

11-UNIT APARTMENT BUILDING

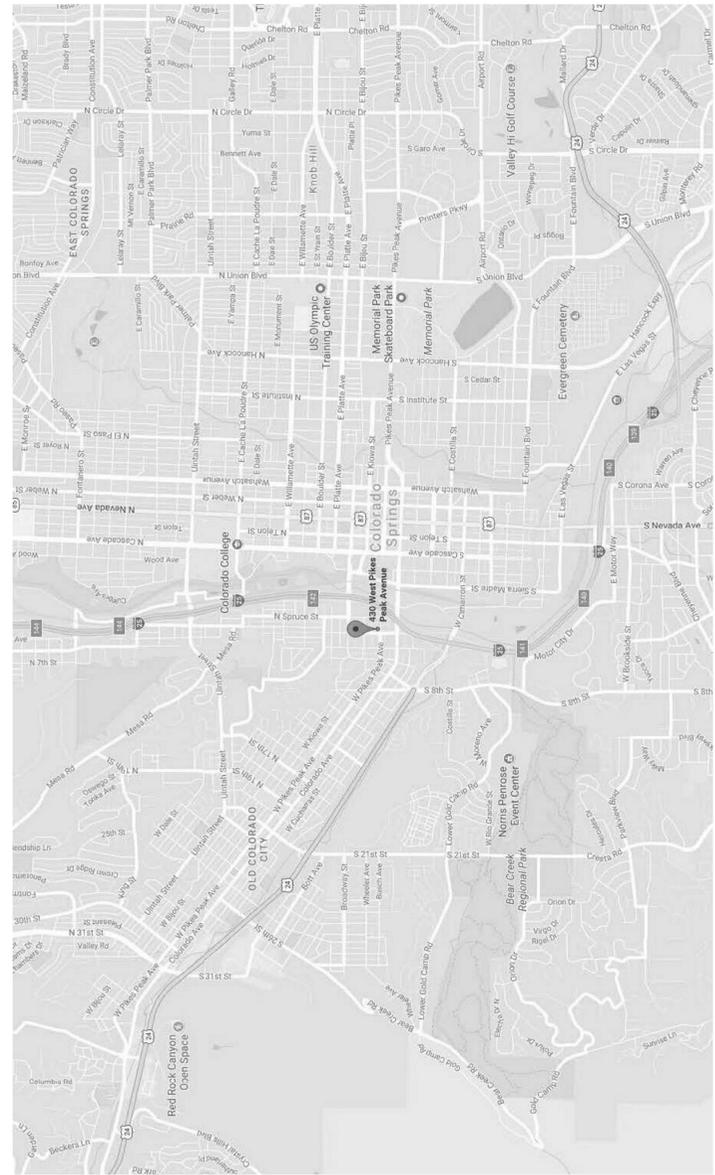
430 W. PIKES PEAK AVE. PARRISH'S ADDITION COLORADO SPRINGS, CO

DEVELOPMENT PLAN DRAWINGS



② PERSPECTIVE - VIEW LOOKING NW

① PERSPECTIVE - VIEW LOOKING SE



VICINITY MAP

NOT TO SCALE

PROJECT DATA

OWNER:
2245 BROADWAY AVE
COLORADO SPRINGS, CO 80904
PHONE: 719-337-1633

PROJECT ADDRESS:
430 W. PIKES PEAK AVE
COLORADO SPRINGS, CO 80905

PROJECT DESCRIPTION:
11 UNIT APARTMENT BUILDING
2 STORY, 8 UNIT APARTMENT BUILDING

ASSESSOR'S SCHEDULE NO.:
7413122013

LEGAL DESCRIPTION:
S 75 FT OF LOTS 21 TO 24 INC BLK 14 PARRISHS ADD COLO
SPGS, VAC 30 FT STRIP OF PIKES PEAK AVE ADJ THERETO

NOTE: WALKER OF REC AT IS BEING PROCESSED
APPLICANT IS REQUESTING TO CONSIDER THE PROPERTY AS A LEGAL
LOT (FILE # CPC CU18-00028)

CITY ZONING CLASSIFICATION:
C8 CU

CITY MASTER PLAN:
WESTSIDE MASTER PLAN

LOT SIZE (ACREAGE):
0.24 ACRES (10,500 sq ft)

PUBLIC SPACES:
PARKSIDE IMPROVEMENTS PER LANDSCAPE PLAN

SIGNAGE:
SIGNAGE APPROVALS THROUGH SEPARATE PROCESS AT A
LATER DATE

DENSITY/BONUSES:
NONE

SETBACK REQUIREMENTS (RS STANDARDS PER CONDITIONAL USE):
FRONT YARD - 20'
SIDE YARD - 5'
REAR YARD - 25'

NOTE:
A NON-USE VARIANCE HAS BEEN REQUESTED TO ENCROACH INTO THE 20'
FRONT YARD SETBACK (FILE # CPC NV 18-00030)

HEIGHT RESTRICTIONS (RS STANDARDS PER CONDITIONAL USE):
MAX. HEIGHT - 35'
PROPOSED BLDG. = 33' - 6"

BUILDING SQUARE FOOTAGE CALCULATIONS:

NEW LIVABLE:
NEW GROUND LEVEL: 2,520 sf
NEW SECOND LEVEL: 2,520 sf
NEW THIRD LEVEL: 2,520 sf
TOTAL NEW LIVABLE: 7,560 sf

NEW COVERED:
NEW COVERED GROUND LEVEL (PATOS/EXTERIOR STAIRWAY): 536 sf
NEW COVERED SECOND LEVEL (BALCONIES/EXTERIOR STAIRWAY): 536 sf
NEW COVERED THIRD LEVEL (BALCONIES/EXTERIOR STAIRWAY): 536 sf
TOTAL NEW COVERED: 1,608 sf

NEW BUILDING FOOTPRINT: 3,056 sf

LOT COVERAGE RESTRICTIONS (RS STANDARDS PER CONDITIONAL USE):
ALLOWABLE LOT COVERAGE: 40%
TOTAL LOT COVERAGE: 35%

PARKING REQUIREMENTS
REQUIRED PER CITY CODE SECTION 7.4.203 - ADU 1 BEDROOM:
1.5 SPACES PER UNIT X 11 UNITS = 17 REQUIRED PARKING SPACES
(ON STREET PARKING CREDIT - CITY CODE SECTION 7.4.204)

1 ADA VAN SPACE PROVIDED



NORTH

ADA DESIGN PROFESSIONAL STANDARDS:

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE ADA AND ALL APPLICABLE FEDERAL, STATE, AND LOCAL GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE LAW OR ANY LOCAL ORDINANCES OR REGULATIONS WITH GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.

ENGINEERING DEVELOPMENT NOTE:

ALL EXISTING CURBS AND SIDEWALK POSING A SAFETY HAZARD TO PEDESTRIANS AND VEHICLES WILL BE RECONSTRUCTED TO MEET CURRENT ENGINEERING STANDARDS. CURB RESTRICTIONS WILL BE MAINTAINED ALONG N. WALNUT ST. AND W. PIKES PEAK AVE. ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED PRIOR TO ISSUING THE CERTIFICATE OF OCCUPANCY (C.O.). ALL CURB RESTRICTIONS WILL BE SET UP WITH THE ENGINEERING OFFICE PRIOR TO THE START OF CONSTRUCTION. IF ANY IMPROVEMENTS ARE REQUIRED, THE INSPECTOR CAN BE REACHED AT 719-385-5977.

FLOODPLAIN INFORMATION:

AS DETERMINED BY THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL #08041 C 0729 F (REVISED MARCH 16, 2017), THE SUBJECT PROPERTY IS LOCATED IN ZONE X, AN AREAS OF FLOOD HAZARD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 SQUARE MILE.

SHEET INDEX

- ARCHITECTURAL:**
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 - A1-1 EXISTING / DEMOLITION SITE PLAN
 - A1-2 PROPOSED SITE PLAN
 - A2-1 BUILDING ELEVATIONS
- CIVIL:**
- C1 SITE GRADING & EROSION CONTROL PLAN
 - U1 UTILITY & PUBLIC FACILITIES PLAN
- LANDSCAPE:**
- L1-1 LANDSCAPE PLAN

PROJECT TEAM

ARCHITECT:
TREMEL DESIGN GROUP
1915 W. WALNUT ST., SUITE 113
COLORADO SPRINGS, CO 80903
PHONE: 719-623-5641

MARK TREMEL
RICHARD GILLILAND

CIVIL ENGINEER:
JPS ENGINEERING
19 E. WILLAMETTE AVE.
COLORADO SPRINGS, CO 80903
PHONE: 719-385-5977

JOHN SCHWAB

LANDSCAPE ARCHITECT:
JAMES W. REES
1915 W. WALNUT ST., SUITE 113
COLORADO SPRINGS, CO 80903
PHONE: 719-385-5654

JIM REESE

REVISIONS	DATE	FOR	RESUB
1	6/18		

NOT FOR CONSTRUCTION

TremelDesignGroup, LLC
201 East Las Animas, Suite 113
Colorado Springs, CO 80903
719.623.5641 (Phone)
719.623.5643 (Fax)

8-UNIT APARTMENT BUILDING
430 W. PIKES PEAK
PARRISH'S ADDITION
COLORADO SPRINGS, CO 80905

COVER SHEET
DATE: 02.19.2018
DRAWN BY: TDG
CHECKED BY: TDG
PROJECT NO.: 17144
SHEET:
A0-1
1 OF 7

REVISIONS	FOR
DATE	RESUB
6/6/18	

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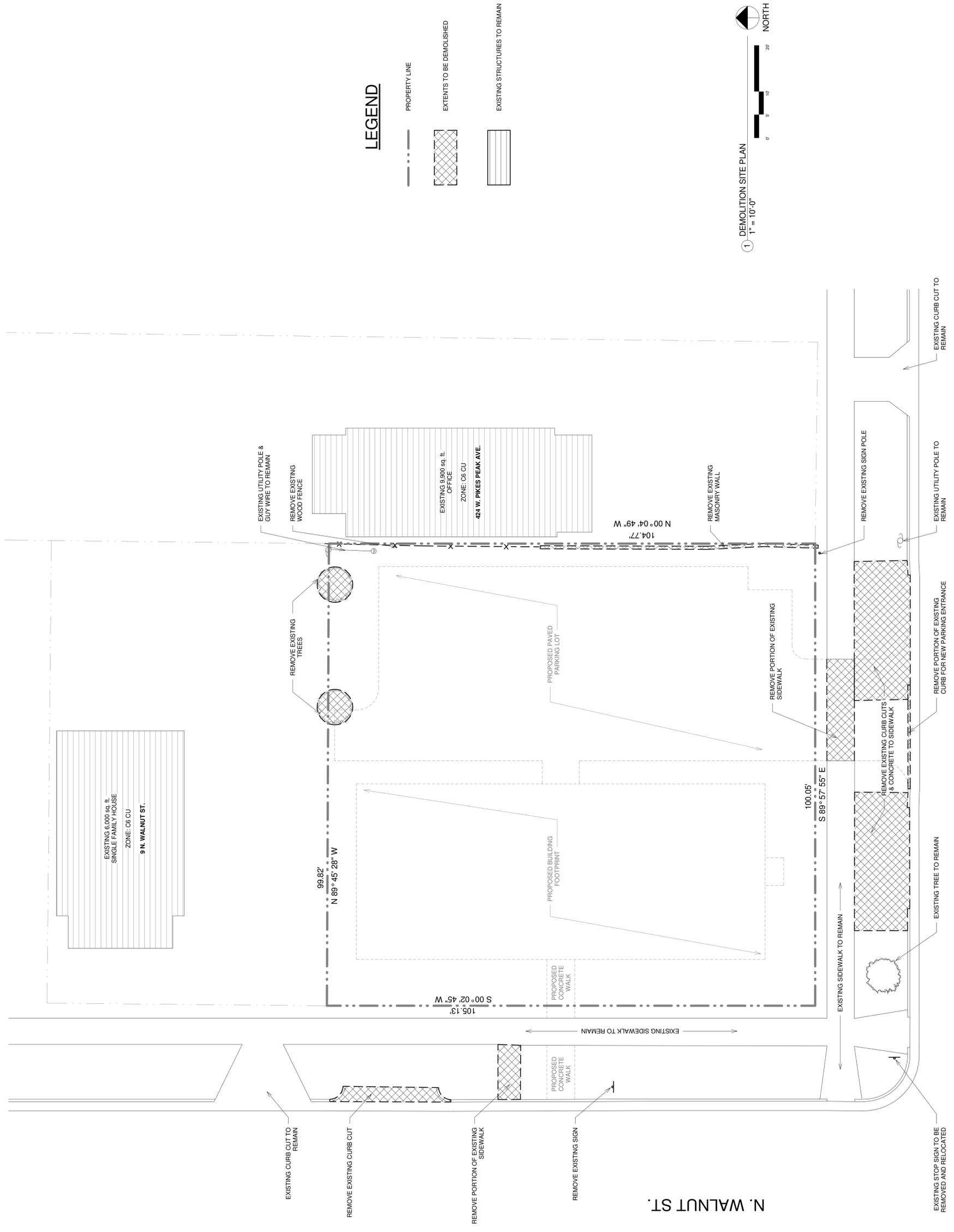
TremmelDesignGroup, LLC
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8-UNIT APARTMENT BUILDING
PARRISH'S ADDITON
430 W. PIKES PEAK
COLORADO SPRINGS, CO 80905

DEMOLITION
SITE PLAN

DATE: 02/19/2018
DRAWN BY: TDG
CHECKED BY: TDG
PROJECT NO.: 17144

SHEET:
AD-1
2 OF 7



W. PIKES PEAK AVE.

FIGURE 2

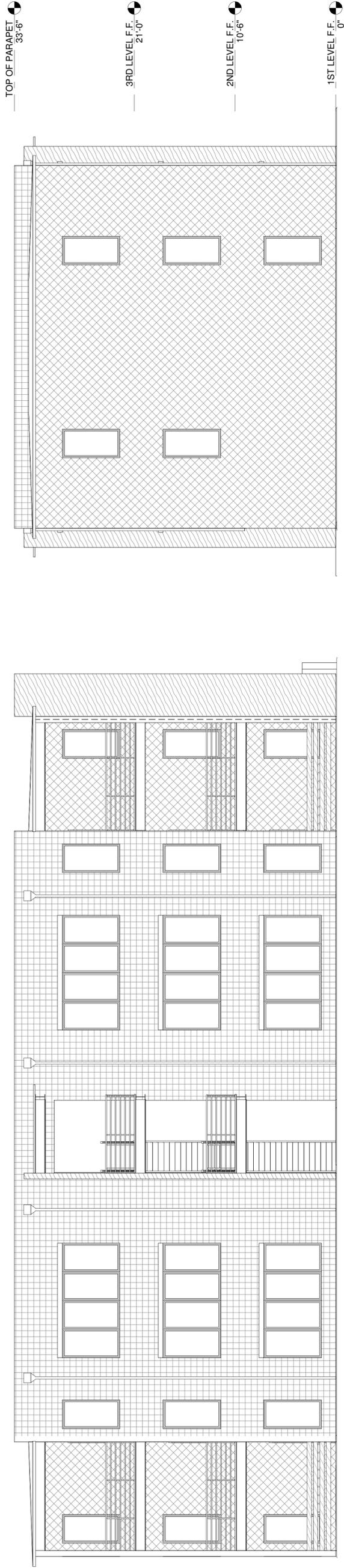
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DATE	RESUB
6/9/18	

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CONSTRUCTION
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8-UNIT APARTMENT BUILDING
430 W. PIKES PEAK
PARRISH'S ADDITON
COLORADO SPRINGS, CO 80905

BUILDING
ELEVATIONS
DATE: 02.19.2018
DRAWN BY: TDG
CHECKED BY: TDG
PROJECT NO.: 17144
SHEET:
A3-1
4 OF 7

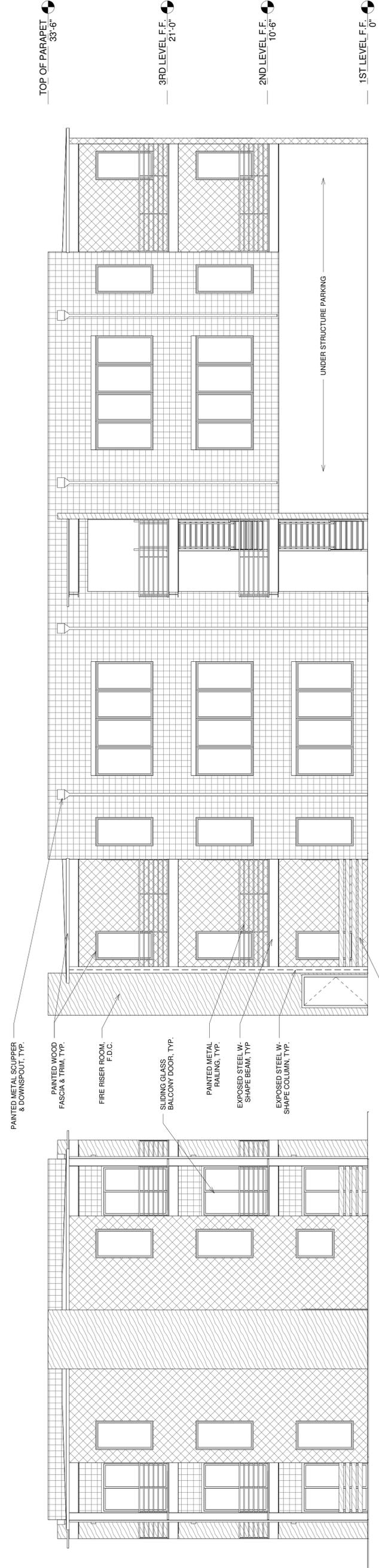
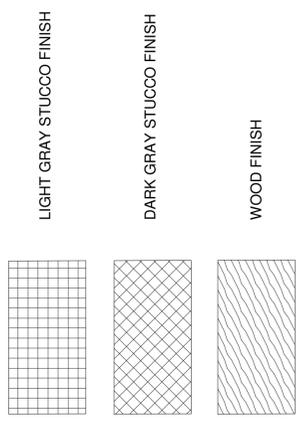


④ WEST ELEVATION
3/16" = 1'-0"

③ NORTH ELEVATION
3/16" = 1'-0"

FINISH NOTES / LEGEND:

ALL EXTERIOR FINISH SHALL BE STUCCO ON DRAINAGE MAT OVER PLYWOOD SHEATHING. STUCCO COLORS SHALL BE LIGHT GRAY, MEDIUM GRAY AND DARK GRAY AS INDICATED ON ELEVATIONS & LEGEND. ALL EXPOSED METAL, FASCIA AND TRIM SHALL BE PAINTED DARK GRAY.



② SOUTH ELEVATION
3/16" = 1'-0"

① EAST ELEVATION
3/16" = 1'-0"

- PAINTED METAL SCUPPER & DOWNSPOUT, TYP.
- PAINTED WOOD FASCIA & TRIM, TYP.
- FIRE RISER ROOM, F.D.C.
- SLIDING GLASS BALCONY DOOR, TYP.
- PAINTED METAL RAILING, TYP.
- EXPOSED STEEL W/ SHAPE BEAM, TYP.
- EXPOSED STEEL W/ SHAPE COLUMN, TYP.
- WOOD PATIO RAILING, TYP.

GENERAL NOTES:

- ALL CONSTRUCTION SHALL MEET THE STANDARDS & SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS ENGINEERING DIVISION AND COLORADO SPRINGS UTILITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD LOCATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ACTUAL CONSTRUCTION.
- THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THESE APPROVED PLANS AND ONE (1) COPY OF THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES:
 - COLORADO SPRINGS ENGINEERING DIVISION STANDARD SPECIFICATIONS.
- STORM DRAIN PIPE SHALL BE RCP CLASS III WITH CLASS C BEDDING UNLESS OTHERWISE NOTED.
- STATIONING IS AT CENTERLINE UNLESS OTHERWISE NOTED. ALL ELEVATIONS ARE AT FLOWLINE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE FROM FACE OF CURB UNLESS OTHERWISE NOTED. LENGTHS SHOWN FOR STORM SEWER PIPES ARE TO CENTER OF MANHOLE.
- CONTRACTOR SHALL COORDINATE WITH GAS, ELECTRIC, TELEPHONE AND CABLE T.V. UTILITY SUPPLIERS FOR INSTALLATION OF ALL UTILITIES. MINIMUM COVER FOR ALL NON-CITY UTILITIES SHALL BE 36".
- CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, DEBRIS, WASTE AND OTHER UNSUITABLE FILL MATERIAL FOUND WITHIN THE LIMITS OF EXCAVATION.
- MATCH INTO EXISTING GRADES AT 3:1 MAX CUT AND FILL SLOPES.
- REVEGETATION OF ALL DISTURBED AREAS SHALL BE DONE WITH 4" TOPSOIL AND DRY LAND GRASS SEED AFTER FINE GRADING IS COMPLETE. (FOOTHILLS SEED MIX).
- EROSION CONTROL SHALL CONSIST OF SILT FENCE AND HAY BALES AS SHOWN ON THE DRAWING, AND TOPSOIL WITH GRASS SEED, WHICH WILL BE WATERED UNTIL VEGETATION HAS BEEN REESTABLISHED.
- THE EROSION CONTROL MEASURES OUTLINED ON THIS PLAN ARE THE RESPONSIBILITY OF THE DEVELOPER AND CONTRACTOR TO MONITOR AND REPLACE, REGRADE, AND REBUILD AS NECESSARY UNTIL VEGETATION IS REESTABLISHED.
- CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES IN A MANNER THAT WILL PROTECT ADJACENT PROPERTIES AND PUBLIC FACILITIES FROM THE ADVERSE EFFECTS OF EROSION AND SEDIMENTATION AS A RESULT OF CONSTRUCTION AND EARTHWORK ACTIVITIES WITHIN THE PROJECT SITE.
- ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AS DETERMINED BY SITE CONDITIONS.
- THE CONTRACTOR WILL TAKE THE NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES FROM DAMAGE DUE TO THIS OPERATION. ANY DAMAGE TO THE UTILITIES WILL BE REPAIRED AT THE CONTRACTOR'S EXPENSE, AND ANY SERVICE DISRUPTION WILL BE SETTLED BY THE CONTRACTOR.
- ALL BACKFILL, SUB-BASE AND/OR BASE COURSE MATERIAL SHALL BE COMPACTED PER PROJECT GEOTECHNICAL REPORT AND CITY OF COLORADO SPRINGS SPECIFICATIONS.
- CONCRETE USED IN CURB AND GUTTER, SIDEWALK, AND CROSSSPAN CONSTRUCTION WILL HAVE A MINIMUM YIELD STRENGTH OF 4,000 PSI AT 28 DAYS.
- ALL CURB RETURNS SHALL BE 8" VERTICAL CURB, CITY OF COLORADO SPRINGS TYPE 1 CURB. ALL CURB RETURNS SHALL HAVE RADIUS AS NOTED.
- PEDESTRIAN RAMPS SHALL BE INSTALLED AT ALL INTERSECTIONS AND CONFORM TO THE CITY OF COLORADO SPRINGS, ENGINEERING DIVISION STANDARDS AND SPECIFICATIONS.
- ALL FINISHED GRADES SHALL HAVE A MINIMUM 1.0% SLOPE TO PROVIDE POSITIVE DRAINAGE.
- CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO BEGINNING WORK.

ESTIMATED EARTHWORK QUANTITY:

UNCLASSIFIED EXCAVATION (TOTAL CUT) = 47 CY
 * EMBANKMENT FILL = 232 CY
 NET (FILL) = 185 CY

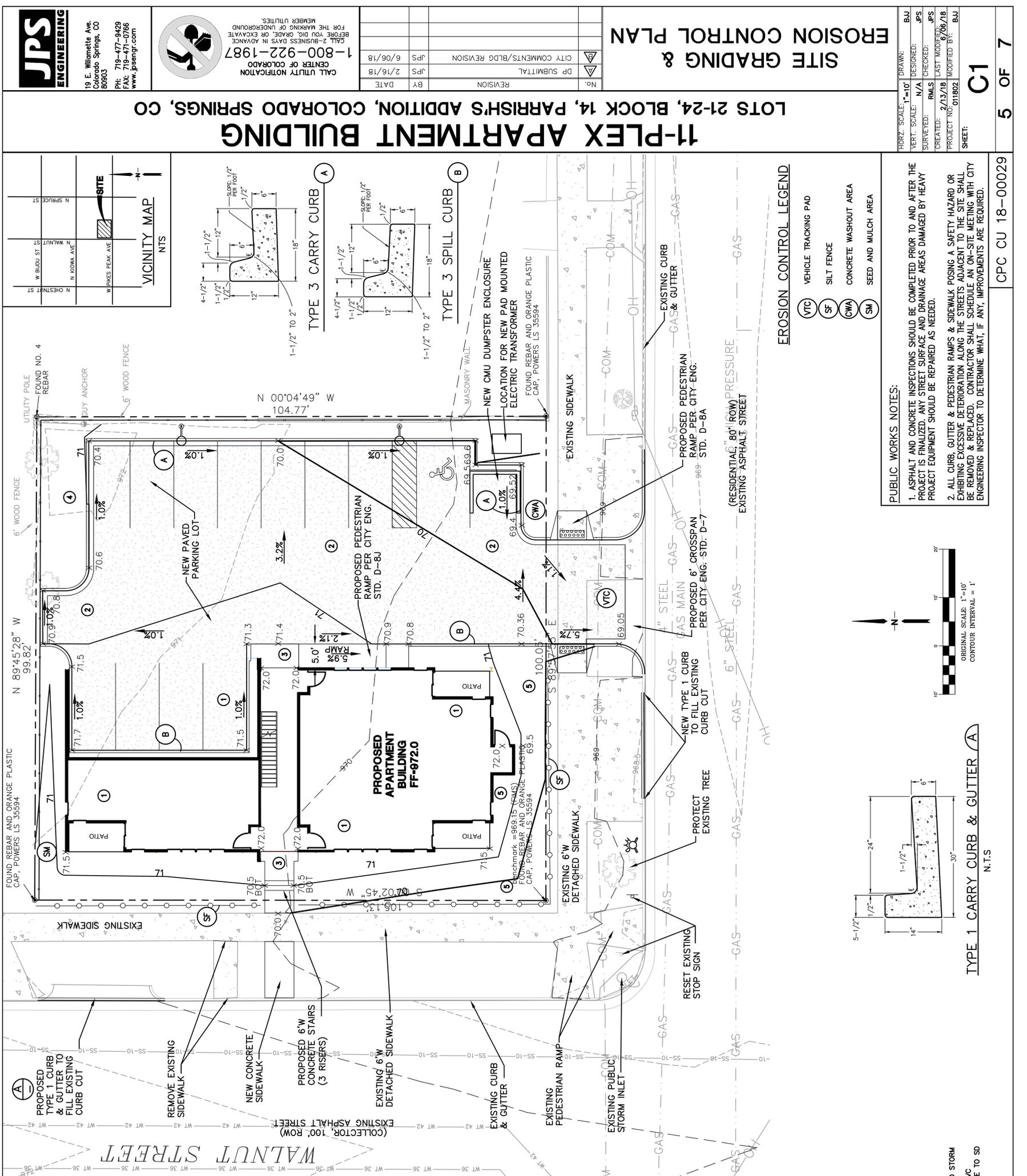
* (ASSUMES 15% COMPACTION FACTOR)

NOTE: THIS ESTIMATE IS PROVIDED FOR INFORMATION ONLY, REPRESENTING THE CALCULATED BULK EARTHWORK VOLUME TO FINISHED GRADE, EXCLUDING ANY ADJUSTMENT FOR PAVEMENT DEPTHS, ETC. CONTRACTOR SHALL MAKE HIS OWN DETERMINATION OF EARTHWORK QUANTITIES AS BASIS FOR BID PRICING AND NOTIFY ENGINEER OF ANY DISCREPANCIES.

KEYED NOTES:

- PREPARE & COMPACT FOUNDATION & SLABS PER GEOTECHNICAL REPORT
- SITE PAVING PER GEOTECHNICAL REPORT (MIN. 4" FULL-DEPTH ASPHALT)
- CONCRETE PAVEMENT @ 2% MIN. SLOPE AWAY FROM BLDG.
- STORAGE EQUIPMENT, MAINTENANCE & TEMPORARY DISPOSAL AREA
- ADJUST (LOWER) BOTTOM OF FOUNDATION WALL BASED ON FINISHED GRADE OUTSIDE BUILDING

BENCHMARK:
 FOUND REBAR AND ORANGE PLASTIC CAP. POWERS LS 35594
 EL=696.15 (FIMS)



JPS ENGINEERING
 19 E. Wilmette Ave
 Colorado Springs, CO 80903
 PH: 719-477-9429
 FAX: 719-477-0766
 www.jpseng.com

CALL UTILITY NOTIFICATION CENTER OF COLORADO
 1-800-922-1987
 24 HOURS A DAY
 BEFORE YOU DIG, OR EXCAVATE
 CALL 2-BUSINESS DAYS IN ADVANCE
 FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

No.	REVISION	BY	DATE
1	DP SUBMITTAL	JPS	2/16/18
2	CITY COMMENTS/BLDG REVISION	JPS	6/06/18

SITE GRADING & EROSION CONTROL PLAN

HORIZ. SCALE: 1"=10'
 VERT. SCALE: 1/4"=10'
 SURVEYED: N/A
 DESIGNED: JPS
 RMLS: JPS
 CHECKED: JPS
 CREATED: 2/13/18
 LAST MODIFIED: 6/06/18
 PROJECT NO: 011802
 MODIFIED BY: BUJ
 SHEET: C1

5 OF 7
 CPC CU 18-00029

FIGURE 2

