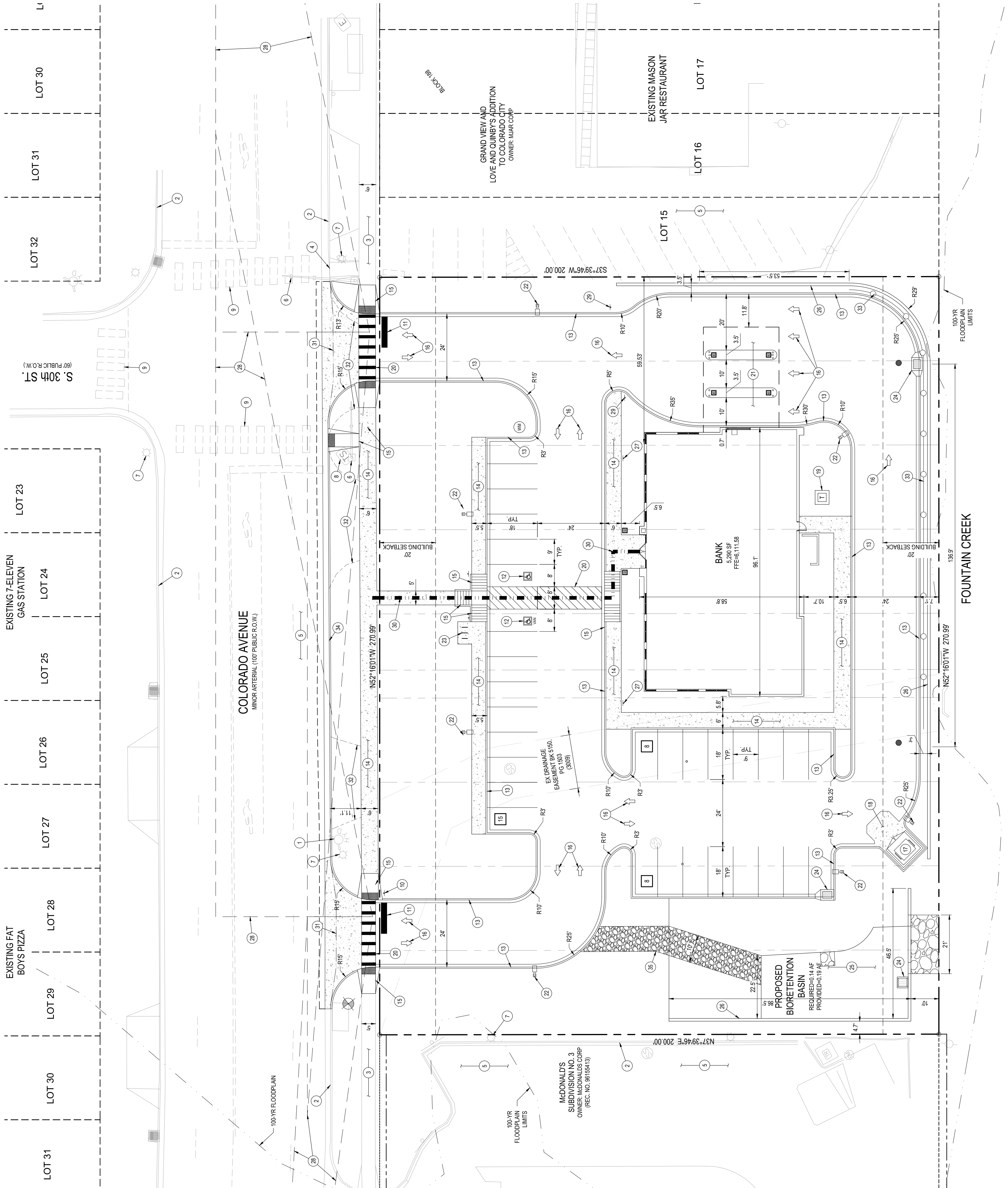


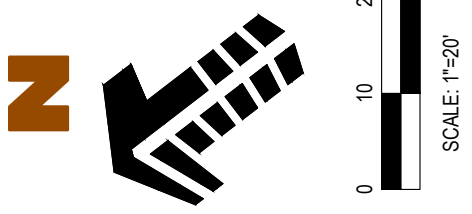
SITE DEVELOPMENT PLAN Ent CREDIT UNION

LOTS 6-14 BLOCK 188, LOVE AND QUINBY'S ADDITION TO COLORADO CITY
IN THE NORTHEAST QUARTER OF SECTION 10, T14S, R67W OF THE 6TH P.M.,
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



LEGEND

- PROPERTY BOUNDARY LINE
- ADJACENT PROPERTY BOUNDARY LINE
- EASEMENT BOUNDARY LINE
- EXISTING TO BE REMOVED
- PROPOSED CURB AND GUTTER
- PROPOSED ADA ROUTE
- PROPOSED NEW
- 100-YEAR FLOODPLAIN LIMITS
- EXISTING FIRE HYDRANT
- EXISTING SEWER MANHOLE
- EXISTING STORM SEWER MANHOLE
- EXISTING ELECTRICAL VAULT
- EXISTING TRANSFORMER
- EXISTING ELECTRICAL CABINET
- EXISTING LIGHT POLE
- PROPOSED TRANSFORMER & PAD
- PROPOSED SITE LIGHTING
- PROPOSED MANHOLE COVER
- PROPOSED INLET
- PROPOSED MANHOLE
- TRAFFIC DIRECTION
- PARKING COUNT
- BIKE RACK



SCHEDULE

- 1) EXISTING FIRE HYDRANT TO REMAIN
- 2) EXISTING VERTICAL CURB AND GUTTER TO REMAIN
- 3) EXISTING CONCRETE SIDEWALK TO REMAIN
- 4) EXISTING ADA RAMP TO REMAIN
- 5) EXISTING ASPHALT PAVING TO REMAIN
- 6) EXISTING TRAFFIC SIGNAL TO REMAIN
- 7) EXISTING STREET LIGHT TO REMAIN
- 8) EXISTING UTILITY PEDESTAL TO REMAIN
- 9) EXISTING CROSSWALK TO REMAIN
- 10) PROPOSED R1.1 'STOP SIGN
- 11) PROPOSED 'STOP BAR
- 12) PROPOSED PAI8 ADA PARKING STALL W/ 9'x18' PAINTED ACCESSIBLE AND SIGNAGE
- 13) PROPOSED 6" CURB AND 12" GUTTER
- 14) PROPOSED CONCRETE SIDEWALK (SIZE AS NOTED)
- 15) PROPOSED ADA RAMP (REFERENCE CITY STANDARD D-8)
- 16) PROPOSED DIRECTIONAL ARROW
- 17) PROPOSED TRASH ENCLOSURE (REF ARCH PLANS)
- 18) PROPOSED HEAVY DUTY CONCRETE PAVING AT TRASH ENCLOSURE
- 19) PROPOSED ELECTRICAL TRANSFORMER
- 20) PROPOSED ELECTRICAL STRIPING
- 21) PROPOSED DRIVE THRU ATM AREA (REF ARCH PLANS)
- 22) PROPOSED SHAPED BIKE RACK
- 23) PROPOSED SITE LIGHT
- 24) PROPOSED STORM STRUCTURE
- 25) PROPOSED BIORETENTION BASIN
- 26) PROPOSED SEGMENTAL RETAINING WALL
- 27) PROPOSED 'NO PARKING - FIRE LANE' SIGN
- 28) PROPOSED SITE VISIBILITY TRIANGLE (65' x 280' AND 274' x 287' PER AASHTO)
- 29) PROPOSED 'DO NOT ENTER' SIGN
- 30) PROPOSED ADA ROUTE
- 31) PROPOSED CROSSSLOPE PER CITY STANDARD D-7
- 32) EXISTING SITE ACCESS TO BE REMOVED
- 33) PROPOSED COOT TYPE 3 W-BEAM GUARD RAIL
- 34) PROPOSED TYPE 1 CURB AND GUTTER PER CITY STANDARD D-4
- 35) PROPOSED MAINTENANCE ACCESS

BENCHMARK

VPT #1 (FMS) NO. 29
ELEVATIONS FOR THIS SITE WERE BASED ON THE COLORADO SPRINGS UTILITIES FACILITIES INFORMATION MANAGEMENT SYSTEM (FIMS) BENCHMARK VPT #1 (ELEVATION 5831.77 NSVD 29). VPT #1 IS LOCATED AT THE CORNER OF THE INTERSECTION OF THE 3435 STREET AND FOUNTAIN CREEK, ABOUT 270 FEET SOUTH OF THE CENTERLINE OF U.S. HIGHWAY 24. A TELEPHONE POLE WITH A FIMS SHANER IS 97.70 FEET TO THE SOUTH AND A UTILITY POLE WITH A FIMS SPINNER IS 55.89 FEET TO THE NORTHWEST.

TEMPORARY BENCHMARKS

TEMP #1
INSPIRED AT ON SE CORNER OF CONCRETE PAD
MADE IN CONCRETE

TEMP #2
INSPIRED AT ON SE CORNER OF CONCRETE PAD
MADE IN CONCRETE

BASIS OF BEARING

ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM. THE GRID BENCHMARK IS THE CORNER OF THE INTERSECTION OF U.S. HIGHWAY 24 AND FOUNTAIN CREEK, MONUMENTED ON THE NORTH WITH 4.2" ALUMINUM CAP, THE SOUTH WITH 3.5" ALUMINUM CAP, THE EAST WITH 3.5" ALUMINUM CAP, AND THE WEST WITH 3.5" ALUMINUM CAP. THE BEARING OF LOT 8, AND IS CONSIDERED TO BEAR 182° 19' 00".

Ent CREDIT UNION
LOTS 6-14 BLOCK 188,
LOVE AND QUINBY'S ADDITION
TO COLORADO CITY
3005 & 3009 W. COLORADO AVE,
COLORADO SPRINGS, COLORADO

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#	Date	Issue / Description	Init.

Project No: ECU2002010
 Drawn By: RDG
 Checked By: JRR
 Date: SEPTEMBER 26, 2018
SITE PLAN

2
2 of 12
SPACE RESERVED FOR CITY STAMP

Galloway
 Architecture Engineering
 1450 S. W. 14th Ave.
 Greenwood Village, CO 80111
 303.770.8884
 www.galloway.us.com
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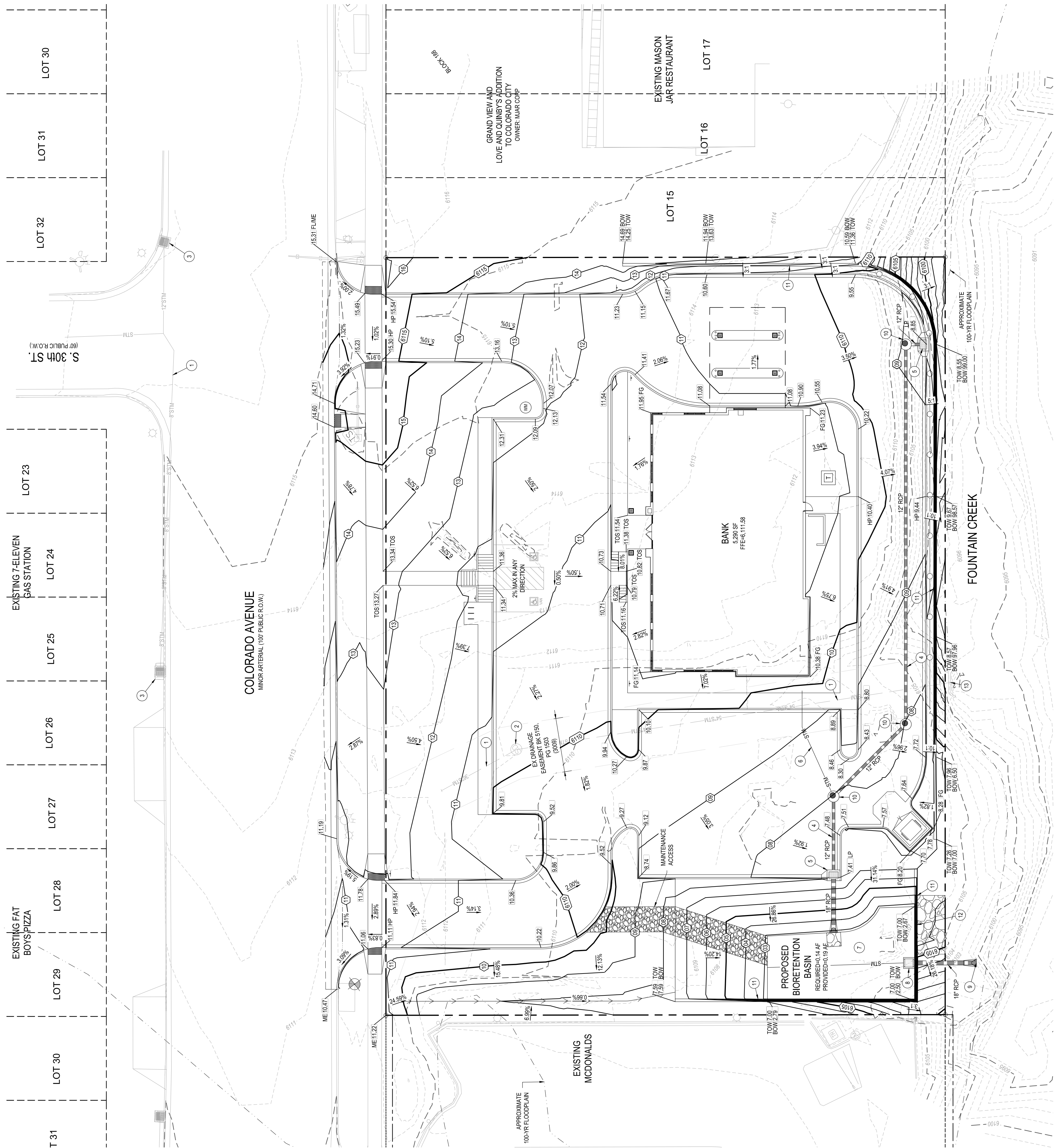
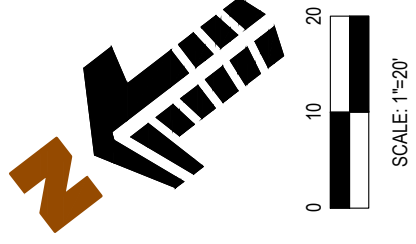
Ent

FIGURE 1

CPC DP 18-00135

SITE DEVELOPMENT PLAN Ent CREDIT UNION

LOTS 6-14 BLOCK 188, LOVE AND QUINBY'S ADDITION TO COLORADO CITY
IN THE NORTHEAST QUARTER OF SECTION 10, T14S, R67W OF THE 6TH P.M.,
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



GRADING LEGEND

- PROPERTY BOUNDARY LINE
- ADJACENT PROPERTY BOUNDARY LINE
- EASEMENT BOUNDARY LINE
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED STORM SEWER
- PROPOSED STORM SEWER (LESS THAN 12')
- 100-YEAR FLOODPLAIN LIMITS
- PROPOSED SPOT ELEVATION
- FINISHED FLOOR
- FINISHED GRADE
- MATCH EXISTING
- LOW POINT
- HIGH POINT
- TOP OF SIDEWALK
- TOW
- FINISHED GRADE AT TOP OF WALL
- FINISHED GRADE AT BOTTOM OF WALL
- PROPOSED MANHOLE
- PROPOSED INLET

- ### GRADING NOTES
- ADD 6100 TO ALL SPOT GRADE ELEVATIONS LESS THAN 50.
 - ADD 6000 TO ALL SPOT GRADE ELEVATIONS GREATER THAN 50.
 - REQUIREMENTS SHOWN ON SITE PLAN SHALL GOVERN. DRAWINGS AND SPECIFICATIONS SHOWING OTHERWISE NOTWITHSTANDING CONTRACTOR TO POINT OUT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO BID.
 - CONTRACTOR MUST OBTAIN ALL STATE AND CITY STORM WATER DISCHARGE AND EROSION CONTROL PERMITS PRIOR TO ANY DISTURBANCE AND/OR GRADING ACTIVITY.
 - ALL FILL IN OLD TANK AREAS, OLD BASEMENTS, GESSPOOLS, OTHER EXCAVATIONS AND INSIDE BUILDING TO BE APPROVED BY GEOTECHNICAL ENGINEER.
 - FINAL GRADES ARE SUBJECT TO MINOR CHANGE BY COMPANY REPRESENTATIVE. NO GRADE CHANGES IN EXCESS OF 0.08 WITHOUT COMPANY APPROVAL.
 - ANY FILL MATERIAL REQUIRED TO BRING THE SITE TO GRADE SHALL BE CLEAN FILL DIRT APPROVED BY GEOTECHNICAL ENGINEER AND SHALL BE PLACED AND COMPACTED PER GEOTECHNICAL REPORT RECOMMENDATIONS.
 - SET PROPERTY CORNER PINS IN CONCRETE. IF PROPERTY CORNERS ARE DESTROYED BY CONTRACTOR, THE CONTRACTOR SHALL BEAR THE EXPENSE OF RELOCATION CORNERS BY A REGISTERED SURVEYOR.
 - THIS DESIGN IS BASED ON A GEOTECHNICAL INVESTIGATION. A COPY OF THIS REPORT IS AVAILABLE FOR INSPECTION BY THE CONTRACTORS.
 - ALL SPOT GRADES ARE TO FOLLOW UNLESS OTHERWISE NOTED.
 - GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MARKING LOCATION OF ON-SITE SEGMENTS ONTO SURROUNDING PUBLIC STREETS DURING CONSTRUCTION.
 - ALL LANDSCAPING AREAS SHALL BE GRADED TO WITHIN 0.10' WITH COMPANY APPROVED TOP SOIL TO A MINIMUM 6" DEPTH.
 - GENERAL CONTRACTOR TO PROVIDE BARRICADE PROTECTION WITH FLASHING LIGHTS AROUND ALL FOOTINGS, EXCAVATIONS AND ALL OFFSITE WORK.
 - PROPOSED FLOWLINE ELEVATION DOES NOT TAKE INTO ACCOUNT GUTTER DEPRESSION AT INLET.

- ### SCHEDULE
- EXISTING STORM SEWER TO REMAIN
 - EXISTING STORM SEWER MANHOLE TO REMAIN
 - EXISTING STORM SEWER INLET TO REMAIN
 - PROPOSED STORM SEWER LINE (PRIVATE)
 - PROPOSED STORM SEWER INLET (PRIVATE)
 - PROPOSED STORM SEWER MANHOLE (PRIVATE)
 - PROPOSED BIORETENTION BASIN (PRIVATE)
 - PROPOSED OUTLET STRUCTURE (PRIVATE)
 - PROPOSED STORM SEWER OUTLET INTO FOUNTAIN CREEK
 - PROPOSED STORM SEWER MANHOLE (PRIVATE)
 - PROPOSED SEGMENTAL RETAINING WALL
 - PROPOSED EMERGENCY SPILLWAY
 - EXISTING STORM OUTFALL TO REMAIN
 - PROPOSED MAINTENANCE ACCESS

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LOTS 6-14 BLOCK 188,
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TO COLORADO CITY,
3005 & 3009 W. COLORADO AVE.,
COLORADO SPRINGS, COLORADO

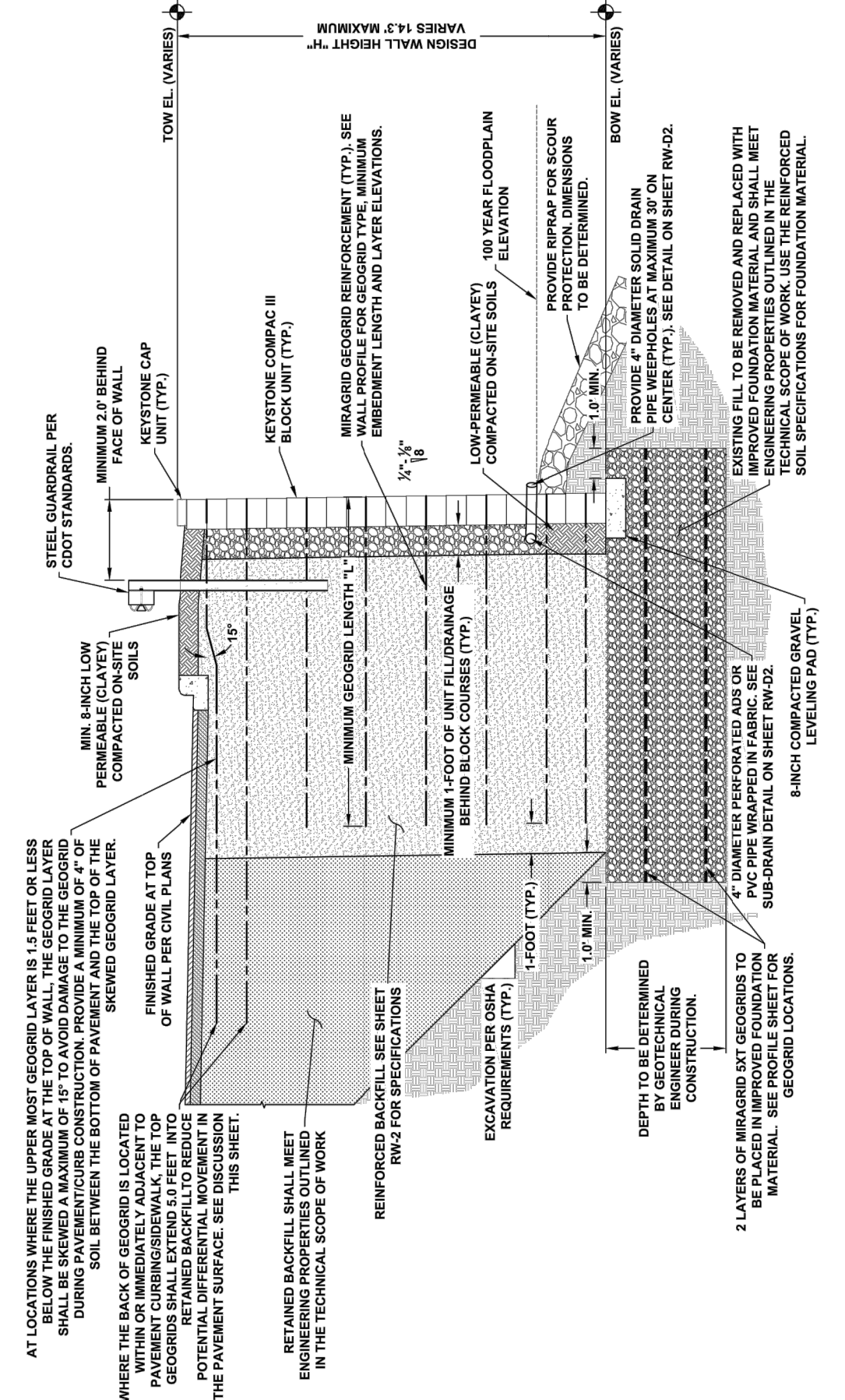
#	Date	Issue / Description	Init.

Project No:	ECU000019
Drawn By:	RDG
Checked By:	JRR
Date:	SEPTEMBER 5, 2018

GRADING PLAN

SPACE RESERVED FOR CITY STAMP

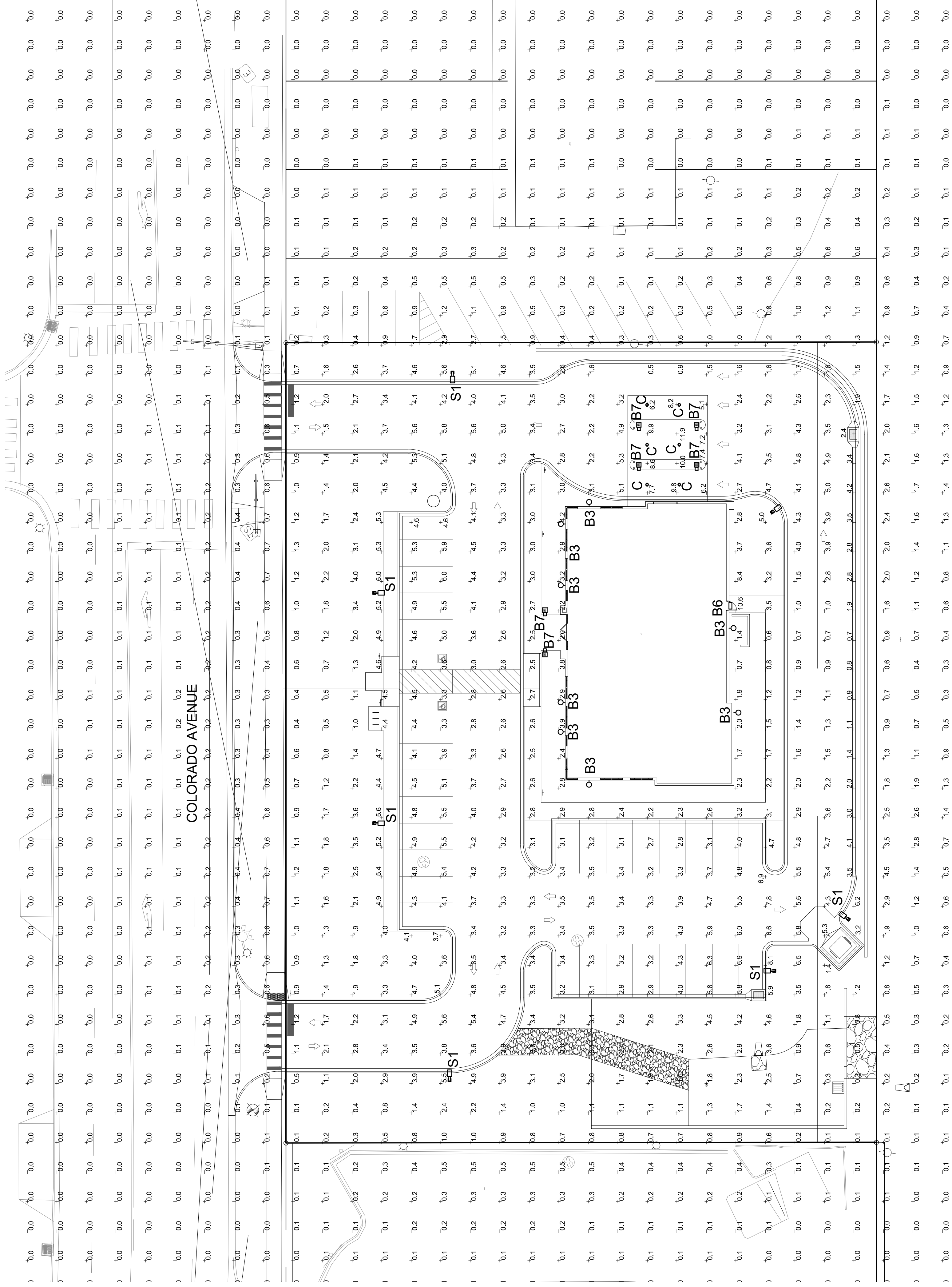
1 TYPICAL RETAINING WALL CROSS SECTION (NOT TO SCALE)



SITE DEVELOPMENT PLAN

Ent CREDIT UNION

LOTS 6-14 BLOCK 188, LOVE AND QUINBY'S ADDITION TO COLORADO CITY
IN THE NORTHEAST QUARTER OF SECTION 10, T14S, R67W OF THE 6TH P.M.
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



1 PHOTOMETRIC SITE PLAN
SCALE: 1"=20'-0"

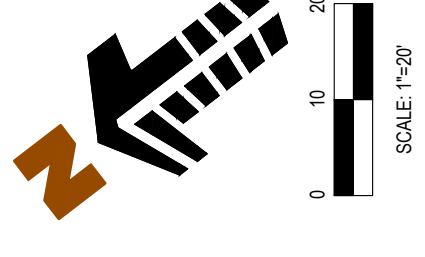
CALCULATION SUMMARY

LABEL	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
FRONT PARKING	FC	4.86	6.0	3.3	1.41 to 1	2.62 to 1
PARKING	FC	3.63	2.8	1.1	3.30 to 1	2.09 to 1
DRIVE/UP CANOPY	FC	8.18	11.9	5.1	1.60 to 1	2.33 to 1
REAR DRIVE	FC	2.46	5.0	0.7	3.51 to 1	7.14 to 1
LIFE SAFETY PATH	FC	3.02	5.0	0.7	3.51 to 1	8.23 to 1

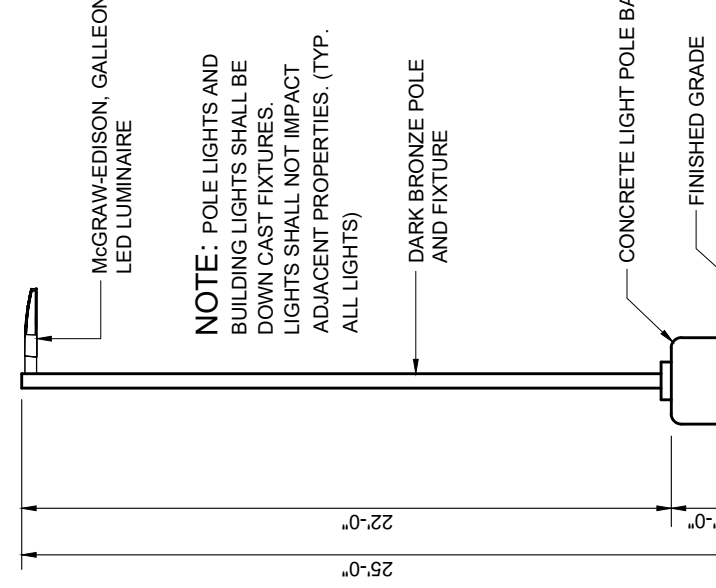
LUMINAIRE SCHEDULE

SYMBOL	QTY	LABEL	ARRANGE	MOUNTING	HEIGHT	LF	SOURCE	MODEL NUMBER	DESCRIPTION	LUMENS	WATTS
□	7	S1	SINGLE	POLE	25'-0"	10	LED	GLECON-FA-04-LED-ET-4F-BZ	EATON LIGHTING, LED AREA LUMINAIRE, TYPE IV DISTRIBUTION, BRONZE COLOR	24156	225
○	8	B3	SINGLE	WALL	8'-0"	1.0	LED	B300K-468B02L16	KICHLER LIGHTING, TOMAN T LIGHT LED OUTDOOR WALL, 0Z, 800 LUMENS, OPAQUE CYLINDER, OLDE BRONZE COLOR	800	9
□	1	B6	SINGLE	WALL	8'-0"	1.0	LED	WD40-4-535-50L-4R-VOLT-OB	KIM LIGHTING, WALL DIRECTOR FULL CUT-OFF LED LUMINAIRE, 90 LED'S, 4000K CCT, DARK BRONZE COLOR	4773	83
○	6	B7	SINGLE	WALL	10'-0"	1.0	LED	232-08-651N-50	DELLA LUCENTE, ROX S UPLIGHT, DARK GREY COLOR, 500MA DRIVER, 3000K CCT	67	2
○	6	C	SINGLE	SOFFIT	14'-0"	1.0	LED	COLED22PACLED1558	PRESCOTT, 6" LED DOWNLIGHT, FULLY RECESSED, 1800 LUMENS, WHITE TRIM	1797	26

- NOTES:
- VERIFY EXACT FIXTURES CATALOG NUMBER, FINISH, VOLTAGE, LAMP(S), LENGTHS AND OPTIONS WITH OWNER AND ARCHITECT PRIOR TO ORDERING ANY EQUIPMENT.
 - CONTRACTOR TO VERIFY COMPATIBLE MANUFACTURER TYPE AND MANUFACTURER FROM LUMINAIRE CUT SHEET.
 - CONTRACTOR TO PROVIDE ALL PARTS AND ACCESSORIES FOR A COMPLETE AND FUNCTIONING SYSTEM.
 - CONCRETE BASES TO BE 12"-0" CONCRETE BASES. TOTAL MOUNTING HEIGHT = 25'-0".
 - ALL LIGHTS WILL BE FULL CUT OFF.



NOTES:
PLAN WAS BASED ON THE INFORMATION PROVIDED. ALL DIMENSIONS, LUMINAIRE LOCATIONS SHOWN, REPRESENT RECOMMENDED POSITIONS. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.
THE STUDY IS BASED ON REQUESTED ILLUMINATION LEVELS, LUMINAIRE LOCATIONS, OR ADDITIONAL CRITERIA BY THE AUTHORITIES HAVING JURISDICTION.
THE CALCULATED PHOTOMETRIC LEVELS MAY OR MAY NOT MEET CERTAIN SAFETY STANDARDS OR RECOMMENDED PRACTICES OF IESNA.
THE PHOTOMETRIC PLAN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS UTILIZING CURRENT INDUSTRY STANDARD LAMP RATINGS IN ACCORDANCE WITH THE IESNA RECOMMENDED PRACTICES OF IESNA. THE PHOTOMETRIC PLAN REPRESENTS AN UNDER OPTIMUM CONDITION, WITH LAMP OUTPUT AT RATED VALUE, AND IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS.
ACTUAL ILLUMINANCE LEVELS MAY DIFFER DUE TO VARIABLE FIELD CONDITIONS SUCH AS (BUT NOT LIMITED TO); VARIANCE IN LAMP LUMEN OUTPUT, LAMP TILT FACTOR, BALLAST WATTAGE OUTPUT, LINE VOLTAGE AT BALLAST, REFLECTOR SPECULARITY, LAMP LUMEN DEPRECIATION, AND LUMINAIRE DIRT DEPRECIATION.
THE 30'-0" MOUNTING HEIGHT IS THE ACTUAL ASSEMBLY (POLE, BASE, AND FIXTURE) AND MAY DIFFER FROM THE FROM THE LUMINAIRE'S LUMINOUS APERTURE.
THIS PLAN IS FOR RELATIVE LAYOUT AND SCOPE OF WORK PURPOSES ONLY. REFER TO SITE PLAN PREPARED BY LOCAL CONSULTANT FOR RELATIONSHIP OF THESE LUMINAIRES AND THEIR LOCATIONS TO EXISTING STRUCTURES AND REFERENCES.
THE LIGHTING DESIGN AND FIXTURES THAT MAY APPEAR VISUALLY IDENTICAL, BUT HAVE DIFFERENT OPTICS THAT DISTRIBUTE THE LIGHT IN DIFFERENT MANNERS OR OFFER IN LIGHTING INTENSITY, CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING THE DIFFERENT DISTRIBUTION PATTERNS AND LUMEN PACKAGES AND MATCHING THE LOCATIONS OF THESE AS SHOWN IN PLANS. DEVIATION FROM PLANS WILL RESULT IN FAILURE TO MEET LOCAL LIGHTING ORDINANCES, DESIGN INTENT, AND INTENTIONS. ANY SUCH DEVIATIONS TO BE CORRECTED BY CONTRACTOR AT NO ADDITIONAL EXPENSE TO OWNER OR LIGHTING DESIGNER.



2 AREA LIGHT DETAIL
SCALE: 1/8"=1'-0"

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Ent CREDIT UNION
LOTS 6-14 BLOCK 188,
LOVE AND QUINBY'S ADDITION
TO COLORADO CITY
3005 & 3009 W. COLORADO AVE,
COLORADO SPRINGS, COLORADO

#	Date	Issue / Description	Init.

Project No:	ECU000010
Drawn By:	RDG
Checked By:	JRR
Date:	SEPTEMBER 5, 2018

PHOTOMETRIC PLAN

SPACE RESERVED FOR CITY STAMP

FIGURE 1

SITE DEVELOPMENT PLAN

Ent CREDIT UNION

LOTS 6-14 BLOCK 188, LOVE AND QUINBY'S ADDITION TO COLORADO CITY IN THE NORTHEAST QUARTER OF SECTION 10, T14S, R67W OF THE 6TH P.M., CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

Galloway Planning Architecture Engineering
1455 S. Nevada Street
Greenwood Village, CO 80111
303.770.8884
www.gallowayus.com

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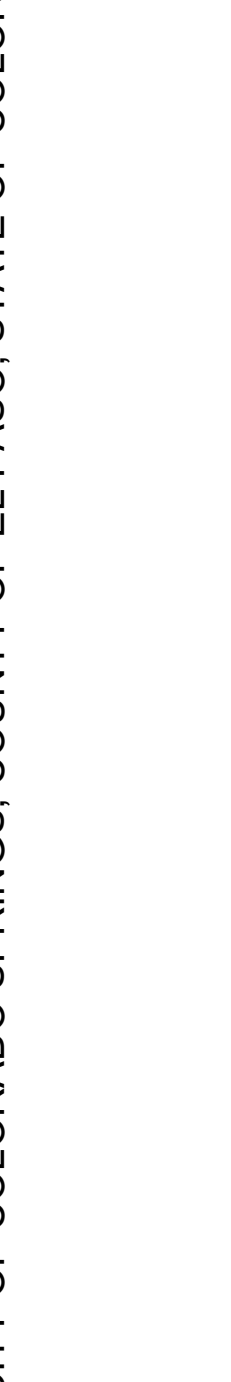
ENT CREDIT UNION
LOTS 6-14 BLOCK 188,
LOVE AND QUINBY'S ADDITION
TO COLORADO CITY,
3005 & 3009 W. COLORADO AVE,
COLORADO SPRINGS, COLORADO

#	Date	Issue / Description	Init.

Project No: ECU000010
 Drawn By: RDG
 Checked By: JRR
 Date: SEPTEMBER 5, 2018
PHOTOMETRIC DETAILS

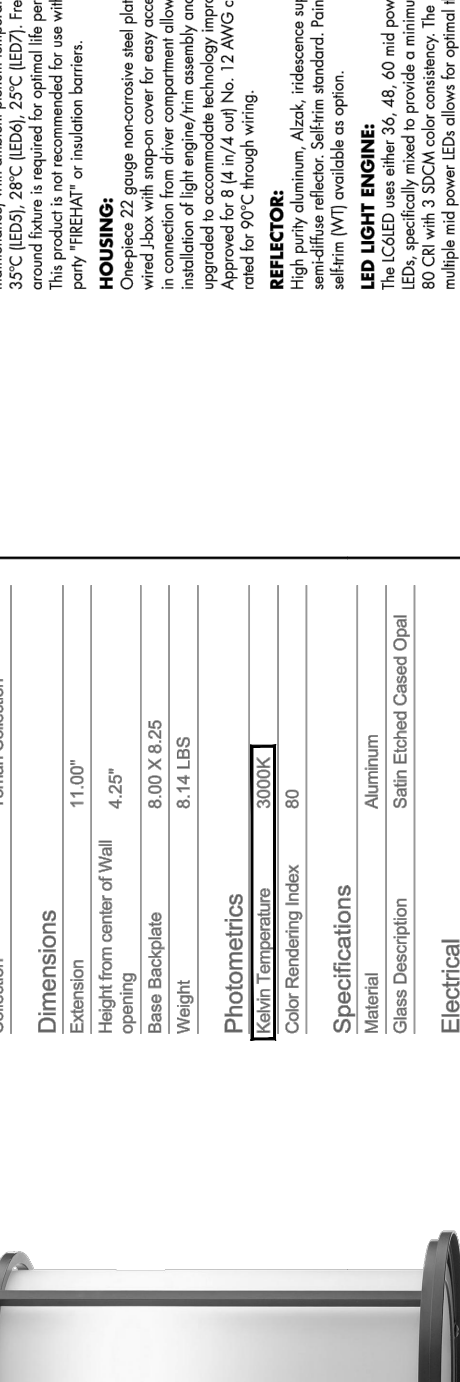
7
 7 of 12
 CPD DP-18-00133

6" LED Downlight LC6LED 0-10V Dimming Option



APPLICATIONS:
 The LC6LED is a 6" commercial downlight fixture with a dimming option. It is suitable for replacement of a standard 6" downlight in a drop or suspended ceiling. It is available in multiple beam angles to suit the application. The beam spread is adjustable. For more information, please contact your local distributor.

FEATURES:
 • LED chip-on-board (COB) technology
 • 0-10V dimming option
 • Multiple beam angles available
 • Aluminum housing
 • 1100° beam spread
 • 8,000 hours life



PHOTOMETRIC DATA

LUMEN MULTIPLIER TABLE			
Candela	Foot Candles	Foot Candles @ 10'	Foot Candles @ 20'
1	10	0.32	0.08
2	20	0.63	0.16
3	30	0.95	0.24
4	40	1.26	0.32
5	50	1.58	0.40
6	60	1.89	0.48
7	70	2.21	0.56
8	80	2.53	0.64
9	90	2.84	0.72
10	100	3.16	0.80
11	110	3.48	0.88
12	120	3.80	0.96
13	130	4.12	1.04
14	140	4.44	1.12
15	150	4.76	1.20
16	160	5.08	1.28
17	170	5.40	1.36
18	180	5.72	1.44
19	190	6.04	1.52
20	200	6.36	1.60
21	210	6.68	1.68
22	220	7.00	1.76
23	230	7.32	1.84
24	240	7.64	1.92
25	250	7.96	2.00

CONTRACTOR TO VERIFY VOLTAGE BEFORE ORDERING ANY EQUIPMENT

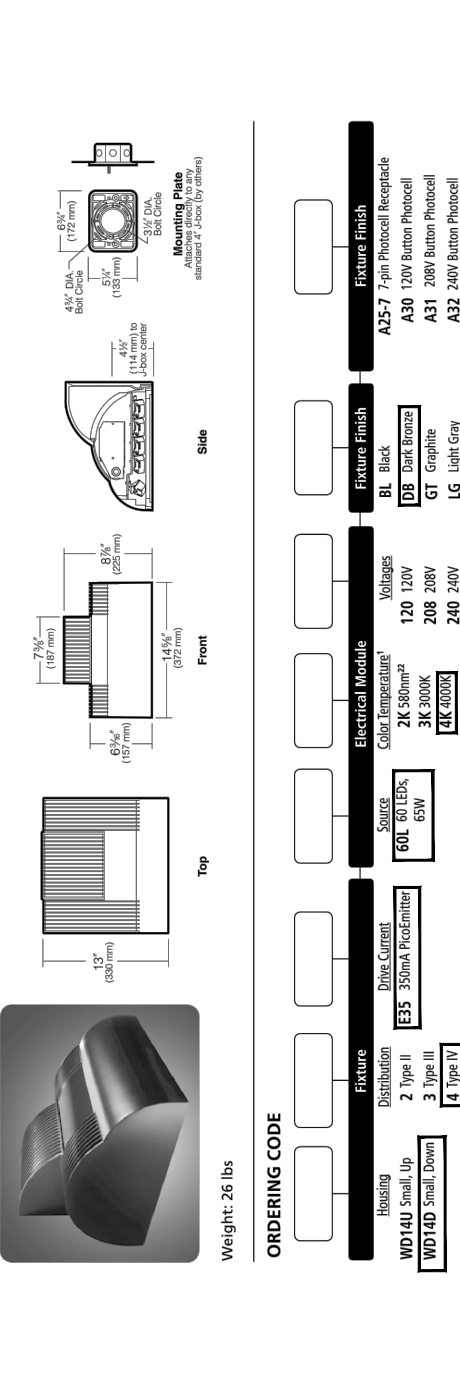
MANUF. SPEC SHEET FOR BUILDING FIXTURE 'B3'

14" Wall Director ProEmitter™ LED



FEATURES:
 • Full Color™ ProEmitter™ technology
 • Available in 5000K, 3000K, 2000K and 0000K
 • 0-10V dimming driver standard
 • Adjustable CCT

CERTIFICATIONS:
 • DLC
 • ENEC
 • ETL



PHOTOMETRIC DATA

LUMEN MULTIPLIER TABLE			
Candela	Foot Candles	Foot Candles @ 10'	Foot Candles @ 20'
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5	50	1.58	0.40
6	60	1.89	0.48
7	70	2.21	0.56
8	80	2.53	0.64
9	90	2.84	0.72
10	100	3.16	0.80
11	110	3.48	0.88
12	120	3.80	0.96
13	130	4.12	1.04
14	140	4.44	1.12
15	150	4.76	1.20
16	160	5.08	1.28
17	170	5.40	1.36
18	180	5.72	1.44
19	190	6.04	1.52
20	200	6.36	1.60
21	210	6.68	1.68
22	220	7.00	1.76
23	230	7.32	1.84
24	240	7.64	1.92
25	250	7.96	2.00

CONTRACTOR TO VERIFY VOLTAGE BEFORE ORDERING ANY EQUIPMENT

MANUFACTURER SPEC SHEET FOR BUILDING FIXTURE 'B6'

MANUFACTURER SPEC SHEET FOR BUILDING FIXTURE 'B3'

CONTRACTOR TO VERIFY VOLTAGE BEFORE ORDERING ANY EQUIPMENT

MANUF. SPEC SHEET FOR BUILDING FIXTURE 'B3'

CONTRACTOR TO VERIFY VOLTAGE BEFORE ORDERING ANY EQUIPMENT

MANUF. SPEC SHEET FOR BUILDING FIXTURE 'B3'

CONTRACTOR TO VERIFY VOLTAGE BEFORE ORDERING ANY EQUIPMENT

MANUF. SPEC SHEET FOR BUILDING FIXTURE 'B3'

CONTRACTOR TO VERIFY VOLTAGE BEFORE ORDERING ANY EQUIPMENT

MANUF. SPEC SHEET FOR BUILDING FIXTURE 'B3'

MANUFACTURER SPEC SHEET FOR AREA FIXTURES 'S1'

CONTRACTOR TO VERIFY VOLTAGE BEFORE ORDERING ANY EQUIPMENT

MANUFACTURER SPECIFICATION SHEET FOR AREA FIXTURES 'S1'

CONTRACTOR TO VERIFY VOLTAGE BEFORE ORDERING ANY EQUIPMENT

MANUFACTURER SPECIFICATION SHEET FOR AREA FIXTURES 'S1'

CONTRACTOR TO VERIFY VOLTAGE BEFORE ORDERING ANY EQUIPMENT

MANUFACTURER SPECIFICATION SHEET FOR AREA FIXTURES 'S1'

CONTRACTOR TO VERIFY VOLTAGE BEFORE ORDERING ANY EQUIPMENT

MANUFACTURER SPECIFICATION SHEET FOR AREA FIXTURES 'S1'

MANUFACTURER SPEC SHEET FOR BUILDING FIXTURE 'B3'

CONTRACTOR TO VERIFY VOLTAGE BEFORE ORDERING ANY EQUIPMENT

MANUF. SPEC SHEET FOR BUILDING FIXTURE 'B3'

CONTRACTOR TO VERIFY VOLTAGE BEFORE ORDERING ANY EQUIPMENT

MANUF. SPEC SHEET FOR BUILDING FIXTURE 'B3'

CONTRACTOR TO VERIFY VOLTAGE BEFORE ORDERING ANY EQUIPMENT

MANUF. SPEC SHEET FOR BUILDING FIXTURE 'B3'

CONTRACTOR TO VERIFY VOLTAGE BEFORE ORDERING ANY EQUIPMENT

MANUF. SPEC SHEET FOR BUILDING FIXTURE 'B3'

MANUFACTURER SPEC SHEET FOR BUILDING FIXTURE 'C'

CONTRACTOR TO VERIFY VOLTAGE BEFORE ORDERING ANY EQUIPMENT

MANUF. SPEC SHEET FOR BUILDING FIXTURE 'C'

CONTRACTOR TO VERIFY VOLTAGE BEFORE ORDERING ANY EQUIPMENT

MANUF. SPEC SHEET FOR BUILDING FIXTURE 'C'

CONTRACTOR TO VERIFY VOLTAGE BEFORE ORDERING ANY EQUIPMENT

MANUF. SPEC SHEET FOR BUILDING FIXTURE 'C'

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MANUF. SPEC SHEET FOR BUILDING FIXTURE 'C'

MANUFACTURER SPEC SHEET FOR BUILDING FIXTURE 'C'

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CONTRACTOR TO VERIFY VOLTAGE BEFORE ORDERING ANY EQUIPMENT

MANUF. SPEC SHEET FOR BUILDING FIXTURE 'C'

DETAILED

Date

Name

Client

Project name

Quote#

Type/Quantity

Specification Sheet

Model: K04 S, 324 08 B31

Lighting Fixture Image

Product Details

Technical Specifications

Options

Weight

Material

Options

LED Technology

Part Numbers

DETAILED

Date

Name

Client

Project name

Quote#

Type/Quantity

DETAILED

Date

Name

Client

Project name

Quote#

Type/Quantity

MANUFACTURER SPEC SHEET FOR BUILDING FIXTURE 'B6'

CONTRACTOR TO VERIFY VOLTAGE BEFORE ORDERING ANY EQUIPMENT

MANUFACTURER SPEC SHEET FOR BUILDING FIXTURE 'B6'

CONTRACTOR TO VERIFY VOLTAGE BEFORE ORDERING ANY EQUIPMENT

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MANUFACTURER SPEC SHEET FOR BUILDING FIXTURE 'B6'

CONTRACTOR TO VERIFY VOLTAGE BEFORE ORDERING ANY EQUIPMENT

MANUF. SPEC SHEET FOR UPLIGHT FIXTURE 'B7'

CONTRACTOR TO VERIFY VOLTAGE BEFORE ORDERING ANY EQUIPMENT

MANUF. SPEC SHEET FOR UPLIGHT FIXTURE 'B7'

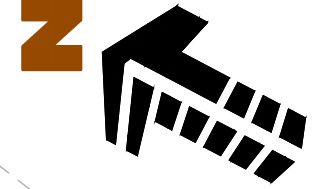
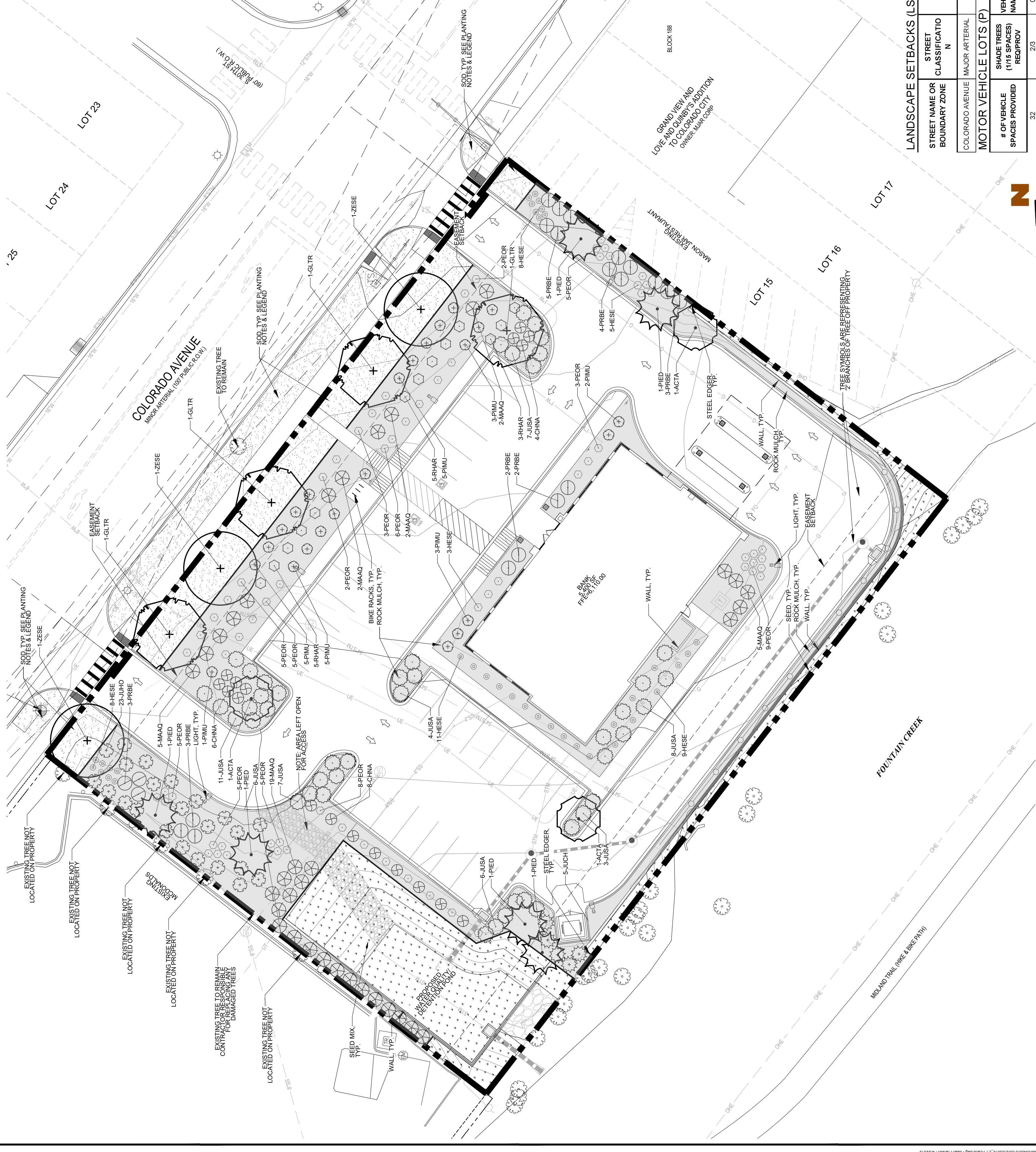
CONTRACTOR TO VERIFY VOLTAGE BEFORE ORDERING ANY EQUIPMENT

MANUFACTURER SPECIFICATION SHEET FOR AREA FIXTURES 'S1'

SITE DEVELOPMENT PLAN

Ent CREDIT UNION

LOTS 6-14 BLOCK 188, LOVE AND QUINBY'S ADDITION TO COLORADO CITY
 IN THE NORTHEAST QUARTER OF SECTION 10, T14S, R67W OF THE 6TH P.M.
 CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



NOTE: A FINAL LANDSCAPE AND IRRIGATION PLAN SHALL BE SUBMITTED AND REVIEWED CONCURRENT WITH BUILDING PERMIT SUBMITTAL AND APPROVED PRIOR TO ISSUANCE OF A BUILDING PERMIT

CAUTION: LANDSCAPE DESIGN LIMITS CONTRACTOR'S RESPONSIBILITY FOR IDENTIFYING TREE LOCATION FOR PRESERVATION

PLANTING LEGEND

SYMBOL	ABBREY	BOTANIC NAME	COMMON NAME
DECIDUOUS TREES			
GLTR	GLEDITSIA TRIACANTHOS 'IMPERIAL'	IMPERIAL HONEYLOCUST	
ZESE	ZELKOVA BERRATA 'GREEN VASE'	GREEN VASE ZELKOVA	
EVERGREEN TREES			
PIED	PIRUS EDULIS	PINYON PINE	
ORNAMENTAL TREES			
ACTA	ACER 'ATARIQUM HOT WINGS'	HOT WINGS MAPLE	
JUCH	JUNIPERUS CHINENSIS 'BLUE POINT'	BLUE POINT JUNIPER	
DECIDUOUS SHRUBS			
CHNA	CHRYSOTHAMNUS NAUSEOSUS	RABBITBRUSH	
PRBE	PRUNUS BESSEYI	WESTERN SAND CHERRY	
RHAR	RHUS AROMATICA 'GROW-LOW'	GROW-LOW FRAGRANT SUMAC	
EVERGREEN SHRUBS			
JUNO	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	BLUE CHIP JUNIPER	
JUSA	JUNIPERUS SABINA 'BUFFALO'	BUFFALO JUNIPER	
MAAQ	MARSHALLIA AQUIFOLIUM	OREGON GRAPE HOLLY	
PIMU	PIRUS MUGO V. PUMILO	MUGO PINE	
ORNAMENTAL GRASSES			
HESE	HELICTOTRICHON SEMPERVIRENS	BLUE AVEA	
PEOR	PENNISETUM ORIENTALE 'KARLEY ROSE'	KARLEY ROSE FOUNTAIN GRASS	
SOD			
	FESCUE SOD	RTF (RHIZOMATOUS TALL FESCUE)	
SEED			
		SEED	
MULCH			
		ROCK COBBLE MULCH	2-4" ROCK COBBLE MULCH WITH WOOD MULCH RING AROUND ALL PLANT MATERIAL. SEE PLANTING NOTES & DETAILS.
EDGING			
		STEEL EDGING	BLACK STEEL EDGING. SEE LANDSCAPE NOTES.

PERCENT SIGNATURE PLANTS AND GROUND COVERAGE

PLANS: HYDROZONES (SUPPLEMENTAL WATER) VERY LOW (0 TO 7 INCHES PER YEAR) LOW (7 TO 15 INCHES PER YEAR) MODERATE (15 TO 25 INCHES PER YEAR) HIGH (MORE THAN 25 INCHES PER YEAR)

CLIMATE ZONE: FOOTHILLS & PLAINS

TREES: 16
 TOTAL SIGNATURE TREES: 70%
 TOTAL TREES AT LEAST 20" TALL AT MATURITY: 44%
 TREES AT LEAST 30" TALL AT MATURITY: 44%

SHRUBS: 124
 TOTAL SIGNATURE SHRUBS: 100%
 TOTAL SHRUBS AT LEAST 4' TALL AT MATURITY: 104%
 TOTAL SIGNATURE SHRUBS AT LEAST 4' TALL AT MATURITY: 104%

ORNAMENTAL GRASSES, GROUND COVERS & PERENNIALS: 20,292 SF
 TOTAL SIGNATURE GRASSES, GROUND COVERS & PERENNIALS: 100%
 TOTAL GRASSES, GROUND COVERS & PERENNIALS AT LEAST 4" TALL AT MATURITY: 24,622 SF

GROUND COVERAGE: 20,292 SF
 TOTAL SIGNATURE GROUND COVERAGE: 100%
 TOTAL GROUND COVERAGE AT LEAST 4" TALL AT MATURITY: 24,622 SF

*NOTE: DUE TO LOCATION OF EXISTING UNDERGROUND UTILITIES AND OVERHEAD POWER LINES, INSUFFICIENT SHADE TREES AT LEAST 20" TALL AT MATURITY COULD BE FIT ON THE SITE. ORNAMENTAL TREES WERE USED INSTEAD.

UTILITY NOTES

1. THE LANDSCAPE CONTRACTOR IS REQUIRED TO CONTACT THE COUNTY PUBLIC WORKS DEPARTMENT, AND ANY OTHER PUBLIC OR PRIVATE AGENCY NECESSARY FOR UTILITY LOCATION PRIOR TO ANY CONSTRUCTION.

2. THIS DRAWING IS A PART OF A COMPLETE SET OF DOCUMENTS. SPECIFICATIONS, ADDITIONAL DRAWINGS, AND EXHIBITS SHALL GOVERN IN ALL CASES. ANY CONFLICTS SHALL BE RESOLVED IN FAVOR OF THE HIGHEST REQUIREMENTS WITHOUT DAMAGING ACTUAL LOCATIONS OF UTILITIES ON SITE, AND REVIEWING ALL RELATED DOCUMENTS.

3. THE LOCATION OF THE ALL UNDERGROUND UTILITIES ARE LOCATED ON THE ENGINEERING DRAWINGS FOR THIS PROJECT. THIS SITE AND MUST BE LOCATED PRIOR TO ANY CONSTRUCTION ACTIVITY, WHERE UNDERGROUND UTILITIES EXIST THROUGHOUT THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES.

REQUIREMENT	REQUIREMENT	REQUIREMENT	REQUIREMENT
TREEFEET REQUIRED	1425 LF	LINEAR FOOTAGE	271 LF
NO. OF TREES REQUIP/PROV	1417*	SHRUB SUBS REQUIP/PROV	4046*
% GROUND PLANE VEG REQUIP/PROV	75%/100%	% GROUND PLANE VEG REQUIP/PROV	75%/100%

LANDSCAPE SETBACKS (LS)

STREET NAME OR BOUNDARY ZONE	CLASSIFICATION	WIDTH REQUIP/PROV	LINEAR FOOTAGE	TREEFEET REQUIRED	NO. OF TREES REQUIP/PROV	SHRUB SUBS REQUIP/PROV	% GROUND PLANE VEG REQUIP/PROV
COLORADO AVENUE	MAJOR ARTERIAL	20'00"	271 LF	1425 LF	1417*	4046*	75%/100%

MOTOR VEHICLE LOTS (P)

STREET	CLASSIFICATION	WIDTH REQUIP/PROV	LINEAR FOOTAGE	TREEFEET REQUIRED	NO. OF TREES REQUIP/PROV	SHRUB SUBS REQUIP/PROV	% GROUND PLANE VEG REQUIP/PROV
COLORADO AVENUE	MAJOR ARTERIAL	20'00"	271 LF	1425 LF	1417*	4046*	75%/100%

INTERNAL LANDSCAPING (I)

NET SITE AREA (SF)	MINIMUM INTERNAL AREA (SF)	PERCENT (MINIMUM INTERNAL AREA / NET SITE AREA)	INTERNAL TREES (1/1600 SF REQUIP/PROV)	SHRUB SUBSTITUTE (1/1600 SF REQUIP/PROV)	INTERNAL PLANT ABBREVIATION ON PLAN
52,199	2,610 SF / 24,652 SF	5%	5/10	N/A / 143	N/A / 95

VEHICLE LOT DOES NOT ABUT ANY INCOMPATIBLE LAND USES

VEHICLE LOT STREET (NAME OR ZONE BOUNDARY)	LENGTH OF FRONTAGE (EXCLUDES DRIVES)	MIN # SCREEN REQUIP/PROV	EVERGREEN PLANTS REQ 50%/PROV	VEHICLE LOT LENGTH OF SCREENING PLANT ABBREVIATION ON PLAN	% GROUND PLANE VEG REQUIP/PROV
COLORADO AVENUE	271 LF	40/52	20/89	N/A	75%/79%

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PRELIMINARY

3005 & 3009 W. COLORADO AVE.
 TO COLORADO CITY
 LOVE AND QUINBY'S ADDITION
 LOTS 6-14 BLOCK 188,
 Ent CREDIT UNION

Date Issue / Description Init.

Project No: ECU000019
 Drawn By: EDN
 Checked By: SRA
 Date: SEPTEMBER 5, 2018

PRELIMINARY LANDSCAPE PLAN

8 of 12
 CPC DP 18-00135



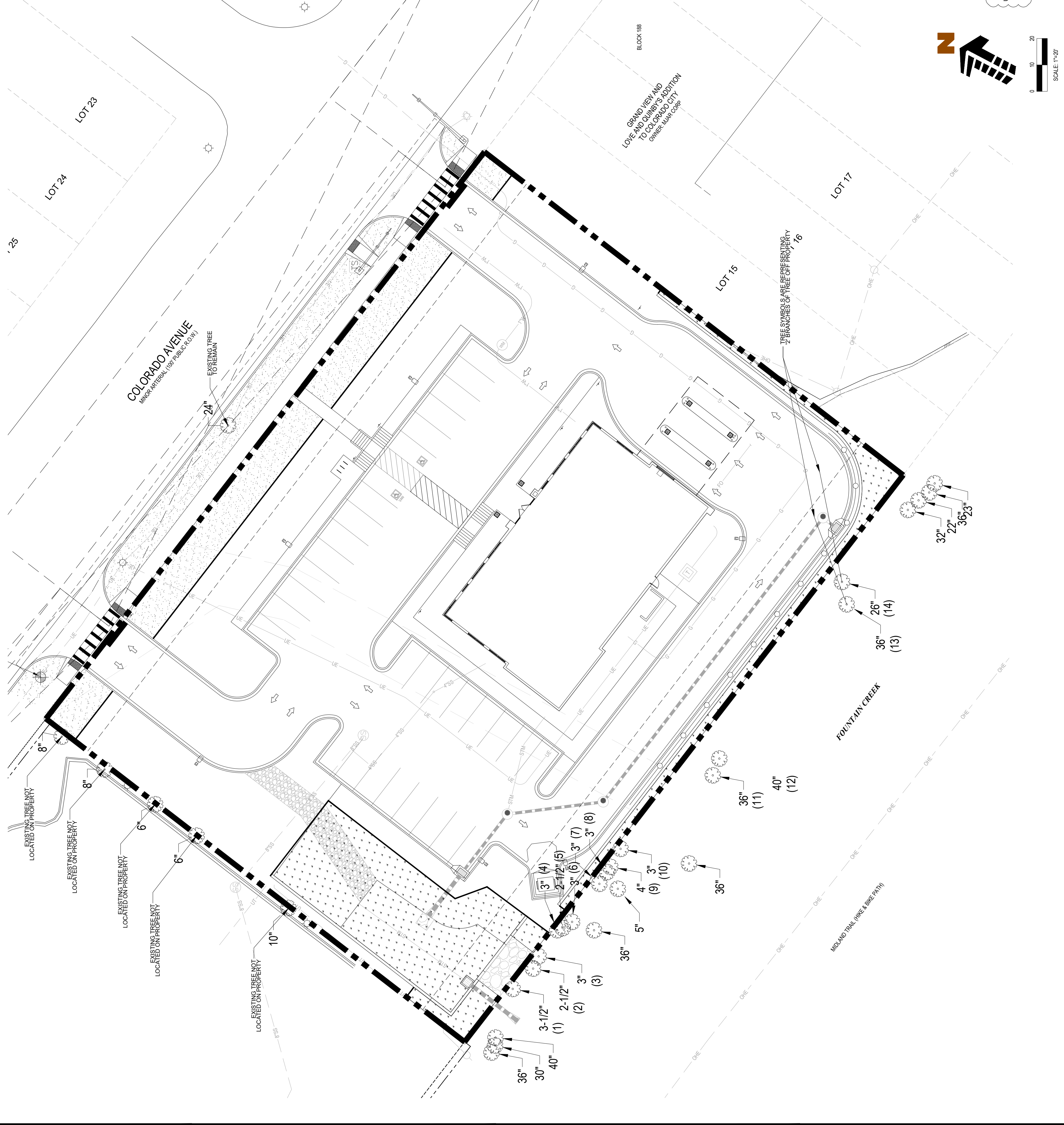
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3005 & 3009 W. COLORADO AVE.
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SITE DEVELOPMENT PLAN Ent CREDIT UNION

LOTS 6-14 BLOCK 188, LOVE AND QUINBY'S ADDITION TO COLORADO CITY
IN THE NORTHEAST QUARTER OF SECTION 10, T14S, R67W OF THE 6TH P.M.,
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



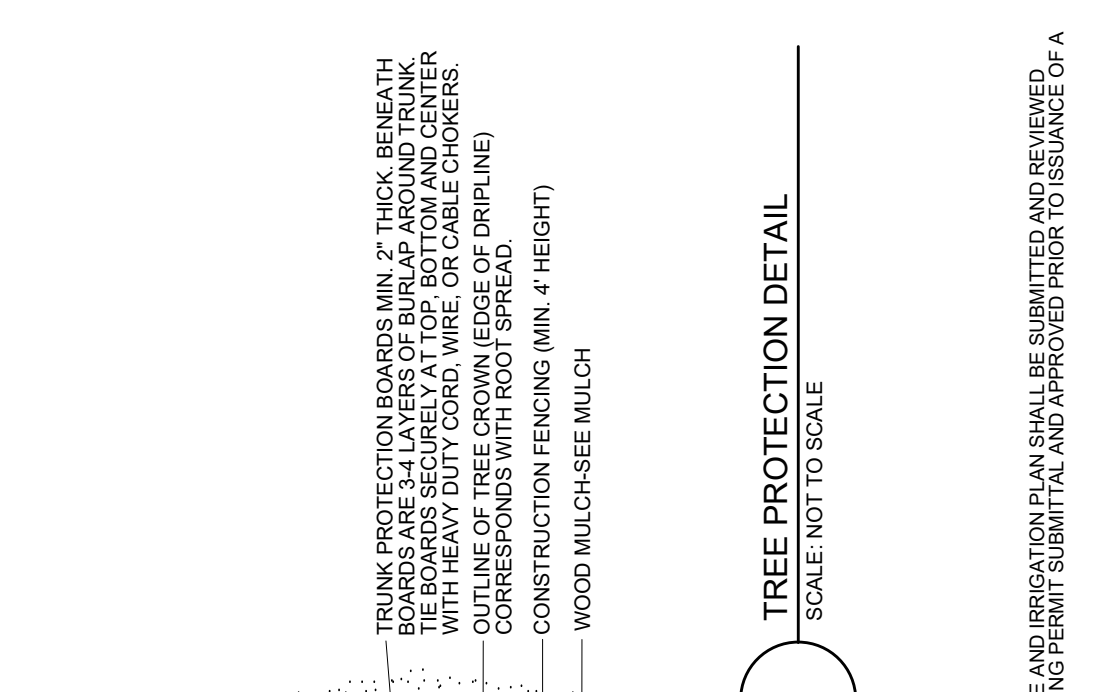
EXISTING TREE INVENTORY

TREE NUMBER	TREE SIZE	TREE TYPE
1	3-1/2" CAL.	NATIVE CHINESE ELM
2	2-1/2" CAL.	NATIVE WILLOW
3	3" CAL.	NATIVE WILLOW
4	3" CAL.	NATIVE WILLOW
5	2-1/2" CAL.	NATIVE CHINESE ELM
6	3" CAL.	NATIVE CHINESE ELM
7	3" CAL.	NATIVE WILLOW
8	3" CAL.	NATIVE WILLOW
9	4" CAL.	NATIVE WILLOW
10	3" CAL.	NATIVE CHINESE ELM
11	35" CAL.	NATIVE WILLOW
12	40" CAL.	NATIVE WILLOW
13	36" CAL.	NATIVE WILLOW
14	26" CAL.	NATIVE WILLOW

NOTE: TREE NUMBERS (1-14) IS A MULTI-TRUNK TREE THAT IS LOCATED WITHIN THE PROTECTED ZONE AND IS NOT TO BE REMOVED FROM TREES (13 & 14) SHOW WHERE THE TREE ROOTS ON OUR PROPERTY.

TREE PROTECTION NOTES:

- USE CITY OF COLORADO SPRINGS TREE PROTECTION NOTES (IF AVAILABLE). TREE PROTECTION NOTES BELOW SHALL BE USED FOR FURTHER INTEGRATION.
- PROTECTED ZONE FOR EXISTING TREES BEFORE BEGINNING ANY CONSTRUCTION OR CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL INSTALL TEMPORARY FENCING AROUND EXISTING TREES WITHIN THE PROTECTED ZONE. FENCING SHALL BE INSTALLED NO CLOSER TO THE TREE THAN THE EDGE OF THE TREE'S PROTECTED ZONE. GENERALLY DEFINED AS THE AREA BEGINNING FIVE FEET OUTSIDE OF THE TREE'S DRIPLINE AND EXTENDING TOWARDS THE TREE (OR AS FAR FROM THE TRUNK AS PRACTICABLE). THE PROTECTED ZONE SHALL BE MAINTAINED AT ALL TIMES THROUGHOUT CONSTRUCTION. THE PROTECTED ZONE SHALL NOT BE ALLOWED INSIDE THIS PROTECTED ZONE NOR SHALL THEY BE ALLOWED TO STORE OR DUMP FOREIGN MATERIALS WITHIN THIS AREA. NO WORK OF ANY KIND, INCLUDING TRENCHING, SHALL BE ALLOWED WITHIN THE PROTECTED ZONE EXCEPT AS DESCRIBED BELOW. THE FENCING SHALL REMAIN AROUND EACH TREE TO BE SAVED UNTIL THE COMPLETION OF CONSTRUCTION OPERATIONS.
- TEMPORARY MULCH: TO ALLEVIATE SOIL COMPACTION IN ANTICIPATED AREAS OF HIGH CONSTRUCTION TRAFFIC, AND ONLY WHERE FENCING CANNOT BE SET FIVE FEET OUTSIDE OF THE DRIPLINE, THE CONTRACTOR SHALL INSTALL A LAYER OF MULCH, 6"-12" THICK, OVER ALL EXPOSED SOIL. MULCH SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION OPERATIONS. MULCH SHALL BE REDISTRIBUTED THROUGHOUT ALL PLANTING AREAS IN A 3" THICK "PERMANENT" MULCH LAYER.
- NECESSARY WORK: WHEN IT BECOMES NECESSARY TO ENTER THE "PROTECTED ZONE", SUCH AS FOR FINE GRADING, IRRIGATION INSTALLATION, AND PLANTING OPERATIONS, THE CONTRACTOR SHALL STRICTLY ADHERE TO THE FOLLOWING RULES:
 - EVERY EFFORT SHALL BE MADE TO PRESERVE THE EXISTING GRADE AROUND PROTECTED TREES IN AS WIDE AN AREA AS POSSIBLE.
 - TRENCHING WITHIN THE PROTECTED ZONE OF EXISTING TREES SHALL BE PERFORMED BY HAND, AND WITH EXTREME CARE NOT TO SEVER ROOTS 1-1/2" IN DIAMETER AND LARGER, WHERE ROOTS 1-1/2" IN DIAMETER AND LARGER ARE ENCOUNTERED, THE CONTRACTOR SHALL STOP WORK IMMEDIATELY. EXPOSED ROOTS THAT HAVE BEEN TUNNELED UNDER SHALL BE WRAPPED IN VET DURLAP AND KEPT MOIST WHILE THE TRENCH IS OPEN.
 - WHERE ROOTS 1-1/2" IN DIAMETER OR LARGER MAY BE CUT DUE TO EXTENSIVE GRADE CHANGES, THOSE ROOTS MUST BE EXPOSED BY HAND DIGGING AND CUT CLEANLY. RAGGED CUTS GENERALLY DO NOT HEAL PROPERLY, AND MAY LEAVE THE TREE OPEN TO PESTS AND PATHOGENS.
 - WHERE TRENCHING NEAR TREES HAS ALREADY OCCURRED FROM PREVIOUS CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL MAKE EVERY EFFORT TO CONFINE HIS TRENCHING OPERATIONS TO THE PREVIOUSLY-CREATED TRENCHES, WHILE ADHERING TO THE CONDITIONS SET FORTH IN 3B.
- POTENTIAL CONFLICTS: THE CONTRACTOR SHALL NOTIFY THE OWNER AND ARBORIST SHOULD ANY POTENTIAL CONFLICTS ARISE BETWEEN THESE SPECIFICATIONS AND/OR LARGE ROOTS ENCOUNTERED IN THE FIELD, AND CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL NOT TAKE ANY ACTION IN SUCH CONFLICTS WITHOUT THE ARBORIST'S WRITTEN APPROVAL. THE ARBORIST SHALL HAVE FINAL AUTHORITY OVER ALL METHODS NECESSARY TO HELP ENSURE THE PROTECTION AND SURVIVAL OF EXISTING TREES.
- PRUNING: PRUNE ONLY THE TREES THAT ARE INDICATED ON THE PLANS AS REQUIRING PRUNING. PRUNE TREES ACCORDING TO INTERNATIONAL SOCIETY OF ARBORICULTURE (ANSI A300) STANDARDS:
 - REMOVE ALL DEAD WOOD.
 - PRUNE LIVE WOOD FOR HEALTH OR STRUCTURAL REASONS ONLY, INCLUDING THE NEED TO ELIMINATE DISEASED OR DAMAGED GROWTH. ELIMINATE STRUCTURALLY UNSOUND GROWTH, REDUCE THE POTENTIAL FOR WIND TOPPING OR WIND DAMAGE, OR TO MAINTAIN CLEARANCE WITHIN LIMITED SPACE. DO NOT REMOVE MORE THAN 25% OF ANY TREE'S LIVE FOLIAGE IN ANY ONE GROWING SEASON. PRUNE TO MAINTAIN THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ANSI A300) STANDARDS, AND ONLY UNDER THE DIRECT SUPERVISION OF A CERTIFIED ARBORIST.
 - FINAL CUTS SHALL BE MADE JUST OUTSIDE THE SHOULDER RING AREA. EXTREMELY FLUSHED CUTS WHICH PRODUCE LARGE WOUNDS SHALL NOT BE MADE.
 - ALL TRIMMING CUTS SHALL BE PERFORMED IN SUCH A MANNER AS TO PROMOTE THE NATURAL GROWTH AND SHAPE OF EACH TREE SPECIES.
 - IMPROPER PRUNING METHODS INCLUDING, BUT NOT LIMITED TO, "TOPPING", "TIPPING", "HEADING BACK", "DEHORNING", AND "LANTALING" WILL NOT BE ALLOWED. THE CONTRACTOR SHALL PAY FOR ALL WORK NECESSARY TO CORRECT SUCH PRUNING WHEN PERFORMED BY HIS CREWS OR SUBCONTRACTORS.
- SHOULD THE CONTRACTOR REQUIRE MORE INFORMATION, THE CONTRACTOR SHALL CONTACT THE ISA AT (217) 356-9411 FOR A COPY OF THE ANSI A300 PRUNING STANDARDS. CONTRACTOR SHALL ADHERE TO THE METHODS AND PRACTICES SET FORTH IN THIS DOCUMENT.
 - LANDSCAPE AND IRRIGATION (NATIVE TREES ONLY): ANY FUTURE LANDSCAPE AND IRRIGATION SHOULD ADHERE TO THE FOLLOWING GUIDELINES:
 - NO IRRIGATION OR PLANTING SHOULD OCCUR CLOSER THAN 8'-10" FROM THE TRUNK.
 - WHERE IRRIGATION DOES OCCUR WITHIN THE PROTECTED ZONE, DRIP IRRIGATION SHOULD BE USED WHERE POSSIBLE. DRIP IRRIGATION SYSTEMS SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION. DRIP SYSTEMS SHALL BE SPACED FAR APART WHERE CLOSER TO THE TREE. PLANTS MAY BE SPACED CLOSER TOGETHER NEAR THE EDGE OF THE PROTECTED ZONE.



4
TREE PROTECTION DETAIL
SCALE: NOT TO SCALE

9
9 of 12

CPC DP 18-00135

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Ent CREDIT UNION
LOTS 6-14 BLOCK 188,
LOVE AND QUINBY'S ADDITION
TO COLORADO CITY
3005 & 3009 W. COLORADO AVE.
COLORADO SPRINGS, COLORADO

#	Date	Issue / Description	Init.

Project No:	ECU000010
Drawn By:	EDN
Checked By:	SBA
Date:	SEPTEMBER 5, 2018

TREE PRESERVATION PLAN

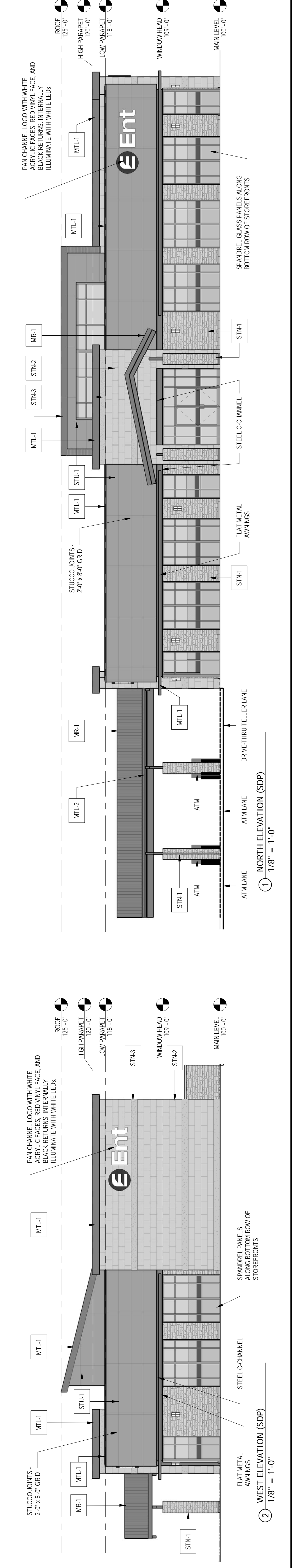
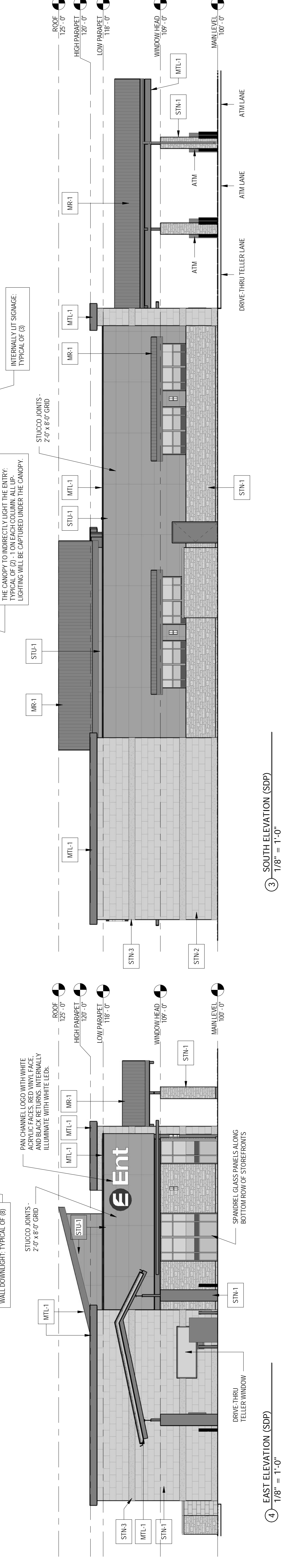
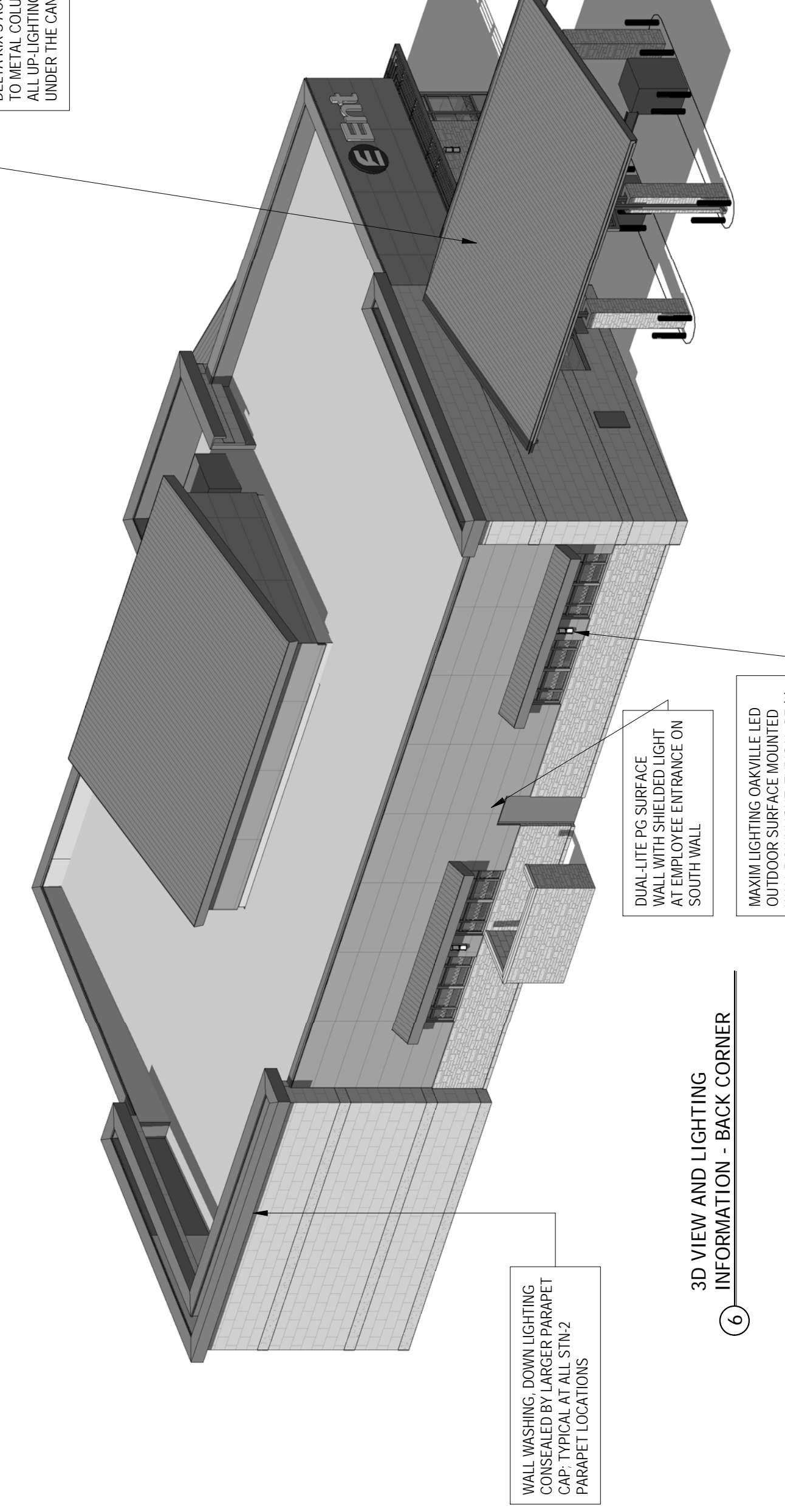
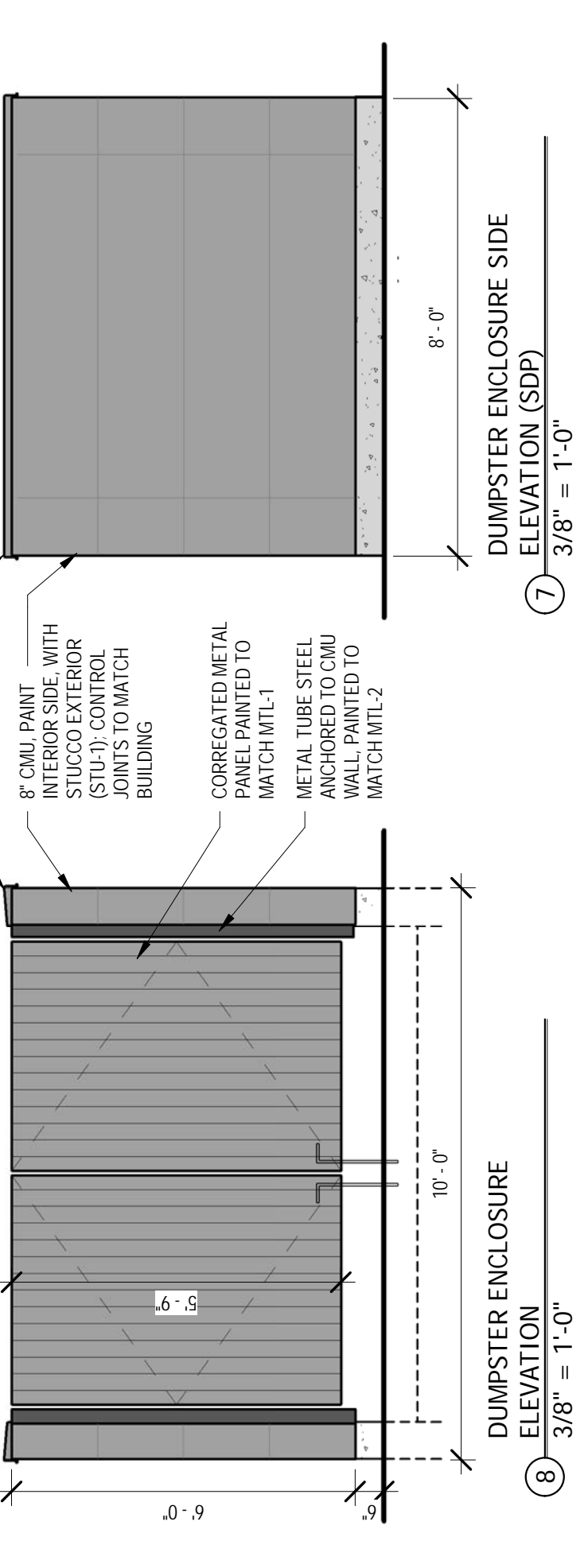
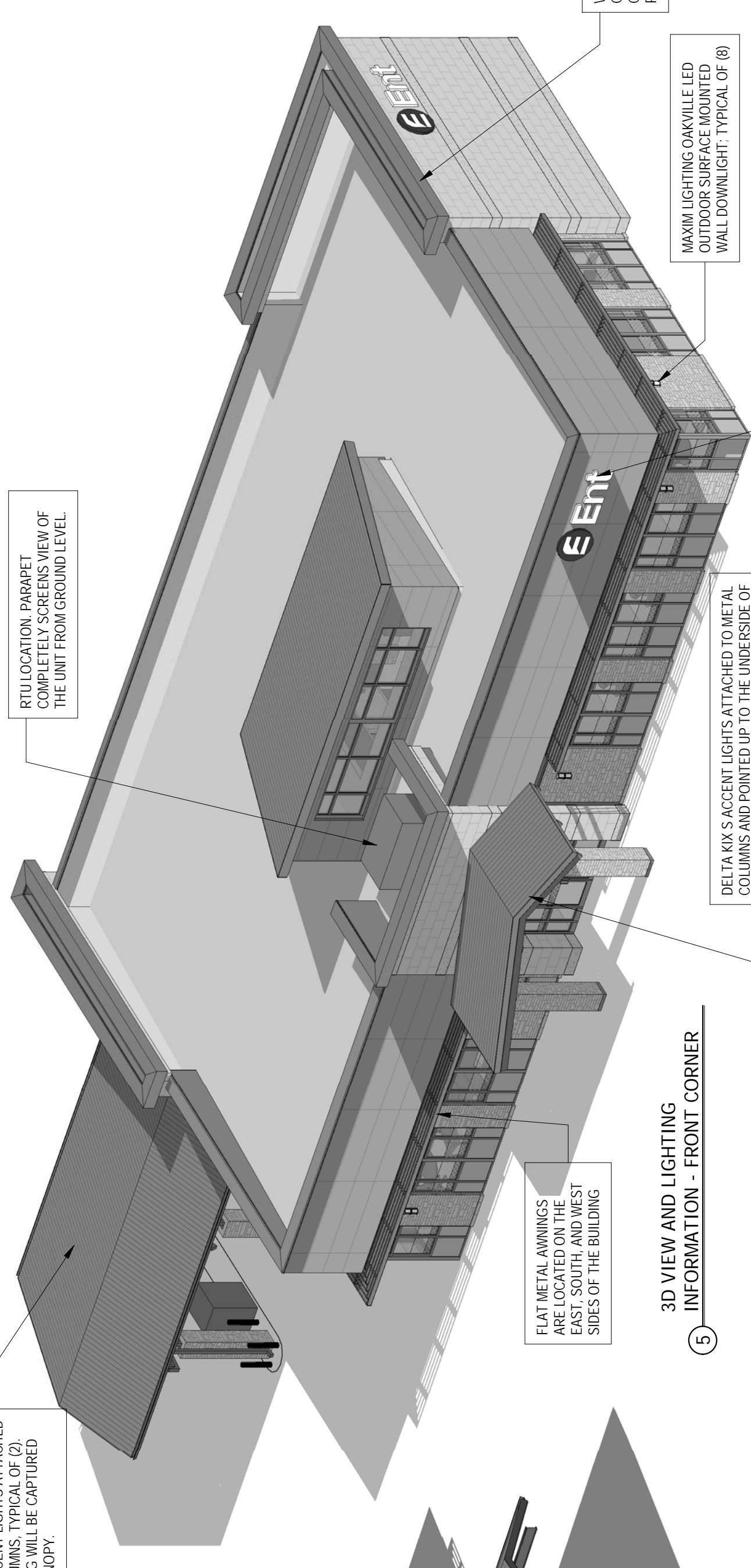
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FIGURE 1

- BUILDING DESIGN NOTES**
- SHAPES AND MATERIALS OF THE BUILDING CREATE A CONTEMPORARY MOUNTAIN DESIGN.
 - MATERIALS CONSIST OF STONE AND STUCCO WITH METAL ACCENTS.
 - STACKED STONE AND STUCCO AREAS CREATE HORIZONTAL ELEMENTS WHILE SMOOTH STONE AREAS CREATE VERTICAL ELEMENTS.
 - BANDING ON SMOOTH STONE AREAS BREAK UP LARGE SURFACES AND CREATE MORE VISUAL INTEREST.
 - PARAPET HEIGHTS ARE BROKEN UP AT MATERIAL CHANGES. SOME CONSISTENT PARAPETS ARE USED TO KEEP SMALL, SINGLE BUILDING FROM LOOKING TOO BUSY AND CHOPPED UP.
 - BUILDING HAS A DEFINED TOP, MIDDLE, AND BASE. THE BASE IS DEFINED BY THE STACKED STONE AND IS SCALED TO A PEDESTRIAN LEVEL. THE SPACES AT THIS LEVEL HAVE A LOW, INTERNAL LIGHTING SYSTEM. THE MIDDLE IS DEFINED BY SMOOTH STONE AREAS. THE TOP IS DEFINED BY STUCCO AREAS. THE LARGE SMOOTH STONE AREAS CREATE BREAKS IN THIS PATTERN AND ADD A VERTICAL ELEMENT TO THE HORIZONTAL BAND OF TOP, MIDDLE, BASE.

- EXTERIOR MATERIAL LEGEND**
- STN-1: ARRISCRAFT STONE VENEER
ARRIS STACK, COLOR: BEACH
 - STN-2: ARRISCRAFT STONE VENEER
TRIO, COLOR: MARSHMALLOW, SMOOTH FACE
 - STN-3: ARRISCRAFT STONE VENEER
TRIO, COLOR: MARSHMALLOW, ROUGH FACE
 - STU-1: STANDARD STUCCO SYSTEM
COLOR: DRYVIT #42 SPECTRUM BROWN
 - MTL-1: METAL ACCENTS AND TRIM
COLOR: CHARCOAL GRAY
 - MR-1: STANDING SEAM METAL ROOF
CHARCOAL GRAY
 - AG: APPLIED WINDOW GRAPHICS
TRANSPARENT WHITE AND RED
 - STN-1: STOREFRONT COLOR: SLATE GRAY
GLASS: CLEAR LOW-E
SPANDREL PANELS: GRAY

CITY FILE NO. AP-



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FIGURE 1