

CHRISTIAN BROTHERS AUTOMOTIVE

LOT 2, COLORADO SPRINGS TECHNOLOGICAL CENTER NORTH, FILING NO 1.

COLORADO SPRINGS, COLORADO

SITE DEVELOPMENT PLAN

SHEET INDEX

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- 12 SIGNAGE AND LIGHTING PLAN
- 13 GRADING AND EROSION CONTROL PLAN

SITE DATA

ADDRESS
20, SOUTH ROCKRIMMON BLVD.
COLORADO SPRINGS, TECHNOLOGICAL CENTER
COLORADO SPRINGS, CO

SCOPE
AUTOMOBILE SERVICING FACILITY

PROJECT DESCRIPTION
NEW 5,963 SF AUTOMOTIVE SERVICING

SITE ACREAGE (LOT 2)
2.66 ACRES

CURRENT ZONING
PRC/SS/HS (PLANNED BUSINESS CENTER WITH STREAMSIDE AND HILLSIDE OVERLAY ZONES)

ALLOWABLE BUILDING AREA
CONSTRUCTION TYPE VB
OCCUPANCY GROUPS:
S-1, MOTOR VEHICLE REPAIR B., OFFICE SPACE
ALLOWABLE AREA: 9000SF INTERNATIONAL BUILDING CODE 2012

MAXIMUM BUILDING HEIGHT
45'

BUILDING AREA:
TOTAL BUILDING AREA 5,963 SF
TOTAL FOUNDATION AREA 116,061 SF
SITE AREA 116,061 SF
LOT COVERAGE 20.68%

SETBACKS:
FRONT 25'
SIDE 25'
REAR 25'

OFF-STREET PARKING REQUIRED:
COLORADO SPRINGS ZONING CODE:
SECTION 7.4.2.03 - PARKING SPACE REQUIREMENTS BY USE
AUTOMOTIVE REPAIR: 1 SPACE PER 200 SF BUILDING AREA

REQUIRED SPACES:
5,963 SF/200 = 29.82

TOTAL = 30 SPACES
33, INCLUDING 2 ACCESSIBLE SPACES

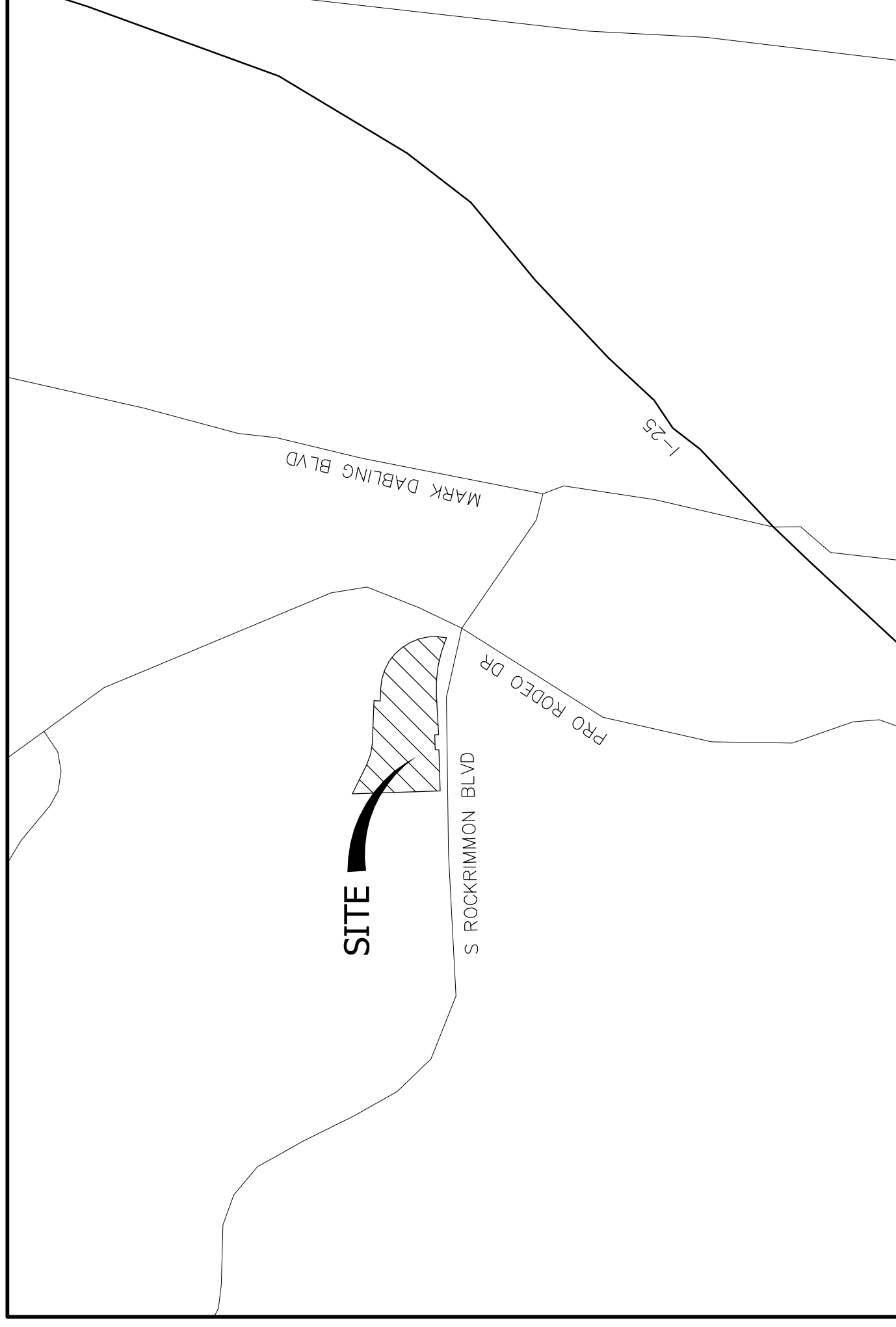
PROVIDED SPACES:
33, INCLUDING 2 ACCESSIBLE SPACES

STALL SIZES: SECTION 7.4.2.05
90 DEGREE: 9' X 18'
DISABLED 11' X 18'
AISLE WIDTH: 20' MINIMUM

PROPERTY DESCRIPTION

LOT 2, COLORADO SPRINGS TECHNOLOGICAL CENTER NORTH, FILING NO. 1, IN THE CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO;

CONTAINING 2.664 ACRES (116,061 SQUARE FEET), MORE OR LESS.



VICINITY MAP

SCALE: 1"=500'

GENERAL NOTES

1. FLOODPLAIN: A PORTION OF THE SITE IS LOCATED WITHIN A DESIGNATED F.E.M.A. FLOODPLAIN AS DETERMINED BY THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 08041C0512 F, EFFECTIVE MARCH 17, 1997.
2. THE TYPICAL PARALLEL PARKING STALL DIMENSION SHOWN IS 9' X 18'.
3. THE TYPICAL TWO WAY PARKING DRIVE AISLE IS 24'
4. IMMEDIATE ACCESS TO FIRE DEPARTMENT CONNECTIONS SHALL BE MAINTAINED AT ALL TIMES AND WITHOUT OBSTRUCTION BY FENCES, SHRUBS, TREES, WALLS OR ANY OTHER FIXED OR MOVABLE OBJECTS.
5. ALL EXISTING CURB, GUTTER, AND CROSSPANS POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATION OR NOT MEETING CURRENT CITY ENGINEERING STANDARDS ALONG S. ROCKRIMMON BLVD. ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED PRIOR TO ISSUING THE CERTIFICATE OF OCCUPANCY (C.O.). AN ON-SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW INSPECTOR TO DETERMINE WHAT, IF ANY, IMPROVEMENTS ARE REQUIRED. THE INSPECTOR CAN BE REACHED AT 719-265-5977.

AGENCIES

OWNER/DEVELOPER:
CHRISTIAN BROTHERS AUTOMOTIVE
17725 KATY FREEWAY, SUITE 200
HOUSTON, TX 77094
CURTIS CAIN, 281-675-6120

CIVIL ENGINEER:
JR ENGINEERING, LLC
3730 SINTON ROAD, SUITE 219
COLORADO SPRINGS, COLORADO 80907
MARK HEINE, PE (719) 593-2593

ENGINEERING DIVISION:
CITY OF COLORADO SPRINGS
1527 HANCOCK EXPRESSWAY
COLORADO SPRINGS, COLORADO 80903
PATRICK MORRIS, PE (719) 585-5075

TRAFFIC ENGINEERING:
CITY OF COLORADO SPRINGS
30 S. NEVADA AVENUE
COLORADO SPRINGS, COLORADO 80903
KATHLEEN KRAGER PE, PTOE (719) 585-7628

DEVELOPMENT SERVICES:
WATER AND WASTEWATER RESOURCES:
1521 HANCOCK EXPRESSWAY
COLORADO SPRINGS, COLORADO 80947
AL JUVERA (719) 668-8769

GAS DEPARTMENT:
COLORADO SPRINGS UTILITIES
1527 HANCOCK EXPRESSWAY
COLORADO SPRINGS, COLORADO 80947
TONY COLVIN (719) 668-5768

ELECTRIC DEPARTMENT:
COLORADO SPRINGS UTILITIES
1527 HANCOCK EXPRESSWAY
COLORADO SPRINGS, COLORADO 80947
ROB ESTES (719) 668-5904

TELEPHONE COMPANY:
CENTURY LINK
(LOCATORS) (719) 597-8418
A.T.& T.
(LOCATORS) (719) 635-3674

FIRE DEPARTMENT:
COLORADO SPRINGS FIRE DEPARTMENT
FIRE ENGINEERING DIVISION
2880 INTERNATIONAL CIRCLE, SUITE 200
COLORADO SPRINGS, CO 80910
DORREEN WITHEE (719) 385-7361

ARCHITECT
ICON ARCHITECTS INCORPORATED
6104 FANNIN DRIVE
ARLINGTON, TEXAS 76001
DANA KING (817) 665-0200

LANDSCAPE ARCHITECT
EVERGREEN DESIGN GROUP, INC.
P.O. BOX 469
WAKE FOREST, NC 27588
RODNEY MCNABB (800) 680-6630

PRELIMINARY
NOT FOR
CONSTRUCTION

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, OR ENGINEERING APPROVES THEIR USE ONLY FOR THE PURPOSES DESIGNATED BY WRITTEN AUTHORIZATION.	
PREPARED FOR CHRISTIAN BROTHERS AUTOMOTIVE C/O CURTIS CAIN 17725 KATY FREEWAY, SUITE 200 HOUSTON, TX 77094 (281) 675-6120	J.R. ENGINEERING A Westlan Company Central 303-740-9393 • Colorado Springs 719-593-2593 Fort Collins 970-491-9888 • www.jrengineering.com
H-SCALE N/A V-SCALE N/A DATE 10/3/14 DRAWN BY KRW CHECKED BY	SHEET 1 OF 13 JOB NO. 25124-00

SITE USAGE DATA:

OWNER: CHRISTIAN BROTHER AUTOMOTIVE
17725 KATY FREEWAY, SUITE 200
HOUSTON, TX 77094

ZONING: PBC/SS/HS (PLANNED BUSINESS CENTER WITH
STREAM SIDE AND HILLSIDE OVERLAY ZONES)

BUILDING SIZE: 5,963 SF

PARKING RATIO REQ'D: 1/200

MIN. PARKING REQUIRED: 30

PARKING PROVIDED: 33 (31 STANDARD, 2 ACCESSIBLE)

LOT SIZE: 116,516 SF, 2.61 AC

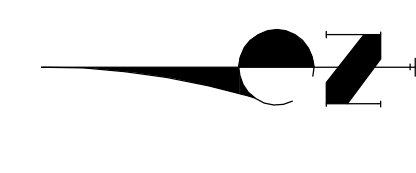
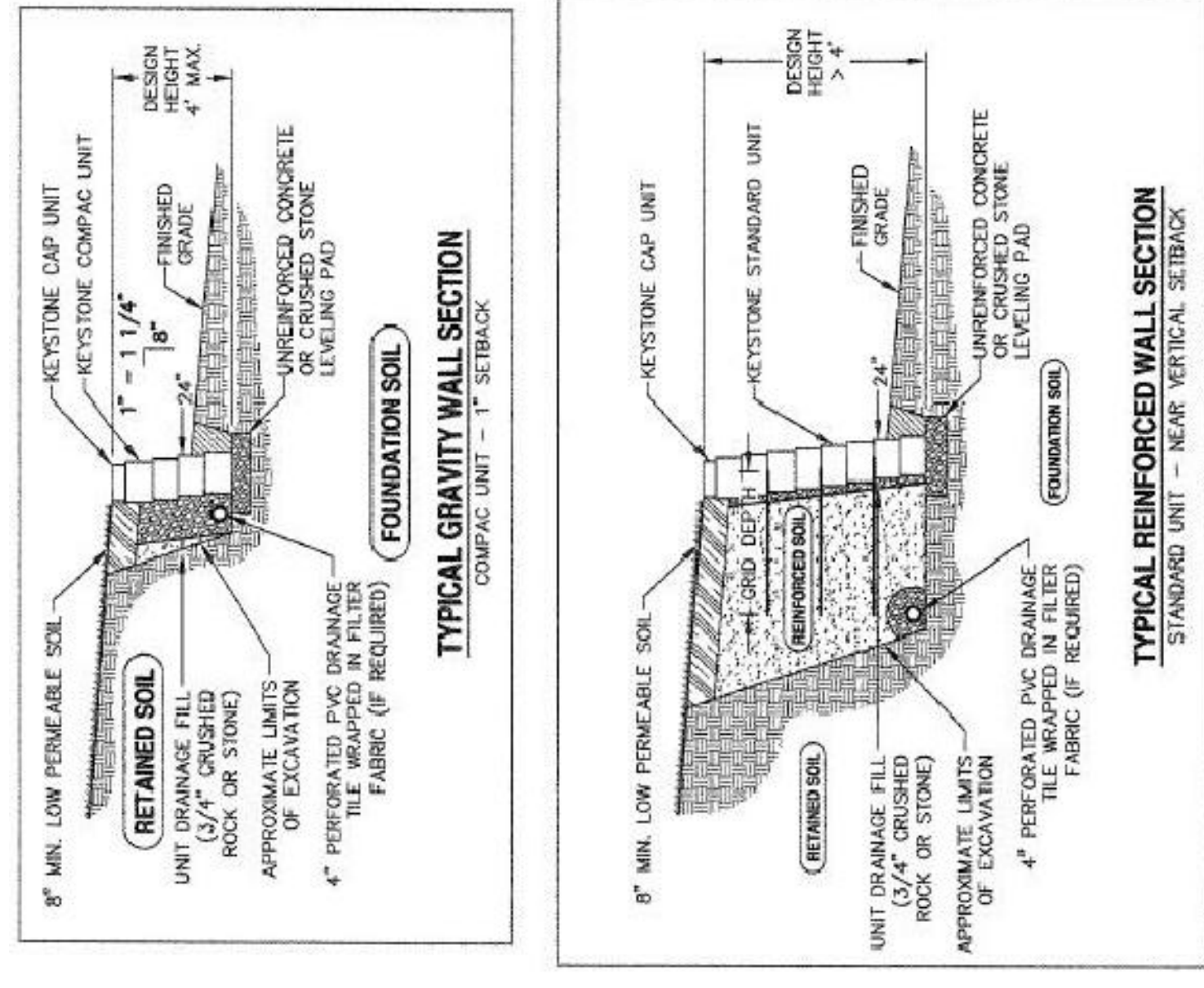
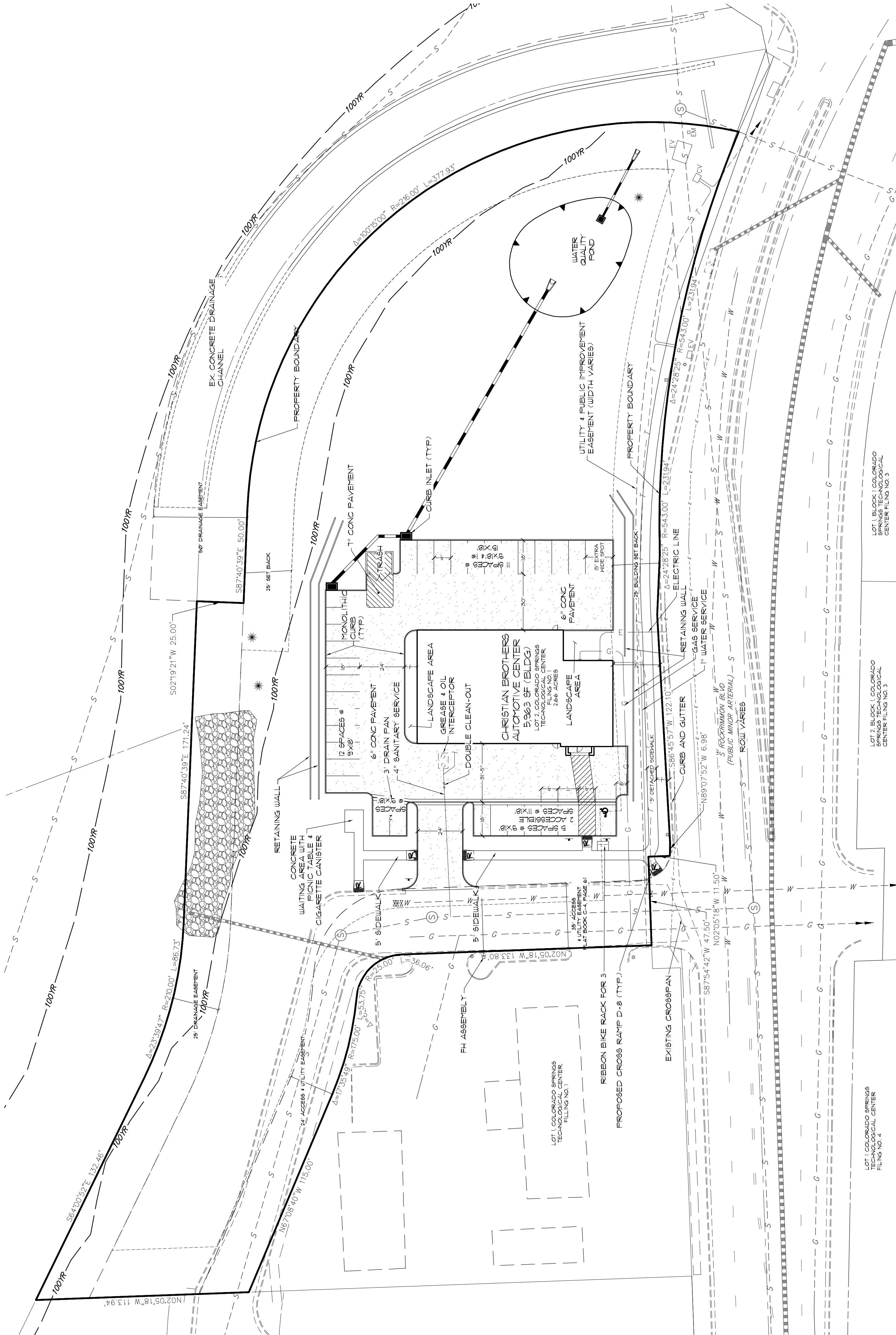
PREPARED FOR
CHRISTIAN BROTHERS AUTOMOTIVE
C/O RON COVINGTON
17725 KATY FREEWAY, SUITE 200
HOUSTON, TX 77094
(719) 491-1220

J R ENGINEERING
A Westman Company
Central 303-740-9999 • Colorado Springs 719-593-2893
Fort Collins 970-491-9888 • www.jrengineering.com

NO.	REVISION	DATE	BY

H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
1" = 30'	N/A	10/13/14	RAB	RAB	RAB

CHRISTIAN BROTHERS
AUTOMOTIVE
SITE PLAN
SHEET 2 OF 13
JOB NO. 25124-00



**PRELIMINARY
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CONSTRUCTION**

GENERAL NOTES:

A GLOBAL STABILITY ANALYSIS REPORT ENTITLED "GEOLOGIC HAZARD REPORT PROPOSED CHRISTIAN BROTHERS AUTOMOTIVE 20 SOUTH ROCKIMON BOULEVARD COLORADO SPRINGS, CO 80919" WAS COMPLETED. BELOW IS A LIST OF THE GEOLOGIC HAZARDS FOUND IN THE REPORT AS WELL AS THE ENGINEERED MITIGATION.
-SLOPE STABILITY: THIS WILL BE MITIGATED BY TWO TERRACED 3' AND 4' GEO-BLOCK WALLS. SEE THE GEOLOGIC HAZARD REPORT FOR THE SLOPE STABILITY ANALYSIS.

THE 6" AND 1" CONC PAVEMENT AREAS WILL BE REINFORCED WITH #4 REBAR @ 18" O.C.E.W.

BENCHMARK: FMS MONUMENT 41, BERNTSEN CIDB 3.5" DIAMETER BRASS CAP SET IN THE SOUTHWEST CORNER OF A LIGHTPOLE PAD ALONG THE WEST SIDE OF DELMONICO DRIVE, APPROXIMATELY 100 FEET NORTHWESTERLY OF THE CENTERLINE OF COLONY CIRCLE. ELEVATION = 6315.8 "FMS DATUM"

FIGURE 1

CHRISTIAN BROTHERS
AUTOMOTIVE
PRELIMINARY GRADING PLAN

H-SCALE	1" = 30'
V-SCALE	N/A
DATE	10/13/14
DESIGNED BY	RAB
DRAWN BY	KRW
CHECKED BY	

NO.	REVISION	BY	DATE

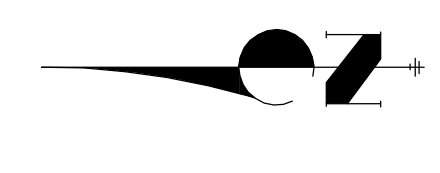
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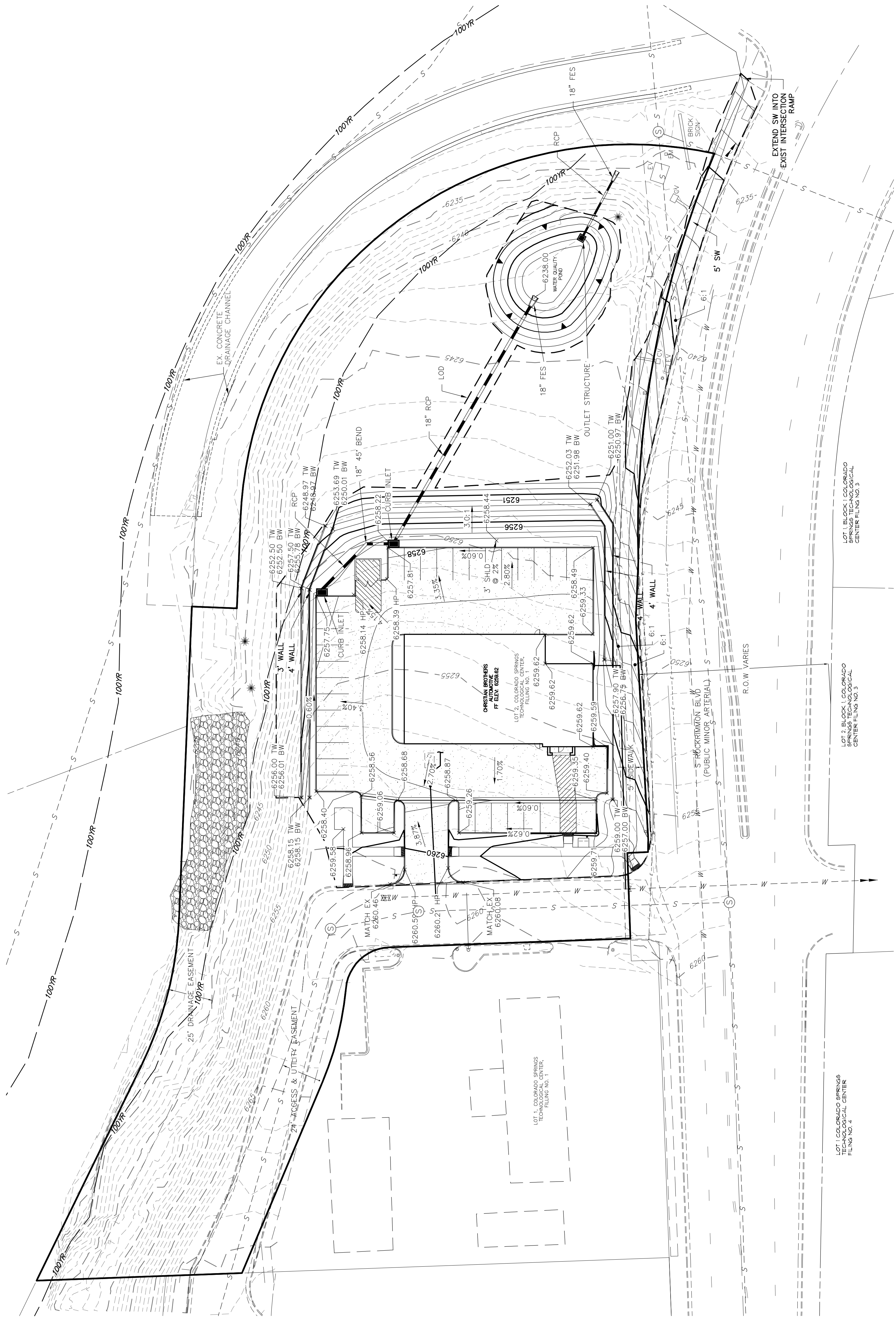


**PRELIMINARY
NOT FOR
CONSTRUCTION**



- LEGEND:**
- PROPOSED CONTOUR
 - - - EXISTING CONTOUR
 - PROPOSED STORM PIPE
 - - - PROPOSED EASEMENT
 - - - EXISTING EASEMENT
 - EXISTING PROPERTY LINE
 - - - EXISTING RIGHT OF WAY
 - - - LIMITS OF DISTURBANCE (LOD)

NOTES:
1. ALL STORMWATER INFRASTRUCTURE IS PRIVATE UNLESS OTHERWISE NOTED



LOT 1, COLORADO SPRINGS TECHNOLOGICAL CENTER FILING NO. 3

LOT 2, COLORADO SPRINGS TECHNOLOGICAL CENTER FILING NO. 3

LOT 1, COLORADO SPRINGS TECHNOLOGICAL CENTER FILING NO. 4

FIGURE 1

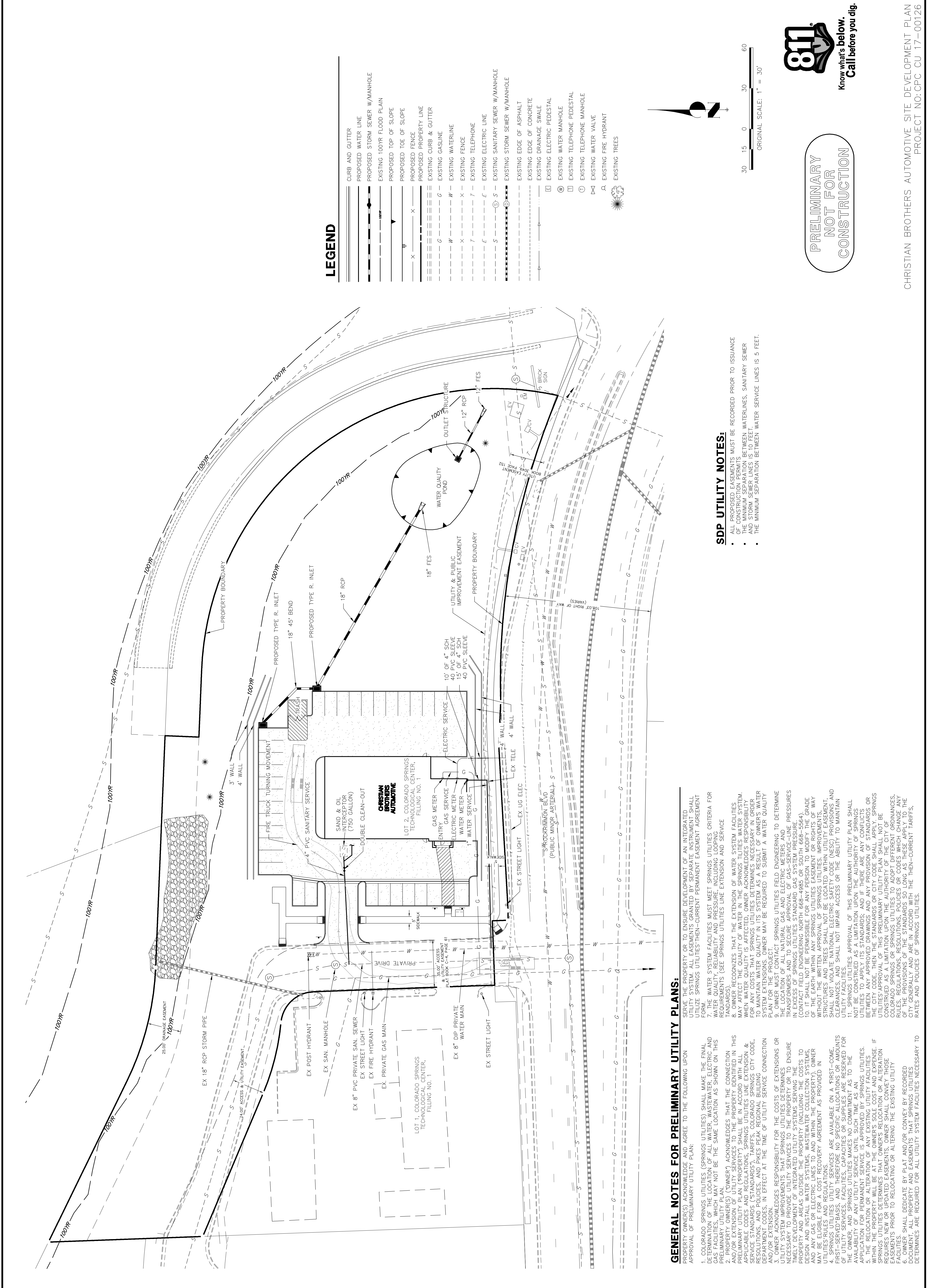
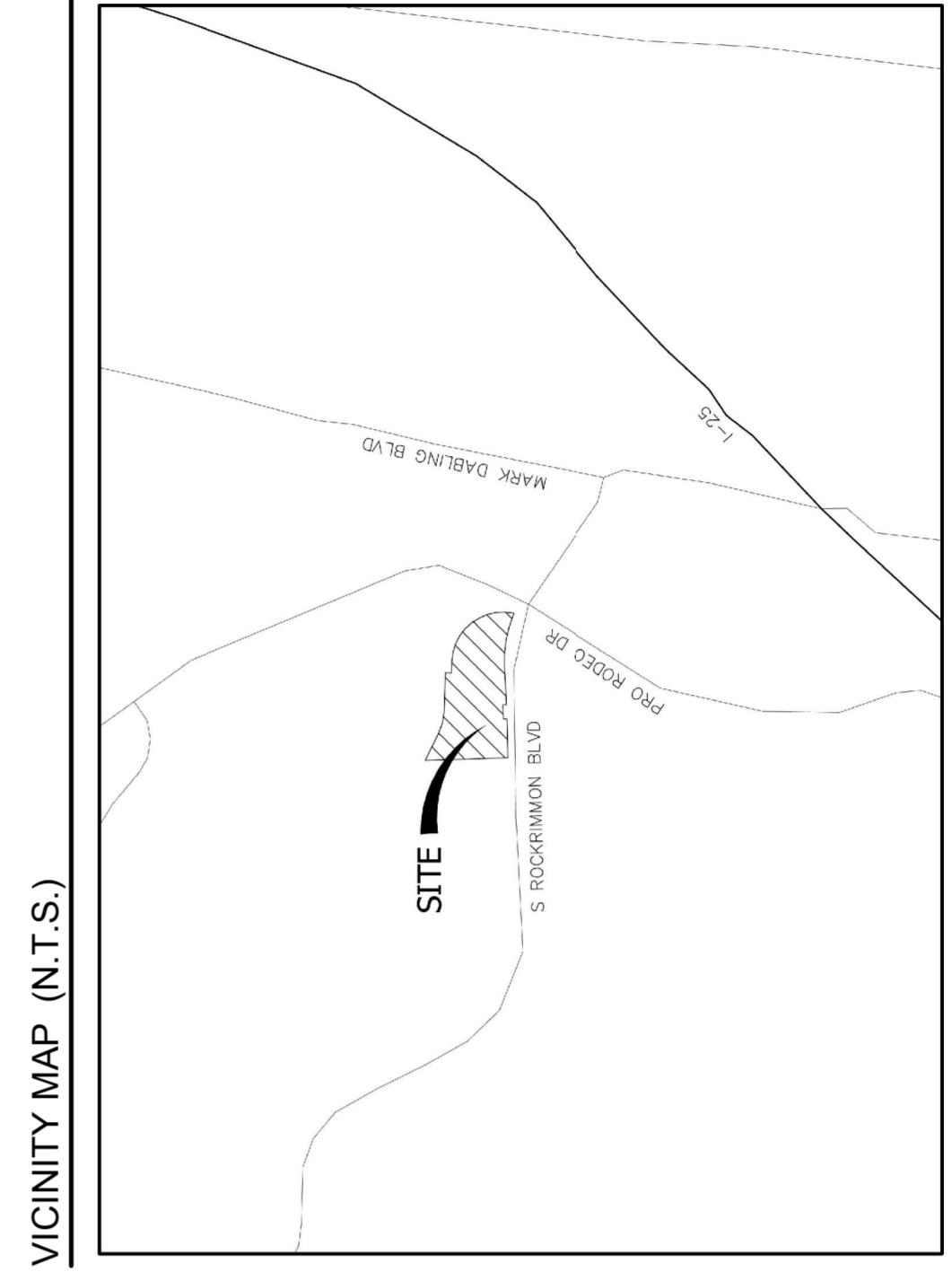
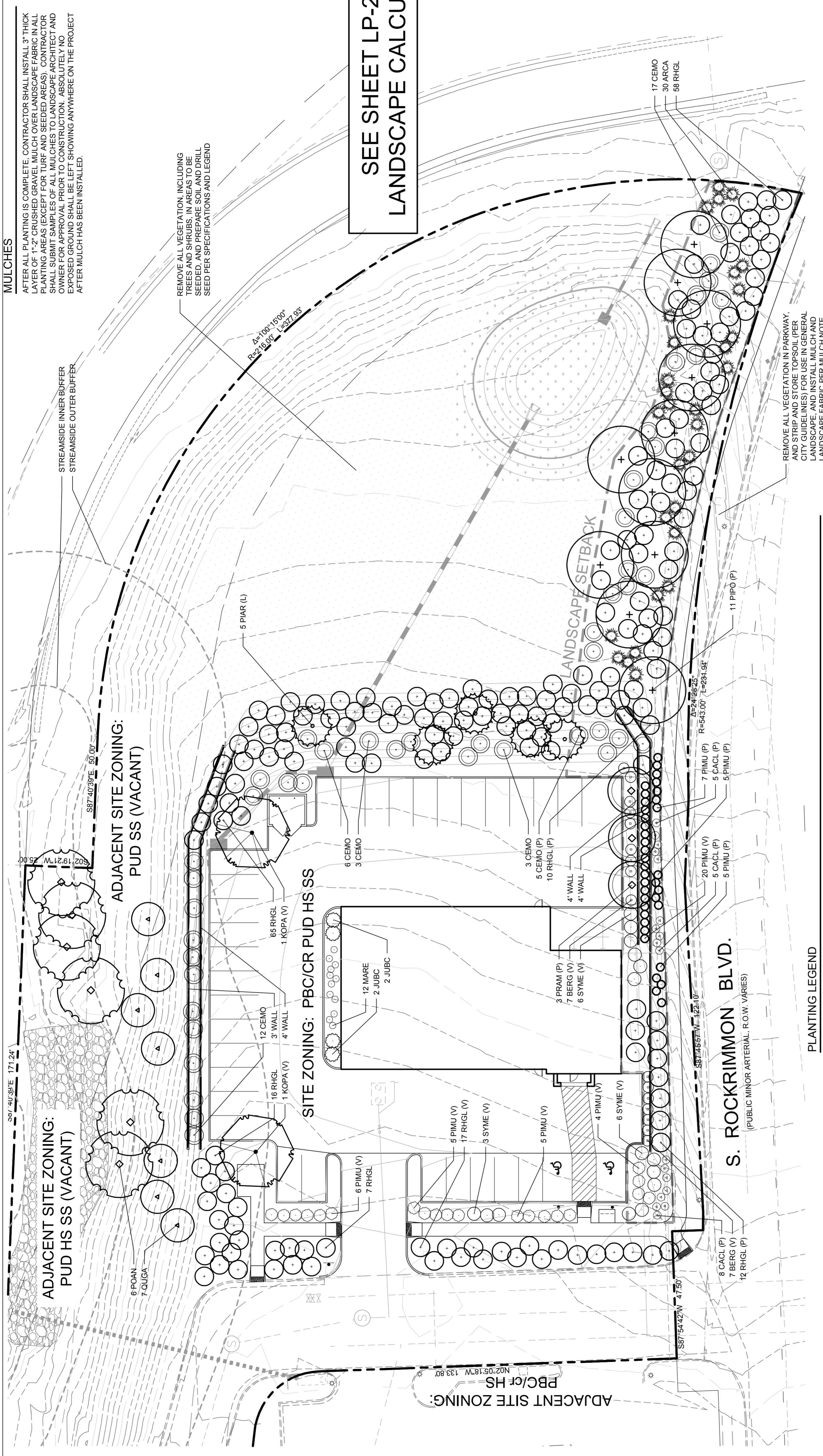
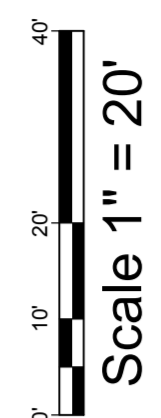


FIGURE 1

MULCHES
 AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1/2" CRUSHED GRAVEL MULCH OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED.

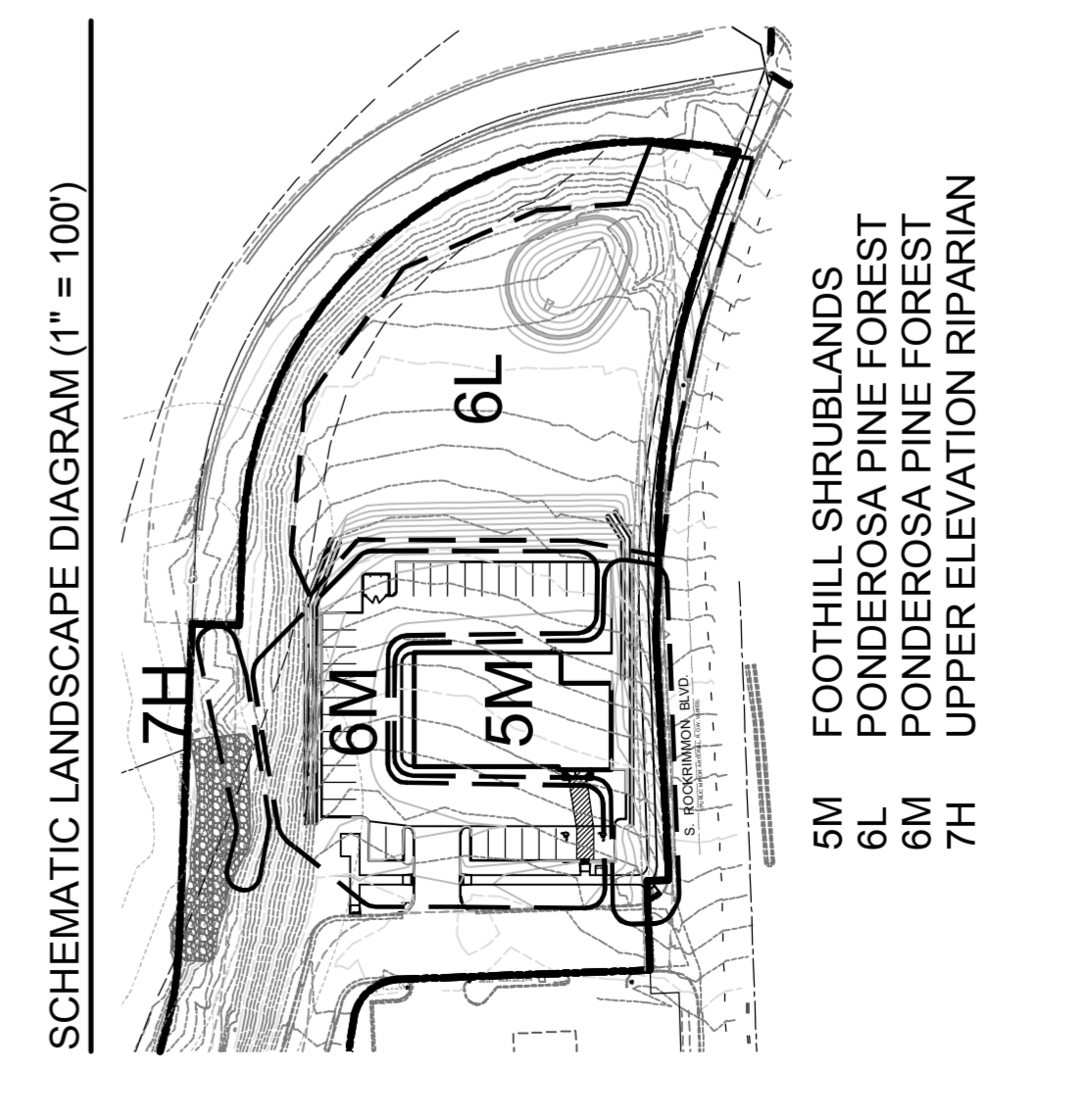
REMOVE ALL VEGETATION, INCLUDING TREES AND SHRUBS, AND SEED AND PREPARE SOIL AND DRILL SEED PER SPECIFICATIONS AND LEGEND

SEE SHEET LP-2 FOR LANDSCAPE CALCULATIONS



PLANTING LEGEND

SYMBOL	QUAN.	BOTANIC NAME	COMMON NAME	KEY (APP. B)	MATURE WIDTH	SIZE	SPACING
TREES							
V	KOPA	2	Koelerutera paniculata	S	30'-40'	1.5" cal. 6'-9", B&B	Per plan
L	PIAR	5	Pinus aristata	45678DA	10'-20'	1.5" cal. 6'-8", B&B	Per plan
P	PIPO	11	Pinus ponderosa	2678D	20'-30'	6'-8", B&B	Per plan
STREAMSIDE							
P	PRAM	6	Populus angustifolia	478A	50'-60'	1.5" cal. 6'-9", B&B	Per plan
P	PRAM	3	Prunus americana	234567DA	8'-12'	1.5" cal. B&B	Per plan
P	QUCA	7	Quercus gambelii	125678DA	15'-20'	1.5" cal. B&B	Per plan
PERCENT SIGNATURE TREES: 60% MINIMUM							
TOTAL TREES:				34	34 (100%)		
SIGNATURE TREES:				34	34 (100%)		
SHRUBS							
ARCA	30	Artemisia canna	Silver Sagebrush	45A	4'-6'	#5 cont.	4' o.c.
BERG	16	Berberis thunbergii 'Rose Glow'	Rose Glow Barberry	45A	4'-6'	#5 cont.	4' o.c.
CACL	18	Caryopteris x clandonensis	Blue Mist Spiraea	1235A	2'-3'	#5 cont.	3' o.c.
CEMO	46	Cercocarpus montanus	Mountain Mahogany	1256D	2'-3'	#5 cont.	6' o.c.
FOAR	25	Forseythia 'Arnold Dwarf'	Arnold Dwarf Forsythia	D	4'-6'	#5 cont.	5' o.c.
JUBC	4	Juniperus horizontalis 'Blue Chip'	Blue Chip Juniper	2568A	4'-6'	#5 cont.	5' o.c.
JUOG	20	Juniperus 'Old Gold'	Old Gold Juniper	DA	4'-6'	#5 cont.	4' o.c.
MARE	12	Mahonia repens	Creeping Oregon Grape	45678AD	2'-3'	#5 cont.	4' o.c.
PIMU	37	Pinus mugo 'White Bud'	White Bud Mugo Pine	1256D	2'-3'	#5 cont.	3' o.c.
RHGL	183	Rhus aromatica 'Gro-Low'	Gro-Low Sumac	234568DA	6'-8'	#5 cont.	6' o.c.
SYME	15	Syringa meyeri 'Palibin'	Palibin Korean Lilac	568A	3'-5'	#5 cont.	5' o.c.
PERCENT SIGNATURE SHRUBS: 60% MINIMUM							
TOTAL SHRUBS:				288	288 (100%)		
SIGNATURE SHRUBS:				288	288 (100%)		
SEED							
	Dryland seed mix	TBD	***	Drill seed	TBD	***	***
	NRCS Flood Recovery Streambank Mix	***	***	Drill seed	0.6 lb/1,000 sf	***	***



ROOT BARRIERS
 THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENIRCLE THE ROOTBALL.

NOTES:
 1) SEED MIX IS AVAILABLE THROUGH PAWNEE BUTTES SEED, INC., GREELEY, CO. 800-782-5947.
 2) PROVIDE TEMPORARY IRRIGATION FOR SEEDED AREAS THROUGH FIRST FULL GROWING SEASON.

CHRISTIAN BROTHERS AUTOMOTIVE SITE DEVELOPMENT PLAN
 PROJECT NO: CPC CU 17-00126

FIGURE 1

PLANTING SPECIFICATIONS

- GENERAL
1. QUALIFICATIONS OF LANDSCAPE CONTRACTOR
2. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE WORK...

- PRODUCTS
A. ALL MANUFACTURED PRODUCTS SHALL BE NEW.
B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS.
1. HEALTHY, VIGOROUS STOCKS FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS...

- METHODS
A. SOIL PREPARATION
1. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE...
2. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLERS TESTED BY AN INDEPENDENT LABORATORY...

- TOPSOIL STOCKPILING
PRIOR TO THE START OF CONSTRUCTION, ALL TOPSOIL SHALL BE STRIPPED AND STOCKPILED IN AN AREA SAFE FROM CONTAMINATION AND COMPACTED, AND COVERED WITH TARPS TO PREVENT EROSION AND CONTAMINATION OF SOIL. TOPSOIL SHALL NOT BE REUSED IF CONTAMINATED OR OTHERWISE DEGRADED...
GENERAL PLANTING NOTES
1. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO BE PRESERVED) FROM ALL AREAS TO BE PLANTED...

- LANDSCAPE GRADING, WALLS, STRUCTURES
SEE PLANS BY CIVIL ENGINEER FOR LANDSCAPE GRADING AND CONSTRUCTION DETAILS, HEIGHTS, AND MATERIALS OF WALLS AND OTHER STRUCTURES.
LANDSCAPE CALCULATIONS
LANDSCAPE SETBACKS
STREET NAME CLASSIFICATION: STREET
MINOR ARTERIAL
S. ROCKRIMMON BLVD. MINOR ARTERIAL
SHRUB SUBSTITUTES: CRN GRASS SUBS 0/0
VEG. REQ./PROVIDED: 0/0

- LANDSCAPE INSPECTIONS
PER THE CITY OF COLORADO SPRINGS, THE FOLLOWING INSPECTIONS MUST TAKE PLACE DURING CONSTRUCTION, UNDER THE DIRECT SUPERVISION OF EVERGREEN DESIGN GROUP (EDG) OR THEIR APPOINTED LOCAL REPRESENTATIVE:
1) SITE TEST (SEE SPECIFICATIONS ON THIS SHEET)
2) MAINLINE PRESSURE TEST AND VERIFICATION OF MAINLINE SIZE AND DEPTH
3) FINAL SITE INSPECTION, INCLUDING IRRIGATION COVERAGE AND DEPTH, PLANT OBSERVATION, AND VERIFICATION OF TYPE AND DEPTH OF MULCH

- GENERAL PLANTING
1. HERBIVY TAGS AND STAKES FROM PLANTS, EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURERS RECOMMENDED RATE.
2. CONTRACTOR SHALL NOT DISTURB ROOTS 1'-12" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO THE TREE TRUNK WITH A RADIUS EQUAL TO 1' FOR EVERY 1" OF TRUNK DIAMETER AT BREAST-HIGHT FROM THE TREE TRUNK...

- STEEL EDGING
SCALE: NOT TO SCALE
1. ROLLED-TOP STEEL EDGING PER PLANS.
2. TAPERED STEEL STAKES.
3. MULCH, TYPE AND DEPTH PER PLANS.
4. FINISH GRADE.
NOTES:
1. INSTALL EDGING SO THAT STAKES WILL BE ON INSIDE OF PLANTING BED.
2. BOTTOM OF EDGING SHALL BE BURIED A MINIMUM OF 1' BELOW FINISH GRADE.
3. TOP OF MULCH SHALL BE 1" LOWER THAN TOP OF EDGING.

- SHRUB AND PERENNIAL PLANTING
SCALE: NOT TO SCALE
1. SHRUB, PERENNIAL OR ORNAMENTAL GRASS.
2. MULCH, TYPE AND DEPTH PER PLANS. PLACE NO MORE THAN 1" OF MULCH WITHIN 6" OF PLANT CENTER.
3. FINISH GRADE.
4. ROOT BALL.
5. BACKFILL, AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
6. UNDISTURBED NATIVE SOIL.
7. 3" HIGH EARTHEN WATERING BASIN.
8. WEED FABRIC UNDER MULCH.

- PLANTING AT PARKING AREA
SCALE: NOT TO SCALE
1. CURB.
2. MULCH LAYER.
3. PLANT.
4. TURF (WHERE SHOWN ON PLAN).

- LANDSCAPE GRADING, WALLS, STRUCTURES
SEE PLANS BY CIVIL ENGINEER FOR LANDSCAPE GRADING AND CONSTRUCTION DETAILS, HEIGHTS, AND MATERIALS OF WALLS AND OTHER STRUCTURES.
LANDSCAPE CALCULATIONS
LANDSCAPE SETBACKS
STREET CLASSIFICATION: STREET
MINOR ARTERIAL
S. ROCKRIMMON BLVD. MINOR ARTERIAL
SHRUB SUBSTITUTES: CRN GRASS SUBS 0/0
VEG. REQ./PROVIDED: 0/0

- INTERNAL LANDSCAPING
PERCENT MINIMUM INTERNAL AREA: 5%
NONPERS. - 5%
DEVELOPED AREA: 5/5
INTERNAL TREES REQ./PROV.: 5/5
INTERNAL SF REQ./PROV.: 3,510 SF / 18,181 SF

- STREAMSIDE REQUIREMENTS
INNER BUFFER: 165 LF (DEVELOPED AREA ONLY)
9 (1 PER 20 LF) / 6 (PROPOSED TREES, -2 EXISTING TREES, -10 EXISTING SHRUBS)
OUTER BUFFER: 212 LF (DEVELOPED AREA ONLY)
7 (1 PER 30 LF) / 7
TREES REQUIRED/PROVIDED:
BUFFERS LENGTH:
BUFFERS REQUIRED/PROVIDED:

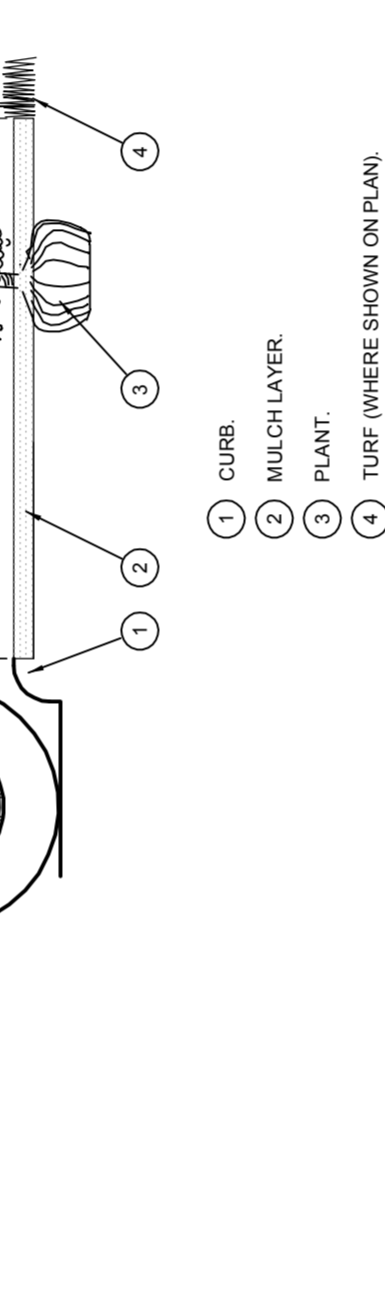
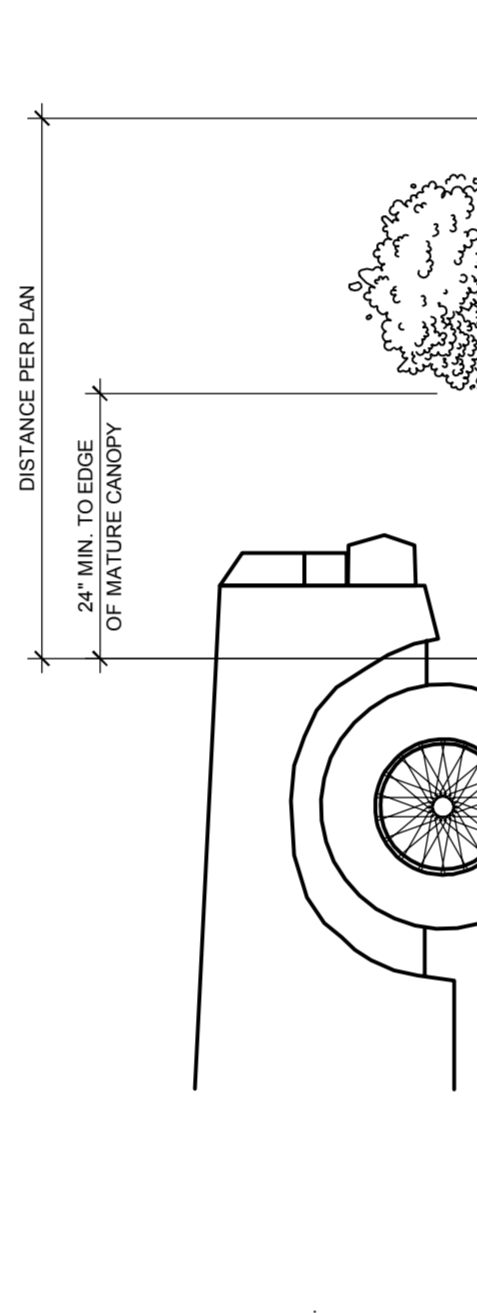
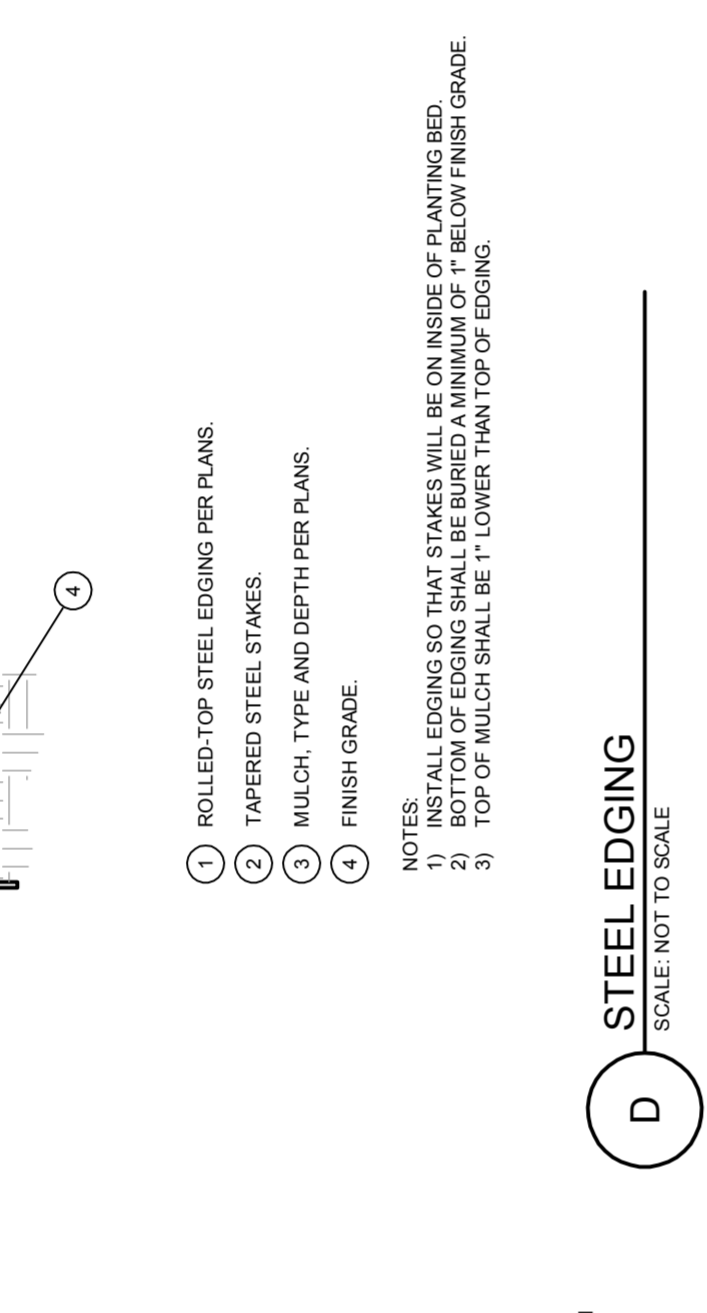
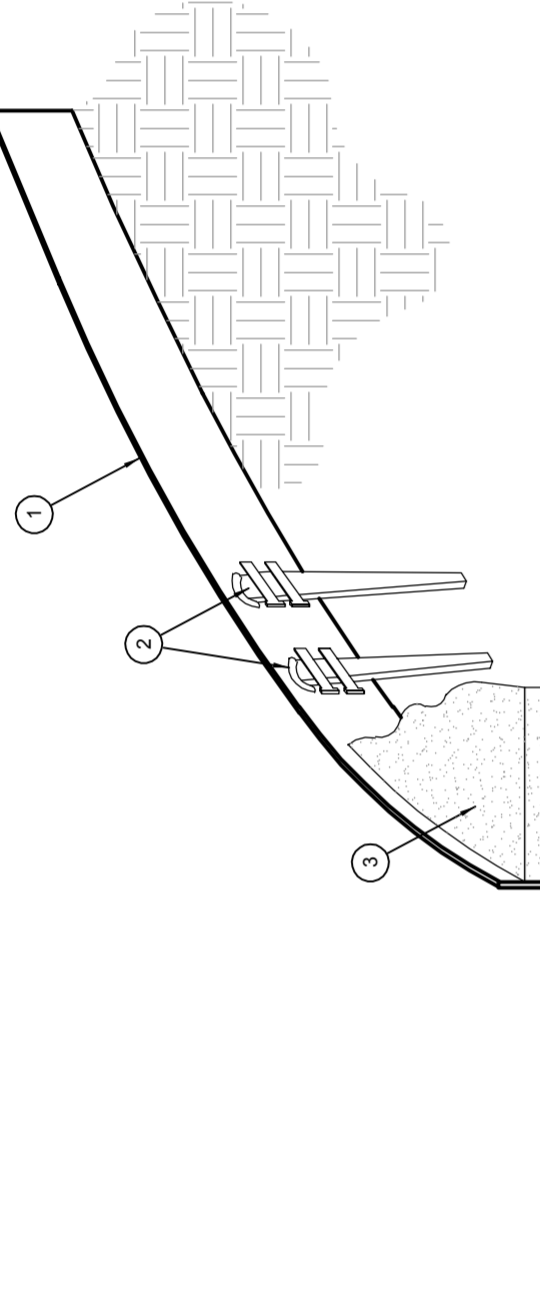


Table with columns: STREET NAME, CLASSIFICATION, MINOR ARTERIAL, SETBACKS PROVIDED, FRONTAGE PROVIDED, VEHICLE LOT SPACES PROVIDED, MIN. # SCREENING PLANTS, PERCENT SCREENING, LENGTH OF SCREENING, WALK OR BERM, FRONTAGE LENGTH EXCL. DRIVEWAYS, S. ROCKRIMMON BLVD., VEHICLE LOT PLANT VEG. REQ./PROVIDED, PERCENT GROUND PLANE VEG. REQ./PROVIDED, NO. OF TREES REQ./PROV., 20 / 14 + SHRUBS

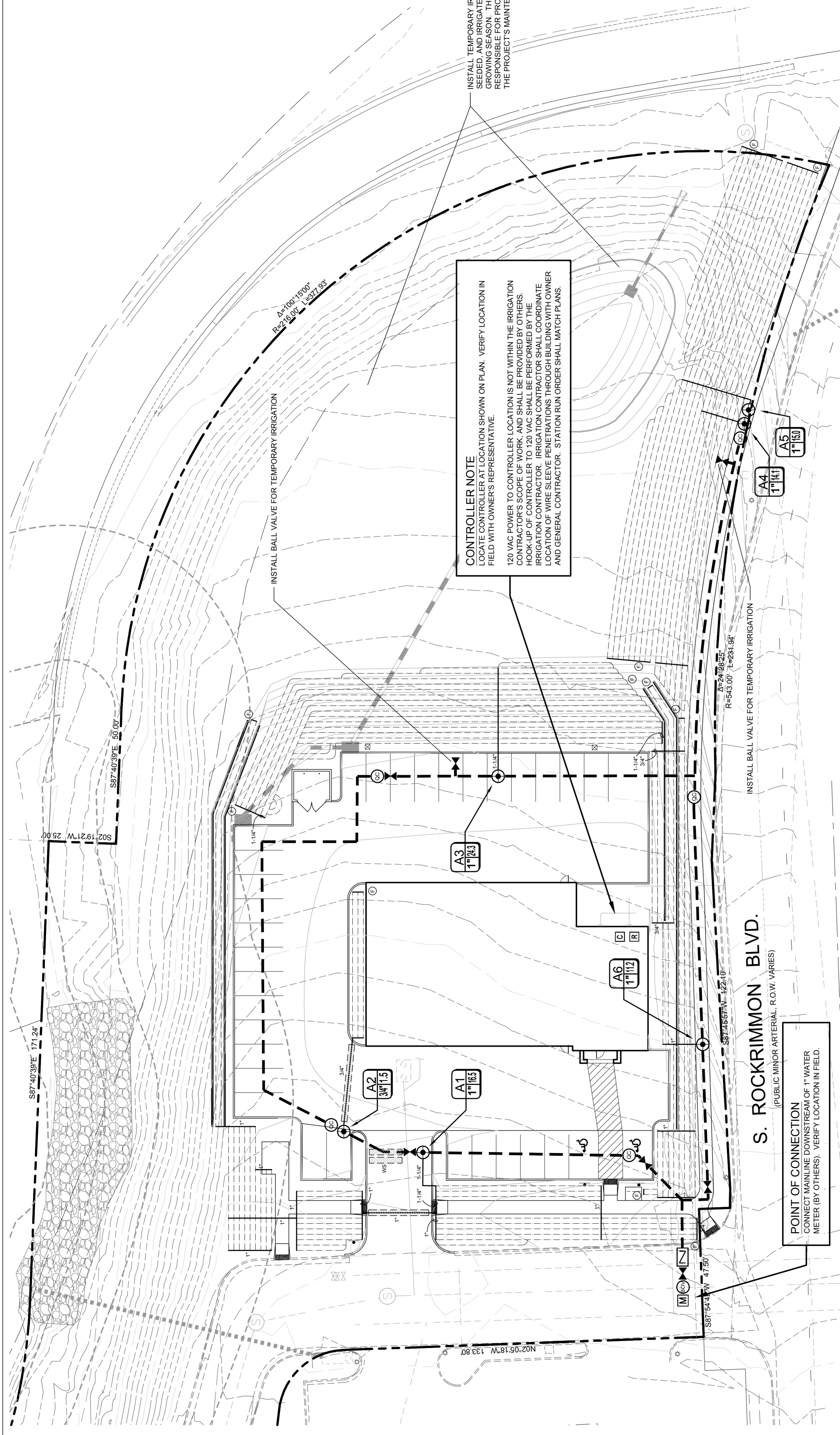
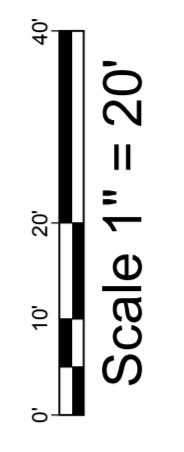
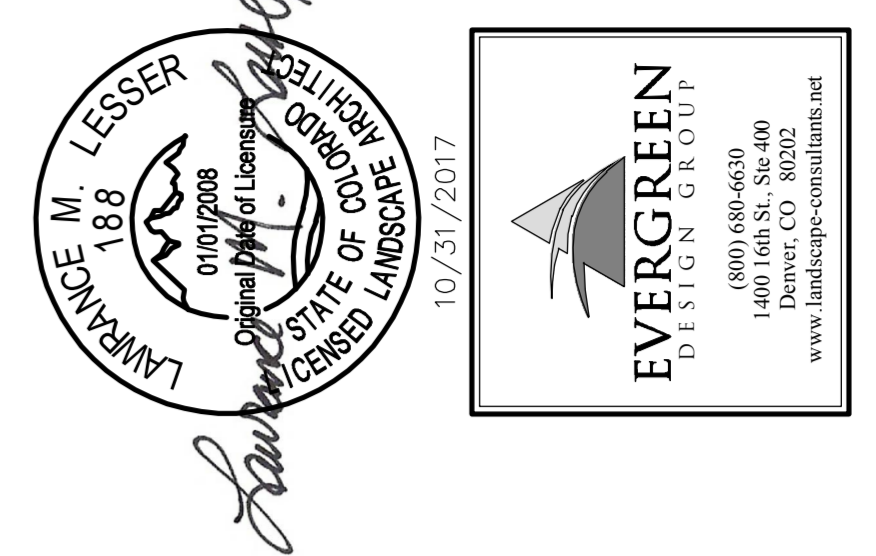
Table with columns: STREET NAME, CLASSIFICATION, MINOR ARTERIAL, SETBACKS PROVIDED, FRONTAGE PROVIDED, VEHICLE LOT SPACES PROVIDED, MIN. # SCREENING PLANTS, PERCENT SCREENING, LENGTH OF SCREENING, WALK OR BERM, FRONTAGE LENGTH EXCL. DRIVEWAYS, S. ROCKRIMMON BLVD., VEHICLE LOT PLANT VEG. REQ./PROVIDED, PERCENT GROUND PLANE VEG. REQ./PROVIDED, NO. OF TREES REQ./PROV., 20 / 14 + SHRUBS

Table with columns: PLANT SPACING, TO DETERMINE NO. OF PLANTS, AREA DIVIDER, PLANT SPACING, TO DETERMINE NO. OF PLANTS, AREA DIVIDER, PLANT SPACING, TO DETERMINE NO. OF PLANTS, AREA DIVIDER. Includes notes on plant spacing and an example calculation for 100 SF of planting area.

CHRISTIAN BROTHERS AUTOMOTIVE PLANTING DETAILS AND SPECIFICATIONS
SHEET LP-26 7
JOB NO. 25124-00
CHRISTIAN BROTHERS AUTOMOTIVE
DESIGNED BY 6/8/17
DATE N/A
V-SCALE #/
H-SCALE #/
REVISION #/
DRAWN BY #/
CHECKED BY #/
J-R ENGINEERING
A Western Company
Fort Collins 970-740-9993 • Colorado Springs 719-593-2593
Central 303-740-9993 • www.jrengr.com

CHRISTIAN BROTHERS AUTOMOTIVE SITE DEVELOPMENT PLAN
PROJECT NO: CPC CU 17-00126
EVERGREEN DESIGN GROUP
Landscape Architecture
1400 16th St, Ste 400
Denver, CO 80202
www.landscape-consultants.net
(303) 456-6200
Original Date of Issuance: 01/07/2018
Landscape M. Lesser
10/31/2017

FIGURE 1



CONTROLLER NOTE
 LOCATE CONTROLLER AT LOCATION SHOWN ON PLAN. VERIFY LOCATION IN FIELD WITH OWNER'S REPRESENTATIVE.

120 VAC POWER TO CONTROLLER LOCATION IS NOT WITHIN THE IRRIGATION CONTRACTOR'S SCOPE OF WORK AND SHALL BE PROVIDED BY OTHERS. HOOK-UP OF CONTROLLER TO 120 VAC SHALL BE PERFORMED BY THE IRRIGATION CONTRACTOR. IRRIGATION CONTRACTOR SHALL COORDINATE LOCATION OF WIRE SLEEVE PENETRATIONS THROUGH BUILDING WITH OWNER AND GENERAL CONTRACTOR. STATION RUN ORDER SHALL MATCH PLANS.

INSTALL TEMPORARY IRRIGATION IN AREAS TO BE SEEDED AND IRRIGATE THROUGH THE FIRST FULL GROWING SEASON. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER IRRIGATION THROUGH THE PROJECT'S MAINTENANCE PERIOD.

TEMPORARY IRRIGATION FOR SEEDED AREAS

IRRIGATION CONTRACTOR SHALL RUN FOUR ADDITIONAL CONTROL WIRES AND ONE COMMON WIRE ALONG MAINLINE TO ACCOMMODATE TEMPORARY IRRIGATION FOR AREAS TO BE SEEDED. CONNECT TEMPORARY IRRIGATION AT BALL VALVES INDICATED ON PLAN. METHOD OF TEMPORARY IRRIGATION SHALL BE AT THE CONTRACTOR'S DISCRETION, WITH THE FOLLOWING CONDITIONS:
 1) 100% HEAD-TO-HEAD COVERAGE MUST BE MAINTAINED
 2) SEEDED AREAS MUST IRRIGATED SUCH THAT THERE ARE NO BARE AREAS LARGER THAN 12 SQUARE INCHES AT TIME OF FINAL ACCEPTANCE

AUTOMATIC DRAIN VALVES AND AIR RELIEF VALVES

INSTALL AUTOMATIC DRAIN VALVES AT THE LOW POINTS OF EACH LATERAL LINE (MIN. 2 PER VALVE) AS PER DETAIL L, SHEET LI4. INSTALL AIR RELIEF VALVES ON DRIP SYSTEMS AT THE LOCATIONS SHOWN ON THE PLANS, AS PER DETAILS.

SLEEVING / WIRING NOTES:

IN ADDITION TO PROVIDING SLEEVES FOR ALL PIPING UNDER ROADWAYS AND WALKWAYS, THE IRRIGATION CONTRACTOR SHALL PROVIDE AND INSTALL SCH. 40 PVC SLEEVES FOR ALL CONTROLLER WIRES OCCURRING UNDER ALL ROADWAYS AND WALKWAYS. SLEEVES FOR CONTROLLER WIRES SHALL BE 2" DIA. AND CONTAIN NO MORE THAN 25 WIRES.

IRRIGATION DISCLAIMER

THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, AND OTHER EQUIPMENT SHOWN WITHIN PAVED AREAS OR OUT OF PROPERTY BOUNDARIES ARE FOR DESIGN CLARIFICATION ONLY, AND SHALL BE INSTALLED IN PLANTING AREAS WITHIN THE PROPERTY LINES OR LIMITS INDICATED ON PLAN. THE IRRIGATION CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL ABOVE-GRADE IRRIGATION EQUIPMENT WITH THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION, OR IRRIGATION CONTRACTOR MAY BE REQUIRED TO MOVE SUCH ITEMS AT HIS OWN COST.

IRRIGATION CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL FINAL QUANTITIES PER DRAWINGS AND SPECIFICATIONS. ANY QUANTITIES PROVIDED ARE PROVIDED AS A CONVENIENCE TO THE CONTRACTOR ONLY AND SHALL NOT BE CONSIDERED ABSOLUTE.

IRRIGATION LEGEND

SYMBOL	MANUF.	MODEL NO.	DESCRIPTION	REMARKS/DETAIL
C	RAINBIRD	ESP12ALXME	12-STATION CONTROLLER, EXTERIOR WALL MOUNT	DETAIL A12
R	RAINBIRD	WR2-RFC	RAINFREEZE SENSOR - MOUNT SENSOR ON PARAPET PER MANUFACTURER	DETAIL B12
M	1" WATER METER (BY OTHERS)	DETAIL K13
N	FEBCO	MODEL 825VA-1"	BACKFLOW PREVENTER WITH WING MODEL 800 PRESSURE REGULATOR SET TO 70 PSI MOUNT IN STRONGBOX INSULATED ENCLOSURE, MODEL #SBC-60ALPR	DETAIL C12
+	RAINBIRD	XCZ-100-PRB-COM	DRIP CONTROL ZONE KIT (USE XCZ-100-PRB-COM FOR FLOWS OVER 20 GPM)	DETAIL D12
+	RAINBIRD	33D1RC	QUICK COUPLER, 3/4"	DETAIL E12
+	RAINBIRD	33D2RC	BLOW-OFF VALVE - QUICK COUPLER, 3/4"	DETAIL E12
+	NIBCO	T-FF-600A	BALL VALVE, BRASS, FULL-PORT, LINE SIZE	DETAIL F13
---	ANY APPROVED	PRESSURIZED PVC MAIN LINE, SCH. 40, 1-1/4"		DETAIL G13
---	ANY APPROVED	NON-PRESSURIZED LATERAL LINE, CL. 200 PVC, SIZE AS NOTED ON PLAN		DETAIL G13
---	ANY APPROVED	IRRIGATION SLEEVE, SCH. 40 PVC, MIN. TWICE SIZE OF PIPE TO BE INSERTED, ONE SLEEVE PER PIPE		DETAIL G13
---	ANY APPROVED	CONTROL WIRING SLEEVE, SCH. 40 PVC, 2"		DETAIL G13
○	RAINBIRD	XF5-04-18	LANDSCAPE DRIP LINE - SPACE LINES AT 24" O.C.	DETAILS H, I, J13
○	ANY APPROVED	...	FLUSH VALVE - BALL VALVE IN VALVE BOX WITH 3' LENGTH OF TUBING	DETAIL J13
○	RAINBIRD	AR1075	AIR RELIEF VALVE IN SSB 7/8" VALVE BOX	DETAIL M13

VALVE KEY

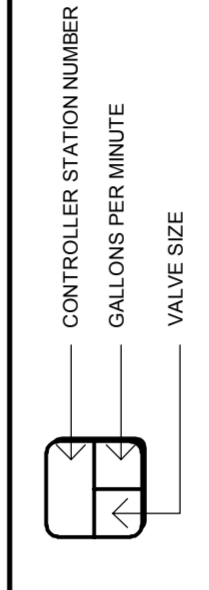


FIGURE 1

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Fax: 817.865.0202

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C/O RON COVINGTON
1772 KATY FREEWAY, SUITE 200
HOUSTON, TX 77094
(719) 491-1220

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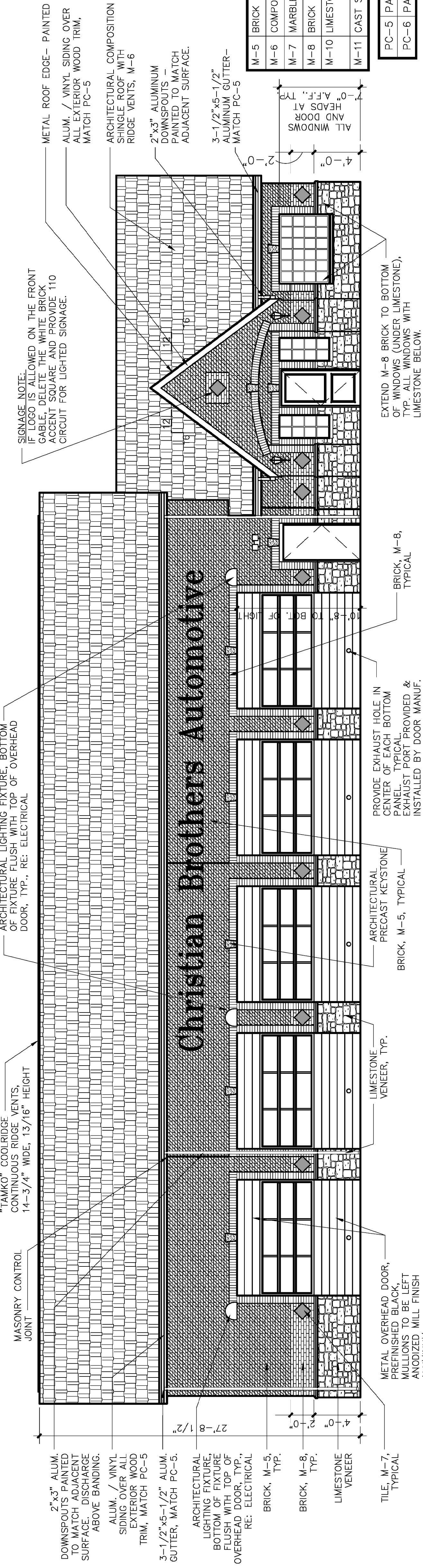
NO.	REVISION	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
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SHEET NO.	OF	JOB NO.
10	10	25124-00

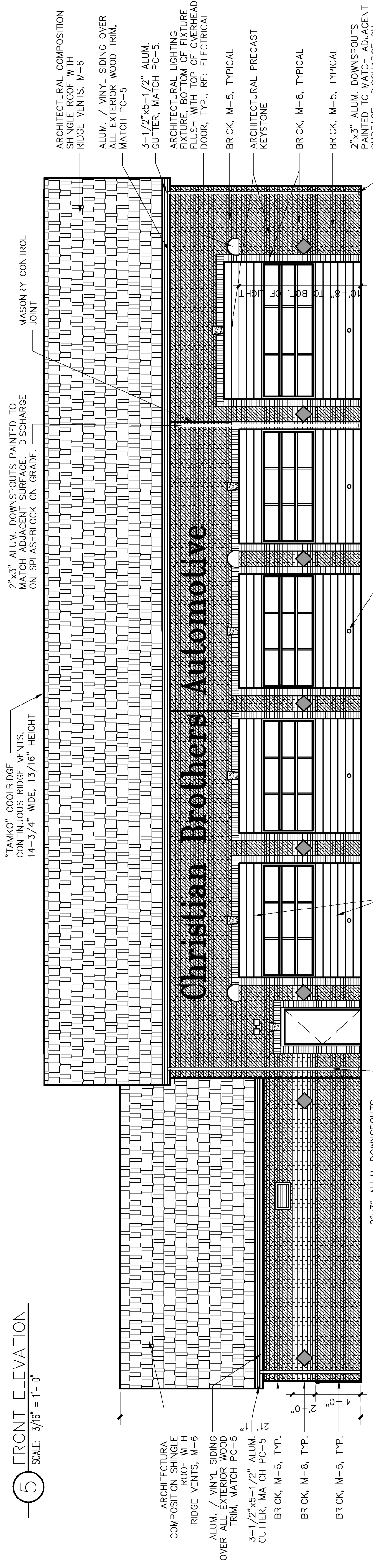
CHRISTIAN BROTHERS
AUTOMOTIVE
EXTERIOR ELEVATIONS

MATERIAL SCHEDULE

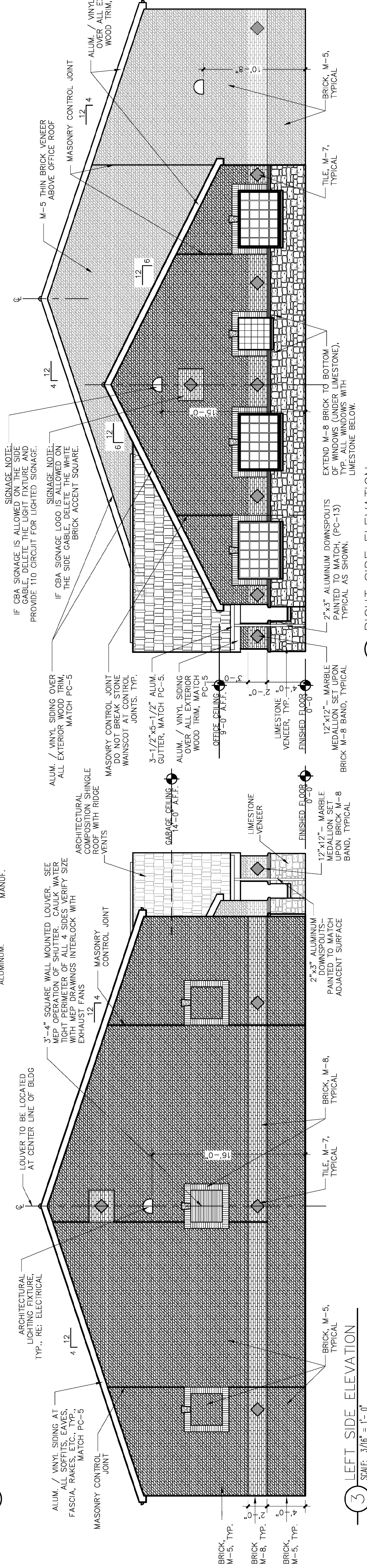
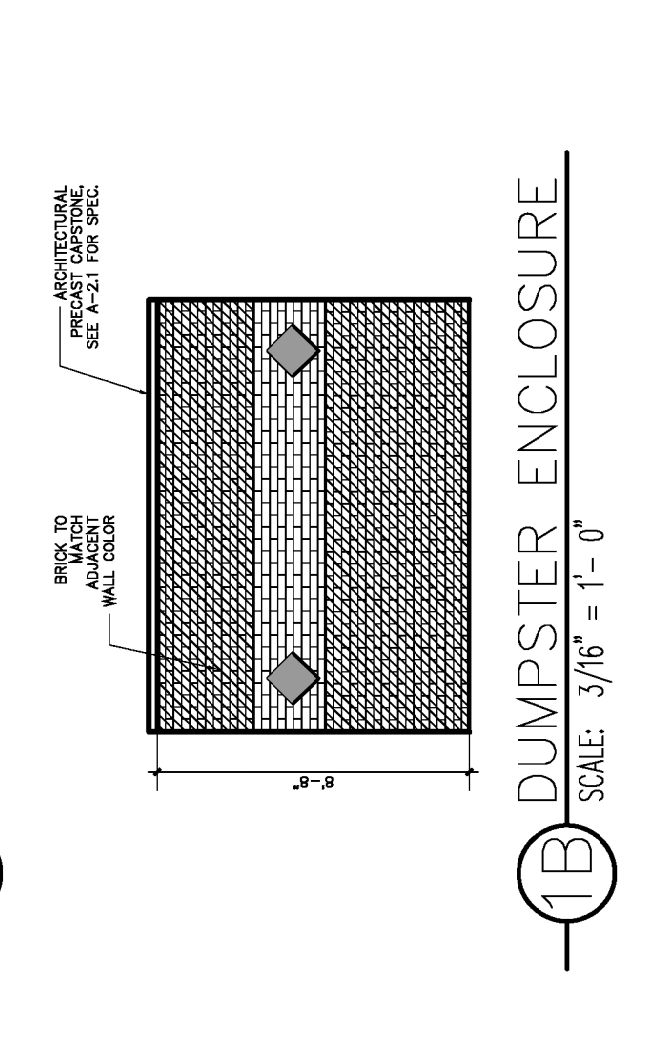
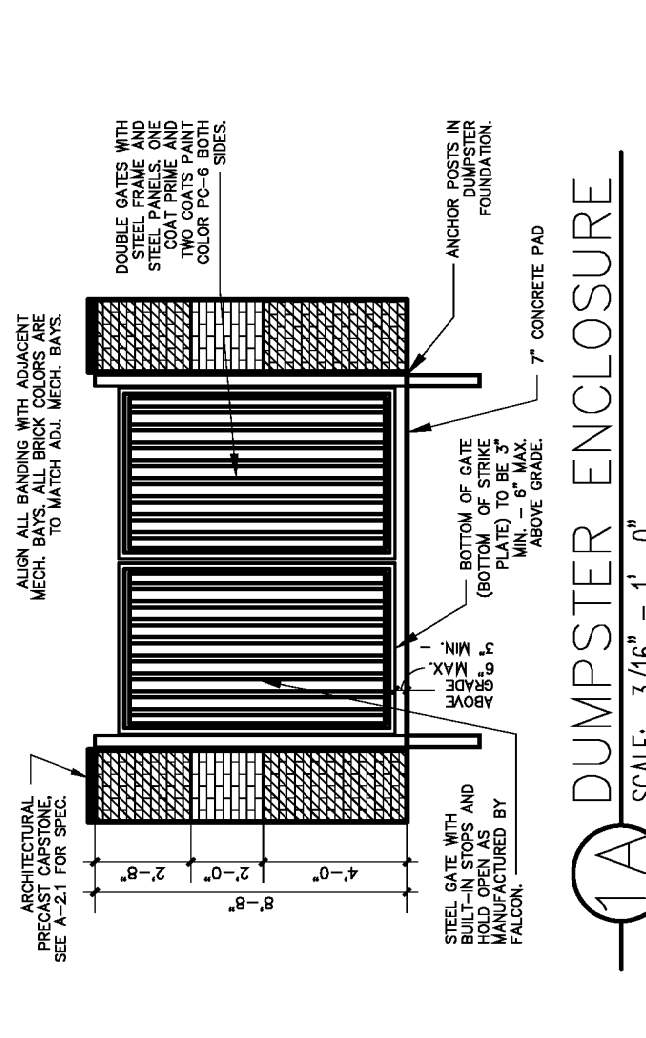
M-5	BRICK	ACME BRICK CO. 8" NOM. 1/2" MODULAR BRICK COLOR: BURGUNDY, MORTAR COLOR: WHITE
M-6	COMPOSITION SHINGLE ROOF	CERTAINTED LANDMARK 30 AR, COLOR: "HUNTER GREEN"
M-7	MARBLE TILE MEDALLION	DAL-TILE M741-12 EMPRESS GREEN (POLISHED)
M-8	BRICK	ASPE BRICK CO. 8" NOM. 1/2" MODULAR BRICK, COLOR: GLAZER WHITE, MORTAR COLOR: WHITE
M-10	LIMESTONE VENEER	MANUFACTURED THIN LIMESTONE VENEER SUNSET STONE, STYLE: LIMESTONE, COLOR: ASH, MORTAR COLOR: WHITE
M-11	CAST STONE	PRE-CAST STONE WATERTABLE AND SILL, COLOR: WHITE
PC-5	PAINT	SEMI-GLOSS SHERWIN WILLIAMS MARSHMALLOW SW 7001
PC-6	PAINT	SEMI-GLOSS SHERWIN WILLIAMS BLACK



5 FRONT ELEVATION
SCALE: 3/16" = 1'-0"



4 BACK ELEVATION
SCALE: 3/16" = 1'-0"



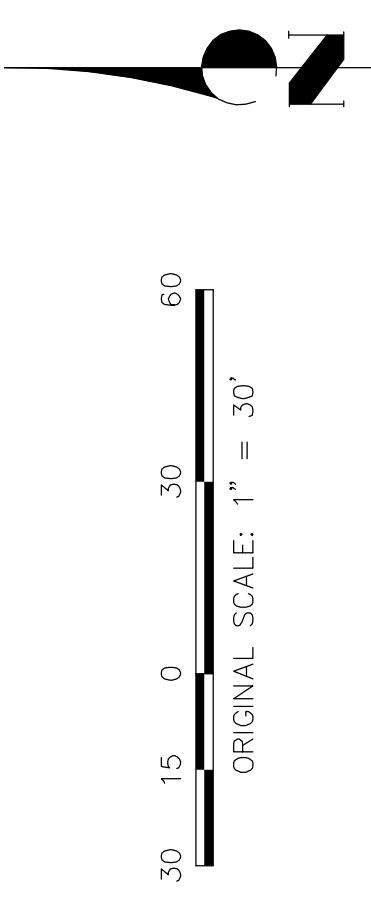
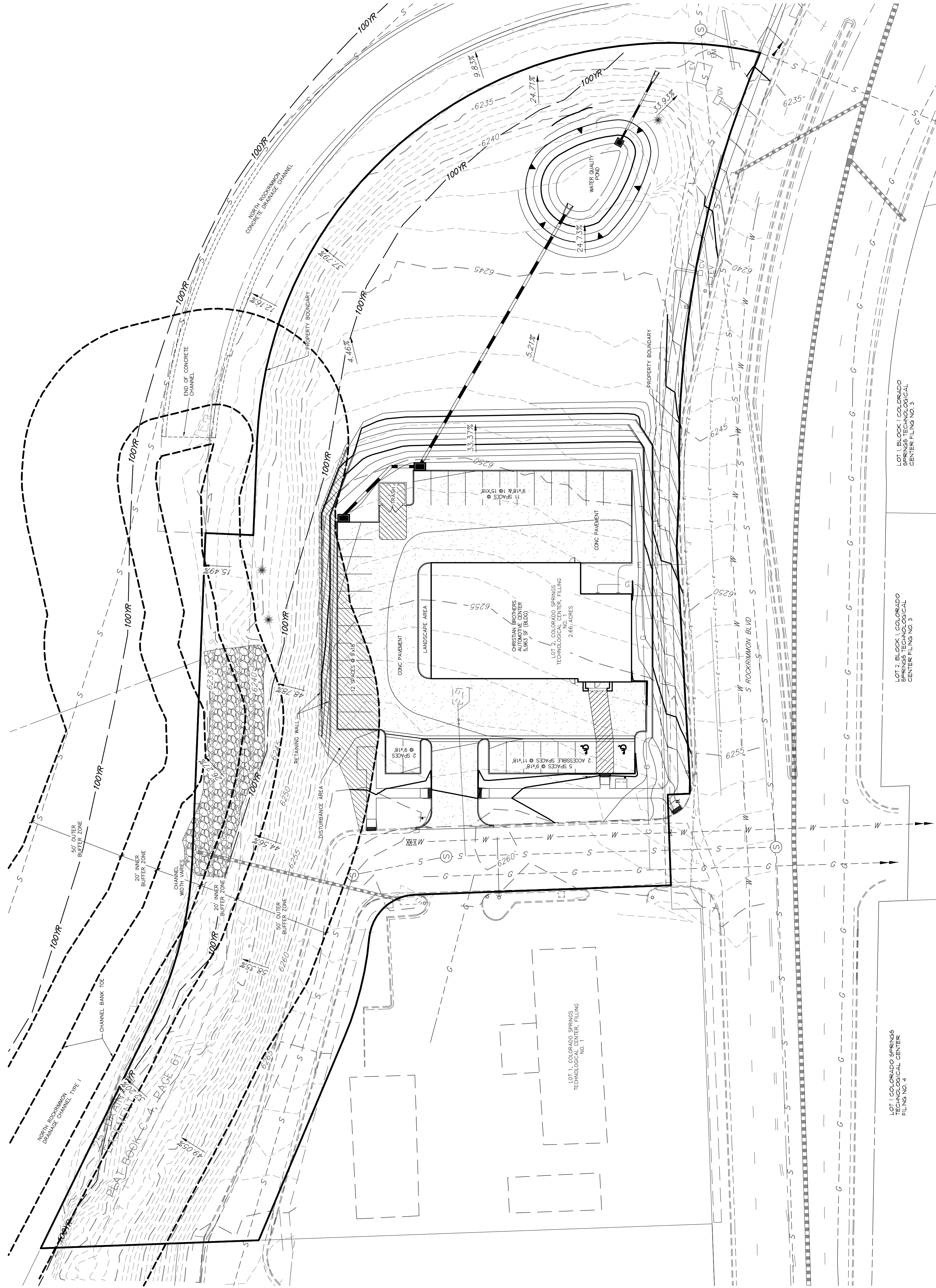
2 RIGHT SIDE ELEVATION
SCALE: 3/16" = 1'-0"

3 LEFT SIDE ELEVATION
SCALE: 3/16" = 1'-0"

- TYPICAL NOTES FOR ALL ELEVATIONS**
- 2'-0" BAND, JAMBS, HEADS OF DOORS AND WINDOWS, AND ACCENT IN GABLES AT ENTRY AND SIDE ELEVATIONS TO BE BRICK COLOR M-8.
 - ALL MASONRY SURFACES ARE TO BE SPRAYED WITH WATER-PROOFING SEALER, PROSOCO INC. BLOCK GUARD AND GRAFTIT CONTROL #40093 - PH: 800-285-4255
 - ALL DOWN SPOUTS ARE TO BE PAINTED TO MATCH THE COLOR OF THE WALL MATERIAL BEHIND IT.
 - ALL DOWN SPOUTS ARE TO BE PAINTED TO MATCH THE COLOR OF THE WALL MATERIAL BEHIND IT.
 - ALL EXTERIOR LIGHTS ARE TO BE ON PHOTO CELL. TYPICAL OF ALL ELEVATIONS.

CHRISTIAN BROTHERS AUTOMOTIVE SITE DEVELOPMENT PLAN
PROJECT NO: SDP17-XXXX

CHRISTIAN BROTHERS AUTOMOTIVE STREAMSIDE OVERLAY PLAN COLORADO SPRINGS



LOT 1, COLORADO SPRINGS TECHNOLOGICAL CENTER FILING NO. 3
LOT 2, BLOCK 1, COLORADO SPRINGS TECHNOLOGICAL CENTER FILING NO. 3
LOT 1, COLORADO SPRINGS TECHNOLOGICAL CENTER FILING NO. 4

STREAMSIDE EVALUATION INFORMATION

- NORTH ROCKRIMMON DRAINAGE CHANNEL TYPE I
 1. GRADING AND LANDFORM
 2. SITE DESIGN
 3. WILDLIFE HABITAT PRESERVATION
 4. TRAILS AND RECREATION
 5. FLOODPLAIN
 6. SIGNIFICANT NATURAL FEATURES
 7. COMPLEMENTARY FEATURES
 8. RIPARIAN BUFFERS AND IMPERVIOUS SURFACES
 9. LANDSCAPE
 10. STREAM BANK STABILIZATION
 11. STREAM RECLAMATION

1. GRADING AND LANDFORM
 TO THE SPECIFIC GRADING LIMITATIONS OF THE STREAM SIDE ORDNANCE.
 WALLS WITHIN THE BUFFER ZONE DO NOT EXCEED 6' IN HEIGHT.
 THE LINEAL EXTENT OF ALL WALL SECTIONS DO NOT EXCEED THE LESSER OF 2/3 THE LENGTH OF THE STREAM FRONTAGE OR 300'.
 THE GRADING PLAN INCLUDES A VEGETATION PLAN THAT ADDRESSES EROSION CONTROL AND SLOPE STABILITY.
 PROTECTIVE MEASURES SUCH AS FENCING AND FLAGGING WILL BE EMPLOYED ALONG THE INNER BUFFER ZONE.

2. SITE DESIGN
 THE DEVELOPMENT INCORPORATES THE STREAM ECOSYSTEM INTO THE DESIGN AND COMPLEMENTS THE NATURAL STREAMSIDE SETTING.
 THE DEVELOPMENT INTEGRATES WITH THE GREATER STREAMSIDE AESTHETIC. THE BUILDING IS ORIENTED TO GIVE MAXIMUM EXPOSURE TO THE STREAM AND TO PROVIDE VISUAL ACCESS TO THE STREAM FROM THE BUILDING.
 THE DESIGN ORIENTS THE DEVELOPMENT SUCH THAT IT IS IN THE MOST LEVEL, DEVELOPABLE AREA OUTSIDE OF THE OVERLAY, CAUSING MINIMAL DISTURBANCE TO THE STREAMSIDE OVERLAY.
 IMPERVIOUS SURFACES ARE MINIMIZED. THE PARKING LOT WRAPS AROUND THE BUILDING, RATHER THAN BEING ORIENTED ON ONE SIDE, REDUCING THE FOOTPRINT OF THE DEVELOPMENT SITE.
 DEVELOPMENT OF THE STREAM ARE MINIMIZED. WALL HEIGHTS ARE MINIMIZED, AND NONE ARE USED ON THE EAST SIDE OF THE DEVELOPMENT.
 EXISTING VEGETATION IS EFFECTIVELY UTILIZED AND RETAINED IN THE DESIGN.

3. WILDLIFE HABITAT PRESERVATION
 TO MINIMIZE IMPACT ON WILDLIFE HABITAT AND THE RIPARIAN ECOSYSTEM.
 EXISTING STRANDS OF RIPARIAN VEGETATION WILL BE PRESERVED TO THE BEST POSSIBLE EXTENT. THE AREAS OF THE DEVELOPMENT THAT WILL UNDERGO THE MOST EXTENSIVE SCOPE OF WORK ARE OUTSIDE OF THE BUFFER ZONE.
 POLLUTANTS AND SEDIMENTS ARE FILTERED OUT OF RUNOFF THROUGH THE USE OF INLET PROTECTION, SILT FENCE, STRAW WADDLES, ETC. SEE EROSION CONTROL PLAN ON PAGE 3.
 PLACES TO WILDLIFE ACCESS OF THE STREAM, WALL HEIGHTS ARE BELOW 6', AND NONE ARE USED ALONG THE EASTERN EDGE OF THE SITE. NO BRIDGES, UTILITY CORRIDORS, OR OTHER STREAM BISECTING ELEMENTS ARE USED.

4. TRAILS AND RECREATION
 N/A. NO EXISTING TRAILS OR RECREATIONAL OPPORTUNITIES IN THE PROJECT AREA

5. FLOODPLAIN
 THE PROJECT HAS BEEN DESIGNED TO PROTECT PROPERTY FROM POTENTIAL FLOOD DAMAGE AND TO ACCOMMODATE FLOOD STORAGE AND CONVEYANCE NEEDS.
 REQUIREMENTS FOR THE DESIGN WERE BASED ON THE DESIGN MAP OF THE AREA. THE DESIGN HAS BEEN ADHERED TO.
 IN ACCORDANCE WITH STREAMSIDE ORDINANCE 07-180, NO FILL WILL BE PLACED WITHIN THE 100-YEAR FLOODPLAIN.
 THE PROPOSED STRUCTURE SITE IS OUTSIDE OF THE 100-YEAR FLOODPLAIN.

6. SIGNIFICANT NATURAL FEATURES
 THE PROJECT HAS BEEN DESIGNED TO MINIMIZE IMPACT ON ALL SIGNIFICANT NATURAL FEATURES IN THE PROJECT STREAMSIDE AREA.
 THE LAND SUITABILITY ANALYSIS COMPOSITE MAP INCLUDES THE STREAM AREA, CHANNEL TOE, BOUNDARY OF THE STREAMSIDE OVERLAY, SLOPE AND TOPOGRAPHIC INFORMATION, AND AREAS OF RIPARIAN VEGETATION AND WILDLIFE.
 THE EXISTING STREAM CHANNEL WILL BE AVOIDED AND LEFT UNDISTURBED.
 A SMALL AREA IN THE OUTER BUFFER ZONE, IMMEDIATELY NORTH OF THE PARKING LOT OF THE STRUCTURE WILL UNDERGO DEVELOPMENT.
 THE AREA WITHIN THE 100 YEAR FLOOD PLAIN WILL NOT CONTAIN ANY NEW IMPERVIOUS COVER. EXPOSURE TO POLLUTANTS AND SEDIMENT IN THE AREA WILL BE MINIMIZED THROUGH THE PROPOSED LANDSCAPE AREA, INLET PROTECTIONS, SILT FENCE, RETAINING WALLS, AND OTHER EROSION CONTROL MEASURES.

7. COMPLEMENTARY FEATURES
 THE DESIGN IDENTIFIES AND IMPLEMENTS RECOMMENDATIONS OF APPROVED SUBAREA PLANS AND OF ANY APPROVED PUBLIC WORKS PROJECTS AND HABITAT CONSERVATION PLANS.
 THE DESIGN TAKES INTO ACCOUNT THE RECOMMENDATIONS OF ALL COMPLEMENTARY PLANS, INCLUDING BUT NOT LIMITED TO THE COLORADO SPRINGS OPEN SPACE PLAN, AND THE COLORADO SPRINGS URBAN GROWTH AREA INVENTORY OF SIGNIFICANT NATURAL FEATURES.

8. RIPARIAN BUFFERS AND IMPERVIOUS SURFACES
 THE DESIGN IMPLEMENTS A RIPARIAN BUFFER BETWEEN THE DEVELOPMENT AND THE WATERWAY TO ASSIST IN PREVENTING POINT AND NON-POINT SOURCE POLLUTION FROM ENTERING THE WATERWAY.
 A 20' INNER BUFFER AND 80' OUTER BUFFER SURROUND BOTH EDGES OF THE STREAM CHANNEL.
 THE DESIGN EXCLUDES IMPERVIOUS SURFACES FROM THE INNER BUFFER ZONE AND MEETS IMPERVIOUS RESTRICTIONS ACROSS THE ENTIRE OVERLAY. 10% SITE IMPERVIOUS SURFACE IS ALLOWED.
 STORMWATER BMPs REQUIRED BY THE CITY HAVE BEEN INCORPORATED INTO THE DESIGN TO PROTECT WATER QUALITY AND ENCOURAGE ON-SITE FILTRATION OF STORMWATER.

9. LANDSCAPE
 INNER AND OUTER BUFFER LANDSCAPE STANDARDS ARE MET BY THE DESIGN.
 THE INNER BUFFER WILL NOT BE DISTURBED DURING DEVELOPMENT.
 AREAS WITHIN THE OVERLAY WILL BE REVEGETATED TO MINIMIZE EROSION AND STABILIZE LANDSCAPE AREAS.
 THE PROJECT LANDSCAPING DESIGN SPECIFIES PLANTS SELECTED FROM THE RIPARIAN PLANT COMMUNITIES AS SET FORTH IN APPENDIX A OF THE LANDSCAPE POLICY MANUAL.
 THE PROPOSAL MEETS ALL REQUIREMENTS OF THE CITY'S LANDSCAPE CODE.

10. STREAM BANK STABILIZATION
 STREAM BANK SLOPE AREAS HAVE BEEN IDENTIFIED, AND DISTURBANCE TO THESE AREAS HAS BEEN MINIMIZED IN THE DESIGN.
 ON THE NORTH END OF THE DEVELOPMENT, RETAINING WALLS AND REGROUING WILL DISTURB A PORTION OF THE OUTER BUFFER ZONE WHERE STREAM BANK STABILIZATION IS REQUIRED. TECHNIQUES SUCH AS SURFACE ARMOR, INDIRECT STABILIZATION, AND VEGETATIVE STABILIZATION WILL BE IMPLEMENTED.

11. STREAM RECLAMATION
 THE DRAINAGE HAVE BEEN IDENTIFIED, AND DISTURBANCE TO THESE AREAS HAS BEEN MINIMIZED IN THE DESIGN.
 CONCRETE STREAM CHANNELS ARE DIFFICULT TO INTEGRATE INTO A PROJECT.
 THE HIGH COST AND HEAVY COMMERCIAL USAGE OF THE AREA MAKE ROCKRIMMON A LOW PRIORITY STREAM FOR RECLAMATION INTO A MORE NATURAL STATE. STREAMS NEAR MULTI OR SINGLE FAMILY RESIDENTIAL AREAS AND OFFICE SPACES ARE OF A HIGHER PRIORITY, AS THEY CAN ADD MORE VALUE TO THE COMMUNITY IN THESE AREAS.

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CHRISTIAN BROTHERS AUTOMOTIVE
 CLIENT INFO. 1
 17725 KATY FREEWAY, SUITE 200
 HOUSTON, TX 77094
 CLIENT INFO. 4
 CLIENT INFO. 5
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CHRISTIAN BROTHERS
 AUTOMOTIVE
 STREAMSIDE OVERLAY PLAN

H-SCALE 1" = XX'
 V-SCALE 1" = X'
 DATE 10/13/14
 DRAWN BY XXX
 CHECKED BY XXX

SHEET 11 OF 13
 JOB NO. 2512400

FIGURE 1

CHRISTIAN BROTHERS
AUTOMOTIVE
LAND SUITABILITY ANALYSIS

H-SCALE	1" = 30'
V-SCALE	N/A
DATE	7/27/17
DESIGNED BY	RAB
DRAWN BY	RAB
CHECKED BY	RAB

NO.	REVISION	BY	DATE

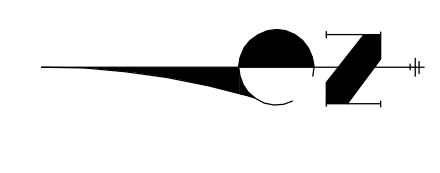
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AUTHORIZATION.



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Number	Minimum Slope	Maximum Slope	Color
1	0.00%	8.00%	Light Blue
2	8.00%	12.00%	Light Green
3	12.00%	15.00%	Yellow
4	15.00%	25.00%	Orange
5	25.00%	10000.00%	Red

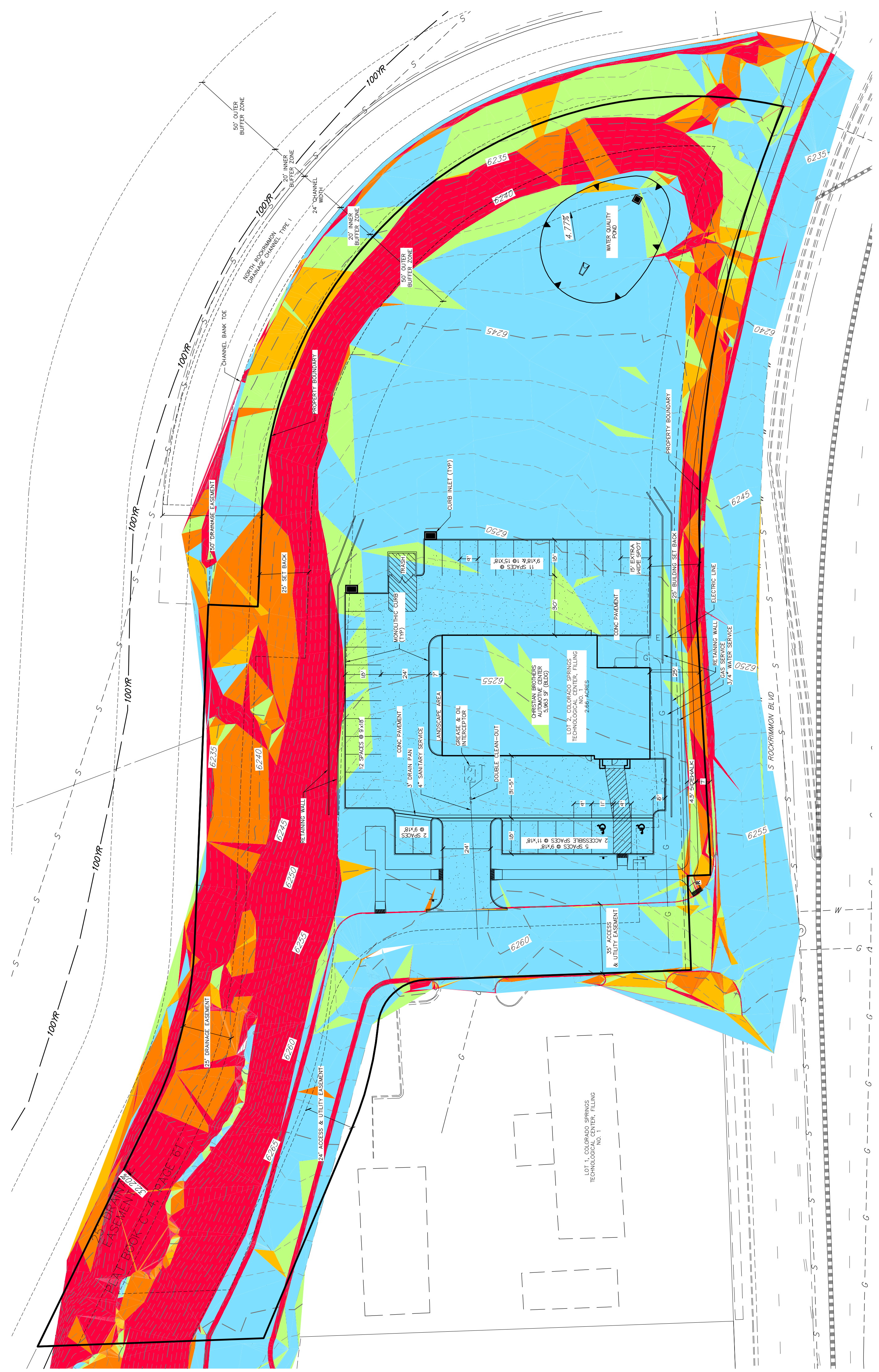
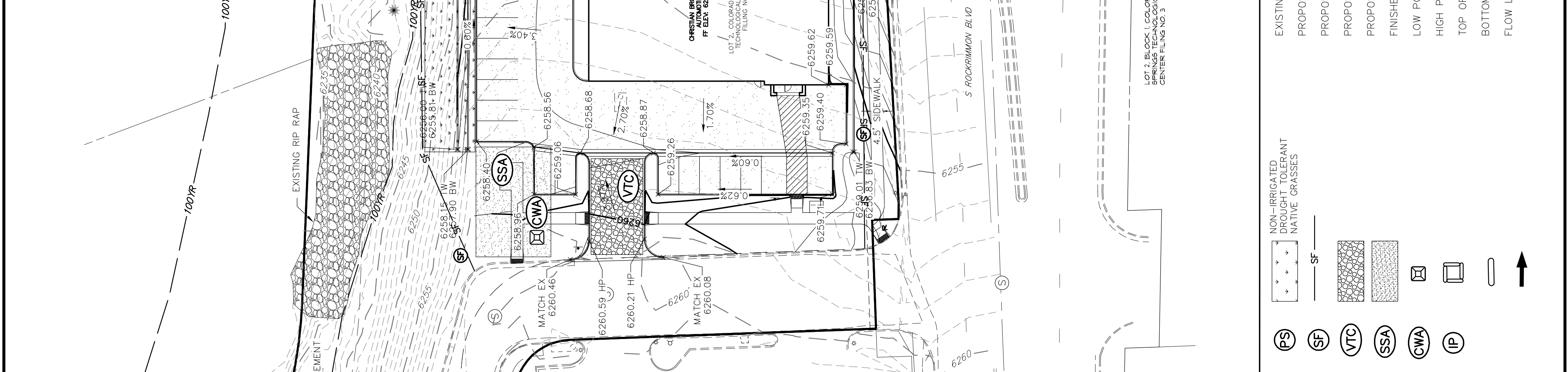
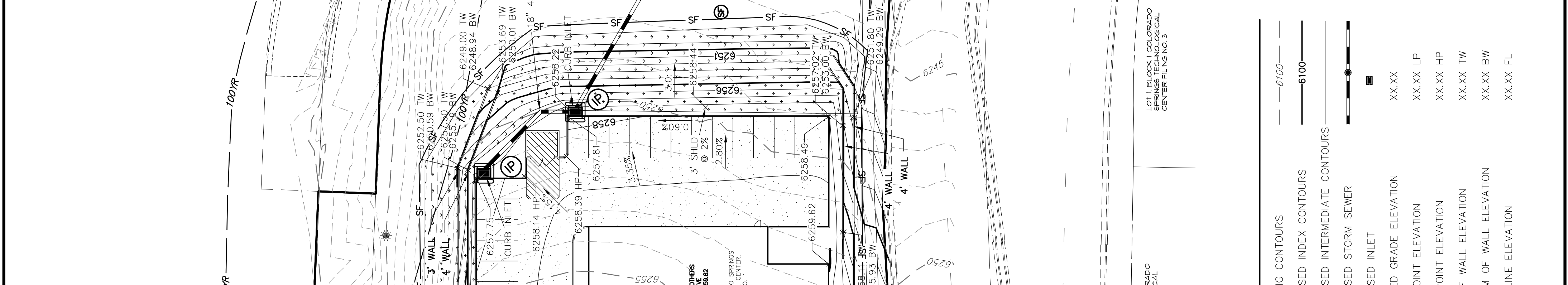
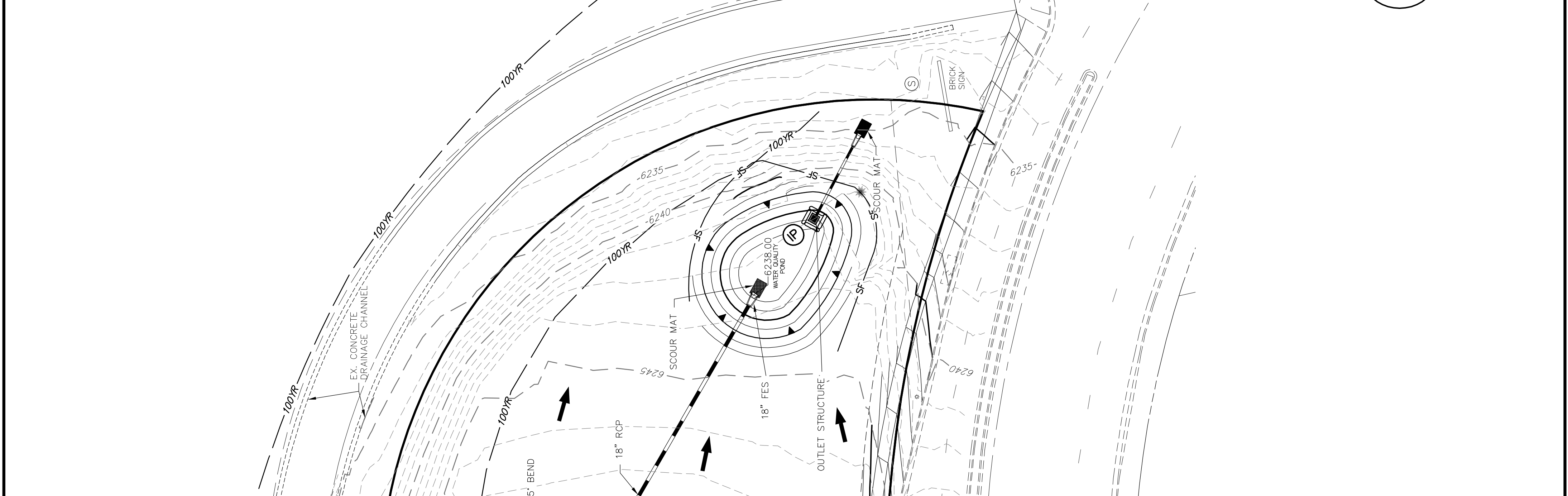


FIGURE 1

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 (281) 675-6120
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 Fort Collins 970-491-9888 • www.jrengineering.com



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 LOT 2, COLORADO SPRINGS TECHNOLOGICAL CENTER, PLANS NO. 1
 LOT 1, COLORADO SPRINGS TECHNOLOGICAL CENTER, PLANS NO. 2
 LOT 1, COLORADO SPRINGS TECHNOLOGICAL CENTER, PLANS NO. 3
 LOT 1, COLORADO SPRINGS TECHNOLOGICAL CENTER, PLANS NO. 3

FIGURE 1