

GENERAL NOTES

- 1. ALL LIGHTING FIXTURES SHALL HAVE FULL CUT OFF SHIELDING ON FIXTURES TO REDUCE OFF-SITE LIGHTING IMPACTS.
- 2. PRIVATE DRAINAGE SHALL BE PAVED ASPHALT WITH CONCRETE CURBS.
- 3. CONCRETE TRAFFIC SIGNAGE SHALL BE IN CONFORMANCE WITH MUTCD GUIDELINES AND INSTALLED BY THE PROPERTY OWNER.
- 4. ALL EXISTING CURBS, GUTTER, PEDESTRIAN RAMP AND CROSSPANS POSING A SAFETY HAZARD, DAMAGED, DRAINING OR AESTHETIC CONCERN SHALL BE REPLACED OR REPAIRED PRIOR TO ISSUING THE CERTIFICATE OF OCCUPANCY (C.O.). AN ON-SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW INSPECTOR TO DISCUSS ANY CONCERNS.
- 5. THIS SITE IS WITHIN THE BOUNDARIES OF THE NORTH NEVADA AVENUE CORRIDOR URBAN RENOVATION PLAN, 2015-2017. SIGNAGE IS NOT APPROVED FOR THIS PLAN. SEPARATE SIGN PERMIT IS REQUIRED. CONTACT THE DEVELOPMENT REVIEW INSPECTOR FOR MORE INFORMATION.
- 6. PARKING OF VEHICLES FOR OR BY PROHIBITED IN LANDSCAPED AREAS ALONG NEVADA AVE.
- 7. THE DEVELOPER WILL BE RESPONSIBLE TO RE-STRIP THE EXISTING WESTBOUND TURN LANE AT THE SITE ACCESS ALONG NEVADA AVENUE.
- 8. THE DEVELOPMENT PLAN WILL COMPLY WITH THE URBAN RENOVATION AUTHORITY NORTH NEVADA AVENUE DESIGN GUIDELINES ESTABLISHED BY RES. NO. 38-14.

AIR FORCE ACADEMY

A PRIVATE AVIATION EXEMPTION ACKNOWLEDGING THE USAF PARTNERSHIP PROGRAM WILL BE ESTABLISHED PRIOR TO REOCCUPANCY OF THE FINAL SUBDIVISION PLATS FOR THIS DEVELOPMENT OR PRIOR TO THE ISSUANCE OF A CERTIFICATED OF OCCUPANCY FOR AN UNIT WITHIN THE DEVELOPMENT.

NOTICE: THE PROPERTY MAY BE IMPACTED BY NOISE AND OTHER SIMILAR INCIDENTAL SENSORY EFFECTS OF FLIGHT CAUSED BY AIRCRAFT OPERATING FROM THE AIR FORCE ACADEMY. THE ACADEMY SHALL CEASE TO BE ACTIVELY USED. THIS NOTICE SHALL RUN WITH THE LAND.

FEMA FLOODPLAIN NOTE

THE FLOODPLAIN MAPS FOR THIS SITE, 5908 N. NEVADA AVE. IS WITHIN ZONE X-1/A. BASE ON AN UNPAID FLOOD HAZARD AS DETERMINED BY THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 0984-C00425A, EFFECTIVE 12.07.2018.

ADA NOTE

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.

THE DESIGN PROFESSIONAL RESPONSIBLE FOR THIS PLAN HAS FAMILIARIZED THEMSELVES WITH ALL CURRENT ADA STANDARDS FOR ACCESSIBLE DESIGN, AS PUBLISHED BY THE DEPARTMENT OF JUSTICE (DOJ).

GEOLOGIC HAZARD DISCLOSURE STATEMENT

THIS PROPERTY IS SUBJECT TO THE FINDINGS, SUMMARY AND CONCLUSIONS OF A GEOLOGICAL HAZARD EXEMPTION REQUEST PREPARED BY TERRACON CONSULTANTS, INC. DATED FEBRUARY 19, 2020. A COPY OF SAID EXEMPTION HAS BEEN PLACED WITHIN THE DEVELOPMENT PLAN. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING SERVICES UPON, 5908 NEVADA AVE, SUITE 101, COLORADO SPRINGS, CO IF YOU WOULD LIKE TO REVIEW SAID EXEMPTION.

STREAMSIDE OVERLAY

PRIOR TO ANY DEVELOPMENT INCLUDING GRADING, VEGETATION REMOVAL, OR ANY OTHER IMPROVEMENTS, THE STREAMSIDE BUFFER ZONE MUST BE FENCED OR APPROPRIATELY FLAGGED BY THE PROPERTY OWNER OR DEVELOPER TO DENOTE THE STREAM CORRIDOR. NO HEAVY EQUIPMENT OR OTHER POTENTIALLY DAMAGING ACTIVITIES ARE PERMITTED IN THE PROTECTED AREA. THE FENCING TO BE INSTALLED SHALL MEET ALL CONSTRUCTION ACTIVITIES ARE COMPLETE.

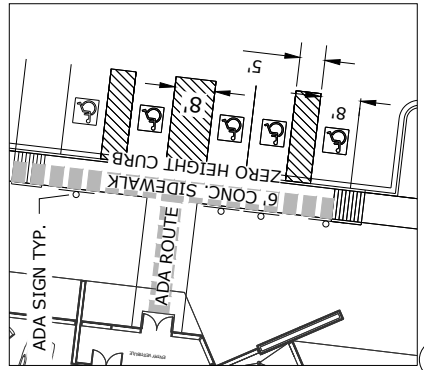
FIRE

THE DEVELOPMENT MUST COMPLY WITH 2018 INTERNATIONAL FIRE CODE ACCESS AND LOADING (2018 IFSC §101.02.1) AND IFSC §101.02.10. THE PROTECTED AREA FOR THE PROTECTED AREA SHALL BE ACCESSIBLE TO FIRE DEPARTMENT APPARATUS BY WAY OF AN APPROVED FIRE APPARATUS ACCESS ROAD WITH AN ASPHALT, CONCRETE OR OTHER APPROVED DRIVING SURFACE CAPABLE OF SUPPORTING THE APPROVED LOAD OF FIRE APPARATUS. THE MINIMUM CLEARANCE HEIGHT SHALL BE A MINIMUM SINGLE AXLE WEIGHT OF 27,500 POUNDS. (2018 IFSC §102.2.1)

2018 IFSC - REQUIRED ACCESS DURING CONSTRUCTION. APPROVED VEHICLE ACCESS FOR FIRE FIGHTING SHALL BE PROVIDED TO ALL CONSTRUCTION OR DEMOLITION SITES. VEHICLE ACCESS SHALL BE PROVIDED TO WITHIN 100 FEET OF THE EXISTING STREAMSIDE BUFFER ZONE. APPROVED VEHICLE ACCESS SHALL BE PROVIDED TO WITHIN 100 FEET OF TEMPORARY OR PERMANENT ROADS. APPROVED VEHICLE ACCESS SHALL BE PROVIDED TO WITHIN 100 FEET OF PERMANENT ROADS. APPROVED VEHICLE ACCESS SHALL BE PROVIDED TO WITHIN 100 FEET OF TEMPORARY ROADS. APPROVED VEHICLE ACCESS SHALL BE MAINTAINED UNTIL PERMANENT FIRE APPARATUS ACCESS ROADS ARE AVAILABLE. (2018 IFSC §310.1)

LEGAL DESCRIPTION

LOT 1 THE OVERLOOK AT PILETT ROCK FL. NO. 1.



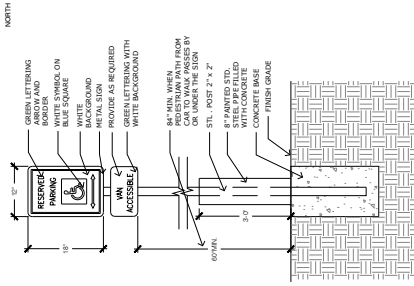
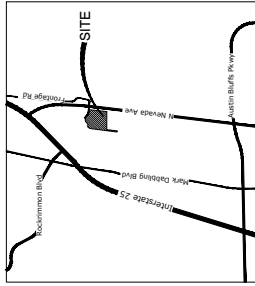
A ADA EXHIBIT

LEXUS OF COLORADO SPRINGS

CITY OF COLORADO SPRINGS, COLORADO

DEVELOPMENT PLAN

VICINITY MAP



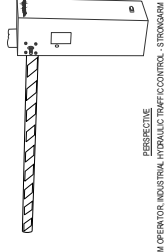
A ADA SIGN

SCALE: 1/8" = 1'-0"



HYSECURITY
 6705 S. 209 ST. SUITE 101
 COLORADO SPRINGS, CO 80905
 TOLL FREE: 1-800-321-6847
 PHONE: (253) 867-3700
 FAX: (253) 867-3700
 www.hysecurity.com

- SELECT DESIRED MODEL:
- STROKAWAY MF
 - STROKAWAY 2P
 - STROKAWAY 2S
 - STROKAWAY 2B
 - STROKAWAY 3P



BARREER ARM OPEN FOR INDUSTRIAL HYDRAULIC TRAFFIC CONTROL - STROKAWAY

A INTERNAL CIRCULATION GATES
 B TO INCLUDE KNOX BOX

SCALE: 1/16" = 1'-0"

SITE DATA

OWNER: Fellowship Bible Church of Colorado Springs
 5900 N. Nevada Ave.
 Colorado Springs, CO 80918

DEVELOPER: Basler Ass. Group
 919 N. Nevada Ave.
 Colorado Springs, CO 80904

APPLICANT/LAND PLANNER: N.E.S. Inc.
 619 N. Cascade Ave. Suite 200
 Colorado Springs, CO 80903

CIVIL ENGINEER: Terra Nova Engineering, Inc.
 721 S. 23rd St.
 Colorado Springs, CO 80904

ARCHITECT: Gaudin Westwood Architects
 6050 North Academy Blvd., Suite 2001
 Colorado Springs, CO 80920

Development Schedule:
 Start Date: 08/19/2023
 End Date: 10/11/2023

Site Area: 10.55 Acres
 CIP: 20%
 CIP: 20%
 CIP: 20%
 CIP: 20%
 CIP: 20%

Proposed Use: Automobile Sales (see Accessory Automotive Services & Wash)
 Maximum Building Height: 28' 6"

Proposed Parking: 90 Parking Spaces
 1 Space - Min Accessible
 5 Spaces - Standard Accessible
 85 - Front of House
 85 - Back of House

Proposed Building Size: 35,085 SF
 28' 6" - Maximum Building Height
 28' 6" - Maximum Building Height

Proposed Building Height: 28' 6"
 28' 6" - Maximum Building Height

Proposed Building Area: 35,085 SF
 28' 6" - Maximum Building Height

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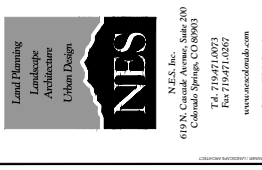
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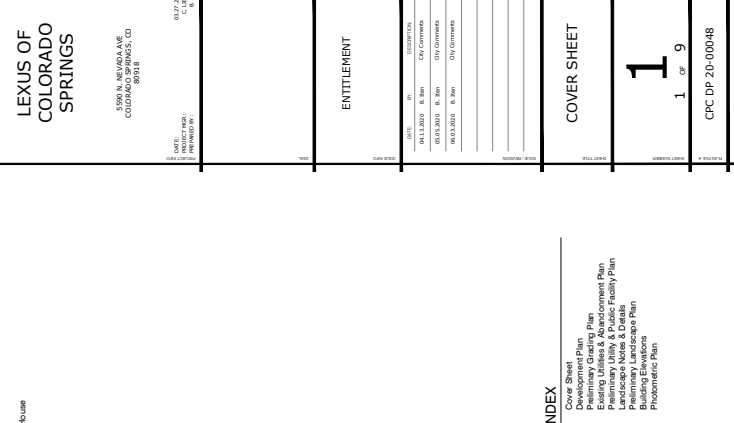
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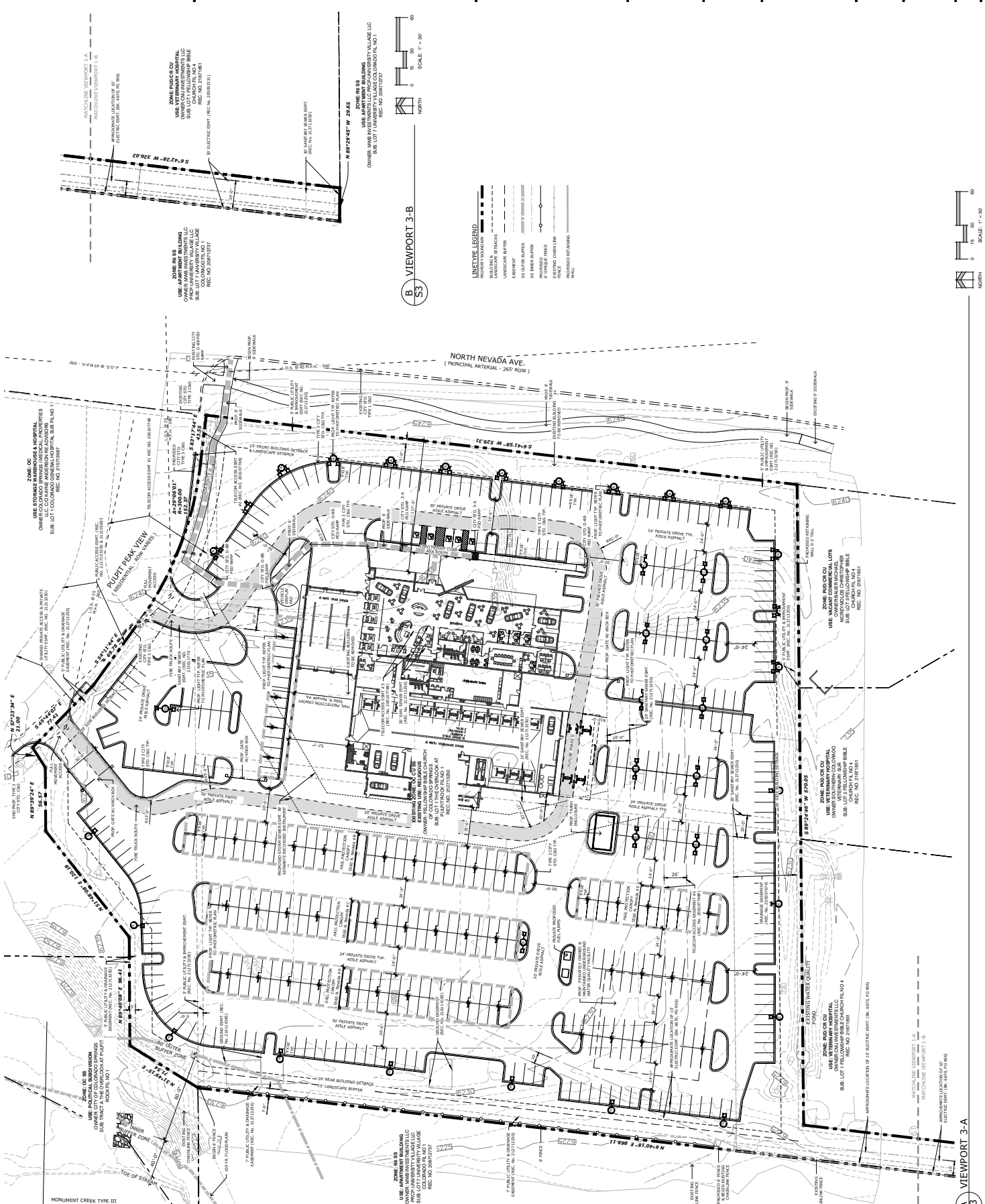
619 N. Cascade Avenue, Suite 200
 Colorado Springs, CO 80903
 TEL: 719.471.0073
 FAX: 719.471.0077
 nescolorado.com
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5900 N. NEVADA AVE
 COLORADO SPRINGS, CO
 80918
 N.E.S. INC.
 619 N. CASCADE AVENUE, SUITE 200
 COLORADO SPRINGS, CO 80903
 TEL: 719.471.0073
 FAX: 719.471.0077
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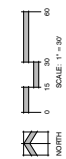
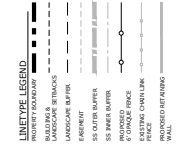
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 1 OF 9
 CPC DP-20-0048



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 SHEET INDEX
 1 OF 9
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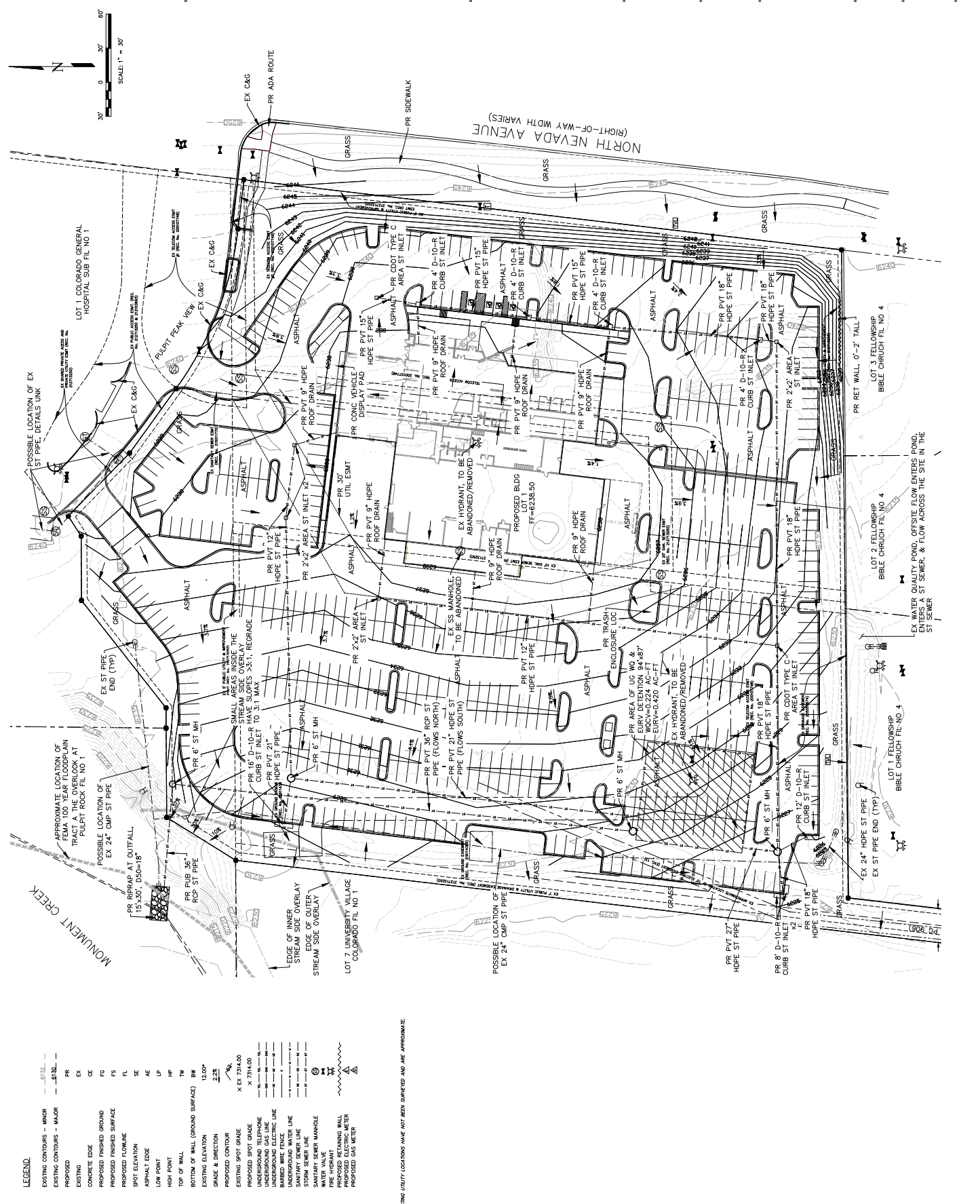


B VIEWPORT 3-B



A VIEWPORT 3-A

DEVELOPMENT PLAN

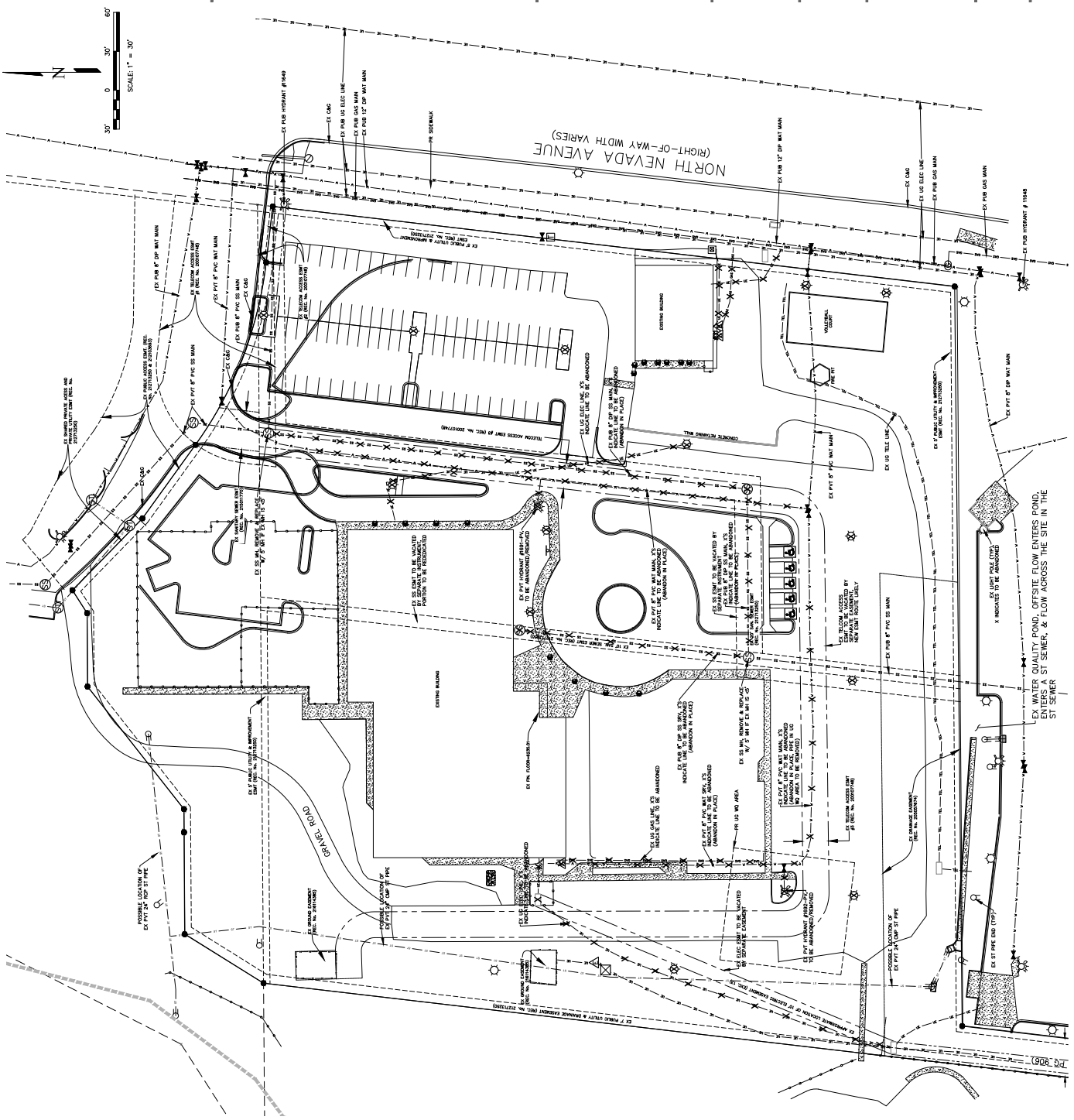


LEGEND

EXISTING CONTOURS - MINOR	6.17.12
EXISTING CONTOURS - MAJOR	6.18.12
PROPOSED	PR
CONCRETE EDGE	CE
PROPOSED FINISHED GROUND	FG
PROPOSED FINISHED SURFACE	FS
PROPOSED FLOWLINE	FL
SPOT ELEVATION	SE
ASPHALT EDGE	AE
LOW POINT	LP
HIGH POINT	HP
TOP OF WALL	TW
BOTTOM OF WALL (GROUND SURFACE)	BW
EXISTING ELEVATION	12.00'
GRADE & DIRECTION	2.23'
PROPOSED CONTOUR	2.23'
EXISTING SPOT GRADE	X EX 374.00
PROPOSED SPOT GRADE	X 794.00
UNDERGROUND GAS LINE	---
UNDERGROUND ELECTRIC LINE	---
UNDERGROUND WATER LINE	---
SANITARY SEWER LINE	---
STORM SEWER LINE	---
WATER MAIN	---
FIRE HYDRANT	---
PROPOSED RETAINING WALL	---
PROPOSED WATER METER	---
PROPOSED GAS METER	---

NOTES:
 1. MOST EXISTING UTILITY LOCATIONS HAVE NOT BEEN SURVEYED AND ARE APPROXIMATE

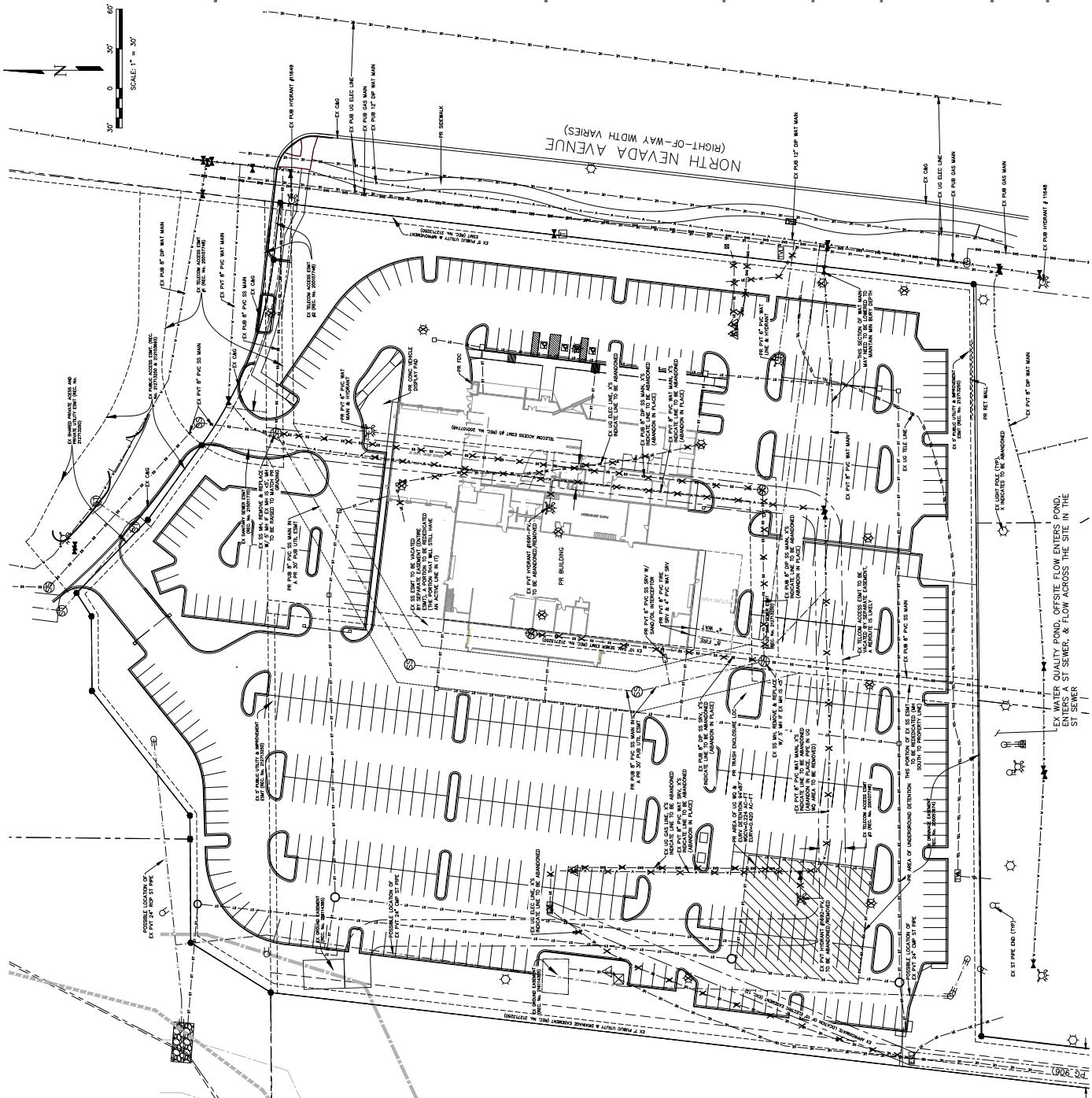
DEVELOPMENT PLAN



- LEGEND**
- EXISTING CONTOURS - MINOR
 - EXISTING CONTOURS - MAJOR
 - PROPOSED
 - EXISTING
 - UNDERGROUND TELEPHONE
 - UNDERGROUND GAS LINE
 - UNDERGROUND WATER LINE
 - SANITARY SENDER LINE
 - SANITARY SENDER MANHOLE
 - WATER VALVE
 - FIRE HYDRANT
 - PROPOSED TRANSFORMER MALL
 - PROPOSED ELECTRIC METER
 - PROPOSED GAS METER

NOTES:
 1. MOST EXISTING UTILITY LOCATIONS HAVE NOT BEEN SURVEYED AND ARE APPROXIMATE.
 2. EXISTING UTILITY LOCATIONS ARE SHOWN AS APPROXIMATE LOCATIONS. EXISTING UTILITY
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DEVELOPMENT PLAN



- PROPERTY OWNERS ACKNOWLEDGE AND AGREE TO THE FOLLOWING WORK APPROVAL OF PRELIMINARY UTILITY DEVELOPMENT. SPRINGS UTILITIES SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION OF ALL WATER, WASTEWATER, ELECTRIC, AND GAS FACILITIES, WHICH MAY NOT BE THE SAME AS THE LOCATION OF THE PROPOSED FACILITIES.
- PROPERTY OWNERS (OWNER) ACKNOWLEDGES THAT THE CONNECTION AND/OR EXTENSION OF UTILITY SERVICES TO THE PROPERTY IDENTIFIED IN THIS PRELIMINARY UTILITY PLAN (PROPERTY) IS THE RESPONSIBILITY OF THE PROPERTY OWNER. SPRINGS UTILITIES SHALL PROVIDE THE LOCATION, EXTENSION, AND SERVICE STANDARDS (STANDARDS) FOR ALL UTILITIES IDENTIFIED IN THIS PLAN AT THE TIME OF UTILITY SERVICE CONNECTION AND/OR EXTENSION.
- OWNER SHALL BE RESPONSIBLE FOR THE COSTS OF EXTENSIONS OR UTILITY SYSTEMS FROM THE PROPERTY OR TO EXTEND THE DEVELOPMENT OF PRELIMINARY UTILITY SYSTEM SERVING THE PROPERTY TO THE PROPERTY. SPRINGS UTILITIES SHALL PROVIDE THE LOCATION, EXTENSION, AND SERVICE STANDARDS (STANDARDS) FOR ALL UTILITIES IDENTIFIED IN THIS PLAN AT THE TIME OF UTILITY SERVICE CONNECTION AND/OR EXTENSION.
- SPRING UTILITIES SHALL PROVIDE A SUMMARY OF UTILITY SERVICE FACILITIES, INCLUDING THE LOCATION, EXTENSION, AND SERVICE STANDARDS (STANDARDS) FOR ALL UTILITIES IDENTIFIED IN THIS PLAN AT THE TIME OF UTILITY SERVICE CONNECTION AND/OR EXTENSION.
- AT THE OWNER'S SOLE COST AND EXPENSE, SPRINGS UTILITIES DETERMINES WHAT CONVEY THESE FACILITIES FROM TO RELOCATION OF EXISTING UTILITY FACILITIES.
- OWNER SHALL LOCATE BY PLAN AND/OR CONVEY BY RECORDED DOCUMENT, ALL PROPERTY AND ADJACENT RESPONSIBILITY FOR ANY COSTS THAT SPRINGS UTILITIES DETERMINES NECESSARY TO INSTALL, EXTEND, OR RELOCATE UTILITY FACILITIES. SPRINGS UTILITIES SHALL PROVIDE THE LOCATION, EXTENSION, AND SERVICE STANDARDS (STANDARDS) FOR ALL UTILITIES IDENTIFIED IN THIS PLAN AT THE TIME OF UTILITY SERVICE CONNECTION AND/OR EXTENSION.
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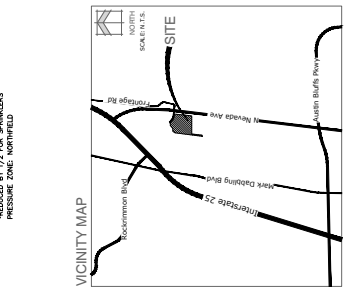
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- LEGEND**
- EXISTING CONTAINERS - MINOR
 - EXISTING CONTAINERS - MAJOR
 - PROPOSED
 - UNDERGROUND TELEPHONE
 - UNDERGROUND GAS LINE
 - UNDERGROUND ELECTRIC LINE
 - UNDERGROUND WATER LINE
 - UNDERGROUND SANITARY SEWER LINE
 - STORM SEWER LINE
 - SANITARY SEWER MANHOLE
 - PROPOSED RETAINING WALL
 - PROPOSED WATER METER
 - PROPOSED GAS METER

PILE INFORMATION

PILE TYPE	36,425
SPRINKLER	YES
SM REQUIRED	4,000
PH REQUIRED	2
PILE LOAD	2,185
AVE PH SPACING	450'
PILE LAY	225'

REDUCED BY 1/2 FOR SPRINGERS
 PRESSURE ZONE IDENTIFIED



DEVELOPMENT PLAN

LEXUS OF COLORADO SPRINGS

CITY OF COLORADO SPRINGS, COLORADO

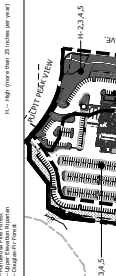
PRELIMINARY LANDSCAPE PLAN



NES, Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903
Tel: 719.471.0073
Fax: 719.471.0257
www.neslandscape.com
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LANDSCAPE NOTES

1. SOIL AMENDMENT: INCORPORATE 2:1:1 CUBIC METERS/100 SQUARE METERS OF COMPOST OR APPROVED SOIL. 2:1:1 RATIO: 2 PARTS MANURE TO 1 PART SAND OR SILT. SOIL AMENDMENT TO BE APPLIED TO PREPARED SOIL AND MIXED THOROUGHLY. SOIL AMENDMENT TO BE APPLIED TO PREPARED SOIL AND MIXED THOROUGHLY.
2. ALL SOILS MUST BE TESTED TO DETERMINE SOIL PH, PHOSPHORUS AND POTASSIUM CONCENTRATIONS. SOIL AMENDMENT TO BE APPLIED TO PREPARED SOIL AND MIXED THOROUGHLY.
3. CONFORM TO ALL APPLICABLE REGULATIONS AND ORDINANCES. ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF ALL APPLICABLE CODES AND STANDARDS. ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF ALL APPLICABLE CODES AND STANDARDS.
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LANDSCAPE SETBACKS

Setback	Width (in Ft.)	Height (in Ft.)	Notes
1. Street	10	10	Minimum setbacks
2. Front	10	10	Minimum setbacks
3. Side	10	10	Minimum setbacks
4. Rear	10	10	Minimum setbacks
5. Corner	10	10	Minimum setbacks
6. Easement	10	10	Minimum setbacks

INTERNAL LANDSCAPING

Item	Area (sq. ft.)	Volume (cu. yd.)	Notes
1. Topsoil	1000	1000	Minimum topsoil
2. Subsoil	1000	1000	Minimum subsoil
3. Mulch	1000	1000	Minimum mulch
4. Compost	1000	1000	Minimum compost
5. Gravel	1000	1000	Minimum gravel
6. Sand	1000	1000	Minimum sand

MOTOR VEHICLE LOTS

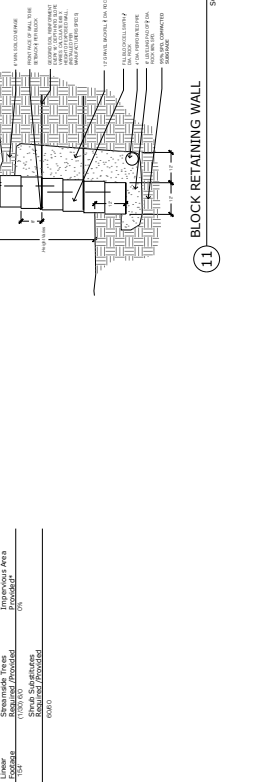
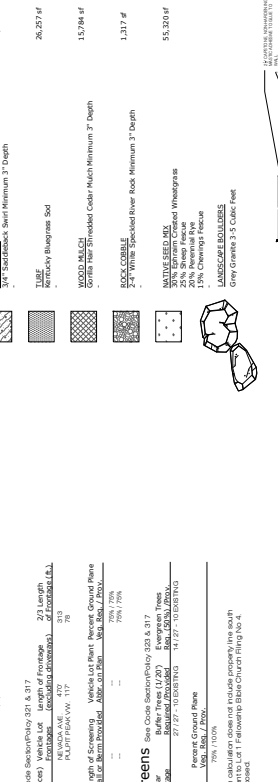
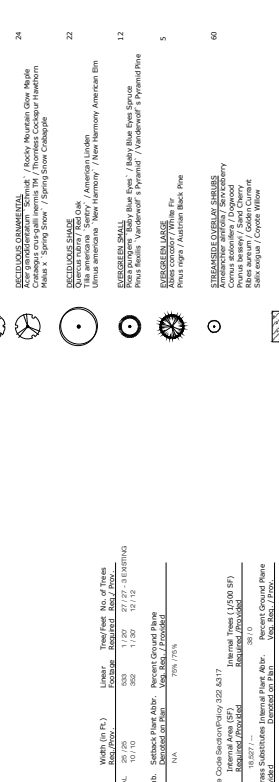
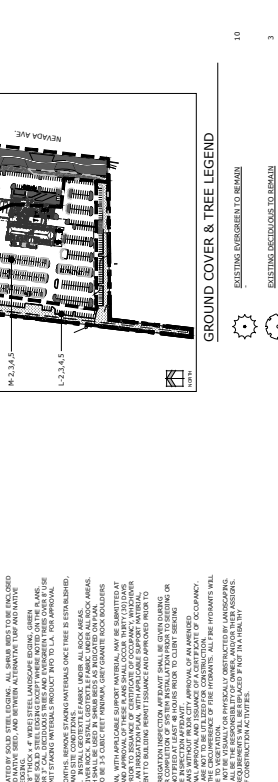
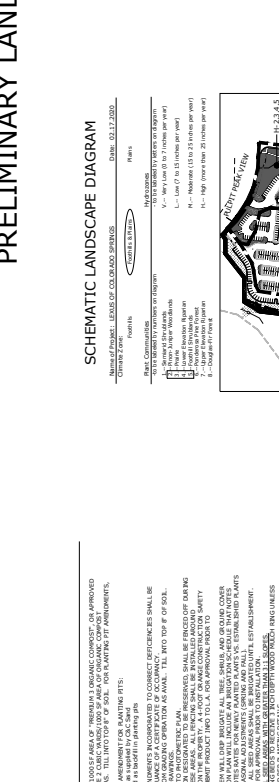
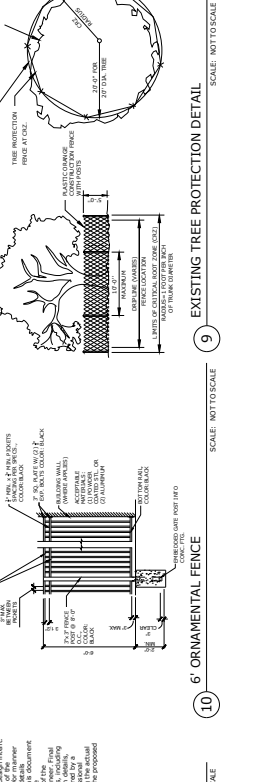
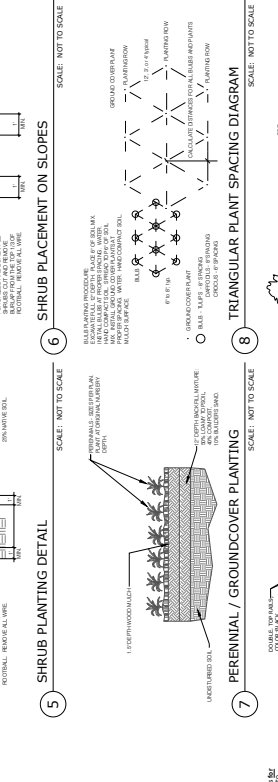
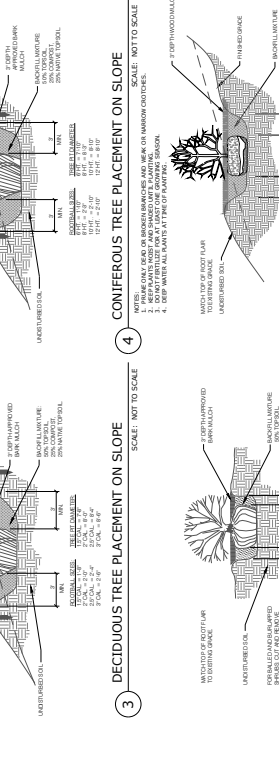
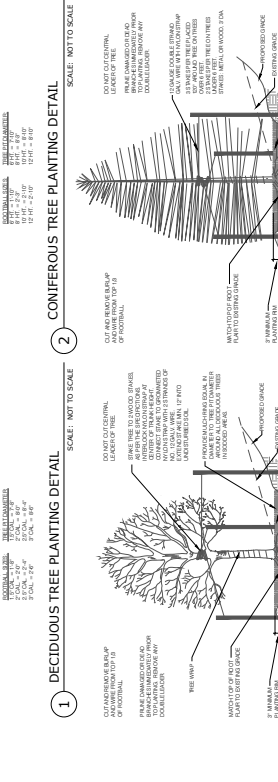
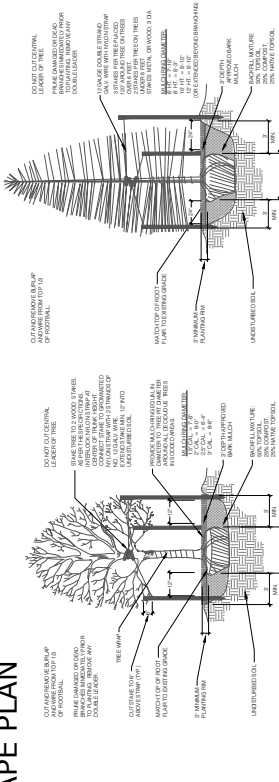
Lot	Area (sq. ft.)	Volume (cu. yd.)	Notes
1. Screening	1000	1000	Minimum screening
2. Erosion	1000	1000	Minimum erosion
3. Sediment	1000	1000	Minimum sediment
4. Stormwater	1000	1000	Minimum stormwater
5. Rainwater	1000	1000	Minimum rainwater
6. Groundwater	1000	1000	Minimum groundwater

LANDSCAPE BUFFER & SCREENS

Item	Area (sq. ft.)	Volume (cu. yd.)	Notes
1. Buffer	1000	1000	Minimum buffer
2. Screen	1000	1000	Minimum screen
3. Barrier	1000	1000	Minimum barrier
4. Wall	1000	1000	Minimum wall
5. Gate	1000	1000	Minimum gate
6. Fence	1000	1000	Minimum fence

STREAMSIDE CRITERIA

Item	Area (sq. ft.)	Volume (cu. yd.)	Notes
1. Streamside	1000	1000	Minimum streamside
2. Riparian	1000	1000	Minimum riparian
3. Wetland	1000	1000	Minimum wetland
4. Shrub	1000	1000	Minimum shrub
5. Tree	1000	1000	Minimum tree
6. Grass	1000	1000	Minimum grass



**Land Planning
Landscape
Architecture
Urban Design**

NES

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www.nesinc.com
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LEXUS OF COLORADO SPRINGS DEVELOPMENT PLAN

5500 N. NEVADA AVE
COLORADO SPRINGS, CO
80918

NO. 12,200
C. 13,000
S. 12,000

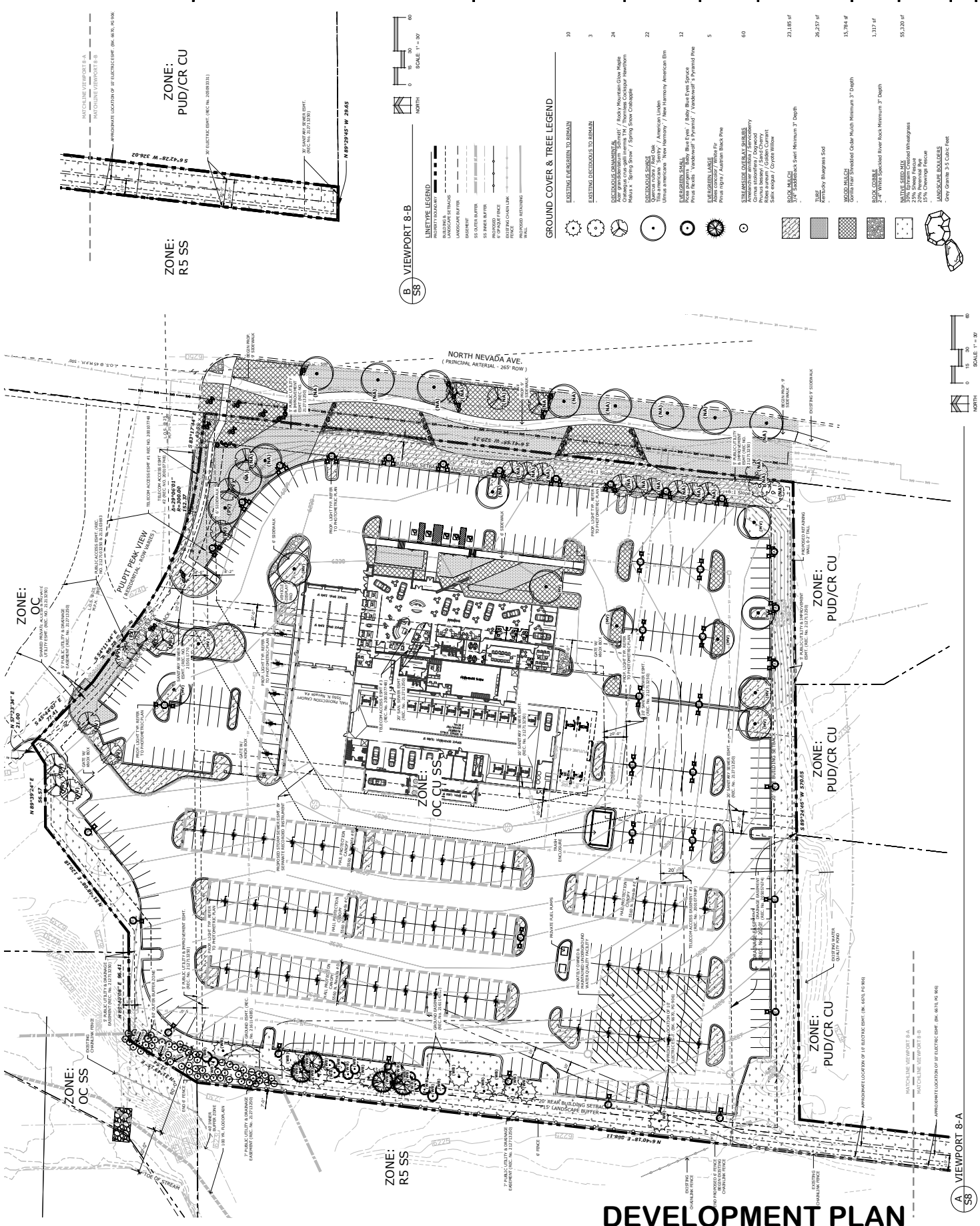
ENTITLEMENT

DATE	DESCRIPTION	BY	APP. NO.
04.11.2012	PRELIMINARY	J.M.	
05.22.2012	REVISION	J.M.	
06.18.2012	REVISION	J.M.	
07.13.2012	REVISION	J.M.	

PRELIMINARY LANDSCAPE PLAN

7
7 OF 9

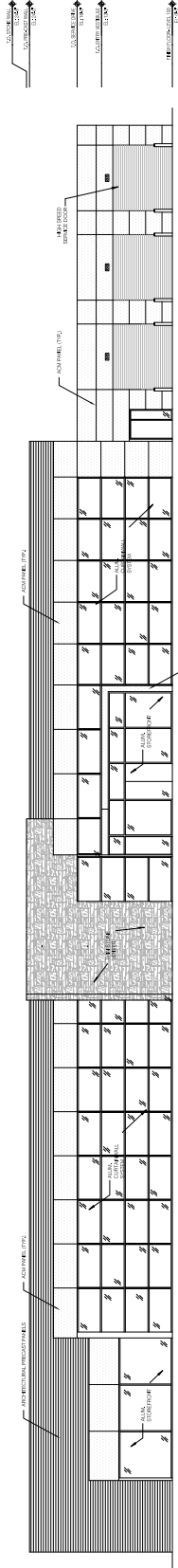
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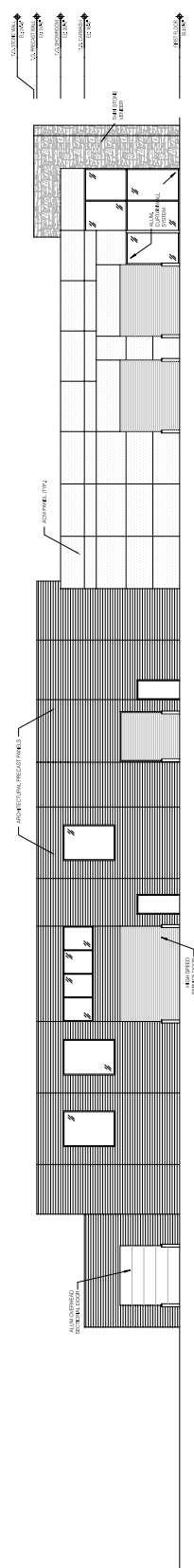
DEVELOPMENT PLAN

A
VIEWPORT 8-A

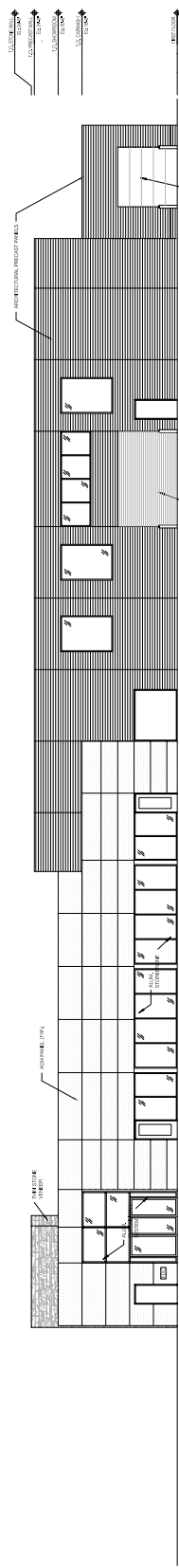
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VIEWPORT 8-B



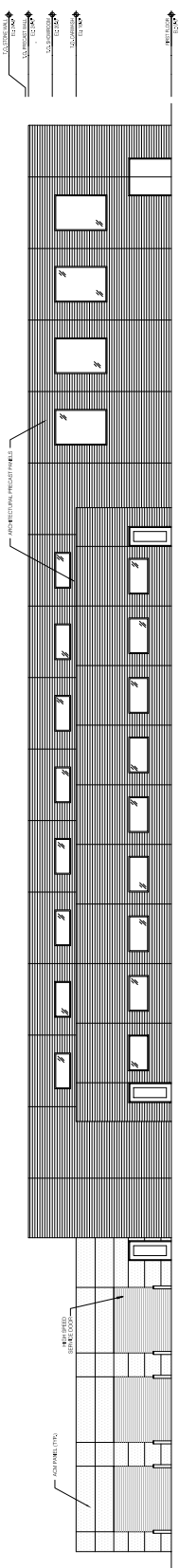
PROPOSED EAST ELEVATION
SCALE: 1/8"=1'-0"



PROPOSED SOUTH ELEVATION
SCALE: 1/8"=1'-0"



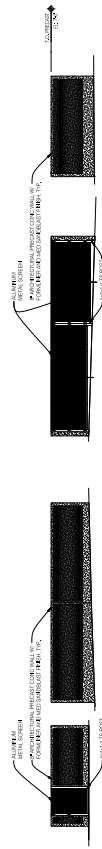
PROPOSED NORTH ELEVATION
SCALE: 1/8"=1'-0"



PROPOSED WEST ELEVATION
SCALE: 1/8"=1'-0"



EXAMPLE IMAGE OF LEXUS BRANDED FACILITY



STANDARD TRASH ENCLOSURE
SCALE: 1/8"=1'-0"

SITE LIGHTING SCHEDULE

REF #	MANUFACTURER	MODEL NUMBER	LAMP DATA		LUMEN DATA		LUX FOOTCANDLE DATA		DESCRIPTION	REMARKS
			WATT	FLUX	LMEN	LMEN/FT ²	LMEN/FT ²	LMEN/FT ²		
A	LITOMAK	ESD1500-400-277K	400	27700	400	27700	2	335	30	INDICATOR LIGHT - NOTE 1
B	LITOMAK	ESD1500-400-277K	400	27700	400	27700	2	335	30	INDICATOR LIGHT - NOTE 1
C	LITOMAK	ESD1500-400-277K	400	27700	400	27700	2	335	30	INDICATOR LIGHT - NOTE 1
D	LITOMAK	ESD1500-400-277K	400	27700	400	27700	2	335	30	INDICATOR LIGHT - NOTE 1
E	LITOMAK	ESD1500-400-277K	400	27700	400	27700	2	335	30	INDICATOR LIGHT - NOTE 1
F	LITOMAK	ESD1500-400-277K	400	27700	400	27700	2	335	30	INDICATOR LIGHT - NOTE 1

NOTES:
1. ALL LIGHT FIXTURES SHALL BE CEILING MOUNTED UNLESS OTHERWISE SPECIFIED.
2. FIXTURE HEIGHT SHALL BE 8'-0" UNLESS OTHERWISE SPECIFIED.
3. SEE ELECTRICAL FOR PHOTOVOLTAIC PANEL LAYOUT.

AREA	AVERAGE
FRONT SALES LOT	11.18 fc
BACK SALES LOT	4.00 fc
CUSTOMER PARKING	3.22 fc

LIGHTING CALCULATION SUMMARY



SITE FIXTURE
NO SCALE



PHOTOMETRIC SITE PLAN
1" = 300'

DEVELOPMENT PLAN