

BARNES AND MEDICAL VIEW APARTMENTS

City of Colorado Springs, State of Colorado

DEVELOPMENT PLAN

NOTES

- This project is subject to the Stetson Hills Special Improvement and Maintenance District requirements and fees.
- Signage is not approved with this plan. A separate sign permit is required. Contact the Development Review Enterprise at 2880 International Circle for a sign plan application.
- All lighting fixtures shall have full cut-off shielding or fixtures to reduce off-site lighting impacts.
- School district #20 requests fees in lieu of land dedication.
- Fees will be paid in lieu of park land dedication.
- The property has the benefit of a 50' shared access easement on Medical View (Reception No's 204150356, 204105358, and 204105360).
- The property includes the vacated portion of Comstock Loop (Reception No's 200004903 and 208712784)
- A 29' shared access easement exists on part of the northern boundary to provide shared access to this property and the adjacent Lot 3 and Lot 4 Barnes Corner Stop. This access is not being used for this development and the development does not inhibit use of the access by the adjacent owner.
- A 30' shared access easement exists on the southwest boundary to provide shared access this property and the adjacent Lot 3 and Lot 4 Barnes Corner Stop. This access is not being used for this development and the development does not inhibit the use of this access by other that benefit from the easement.
- The existing 80' utility easement Reception #088193376 is to be vacated by separate instrument. The associated sanitary sewer main is to be redirected through the development. Refer to sheet 4.
- All common area will be owned and maintained by the Property Owners Association.
- Sidewalk along Barnes and Breeze trail locations to be determined in the field to accommodate grade changes, and preserve existing trees.
- Retaining walls exceeding 4-feet will need to be structurally engineered.

LEGAL DESCRIPTION

Parcel A:

A parcel of land situated in the South Half of Section 19, Township 13 South, Range 65 West of the 6th Principal Meridian, in the City of Colorado Springs, El Paso County, Colorado, being that tract of land described in Book 5463 at Page 1471 of the records of said county, more particularly described as follows:

Basis of Bearings is an assumed N 90 degrees 00 minutes 00 seconds E from the southwest corner of Stetson Hills Subdivision Filing No. 8, (a #5 rebar with L.S. Cap # 17189) as recorded in Plat Book A-4 at Page 159 of said records to the southeast corner (a 2" aluminum pipe), of said Section 19.

Commencing at the southeast corner of said Section 19, being monumented by a 2" aluminum pipe (a pin cap L.S. No. 3854 recorded) thence N 79 degrees 46 minutes 04 seconds W, a distance of 2831.44 feet (N 79 degrees 56 minutes 33 seconds W a distance of 2832.99 feet recorded), to the true point of beginning;

thence along the east right-of-way line of Comstock Loop as shown on the plat of Stetson Hills Subdivision Filing No. 1, recorded in Plat Book Z-3 at Page 103, along the arc of a curve to the left having a central angle of 25 degrees 23 minutes 16 seconds, a radius of 741.00 feet, a chord bearing of N 07 degrees 21 minutes 27 seconds E, and an arc distance of 328.34 feet to a point of reverse curvature; thence along the south right-of-way line of Wittenberg Way, formerly platted as Jackpot Drive as recorded on said plat of Stetson Hills Subdivision Filing No. 1 for the following three (3) courses: (1) along the arc of a curve to the right having a central angle of 84 degrees 42 minutes 59 seconds, a radius of 30.00 feet, a chord bearing of N 37 degrees 01 minutes 18 seconds E, and an arc distance of 44.36 feet; (2) thence N 79 degrees 22 minutes 47 seconds E, a distance of 260.94 feet to a point of curvature; (3) thence along the arc of a curve to the right having a central angle of 81 degrees 52 minutes 00 seconds, a radius of 100.00 feet, a chord bearing of S 59 degrees 41 minutes 13 seconds E, and an arc distance of 142.88 feet to a point of reverse curvature; thence along the west right-of-way line of Stetson Hills Drive as recorded on said plat of Stetson Hills Subdivision Filing No. 1 along the arc of a curve to the left having a central angle of 15 degrees 40 minutes 20 seconds, a radius of 958.00 feet, a chord bearing of S 26 degrees 35 minutes 21 seconds E, (S 26 degrees 30 minutes 09 seconds E recorded) and an arc distance of 262.04 feet; thence S 79 degrees 22 minutes 47 seconds W a distance of 562.18 feet to the point of beginning.

Parcel B:

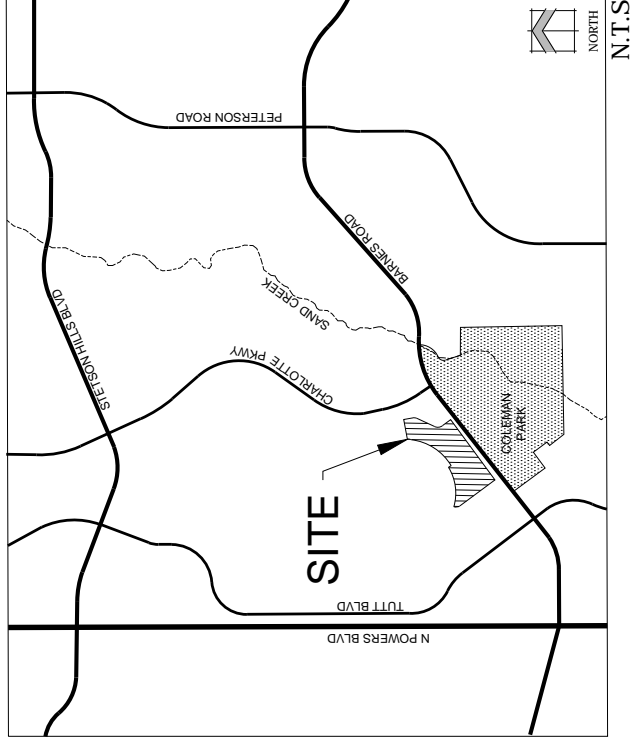
A parcel of land situate in the North Half of Section 30 and the South Half of Section 19, Township 13 South, Range 65 West of the 6th Principal Meridian, in the City of Colorado Springs, El Paso County, Colorado, more particularly described as follows: (Basis of Bearing is assumed N 90 degrees 00 minutes 00 seconds E from the southwest corner, a half inch rebar pin, to the southeast corner, a rebar pin and cap, L.S. 3854 of said Section 19) Commencing at the southeast corner of said Section 19, being monumented by a pin and cap, L.S. 3854; thence N 89 degrees 29 minutes 50 seconds W a distance of 3635.17 feet to a point on the southerly right-of-way line of Comstock Loop, as recorded in the records of El Paso County in Plat Book Z-3 at Page 103, the point of beginning;

thence along the southerly right-of-way line of said Comstock Loop along the arc of a curve to the left, having a central angle of 107 degrees 13 minutes 01 seconds, a radius of 741.00 feet, a chord bearing of N 48 degrees 16 minutes 19 seconds E, and an arc distance of 1386.63 feet to a point of reverse curvature; thence along the southerly right-of-way line of Jackpot Drive, as recorded in said Plat Book Z-3 at Page 103, the following three courses; 1) thence along the arc of a curve to the right, having a central angle of 84 degrees 42 minutes 59 seconds, a radius of 30.00 feet, a chord bearing of N 37 degrees 01 minutes 18 seconds E, and an arc distance of 44.36 feet; 2) thence N 79 degrees 22 minutes 47 seconds E a distance of 260.94 feet to a point of curvature; 3) thence along the arc of a curve to the right having a central angle of 81 degrees 52 minutes 00 seconds, a radius of 100.00 feet, a chord bearing of S 59 degrees 41 minutes 13 seconds E, and an arc distance of 142.88 feet to a point of reverse curvature, said point also being on the westerly right-of-way line of Stetson Hills Drive, as recorded in said Plat Book Z-3 at Page 103; thence along said westerly right-of-way line the following three courses: 1) thence along the arc of a curve to the left, having a central angle of 17 degrees 29 minutes 47 seconds, a radius of 958.00 feet, a chord bearing of S 27 degrees 30 minutes 07 seconds E, and an arc distance of 292.54 feet; 2) thence S 36 degrees 00 seconds E, a distance of 52.84 feet to a point of curvature; 3) thence along the arc of a curve to the right, having a central angle of 90 degrees 00 minutes 00 seconds, a radius of 100.00 feet, a chord bearing of S 08 degrees 45 minutes 00 seconds W, and an arc distance of 157.08 feet to a point on the northerly right-of-way line of Barnes Road, as recorded in said Plat Book Z-3 at Page 103; thence along said northerly right-of-way line the following three courses: 1) thence S 53 degrees 45 minutes 00 seconds W a distance of 242.00 feet; 2) thence S 53 degrees 25 minutes 54 seconds W a distance of 180.00 feet; 3) thence S 53 degrees 45 minutes 00 seconds W a distance of 947.31 feet; thence N 36 degrees 15 minutes 00 seconds W a distance of 549.43 feet to the point of beginning.

Excepting therefrom that portion conveyed to the Board of American Missions of the Lutheran Church of America by warranty deed recorded January 11, 1988 in Book 5463 at Page 1471.

Containing a calculated area of 506,748 square feet (11.6333 acres), more or less.

VICINITY MAP



ADA NOTE

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL CURRENT ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.

THE DESIGN PROFESSIONAL RESPONSIBLE FOR THIS PLAN HAS FAMILIARIZED THEMSELVES WITH ALL CURRENT ADA CRITERIA AND SPECIFICATIONS, AND THE PROPOSED PLAN REFLECTS REQUIRED SITE ELEMENTS. SEE "2010 ADA STANDARDS FOR ACCESSIBLE DESIGN", AS PUBLISHED BY THE DEPARTMENT OF JUSTICE (DOJ)

FEMA FLOODPLAIN NOTE

1. FLOODPLAIN STATEMENT: THIS SITE, BARNES ROAD AND MEDICAL VIEW IS NOT WITHIN A DESIGNATED F.E.M.A. FLOODPLAIN AS DETERMINED BY THE FLOOD INSURANCE RATE MAP NUMBER 08041C0539 F, COMMUNITY PANEL NUMBER 539 OF 1300, EFFECTIVE MARCH 17, 1987.

AVIGATION EASEMENT

THE AVIGATION EASEMENT DEDICATED HEREIN FOR PUBLIC AVIGATION PURPOSES, SHALL BE CONSIDERED A PUBLIC EASEMENT SUBJECT TO THOSE TERMS AND CONDITIONS AS SPECIFIED ON THE INSTRUMENT RECORDED AT RECEPTION NO. 217069667 OF THE RECORDS OF EL PASO COUNTY, COLORADO. ALL OTHER EASEMENTS OR INTERESTS OF RECORD AFFECTING ANY OF THE PLATTED PROPERTY DEPICTED HEREON SHALL NOT BE AFFECTED AND SHALL REMAIN IN FULL FORCE AND EFFECT.

SITE DATA

Owner: Fields Land and Cattle LTD.
2501 Paramount Blvd., Suite 200
Amarillo, TX. 79109

Applicant: Tirol Housing
16037 SW Upper Boones Ferry, Suite 150
Tigard, OR. 97224

Land Planner: N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903

Engineer: Terra Nova
721 S 23rd St.
Colorado Springs, CO 80904

Architect: DPS
7601 Jefferson St NE # 100,
Albuquerque, NM 87109

Tax ID Number: 5330200046, 5319400026

Current Zoning: PBC/AO (Planned Business Center/Airport Overlay)

Master Plan: Stetson Hills Master Plan (Implemented)
Spring/Summer 2019

Site Acreage: 11.63 AC

Proposed Land Use: Multi-Family Residential (242 Units) (R-5 Standards Apply)

Maximum Building Height: 45

Zone Setbacks: Front: 20' (Barnes Road)
Side: 5'
Rear: 25'
40%

Maximum Lot Coverage:

Lot Coverage
-87,389 SF (17.3%) Building
-164,266 SF (32.4%) Impervious
-255,093 SF (50.3%) Landscape

Open Space Required: 87,200 SF
(200 SF/436 Bedrooms)

Total Open Space Provided: 88,428 SF
(Private Open Space, Trails, Outdoor Courtyard, Lawn Areas, Internal Fitness Facilities)

Per Bedroom: 202.81 SF

Total Site Area: 506,748.30 SF (11.63 AC)

Apartment Unit Mix/Cross Square Footage:

Building A :	59,688 SF	Building C:	68,094 SF
1BR:	21	1BR:	14
2BR:	21	2BR:	24
3BR:	7	3BR:	8
TOTAL:	49 Units	TOTAL:	46 Units

Building B:	62,820 SF	Building D:	121,831 SF
1BR:	14	1BR:	35
2BR:	28	2BR:	49
3BR:	7	3BR:	14
TOTAL:	49 Units	TOTAL:	98 Units

TOTAL: 242 Units

Parking Calculations (City 7.4.203):

1 BR	1.5 Spaces/Unit	84 Units	126 Spaces
2 BR	1.7 Spaces/Unit	122 Units	207 Spaces
3 BR	2.0 Spaces/Unit	36 Units	72 Spaces

Total Required: 405 Spaces
Total Provided: 406 Spaces

Total ADA Required: 9 Spaces (2 Van Accessible)
Total ADA Provided: 10 Spaces (4 Van Accessible)

SHEET INDEX

Sheet 1 of 16:	Cover
Sheet 2 of 16:	Development Plan
Sheet 3 of 16:	Preliminary Grading Plan
Sheet 4 of 16:	Preliminary Utilities & Public Facilities Plan
Sheet 5 of 16:	Preliminary Landscape Plan
Sheet 6 of 16:	Preliminary Landscape Plan
Sheet 7 of 16:	Preliminary Landscape Plan
Sheet 8 of 16:	Landscape Notes and Details
Sheet 9 of 16:	Building Elevations
Sheet 10 of 16:	Building Elevations
Sheet 11 of 16:	Building Elevations
Sheet 12 of 16:	Building Elevations
Sheet 13 of 16:	Site Details
Sheet 14 of 16:	Site Details
Sheet 15 of 16:	Electrical Site Lighting Plan
Sheet 16 of 16:	Photometric Plan



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BARNES &
MEDICAL VIEW
APARTMENTS
DEVELOPMENT PLAN

COLORADO SPRINGS, CO

DATE: 10/29/18
PROJECT MGR: A. BARLOW
PREPARED BY: B. SWENSON

PROJECT NO:

SHEET NO:

DATE:	DESCRIPTION:
10/29/18	INITIAL CITY SUBMITTAL
12/17/18	PER CITY COMMENTS

SHEET TITLE: COVER

SHEET NUMBER: 1

OF 16

PLAN FILE # CPC CU 18-00146

LEGEND

- PROPERTY BOUNDARY
- EASEMENT LINES
- EXISTING 6" WOOD FENCE
- ADA ROUTE
- FIRE LANE (NO PARKING)

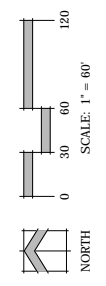
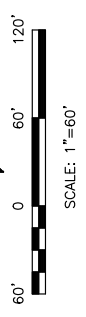


Figure #2

GRADING LEGEND

- EXISTING CONTOURS - MINOR .5132
- EXISTING CONTOURS - MAJOR .6130
- CONCRETE EDGE CE
- UNDERGROUND LOCATES (YELLOW FLAGS) ULL(Y)
- UNDERGROUND LINE LOCATES (RED FLAGS) ULL(R)
- UNDERGROUND LINE LOCATES (BLUE FLAGS) ULL(B)
- UNDERGROUND LINE LOCATES (ORANGE FLAGS) ULL(O)
- PROPOSED FINISHED GROUND FG
- PROPOSED FINISHED SURFACE FS
- PROPOSED FLOWLINE FL
- SPOT ELEVATION SE
- ASPHALT EDGE AE
- LOW POINT LP
- HIGH POINT HP
- EXISTING ELEVATION 12.00*
- GRADE & DIRECTION 2.2%
- TERRAIN STRING TS
- BOUNDARY MONUMENT BM
- BOUNDARY CORNER BC
- PROPOSED CONTOUR (2.0)
- EXISTING SPOT GRADE X EX 7314.00
- PROPOSED SPOT GRADE X 7314.00
- FINISH FLOOR ELEVATION (2.0)

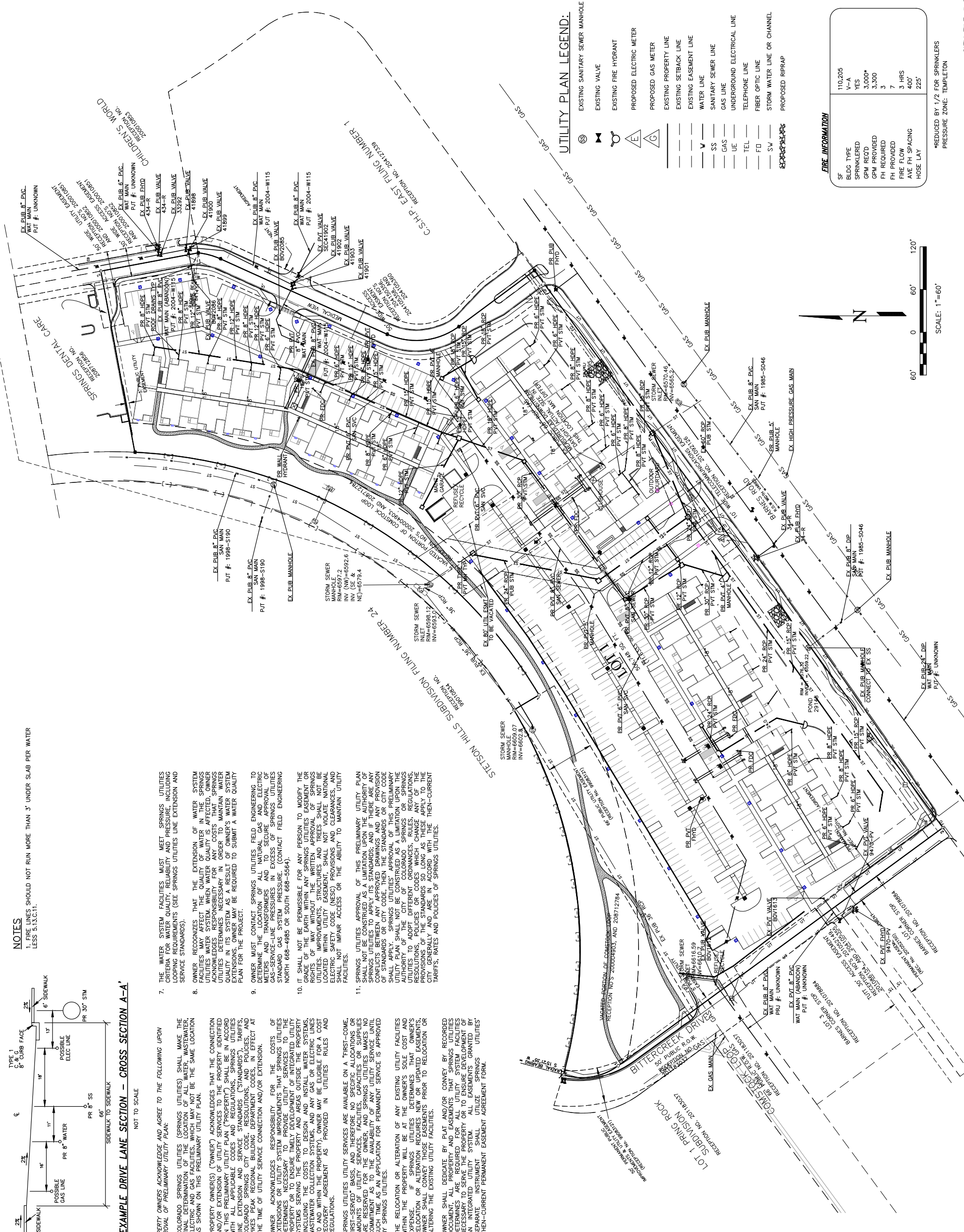
- CONCRETE
- PROPOSED DOWNSPOUT LOCATION
- EXISTING PROPERTY LINE
- EXISTING SETBACK LINE
- EXISTING EASEMENT LINE
- PROPOSED CURB
- EXISTING X-LINK FENCE
- PROPOSED WALL
- PROPOSED CONTOURS - MINOR
- PROPOSED CONTOURS - MAJOR
- PROPOSED RIPRAP



DATE	BY	DESCRIPTION
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PRELIMINARY
UTILITY & PUBLIC
FACILITIES PLAN



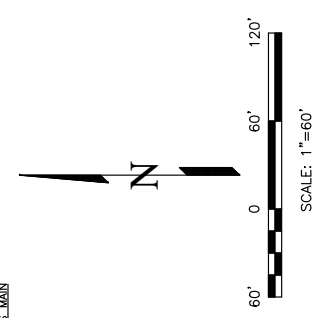
UTILITY PLAN LEGEND:

- EXISTING SANITARY SEWER MANHOLE
- EXISTING VALVE
- EXISTING FIRE HYDRANT
- PROPOSED ELECTRIC METER
- PROPOSED GAS METER
- EXISTING PROPERTY LINE
- EXISTING SETBACK LINE
- EXISTING EASEMENT LINE
- WATER LINE
- SANITARY SEWER LINE
- GAS LINE
- UNDERGROUND ELECTRICAL LINE
- TELEPHONE LINE
- FIBER OPTIC LINE
- STORM WATER LINE OR CHANNEL
- PROPOSED RIPRAP

FIRE INFORMATION

SF	110,205
BLDG TYPE	V-A
SPRINKLERED	YES
GPM REQ'D	3,000*
GPM PROVIDED	3,300
FH REQUIRED	3
FH PROVIDED	7
FIRE FLOW	3 HRS
AVE FH SPACING	400'
HOSE LAY	225'

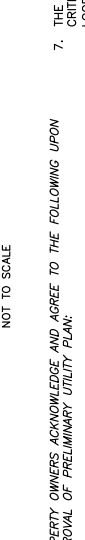
*REDUCED BY 1/2 FOR SPRINKLERS
PRESSURE ZONE: TEMPLETON



NOTES

- FIRE LINES SHOULD NOT RUN MORE THAN 3' UNDER SLAB PER WATER LESS 5.1.3.C.11.

EXAMPLE DRIVE LANE SECTION - CROSS SECTION A-A'



- THE WATER SYSTEM FACILITIES MUST MEET SPRINGS UTILITIES CRITERIA FOR WATER QUALITY, RELIABILITY AND PRESSURE, INCLUDING LOOPING REQUIREMENTS (SEE SPRINGS UTILITIES LINE EXTENSION AND SERVICE STANDARDS).
- OWNER RECOGNIZES THAT THE EXTENSION OF WATER SYSTEM UTILITIES WILL AFFECT THE QUALITY OF WATER IN SPRINGS UTILITIES WATER SYSTEM. WHEN WATER QUALITY IS AFFECTED, OWNER ACKNOWLEDGES RESPONSIBILITY FOR ANY COSTS THAT SPRINGS UTILITIES DETERMINES NECESSARY IN ORDER TO MAINTAIN WATER QUALITY IN ITS SYSTEM AS A RESULT OF OWNER'S WATER SYSTEM EXTENSION. OWNER MAY BE REQUIRED TO SUBMIT A WATER QUALITY PLAN FOR THE PROJECT.
- OWNER MUST CONTACT SPRINGS UTILITIES FIELD ENGINEERING TO DETERMINE THE LOCATION OF ALL NATURAL GAS AND ELECTRIC MANHOLES, TRANSFORMERS, AND SERVICE LINES IN EXCESS OF SPRINGS UTILITIES STANDARD GAS SYSTEM PRESSURE. (CONTACT FIELD ENGINEERING NORTH 688-4985 OR SOUTH 688-5564).
- IT SHALL NOT BE PERMISSIBLE FOR ANY PERSON TO MODIFY THE RIGHTS OF WAY WITHOUT THE WRITTEN APPROVAL OF SPRINGS UTILITIES. IMPROVEMENTS, STRUCTURES AND TREES SHALL NOT BE LOCATED WITHIN UTILITY EASEMENT, SHALL NOT VIOLATE NATIONAL ELECTRIC SAFETY CODE (NEC), PROVISIONS AND CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.
- SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF SPRINGS UTILITIES TO CONSIDER, DESIGN, CONSTRUCT, AND ANY PROVISIONS OF STANDARDS OR CITY CODE, THEN THE STANDARDS OR CITY CODE SHALL APPLY. SPRINGS UTILITIES' APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF THE CITY OF COLORADO SPRINGS OR SPRINGS UTILITIES TO ADOPT DIFFERENT STANDARDS OR CODES WHICH CHANGE ANY OF THE RESOLUTIONS, POLICIES OR CODES WHICH CHANGE ANY OF THE CITY GENERALLY AND ARE IN ACCORD WITH THE THEN-CURRENT TARIFFS, RATES AND POLICIES OF SPRINGS UTILITIES.
- SPRINGS UTILITIES SERVICES ARE AVAILABLE ON A "FIRST-COME, FIRST-SERVED" BASIS, AND THEREFORE NO SPECIFIC ALLOCATIONS OR AMOUNTS OF UTILITY SERVICES, FACILITIES, CAPACITIES OR SUPPLIES ARE RESERVED FOR THE OWNER, AND SPRINGS UTILITIES MAKES NO COMMITMENT AS TO THE AVAILABILITY OF ANY UTILITY SERVICE UNTIL AN APPLICATION FOR PERMANENT SERVICE IS APPROVED BY SPRINGS UTILITIES.
- THE RELOCATION OR ALTERATION OF ANY EXISTING UTILITY FACILITIES WITHIN THE PROPERTY WILL BE AT THE OWNER'S SOLE COST AND EXPENSE. SPRINGS UTILITIES DETERMINES THAT OWNER'S RELOCATION OR ALTERATION OF ANY EXISTING UTILITY FACILITIES SHALL CONVEY THOSE EASEMENTS PRIOR TO RELOCATION OR ALTERING THE EXISTING UTILITY FACILITIES.
- OWNER SHALL DEDICATE BY PLAT AND/OR CONVEY BY RECORDED INSTRUMENT EASEMENTS THAT SYSTEM FACILITIES ARE REQUIRED FOR THE PROPERTY OR TO ENSURE DEVELOPMENT OF AN INTEGRATED UTILITY SYSTEM. ALL EASEMENTS GRANTED BY SEPARATE INSTRUMENT SHALL UTILIZE SPRINGS UTILITIES' THEN-CURRENT PERMANENT EASEMENT AGREEMENT FORM.

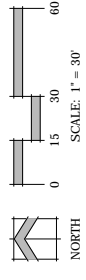
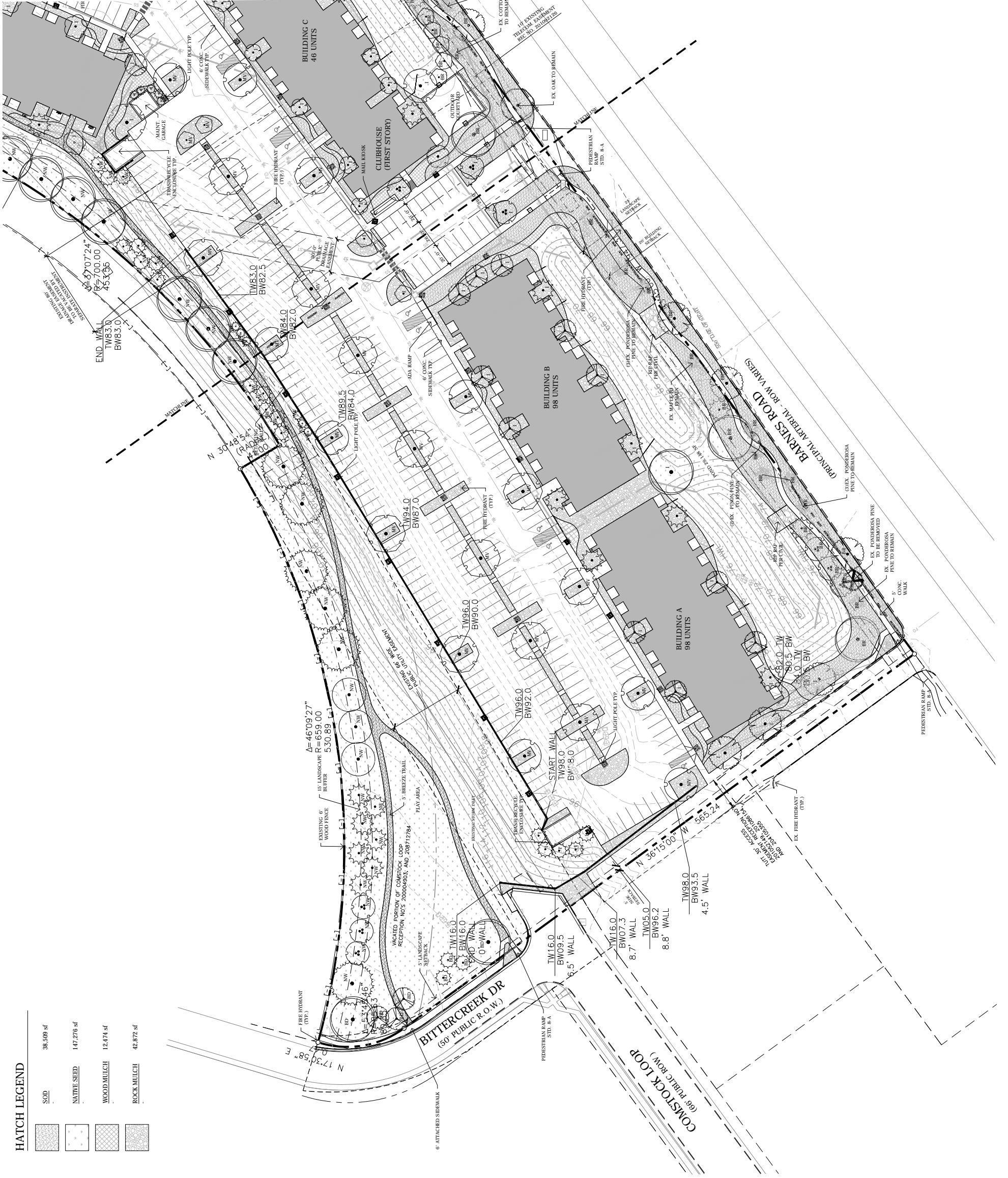
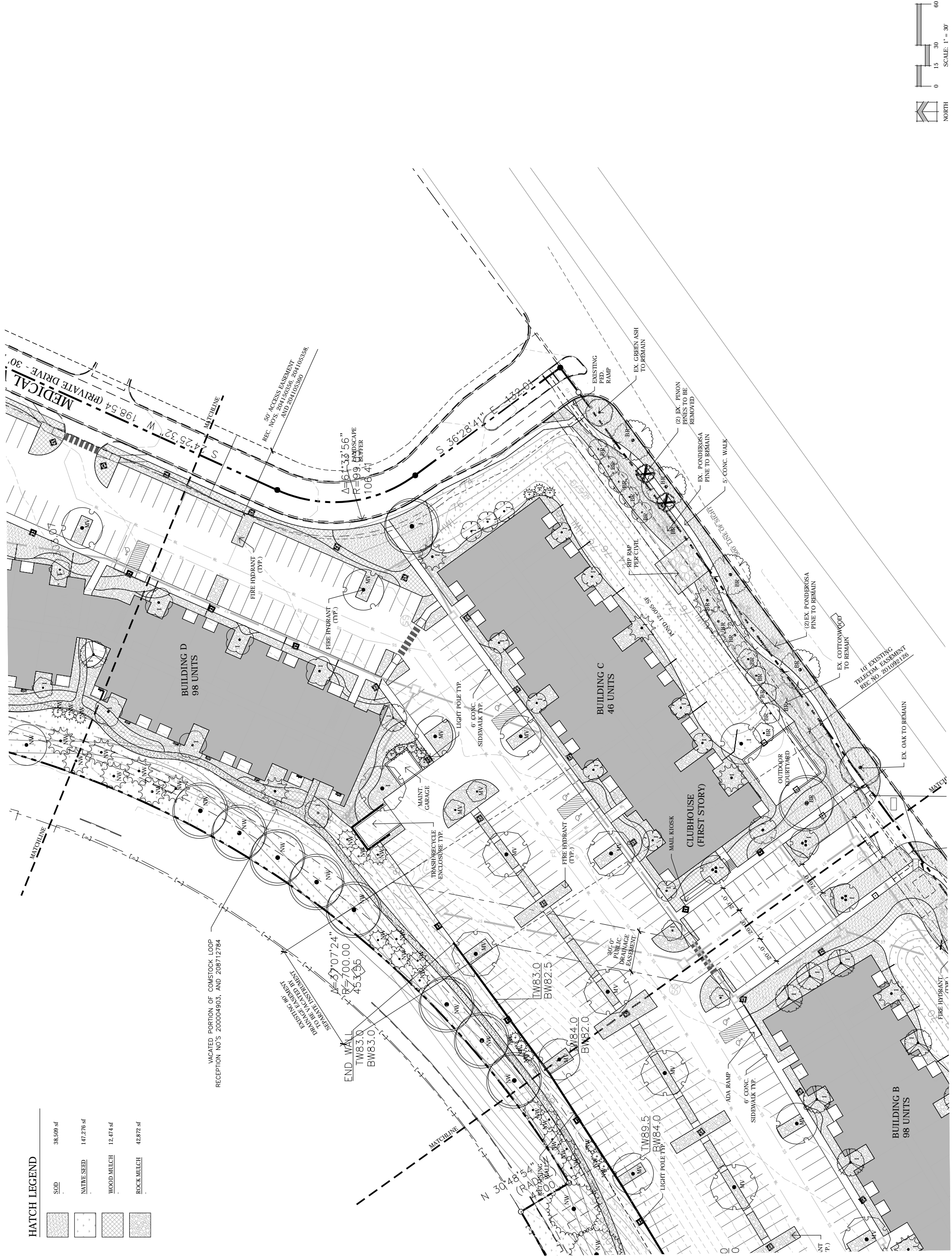
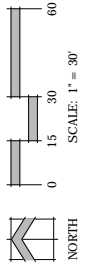


Figure #2



VACATED PORTION OF COMSTOCK LOOP
RECEPTION NO'S 200004903, AND 208712784

HATCH LEGEND	Area
	38,509 sf
	147,276 sf
	12,474 sf
	42,872 sf

Figure #2



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**BARNES &
 MEDICAL VIEW
 APARTMENTS**
 DEVELOPMENT PLAN
 COLORADO SPRINGS, CO

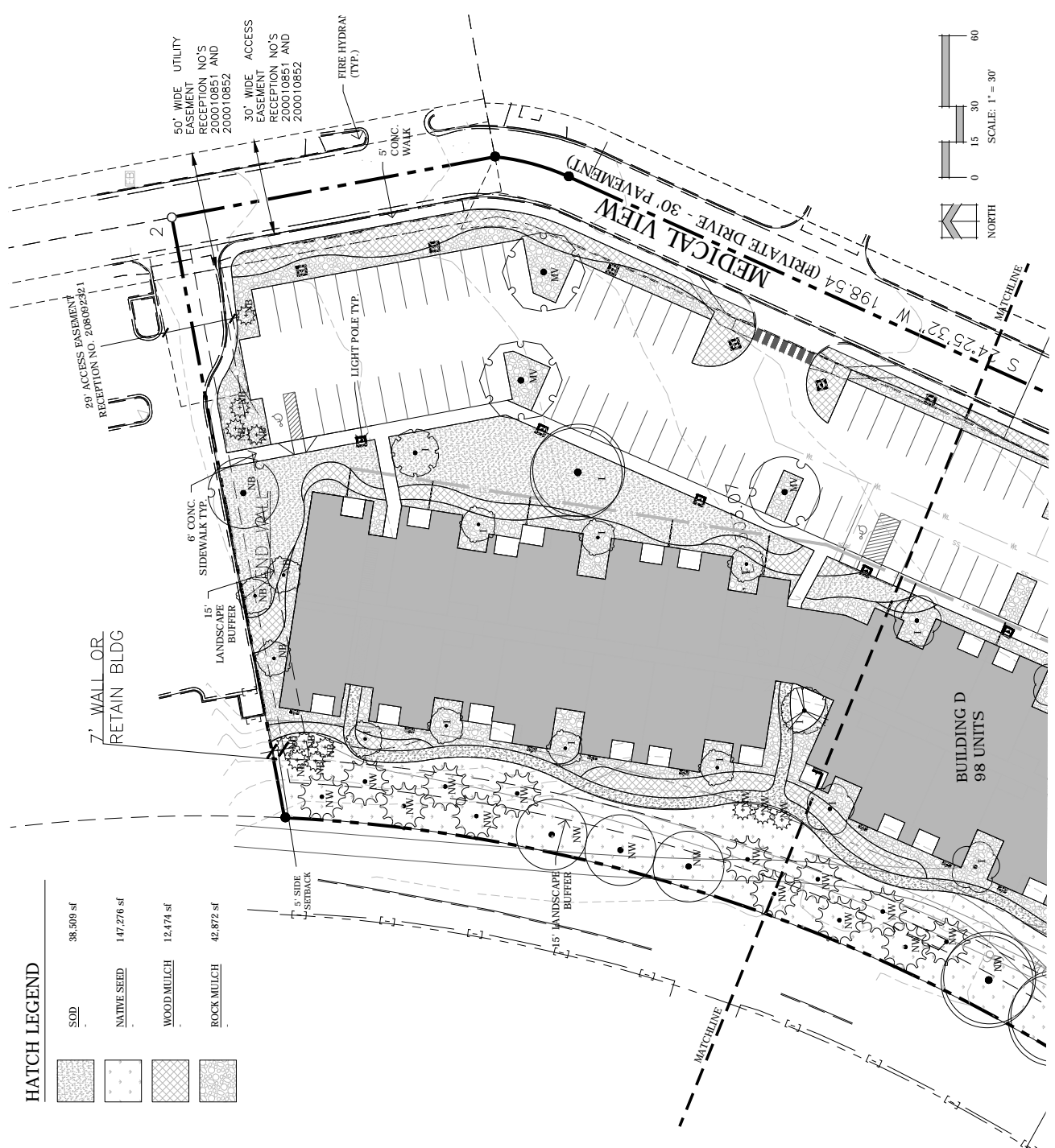
DATE: 10/29/18
 PROJECT MGR: A. BARLOW
 PREPARED BY: A. KURUDA

DATE	BY	DESCRIPTION
10/29/18	AJK	INITIAL CITY SUBMITTAL
12/17/18	JRS	PER CITY COMMENTS

PRELIMINARY
 LANDSCAPE PLAN

7
 OF 16

CPC #



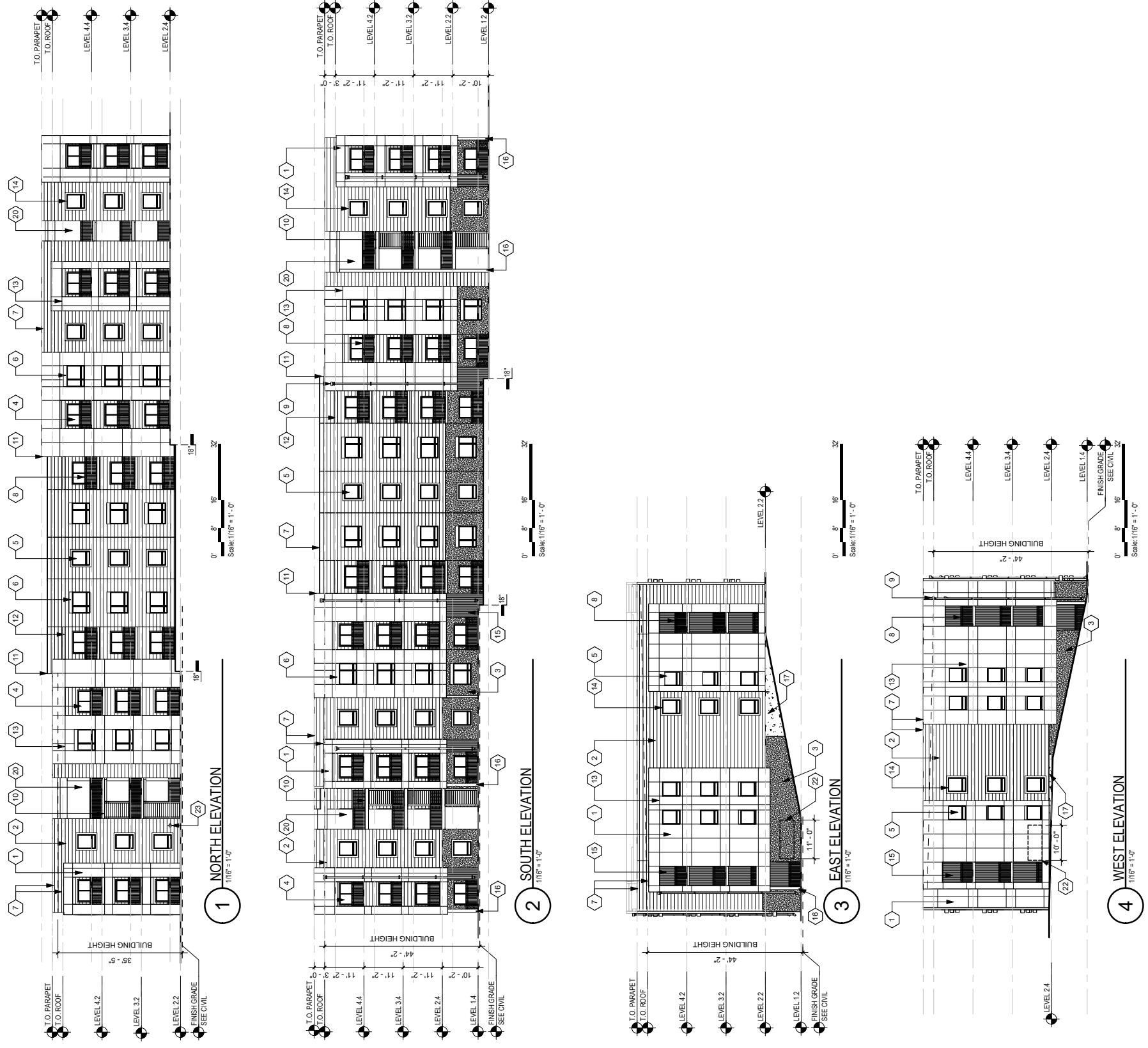
HATCH LEGEND

	38,509 sf
	147,276 sf
	12,474 sf
	42,872 sf

Figure #2

BARNES AND MEDICAL VIEW APARTMENTS

City of Colorado Springs, State of Colorado
DEVELOPMENT PLAN



GENERAL SHEET NOTES

1. THE PURPOSE OF THE BUILDING ELEVATIONS IS TO ENSURE COMPATIBILITY BETWEEN THE PROPOSED STRUCTURES AND THE SURROUNDING PROPERTIES. THE PROPOSED BUILDING DESIGN WILL BE FINALIZED AT TIME OF BUILDING PERMIT. MINOR CHANGES TO THE ELEVATIONS, MATERIALS OR COLORS WILL NOT REQUIRE A DEVELOPMENT PLAN AMENDMENT PROVIDED THE CHANGES ARE IN SUBSTANTIAL COMPLIANCE WITH THE ELEVATIONS APPROVED WITH THE DEVELOPMENT PLAN. MAJOR CHANGES MAY BE CONSIDERED ADMINISTRATIVE AMENDMENTS.

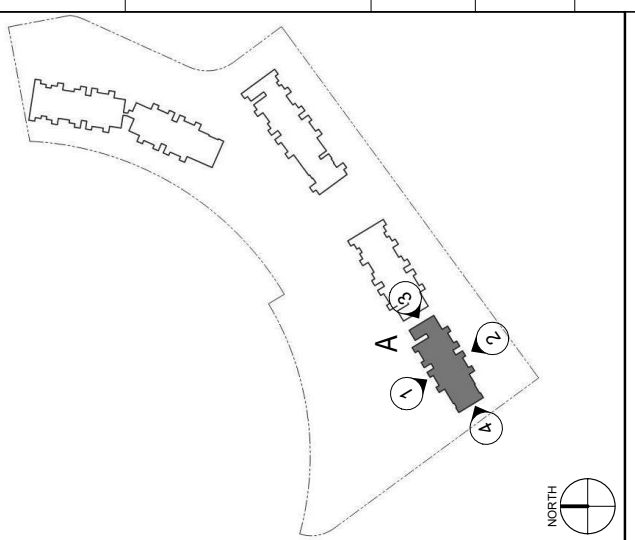
REFERENCE KEYNOTES

1. FIBER CEMENT VERTICAL PANELS (SMOOTH IN COLOR ARCTIC WHITE)
2. FIBER CEMENT LAP SIDING (SMOOTH IN COLOR PEARL GREY)
3. FIBER CEMENT SMOOTH SIDING (CHARCOAL COLOR)
4. VINYL SLIDING PATIO DOOR
5. VINYL WINDOW WITH CLEAR GLAZING
6. OPTIONAL METAL AWNING WITH PAINTED OR GALVALUME FINISH
7. PARAPET WITH PREFINISHED METAL COPING
8. OPEN STEEL GUARDRAIL; PAINTED CHARCOAL
9. ROOF DRAIN METAL COLLECTOR HEAD AND DOWNSPOUT (CHARCOAL COLOR)
10. EXTERIOR STAIR
11. BUILDING STEP
12. FRAMED ROOF WITH METAL FASCIA
13. REGLET REVEAL (38"D x 1/2" W)
14. FIBER CEMENT TRIM BOARD
15. METAL PANEL
16. FRAMED WOOD COLUMN; PAINTED CHARCOAL
17. CONCRETE STEM WALL
18. COVERED ENTRANCE
19. ALUMINUM STOREFRONT WITH GLAZING; CLEAR
20. OPEN BREEZEWAY
21. ELEVATOR
22. WALL MOUNTED ELECTRICAL METERING EQUIPMENT
23. FIRE DEPARTMENT WALL-HYDRANT

LEGEND

- FIBER CEMENT VERTICAL PANELS WITH REGLET REVEAL
- FIBER CEMENT LAP SIDING
- FIBER CEMENT SMOOTH PANEL; PAINTED CHARCOAL
- METAL PANEL
- EXPOSED CONCRETE STEM WALL; PAINTED

KEY PLAN



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Fax 719.471.0267
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ARCHITECTURE / DESIGN / INSPIRATION

DEKKER PERICH SABATINI

7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109
505.761.9700 / DPDESIGN.ORG

BARNES & MEDICAL VIEW APARTMENTS

COLORADO SPRINGS, CO

DATE: 9/4/18
PROJECT MGR: A. BARLOW
PREPARED BY: B. SWENSON

DATE:	BY:	DESCRIPTION:
ISSUE 1	BY	DESCRIPTION
ISSUE 1	BY	DESCRIPTION
ISSUE 1	BY	DESCRIPTION
ISSUE 1	BY	DESCRIPTION
ISSUE 1	BY	DESCRIPTION
ISSUE 1	BY	DESCRIPTION

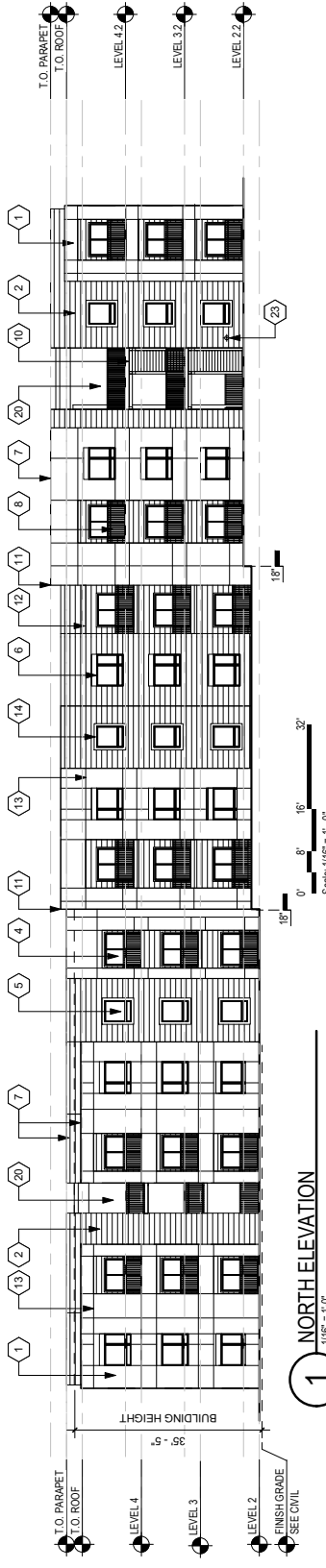
EXTERIOR ELEVATIONS - BUILDING A

9 OF 16

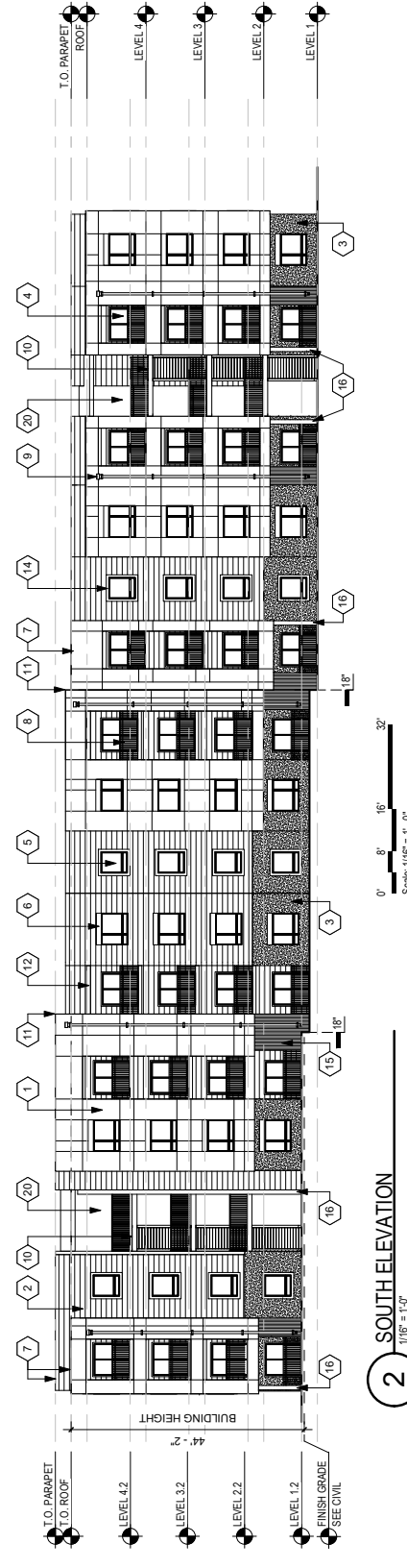
Figure #2

BARNES AND MEDICAL VIEW APARTMENTS

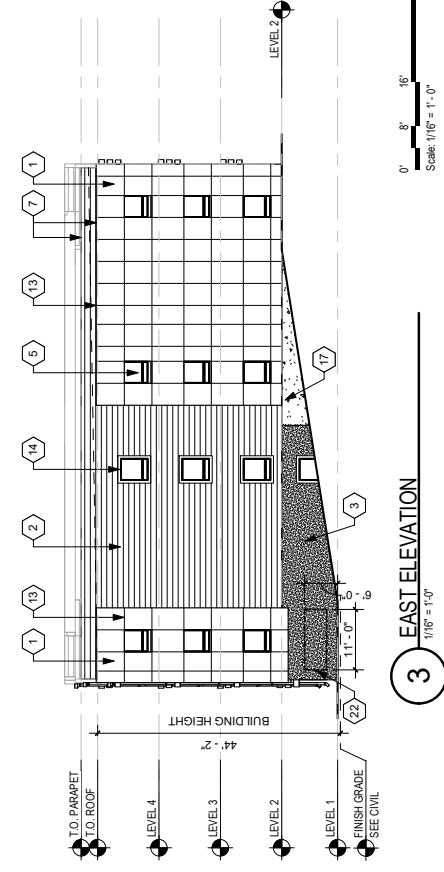
City of Colorado Springs, State of Colorado
DEVELOPMENT PLAN



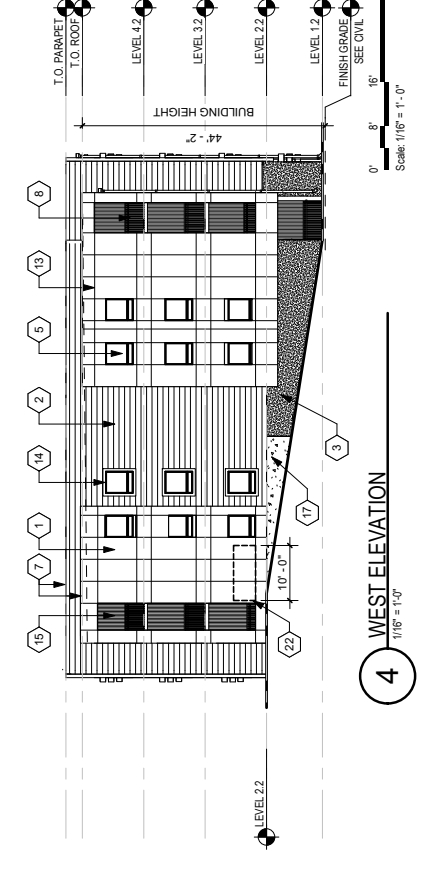
1 NORTH ELEVATION
1/16" = 1'-0"



2 SOUTH ELEVATION
1/16" = 1'-0"



3 EAST ELEVATION
1/16" = 1'-0"



4 WEST ELEVATION
1/16" = 1'-0"

GENERAL SHEET NOTES

1. THE PURPOSE OF THE BUILDING ELEVATIONS IS TO ENSURE COMPATIBILITY BETWEEN THE PROPOSED STRUCTURES AND THE SURROUNDING PROPERTIES. THE PROPOSED BUILDING DESIGN WILL BE FINALIZED AT TIME OF BUILDING PERMIT. MINOR CHANGES TO THE ELEVATIONS, MATERIALS OR COLORS WILL NOT REQUIRE A DEVELOPMENT PLAN AMENDMENT PROVIDED THE CHANGES ARE IN SUBSTANTIAL COMPLIANCE WITH THE ELEVATIONS APPROVED WITH THE DEVELOPMENT PLAN. MAJOR CHANGES MAY BE CONSIDERED ADMINISTRATIVE AMENDMENTS.

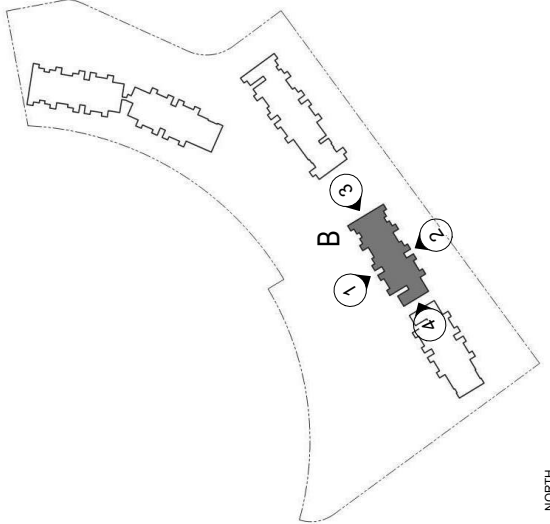
REFERENCE KEYNOTES

- FIBER CEMENT VERTICAL PANELS (SMOOTH IN COLOR 'ARCTIC WHITE')
- FIBER CEMENT LAP SIDING (SMOOTH IN COLOR 'PEARL GREY')
- FIBER CEMENT SMOOTH SIDING (CHARCOAL COLOR)
- VINYL SLIDING PATIO DOOR
- VINYL WINDOW WITH CLEAR GLAZING
- OPTIONAL METAL AWNING WITH PAINTED OR GALVALUME FINISH
- PARAPET WITH PREFINISHED METAL COPING
- OPEN STEEL GUARDRAIL - PAINTED CHARCOAL
- ROOF DRAIN METAL COLLECTOR HEAD AND DOWNSPOUT (CHARCOAL COLOR)
- EXTERIOR STAIR
- BUILDING STEP
- FRAMED ROOF WITH METAL FASCIA
- REGLET REVEAL (3/8" X 1/2" W)
- FIBER CEMENT TRIM BOARD
- METAL PANEL
- FRAMED WOOD COLUMN - PAINTED CHARCOAL
- CONCRETE STEM WALL
- COVERED ENTRANCE
- ALUMINUM STOREFRONT WITH GLAZING, CLEAR
- OPEN BREEZEWAY
- ELEVATOR
- WALL MOUNTED ELECTRICAL METERING EQUIPMENT
- FIRE DEPARTMENT WALL HYDRANT

LEGEND

- FIBER CEMENT VERTICAL PANELS WITH REGLET REVEAL
- FIBER CEMENT LAP SIDING
- FIBER CEMENT SMOOTH PANEL; PAINTED CHARCOAL
- METAL PANEL
- EXPOSED CONCRETE STEM WALL; PAINTED

KEY PLAN



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903
Tel. 719.471.0073
Fax 719.471.0267
www.nescolorado.com

ARCHITECTURE / DESIGN / INSPIRATION



7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109
505.761.9700 / DPSDESIGN.ORG

BARNES & MEDICAL VIEW APARTMENTS
COLORADO SPRINGS, CO

DATE: 9/4/18
PROJECT MGR: A. BARLOW
PREPARED BY: B. SWENSON

DATE:	BY:	DESCRIPTION:
ISSUE 1	BY	DESCRIPTION
ISSUE 1	BY	DESCRIPTION
ISSUE 1	BY	DESCRIPTION
ISSUE 1	BY	DESCRIPTION
ISSUE 1	BY	DESCRIPTION
ISSUE 1	BY	DESCRIPTION

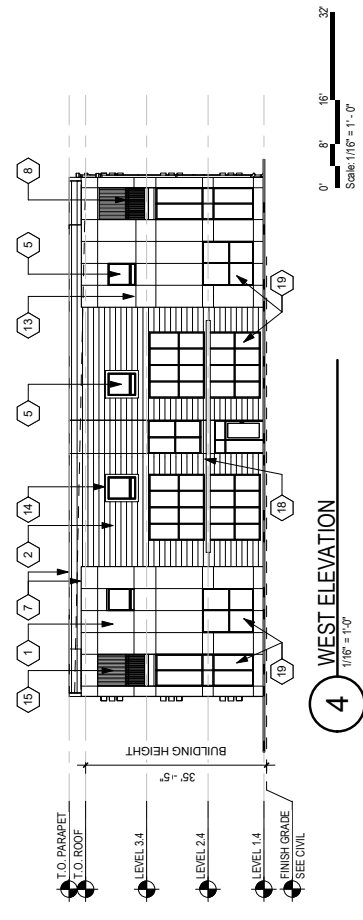
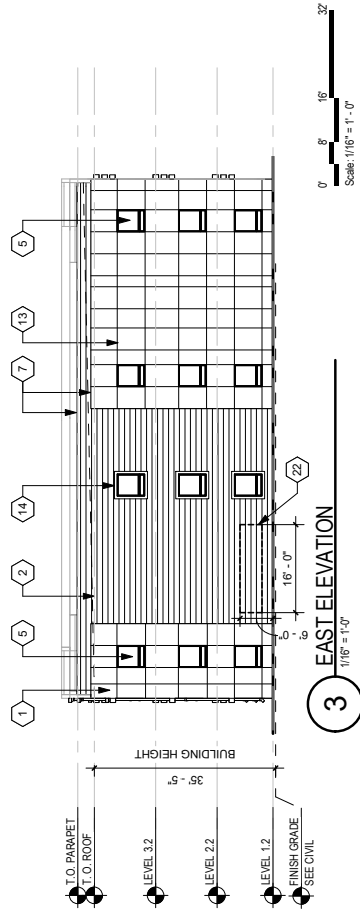
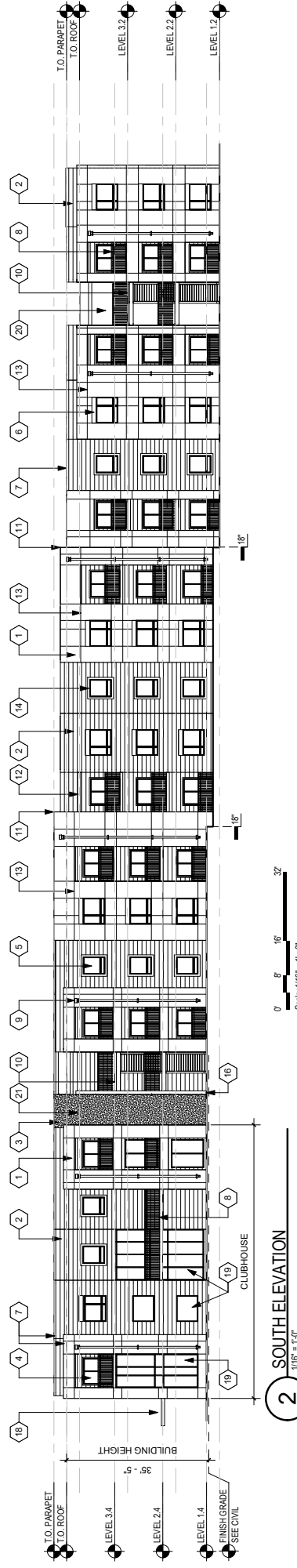
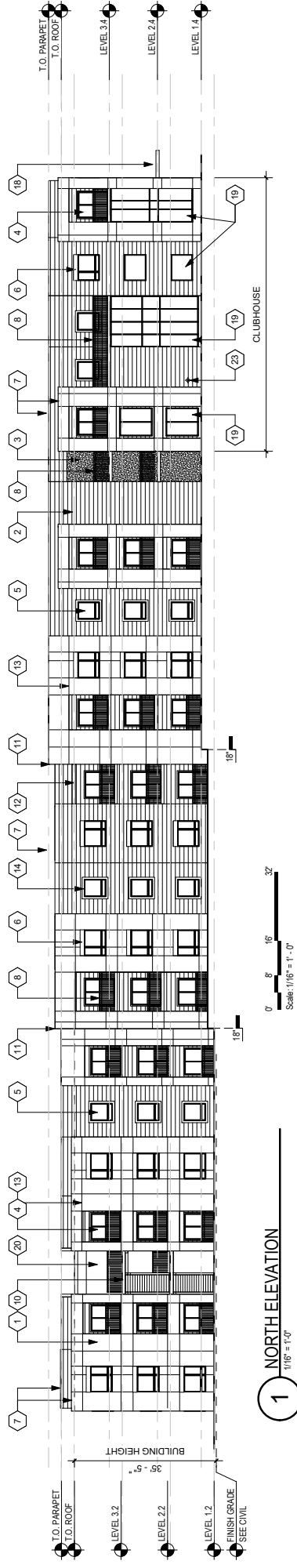
EXTERIOR ELEVATIONS - BUILDING B

10

10 OF 16

BARNES AND MEDICAL VIEW APARTMENTS

City of Colorado Springs, State of Colorado
DEVELOPMENT PLAN



GENERAL SHEET NOTES

1. THE PURPOSE OF THE BUILDING ELEVATIONS IS TO ENSURE COMPATIBILITY BETWEEN THE PROPOSED BUILDING AND THE SURROUNDING ENVIRONMENT. THE PURPOSES OF THE BUILDING DESIGN WILL BE FINISHED AT THE TIME OF BUILDING PERMIT. MINOR CHANGES TO THE ELEVATIONS, MATERIALS OR COLORS WILL NOT REQUIRE A DEVELOPMENT PLAN AMENDMENT PROVIDED THE CHANGES ARE IN SUBSTANTIAL COMPLIANCE WITH THE ELEVATIONS APPROVED WITH THE DEVELOPMENT PLAN. MAJOR CHANGES MAY BE CONSIDERED ADMINISTRATIVE AMENDMENTS.

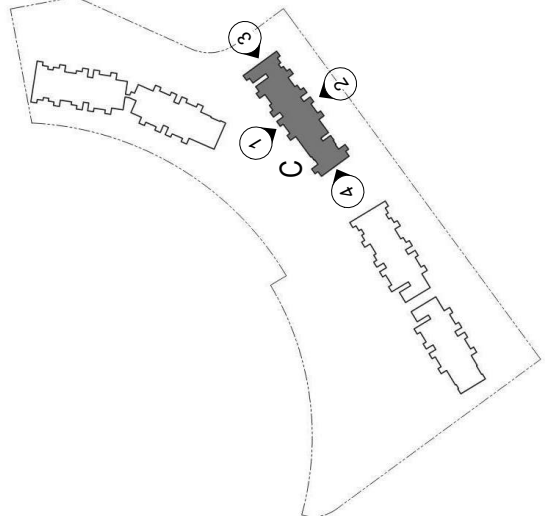
REFERENCE KEYNOTES

1. FIBER CEMENT VERTICAL PANELS (SMOOTH IN COLOR/ARCTIC WHITE)
2. FIBER CEMENT LAP SIDING (SMOOTH IN COLOR PEARL GREY)
3. FIBER CEMENT SMOOTH SIDING (CHARCOAL COLOR)
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5. VINYL WINDOW WITH CLEAR GLAZING
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9. ROOF DRAIN METAL COLLECTOR HEAD AND DOWNSPOUT
10. EXTERIOR STAIR
11. BUILDING STEP
12. FRAMED ROOF WITH METAL FASCIA
13. REGLET REVEAL (3/8" x 1/2" W)
14. FIBER CEMENT TRIM BOARD
15. METAL PANEL
16. FRAMED WOOD COLUMN, PAINTED CHARCOAL
17. CONCRETE STEM WALL
18. COVERED ENTRANCE
19. ALUMINUM STOREFRONT WITH GLAZING, CLEAR
20. OPEN BREEZEWAY
21. ELEVATOR
22. WALL MOUNTED ELECTRICAL METERING EQUIPMENT
23. FIRE DEPARTMENT WALL HYDRANT

LEGEND

- FIBER CEMENT VERTICAL PANELS WITH REGLET REVEAL
- FIBER CEMENT LAP SIDING
- FIBER CEMENT SMOOTH PANEL; PAINTED CHARCOAL
- METAL PANEL
- EXPOSED CONCRETE STEM WALL; PAINTED

KEY PLAN



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BARNES & MEDICAL VIEW APARTMENTS
COLORADO SPRINGS, CO

DATE: 9/4/18
PROJECT MGR: A. BARLOW
PREPARED BY: B. SWENSON

DATE:	BY:	DESCRIPTION:
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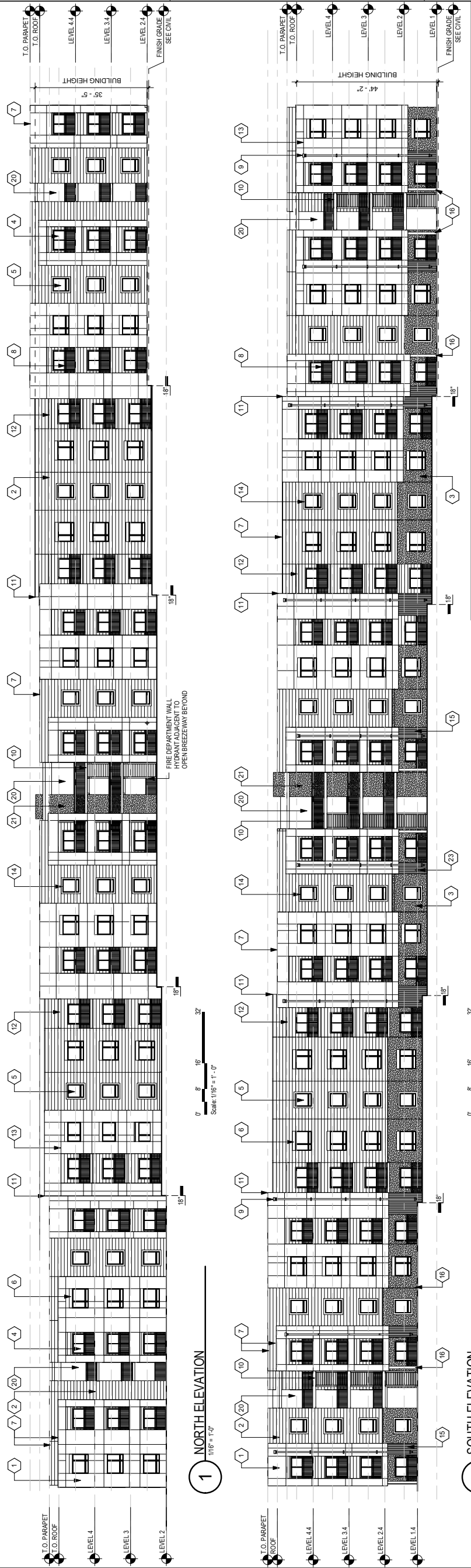
EXTERIOR ELEVATIONS - BUILDING C

11 OF 16

Figure #2

BARNES AND MEDICAL VIEW APARTMENTS

City of Colorado Springs, State of Colorado
DEVELOPMENT PLAN



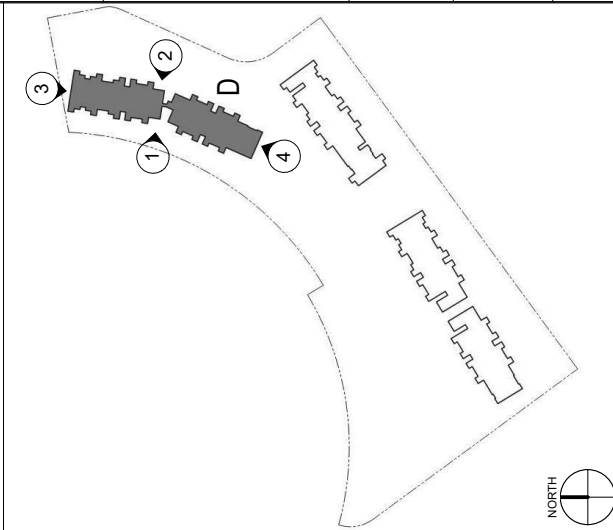
GENERAL SHEET NOTES

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LEGEND

- FIBER CEMENT VERTICAL PANELS WITH REGLET REVEAL
- FIBER CEMENT LAP SIDING
- FIBER CEMENT SMOOTH PANEL; PAINTED CHARCOAL
- METAL PANEL
- EXPOSED CONCRETE STEM WALL; PAINTED

KEY PLAN



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BARNES & MEDICAL VIEW APARTMENTS

COLORADO SPRINGS, CO

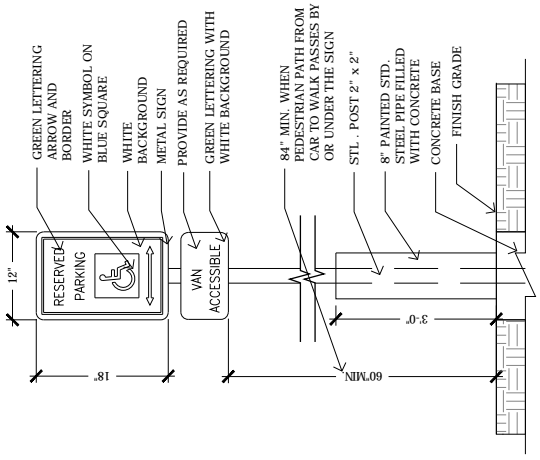
DATE: 9/4/18
PROJECT MGR: A. BARLOW
PREPARED BY: B. SWENSON

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ISSUE 1	BY	DESCRIPTION
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EXTERIOR ELEVATIONS - BUILDING D

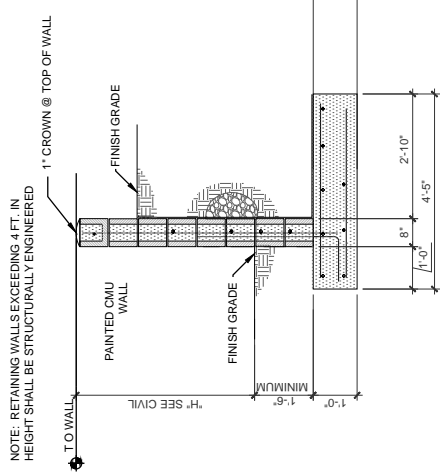
12 OF 16

Figure #2



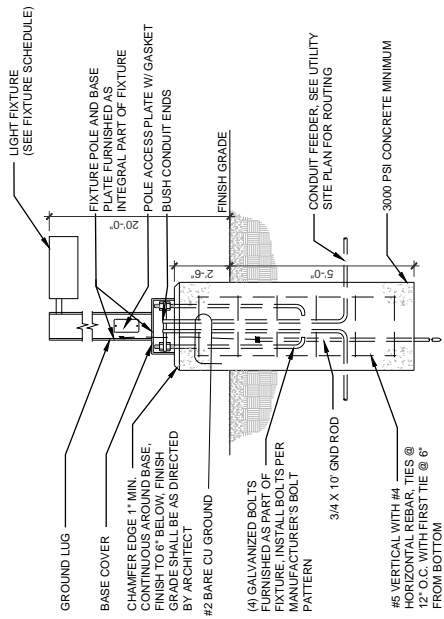
1 ADA SIGN

SCALE: N.T.S.



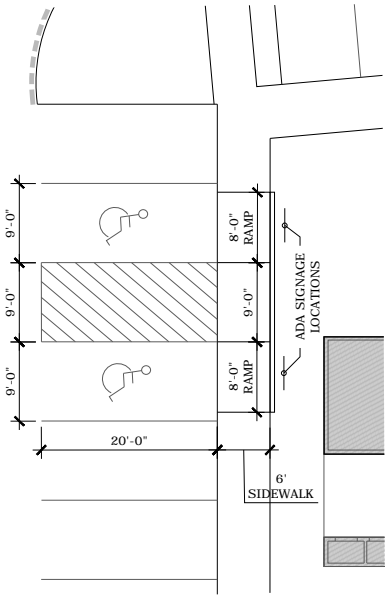
4 CMU SITE RETAINING WALL SECTION

SCALE: 1/4" = 1'-0"



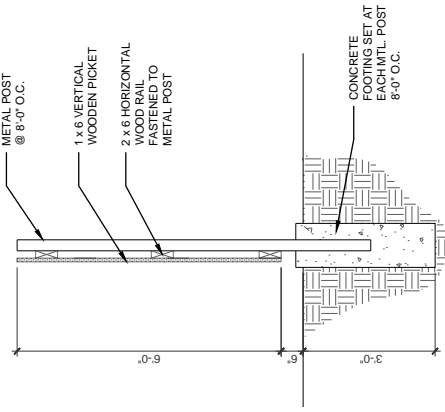
7 POLE BASE DETAIL FOR PARKING LUMINARIES

SCALE: 1/4" = 1'-0"



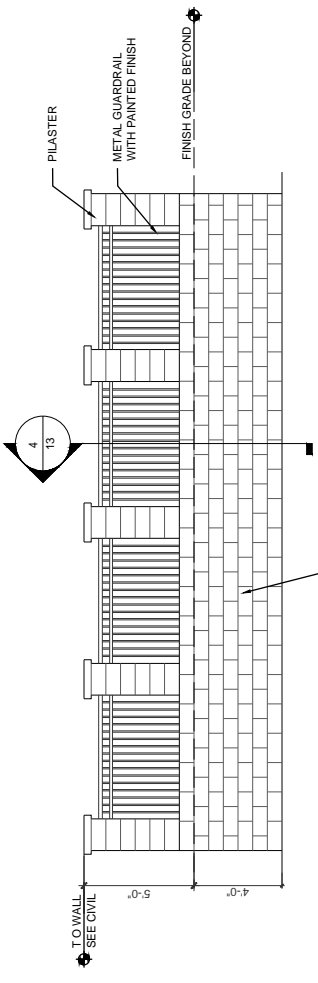
2 HANDICAP PARKING SPACE

SCALE: N.T.S.



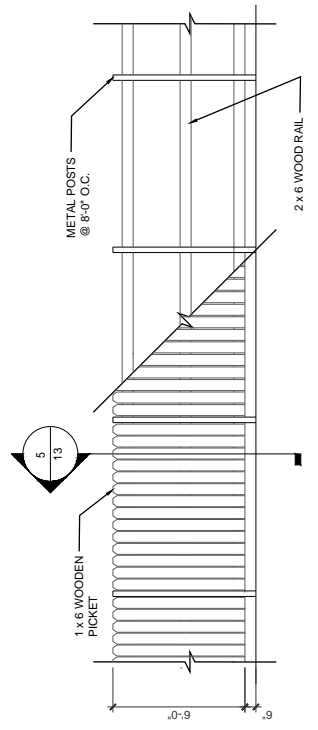
5 WOOD FENCE SECTION

SCALE: 1/4" = 1'-0"



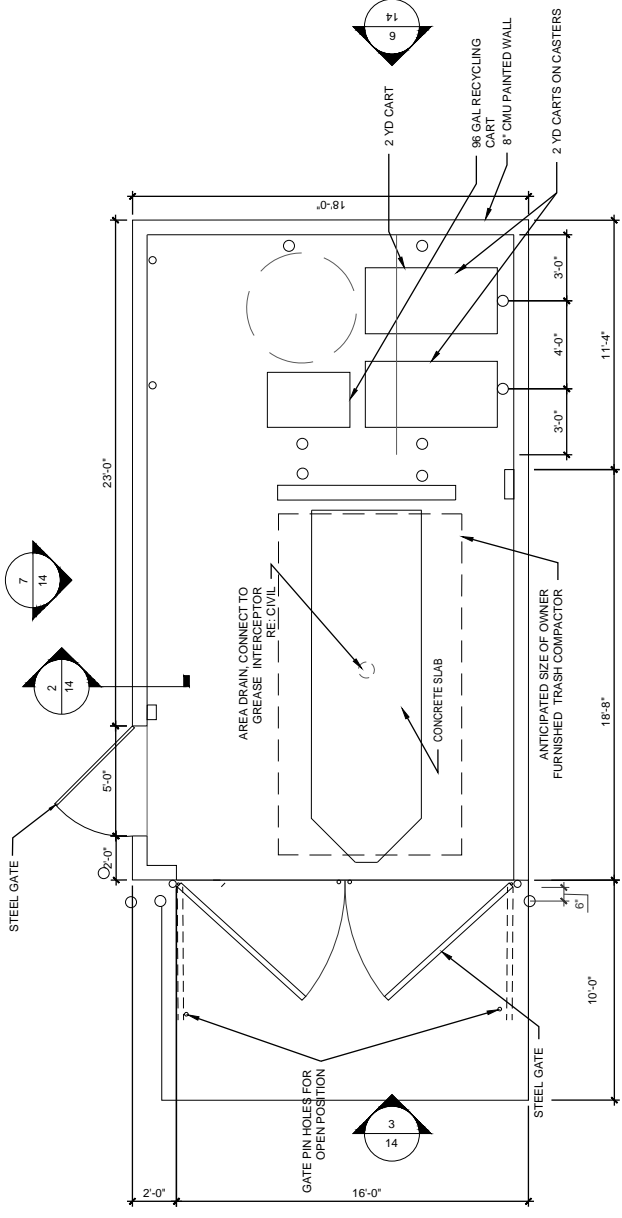
3 SITE RETAINING WALL AT CLUBHOUSE

SCALE: 1/4" = 1'-0"



6 WOOD FENCE ELEVATION

SCALE: 1/4" = 1'-0"

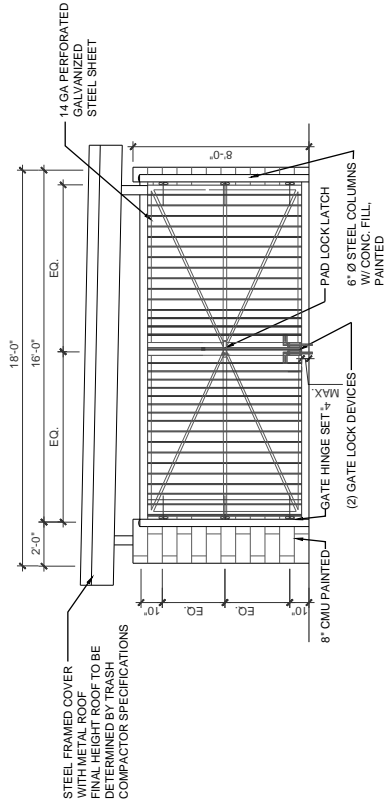
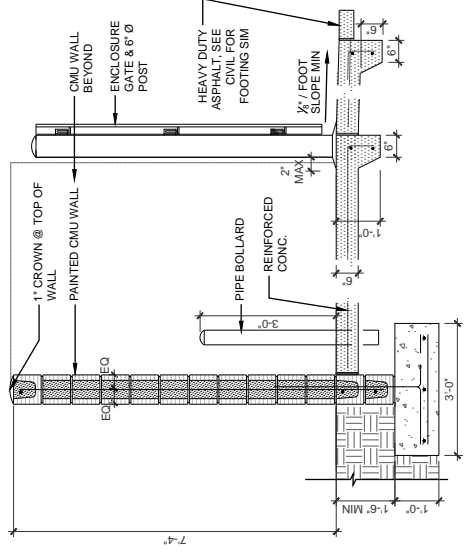


1 TRASH COMPACTOR ENCLOSURE

SCALE: 1/4" = 1'-0"

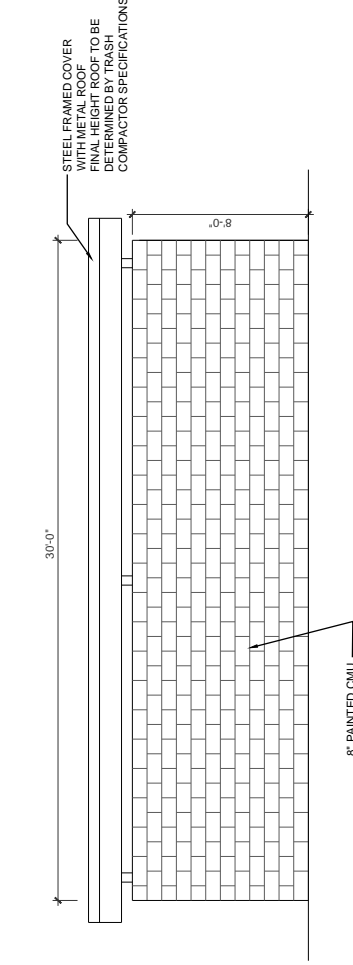
2 COMPACTOR & TRASH ENCLOSURE SECTION

SCALE: 1/4" = 1'-0"



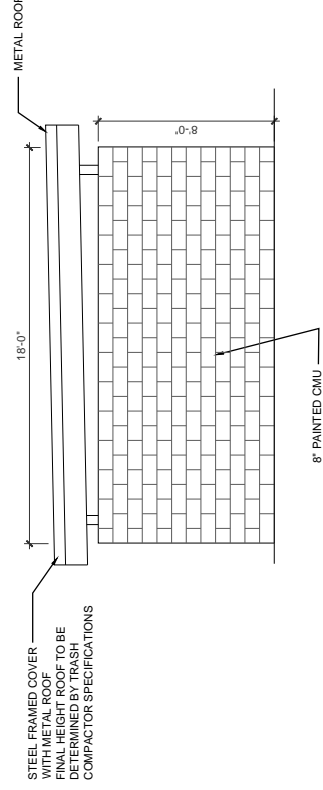
3 TRASH ENCLOSURE FRONT ELEVATION

SCALE: 1/4" = 1'-0"



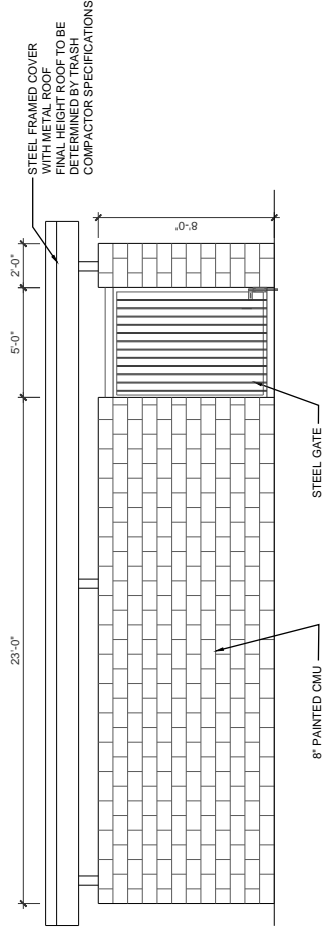
4 TRASH ENCLOSURE SIDE ELEVATION

SCALE: 1/4" = 1'-0"



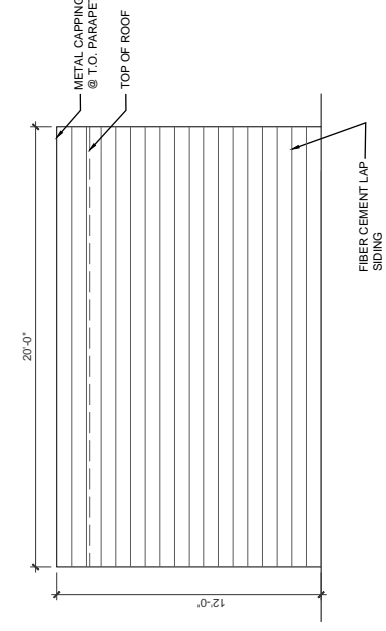
6 TRASH ENCLOSURE REAR ELEVATION

SCALE: 1/4" = 1'-0"



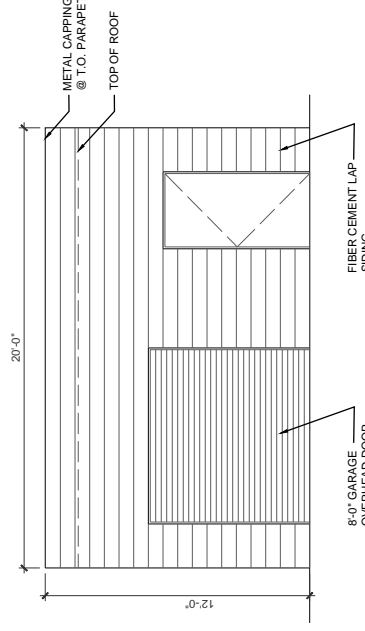
7 TRASH ENCLOSURE SIDE ELEVATION

SCALE: 1/4" = 1'-0"



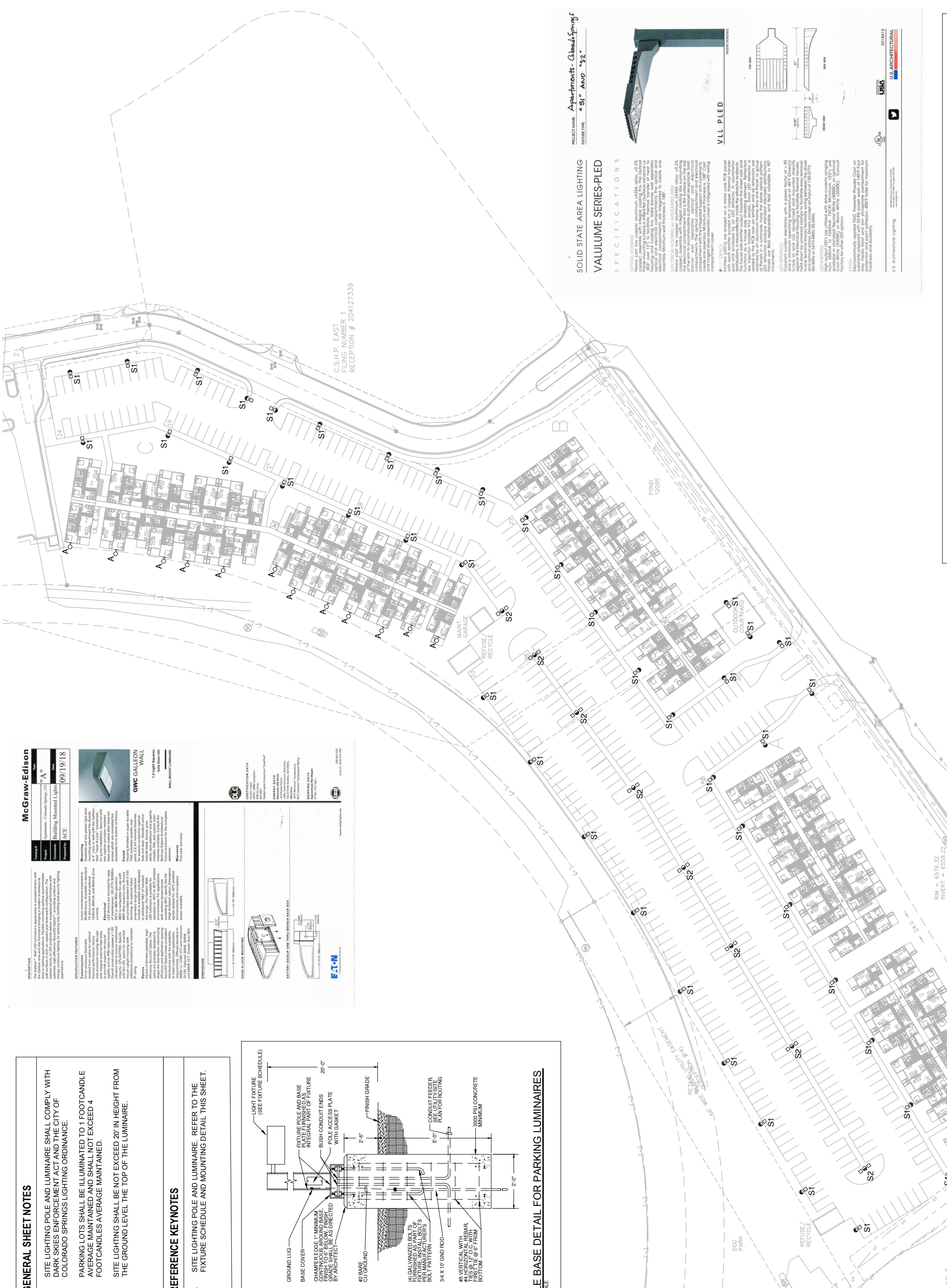
5 MAINTENANCE GARAGE SIDE & REAR ELEVATION

SCALE: 1/4" = 1'-0"



8 MAINTENANCE GARAGE FRONT ELEVATION

SCALE: 1/4" = 1'-0"



McGraw-Edison
Category: Luminaires
Project: Apartments - Colorado Springs, CO
Building: Mounted Lights
Approved: ACE
Date: 09/19/18

GWC GALILEON WALL
S2 Light Source
WALL MOUNT LUMINAIRE

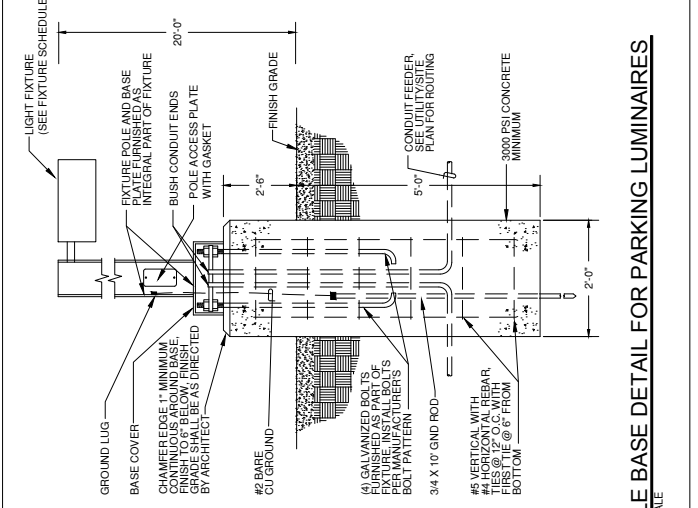
DESCRIPTION
The Galileo™ WLED luminaire is designed to be installed in a variety of applications. It is a wall-mounted luminaire with a long life span and is designed to provide excellent performance with a high level of energy efficiency. The luminaire is designed to provide excellent performance with a long life span and is designed to provide excellent performance with a high level of energy efficiency.

CONSTRUCTION
The luminaire is constructed from aluminum and is designed to provide excellent performance with a long life span and is designed to provide excellent performance with a high level of energy efficiency.

INSTALLATION
The luminaire is designed to be installed in a variety of applications. It is a wall-mounted luminaire with a long life span and is designed to provide excellent performance with a high level of energy efficiency.

ENERGY DATA
LUMINAIRE TYPE: GWC GALILEON WALL
POWER: 20W
LUMENS: 2000
Efficacy: 100 lm/w

- GENERAL SHEET NOTES**
- SITE LIGHTING POLE AND LUMINAIRE SHALL COMPLY WITH DARK SKIES ENFORCEMENT ACT AND THE CITY OF COLORADO SPRINGS LIGHTING ORDINANCE.
 - PARKING LOTS SHALL BE ILLUMINATED TO 1 FOOTCANDLE AVERAGE MAINTAINED AND SHALL NOT EXCEED 4 FOOTCANDLES AVERAGE MAINTAINED.
 - SITE LIGHTING SHALL BE NOT EXCEED 20' IN HEIGHT FROM THE GROUND LEVEL THE TOP OF THE LUMINAIRE.
- REFERENCE KEYNOTES**
- SITE LIGHTING POLE AND LUMINAIRE. REFER TO THE FIXTURE SCHEDULE AND MOUNTING DETAIL THIS SHEET.



SOLID STATE AREA LIGHTING
VALUUME SERIES-PLED

PROJECT NAME: Apartments - Colorado Springs
FIXTURE TYPE: # S1" AXXP #S2"

SPECIFICATIONS

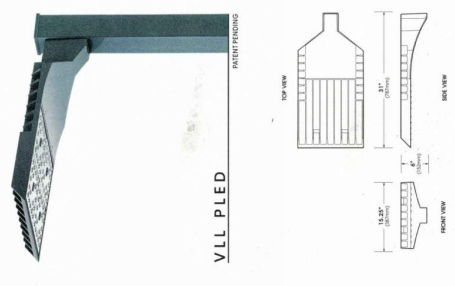
GENERAL INFORMATION:
Heavy cast low copper aluminum (A356 alloy, 0.2% copper) assembly with integral LED driver. The optical cavity is designed to provide a beam spread of 120° to 180°. The luminaire is designed to provide excellent performance with a long life span and is designed to provide excellent performance with a high level of energy efficiency.

ELECTRICAL INFORMATION:
The luminaire is designed to be installed in a variety of applications. It is a wall-mounted luminaire with a long life span and is designed to provide excellent performance with a high level of energy efficiency.

OPTICAL INFORMATION:
The luminaire is designed to provide excellent performance with a long life span and is designed to provide excellent performance with a high level of energy efficiency.

PHYSICAL INFORMATION:
The luminaire is designed to provide excellent performance with a long life span and is designed to provide excellent performance with a high level of energy efficiency.

LED DRIVER:
The luminaire is designed to provide excellent performance with a long life span and is designed to provide excellent performance with a high level of energy efficiency.



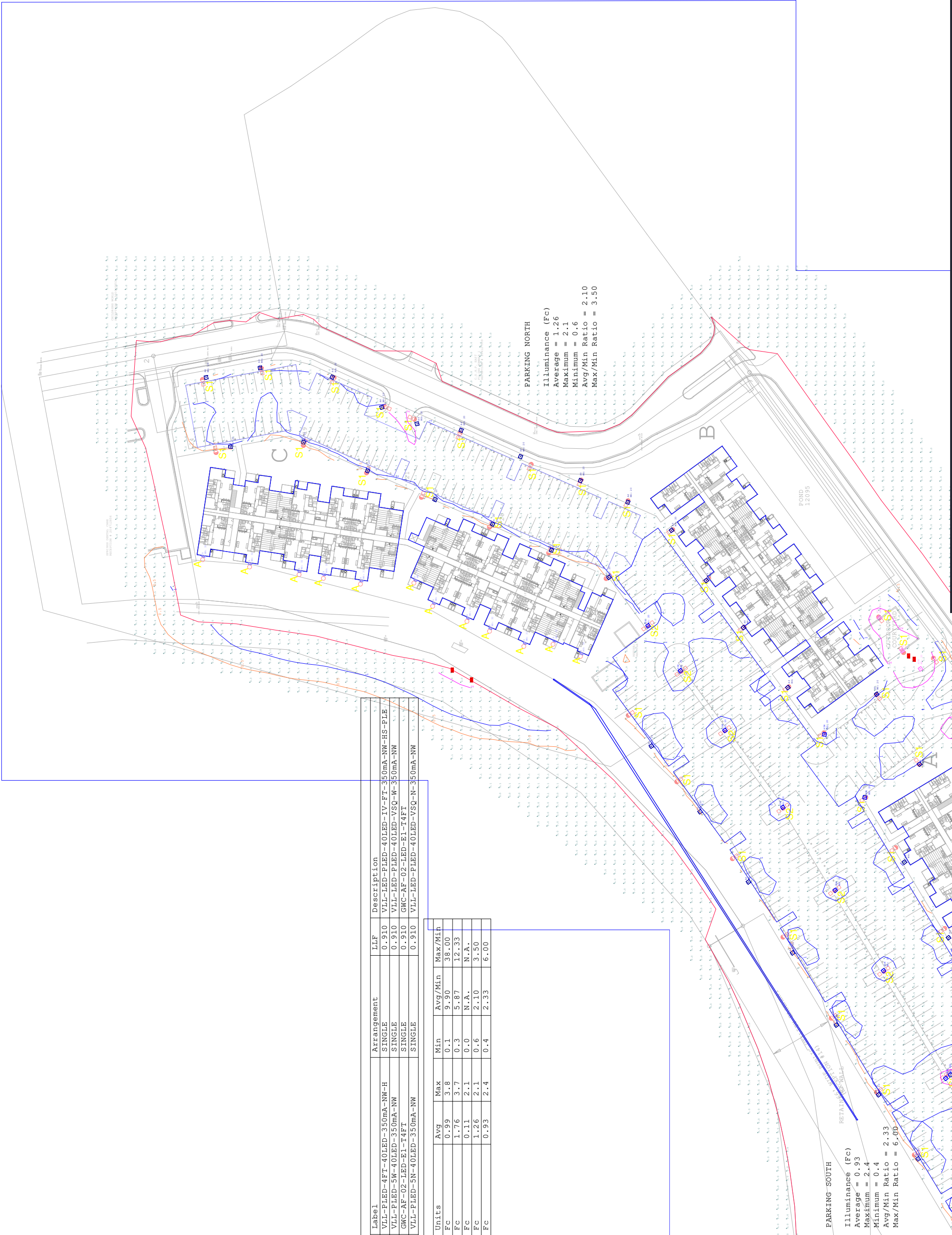
U.S. Architectural Lighting
U.S. ARCHITECTURAL LIGHTING
301 MILLS
U.S. ARCHITECTURAL LIGHTING

DISCLAIMER: THESE CALCULATIONS ARE TO BE USED FOR PLANNING PURPOSES ONLY, AND DO NOT CONSTITUTE SPECIFICATION, ORDERING OR CONSTRUCTION DOCUMENTS IN ANY WAY. THESE CALCULATIONS HAVE BEEN PERFORMED ACCORDING TO IES STANDARDS AND GOOD PRACTICE. THERE MAY BE DIFFERENCES BETWEEN MEASURED VALUES AND THE RESULTS PRESENTED HEREIN, BASED ON THE EXTENT TO WHICH FIELD CONDITIONS DEVIATE FROM THE INPUT DATA. THESE CONDITIONS INCLUDE LUMINAIRE POSITION, SURFACE REFLECTANCES, ARCHITECTURAL ELEMENTS, TEMPERATURE, VOLTAGE, MEASUREMENT TECHNIQUES AND EQUIPMENT TOLERANCES. ALL LAMPS USED IN THIS CALCULATION ARE PER LAMP MANUFACTURERS PUBLISHED DATA.

SSI File #

Date/Description: TIROL APT COMPLEX
CO SPRINGS
Version 3.0

Revisions



Label	Arrangement	LIF	Description
VLL-PLED-4FT-40LED-350mA-NW-H	SINGLE	0.910	VLL-LED-PLED-40LED-IV-FT-350mA-NW-HS-PLE
VLL-PLED-5W-40LED-350mA-NW	SINGLE	0.910	VLL-LED-PLED-40LED-VSQ-W-350mA-NW
GWC-AF-02-LED-E1-T4FT	SINGLE	0.910	GWC-AF-02-LED-E1-T4FT
VLL-PLED-5N-40LED-350mA-NW	SINGLE	0.910	VLL-LED-PLED-40LED-VSQ-N-350mA-NW

Units	Avg	Max	Min	Avg/Min	Max/Min
FC	0.99	3.8	0.1	9.90	38.00
FC	1.76	3.7	0.3	5.87	12.33
FC	0.11	2.1	0.0	N.A.	N.A.
FC	1.26	2.1	0.6	2.10	3.50
FC	0.93	2.4	0.4	2.33	6.00

PARKING NORTH
Illuminance (Fc)
Average = 1.26
Maximum = 2.1
Minimum = 0.6
Avg/Min Ratio = 2.10
Max/Min Ratio = 3.50

PARKING SOUTH
Illuminance (Fc)
Average = 0.93
Maximum = 2.4
Minimum = 0.4
Avg/Min Ratio = 2.33
Max/Min Ratio = 6.00