COTTAGES AT WOODMEN HEIGHTS

CITY OF COLORADO SPRINGS, COLORADO
PUD DEVELOPMENT PLAN

OWNER

KINZLER TRUST
948 EASTWOOD DR
GOLDEN CO,
80401

APPLICANT

N.E.S. INC.
619 N. CASCADE AVE.,
SUITE 200
COLORADO SPRINGS, CO
80903

DEVELOPER

GK DEVELOPMENT
8605 EXPLORER DRIVE, SUITE #250
COLORADO SPRINGS, CO
80920

CIVIL ENGINEERING

DREXEL, BARRELL & CO.
3 S. 7th STREET
COLORADO SPRINGS, CO
80905

VICINITY MAP

SITE DATA

Tax ID Number:	5308000131
Site Area:	38,985 AC
Master Plan:	Woodmen Heights Master Plan
Development Schedule:	Fall 2020-2021
Current Zoning:	A/SS/AO
Proposed Zoning:	PUD/AO/SS
	Planned Unit Development: Commercial land uses per PBC zone district and multi family; 45' maximum building height; 8-11.99 DU/AC maximum gross density with Streamside and Airport Overlays).
Proposed Use:	Multi-family, Driving School, Commercial (per PBC Zone allowed uses)
Proposed Total Lots:	81
Proposed Dwelling Units:	280 (202 Cottages, 78 Townhomes)
Gross Density:	9.15 DU/AC (excludes commercial Lots 80 & 81 and public ROW)
Building Setbacks (perimeter):	
-Front (Adventure Way)	10'
-Front (Woodmen Rd.)	20'
-Side	10'
-Rear	25'
Maximum Building Height:	45'
Max. Building Lot Coverage (Overall):	40%
Max. Building Lot Coverage (Per Lot):	65%
Proposed Lot Coverage:	
- Total Area	1,595,046 SF (36.6 AC)
*Excludes Adventure Way ROW & Future Commercial	
- Building	209,492 SF (13 %)
- Impervious	530,181 SF (33 %)
- Landscape	855,373 SF (54 %)
Landscape Setbacks/Buffer:	
-Adventure Way:	10' Setback
-Woodmen Rd:	25' Setback
-South Boundary:	15' Buffer*
-West Boundary:	15' Buffer
-East Boundary:	Zone Boundary*
-Lot 79 to Lot 80:	15' Buffer*
*Reference General Note 20	

Open Space:
Townhomes
Required Per Bedroom = 200 SF x 234 Bedrooms
46,800 SF Total
Cottages
Required Per Bedroom = 200 SF x 308 Bedrooms
61,600 SF Total
Townhomes
Proposed Per Bedroom = 319 SF (74,741 SF Total)
Cottages
Proposed Per Bedroom = 862 SF (265,527 SF Total)

Parking Calculations (Cottages):

STUDIO	1.1 Spaces/Unit	20	22 Spaces
1 BR	1.5 Spaces/Unit	76 Units	114 Spaces
2 BR	1.7 Spaces/Unit	106 Units	180 Spaces
Office	1.0 Spaces/400 SF	3,493 SF	9 Spaces

Total Required: 325 Spaces
Total Provided: 399 Spaces (359 surface, 40 garage)

Total ADA Required: 8 Spaces (2 Van Accessible)
Total ADA Provided: 14 Spaces (14 Van Accessible) (11 surface, 3 garage)

Parking Calculations (Townhomes):

3 BR	2.0 Spaces/Unit	78 Units	156 Spaces

Total Required: 156 Spaces
Total Provided: 182 Spaces (26 surface,156 garage)

Total ADA Required: 1 Spaces (1 Van Accessible)
Total ADA Provided: 1 Spaces (1Van Accessible)

Parking Calculations (Driving School):

Total Required: Per end user requirement
Total Provided: 5 Spaces

Total ADA Required: 1Spaces (1 Van Accessible)
Total ADA Provided: 1 Spaces (1 Van Accessible)

GENERAL NOTES

1. ALL LIGHTING FIXTURES SHALL HAVE FULL CUT-OFF SHIELDING OR FIXTURES TO REDUCE OFF-SITE LIGHTING IMPACTS.
2. DRIVEWAYS ARE TO BE A MINIMUM 20' OR MAXIMUM 8' LENGTH FROM GARAGE FACE TO BACK OF WALK OR CURB (OR EDGE OF PAVEMENT OF ACCESS ROAD). ALL DRIVEWAYS ARE TO BE CONSTRUCTED TO CITY STD. D-16.
3. ALL SIDEWALKS SHOWN ON DEVELOPMENT PLAN ARE TO BE 5' CONCRETE UNLESS OTHERWISE SPECIFIED.
4. PRIVATE DRIVES ARE TO BE PAVED ASPHALT WITH CONCRETE CURBS.
5. ALL PRIVATE TRAFFIC SIGNAGE SHALL BE IN CONFORMANCE WITH MUTCD GUIDELINES AND INSTALLED BY THE DEVELOPER. A SEPARATE SIGN PERMIT IS REQUIRED. CONTACT DEVELOPMENT REVIEW ENTERPRISE AT 2880 INTERNATIONAL CIRCLE FOR SIGN PLAN APPLICATION.
6. ALL EXISTING CURB, GUTTER, PEDESTRIAN RAMPS AND CROSSPANS POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATION OR NOT MEETING CURRENT CITY ENGINEERING STANDARDS ALONG PUBLIC STREETS ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED PRIOR TO ISSUING THE CERTIFICATE OF OCCUPANCY(C.O.). AN ON SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW INSPECTOR TO DETERMINE WHAT, IF ANY, IMPROVEMENTS ARE REQUIRED. THE INSPECTOR CAN BE REACHED AT 719-385-5977.
7. FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE SURFACED SO AS TO PROVIDE ALL WEATHER DRIVING CAPABILITIES. PRIVATE ROADS WILL BE BUILT TO MEET A MINIMUM OF 27000LBS SINGLE AXLE WEIGHT AND 75000LB TOTAL APPARATUS WEIGHT.
8. PRIOR TO CERTIFICATE OF OCCUPANCY OF THE FIRST BUILDING, A FIRE INSPECTION TO VERIFY FIRE LANE MARKING INSTALLATION SHALL OCCUR. A FIRE INSPECTION MAY BE REQUESTED BY CALLING 719-385-5978.
9. THESE PLANS ARE FOR CITY APPROVALS ONLY AND ARE NOT TO BE UTILIZED FOR CONSTRUCTION.
10. PER THE FEMA FLOOD INSURANCE RATE MAPS (FIRM), MAP NO. 08041C0533G, HAVING A MAP REVISED DATE OF DECEMBER 7, 2018,INDICATES THE SUBJECT PROPERTY TO BE DESIGNATED AS ZONE AE.
11. THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.
12. AN AVIGATION EASEMENT AFFECTING THE SUBJECT PROPERTY AND DEVELOPMENT IS THEREIN ESTABLISHED BY THE COTTAGES AT WOODMEN HEIGHTS SUBDIVISION PLAT. THIS EASEMENT IS SUBJECT TO THE TERMS AND CONDITIONS AS SPECIFIED IN THE INSTRUMENT RECORDED UNDER RECEPTION NO. 217069667 OF THE RECORDS OF EL PASO COUNTY, COLORADO.
13. NO DEVELOPMENT SHALL OCCUR ON LOT 81 WITHOUT AN APPROVED AMENDMENT TO THIS DEVELOPMENT PLAN OR A SEPARATE DEVELOPMENT PLAN. PUBLIC IMPROVEMENTS ALONG ADVENTURE WAY ADJACENT TO LOT 81 WILL BE COMPLETED UPON DEVELOPMENT OF LOT 81.
14. THE TOWNHOME LOTS (LOTS 1-78) WITHIN THIS DEVELOPMENT ARE SUBJECT TO THE COVENANTS, CONDITIONS, AND RESTRICTIONS OF THE TOWNHOMES AT WOODMEN HEIGHTS HOMEOWNERS ASSOCIATION.
15. SIGNAGE IS NOT APPROVED PER THIS PLAN. A SEPERATE SIGN PERMIT IS REQUIRED. CONTACT THE DEVELOPMENT REVIEW ENTERPRISE AT 719-385-5982.
16. THE IMPERVIOUS SURFACE COVERAGE OF THE OUTER STREAMSIDE BUFFER HAS BEEN AVERAGED FOR THE PROPOSED TOWNHOMES WITHIN THE STREAMSIDE BUFFER; INDIVIDUAL SITE PLANS SHALL NOT EXCEED THE IMPERVIOUS SURFACE COVERAGE SHOWN ON DEVELOPMENT PLAN.
17. NO SOLID FENCING WILL BE ALLOWED IN STREAMSIDE BUFFER AREA OR AROUND INDIVIDUAL TOWNHOME LOTS.
18. AN ANALYSIS OF THE SAND CREEK CHANNEL FROM WOODMEN ROAD SOUTH TO THE SOUTHERN BOUNDARY OF THIS PROPERTY MUST BE COMPLETED. IF DEEMED NECESSARY BY THE ANALYSIS, CHANNEL IMPROVEMENTS MUST BE COMPLETED AND ACCEPTED FOR THE PROBATIONARY PERIOD BY THE CITY'S PUBLIC WORKS DEPARTMENT OR ASSURANCES POSTED FOR 100% OF THE PUBLIC IMPROVEMENTS COST PRIOR TO THE ISSUANCE OF THE FIRST BUILDING PERMIT WITHIN THE COTTAGES AT WOODMEN HEIGHTS DEVELOPMENT. ANY DEVIATION FROM THIS STANDARD PROCESS WILL REQUIRE A DEVELOPMENT AGREEMENT BETWEEN THE DEVELOPER AND THE CITY.
19. PRIOR TO ANY DEVELOPMENT, INCLUDING GRADING, VEGETATION REMOVAL, OR ANY OTHER IMPROVEMENTS, THE INNER STREAMSIDE BUFFER ZONE MUST BE FENCED OR APPROPRIATELY FLAGGED BY THE PROPERTY OWNER OR DEVELOPER TO DENOTE THE STREAM CORRIDOR. NO HEAVY EQUIPMENT OR OTHER POTENTIALLY DAMAGING ACTIVITIES ARE PERMITTED IN THE PROTECTED AREA, EXCEPT FOR OPERATIONS CONDUCTED TO INSTALL THE REQUIRED WATERLINE LOOP CONNECTION TO MARKSHEFFEL. THE FLAGS ARE TO REMAIN IN PLACE UNTIL CONSTRUCTION ACTIVITIES ARE COMPLETE.
20. ALTERNATIVE COMPLIANCE HAS BEEN APPROVED FOR LANDSCAPE REQUIREMENTS FOR THE EAST ZONE BOUNDARY, SOUTH BUFFER, AND INTERNAL BUFFER BETWEEN LOTS 79 & 80.
21. THIS PROPERTY IS SUBJECTED TO THE FINDINGS, SUMMARY AND CONCLUSIONS OF A GEOLOGIC HAZARD PREPARED BY RMG - ROCKY MOUNTAIN GROUP, JOB NO. 173171 DATED APRIL 23, 2020 WHICH IDENTIFIED THE FOLLOWING SPECIFIC GEOLOGIC HAZARDS ON THE PROPERTY: EXPANSIVE SOILS/BEDROCK, COLLAPSIBLE SOILS, SHALLOW GROUNDWATER, EROSION, SEISMICITY, RADON AND ARTIFICIAL FILL. A COPY OF SAID REPORT HAS BEEN PLACED WITHIN THE SUBDIVISION FILE #CPC PUD 20-00054 OF THE CITY OF COLORADO SPRINGS PLANNING AND DEVELOPMENT TEAM. CONTACT THE PLANNING AND DEVELOPMENT TEAM, 30 SOUTH NEVADA AVENUE, SUITE 701, COLORADO SPRINGS,CO, IF YOU WOULD LIKE SAID REPORT.
22. THE DEVELOPER IS REQUIRED TO REMIT AN AGREED UPON AMOUNT TO THE CITY FOR CONSTRUCTION OF AN EAST BOUND ACCELERATION LANE ON WOODMEN ROAD AT ADVENTURE WAY.
23. LOTS OUTSIDE OF THE OUTER BUFFER OF THE STREAMSIDE OVERLAY SHALL NOT BE SUBJECT TO STREAMSIDE SITE PLAN REVIEW AT THE BUILDING PERMIT STAGE.
24. TOWNHOME UNITS 1, 2, AND 3 ARE LOCATED WITHIN EXCEPTION TRACT (REC NO 207123363) DEEDED TO THE CITY OF COLORADO SPRINGS AS RIGHT-OF-WAY. THESE UNITS CANNOT BE CONSTRUCTED UNLESS THE TRACT IS PURCHASED. THIS TRACT MUST GO THROUGH THE REAL ESTATE SERVICES PROCESS FOR DISPOSING OF PROPERTY (INCLUDING A VOTE BY CITY COUNCIL), AND THE PROPERTY MUST BE PURCHASED AT FAIR MARKET VALUE PER THIS PROCESS. A MINOR MODIFICATION TO THIS DEVELOPMENT PLAN WILL BE REQUIRED IN ORDER TO "ACTIVATE" TOWNHOME UNITS 1, 2, AND 3. THIS MINOR MODIFICATION MUST ALSO PROVIDE PROOF OF THE PURCHASE OF THIS DISPOSED PROPERTY. PERMITS FOR TOWNHOME UNITS 1, 2, AND 3 MAY NOT BE ISSUED UNTIL THIS PROCESS IS COMPLETED.
25. GRADE ALONG THE WESTERN BANK OF SAND CREEK SHALL NOT BE STEEPER THAN 3:1 AND SURFACE RUNOFF IS TO BE LIMITED TO PROVIDE AND MAINTAIN VEGETATIVE COVER ON THE SLOPES AND REDUCE POTENTIAL FOR EROSION OF THE BANKS OF SAND CREEK.
26. LOT SPECIFIC SUBSURFACE SOIL INVESTIGATIONS WILL BE REQUIRED UPON DEVELOPMENT.
27. THE PROPOSED WOODMEN DECELERATION LANE, REMOVAL OF EXISTING ADVENTURE WAY ASPHALT, CONSTRUCTION OF NEW ADVENTURE WAY AND PROPOSED RIGHT-IN/RIGHT-OUT WILL BE CONSTRUCTED WITH PHASE 1 DEVELOPMENT.

LEGAL DESCRIPTION

A PARCEL OF LAND LOCATED IN THE NORTHEAST 1/4 OF SECTION 8, T13S, R65W OF THE 6TH P.M., CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF THE NE 1/4 OF SAID SECTION 8 AND CONSIDERING THE EAST LINE OF SAID NE 1/4 IS ASSUMED TO BEAR S00°17'38"E, SAID LINE IS MONUMENTED AT THE NORTH END BY A NUMBER 6 STEEL REBAR WITH A 3.25" ALUMINUM CAP STAMPED "AZTEC CONSULTANTS INC T13S R65W S5 S4 S8 S9 2015 PLS 38256" AND MONUMENTED AT THE SOUTH END BY A NUMBER 6 STEEL REBAR WITH A 3.25" ALUMINUM CAP STAMPED "AZTEC CONSULTANTS INC T13S R65W 1/4 S8 S9 2015 PLS 38256" WITH ALL BEARINGS CONTAINED HEREIN RELATIVE TO SAID LINE;

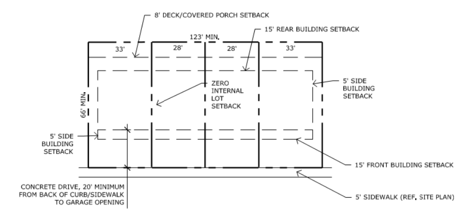
THENCE S00°17'38"E, 30.00 FEET ALONG SAID EAST LINE OF THE NE 1/4 TO THE POINT OF BEGINNING, BEING ON THE SOUTHERLY RIGHT-OF-WAY LINE OF WOODMEN ROAD, AS SHOWN ON THE RIGHT-OF WAY PLANS THEREOF RECORDED UNDER RECEPTION NO. 205900244 OF THE RECORDS OF EL PASO COUNTY, COLORADO, SAID RIGHT-OF-WAY LINE BEING 30.00 FEET SOUTH OF AND PARALLEL WITH THE NORTH LINE OF THE NE1/4 OF SECTION 8;

THENCE S00°17'38"E, 1297.38 FEET, CONTINUING ALONG THE EAST LINE OF THE NE 1/4 OF SECTION 8, TO THE SOUTHEAST CORNER OF THE NE 1/4 OF THE NE/14 OF SECTION 8; THENCE S89°15'54"W, 1310.10 FEET ALONG THE SOUTH LINE OF SAID NE 1/4 OF THE NE 1/4 TO THE SOUTHWEST CORNER OF THE NE 1/4 OF THE NE 1/4; THENCE N00°04'28"W, 1300.16 FEET ALONG THE WEST LINE OF THE NE1/4 OF THE NE 1/4 TO THE SOUTHERLY RIGHT-OF-WAY LINE OF WOODMEN ROAD AS DESCRIBED ABOVE; THENCE N89°23'05"E, 1305.10 FEET ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PARCEL CONTAINS 38.985 ACRES OR 1,698,200 SQUARE FEET, MORE OR LESS.

TO BE PLATTED AS THE "COTTAGES AT WOODMEN HEIGHTS".

LOT TYPICAL (TOWNHOMES)



UNIT TYPES (COTTAGES)

STUDIOS- 1 Story, 2 Units
(Sheet 16)
Height- 13'-6"
Size- 15W x 49D
Unit A- Studio, 348 SF
Unit B- Studio, 348 SF

DUPLEX MODEL 1- 1 Story, 2 Units
(Sheet 17)
Height-16'
Size- 28W x 48D
Unit A- 1 Bedroom, 669 SF
Unit B- 1 Bedroom, 606 SF

DUPLEX MODEL 2A- 1 Story, 2 Units
(Sheet 18)
Height-16'
Size- 28W x 60D
Unit A- 2 Bedroom, 836 SF
Unit B- 2 Bedroom, 774 SF

DUPLEX MODEL 2B- 2 Story, 2 Units
(Sheet 19,20)
Height-24'-3"
Size- 15W x 60D
Unit A- 1 Bedroom, 770 SF
Unit B- 2 Bedroom, 900 SF

SHEET INDEX

SHEET 1 of 25	COVER SHEET
SHEET 2 of 25	TRACT & LOT LAYOUT
SHEET 3 of 25	SITE PLAN
SHEET 4 of 25	PRELIMINARY GRADING
SHEET 5 of 25	PRELIMINARY UTILITIES
SHEET 6 of 25	PRELIMINARY UTILITIES
SHEET 7 of 25	PRELIMINARY UTILITIES
SHEET 8 of 25	PRELIMINARY UTILITIES
SHEET 9 of 25	STREAMSIDE DEVELOPMENT PLAN
SHEET 10 of 25	PRELIMINARY LANDSCAPE PLAN
SHEET 11 of 25	PRELIMINARY LANDSCAPE PLAN
SHEET 12 of 25	PRELIMINARY LANDSCAPE PLAN
SHEET 13 of 25	LANDSCAPE NOTES AND DETAILS
SHEET 14 of 25	SITE DETAILS
SHEET 15 of 25	FIRE TRUCK TURNING PATH
SHEET 16 of 25	BUILDING ELEVATIONS- COTTAGES
SHEET 17 of 25	BUILDING ELEVATIONS- COTTAGES
SHEET 18 of 25	BUILDING ELEVATIONS- COTTAGES
SHEET 19 of 25	BUILDING ELEVATIONS- COTTAGES
SHEET 20 of 25	BUILDING ELEVATIONS- COTTAGES
SHEET 21 of 25	BUILDING ELEVATIONS- CLUBHOUSE
SHEET 22 of 25	BUILDING ELEVATIONS- TOWNHOMES
SHEET 23 of 25	BUILDING ELEVATIONS- TOWNHOMES
SHEET 24 of 25	BUILDING ELEVATIONS- GARAGES
SHEET 25 of 25	BUILDING ELEVATIONS- GARAGES

Land Planning
Landscape
Architecture
Urban Design

NES

N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903

Tel. 719.471.0073
Fax 719.471.0267

www.nescolorado.com

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PLANNER / LANDSCAPE ARCHITECT

IN ASSOCIATION WITH

COTTAGES AT WOODMEN HEIGHTS

ADVENTURE WAY
COLORADO SPRINGS,
CO 80923

PROJECT INFO
DATE: 02-26-2020
PROJECT MGR: A.BARLOW
PREPARED BY: K.MARSHALL

SEAL

ISSUE INFO
ENTITLEMENT

ISSUE / REVISION

DATE:	BY:	DESCRIPTION:
04/27/2020	BP	PER CITY REVIEW COMMENTS
06/11/2020	BP	PER CITY REVIEW COMMENTS
06/26/2020	BP	TECHNICAL REVISIONS PER CITY REVIEW

SHEET TITLE
COVER

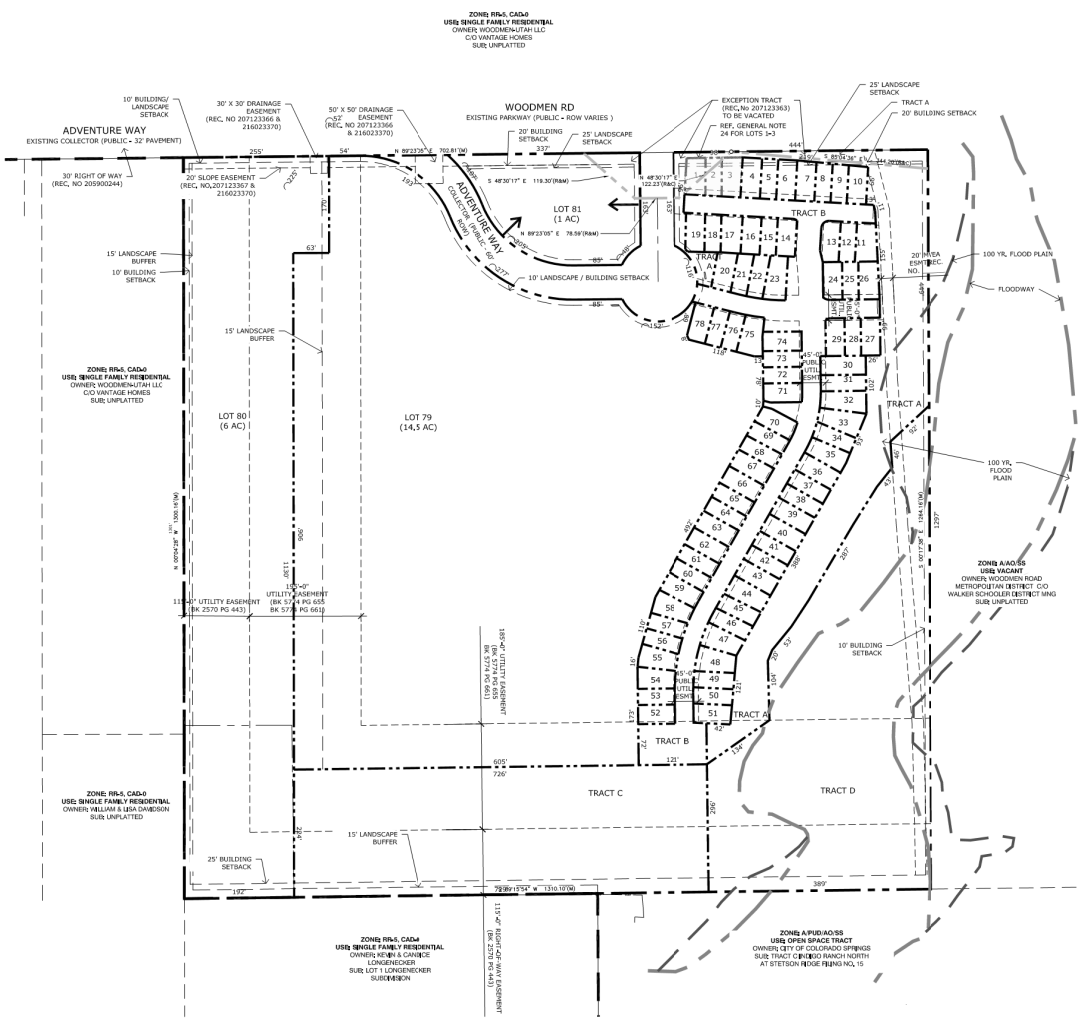
SHEET NUMBER
1 OF 25

PLAN FILE #
CPC PUD 20-00054

P:\Goodwin Knight\Adventure Way\Drawings\Planning\Develop\Cottages_WoodmenHts-DP.dwg [Cover (1)] 6/26/2020 3:24:30 PM kmarshall

DEVELOPMENT PLAN

DEVELOPMENT PLAN



LOT / TRACT TABLE

NAME	APPROX. SIZE	USE	OWNERSHIP & MAINTENANCE
Lots 1-78	4 AC	Multifamily Residential	Townhomes at Woodmen Heights Homeowners Association
Lot 79	14.5 AC	Multifamily Residential	Property owner or their assigns
Lot 80	6 AC	Personal Improvement services	Property owner or their assigns
Lot 81	1.2 AC	Future Commercial Development (per PBC Zone allowed uses)	Property owner or their assigns
Tract A	2.2 AC	Landscape setback, Open Space, Trails, Public Improvements, Public Utilities	Townhomes at Woodmen Heights Homeowners Association
Tract B	1.5 AC	Private Road, Parking, Open Space, Public Improvements, Public Utilities	Townhomes at Woodmen Heights Homeowners Association
Tract C	3.7 AC	Private Detention, Drainage, Open Space, Trails	Property owner of Lot 79 or their assigns
Tract D	4.7 AC	Drainage, Open Space	Townhomes at Woodmen Heights Homeowners Association

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COTTAGES AT WOODMEN HEIGHTS

ADVENTURE WAY
COLORADO SPRINGS,
CO 80923

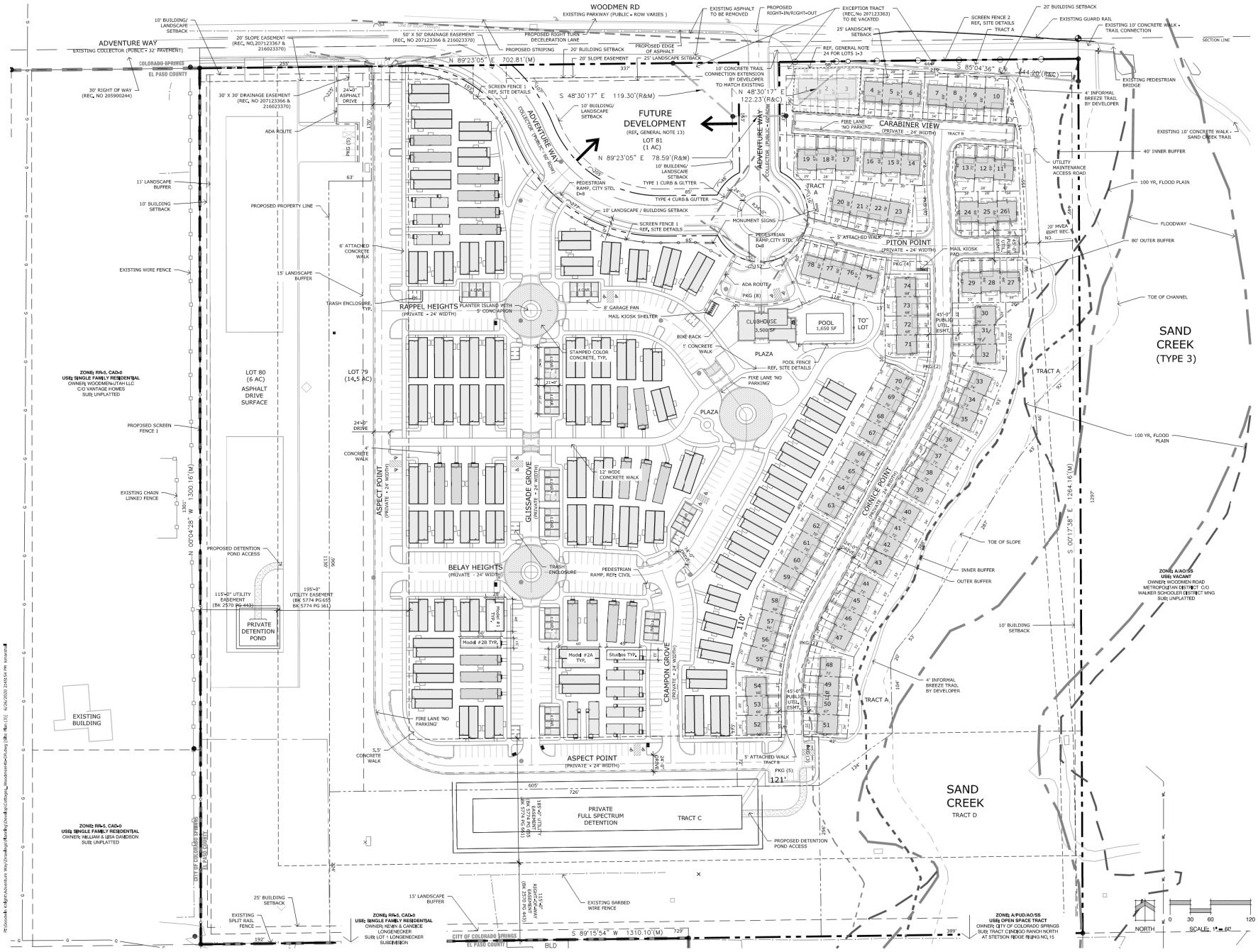
DATE:	03-26-2020
PROJECT MGR:	A.BARLOW
PREPARED BY:	K.MARSHALL

ENTITLEMENT

DATE	BY	DESCRIPTION
04/27/2020	BP	PER CITY REVIEW COMMENTS
06/11/2020	BP	PER CITY REVIEW COMMENTS
06/26/2020	BP	TECHNICAL REVISIONS PER CITY REVIEW

TRACT & LOT LAYOUT

CPC PUD 20-00054



DEVELOPMENT PLAN

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PROJECT

COTTAGES AT WOODMEN HEIGHTS

ADVENTURE WAY
COLORADO SPRINGS, CO 80923

DATE:	03-26-2020
PROJECT MGR:	A.BARLOW
PREPARED BY:	K.MARSHALL

SEAL

ENTITLEMENT

DATE	BY	DESCRIPTION
04/27/2020	BP	PER CITY REVIEW COMMENTS
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06/26/2020	BP	TECHNICAL REVISIONS PER CITY REVIEW

SHEET TITLE

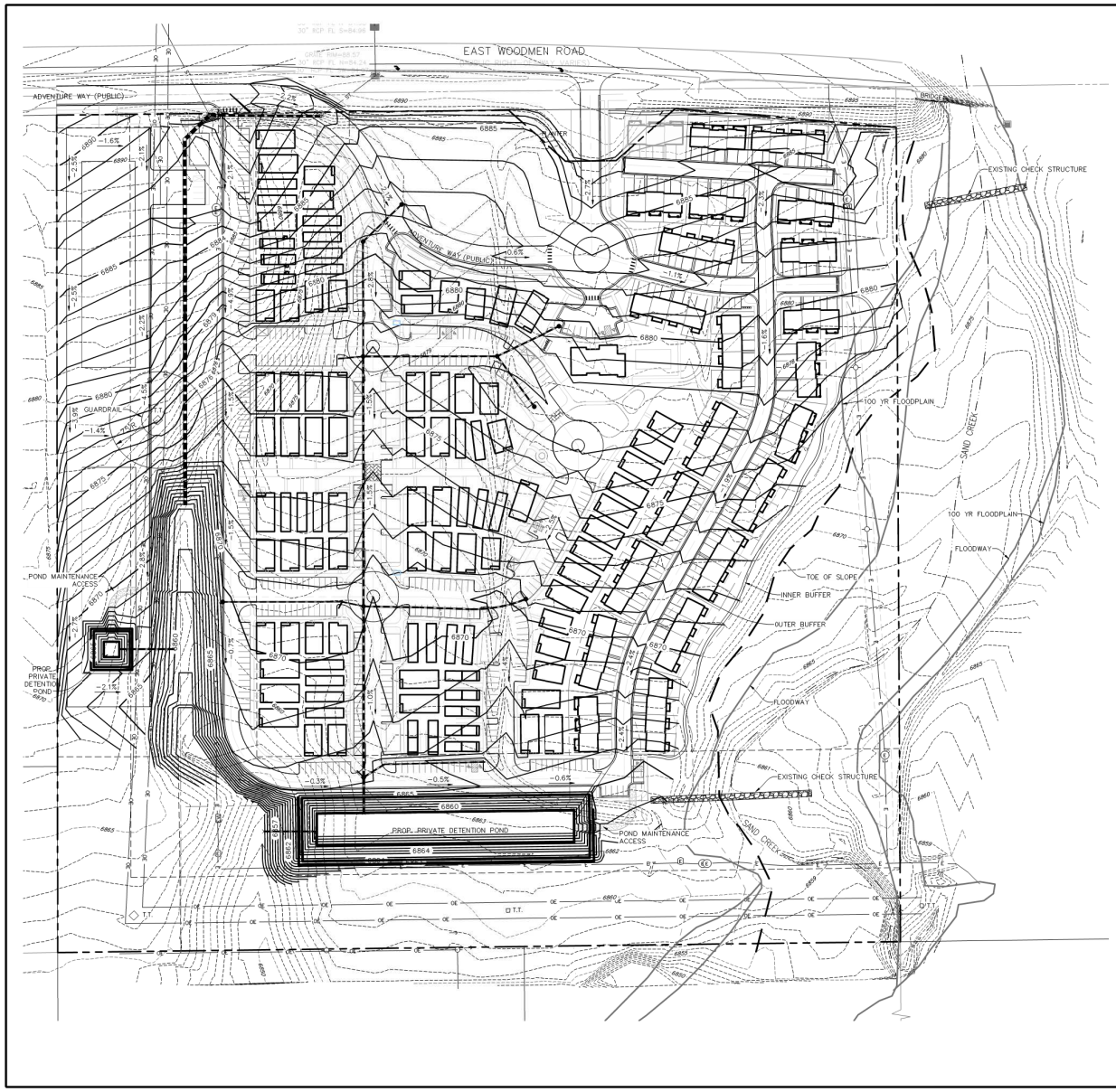
SITE PLAN

SHEET NUMBER

3 OF 25

FILE NO.

CPC PUD 20-00054



LEGEND

EX. INTERMEDIATE CONTOUR	6202
EX. INDEX CONTOUR	6205
PROPERTY LINE	
EASEMENT	
PROPOSED INTERMEDIATE CONTOUR	6222
PROPOSED INDEX CONTOUR	6225
EX. TRANSMISSION TOWER	T.T.
EX. ELECTRIC BOX	
EX. ELECTRIC VAULT	EV
EX. RANSFORMER	
EX. ELECTRIC MANHOLE	E
EX. LIGHT POLE	
EX. ELECTRIC METER	M
EX. UTILITY POLE	

NOTE:
AN ANALYSIS OF THE SAND CREEK CHANNEL FROM WOODMEN ROAD SOUTH TO THE SOUTHERN BOUNDARY OF THIS PROPERTY MUST BE COMPLETED, IF DEEMED NECESSARY BY THE ANALYSIS, CHANNEL IMPROVEMENTS MUST BE COMPLETED AND ACCEPTED FOR THE PROBATIONARY PERIOD BY THE CITY'S PUBLIC WORKS DEPARTMENT OR ASSURANCES POSTED FOR 100% OF THE PUBLIC IMPROVEMENT COST PRIOR TO THE ISSUANCE OF THE FIRST BUILDING PERMIT WITHIN THE COTTAGES AT WOODMEN HEIGHTS DEVELOPMENT. ANY DEVIATION FROM THIS STANDARD PROCESS WILL REQUIRE A DEVELOPMENT AGREEMENT BETWEEN THE DEVELOPER AND THE CITY.

N

80 40 0 80 160
SCALE: 1"=80'

811 Know what's below. Call before you dig.
CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

CITY LAND USE REVIEW FILE NO.: CPC PUD 20-00054

PREPARED BY:

DREXEL, BARRELL & CO.
Engineers • Surveyors
3 SOUTH 7TH STREET
COLORADO SPGS, COLORADO 80905
CONTACT: TIM D. McCONNELL, P.E.
(719)260-0887
BOULDER • COLORADO SPRINGS • GREELEY

CLIENT:

GOODWIN KNIGHT
8605 EXPLORER DRIVE, SUITE 250
COLORADO SPRINGS, COLORADO 80920
(719)-598-5192

DEVELOPMENT PLAN
COTTAGES @ WOODMEN HEIGHTS
7725 ADVENTURE WAY
COLORADO SPRINGS, COLORADO

ISSUE	DATE
INITIAL ISSUE	02-06-20
LATEST ISSUE	06-03-20

DESIGNED BY:	TDM
DRAWN BY:	SLG
CHECKED BY:	TDM
FILE NAME:	21369-00GP1

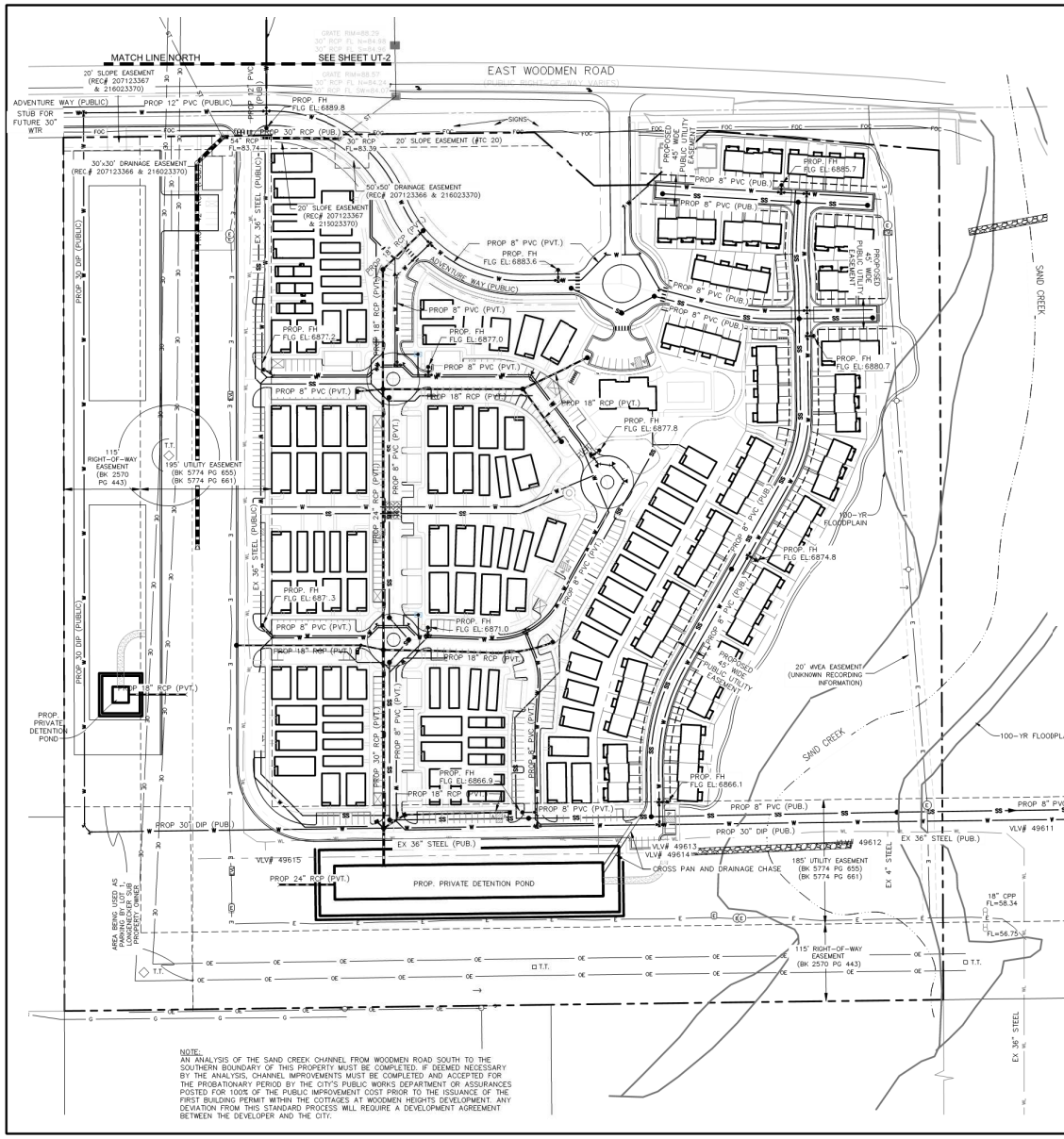
DRAWING SCALE:
HORIZONTAL: X" = XX'
VERTICAL: X" = XX'

PRELIMINARY GRADING PLAN

PROJECT NO. 21369-00CSCV
DRAWING NO.
GP-1

DEVELOPMENT PLAN

DEVELOPMENT PLAN



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LEGEND

EX. TRANSMISSION TOWER	T.T.
EX. ELECTRIC BOX	E
EX. ELECTRIC VAULT	EV
EX. RANSFORMER	
EX. ELECTRIC MANHOLE	E
EX. LIGHT POLE	
EX. ELECTRIC METER	EM
EX. UTILITY POLE	
EX. SANITARY MANHOLE	SSMH
EX. SIGN	
EX. FIRE HYDRANT	FH
EX. WATER VALVE	WV
EX. STORM SEWER INLET	
EX. CULVERT	
EX. WATER MAIN	W
EX. FENCE	
EX. STORM SEWER	ST
EX. SANITARY SEWER	SS
EX. UNDERGROUND ELECTRIC	E
EX. OVERHEAD ELECTRIC	OE
EX. FIBER OPTIC	FOC
PROPERTY LINE	
PROPOSED LOT LINE	
PROPOSED R.O.W. LINE	
EASEMENT	
PROPOSED STORM SEWER	ST
PROPOSED SANITARY SEWER	PROP 8" PVC SS
PROPOSED SANITARY SEWER MANHOLE	
PROPOSED WATER LINE	PROP 8" PVC W
PROPOSED FIRE HYDRANT	
PROPOSED WATER VALVE	
PROPOSED WATER BEND	

General Notes for Preliminary Utility Plans

Property Owner(s) acknowledge and agree to the following upon approval of Preliminary Utility Plan:

1. Colorado Springs Utilities (Springs Utilities) shall make the final determination of the location of all water, wastewater, electric and gas facilities, which may not be the same location as shown on this Preliminary Utility Plan.

2. Property Owner(s) ("Owner") acknowledges that the connection and/or extension of utility services to the property identified in this Preliminary Utility Plan ("Property") shall be in accord with all applicable codes and regulations, Springs Utilities Line Extension & Service Standards ("Standards"), Tariffs, Colorado Springs City Code, resolutions, and policies, and Pikes Peak Regional Building Department codes, in effect at the time of utility service connection and/or extension.

3. Owner acknowledges responsibility for the costs of extensions or utility system improvements that Springs Utilities determines necessary to provide utility services to the Property or to ensure timely development of integrated utility systems serving the Property and areas outside the Property (including the costs to design and install water systems, wastewater collection systems, and any gas or electric lines to and within the Property). Owner may be eligible for a cost Recovery Agreement as provided in Utilities' Rules and Regulations.

4. Springs Utilities utility services are available on a "first-come, first-served" basis, and therefore no specific allocations or amounts of utility services, facilities, capacities or supplies are reserved for the Owner, and Springs Utilities makes no commitment as to the availability of any utility service until such time as an application for permanent service is approved by Springs Utilities.

5. The relocation or alteration of any existing utility facilities within the Property will be at the Owner's sole cost and expense. If Springs Utilities determines that Owner's relocation or alteration requires new or updated easements, Owner shall convey those easements prior to relocating or altering the existing utility facilities.

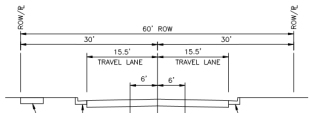
6. Owner shall dedicate by plat and/or convey by recorded document, all property and easements that Springs Utilities determines are required for all utility system facilities necessary to serve the Property or to ensure development of an integrated utility system. All easements granted by separate instrument shall utilize Springs Utilities' then-current Permanent Easement Agreement form.
7. The water system facilities must meet Springs Utilities criteria for water quality, reliability and pressure, including looping requirements (see Springs Utilities Line Extension and Service Standards).

8. Owner recognizes that the extension of water system facilities may affect the quality of water in the Springs Utilities water system. When water quality is affected, Owner acknowledges responsibility for any costs that Springs Utilities determines necessary in order to maintain water quality in its system as a result of Owner's water system extensions. Owner may be required to submit a Water Quality Plan for the project

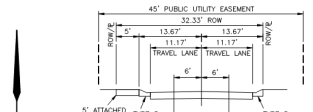
9. Owner must contact Springs Utilities Field Engineering to determine the location of all natural gas and electric meters and transformers and to secure approval of gas-service-line pressures in excess of Springs Utilities standard gas system pressure. (Contact Field Engineering North 668-4985 or South 668-5564).

10. It shall not be permissible for any person to modify the grade of the earth within any Springs Utilities easement or rights of way without the written approval of Springs Utilities. Improvements, structures and trees shall not be located within utility easement, shall not violate National Electric Safety Code (NESC) provisions and clearances, and shall not impair access or the ability to maintain utility facilities.

11. Springs Utilities approval of this Preliminary Utility Plan shall not be construed as a limitation upon the authority of Springs Utilities to apply its Standards; and ifthere are any conflicts between any approved drawings and any provision of Standards or the City Code, then the Standards or City Code shall apply. Springs Utilities' approval of this Preliminary Utility Plan shall not be construed as a limitation upon the authority of the City of Colorado Springs or Springs Utilities to adopt different ordinances, rules, regulations, resolutions, policies or codes which change any of the provisions of the Standards so long as these apply to the City generally and are in accord with the then-current tariffs, rates and policies of Springs Utilities.



TYPICAL SECTION A – PUBLIC STREET
ADVENTURE WAY (Not to Scale)



TYPICAL SECTION – PRIVATE STREET
(Not to Scale)

80 40 0 80 160
SCALE: 1"=80'

CITY LAND USE REVIEW FILE NO.: CPC PUD 20-00054

PREPARED BY:

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Engineers • Surveyors
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DEVELOPMENT PLAN
COTTAGES @ WOODMEN HEIGHTS
7725 ADVENTURE WAY
COLORADO SPRINGS, COLORADO

ISSUE	DATE
INITIAL ISSUE	02-06-20
LATEST ISSUE	06-03-20

DESIGNED BY:	TDM
DRAWN BY:	SLG
CHECKED BY:	TDM
FILE NAME:	21369-00UT1

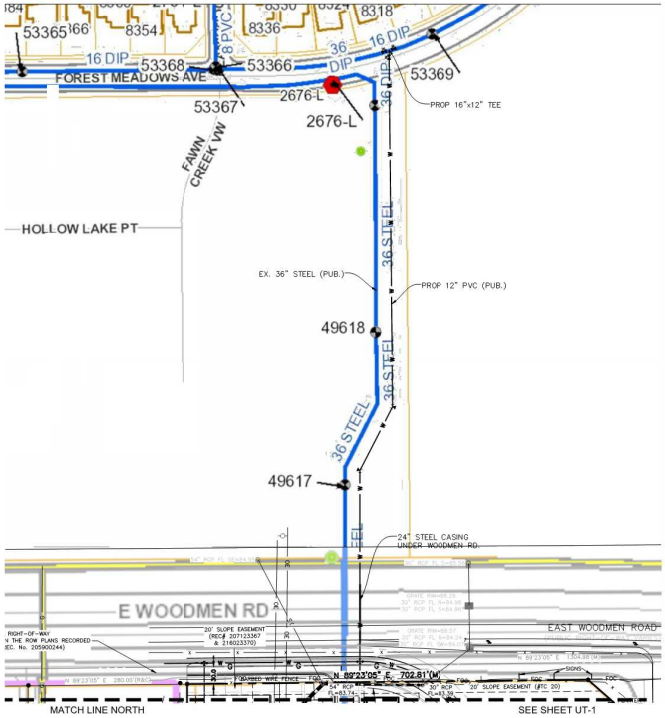
DRAWING SCALE:
HORIZONTAL: 1" = 100'
VERTICAL: N/A

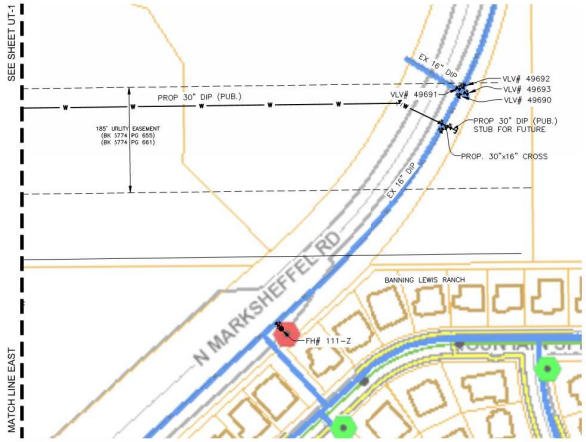
PRELIMINARY UILITY & PUBLIC FACILITY PLAN

PROJECT NO. 21369-00CSCV
DRAWING NO.

UT-1

SHEET: 5 OF 25





LEGEND

EXISTING	EX.
PROPOSED	PROP.
SANITARY	SAN
PRIVATE	PVT
EX. TRANSMISSION TOWER	T.T.
EX. ELECTRIC BOX	E
EX. ELECTRIC VAULT	EV
EX. RANSFORMER	
E ELECTRIC MANHOLE	E
E LIGHT POLE	
EX. ELECTRIC METER	M
EX. UTILITY POLE	
EX. SANITARY MANHOLE	SSMH
EX. SIGN	
EX. FIRE HYDRANT	FH
EX. WATER VALVE	WV
EX. STORM SEWER INLET	
EX. CULVERT	CE
EX. WATER MAIN	W
EX. FENCE	X
EX. STORM SEWER	ST
EX. SANITARY SEWER	SS
EX. UNDERGROUND ELECTRIC	E
EX. OVERHEAD ELECTRIC	OE
EX. FIBER OPTIC	FOC
PROPERTY LINE	
PROPOSED LOT LINE	
PROPOSED R.O.W. LINE	
EASEMENT	
PROPOSED STORM SEWER	ST
PROPOSED SANITARY SEWER	PROP 8" PVC
PROPOSED SANITARY SEWER MANHOLE	
PROPOSED WATER LINE	PROP 8" PVC
PROPOSED FIRE HYDRANT	
PROPOSED WATER VALVE	
PROPOSED WATER BEND	

N

100 50 0 100 200
SCALE: 1"=100'

811 Know what's below. Call before you dig.
CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

CITY LAND USE REVIEW FILE NO.: CPC PUD 20-00054

PREPARED BY:

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7725 ADVENTURE WAY
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DRAWN BY:	SLG
CHECKED BY:	TDM
FILE NAME:	21369-00UT1

DRAWING SCALE:
HORIZONTAL: 1" = 100'
VERTICAL: N/A

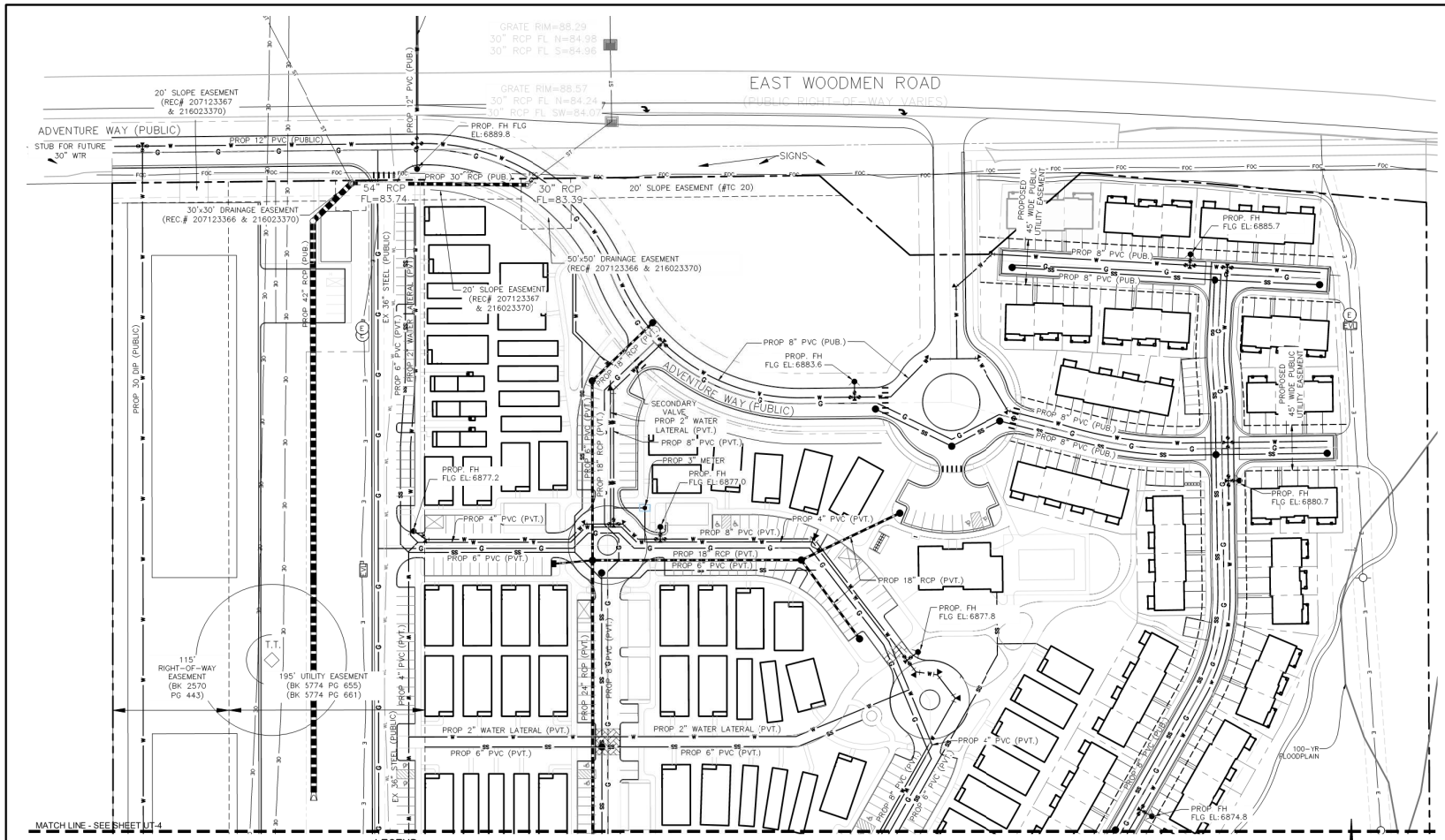
PRELIMINARY
UILITY & PUBLIC
FACILITY PLAN

PROJECT NO. 21369-00CSCV
DRAWING NO.

UT-2

SHEET: 6 OF 25

DEVELOPMENT PLAN



LEGEND

EX. TRANSMISSION TOWER	T.T.
EX. ELECTRIC BOX	E
EX. ELECTRIC VAULT	EV
EX. TRANSFORMER	X
EX. ELECTRIC MANHOLE	E
EX. LIGHT POLE	
EX. ELECTRIC METER	M
EX. UTILITY POLE	
EX. SANITARY MANHOLE	SSMH
EX. SIGN	
EX. FIRE HYDRANT	FH
EX. WATER VALVE	WV
EX. STORM SEWER INLET	
EX. CULVERT	CC
EX. WATER MAIN	W
EX. FENCE	
EX. STORM SEWER	ST
EX. SANITARY SEWER	SS
EX. UNDERGROUND ELECTRIC	E
EX. OVERHEAD ELECTRIC	OE
EX. FIBER OPTIC	FOC
PROPERTY LINE	
PROPOSED LOT LINE	
PROPOSED R.O.W. LINE	
EASEMENT	
PROPOSED STORM SEWER	ST
PROPOSED SANITARY SEWER	PROP. 8" PVC SS
PROPOSED SANITARY SEWER MANHOLE	
PROPOSED WATER LINE	PROP. 8" PVC W
PROPOSED FIRE HYDRANT	
PROPOSED WATER VALVE	
PROPOSED WATER BEND	

-N-

50 20 0 50 100

SCALE: 1"=50'

CITY LAND USE REVIEW FILE NO.: CPC PUD 20-00054

PREPARED BY:

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INITIAL ISSUE	02-06-20
LATEST ISSUE	06-03-20

DESIGNED BY:	TDM
DRAWN BY:	SLG
CHECKED BY:	TDM
FILE NAME:	21369-00UT3

DRAWING SCALE:
HORIZONTAL: 1" = 100'
VERTICAL: N/A

PRELIMINARY UILITY & PUBLIC FACILITY PLAN

PROJECT NO. 21369-00CSCV

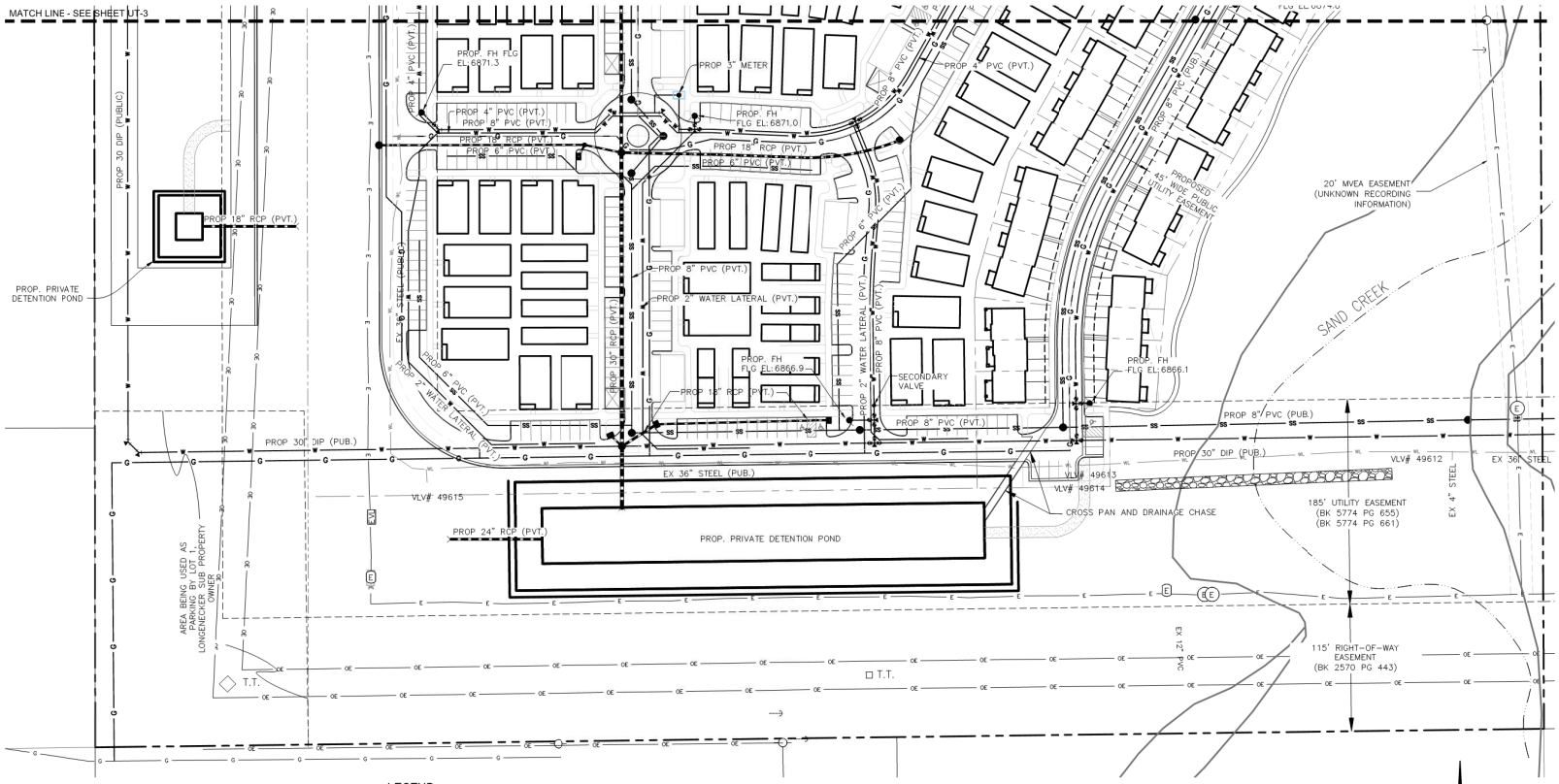
DRAWING NO.

UT-3

SHEET: 7 OF 25

DEVELOPMENT PLAN

DEVELOPMENT PLAN



LEGEND

EX. TRANSMISSION TOWER	T.T.
EX. ELECTRIC BOX	E
EX. ELECTRIC VAULT	EV
EX. TRANSFORMER	
EX. ELECTRIC MANHOLE	E
EX. LIGHT POLE	
EX. ELECTRIC METER	M
EX. UTILITY POLE	
EX. SANITARY MANHOLE	SSMH
EX. SIGN	
EX. FIRE HYDRANT	FH
EX. WATER VALVE	WV
EX. STORM SEWER INLET	
EX. CULVERT	CC
EX. WATER MAIN	W
EX. FENCE	
EX. STORM SEWER	ST
EX. SANITARY SEWER	SS
EX. UNDERGROUND ELECTRIC	E
EX. OVERHEAD ELECTRIC	OE
EX. FIBER OPTIC	FOC
PROPERTY LINE	
PROPOSED LOT LINE	
PROPOSED R.O.W. LINE	
EASEMENT	
PROPOSED STORM SEWER	ST
PROPOSED SANITARY SEWER	PROP. 8" PVC SS
PROPOSED SANITARY SEWER MANHOLE	
PROPOSED WATER LINE	PROP. 8" PVC W
PROPOSED FIRE HYDRANT	
PROPOSED WATER VALVE	
PROPOSED WATER BEND	

-N-

50 20 0 50 100

SCALE: 1"=50'

CITY LAND USE REVIEW FILE NO.: CPC PUD 20-00054

PREPARED BY:

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DRAWN BY:	SLG
CHECKED BY:	TDM
FILE NAME:	21369-00UT3

DRAWING SCALE:
HORIZONTAL: 1" = 100'
VERTICAL: N/A

PRELIMINARY UILITY & PUBLIC FACILITY PLAN

PROJECT NO. 21369-00CSCV

DRAWING NO.

UT-4

SHEET: 8 OF 25

STREAMSIDE REVIEW CRITERIA

1. HAS THE NATURAL LANDFORM BEEN MAINTAINED WITHIN THE OVERLAY AREA AND DOES GRADING CONFORM TO THE SPECIFIC GRADING LIMITATIONS OF THIS SECTION AS WELL AS ALL OTHER CITY GRADING AND FILLING REGULATIONS?

This project will maintain the natural landform of the streamside since the grading plan meets and terminates at the slope of the inner buffer. Bank stabilization and revegetation is proposed in the impacted portions of the streamside. The bank will be revegetated to a more natural state per City Standards and the Streamside Design Guidelines.

2. DOES THE DEVELOPMENT INCORPORATE THE STREAM ECOSYSTEM INTO THE PROJECT DESIGN AND COMPLEMENT THE NATURAL STREAMSIDE SETTING? HAS THE PROJECT BEEN DESIGNED TO LINK AND INTEGRATE ADJACENT PROPERTIES WITH THE STREAM CORRIDOR USING ACCESSWAYS, CREEK FRONT PLAZAS, EMPLOYEE RECREATIONAL AREAS OR OTHER SITE PLANNING AND LANDSCAPING TECHNIQUES WHICH INCLUDE THE STREAM CORRIDOR AS AN AMENITY?

This project provides a landscaped corridor with natural vegetation, a trail, and access to an existing concrete streamside trail on the eastern side of Sand Creek. The concrete trail is easily accessed by the residents via an existing sidewalk adjacent to the site.

3. HAS THE PROJECT BEEN DESIGNED TO MINIMIZE IMPACT UPON WILDLIFE HABITAT AND THE RIPARIAN ECOSYSTEM WHICH EXISTS ON OR ADJACENT TO THE SITE? DOES THE PROJECT DESIGN PROTECT ESTABLISHED HABITAT OR ANY KNOWN POPULATIONS OF ANY THREATENED OR ENDANGERED SPECIES OR SPECIES OF SPECIAL CONCERN?

This project contains 9% impervious surfaces within the overall buffer areas due to townhome lots being within the outer buffer of Sand Creek. Viable vegetation, if possible, will be preserved and revegetation is proposed to return the streamside to a more natural landscape and protect the creek. There is no impact on endangered species.

4. HAVE EXISTING OR POTENTIAL COMMUNITY TRAIL NETWORKS AND OTHER RECREATIONAL OPPORTUNITIES BEEN IDENTIFIED AND INCORPORATED INTO THE PROJECT DESIGN?

A trail network is incorporated into the project design, and an existing concrete trail adjacent to Sand Creek is identified.

5. HAS THE PROJECT BEEN DESIGNED TO PROTECT THE SUBJECT PROPERTY FROM POTENTIAL FLOOD DAMAGE AND TO ACCOMMODATE FLOOD STORAGE AND CONVEYANCE NEEDS?

The proposed residential lots are outside of the floodplain for Sand Creek. The project provides a private full spectrum detention pond. If channel improvements are deemed necessary from a channel study, the developer will install or post assurances for said improvements.

6. HAVE ALL SIGNIFICANT NATURAL FEATURES WITHIN THE PROJECT STREAMSIDE AREA BEEN IDENTIFIED, AND HAS THE PROJECT BEEN DESIGNED TO MINIMIZE THE IMPACT ON THESE FEATURES?

There are no significant natural features within the streamside area other than the stream itself and there is no impact on the stream. This project contains 9% of impervious surfaces within the buffer and proposes to revegetate the remainder of the outer buffer of the streamside per City Standards and the Streamside Design Guidelines.

7. DOES THE PROJECT IDENTIFY AND IMPLEMENT THE RECOMMENDATIONS OF ANY APPROVED SUBAREA PLANS (SUCH AS THE CITY GREENWAY MASTER PLAN, CITY OPEN SPACE PLAN OR A SPECIFIC DRAINAGE BASIN PLANNING STUDY) AND OF ANY APPROVED PUBLIC WORKS PROJECTS AND HABITAT CONSERVATION PLANS?

The project is within the Sand Creek Area Drainage Basin and Bank stabilization is proposed to stabilize and revegetate the impacted portion of the streamside. The bank will be revegetated to a more natural state per City Standards and the Streamside Design Guidelines.

8. DOES THE PROJECT DESIGN:

A. IMPLEMENT A RIPARIAN BUFFER OF SPECIFIED WIDTH BETWEEN THE DEVELOPED PORTIONS OF THE SITE AND THE ADJACENT WATERWAY TO ASSIST IN PREVENTING POINT AND NONPOINT SOURCE POLLUTANTS AND SEDIMENT FROM ENTERING THE WATERWAY?

The townhome lots of this project extend into the outer buffer of the streamside, resulting in 9% of the buffer being impervious surfaces. The remainder is natural vegetation with new native plantings provided for the outer buffer.

B. EXCLUDE IMPERVIOUS SURFACES FROM THE INNER BUFFER ZONE AND MEET IMPERVIOUSNESS RESTRICTIONS ACROSS THE ENTIRE OVERLAY?

There are no impervious surfaces in the inner buffer. Nine percent of the total buffer area contains impervious surfaces to accommodate the townhome lots.

C. INCORPORATE ALL STORMWATER BMPS REQUIRED BY CITY ENGINEERING THROUGHOUT THE DEVELOPED SITE AND ADJACENT TO THE BUFFER TO ENCOURAGE ON SITE FILTRATION OF STORMWATER AND PROTECT WATER QUALITY?

A full spectrum detention pond is to be constructed south of the site meeting all BMP's required by City Engineering.

D. INCORPORATE VISUAL BUFFER OPPORTUNITIES OF THE STREAM BETWEEN IDENTIFIED EXISTING AND/OR PROPOSED PROJECTS ON OPPOSING SIDES OF THE STREAM?

There are no adjacent developments on the opposing side of Sand Creek east of the site. This land is owned by Woodmen Road Metro District and is part of their wetland mitigation for the widening of Woodmen Road. The extensive streamside buffers and proposed vegetation provide a visual buffer to proposed commercial developments further east.

9. ARE INNER AND OUTER BUFFER ZONE LANDSCAPING STANDARDS MET? HAVE DISTURBED AREAS BEEN REVEGETATED TO MINIMIZE EROSION AND STABILIZE LANDSCAPE AREAS AND DOES THE PROJECT LANDSCAPING DESIGN SPECIFY PLANTS SELECTED FROM THE RIPARIAN PLANT COMMUNITIES AS SET FORTH IN APPENDIX A OF THE LANDSCAPE POLICY MANUAL? DOES THE PROPOSAL MEET ALL OTHER REQUIREMENTS OF THE CITY'S LANDSCAPE CODE?

Landscaping standards for the inner/outer buffer overlay have been identified and the number of proposed trees in the inner/outer buffer are provided in the streamside plan. There is no disturbance to the inner buffer of the streamside, except for the proposed 4' breeze trail and streamside planting. Where disturbance is proposed to the outer buffer, stabilization and revegetation are proposed to mitigate any impacts to the stream.

10. HAVE STREAM BANK AND SLOPE AREAS BEEN IDENTIFIED (PARTICULARLY THOSE OVER 15 PERCENT SLOPE)? HAS THE DISTURBANCE TO THESE AREAS AND ANY PROTECTIVE OR STABILIZING VEGETATIVE COVER BEEN MINIMIZED? DOES THE PLAN PROVIDE FOR THE SUITABLE REVEGETATION AND STABILIZATION OF ANY DISTURBED AREAS?

Stream bank and slope areas have been identified in the Land Suitability Analysis. The Development Plan does not disturb any slope areas over 15% and revegetation measures will be implemented as needed in the outer buffer. Native plantings are proposed for the outer buffer area.

11. HAVE OPPORTUNITIES TO RECLAIM THE DRAINAGEWAY BEEN IDENTIFIED AND IMPLEMENTED WHERE PRACTICAL? FOR THIS CRITERION, RECLAMATION CONSTITUTES ANY ACTION THAT IMPROVES THE QUALITY OF THAT DRAINAGEWAY VISUALLY, FUNCTIONALLY OR RECREATIONALLY, AND BRINGS THAT DRAINAGEWAY INTO A MORE NATURAL CONDITION.

Visual and recreational improvements are included to improve the quality of the streamside and revegetation is proposed to return the creek to a more natural setting.

Streamside Criteria

Type III Stream Channel

Buffer Zone	Width (In Ft.)	Linear Footage	Streamside Trees Required /Provided
Inner Buffer Zone	40'	1220'	(1/20) 61 / 38*
Outer Buffer Zone	80'	1360'	(1/30) 46 / 28*

Buffer Zone	Shrub Substitutes Required /Provided	Streamside Plant Abbr. Denoted on Plan
Inner Buffer Zone	250 / tbd	SS
Outer Buffer Zone	180 / tbd	SO

*SHRUB SUBSTITUTION MAXIMUM OF 25% IS NOT APPLIED TO 300' EXTENT WITHIN UTILITY EASEMENTS

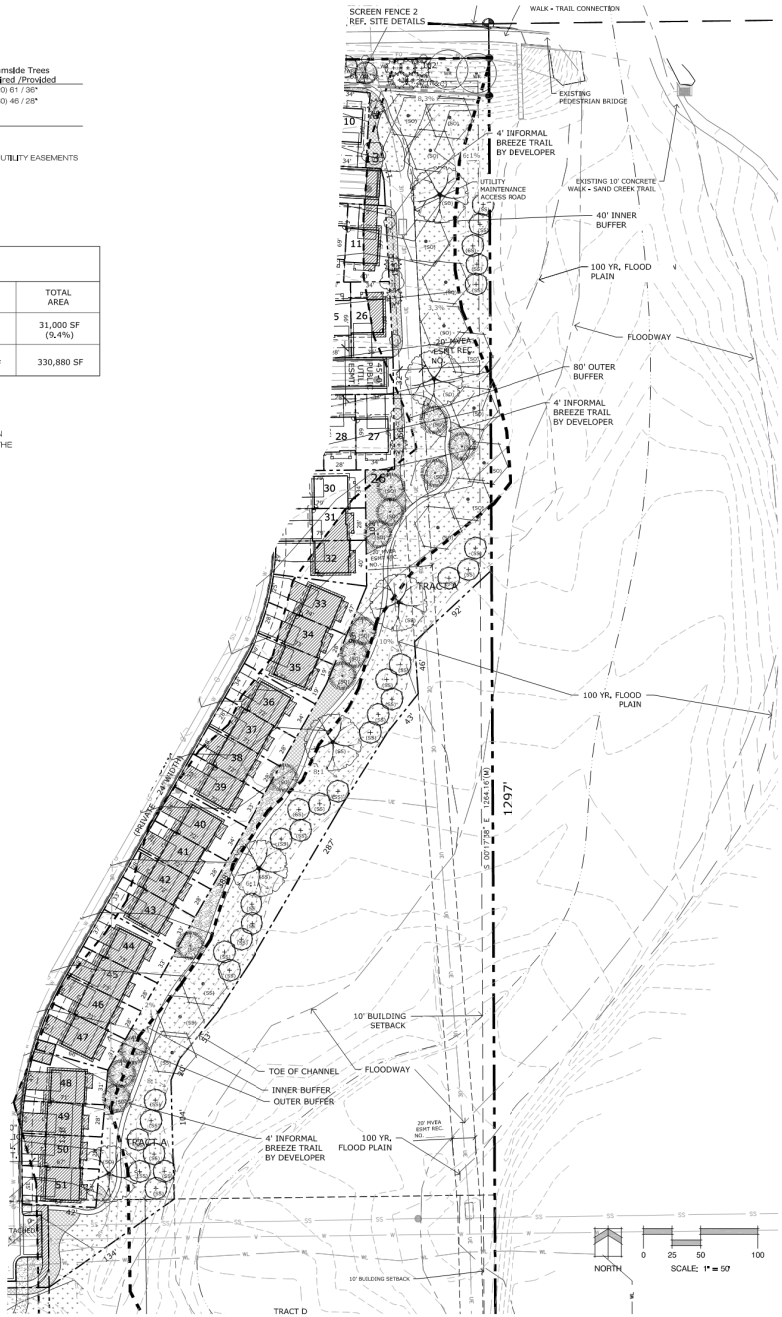
INNER / OUTER BUFFER AREA			
	INNER BUFFER	OUTER BUFFER	TOTAL AREA
IMPERVIOUS AREA (SF)	0 SF	31,000 SF	31,000 SF (9.4%)
BUFFER AREA (SF)	214, 304 SF	116,576 SF	330,880 SF

IMPERVIOUS SURFACE

- THE IMPERVIOUS SURFACE COVERAGE OF THE OUTER STREAMSIDE BUFFER HAS BEEN AVERAGED FOR THE PROPOSED TOWNHOMES WITHIN THE STREAMSIDE BUFFER; INDIVIDUAL SITE PLANS SHALL NOT EXCEED THE IMPERVIOUS SURFACE COVERAGE SHOWN ON DEVELOPMENT PLAN.

GROUND TREATMENT LEGEND

- Wood Mulch — Gorilla Hair Cedar
- Rock Mulch — 3/4" Cimarron Granite
- Sod — Kentucky Blue Grass
- Native Seed



Land Planning
Landscape Architecture
Urban Design

NES

N.E.S. Inc.
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Colorado Springs, CO 80903

Tel. 719.471.0073
Fax 719.471.0267

www.nescolorado.com

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COTTAGES AT WOODMEN HEIGHTS

DEVELOPMENT PLAN

DATE: 02/26/2020
PROJECT MGR: K. MARSHALL
PREPARED BY: B. PERKINS

ENTITLEMENT

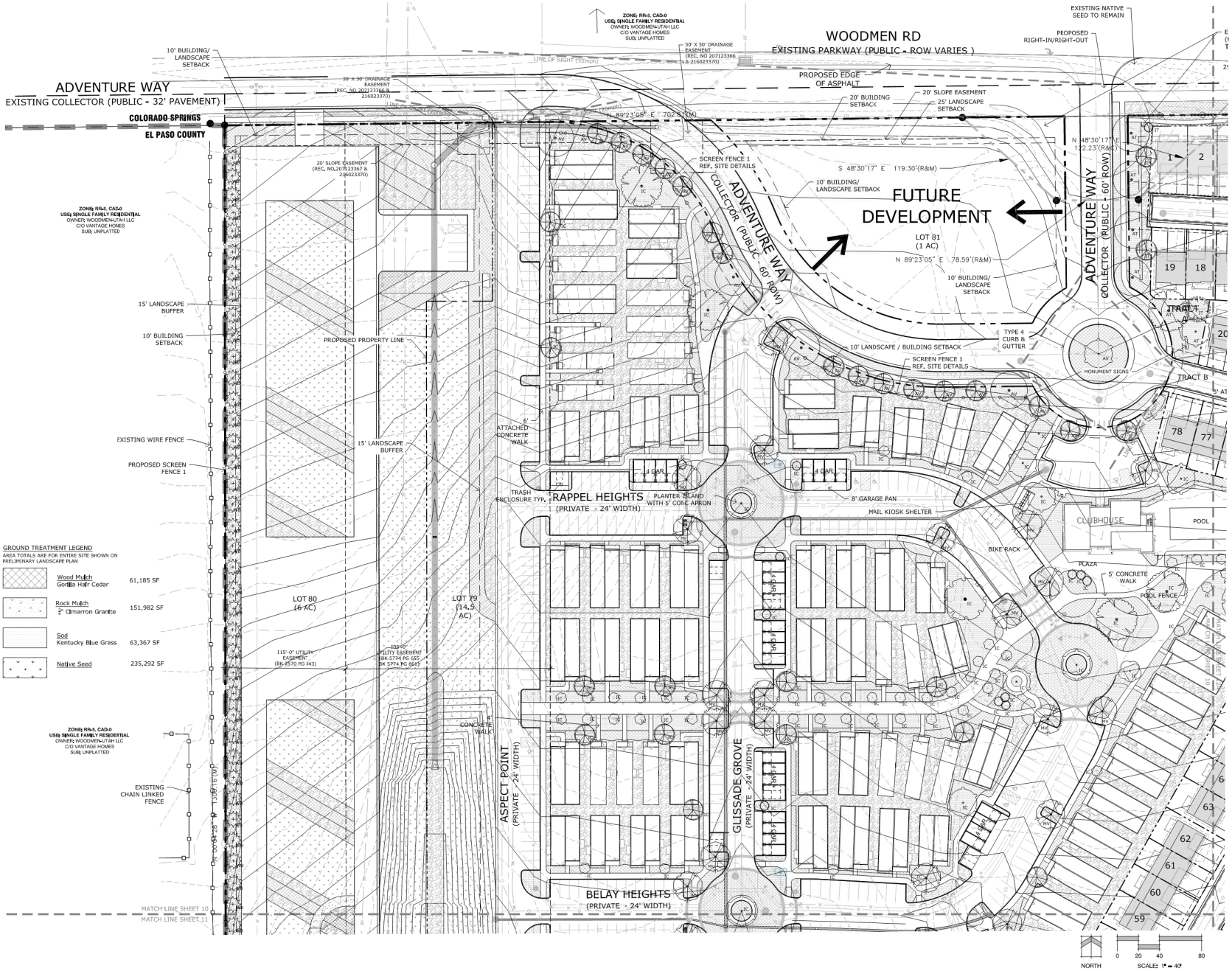
DATE	BY	DESCRIPTION
04/27/2020	BP	PER CITY REVIEW COMMENTS
06/11/2020	BP	PER CITY REVIEW COMMENTS

STREAMSIDE DEVELOPMENT PLAN

CPC PUD 20-00054

DEVELOPMENT PLAN

P:\Cascade Lodge\Adventure Way\Drawings\Planning\Preliminary\Cottages_Woodmen\PUD.dwg STREAMSIDE (7) 6/10/2020 4:36:36 PM bperkins



GROUND TREATMENT LEGEND

AREA TOTALS ARE FOR ENTIRE SITE SHOWN ON PRELIMINARY LANDSCAPE PLAN

Wood Mulch	Gorilla Hair Cedar	61,185 SF
Rock Mulch	4" Cimarron Granite	151,982 SF
Sod	Kentucky Blue Grass	63,367 SF
Native Seed		235,292 SF

DEVELOPMENT PLAN

Land Planning
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PROJECT TITLE:

COTTAGES AT WOODMEN HEIGHTS

DEVELOPMENT PLAN

PROJECT NO.

DATE: 02/26/2020
PROJECT MGR: K. MARSHALL
PREPARED BY: B. PERKINS

SEAL

ENTITLEMENT

ISSUE HISTORY

DATE	BY	DESCRIPTION
04/27/2020	BP	PER CITY REVIEW COMMENTS
06/11/2020	BP	PER CITY REVIEW COMMENTS
06/26/2020	BP	TECHNICAL REVISIONS PER CITY REVIEW

ISSUE DURATION

SHEET TITLE

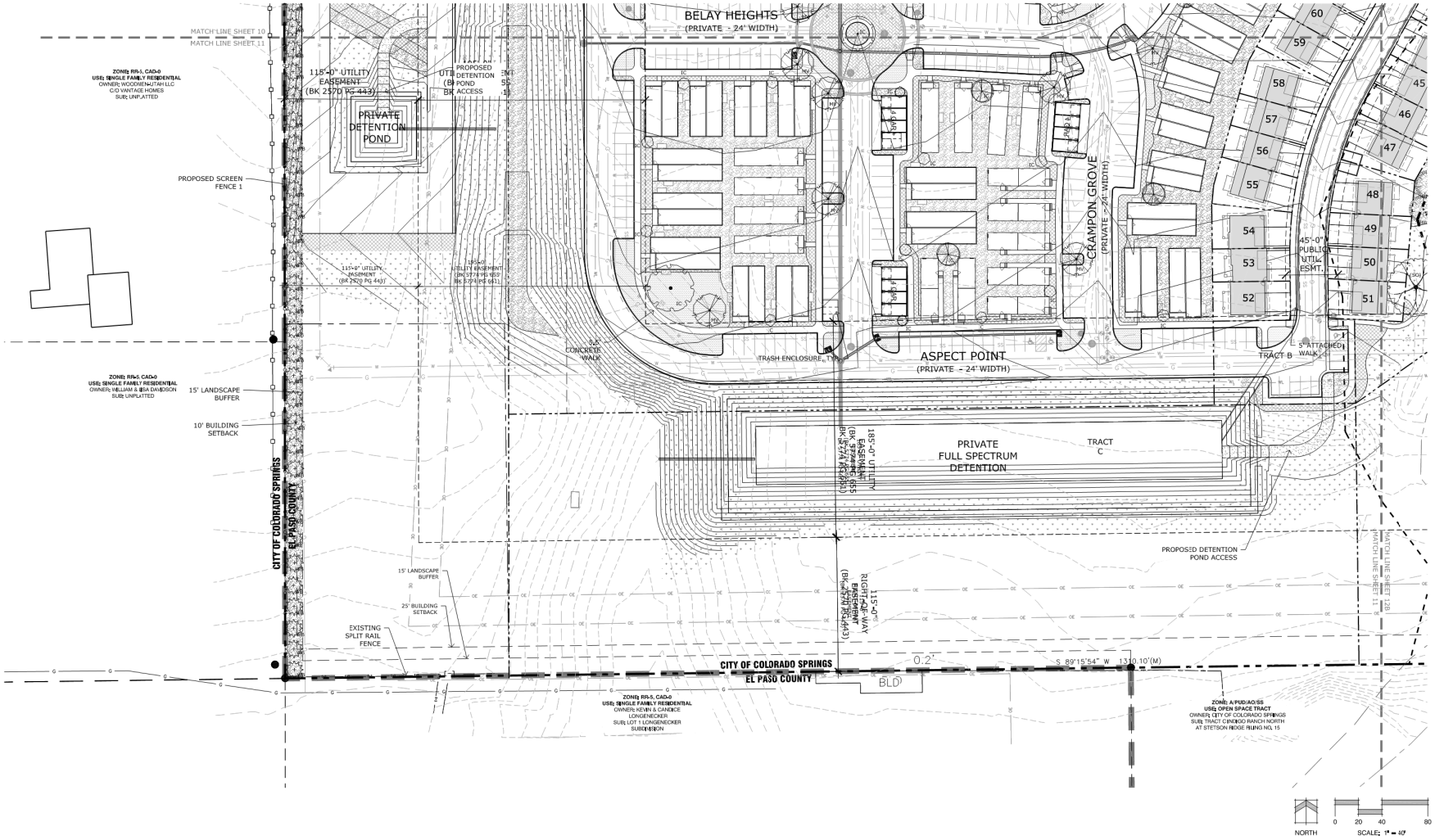
PRELIMINARY LANDSCAPE PLAN

SHEET NUMBER

10 OF 25

FILE NO.

CPC PUD 20-00054



DEVELOPMENT PLAN

Land Planning
Landscape Architecture
Urban Design

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PROJECT NO.

COTTAGES AT WOODMEN HEIGHTS

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DATE:	02/26/2020
PROJECT MGR:	K. MARSHALL
PREPARED BY:	B. PERKINS

SEAL

ENTITLEMENT

DATE	BY	DESCRIPTION
04/27/2020	BP	PER CITY REVIEW COMMENTS
06/11/2020	BP	PER CITY REVIEW COMMENTS

ISSUE / REVISION

SHEET TITLE

PRELIMINARY LANDSCAPE PLAN

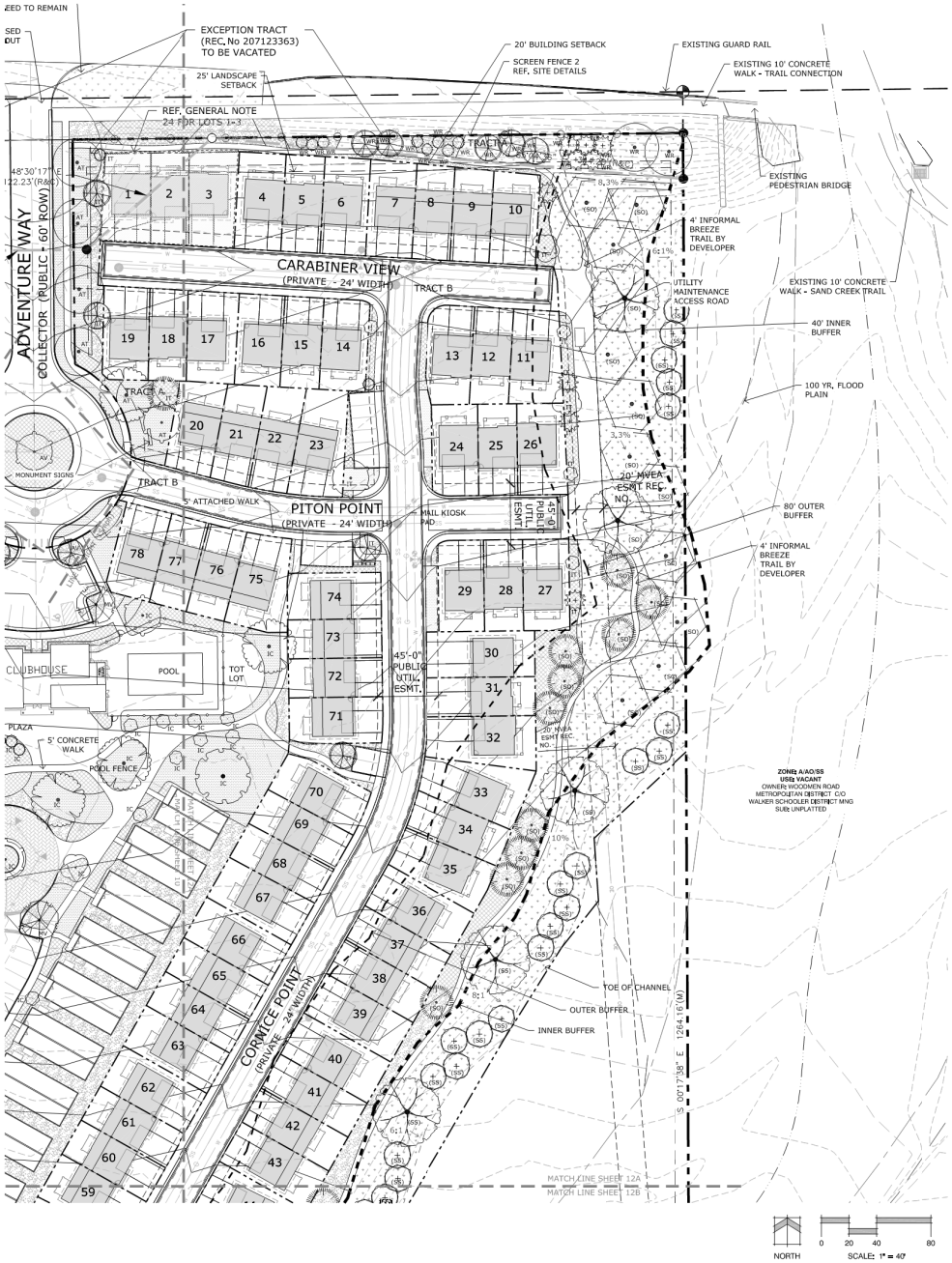
SHEET NUMBER

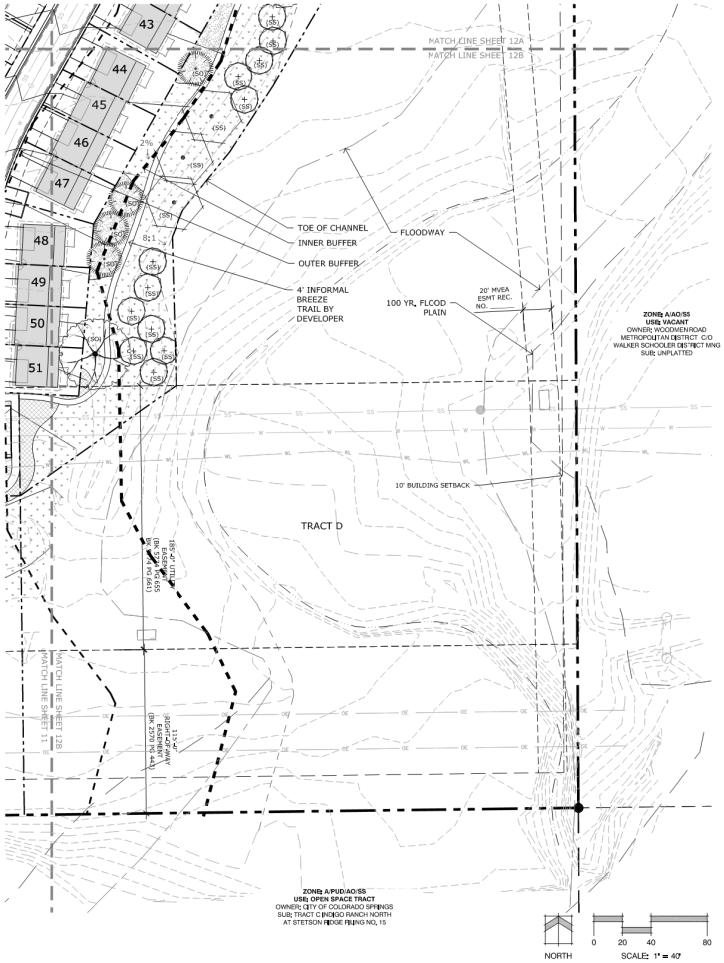
11 OF 25

FILE NO.

CPC PUD 20-00054

DEVELOPMENT PLAN





Land Planning
Landscape Architecture
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NES

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Colorado Springs, CO 80903

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www.nescolorado.com

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COTTAGES AT WOODMEN HEIGHTS

DEVELOPMENT PLAN

DATE:	02/26/2020
PROJECT MGR:	K. MARSHALL
PREPARED BY:	B. PERKINS

ENTITLEMENT

DATE	BY	DESCRIPTION
04/27/2020	BP	PER CITY REVIEW COMMENTS
06/11/2020	BP	PER CITY REVIEW COMMENTS
06/26/2020	BP	TECHNICAL REVISIONS PER CITY REVIEW

PRELIMINARY LANDSCAPE PLAN

CPC PUD 20-00054

LANDSCAPE NOTES

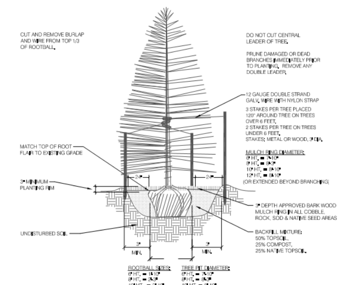
1. SOIL AMENDMENT - INCORPORATE 3 CUBIC YARDS/1000 SF AREA OF "PREMIUM 3 ORGANIC COMPOST", OR APPROVED EQUAL, ON BLUEGRASS TURF AREAS. INCORPORATE 2 CUBIC YARDS/1000 SF AREA OF ORGANIC COMPOST (DECOMPOSED MANURE) TO ALL NATIVE SEED AREAS. TILL INTO TOP 8" OF SOIL. FOR PLANTING PIT AMENDMENTS, SEE LANDSCAPE DETAILS.
   RECOMMENDED SOIL AMENDMENT FOR PLANTING PITS:
   TRI-MIX III as supplied by C&C Sand
   -To be applied as backfill in planting pits
2. FERTILIZER REQUIREMENTS BELOW ARE TO BE BASED ON SOIL ANALYSIS.

	SOD	SEED	SHRUB
NITROGEN	0 LBS/1000SF	0 LBS/1000SF	0 LBS/1000SF
PHOSPHORUS (P205)	0 LBS/1000SF	0 LBS/1000SF	0 LBS/1000SF
POTASSIUM (K20)	0 LBS/1000SF	0 LBS/1000SF	0 LBS/1000SF
SULFUR (SO4-S)	0 LBS/1000SF	0 LBS/1000SF	0 LBS/1000SF

   *NATIVE SEED FERTILIZER NOTE - APPLY NITROGEN AND OTHER FERTILIZER JUST PRIOR TO THE BEGINNING OF SPRING GROWTH, AFTER GRASS HAS ESTABLISHED. APPLYING NITROGEN TOO EARLY CAN STIMULATE COOL SEASON GRASSES AND WEEDS, THUS LIMITING SEED YIELDS.
3. A SIGNED AFFIDAVIT ATTESTING TO THE SOIL AMENDMENTS INCORPORATED TO CORRECT DEFICIENCIES SHALL BE INCLUDED WITH THE SOIL ANALYSIS PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
4. CONTRACTOR TO UTILIZE STOCKPILED TOPSOIL FROM GRADING OPERATION AS AVAIL. TILL INTO TOP 8" OF SOIL.
5. FOR GRADING PLAN, REFER TO CIVIL ENGINEER'S DRAWINGS.
6. FOR STANDARD LIGHTING AND LOCATIONS, REFER TO PHOTOMETRIC PLAN.
7. A FULLY AUTOMATED SPRINKLER IRRIGATION SYSTEM WILL DRIP IRRIGATE ALL TREE, SHRUB, AND GROUND COVER PLANTING AREAS AND SPRAY ANY TURF. IRRIGATION PLAN WILL INCLUDE AN IRRIGATION SCHEDULE THAT NOTES APPLICATION RATES BASED ON TURF TYPE, AND NOTES RATES FOR NEWLY PLANTED PLANTS VS. ESTABLISHED PLANTS AND GENERAL RECOMMENDATIONS REGARDING SEASONAL ADJUSTMENTS (SPRING AND FALL).
8. NATIVE SEED AREAS TO USE SEED MIX SPECIFIED. ALL SEED AREAS SHALL BE IRRIGATED UNTIL ESTABLISHMENT. SUBMIT SEED MIX PRODUCT INFORMATION TO L.A. FOR APPROVAL PRIOR TO INSTALLATION.
9. EROSION CONTROL BLANKET TO BE APPLIED ON ALL SEED AREAS WITH GREATER THAN 3:1 SLOPES.
10. ALL PLANTS AND TREES NOT INSTALLED IN PLANTING BEDS TO RECEIVE 3 INCH DEPTH WOOD MULCH RING UNLESS OTHERWISE SPECIFIED. MULCH RINGS TO BE SIZED PER PLANTING DETAILS.
11. SOD SHALL BE KENTUCKY BLUEGRASS BLEND.
12. ALL SOD/TURF, ROCK, & SHRUB BEDS TO BE SEPARATED BY SOLID STEEL EDGING. ALL SHRUB BEDS TO BE ENCLOSED BY STEEL EDGING. SEPARATION BETWEEN SOD AND NATIVE SEED, AND BETWEEN ALTERNATIVE TURF AND NATIVE SEED SHALL BE A MOWED STRIP, WITHOUT STEEL EDGING.
13. ALL TREES TO BE STAKED WITH WOOD STAKES. FOR 3" CAL. DECIDUOUS TREES AND EVERGREEN TREES OVER 8' USE 3 WOOD STAKES (STAKE TO GROUND LEVEL). SUBMIT STAKING MATERIALS PRODUCT INFO TO L.A. FOR APPROVAL PRIOR TO INSTALLATION.
14. ALL TREES TO BE STAKED FOR A MINIMUM OF 18 MONTHS. REMOVE STAKING MATERIALS ONCE TREE IS ESTABLISHED, WHICH MAY DEPEND ON TREE SPECIES, MATURITY AND SITE CONDITIONS.
15. ROCK COBBLE: 18 - 24" BAND TO BE INSTALLED AT THE PERIMETER OF ALL BUILDINGS.
16. ROCK COBBLE TO BE 3- 4" BLUE GRAY RIVER ROCK. INSTALL GEOTEXTILE FABRIC UNDER ALL ROCK AREAS.
17. WOOD MULCH: GORILLA HAIR CEDAR WOOD MULCH SHALL BE USED IN SHRUB BEDS AS INDICATED ON PLAN.
18. A FINAL LANDSCAPE PLAN AND AN IRRIGATION PLAN, WITH APPLICABLE SUPPORT MATERIAL, MAY BE SUBMITTED AT TIME OF BUILDING PERMIT APPLICATION. REVIEW AND APPROVAL OF THESE PLANS SHALL OCCUR THIRTY (30) DAYS SUBSEQUENT TO BUILDING PERMIT ISSUANCE OR PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY, WHICHEVER OCCURS FIRST. UPON REQUEST BY THE APPLICANT, AN IRRIGATION PLAN, WITH APPLICABLE SUPPORT MATERIAL, SHALL BE SUBMITTED NINETY (90) DAYS SUBSEQUENT TO BUILDING PERMIT ISSUANCE AND APPROVED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
19. INSPECTION AND APPROVAL: NOTIFICATION FOR IRRIGATION INSPECTION AFFIDAVIT SHALL BE GIVEN DURING CONSTRUCTION WHILE TRENCH IS OPEN AND AFTER COMPLETION OF SYSTEM INSTALLATION PRIOR TO SEEDING OR SODDING. THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO CLIENT SEEKING CERTIFICATE OF OCCUPANCY FOR FINAL LANDSCAPE INSPECTION AFFIDAVIT.
20. ANY FIELD CHANGES OR DEVIATIONS TO THESE PLANS WITHOUT PRIOR CITY APPROVAL OF AN AMENDED DEVELOPMENT PLAN MAY RESULT IN A DELAY OF FINAL APPROVAL AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
21. THESE PLANS ARE FOR CITY APPROVALS ONLY AND ARE NOT TO BE UTILIZED FOR CONSTRUCTION.
22. A 3' CLEAR SPACE SHALL BE MAINTAINED ADJACENT TO THE FIRE APPARATUS ACCESS PAD.
23. ALL FIRE DEPARTMENT CONNECTIONS (FDC) SHALL NOT BE VISUALLY OR PHYSICALLY OBSTRUCTED BY LANDSCAPING.

PLANT SCHEDULE

DECIDUOUS TREE	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH	SIZE	COND	KEY
	Agr	3	Acer grandidentatum / Bigtooth Maple	30`	30`	2" Cal.	B&B	7S
	Ap	6	Acer platanoides / Norway Maple	40`	40`	2" Cal.	B&B	4S
	Aa	26	Acer x freemanii `Jeffsred` TM / Autumn Blaze Maple	40`	30`	2" Cal.	B&B	S
	Gtr	3	Gleditsia triacanthos / Honey Locust	60`	40`	2" Cal.	B&B	4SA
	Kp	12	Koelreuteria paniculata / Golden Rain Tree	30`	30`	2" Cal.	B&B	S
	Pn	40	Prunus cerasifera `Newport` / Newport Flowering Plum	20`	15`	1.5" Cal.	B&B	45S
	Pc	63	Pyrus calleryana `Capital` / Capital Callery Pear	20`	10`	1.5" Cal.	B&B	A
	Tco	10	Tilia cordata / Littleleaf Linden	50`	35`	2" Cal.	B&B	4S
EVERGREEN TREE	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH	SIZE	COND	KEY
	Pbb	23	Picea pungens glauca `Baby Blueeyes` / Baby Blueeyes Colorado Blue Spruce	20`	10`	6` HT	B&B	678S
	Pmu	74	Pinus mugo / Mugo Pine	20`	20`	6` HT	B&B	1256D
STREAMSIDE OVERLAY TREE	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH	SIZE	COND	KEY
	Ac	15	Abies concolor / White Fir	50`	25`	6` HT	B&B	45678SA
	Co	6	Celtis occidentalis / Common Hackberry	50`	50`	2" Cal.	B&B	3457 DA
	Pa	14	Populus angustifolia / Narrowleaf Poplar	50`	40`	2" Cal.	B&B	4578A
	Sa	30	Salix amygdaloides / Peach Leaf Willow	35`	25`	2" Cal.	B&B	47W



1 CONIFEROUS TREE PLANTING DETAIL

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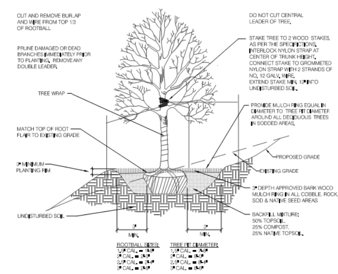

2 DECIDUOUS TREE PLACEMENT ON SLOPE

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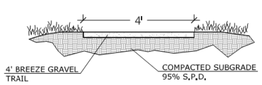


3 4' BREEZE TRAIL

SCALE: NOT TO SCALE

LANDSCAPE REQUIREMENTS

Landscape Setbacks

Lot	Street Name or Zone Boundary	Street Classification	Width (In Ft.) Req./Prov.	Linear Footage	Tree/Feet Required	No. of Trees Req./ Prov.	Shrub Substitutes Required / Provided	Setback Plant Abbr. Denoted on Plan	Percent Ground Plane Veg. Req. / Provided
Townhomes Tract A	East Woodmen Road	Expressway	25' / 25' average	445'	1 / 20'	23 / 20	30 / per FLP	WR	75% / 75%
Future Lot 81	East Woodmen Road	Expressway	25' / 25' average	336'	1 / 20'	17 / --	-- / --	--per Future DP--	75% / --
Lot 80 (Drive School)	Adventure Way	Collector	10' / 10'	200' (0')*	1 / 30'	7 / 0*	70 / per FLP	per FLP	75% / 75%
Lot 79 (Cottages)	Adventure Way	Collector	10' / 10'	820' (710')*	1 / 30'	28 / 21*	70 / per FLP	AV	75% / 75%
Townhomes Tract A	Adventure Way	Collector	10' / 10'	242'	1 / 30'	8 / 6	20 / per FLP	AT	75% / 75%
Future Lot 81	Adventure Way	Collector	10' / 10'	607'	1 / 30'	21 / --	-- / --	--per Future DP--	75% / 75%
Tract C	East Zone Boundary	A (Vacant)	-- / 85' +	1264'	1 / 30'	43 / 0 **	33 / 0 **		75% / 75%
Tract C	South Boundary	PUD (Open Space)	-- / 120' +	585'	N/A - Same Use/Zone				75% / 75%

Internal Landscaping

Lot	Net Site Area (SF)	Percent Minimum Internal Area (%)	Internal Area (SF) Required /Provided	Internal Trees (1/500 SF) Required /Provided	Shrub Substitutes Required /Provided	Internal Plant Abbr. Denoted on Plan	Percent Ground Plane Veg. Req. / Prov.
Lot 80 (Drive School)	259,969 S.F.	5%	12,998 / 194,400	26 / 0*	260 / Shrubs per FLP	per FLP	75% / 75%
Lot 79 (Cottages)	631,943 S.F.	15%	94,792 / 260,364	190 / 106	840 / Shrubs per FLP	IC	75% / 75%
Townhomes Tracts A & B	76,686 S.F.	15%	11,503 / 19,743	23 / 18	50 / Shrubs per FLP	IT	75% / 75%
Future Lot 81	51,172 S.F.	5%	2,559 / --	6 / --	-- / --	--per Future DP--	75% / --

Motor Vehicle Lots

No. of Vehicles Spaces within parking lots Provided	Shade Trees (1/15 spaces) Required /Provided	Motor Vehicle Abbr. Denoted on Plan	Percent Ground Plane Veg. Req. / Prov.
371	25 / 25	MV	75% / 75%

Landscape Buffer & Screens

See Code Section/Policy 323 & 317

Lot	Street Name or Property Line	Width (In Ft.) Req. Prov.	Linear Footage	Buffer Trees (1/20') Required /Provided	Evergreen Trees Req. (50%) /Prov.	Length of 6' Opaque Structure Req./Prov.	Buffer Tree Abbr. Denoted on Plan	Percent Ground Plane Veg. Req. / Prov.
Lot 80 (Drive School)	West buffer	15' / 15'	1300'	65 / 65***	33 / 65***	1300' / 1300'	WB	75% / 25%
Lot 80 (Drive School)	South buffer	15' / 300'	200'	10 / 0 **	5 / 0 **	200' / --**	WB	75% / 100%
Lot 79 (Cottages)	West buffer	15' / 50'	1075'	54 / 540 shrubs per FLP**	27 / 0*	1075' / --**	WB	75% / 100%
Tract C	South buffer	15' / 120'	525'	27 / 270 shrubs per FLP**	14 / 0*	525' / --**	WB	75% / 100%

* Shrub substitution maximum of 25% is not applied to 300' extent within utility easements on south and west sides of property
** Alternative Compliance has been approved
*** Per CSU allowance

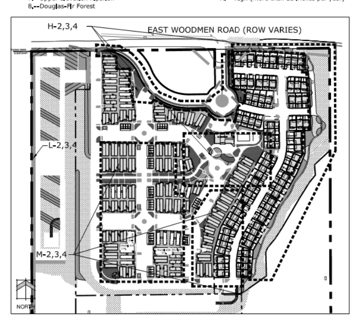
SCHEMATIC LANDSCAPE DIAGRAM

Name of Project: Cottages at Woodmen Heights Date: 02/20/2020

Climate Zone:

Foothills Foothills & Plains (Plains)

Plant Communities	Hydrozones
-to be labeled by numbers on diagram	- to be labeled by letters on diagram
1.--Semiarid Shrublands	V.-- Very Low (0 to 7 inches per year)
2.--Pinon-Juniper Woodlands	L.-- Low (7 to 15 inches per year)
3.--Prairie	M.-- Moderate (15 to 25 inches per year)
4.--Lower Elevation Riparian	H.-- High (more than 25 inches per year)
5.--Foothill Shrublands	
6.--Ponderosa Pine Forest	
7.--Upper Elevation Riparian	
8.--Douglas-Fir Forest	



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DEVELOPMENT PLAN

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Urban Design
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PLANNER / LANDSCAPE ARCHITECT

IN ASSOCIATION WITH

COTTAGES AT WOODMEN HEIGHTS

DEVELOPMENT PLAN

PROJECT INFO
DATE: 02/26/2020
PROJECT MGR: K. MARSHALL
PREPARED BY: B. PERKINS

SEAL

ISSUE INFO
ENTITLEMENT

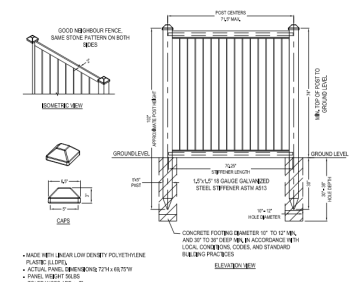
ISSUE / REVISION

DATE:	BY:	DESCRIPTION:
04/27/2020	BP	PER CITY REVIEW COMMENTS
06/11/2020	BP	PER CITY REVIEW COMMENTS

SHEET TITLE
PRELIMINARY LANDSCAPE NOTES & DETAILS

SHEET NUMBER
13 OF 25

PLAN FILE #
CPC PUD 20-00054

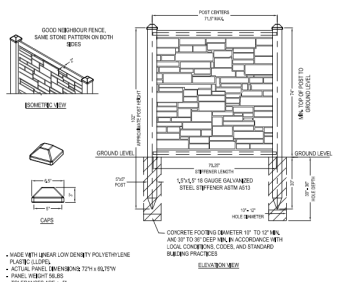


- MADE WITH LINEAR LOW DENSITY POLYETHYLENE PLASTIC (LLDPE).
- ACTUAL PANEL DIMENSIONS: 72"H x 66.75"W
- PANEL WEIGHT 56.8lb
- TOLERANCES ARE ±.5"

NOTES:
1. US PATENTS 7,478,797 / 7,635,114 FOREIGN PATENTS PENDING.
2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
3. ALL DIMENSIONS ARE CONSIDERED TRUE AND REFLECT MANUFACTURER'S SPECIFICATIONS.
4. DO NOT SCALE DRAWING.
5. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetail.com/info REFERENCE NUMBER: 4316-002.

1 6' SCREEN FENCE 1

SCALE: NOT TO SCALE



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2 6' SCREEN FENCE 2

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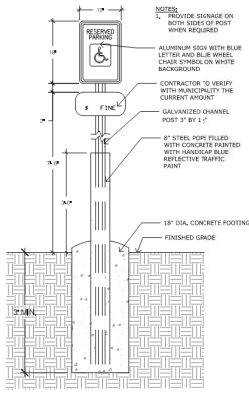

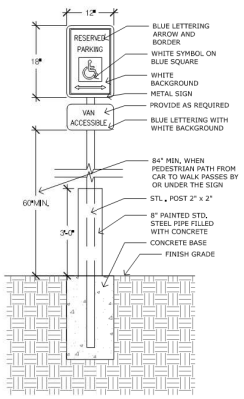

3 ADA SIGN

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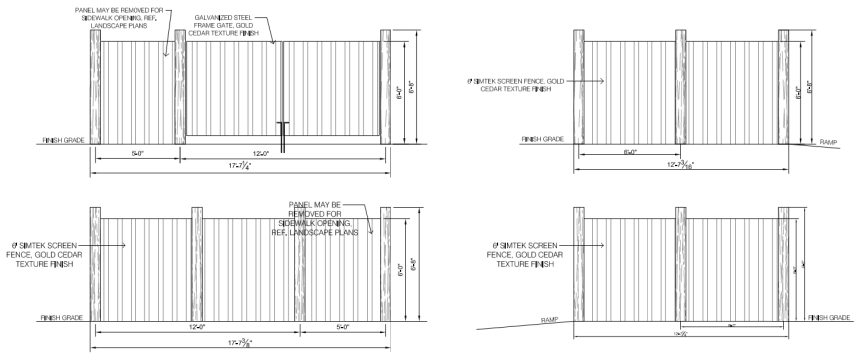

4 TRASH ENCLOSURE

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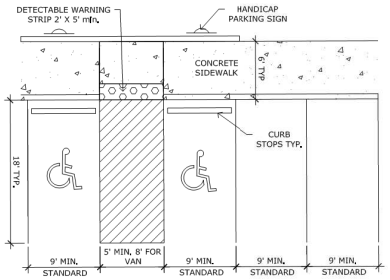

5 ADA & STANDARD PARKING STALL LAYOUT

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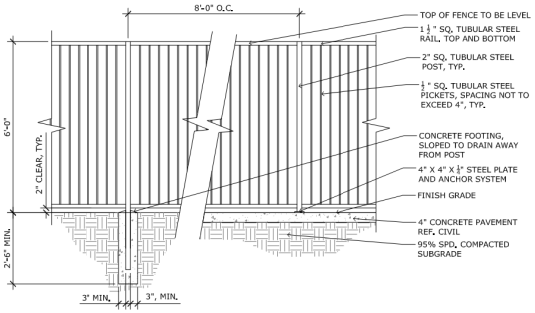
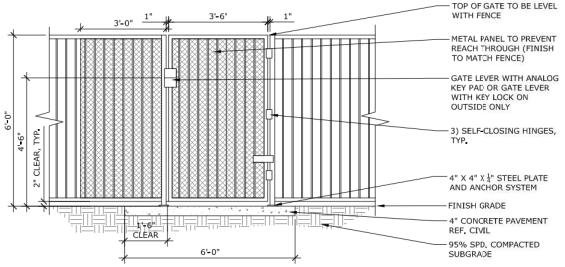


NOTES:
1. GRIND ALL ENDS SMOOTH
2. STEEL PLATES TO BE WELDED TO THE POST WITH A CONTINUOUS 1/4" WELD GROUND SMOOTH AND ALL PRIMED / PAINTED TO MATCH THE FENCE.
3. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR APPROVAL. FIELD VERIFY ALL DIMENSIONS

6 POOL FENCE

SCALE: NOT TO SCALE



7 POOL GATE

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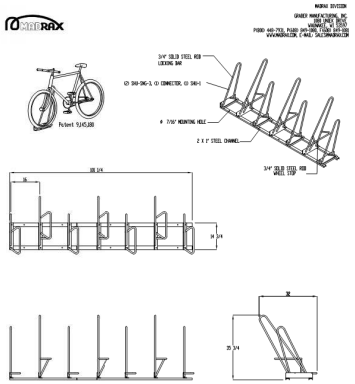

8 BIKE RACK

SCALE: NOT TO SCALE

DEVELOPMENT PLAN

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COTTAGES AT WOODMEN HEIGHTS

ADVENTURE WAY
COLORADO SPRINGS, CO 80923

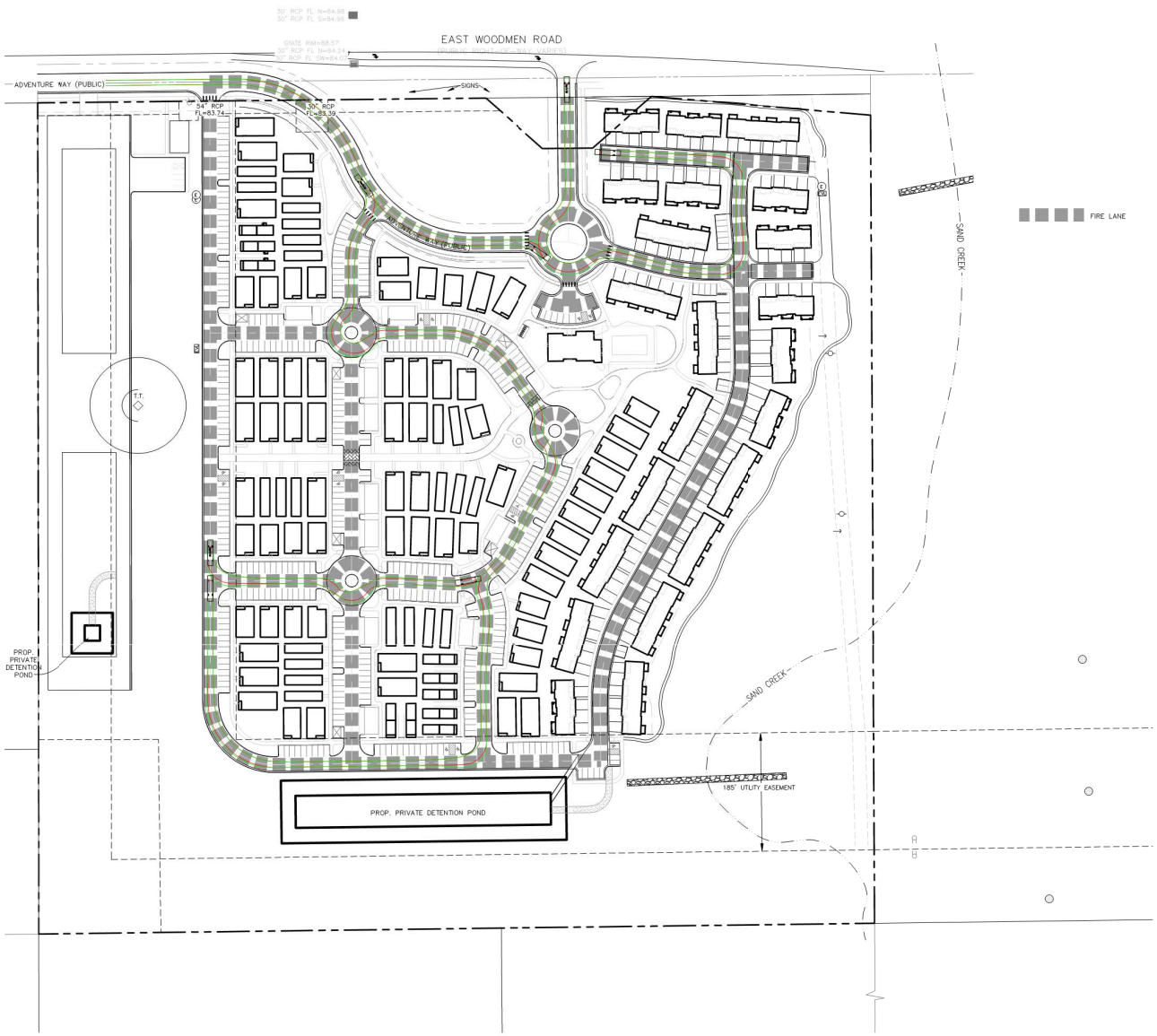
DATE:	03-26-2020
PROJECT MGR:	A.BARLOW
PREPARED BY:	K.MARSHALL

ENTITLEMENT

DATE	BY	DESCRIPTION
04/27/2020	BP	PER CITY REVIEW COMMENTS
06/11/2020	BP	PER CITY REVIEW COMMENTS

SITE DETAILS

CPC PUD 20-00054



80 40 0 80 160
SCALE: 1"=80'

Know what's below. Call before you dig.
CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

CITY LAND USE REVIEW FILE NO.: CPC PUD 20-00054

PREPARED BY:

DREXEL, BARRELL & CO.
Engineers • Surveyors
3 SOUTH 7TH STREET
COLORADO SPGS, COLORADO 80905
CONTACT: TIM D. McCONNELL, P.E.
(719)260-0887
BOULDER • COLORADO SPRINGS • GREELEY

CLIENT:

GOODWIN KNIGHT
8605 EXPLORER DRIVE, SUITE 250
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(719)-598-5192

DEVELOPMENT PLAN
COTTAGES @ WOODMEN HEIGHTS
7725 ADVENTURE WAY
COLORADO SPRINGS, COLORADO

ISSUE	DATE
INITIAL ISSUE	02-06-20
LATEST ISSUE	06-03-20

DESIGNED BY:	TDM
DRAWN BY:	GES
CHECKED BY:	TDM
FILE NAME:	21369-00AT1

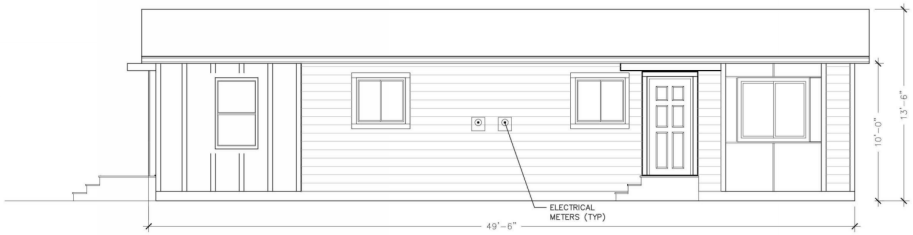
DRAWING SCALE:
HORIZONTAL: 1" = 80'
VERTICAL: N/A

FIRE TRUCK TURNING PATHS

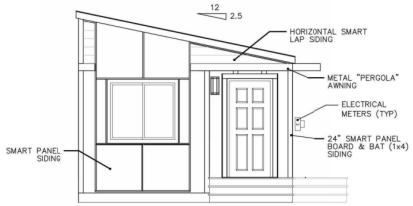
PROJECT NO. 21369-00CSCV
DRAWING NO.
AT01

SHEET: 15 OF 25

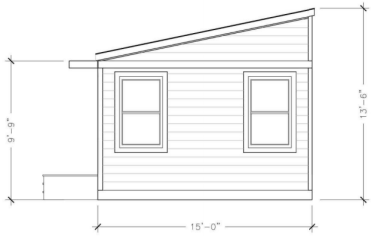
DEVELOPMENT PLAN



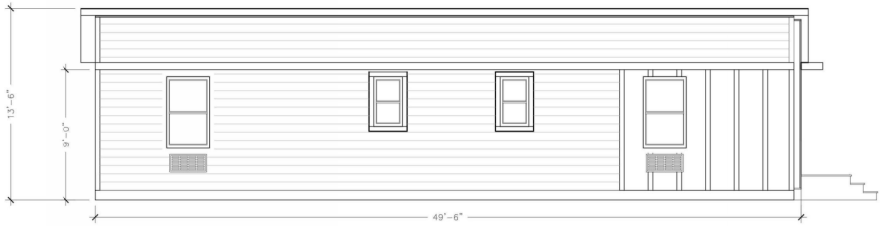
FRONT ELEVATION



LEFT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

ELEVATIONS SHOWN ARE CONCEPTUAL ONLY AND ARE PROVIDED TO ILLUSTRATE EXTERIOR MATERIALS AND GENERAL BUILDING WIDTH, DEPTH AND HEIGHTS. BUILDER RESERVES THE RIGHT TO MODIFY THE ELEVATIONS AND UNIT TYPES WITHOUT THE NEED TO RESUBMIT A DEVELOPMENT PLAN.

MANUFACTURER:

KEY
319 LOCKHEED STREET
PUEBLO MEMORIAL AIRPORT
INDUSTRIAL PARK
PUEBLO, CO 81011

PROJECT:

PROJECT:
KEY STRUCTURES
DUPLEX MODEL STUDIOS

CONSULTANTS:

DRAWN BY: KEY

DATE: 10.14.19

SCALE: 1/4" = 1'-0"

REVISIONS:

NO:	DATE:	DESCRIPTION:
1.	1.30.20	ADD DOOR

APPROVAL STAMPS:

QUOTE #

X

CPC PUD 20-00054

SHEET TITLE

ELEVATIONS

DRAWING NUMBER

16 of 25

ALL DRAWING AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF KEY STRUCTURES AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN CONSENT OF KEY STRUCTURES.

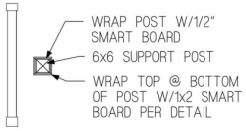
DEVELOPMENT PLAN

I:\Springs Land Ventures\Van Teylingen Roads\Drawings\Planning\Develop\VanTey Cottages_DP.dwg [TOKIN KON] 9/26/2019 4:29:53 PM tparkins

ATTENTION LOCAL INSPECTIONS DEPARTMENT:

THE SET-UP INSTRUCTIONS FOR THIS MODULAR BUILDING SHOULD BE PROVIDED BY THE BUILDING MANUFACTURER AND ATTACHED TO THESE PLANS. ANY PLAN SET WHICH DOES NOT INCLUDE AN ATTACHMENT ENTITLED SET-UP INSTRUCTIONS IS INCOMPLETE. IN ADDITION TO THE SET-UP THE FOLLOWING INSTRUCTIONS AND/OR INSTALLATIONS ARE SPECIFIED AND/OR REQUIRED IF APPLICABLE TO PROPERLY INSTALL THE BUILDING.

1. ON-SITE RAMPS, STAIRS AND GENERAL ACCESS TO THE BUILDING.
2. THE COMPLETED FOUNDATION SUPPORT SYSTEM, TIEDOWNS, AND/OR ANCHORAGE SYSTEMS.
3. ON-SITE FASTENINGS AT THE FLOOR AND ROOF RIDGE AT MATE LINES.
4. ON-SITE INSTALLATION OF INSULATION AT MATE LINES FOR FLOORS, CEILINGS AND ENDWALLS.
5. ALL EXPOSED ON-SITE PLUMBING (IE: CRAWL SPACE) SHOULD BE INSULATED TO PROTECT FROM FREEZING.
6. ATTIC VENTILATION (MIN. 1/150) ACHIEVED BY RIDGE AND GABLE VENTS (SITE INSTALLED). VENTILATION OF THE LOWER 1/2 OF ATTIC SPACE WILL BE MET THROUGH GABLE VENTS.
7. ON-SITE ELECTRICAL, PLUMBING, AND GAS INTERMODULE CONNECTIONS.
8. BUILDING DRAINS, CLEANOUTS, HOOK-UPS TO ON-SITE PLUMBING SYSTEMS.
9. ON-SITE HVAC INTERMODULE DUCT AND SYSTEM CONNECTIONS.
10. ON-SITE COMPLETION OF ROOF.
11. ON-SITE CONSTRUCTION OF COVERED PORCHES).
12. IF GUTTERS ARE INSTALLED BY MFG. OR SITE INSTALLED THEY SHALL ALSO HAVE GUTTER COVERS INSTALLED.
13. ON-SITE COMPLETION OF STAIRS IF APPLICABLE



POST DETAIL

ELEVATION NOTES:

IF APPLICABLE, HANDICAP RAMP(S), STAIR(S), AND HANDRAILS ARE SITE INSTALLED, DESIGNED BY OTHERS AND SUBJECT TO LOCAL CODES.

THIS STRUCTURE IS A MODULAR (FACTORY BUILT) BUILDING WHICH IS TO BE CONSTRUCTED AND INSPECTED IN ACCORDANCE WITH AN APPROVED THIRD PARTY QUALITY ASSURANCE PROGRAM TO INSURE COMPLIANCE WITH THE REFERENCED CODES.

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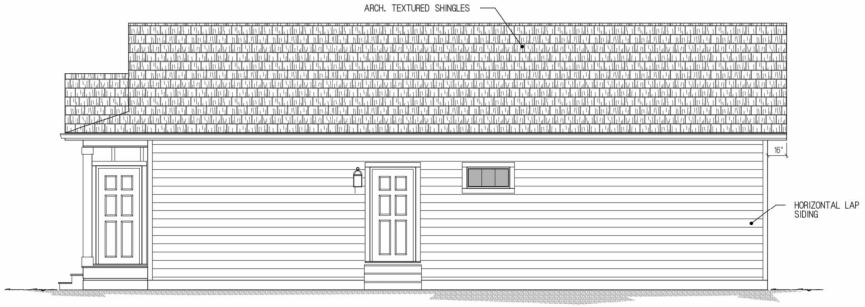
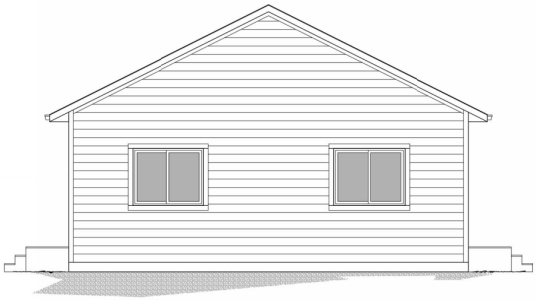
FRONT ELEVATION

F-1



RIGHT ELEVATION

RT-1



REAR ELEVATION

R-1

LEFT ELEVATION

L-1

MANUFACTURER:

KEY STRUCTURES
319 LOCKHEED STREET
PUEBLO MEMORIAL AIRPORT
INDUSTRIAL PARK
PUEBLO, CO 81011

PROJECT:

PROJECT:
KEY STRUCTURES
DUPLEX MODEL TYPE 1

CONSULTANTS:

DRAWN BY: KEY

DATE: 10.14.19

SCALE: 1/4" = 1'-0"

REVISIONS:

NO:	DATE:	DESCRIPTION:
1.	1.30.20	ADD DOOR

APPROVAL STAMPS:

QUOTE #

X

CPC PUD 20-00054

SHEET TITLE

ELEVATIONS

DRAWING NUMBER

17 of 25

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DEVELOPMENT PLAN

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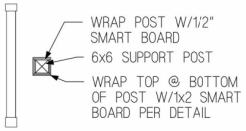

POST DETAIL

ELEVATION NOTES:

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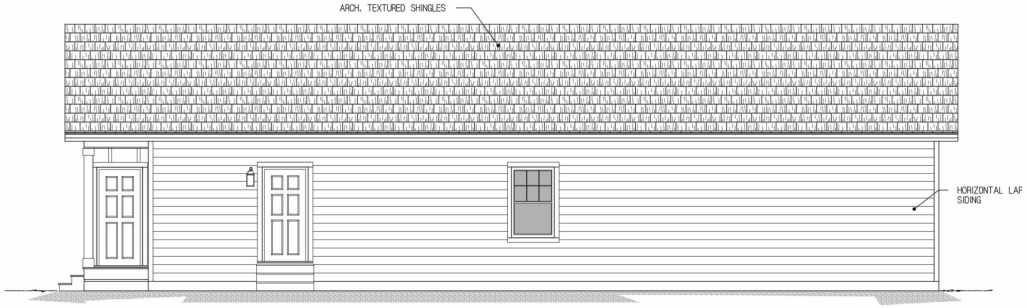
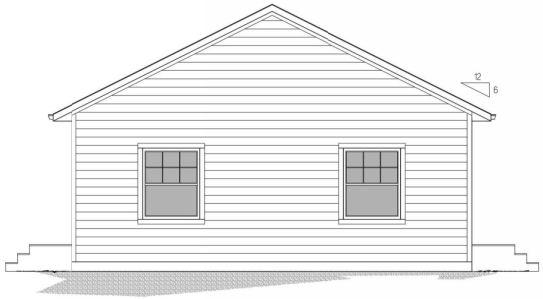
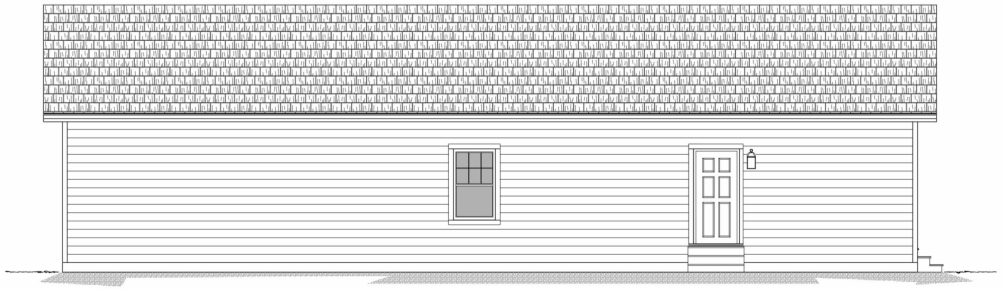
FRONT ELEVATION
F-1



RIGHT ELEVATION
RT-1



REAR ELEVATION
R-1



LEFT ELEVATION
L-1

MANUFACTURER:

KEY STRUCTURES
319 LOCKHEED STREET
PUEBLO MEMORIAL AIRPORT INDUSTRIAL PARK
PUEBLO, CO 81011

PROJECT:

KEY STRUCTURES
DUPLEX MODEL TYPE 2A

CONSULTANTS:

DRAWN BY: KEY
DATE: 10.14.19
SCALE: 1/4" = 1'-0"

REVISIONS:

NO:	DATE:	DESCRIPTION:
1.	2.3.20	ADD DOORS

APPROVAL STAMPS:

QUOTE #
X

CPC PUD 20-00054

SHEET TITLE
ELEVATIONS

DRAWING NUMBER
18 of 25

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF KEY STRUCTURES AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN CONSENT OF KEY STRUCTURES.

DEVELOPMENT PLAN

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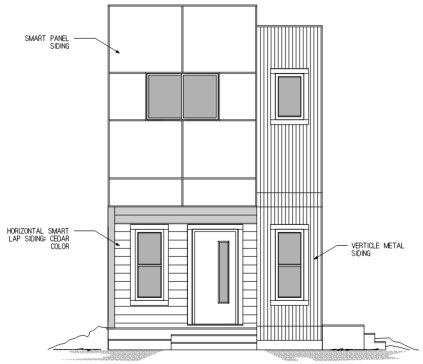
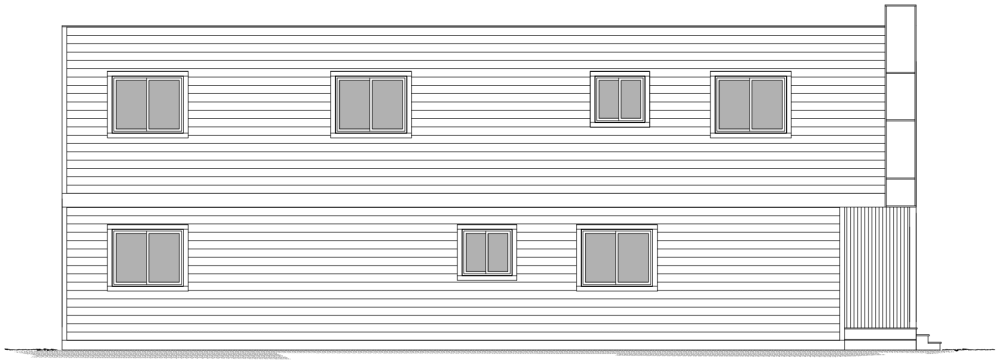
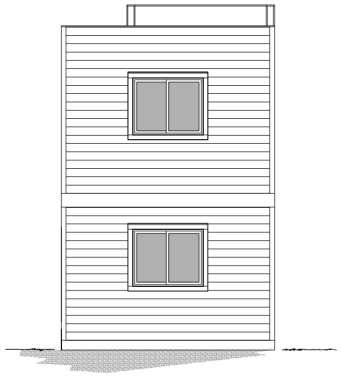


FRONT ELEVATION
OPTION 1

RIGHT ELEVATION
OPTION 1



LEFT ELEVATION
OPTION 1



REAR ELEVATION
OPTION 1

MANUFACTURER:

KEY STRUCTURES
319 LOCKHEED STREET
PUEBLO MEMORIAL AIRPORT
INDUSTRIAL PARK
PUEBLO, CO 81011

PROJECT:

KEY STRUCTURES
CUSTOM SINGLE WIDE 2 STORY
PIKEVIEW DUPLEX MODEL TYPE 2B
PIKEVIEW RESIDENTIAL COMMUNITY
0 NORTH CASCADE AVE.
COLORADO SPRINGS, CO 80907

CONSULTANTS:

DRAWN BY: LCL

DATE: 11.2.18

SCALE: 1/4" = 1'-0"

REVISIONS:

NO:	DATE:	DESCRIPTION:
1.	11.27.18	NEW VERSIONS
2.	11.28.18	REDLINES
3.	1.30.20	DOOR ADD

APPROVAL STAMPS:

QUOTE *

X

CPC PUD 20-00054

SHEET TITLE

ELEVATIONS

DRAWING NUMBER

19 of 25

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DEVELOPMENT PLAN

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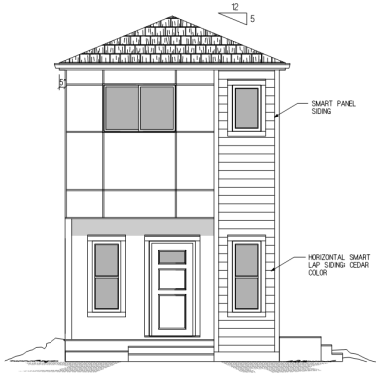
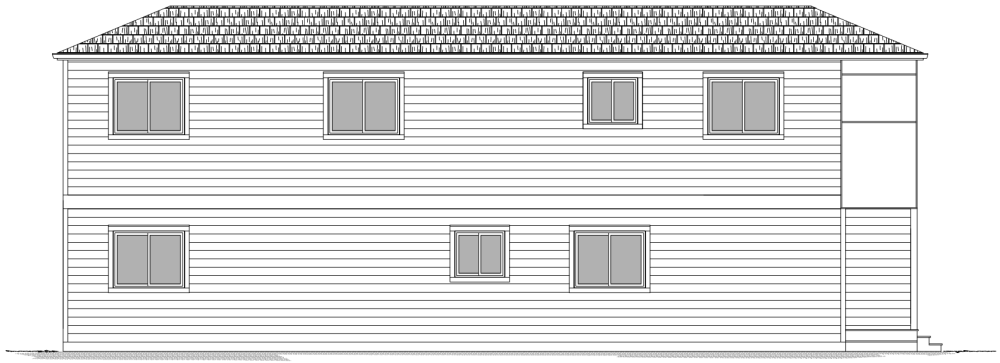
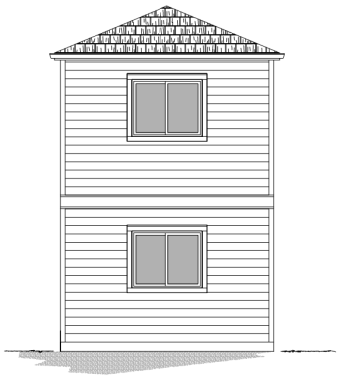


FRONT ELEVATION
OPTION 3

RIGHT ELEVATION
OPTION 3



LEFT ELEVATION
OPTION 3



REAR ELEVATION
OPTION 3

MANUFACTURER:

KEY STRUCTURES
319 LOCKHEED STREET
PUEBLO MEMORIAL AIRPORT
INDUSTRIAL PARK
PUEBLO, CO 81011

PROJECT:

KEY STRUCTURES
CUSTOM SINGLE WIDE 2 STORY
PIKEVIEW DUPLEX MODEL TYPE 2B
PIKEVIEW RESIDENTIAL COMMUNITY
0 NORTH CASCADE AVE.
COLORADO SPRINGS, CO 80907

CONSULTANTS:

DRAWN BY: LCL

DATE: 12.13.18

SCALE: 1/4" = 1'-0"

REVISIONS:

NO:	DATE:	DESCRIPTION:
1.	1.30.20	DOOR ADD

APPROVAL STAMPS:

QUOTE #

X

CPC PUD 20-00054

SHEET TITLE

ELEVATIONS

DRAWING NUMBER

20 of 25

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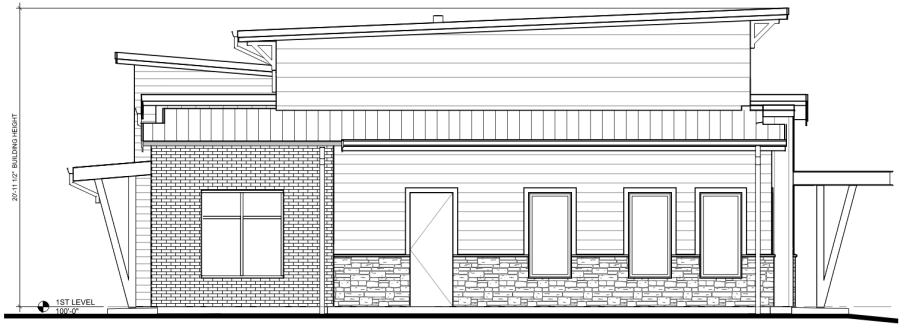
4 REAR ELEVATION
1/4" = 1'-0"



3 SIDE ELEVATION
1/4" = 1'-0"

2 SIDE ELEVATION
1/4" = 1'-0"

1 FRONT ELEVATION
1/4" = 1'-0"

DEVELOPMENT PLAN

Godden|Sudik
ARCHITECTS
SEE WHAT COULD BE
303.455.4437
www.goddensudik.com

5975 S. Quebec Street
Suite 250
Centennial, CO 80111

NOT FOR CONSTRUCTION

WOODMEN HEIGHTS

CLUBHOUSE

NOT FOR CONSTRUCTION

DRAWN BY: CW

CHECKED BY: CW

ISSUE DATE: 02/06/2020

REVISIONS:

CLUBHOUSE ELEVATIONS

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CPC PUD 20-00054

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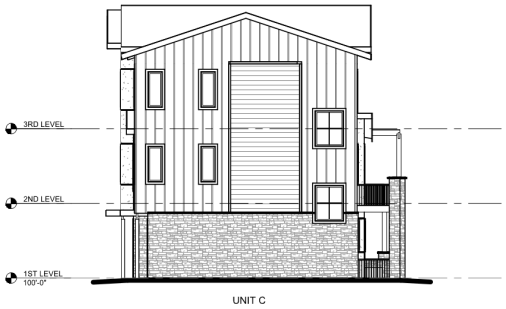
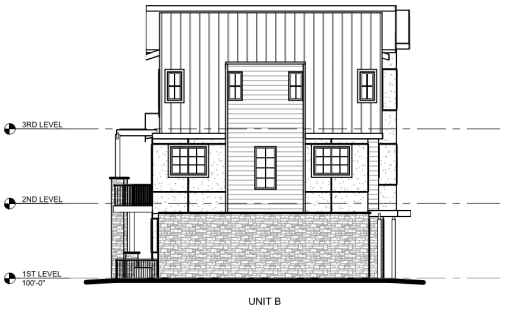


4 RIGHT SIDE ELEVATION
1/8" = 1'-0"

3 REAR ELEVATION
1/8" = 1'-0"



2 LEFT SIDE ELEVATION
1/8" = 1'-0"

1 FRONT ELEVATION
1/8" = 1'-0"

DEVELOPMENT PLAN

Godden|Sudik
ARCHITECTS
SEE WHAT COULD BE
303.455.4437
www.goddensudik.com

5975 S. Quebec Street
Suite 250
Centennial, CO 80111

NOT FOR CONSTRUCTION

WOODMEN HEIGHTS

TOWNHOMES

NOT FOR CONSTRUCTION

DRAWN BY: DA

CHECKED BY: CW

ISSUE DATE: 02/06/2020

REVISIONS:

3-PLEX - ELEVATIONS

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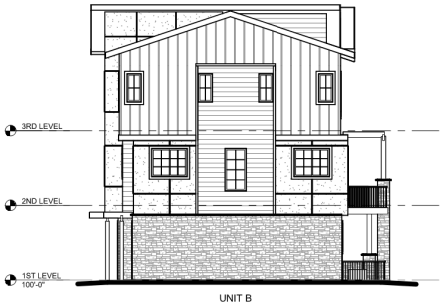

4 RIGHT SIDE ELEVATION
1/8" = 1'-0"

3 REAR ELEVATION
1/8" = 1'-0"

2 LEFT SIDE ELEVATION
1/8" = 1'-0"

1 FRONT ELEVATION
1/8" = 1'-0"

DEVELOPMENT PLAN

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Suite 250
Centennial, CO 80111

NOT FOR CONSTRUCTION

WOODMEN HEIGHTS

TOWNHOMES

NOT FOR CONSTRUCTION

DRAWN BY: DA

CHECKED BY: CW

ISSUE DATE: 02/06/2020

REVISIONS:

4-PLEX - ELEVATIONS

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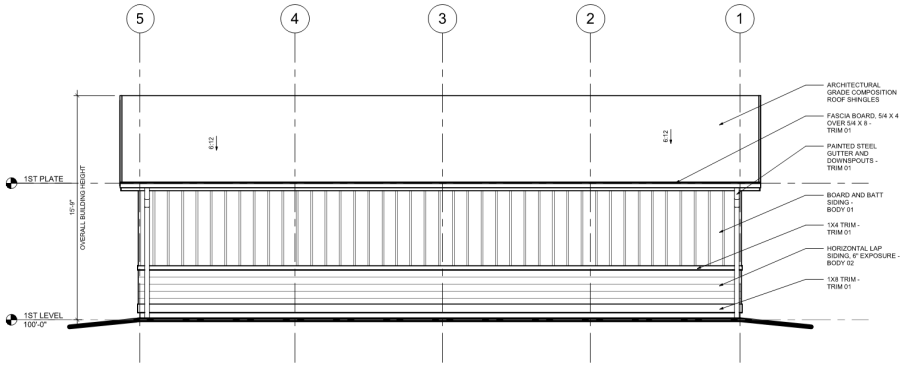
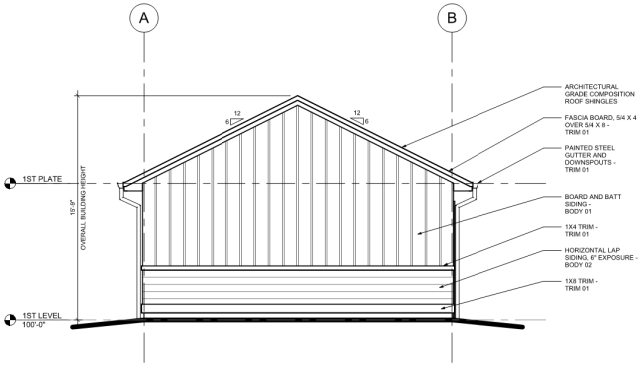
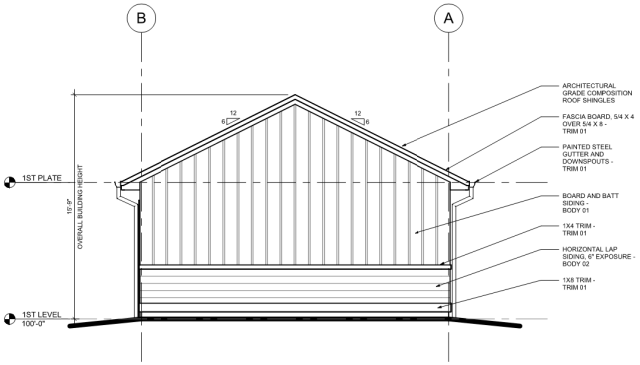
CPC PUD 20-00054



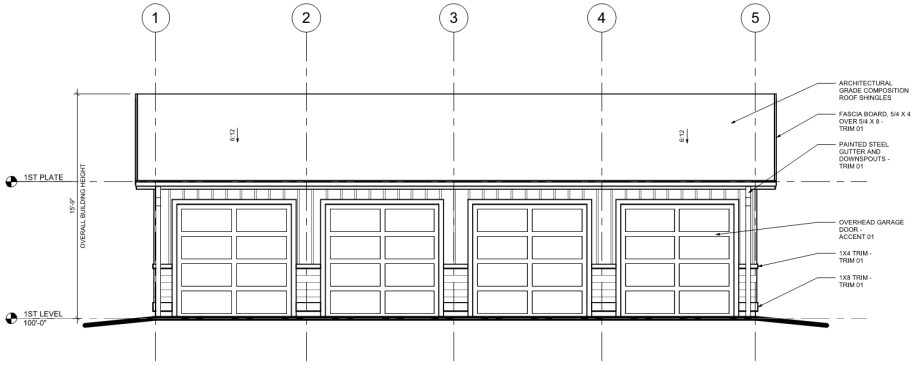
4 REAR ELEVATION - STANDARD
1/4" = 1'-0"



3 LEFT SIDE ELEVATION - STANDARD
1/4" = 1'-0"



2 RIGHT SIDE ELEVATION - STANDARD
1/4" = 1'-0"



1 FRONT ELEVATION - STANDARD
1/4" = 1'-0"

DEVELOPMENT PLAN

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GOODWIN KNIGHT 4-BAY DETACHEDGARAGE

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CHECKED BY: CW

ISSUE DATE: 01/12/2020

REVISIONS:

STANDARD GARAGE ELEVATIONS

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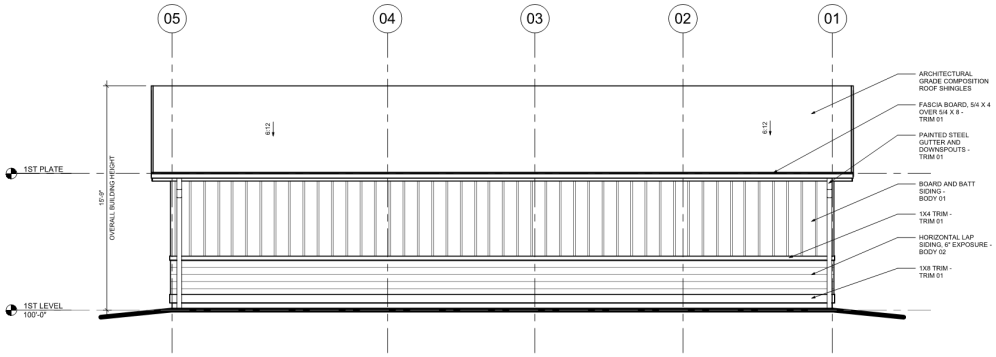
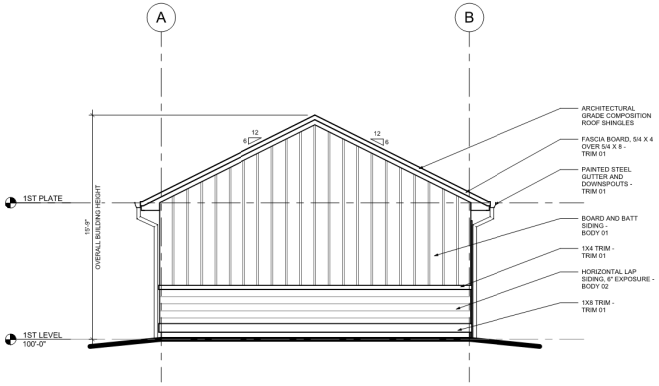
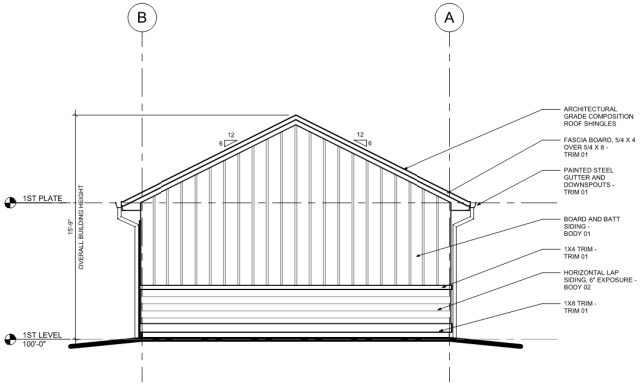


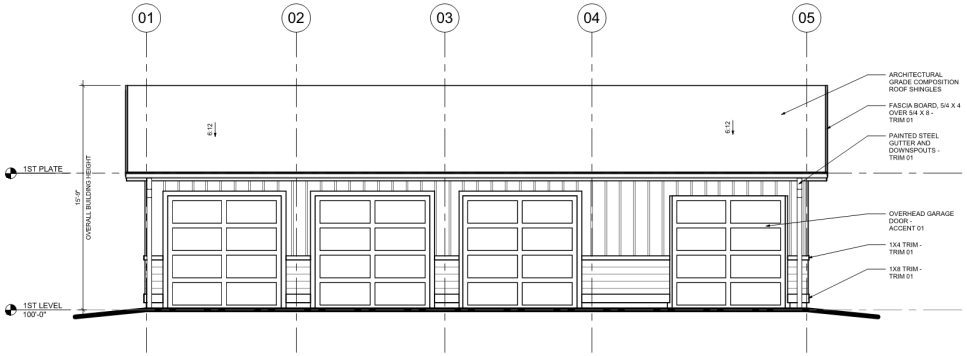
4 REAR ELEVATION - HC
1/4" = 1'-0"



3 LEFT SIDE ELEVATION - HC
1/4" = 1'-0"



2 RIGHT SIDE ELEVATION - HC
1/4" = 1'-0"



1 FRONT ELEVATION - HC
1/4" = 1'-0"

DEVELOPMENT PLAN

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