



LOCAL RELIC - PHASE 1 - SITE & DECKING

320 S. WEBER ST. COLORADO SPRINGS, CO 80903

LEGAL DESCRIPTION

ADDRESS: 320 S. WEBER ST. COLORADO SPRINGS, CO 80906
 LEGAL DESCRIPTION: LOT 7 BLK 123 COLO SPRGS
 PLAT BOOK: A, PAGE 3
 TAX SCHEDULED NUMBER: 6416409008
 BUILDING SETBACKS: 0
 LOT SIZE: 11,395 SQ. FT.
 EXISTING BUILDING COVERAGE: 3,123 SQ. FT.
 DECK ADDITION: 2,009 SQ. FT.

ARCHITECTURE DESIGN FIRM



3311 Elm Street
 Suite 105
 Dallas, Texas 75226
 214-742-6044
 214-742-6041 Fax

STRUCTURAL FIRM



ENTTECH
ENGINEERING, INC.
 505 ELKTON DRIVE
 COLORADO SPRINGS, CO 80907 (719) 531-5599

ARCHITECTURAL DRAWING INDEX:

SHEET NO.	SHEET NAME
A0 00	COVER PAGE
A0 01	ANSI A117.1 - 2003 STANDARDS
A0 02	ANSI A117.1 - 2003 STANDARDS
A1 01	GENERAL NOTES
A1 02	DOOR/HARDWARE
A2 00	SITE PLAN
A2 01D	SITE DEMOLITION PLANS
A2 01	SITE CONSTRUCTION PLANS
A2 02	BASEMENT DEMOLITION AND CONSTRUCTION PLANS
A2 03	DECK DIMENSION AND STRUCTURAL PLANS
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A7 03	SECTIONS

STRUCTURAL DRAWING INDEX:

SHEET NO.	SHEET NAME
S1	GENERAL NOTES
S2	EXTERIOR DECK PLANS

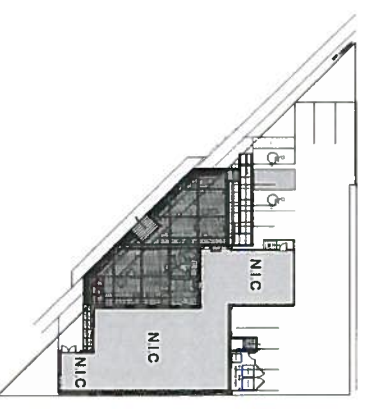
VICINITY MAP



SITE MAP



KEY PLAN



APPROVED
 CITY OF COLO SPRINGS
 JUL 05 2017
 BY CITY PLANNING

PROJECT

320 S. WEBER ST
 COLORADO SPRINGS, CO
 80903

PROJECT MANAGEMENT

bobbyhill
 DESIGN

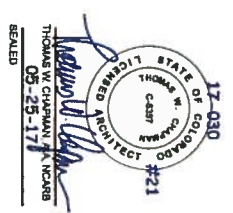
218 WEST COLORADO AVE
 SUITE 308
 COLORADO SPRINGS, CO
 719-534-3900 719-534-2239

ARCHITECT



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 Dallas, Texas 75226
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ARCHITECT'S
 SEAL



FULL SET ISSUE HISTORY

ISSUE FOR PERMIT	DATE
	05/26/17

SHEET DELTA REVISION

NO.	DESCRIPTION

DRAWING INFO

FILE: Cover Sheet.dwg
 DRAWN BY: oespinosa
 CHECKED BY: JS

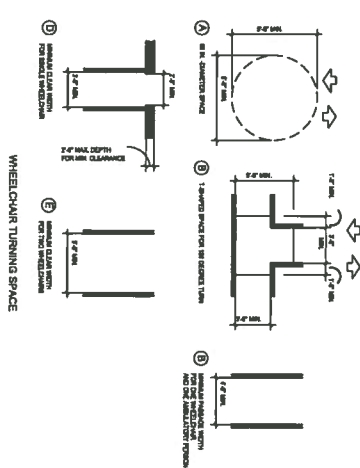
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COVER SHEET

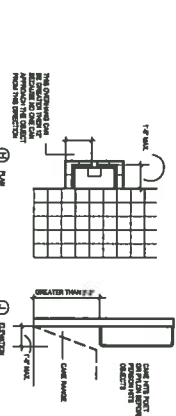
A0.00

4.2 - SPACE ALLOWANCES AND REACH RANGES

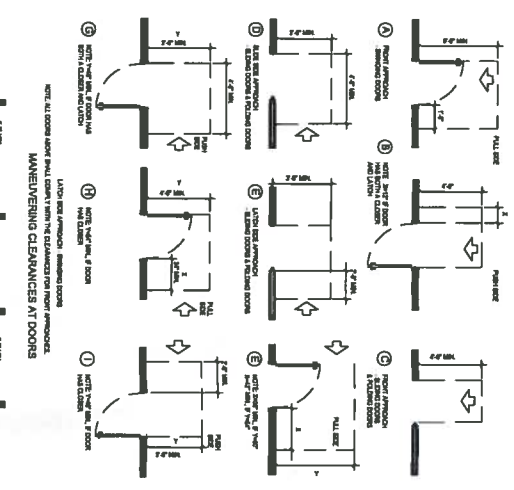
SECTION 4.2.1 - WHEELCHAIR PASSAGE WIDTH
 A. THE MINIMUM CLEAR WIDTH FOR SINGLE WHEELCHAIR PASSAGE SHALL BE 3' 0" FROM END TO END CONTIGUOUSLY.
SECTION 4.2.2 - WIDTH FOR WHEELCHAIR PASSING
 A. THE MINIMUM CLEAR WIDTH FOR TWO WHEELCHAIRS TO PASS IS 8' 0".
SECTION 4.2.3 - SIZE AND APPROACH
 A. MINIMUM CLEAR WIDTH FOR WHEELCHAIR AND OCCUPANT SHALL BE 3' 0" FROM END TO END. CLEAR FLOOR SPACE SHALL BE CONTIGUOUS TO THE WHEELCHAIR SEAT.



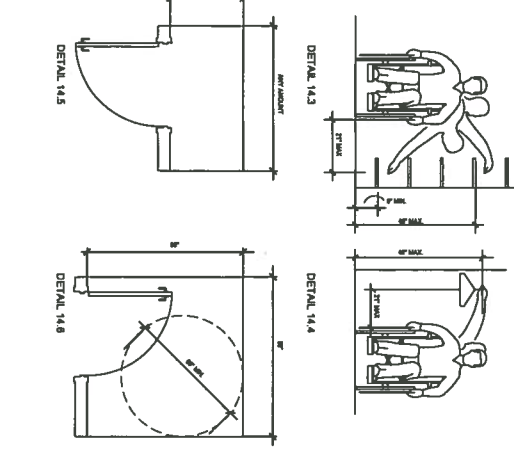
4.4 - PROTRUDING OBJECTS, CONTINUED



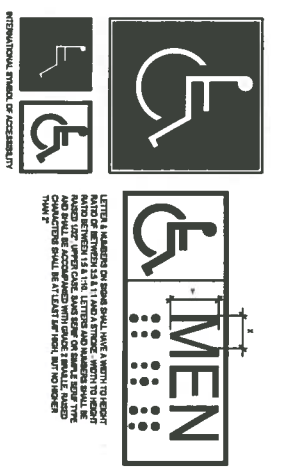
4.13 - DOORS, CONTINUED



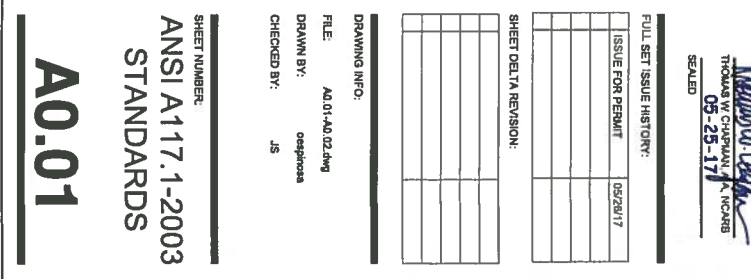
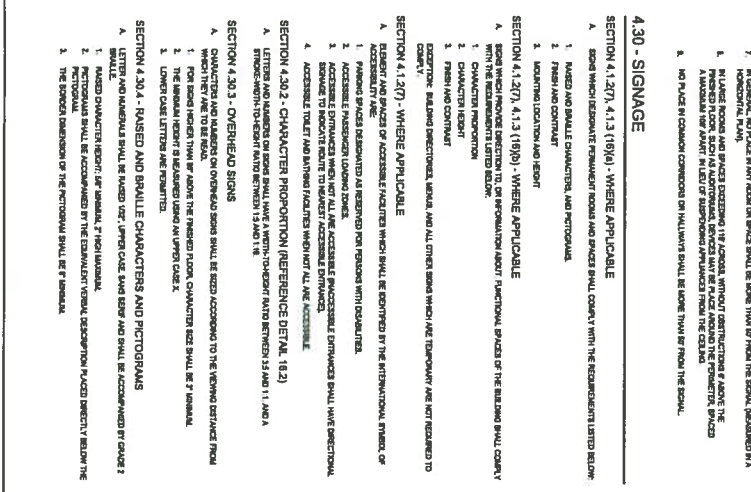
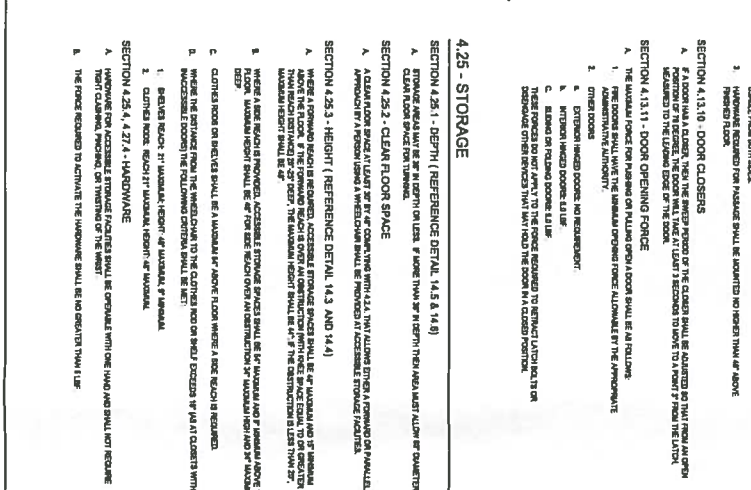
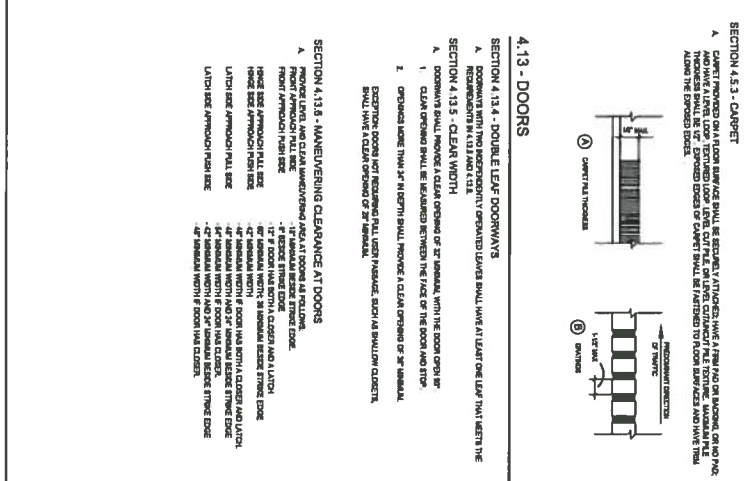
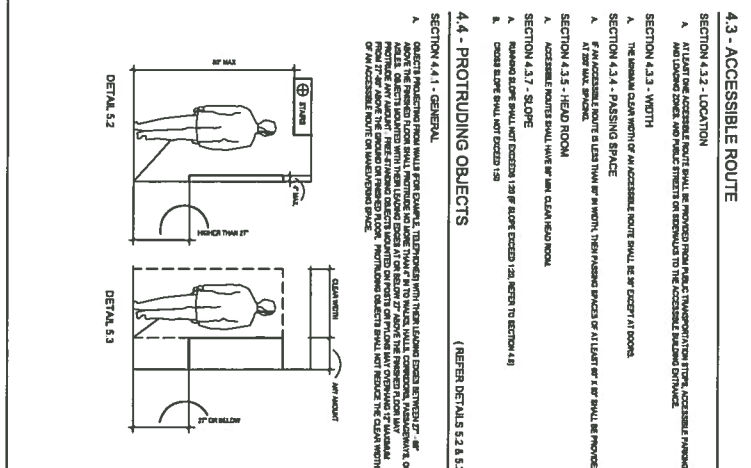
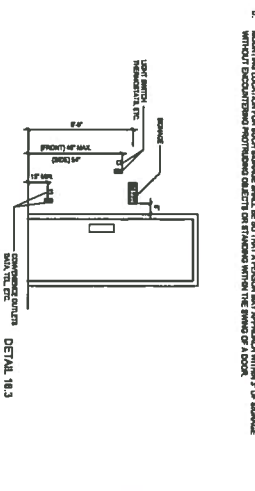
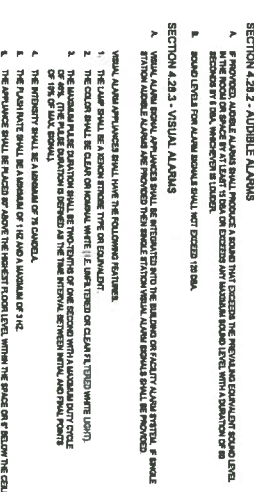
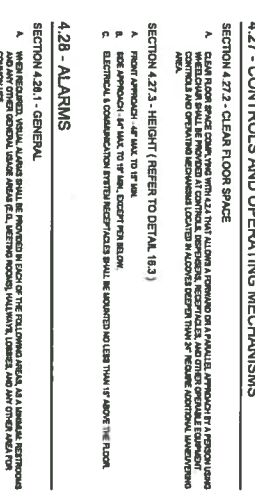
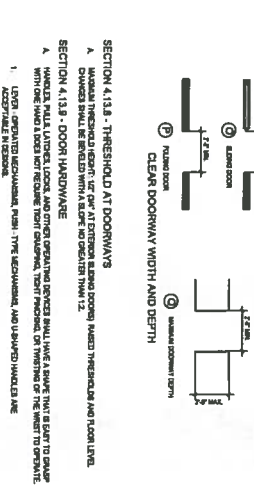
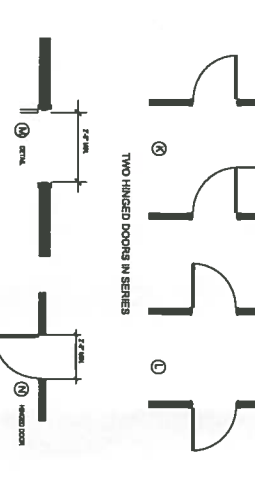
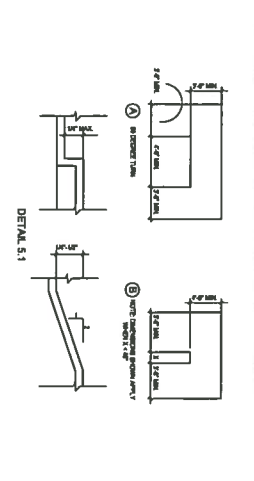
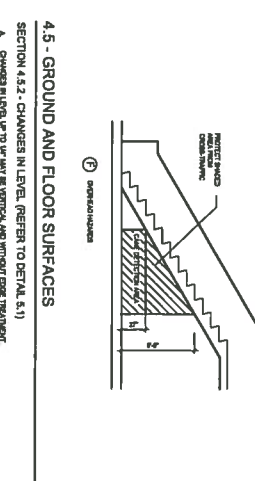
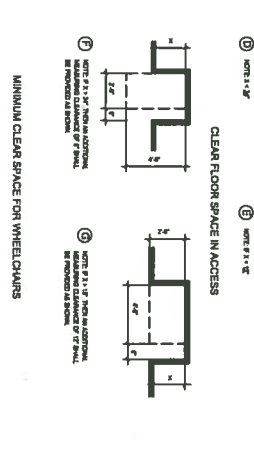
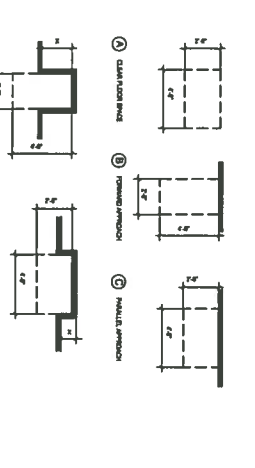
4.27 - CONTROLS AND OPERATING MECHANISMS



4.30 - SIGNAGE, CONTINUED



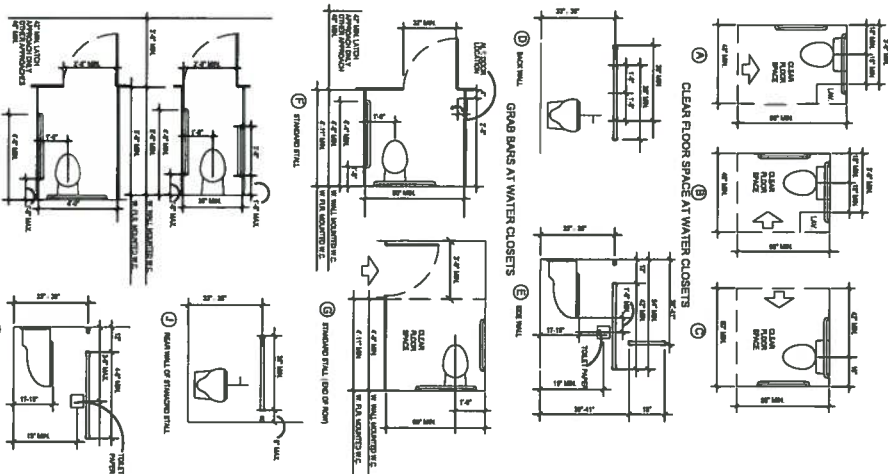
4.30 - SIGNAGE, CONTINUED



17-030
 STATE OF COLORADO
 HOME CARE
 LICENSED ARCHITECT #21
 THEODORE J. O'SPINA
 09-25-17
 SCALED
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 ISSUE FOR PERMIT 06/29/17
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 CHECKED BY: JS
 SHEET NUMBER: ANS1 A117.1-2003 STANDARDS
 A0.01
 APPROVED
 CITY OF COLORADO SPRINGS
 JUL 05 2017
 BY CITY PLANNING

PROJECT:
 320 S. WEBER ST
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 80903
 PROJECT MANAGEMENT
boobyhill
 DESIGN
 218 WEST COLORADO AVE
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 719-534-3500 719-534-2239
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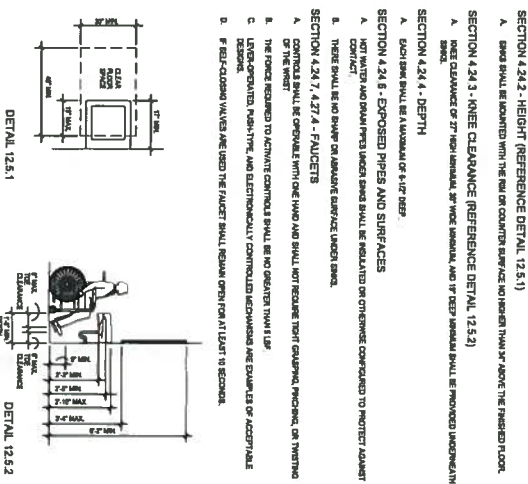
4.17 - TOILET STALLS



4.19 - LAVATORIES & MIRRORS, CONTINUED

- SECTION 4.19.4 - 4.27.4 - FLUCCETS
- THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 LBS.
 - CONTROLS SHALL BE OPERATED BY ONE HAND AND SHALL NOT REQUIRE TOUGH CLAMMING, PUNCHING OR TWISTING OF THE HAND.
 - OPERATING MECHANISMS AND ELECTRONICALLY CONTROLLED MECHANISMS ARE EQUAL TO ACCEPTABLE DESIGN.
 - IF BID CLOSING VALVES ARE USED THE FLUCCET SHALL REMAIN OPEN FOR AT LEAST 15 SECONDS.
- SECTION 4.19.5 - MIRRORS (REFERENCE DETAIL 12.5.1)
- MIRRORS SHALL BE LOCATED WITH THE BOTTOM EDGE OF THE REFLECTING SURFACE AT MAXIMUM ABOVE THE TOILET SEAT TO BE USED BY MAINTAINING PROPER 4' AND MINIMUM ABOVE SEAT. MIRRORS SHALL BE PROVIDED IN ALL TOILET ROOMS EXCEPT WHERE MIRRORS ARE NOT REQUIRED BY THE TYPICAL CODE.
- 4.20 - BATH TUBS
- SECTION 4.20.2 - FLOOR SPACE
- CLEAR FLOOR SPACE SHALL BE PROVIDED IN FRONT OF BATH TUB AS FOLLOWS:
 - 36" WIDE BY 60" LONG BEHIND THE BATH TUB FROM FRONT APPROACH
 - 36" WIDE BY 60" LONG BEHIND THE BATH TUB FROM REAR APPROACH
 - 36" WIDE BY 60" LONG BEHIND THE BATH TUB FROM SIDE APPROACH
- SECTION 4.20.3 - SEAT
- AT EACH SEAT OR SEAT AT THE HEAD END OF THE TUB SHALL BE PROVIDED: SEATS SHALL BE LOCATED SQUARELY AND SHALL NOT BE A CURVED LINE.
 - SEAT SHALL BE 17" ABOVE FLOOR.
 - SEAT SHALL BE 17" WIDE BY 17" LONG BEHIND THE TUB.
 - SEAT SHALL BE 17" WIDE BY 17" LONG BEHIND THE TUB.
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 - SEAT SHALL BE 17" WIDE BY 17" LONG BEHIND THE TUB.
- SECTION 4.20.4 - GRAB BARS
- CONTROL WALL, 17" LONG BARRIERS FROM OUTSIDE WALL, 25" ABOVE FLOOR.
 - CONTROL WALL, 17" LONG BARRIERS FROM OUTSIDE WALL, 25" ABOVE FLOOR.
 - CONTROL WALL, 17" LONG BARRIERS FROM OUTSIDE WALL, 25" ABOVE FLOOR.
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 - CONTROL WALL, 17" LONG BARRIERS FROM OUTSIDE WALL, 25" ABOVE FLOOR.

4.24 - SINKS



4.32 - SEATING AND TABLES

SECTION 4.32.2 - SEATING

- SEAT SHALL BE LOCATED WITH THE FRONT EDGE OF SEATING SURFACE NO MORE THAN 18" FROM THE FINISHED FLOOR.
- SEAT SHALL BE 17" HIGH BY 17" WIDE BY 17" LONG BEHIND THE SEATING SURFACE.
- SEAT SHALL BE 17" HIGH BY 17" WIDE BY 17" LONG BEHIND THE SEATING SURFACE.
- SEAT SHALL BE 17" HIGH BY 17" WIDE BY 17" LONG BEHIND THE SEATING SURFACE.

SECTION 4.32.3 - KNEE SPACE

- SEATING SPACES FOR KNEES SHALL BE PROVIDED AS FOLLOWS:
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- SEATING SPACES FOR KNEES SHALL BE PROVIDED AS FOLLOWS:
- SEATING SPACES FOR KNEES SHALL BE PROVIDED AS FOLLOWS:

SECTION 4.32.4 - HEIGHT OF TABLES OR COUNTERS

- HEIGHT OF TABLES OR COUNTERS SHALL BE 36" ABOVE FLOOR.
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4.33 - AUTOMATIC TELLER MACHINES

SECTION 4.34.2 - CLEAR FLOOR SPACE

- FLOOR SPACE SHALL COMPLY WITH 42.4 TO ALLOW A FORWARD, TURNABLE APPROACH ON BOTH SIDES.

SECTION 4.34.3 - REACH RANGES

- FORWARD APPROACH ONLY: CONTROLS WITH REACH APPROACH RANGES SHALL BE AS FOLLOWS:
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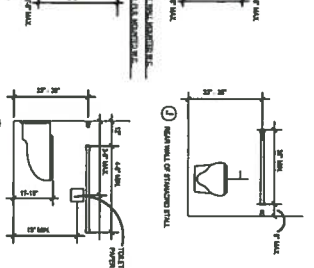
REACH DEPTH	MAX. HEIGHT	REACH DEPTH	MAX. HEIGHT	REACH DEPTH	MAX. HEIGHT
10 OR LESS	54	18	51	20	48-1/2
11	53-1/2	18	50-1/2	21	47-1/2
12	53	17	50	22	47
13	52-1/2	16	48-1/2	23	46-1/2
14	51-1/2	15	48	24	46

NOTE: DOES NOT APPLY TO SERVICE MACHINES.

4.35 - DRESSING AND FITTING ROOMS

- SECTION 4.35.4 - BENCH
- ENJOY ACCESSIBLE DRESSING ROOMS SHALL HAVE 18" X 18" OF REACH TO THE WALL ALONG THE LOWER EDGE OF THE BENCH SHALL BE LOCATED 17" TO 19" ABOVE THE FINISHED FLOOR.
- SECTION 4.35.5 - MIRROR
- A FULL-LENGTH MIRROR, LOCATED AT LEAST 17" ABOVE FLOOR, SHALL BE LOCATED IN A POSITION PROVIDING A VIEW TO A PERSON ON THE BENCH AS WELL AS TO A PERSON IN A STANDING POSITION.

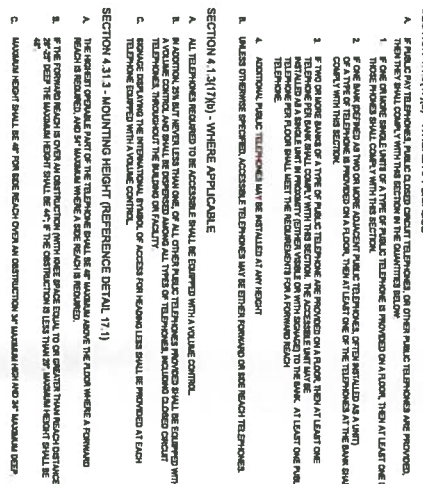
4.18 - URINALS



4.21 - SHOWER STALLS

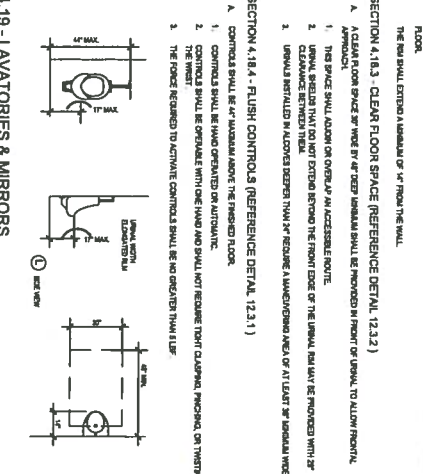
- SECTION 4.21.2 - SIZE AND CLEARANCES
- SHOWER STALLS SHALL BE EITHER 7' X 7' CLEAR FLOOR DIMENSION OR 8' X 8' CLEAR FLOOR DIMENSION.
- SECTION 4.21.3 - SEAT
- SEAT REQUIRED IN 7' X 7' STALLS AND SHALL HAVE THE FOLLOWING FEATURES:
 - SEAT SHALL BE 17" ABOVE FLOOR.
 - SEAT SHALL BE 17" WIDE BY 17" LONG BEHIND THE TUB.
 - SEAT SHALL BE 17" WIDE BY 17" LONG BEHIND THE TUB.
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- SECTION 4.21.4 - GRAB BARS
- GRAB BARS SHALL BE LOCATED 37" ABOVE FLOOR.
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- SECTION 4.21.5 - CONTROLS
- ALL SHOWER CONTROLS SHALL BE LOCATED 37" ABOVE FLOOR.
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- SECTION 4.21.6 - SHOWER UNIT
- SHOWER UNIT SHALL BE 17" HIGH BY 17" WIDE BY 17" LONG BEHIND THE TUB.
 - SHOWER UNIT SHALL BE 17" HIGH BY 17" WIDE BY 17" LONG BEHIND THE TUB.
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 - SHOWER UNIT SHALL BE 17" HIGH BY 17" WIDE BY 17" LONG BEHIND THE TUB.
- SECTION 4.21.7 - CURBS
- IF PROVIDED, CURBS ON SHOWER STALLS SHALL BE NO HIGHER THAN 17" FROM FINISHED FLOOR.
 - IF PROVIDED, CURBS ON SHOWER STALLS SHALL BE NO HIGHER THAN 17" FROM FINISHED FLOOR.
 - IF PROVIDED, CURBS ON SHOWER STALLS SHALL BE NO HIGHER THAN 17" FROM FINISHED FLOOR.
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4.31 - PUBLIC TELEPHONES

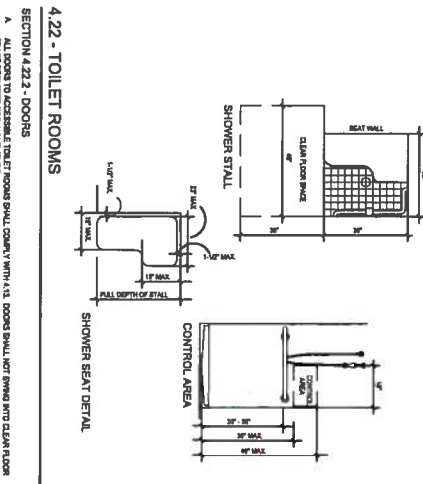


- SECTION 4.31.1 - WHERE APPLICABLE
- IF PROVIDED, PUBLIC TELEPHONE SHALL BE LOCATED IN A POSITION PROVIDING A VIEW TO A PERSON ON THE BENCH AS WELL AS TO A PERSON IN A STANDING POSITION.
 - IF PROVIDED, PUBLIC TELEPHONE SHALL BE LOCATED IN A POSITION PROVIDING A VIEW TO A PERSON ON THE BENCH AS WELL AS TO A PERSON IN A STANDING POSITION.
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- SECTION 4.31.2 - WHERE APPLICABLE
- ALL TELEPHONE RECEPTORS SHALL BE LOCATED WITH A REAR CONTROL.
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- SECTION 4.31.3 - MOUNTING HEIGHT (REFERENCE DETAIL 17.1)
- THE HIGHEST POINT OF THE TELEPHONE SHALL BE 48" ABOVE FLOOR.
 - THE HIGHEST POINT OF THE TELEPHONE SHALL BE 48" ABOVE FLOOR.
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- SECTION 4.31.4 - WHERE APPLICABLE
- IF PROVIDED, PUBLIC TELEPHONE SHALL BE LOCATED IN A POSITION PROVIDING A VIEW TO A PERSON ON THE BENCH AS WELL AS TO A PERSON IN A STANDING POSITION.
 - IF PROVIDED, PUBLIC TELEPHONE SHALL BE LOCATED IN A POSITION PROVIDING A VIEW TO A PERSON ON THE BENCH AS WELL AS TO A PERSON IN A STANDING POSITION.
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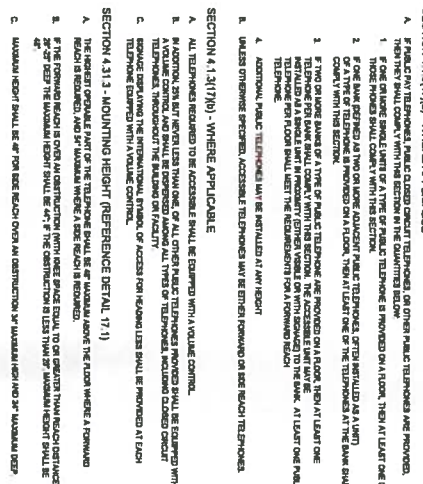
4.19 - LAVATORIES & MIRRORS



4.22 - TOILET ROOMS



4.23 - BATHROOMS, BATHING FACILITIES, AND SHOWER ROOMS



4.24 - SINKS



APPROVED
CITY OF COLO SPRINGS
JUL 05 2017
BY CITY PLANNING

PROJECT: 320 S. WEBER ST. COLORADO SPRINGS, CO 80903

ARCHITECT: bobboyhill DESIGN

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Dallas, Texas 75226
214-742-6044
214-742-6041 Fax
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17-030
STATE OF COLORADO
REGISTERED ARCHITECT #21
THOMAS M. WEBER
LICENSED ARCHITECT
09-25-17

ARCHITECTS: S|G|D design

ARCHITECT: ARCHITECT

FULL ISSUE HISTORY:
ISSUE FOR PERMIT: 05/29/17

SHEET DELTA REVISION:

DRAWING INFO:
FILE: A0.01-A0.02.dwg
DRAWN BY: oespinoza
CHECKED BY: JS

SHEET NUMBER: ANS I A117.1-2003 STANDARDS A0.02

GENERAL NOTES

- A. INTENT & USE OF CONSTRUCTION DOCUMENTS
 1. THE PURPOSE OF THESE DOCUMENTS IS TO CONVEY DESIGN INTENT ONLY. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLIANCE WITH ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK. A) PROBABLY NOTIFY DESIGNER IF THE DRAWINGS AND SPECIFICATIONS ARE AT VARIANCE THEREWITH, AND C) ALL RESIDENT BUILDING AND OTHER PERSONS REQUIRED IN CONNECTION WITH THE WORK.
 2. THE CONTRACTOR WILL BE REQUIRED TO HAVE INSPECTED THE SITE AND TO HAVE SOLE ON-SITE SUPERVISION OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FAILURE OF THE WORK ON OR ON BEHALF OF ANY CONTRACTOR TO EXAMINE ANY FINAL INSTRUMENT OF DOCUMENT WORK.
 3. THE CONTRACTOR SHALL PERFORM ALL PORTION OF THE WORK AT ALL TIMES WITHOUT DATA OR SAMPLE FOR SUCH PORTION OF THE WORK.
 4. THESE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER EXECUTION AND COMPLETION OF ALL WORK WITHIN THE SCOPE OF THIS DOCUMENTS SHALL BE FINAL AND BINDING ON THE CONTRACTOR AND THE OWNER.
 5. THE DESIGNER RESERVES THE RIGHT TO SELECT ITEMS INCORPORATED INTO THE WORK WHICH FAIL TO MEET THE SPECIFIED MINIMUM REQUIREMENTS. THE DESIGNER FURTHER RESERVES THE RIGHT AND WITHOUT PREJUDICE TO OTHER REQUIREMENTS, THE DESIGNER MAY AMEND AS APPROVED BY THE DESIGNER AND THE OWNER.
- B. SUPERVISION
 1. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING THE CONTRACTORS BEST SKILL AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL SMALL CONSTRUCTION ALL PORTION OF THE WORK.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR THE ACTS AND OMISSIONS OF EMPLOYEES, AND ANY OTHER PERSONS PERFORMING ANY OF THE WORK UNDER A CONTRACT WITH THE CONTRACTOR.
- C. LABOR AND MATERIALS
 1. UNLESS OTHERWISE PROVIDED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL FURNISH ALL MATERIALS, EQUIPMENT, TRANSPORTATION, AND OTHER FACILITIES AND SERVICES NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
 2. THE CONTRACTOR SHALL AT ALL TIMES EMPLOY STRICT DISCIPLINE AND GOOD ORDER AMONG THE CONTRACTORS EMPLOYEES AND SHALL NOT EMPLOY ON THE WORK ANY UNFIT PERSON OR ANYONE NOT SOLELY IN THE TASK ASSIGNED TO THEM.
- D. WARRANTIES
 1. THE CONTRACTOR WARRANTS TO THE OWNER THAT ALL MATERIALS AND EQUIPMENT FURNISHED UNDER THIS CONTRACT SHALL BE NEW UNLESS OTHERWISE SPECIFIED, AND THAT ALL WORK WILL BE OF GOOD QUALITY, FREE FROM DEFECTS AND DEFICIENCIES, AND IN CONFORMANCE WITH THE CONTRACT DOCUMENTS FOR A PERIOD OF NOT LESS THAN ONE YEAR FROM THE DATE OF COMPLETION OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK, INCLUDING SUBSTITUTIONS NOT PROPERLY APPROVED AND AUTHORIZED, WHICH MAY BE CONSIDERED DEFECTIVE.
- E. TAXES
 1. THE CONTRACTOR SHALL PAY ALL SALES, CONSUMER, USE AND OTHER TAXES FOR THE CONTRACTOR'S PORTION OF THE WORK WHICH THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR.
- F. PENALTIES, FEES AND NOTICES
 1. UNLESS OTHERWISE PROVIDED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE BUILDING PERMIT AND FOR ALL OTHER PERMITS AND NOTICES NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
 2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND NOTICES FROM THE CITY OF COLORADO SPRINGS, COLORADO, AND SHALL BE RESPONSIBLE FOR THE PROPER PERFORMANCE OF THE WORK.
 3. THE CONTRACTOR SHALL EXERCISE REASONABLE EFFORT TO HAVE CERTAIN THAT THE CONTRACT DOCUMENTS ARE IN ACCORDANCE WITH APPLICABLE LAWS, STATUTES, BUILDING CODES AND REGULATIONS. IF THE CONTRACTOR OBSERVES THAT ANY OF THE CONTRACT DOCUMENTS ARE IN VIOLATION OF ANY APPLICABLE LAWS, STATUTES, BUILDING CODES OR REGULATIONS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DESIGNER IN WRITING AND ANY NECESSARY CHANGES SHALL BE CONSIDERED BY THE DESIGNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER PERFORMANCE OF THE WORK.
 4. IF THE CONTRACTOR PERFORMS ANY WORK WITHOUT IT TO BE CONTRARY TO SUCH LAWS, ORDINANCES, RULES AND REGULATIONS, AND WITHOUT SUCH NOTICE TO DESIGNER, HE SHALL ASSUME FULL RESPONSIBILITY THEREFOR AND SHALL BEAR ALL COSTS ATTRIBUTABLE THERE TO.
- F. SHOP DRAWINGS, PRODUCT DATA AND SAMPLES
 1. ITEMS REQUIRING SHOP DRAWINGS OR FINISH SAMPLES SHALL BE AS CALLED FOR IN THE CONSTRUCTION DRAWINGS AND SPECIFICATIONS.
 2. THE CONTRACTOR SHALL REVIEW, APPROVE AND SUBMIT WITH RELEVANT PRODUCT DATA AND SAMPLES REQUIRED BY THE CONTRACT DOCUMENTS.
 3. BY APPROVING AND SUBMITTING SHOP DRAWINGS, PRODUCT DATA AND SAMPLES, THE CONTRACTOR REPRESENTS THAT HE HAS DETERMINED AND VERIFIED ALL MATERIALS, FIELD MEASUREMENTS, AND FIELD CONSTRUCTION CRITERIA RELATED THERETO, OR WILL DO SO, AND THAT THE SAME WILL BE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND THE CONTRACT DOCUMENTS WITH THE REQUIREMENTS OF THE WORK AND OF THE CONTRACT DOCUMENTS.
 4. DESIGNER WILL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION UPON THE SHOP DRAWINGS, PRODUCT DATA AND SAMPLES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INFORMATION GIVEN IN THE DESIGN CONCEPT OF THE WORK AND WITH THE CONTRACTOR'S OBLIGATION TO OBTAIN ALL NECESSARY PERMITS AND NOTICES FROM THE CITY OF COLORADO SPRINGS, COLORADO, AND SHALL BE RESPONSIBLE FOR THE PROPER PERFORMANCE OF THE WORK.
 5. THE CONTRACTOR SHALL NOT BE RELIANT OF RESPONSIBILITY FOR ANY OMISSION FROM SHOP DRAWINGS, PRODUCT DATA AND SAMPLES.
 6. NO PORTION OF THE WORK REQUIRING SUBMISSION OF A SHOP DRAWING, PRODUCT DATA OR SAMPLES SHALL BE COMMENCED UNTIL THE SUBMITTAL HAS BEEN APPROVED. ALL SUCH PORTIONS OF THE WORK SHALL BE IN ACCORDANCE WITH APPROVED SUBMITTALS.
 7. ITEMS REQUIRING SUBMITTALS TO INCLUDE BUT NOT BE LIMITED TO:
 - MILL WORK
 - CONCRETE MATERIALS
 - TELEPHONE AND ELECTRICAL RECEIPTS
 - HANDMADE, ROOMS AND MISCELLANEOUS HARDWARE
 - STONE FLOORING
 - APPLIANCES
- G. CUTTING AND PATCHING OF WORK
 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING, FITTING OR PATCHING THAT IS NECESSARY TO COMPLETE THE WORK OR TO MATCH THE EXISTING FINISH TOGETHER PROPERLY.
- H. CLEANING UP
 1. THE CONTRACTOR AT ALL TIMES SHALL KEEP THE PREMISES FREE FROM AN ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY HIS OPERATIONS. AT THE COMPLETION OF THE PROJECT SITE AS WELL AS ALL HIS TOOLS, CONSTRUCTION EQUIPMENT, MACHINERY AND SUPPLIES MATERIALS CONTRACTOR TO PROVIDE BLASTERS, LOCATION TO BE DETERMINED.

BUILDING RULES OF CONDUCT

1. CONTRACTORS SHALL BE RESPONSIBLE FOR ALL CLEAN UP AND TRASH REMOVAL ASSOCIATED WITH THE WORK ON THIS PROJECT.
2. DRIVING CONSTRUCTION EQUIPMENT SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED BY THEIR WORK.
3. CONTRACTOR WILL NOT ALLOW ANY SMOKING IN THE CONSTRUCTION AREA AT ANY TIME.
4. THESE SHALL NOT BE USED ANY HAND TRUCK, CARTS, OR ONLY EXCEPT FOR THOSE EQUIPPED WITH RUBBER TIRES AND IN GOOD REPAIR. PALLET AND PALLET JACKS ARE NOT ALLOWED OVER FINISH FLOOR MATERIALS.
5. THE MOVEMENT OF HEAVY EQUIPMENT WILL BE REQUIRED TO BE MOVED ON STEEL, PLWOOD, OR HANDMADE OF SUFFICIENT THICKNESS TO PREVENT DAMAGE.
6. FINISHED AREAS OF THE BUILDING MUST BE PROTECTED AND RESTORED TO GOOD CONDITION WHEN AFFECTED BY SUBCONTRACTORS CONSTRUCTION ACTIVITY.
7. EXISTING BUILDING FINISH FLOORING SHALL BE COMPLETELY PROTECTED AT ALL TIMES FROM DAMAGE.

TELEPHONE & ELECTRICAL NOTES

1. WHERE TELEPHONE AND ELECTRICAL OUTLETS APPEAR TO BACK, OUTLET BOXES ARE TO BE STAGGERED TO REDUCE NOISE TRANSMISSION THROUGH PARTITION.
2. ALL SEPARATE CIRCUITS ARE TO BE FURNISHED WITH DISCONNECT SWITCHES AS REQUIRED BY CODES.
3. ALL WORK TO BE DONE IN ACCORDANCE WITH THE CITY ELECTRICAL CODES AND ALL OTHER STATE AND LOCAL CODES THAT HAVE AUTHORITY OVER THIS PROJECT.
4. ELECTRICAL CONTRACTOR TO BE RESPONSIBLE FOR THE CUTTING AND PATCHING REQUIRED FOR THE INSTALLATION OF HIS WORK.
5. FINAL BOX SIGN AND EMERGENCY LIGHT LOCATIONS ARE SUBJECT TO THE APPROVAL OF THE CITY.
6. ALL TELEPHONE AND DATA OUTLETS TO BE PROVIDED BY COMMUNICATIONS CONTRACTOR. GENERAL CONTRACTOR IS TO PROVIDE FULL STRIP AND RING AT EACH DATA/TELEPHONE OUTLET IN HALL HEIGHT WALLS.
7. ALL FREE ALARM PULL AND SIGNAL STATIONS AND LIFE SAFETY SYSTEMS SHALL CONFORM AS DESCRIBED IN VARIOUS.
8. ALL ELECTRICAL OUTLETS AND SWITCHES SHALL BE GANGED TOGETHER WHEN THEY APPEAR TOGETHER TOGETHER PROVIDE MULTITOUCH JUNCTION BOX AND COVER PLATE AS REQUIRED. CONTRACTOR FOR SYSTEMS FURNISH INSTALLER, THE PROPERTY MANAGER AND THE DESIGNER SHALL BE RESPONSIBLE FOR THE PROPER PERFORMANCE OF THE WORK WITHOUT AN APPROVAL MAY NOT BE ACCEPTED.
9. THESE NOTES REQUIRE FINISH CONTRACTORS SHALL INSTALL PLWOOD HANDMADE (FRAX) 3/4" UNLESS OTHERWISE NOTED FOR TELEPHONE EQUIPMENT. PLWOOD SHALL BE PAINTED TO MATCH ADJACENT WALL. INSTALL PLWOOD FROM 12" AFF. TO CEILING.
10. EXHAUST FANS TO BE DUCTED FOR SEPARATE OPERATION.
11. WALL LOCATIONS OF ELECTRICAL, TELEPHONE, AND DATA COVER PLATES TO MATCH EXISTING, UNLESS OTHERWISE NOTED.
12. SUBMIT SAMPLES OF ALL ELECTRICAL RECEIPTS.
13. ALL CORE DRILLED PENETRATIONS IN CONCRETE FLOORS TO BE FINE GAUGE PER U.C-243 ASSEMBLY REQUIREMENTS AND LOCAL CODES.
14. COORDINATE PLACEMENT OF ELECTRICAL SWITCHES, OUTLETS, AND PARTS IN WALLWORK WITH ALL TRADES INVOLVED.
15. WHERE ELECTRICAL, TELEPHONE OR DATA OUTLETS ARE LOCATED IN WALLWORK THAT IS NOT ADJACENT TO A FULL HEIGHT WALL, THE CONTRACTOR IS TO PROVIDE A CONCRETE ROUTED THROUGH THE NEAREST FULL HEIGHT WALL TO THE LOW PARTITION WITH 4-SIDED ROUTED CONTRACTORS TO THE PARTITION TO BE INSTALLED TO THE PARTITION WALL FOR THE FLOOR MOUNTED JUNCTION BOXES. (1) FOR ELECTRICAL AND (2) FOR TELEPHONE AND DATA.

SUBMITTALS

1. CONTRACTOR IS RESPONSIBLE FOR SUBMITTING SHOP DRAWINGS AND FINISH SUBMITTALS ON ALL NEW ITEMS INDICATED IN DRAWINGS. ANY ITEMS NOT SUBMITTED FOR APPROVAL WILL BE THE RESPONSIBILITY OF THE ORIGINAL CONTRACTOR.

AS-BUILT / MARK UPS / WARRANTIES

1. CONTRACTOR TO PROVIDE AS-BUILT MARK UPS ON PRINT SET OF DRAWINGS AS PART OF STANDARD CLOSE OUT DOCUMENT PACKAGE.
2. CONTRACTOR TO PROVIDE EQUIPMENT, APPLIANCE, MATERIALS, WARRANTIES, ETC. TO OWNER AS PART OF STANDARD CLOSE OUT DOCUMENT PACKAGE.

ABBREVIATIONS BY CITY PLANNING

ABB	MEANING	HT	HEIGHT
ASF	ASBESTOS FINISH FLOOR	HT	HEIGHT
APR	APPROXIMATE	V.L.C.	VENTILATING & AIR CONDITIONING
CL.D.	CEILING	ITF	INFORMATION TO FOLLOW
CLD	COLUMN	M.N.	MANUFACTURER
CONTR.	CONTRACTOR	M.F.	MANUFACTURER
DK	DOOR	M.L.	MILLION
DR	DRAWING	N.C.	NOT IN CONTACT
ELEV.	ELEVATION	O.C.	ON CENTER
ELECT.	ELECTRICAL	O.C.	ON CENTER
ELV.	ELEVATION	Q.T.	QUARTER TITLE
E.W.C.	ELECTRICAL WATER COVER	REQD	REQUIRED
F.E.C.	FIRE EXTINGUISHER CABINET	SECT	SECTION
FLIC	FIRE HOSE CABINET	S.C.	SOLID CORE
GN	GANG	S.S.	STAINLESS STEEL
GL	GLASS	U.O.	UNLESS OTHERWISE NOTED
GRP SO.	GYPSUM BOARD	V.C.T.	VERT. COMPOSITION TIE
H.M.	HOLLOW METAL	V.F.	VERT. IN FIELD
H.W.	HARDWARE	V.	VERT.
		W.	WALL

APPROVED

CITY OF COLORADO SPRINGS

JUL 05 2017



PROJECT:
320 S. WEBER ST
COLORADO SPRINGS, CO
80903

bobbyhill
DESIGN

218 WEST COLORADO AVE
SUITE 308
COLORADO SPRINGS, CO
719-534-5800 719-534-2289

ARCHITECT



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FULL SET ISSUE HISTORY:

ISSUE FOR PERMIT	DATE
	06/27/17

SHEET DELTA REVISION:

NO.	DESCRIPTION

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FILE: A1.01-A1.02.dwg
DRAWN BY: oespinoza
CHECKED BY: JS

SHEET NUMBER:
GENERAL NOTES

A1.01

DOOR SCHEDULE

DOOR NUMBER	DOOR TYPE	HARDWARE	DOOR		FRAME		REMARKS
			MATERIAL	FINISH	MATERIAL	FINISH	
001	A	2	WD	STAINED	H.L.	PAINTED	
002	B	3	EX	EX	EX	EX	
101	C	1	WD	STAINED	H.L.	PAINTED	
102	B	3	EX	EX	EX	EX	

DOOR & HARDWARE NOTES

- ALL LOCKERS TO BE NONMAGNETIC EXCEPT AS NOTED OTHERWISE. ALL LOCKERS TO BE INSTALLED WITH KEYS FOR EXISTING LOCKS. PROVIDE TYPICAL WITH (2) TWO-SHAFTER KEYS TO OPERATE ALL LOCKSETS WITHIN TYPICAL SPACE. NOTIFY BY CONTRACTOR.
- ALL DOOR FRAMES TO BE BUILDING STANDARDS FINISH, U.N.O.
- PROVIDE DOOR STOPS FOR ALL DOORS.
- DOOR HARDWARE TO MATCH BUILDING STANDARDS, U.O.I.A. IF NOT SPECIFIED. CONTRACTOR IS RESPONSIBLE TO CONFIRM HARDWARE CORES MATCH BUILDING STANDARDS FINISH.
- EXTERIOR DOOR HARDWARE SHALL NOT REQUIRE MORE THAN 8.5 LBF TO PUSH OR PULL OPEN A DOOR. SLIGHT INCREASES IN OPENING FORCE SHALL BE ALLOWED WHERE 8.5 LBF IS DIFFICULT TO OPERATE FOR AN INDIVIDUAL.
 - A. HARDWARE TO BE SUPPLIED BY CONTRACTOR.
 - B. HARDWARE TO BE SUPPLIED BY CONTRACTOR.
 - C. HARDWARE TO BE SUPPLIED BY CONTRACTOR.
 - D. HARDWARE TO BE SUPPLIED BY CONTRACTOR.
 - E. HARDWARE TO BE SUPPLIED BY CONTRACTOR.
 - F. HARDWARE TO BE SUPPLIED BY CONTRACTOR.
 - G. HARDWARE TO BE SUPPLIED BY CONTRACTOR.
 - H. HARDWARE TO BE SUPPLIED BY CONTRACTOR.
- ALL SET DOOR HARDWARE SHALL BE SO PROVIDED AS TO BE READY TO OPERATE WITHOUT THE USE OF A KEY. PROVIDE KNOWLEDGE FROM EGRESS SIDE OF DOOR.
- DOOR FINISH TO MATCH BUILDING STANDARDS, U.N.O.
- IF A DOOR HAS A CLOSER, THEN THE SWEEP PERIOD OF THE CLOSER SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION IT SHALL BE 1/8" TO 1/4" FROM THE FLOOR. FROM A CLOSED POSITION IT SHALL BE 1/8" FROM THE FLOOR. MEASURED TO THE ENDING EDGE OF THE DOOR.
- SHOP DRAWINGS
 - A. SUBMIT FINISH HARDWARE SCHEDULE FOR APPROVAL BEFORE INSTALLATION ON THE PART OF ANY HARDWARE TO THE SITE. WHETHER OR NOT HEREINAFTER LISTED IN THE DETAIL SCHEDULE.
 - B. INCLUDE ALL DETAILS AS TO PROPER TYPE STRIKE PLATE, LENGTH OF SPRING, HAND BACKSET AND BEVEL OF LOCK, HAND AND BEVEL OF SPRING FOR COORDINATE LENGTH OF SPRING AND BEVEL OF SPRING TO TYPE OF DOOR STOP AND OTHER FUNCTIONS OF MECHANISM.
 - C. IDENTIFY THE MANUFACTURER OF EACH ITEM IF REQUESTED, AND LIST THE APPROPRIATE FINISH.
 - D. SUBMIT DOOR LOCK TYPE AND NUMBER, AND FINISH HARDWARE SCHEDULE FOR APPROVAL BEFORE INSTALLATION ON THE PART OF ANY HARDWARE TO THE JOB SITE FOR INSTALLATION IN ACCORDANCE WITH THE SCHEDULE NUMBERS.
 - E. AFTER APPROVAL OF HARDWARE SCHEDULE, SUBMIT A MAINTENANCE CHART FOR THE OWNER'S APPROVAL. NO CHANGES SHALL BE MADE TO THE APPROVED SCHEDULE OR CHART WITHOUT THE WRITTEN CONSENT OF THE OWNER.
 - F. FINISH COPIES OF THE MANUFACTURER'S SPECIFICATIONS FOR ALL HARDWARE TO BE SUPPLIED, INCLUDING MAINTENANCE AND REPAIR MANUALS.
 - G. ALL HARDWARE IS TO BE IN FULL COMPLIANCE WITH TITLE 18 OF THE AMERICAN WITH DISABILITIES ACT.
 - H. KEEP ONE COPY OF APPROVED SUBMITTALS AT JOB SITE.
- SAMPLES
 - A. SUBMIT ONE SET OF TYPICAL LOCKS, IN REPAIR AND DESIGN SPECIFIED, TYPICAL FOR IDENTIFICATION PURPOSES. SUBMIT PRIOR TO SUBMITTAL TO THE HARDWARE SCHEDULE. FABRICATION OR DELIVERY OF MATERIAL.
 - B. CONTRACTOR TO CONFIRM BUILDING STANDARDS KETTED LOCK CORE TYPE PRIOR TO SUBMITTING AND INDICATE IN SUBMITTAL PACKAGE.

LEGEND

- EX EXISTING TO REMAIN
- GL EMPERED GLASS
- HT HOLLOW METAL
- SD STAINED TO MATCH EXISTING
- KD KNOCK DOWN FRAME
- BR AL BRUSHED ALUMINUM
- HM HOLLOW METAL
- AL ALUMINUM

DOOR TYPES

- A NOTE DOOR FINISH TO MATCH BUILDING STANDARDS
- B NEW SINGLE DOOR W/ KEEP HOLE
- C SOLID CORE WOOD DOOR
- D SOLID CORE WOOD DOOR
- E SOLID CORE WOOD DOOR
- F SOLID CORE WOOD DOOR
- G SOLID CORE WOOD DOOR
- H SOLID CORE WOOD DOOR
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- Q SOLID CORE WOOD DOOR
- R SOLID CORE WOOD DOOR
- S SOLID CORE WOOD DOOR
- T SOLID CORE WOOD DOOR
- U SOLID CORE WOOD DOOR
- V SOLID CORE WOOD DOOR
- W SOLID CORE WOOD DOOR
- X SOLID CORE WOOD DOOR
- Y SOLID CORE WOOD DOOR
- Z SOLID CORE WOOD DOOR

HARDWARE TYPES

- DOUBLE DOOR:
 - 1 LOCK SET
 - 2 PAIR BITTS
 - 3 DOOR SILENCERS
 - 4 PAINT BARRIER
 - 5 WEATHERSEAL
 - 6 SECURITY LATCH GUARD PLATE
 - 7 AUTOMATIC FLUSH BOLT
- SINGLE DOOR:
 - 1 PAINT BITTS
 - 2 (1) DOOR STOPS
 - 3 DOOR SILENCERS
 - 4 WEATHERSEAL
 - 5 SECURITY LATCH GUARD PLATE
 - 6 AUTOMATIC FLUSH BOLT
 - 7 EXISTING TO REMAIN

PROJECT: 320 S. WEBER ST
COLORADO SPRINGS, CO 80903

PROJECT MANAGEMENT: **boobyhill** DESIGN

218 WEST COLORADO AVE
SUITE 308
COLORADO SPRINGS, CO 718-534-5800 718-534-2239

ARCHITECT: **ISG Design**

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ARCHITECTS: **17-030**
STATE OF COLORADO
THOMAS K. RICHNS
REGISTERED ARCHITECT #221
05-25-17
SEALED

APPROVED
CITY OF COLORADO SPRINGS

JUL 05 2017

BY CITY PLANNING

FULL SET ISSUE HISTORY:

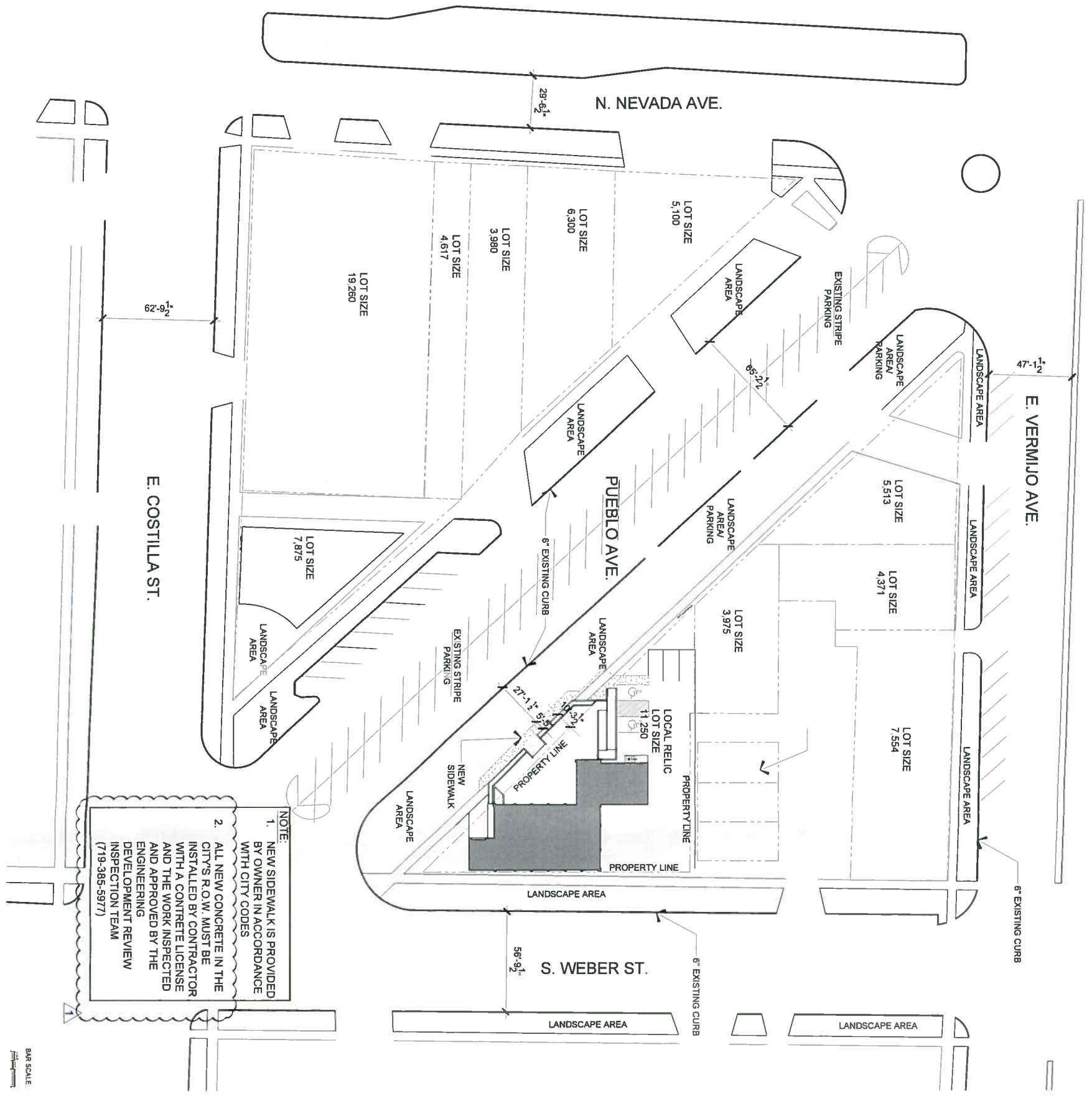
ISSUE FOR PERMIT	DATE
ISSUE FOR PERMIT	06/27/17

SHEET DELTA REVISION:

NO.	DESCRIPTION

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CHECKED BY: JS

SHEET NUMBER:
DOOR/HARDWARE & PARTITION SCHEDULES
A1.02



NOTE:
 1. NEW SIDEWALK IS PROVIDED BY OWNER IN ACCORDANCE WITH CITY CODES
 2. ALL NEW CONCRETE IN THE CITY'S R.O.W. MUST BE INSTALLED BY CONTRACTOR WITH A CONCRETE LICENSE AND THE WORK INSPECTED AND APPROVED BY THE ENGINEERING DEVELOPMENT REVIEW INSPECTION TEAM (719-385-5977)

01 SITE PLAN

1" = 30'-0"

BAR SCALE

APPROVED
 CITY OF COLO SPRINGS
 JUL 05 2017
 BY CITY PLANNING



PROJECT



320 S. WEBER ST
 COLORADO SPRINGS, CO
 80903

PROJECT MANAGEMENT

bobbyhill
 DESIGN

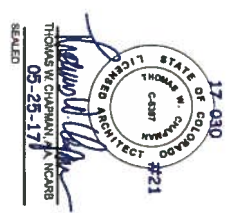
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FULL SET ISSUE HISTORY

ISSUE FOR PERMIT	05/29/17
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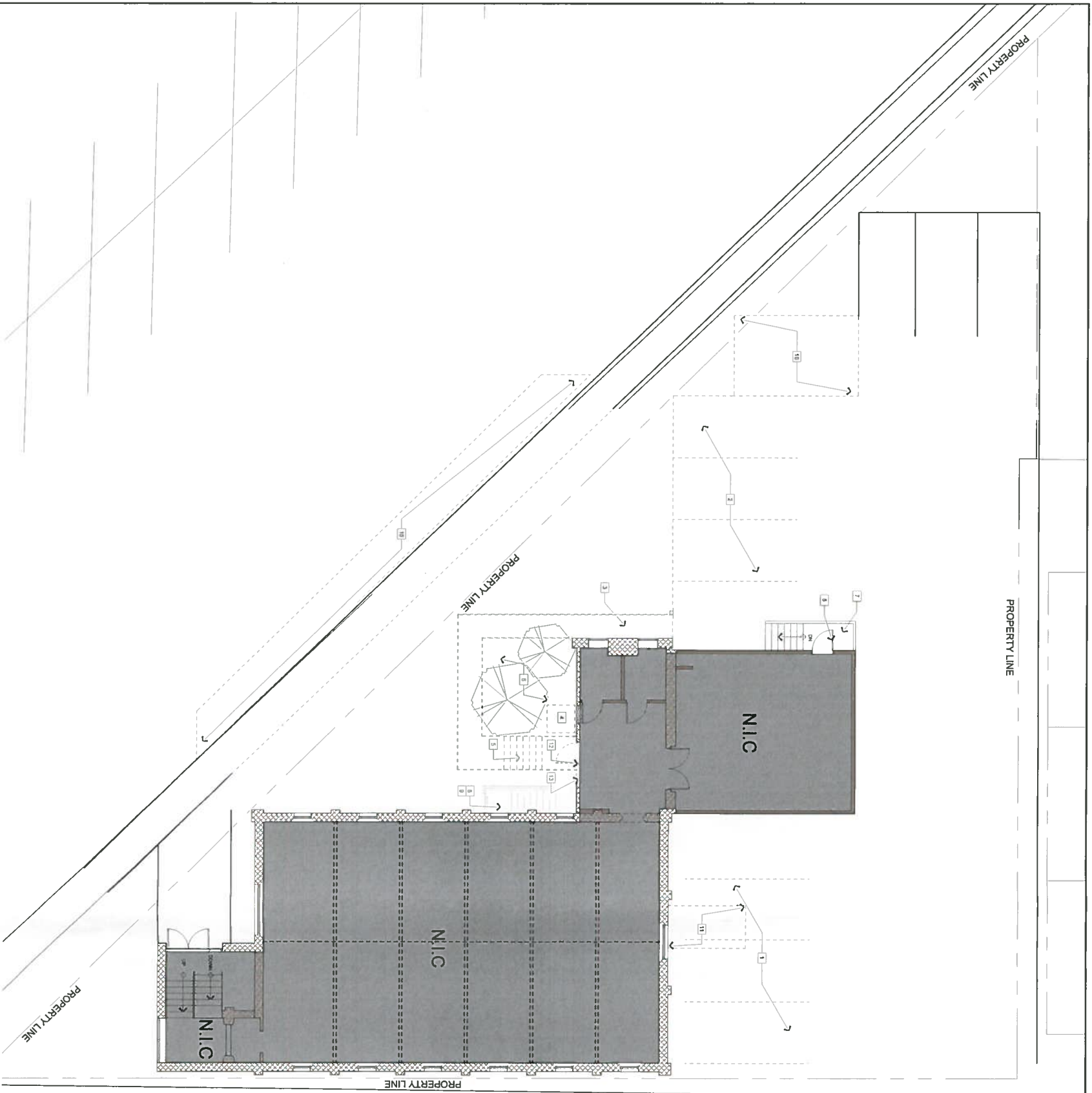
CITY COMMENTS	06/29/17
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DRAWING INFO

FILE Phase 1 -Site.dwg
 DRAWN BY oespinos
 CHECKED BY JS

SHEET NUMBER
 DEVELOPMENT
 PLAN

A2.00



01
SITE DEMOLITION PLAN



1/8" = 1'-0"

PROPERTY LINE

PROPERTY LINE

DEMOLITION PLAN LEGEND

- EXISTING WALL TO REMAIN
- ===== EXISTING WALL TO BE REMOVED
- EXISTING DOOR TO BE REMOVED

GENERAL DEMOLITION NOTES

- A. CONTRACTOR TO PATCH AND REPAIR ALL AREAS DAMAGED BY DEMOLITION OR EXISTING CONDITION.
- B. CONTRACTOR TO REMOVE ALL DEMOLITION DEBRIS FROM PROPERTY AT CONTRACTOR EXPENSE.
- C. CONTRACTOR TO PROTECT ALL EXISTING BUILDING STRUCTURES FINISHES FROM COLLECTING DUST AND ANY DAMAGE DURING CONSTRUCTION.
- D. DEMOLITION SHOULD BE CONDUCTED WITH CONSTRUCTION PLAN TO REMOVE EXISTING STRUCTURE TO PROTECT ADJACENT STRUCTURES. CONTRACTOR TO PROVIDE PROTECTIVE COVERING TO PROTECT ADJACENT STRUCTURES FROM DEMOLITION WORK. DEMOLITION TO BE COMPLETED TO A POINT TO PROVIDE SUITABLE BONDING/PATCHING OF EXISTING WORK TO REMAIN WITH NEW WORK.
- E. CONTRACTOR TO VISIT THE SITE AND VERIFY DEMOLITION SCOPE AND REQUIREMENTS.

SITE DEMOLITION PLAN KEYED NOTES

1. CONTRACTOR TO REMOVE THREE EXISTING PARKING SPACES. PREPARE AREA FOR NEW AC LOCATION AND NEW DWIPSTER LOCATION.
2. CONTRACTOR TO RELOCATE EXISTING PARKING SPACES. PREPARE TO RECEIVE NEW MAP.
3. CONTRACTOR TO REMOVE EXISTING RAMP AND CONCRETE STEPS UNDER RAMP.
4. CONTRACTOR TO RELOCATE EXISTING AC UNIT, ELECTRICAL AND FURNISHING. SEE SITE CONSTRUCTION PLAN FOR NEW UNIT LOCATION.
5. CONTRACTOR REMOVE EXISTING STAIRS LANDING AND SUPPORT.
6. CONTRACTOR REMOVE EXISTING TREES.
7. EXISTING WOOD STAIRS, LANDING AND RAILING TO REMAIN.
8. EXISTING DOOR TO REMAIN.
9. EXISTING STAIRWELL AND HORIZONTAL TO REMAIN. REFER TO BASEMENT SHEET.
10. CONTRACTOR TO REMOVE LANDSCAPE, SOO AND IRRIGATION IN THIS AREA FOR NEW CONCRETE FOR PARKING AND WALK WAY.
11. CONTRACTOR TO REMOVE EXISTING EARTH TO PROVIDE FORMING AND ACCESS FOR NEW STAIRS TO BASEMENT. REFER TO CIVIL FOR DETAILS.
12. CONTRACTOR TO REMOVE EXISTING DOOR, DOOR FRAME AND HARDWARE.
13. CONTRACTOR TO REMOVE PORTION OF EXISTING WALL FOR NEW DOUBLE DOOR FRAME.

APPROVED

CITY OF COLO SPRINGS

BY CITY PLANNING

JUL 05 2017



320 S. WEBER ST
COLORADO SPRINGS, CO
80903

bobbyhill
DESIGNS

219 WEST COLORADO AVE
SUITE 308
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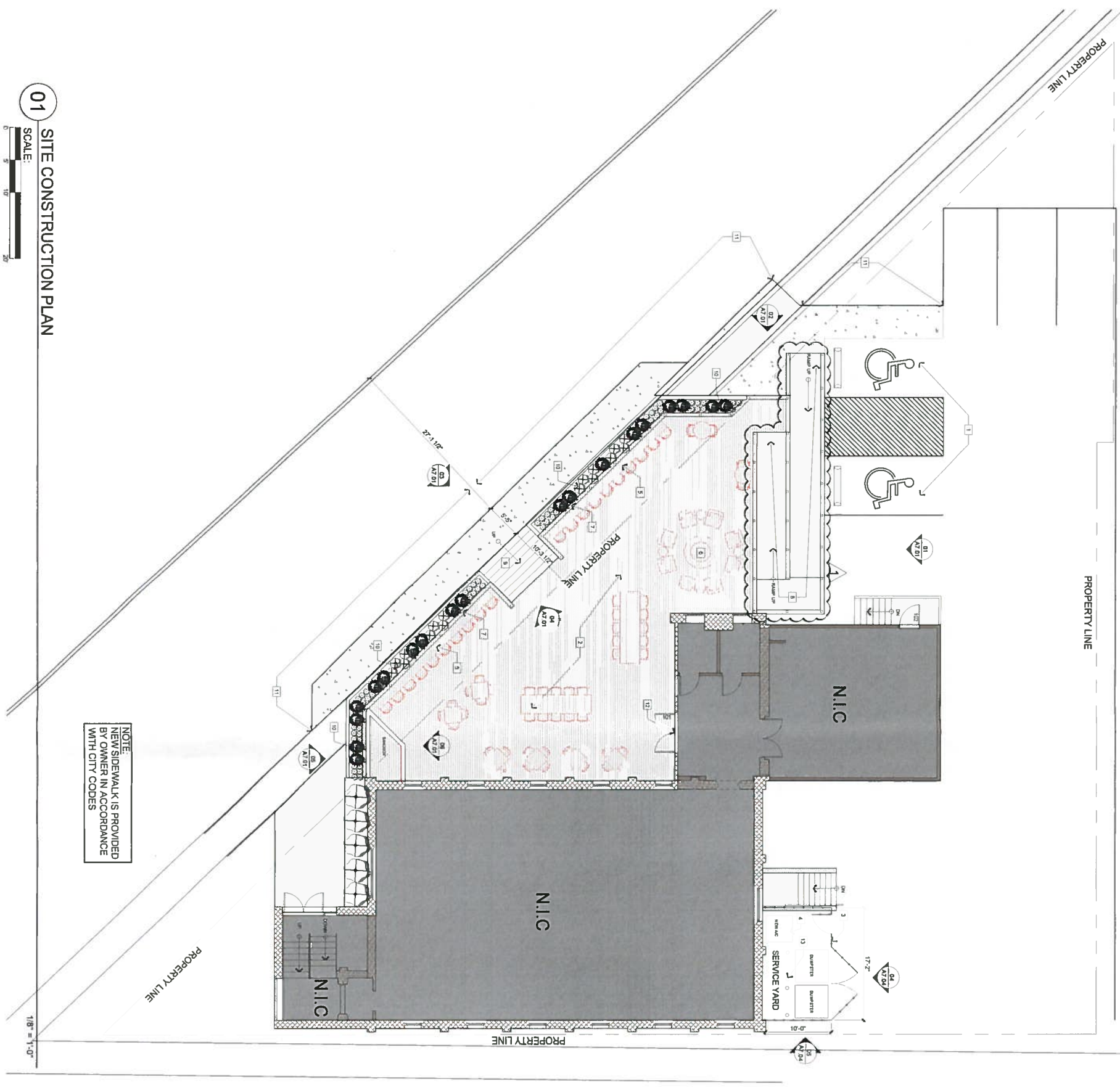
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ISSUE FOR PERMIT	06/29/17
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SHEET DELTA REVISION

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CHECKED BY: JF

SHEET NUMBER
A2.01D
SITE DEMOLITION
PLAN

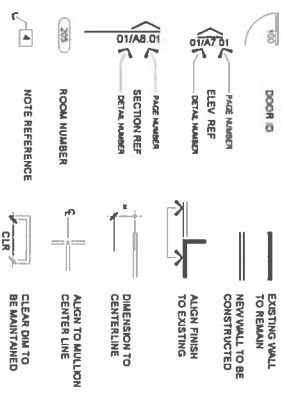


NOTE:
NEW SIDEWALK IS PROVIDED
BY OWNER IN ACCORDANCE
WITH CITY CODES

01 SITE CONSTRUCTION PLAN

SCALE
0 5 10 20

CONSTRUCTION PLAN LEGEND



GENERAL CONSTRUCTION NOTES

- A. CONTRACTOR TO ENSURE THAT ALL NEW CONSTRUCTION AND/OR BUILDING ALTERATION SHALL BE IN ACCORDANCE WITH 2003 AND A17.1 STANDARDS
- B. CONTRACTOR TO PATCH AND REPAIR ALL AREAS DAMAGED BY DEMOLITION
- C. CONTRACTOR TO REMOVE ALL CONSTRUCTION DEBRIS FROM PROPERTY AT CONTRACTOR'S EXPENSE
- D. CONTRACTOR TO ENSURE THAT ALL ROOMS ARE CONSTRUCTED TO MEET 2003 AND A17.1 STANDARDS CODES AND CLEARANCES REFER TO SECTION 4.13 ON SHEET A2.01 AND 2003 AND A17.1 STANDARDS BOOK.

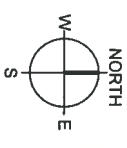
CONSTRUCTION PLAN KEYED NOTES

1. CONTRACTOR TO STRIKE NEW HANDICAP SPACES
2. CONTRACTOR TO CONSTRUCT NEW WOOD DECK APPROXIMATELY 5" ABOVE GRADE VERIFY IN FIELD
3. CONTRACTOR TO PROVIDE AND INSTALL NEW 8 FT WOOD FENCE FOR SERVICE YARD FOR NEW A/C UNIT AND DUMPSTERS
4. CONTRACTOR TO REMOVE AND INSTALL NEW OR RELOCATED A/C UNITS
5. CONTRACTOR TO CONSTRUCT BUILT-IN BATH NO HEIGHT COUNTER
6. CONTRACTOR TO PROVIDE AND INSTALL NEW SELF-CONTAINED GAS FIRE PRT. ALTERNATE #1 PROVIDE A PANCE TO RUN GAS PIPE FOR FIRE PRT TO CONNECT TO EXISTING GAS LINE
7. CONTRACTOR TO REMOVE AND INSTALL NEW CABLE STAYE HAND RAIL (TYPICAL)
8. CONTRACTOR TO CONSTRUCT NEW WOOD RAMP
9. CONTRACTOR TO CONSTRUCT NEW WOOD STAIRS
10. CONTRACTOR TO CONSTRUCT NEW BUILT-IN PLANTER
11. CONTRACTOR TO PREP AREA TO RECEIVE NEW CONCRETE FOR PARKING AND SIDEWALK
12. CONTRACTOR TO INSTALL NEW DOUBLE DOOR FRAME DOOR AND HARDWARE
13. CONTRACTOR TO REMOVE AND INSTALL NEW 9" METAL BOLLARDS FILLED WITH CONCRETE REFER TO DETAIL DVA1.04

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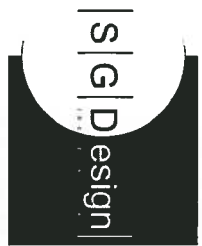
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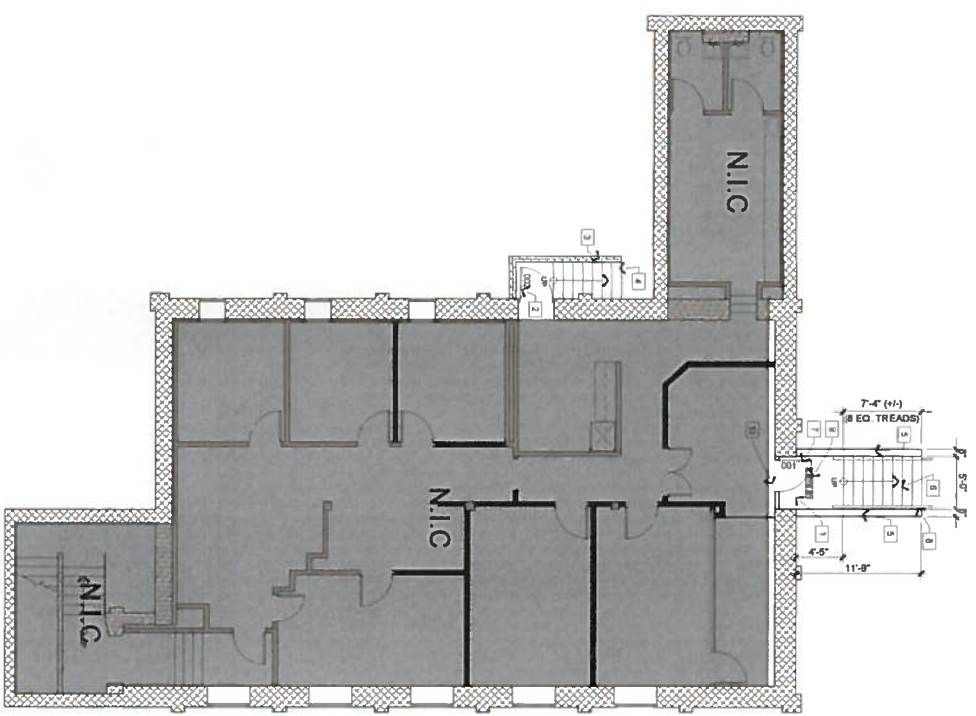
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SHEET NUMBER
DEVELOPMENT
PLAN

A2.01



01 BASEMENT DEMOLITION & CONSTRUCTION PLAN



DEMOLITION PLAN LEGEND

- ===== EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- EXISTING DOOR TO BE REMOVED

GENERAL DEMOLITION NOTES

- A. CONTRACTOR TO PATCH AND REPAIR ALL AREAS DAMAGED BY DEMOLITION OR EXISTING CONSTRUCTION.
- B. CONTRACTOR TO REMOVE ALL DEMOLITION DEBRIS FROM PROPERTY AT CONTRACTOR'S EXPENSE.
- C. CONTRACTOR TO PROTECT ALL EXISTING BUILDING STRUCTURES, FINISHES AND EQUIPMENT FROM COLLECTING DUST AND ANY DAMAGE DURING CONSTRUCTION.
- D. DEMOLITION SHOULD BE COORDINATED WITH CONSTRUCTION PLAN TO DETERMINE EXIST OR WORK. THE DRAWINGS DO NOT NECESSARILY SHOW DEMOLITION/CONSTRUCTION DETAILS TO A POINT TO PROVIDE SUITABLE "BONDING/PATCHING" OF EXISTING WORK TO REMAIN WITH NEW WORK.
- E. CONTRACTOR TO VISIT THE SITE AND VERIFY DEMOLITION SCOPE AND REQUIREMENTS.

DEMOLITION PLAN KEYED NOTES

1. CONTRACTOR TO REMOVE PORTION OF EXISTING WALL FOR NEW HOLLOW METAL DOOR AND FRAME.
2. CONTRACTOR TO LEAVE EXISTING DOOR FOR UNDER DECK ACCESS. CITY DOES NOT ALLOW. CONTRACTOR TO REMOVE EXISTING DOOR, DOOR FRAME, HANGING AND INSTALL OPENING WITH NEW WALL.
3. CONTRACTOR TO MODIFY EXISTING GUARD RAIL TO FIT UNDER NEW DECK. IF CITY DOES NOT ALLOW DOOR TO REMAIN FOR UNDER DECK ACCESS FROM BUILDING, CONTRACTOR TO DEMOLISH IN ITS ENTIRETY.
4. EXISTING CONCRETE STEPS TO BASEMENT TO REMAIN. IF CITY DOES NOT ALLOW DOOR TO REMAIN FOR UNDER DECK ACCESS FROM BUILDING, CONTRACTOR TO DEMOLISH IN ITS ENTIRETY.

CONSTRUCTION PLAN LEGEND

- EXISTING WALL
- NEW WALL TO BE CONSTRUCTED
- DOOR ID

GENERAL CONSTRUCTION NOTES

- A. CONTRACTOR TO ensure that all new construction and/or building adaptation shall be in accordance with 2009 ASHRAE 90.1 STRIKESIDE B. DIMENSION OF PARTITION RING FROM FACE OF GYP. BD. TO FACE OF GYP. BD. UNLESS OTHERWISE NOTED.
- C. CONTRACTOR TO PATCH AND REPAIR ALL AREAS DAMAGED BY DEMOLITION.
- D. CONTRACTOR TO REMOVE ALL CONSTRUCTION DEBRIS FROM PROPERTY AT CONTRACTOR'S EXPENSE.
- E. CONTRACTOR TO REPLACE ALL EXISTING INCH HARDWARE SETS WITH LEPEN STYLE HARDWARE.
- F. ALL NEW PARTITIONS TO BE TYPE "X" UNLESS OTHERWISE NOTED.
- G. CONTRACTOR TO ensure that all doors are constructed to meet 2009 ASHRAE 90.1 STRIKESIDE CODES AND CLEARANCES REFER TO SECTION 4.13 ON SHEET A201 AND 2009 ASHRAE 90.1 STRIKESIDE BOOK.

CONSTRUCTION PLAN KEYED NOTES

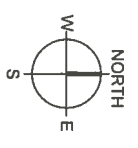
5. CONTRACTOR TO CONSTRUCT NEW LOW WALL TO BE 6" ABOVE GRADE.
6. CONTRACTOR TO CONSTRUCT NEW STAIRS. REFER TO STRUCTURAL FOR DETAILS. REFER TO DETAIL 01A.24.
7. CONTRACTOR TO PROVIDE AND INSTALL NEW EXTERIOR DOOR, DOOR FRAME AND HARDWARE TO ALLOW FREE EGRESS EXIT TO GROUND LEVEL.
8. CONTRACTOR TO PROVIDE AND INSTALL NEW HANGERS.
9. CONTRACTOR TO PROVIDE AND INSTALL WATER DRAIN TO CONNECT TO STORM DRAIN. REFER TO CIVIL.
10. CONTRACTOR TO PROVIDE AND INSTALL NEW EXIT SIGNAGE. EXIT'S DIMAGE TO MATCH EXISTING.

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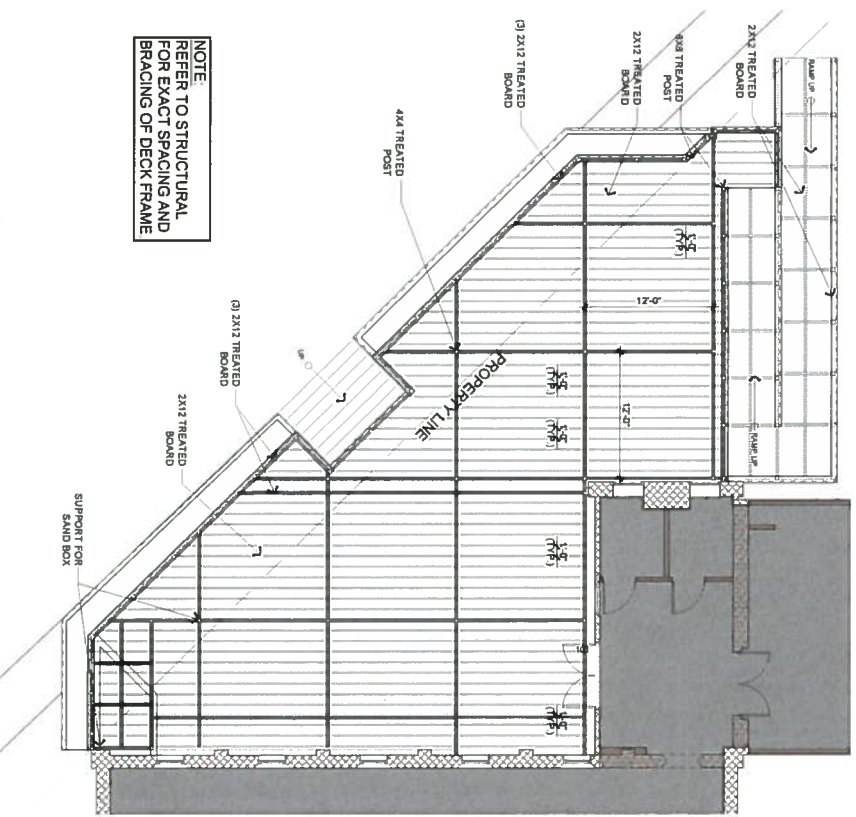
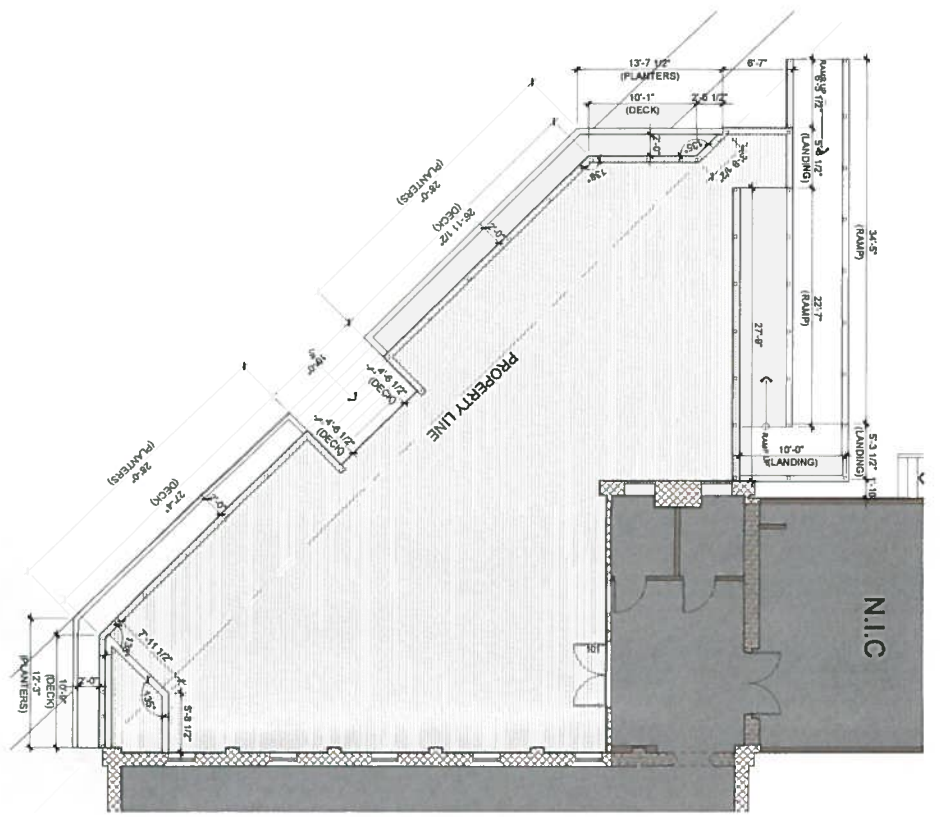
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SHEET NUMBER
BASEMENT
DEMOLITION &
CONSTRUCTION PLAN
A2.02

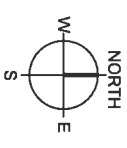


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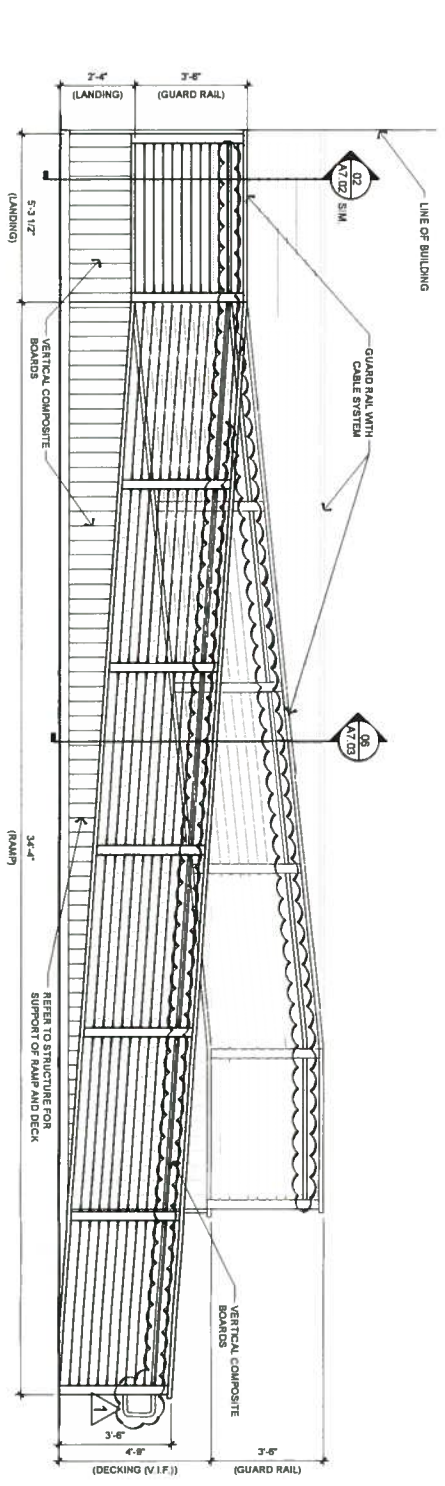
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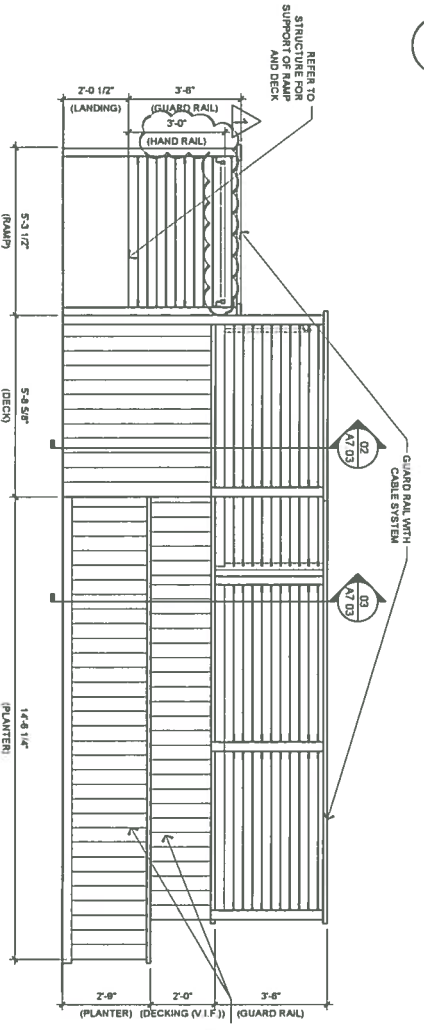
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DECK DIMENSION
AND STRUCTURAL
PLANS
A2.03



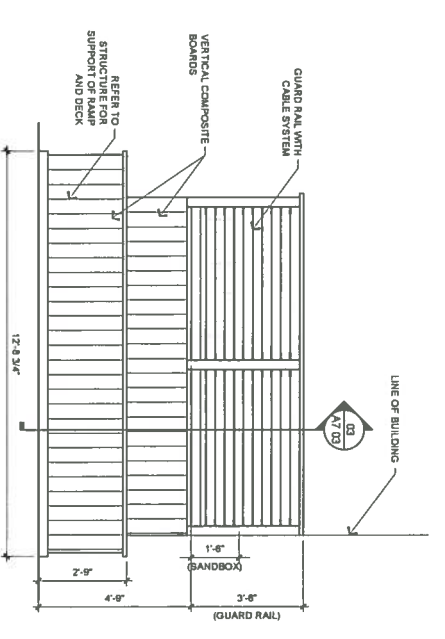
01 RAMP ELEVATION

3/8" = 1'-0"



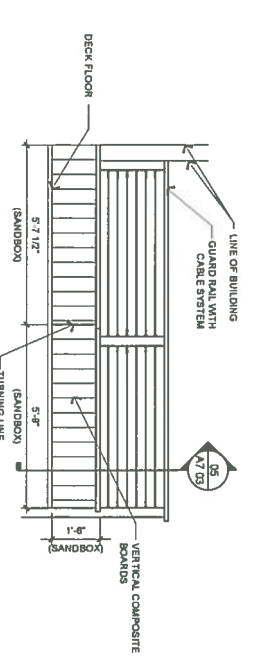
02 DECK SIDE ELEVATION

3/8" = 1'-0"



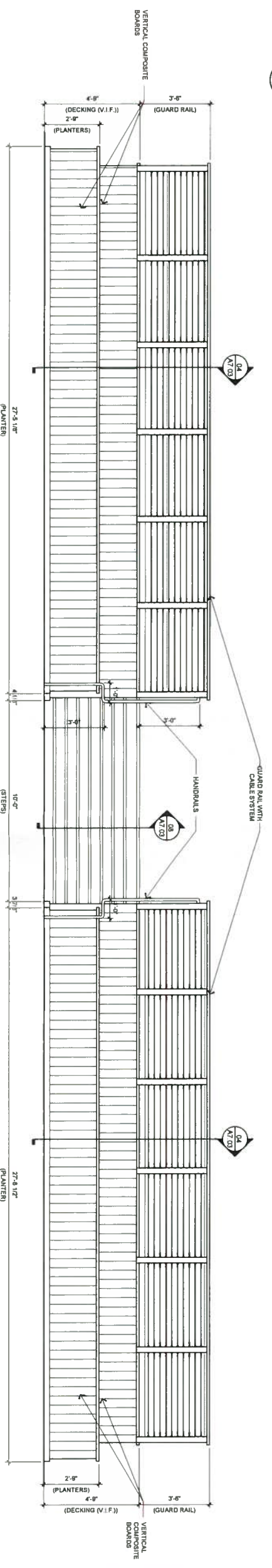
05 DECK SIDE ELEVATION

3/8" = 1'-0"



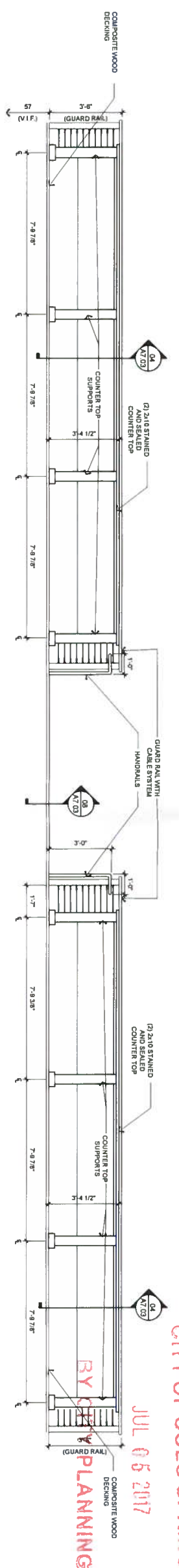
06 ELEVATION @ SANDBOX

3/8" = 1'-0"



03 DECK FRONT ELEVATION

3/8" = 1'-0"



04 DECK MILLWORK ELEVATION

3/8" = 1'-0"

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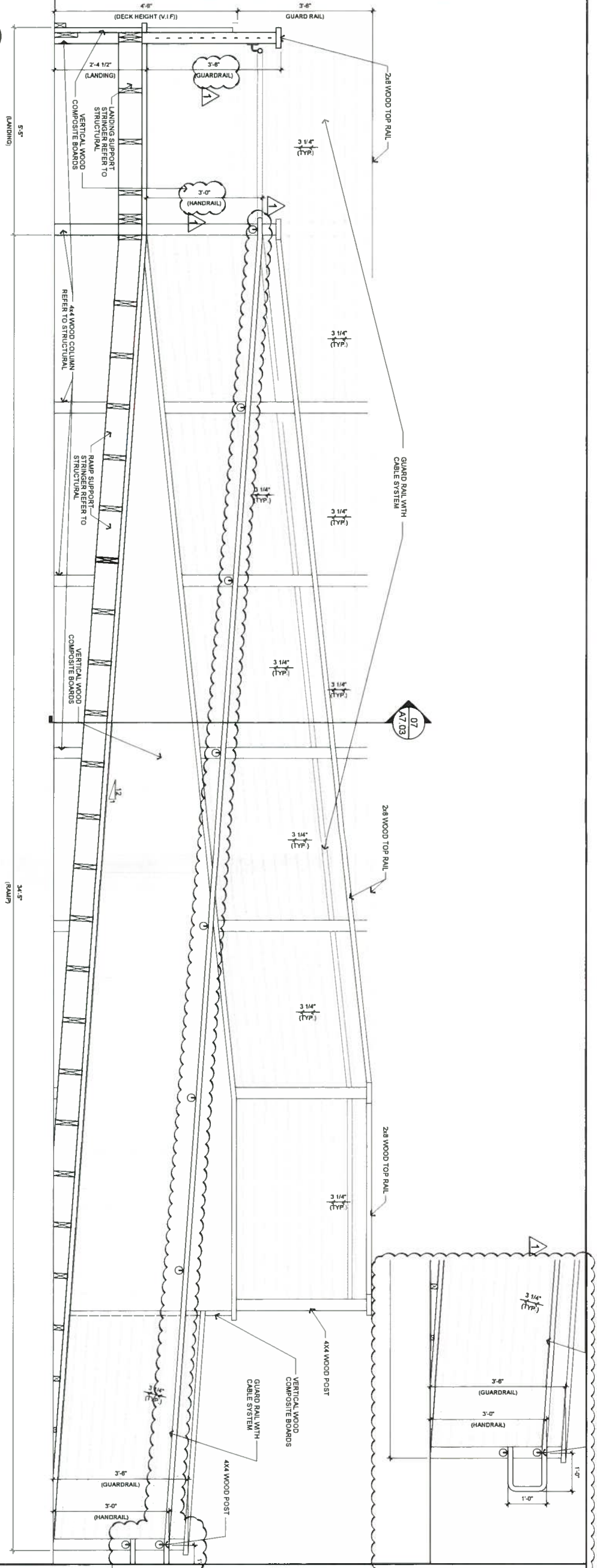
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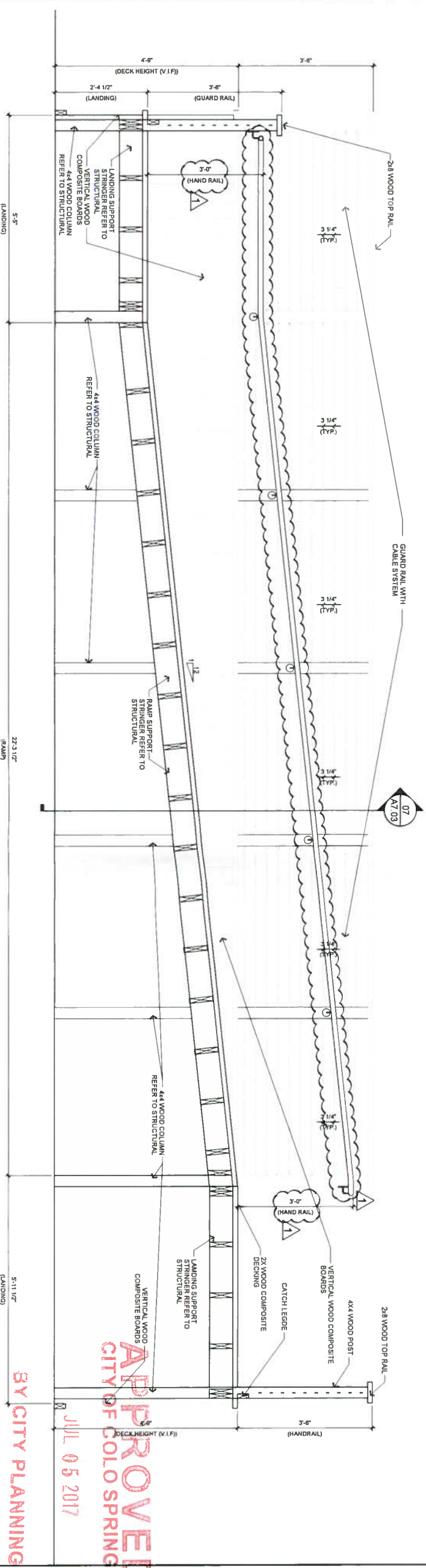
ELEVATIONS

A7.01



01 RAMP SECTION

3/4" = 1'-0"



02 RAMP SECTION

3/4" = 1'-0"

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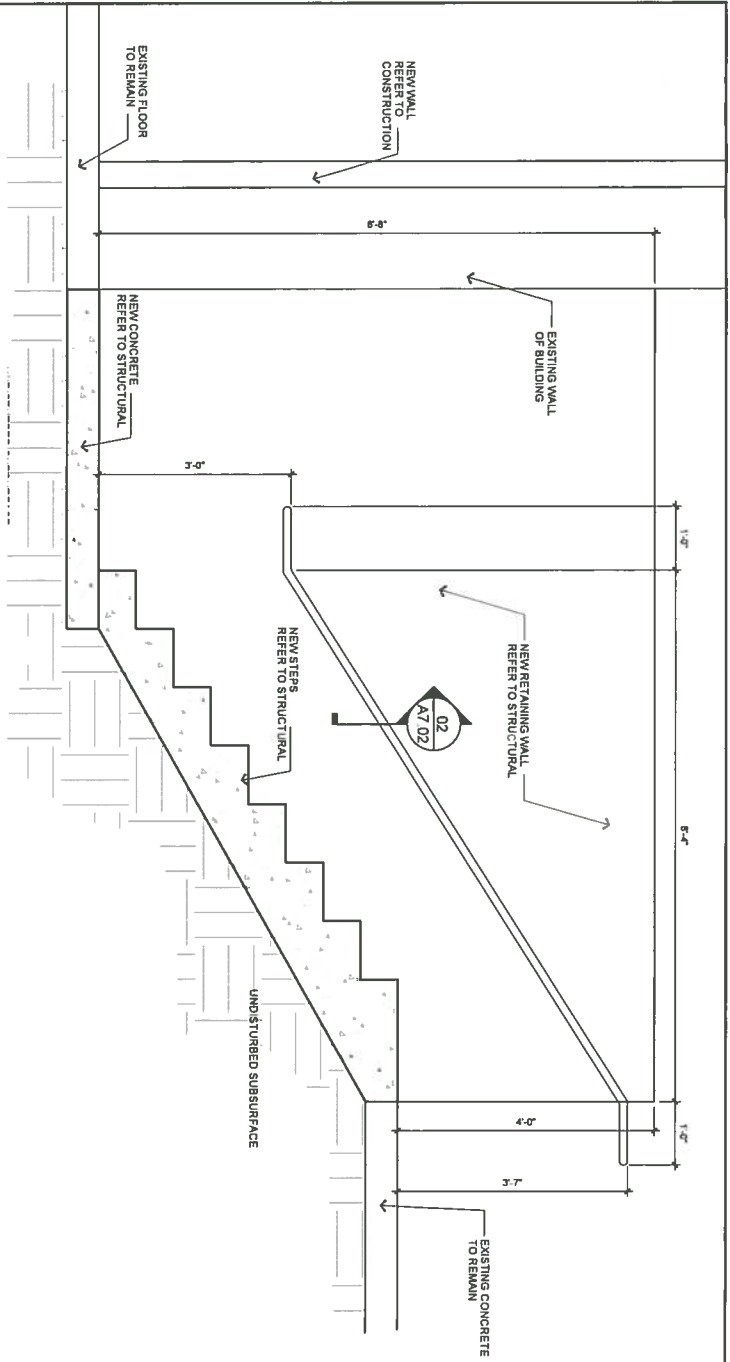
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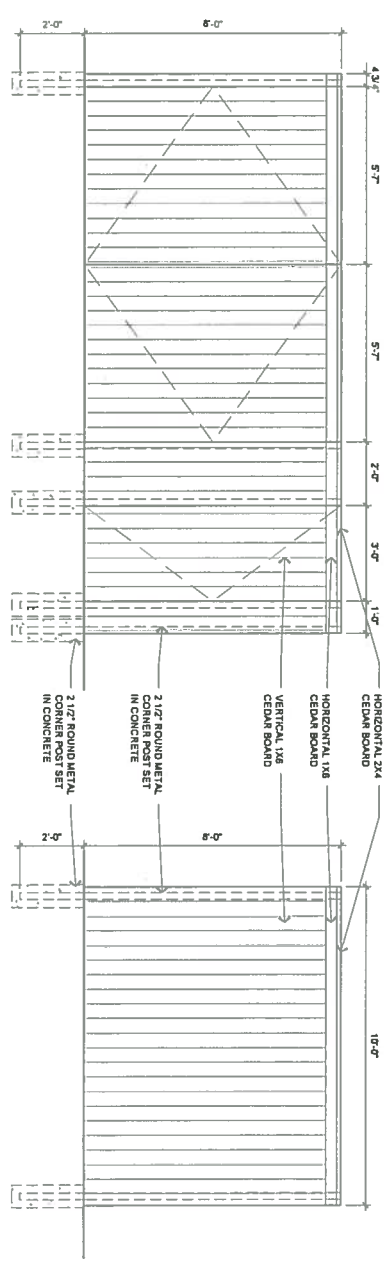
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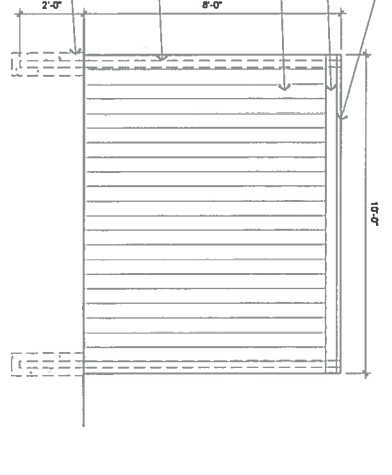
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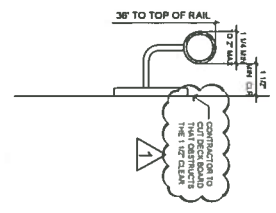
01 CONCRETE STAIR SECTION
3/4" = 1'-0"



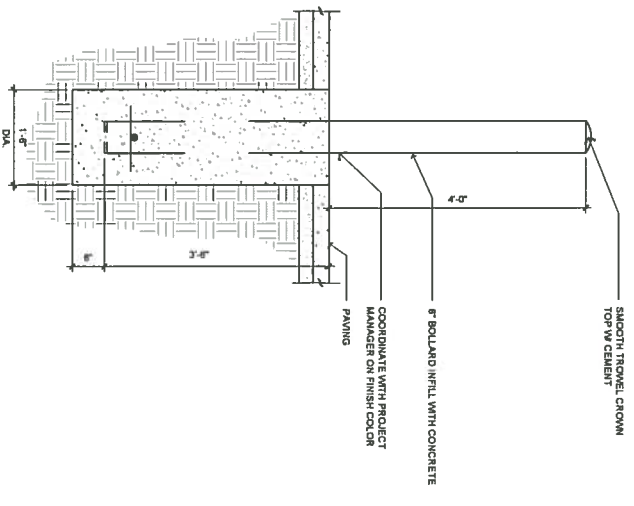
04 FENCE FRONT ELEVATION
3/8" = 1'-0"



05 FENCE SIDE ELEVATION
3/8" = 1'-0"



02 SECTION @ HANDRAIL
3" = 1'-0"



03 BOLLARD DETAIL
3/4" = 1'-0"

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