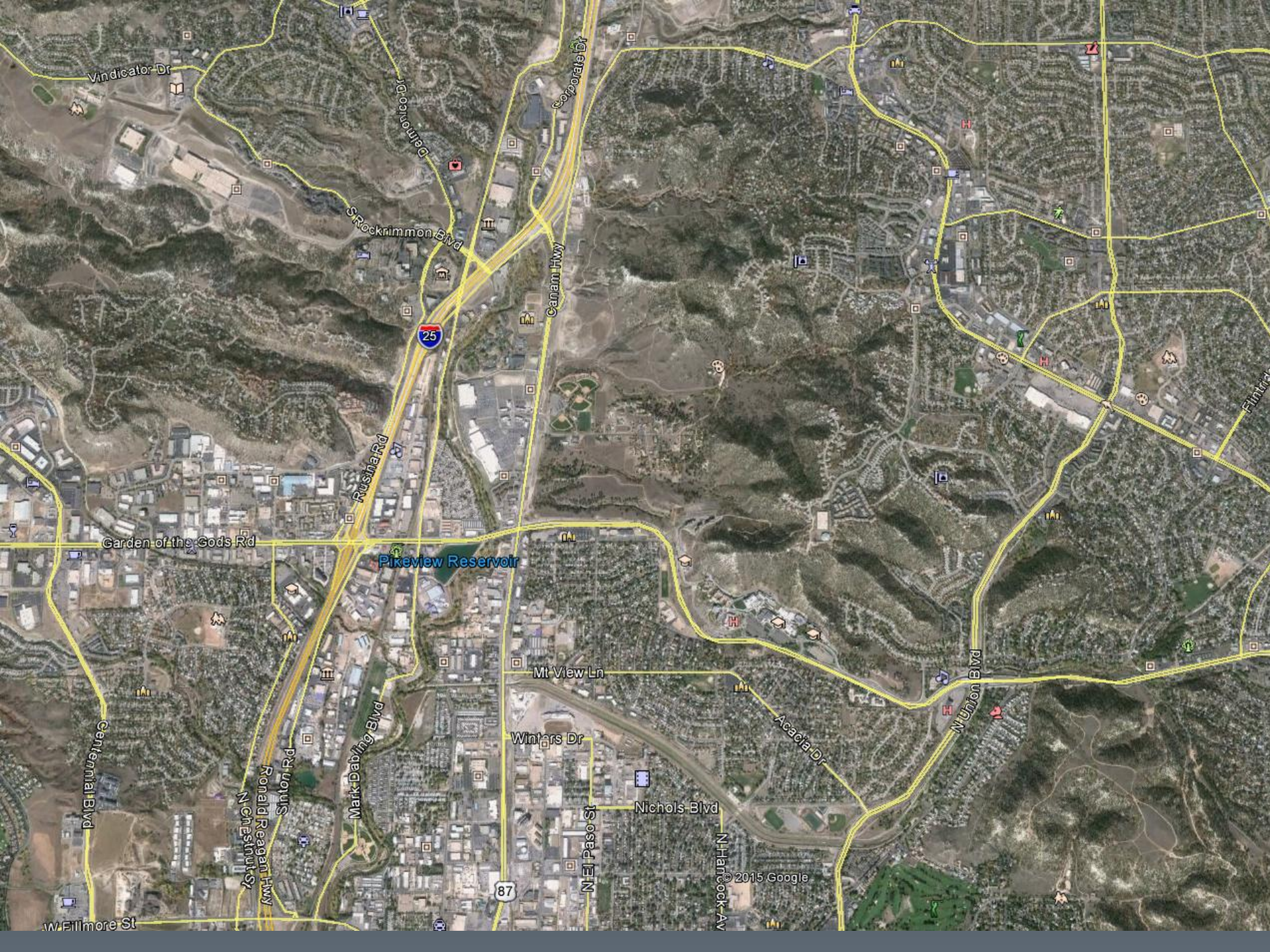
As of Fall 2014, Freshmen under 20 with less than 30 hours of completed course work are required to live on campus (unless El Paso, Teller, Douglas or Pueblo County resident)

### Projected growth

2011	9321 students/900 beds (1491 beds)
2020	13,000 (2400 beds)

Master Plan allocates capacity for facilities that would accommodate 20,000 to 23,000 students





Vindicator Dr

Rockrimmon Blvd

Canham Hwy

25

Rockrimmon Blvd

Rusha Rd

Garden of the Gods Rd

Pikeview Reservoir

Mt View Ln

Winters Dr

Acacia Dr

N Union Blvd

Nichols Blvd

N El Paso St

N Hancock Av

Mark Dabing Blvd

Ronald Reagan Hwy  
N Chestnut St

Centennial Blvd

W Fillmore St

87

© 2015 Google