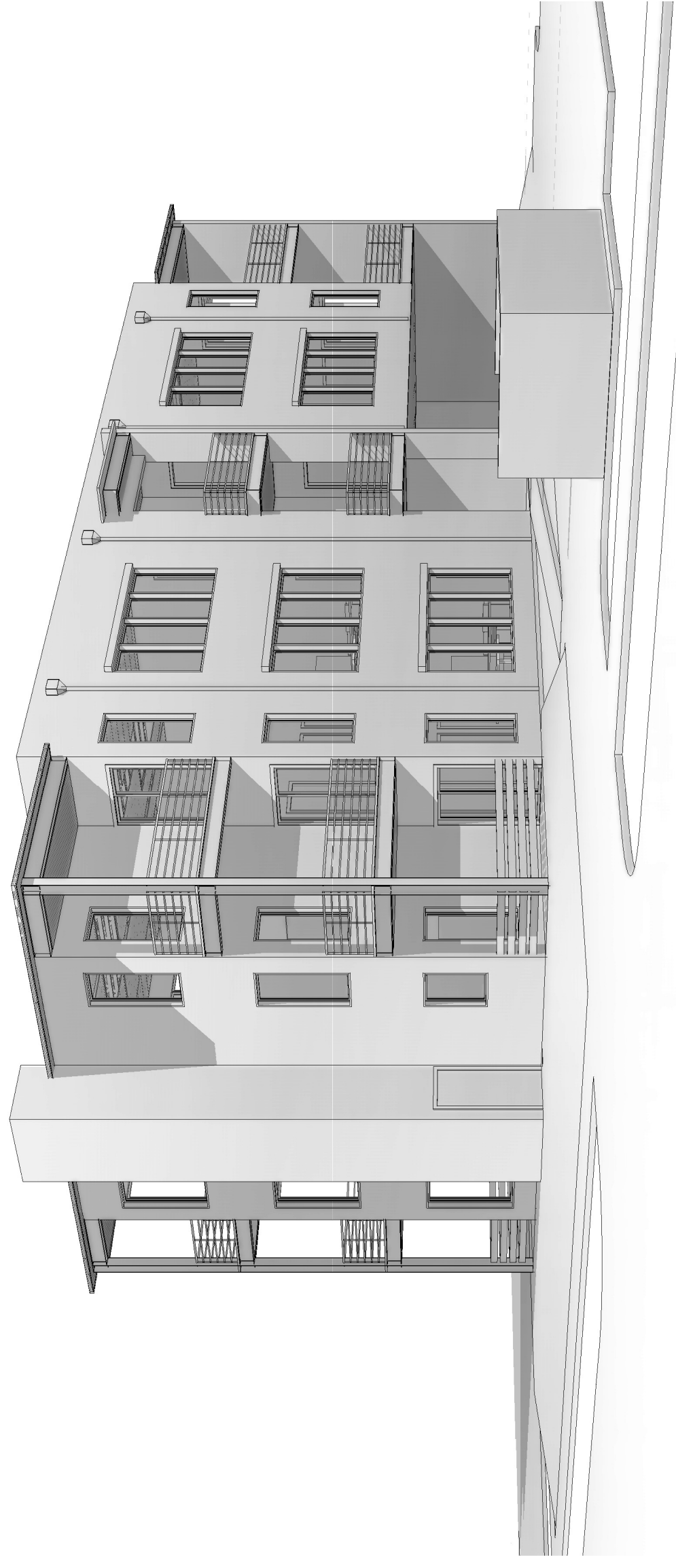


11-UNIT APARTMENT BUILDING

430 W. PIKES PEAK AVE.

PARRISH'S ADDITION, COLORADO SPRINGS, CO

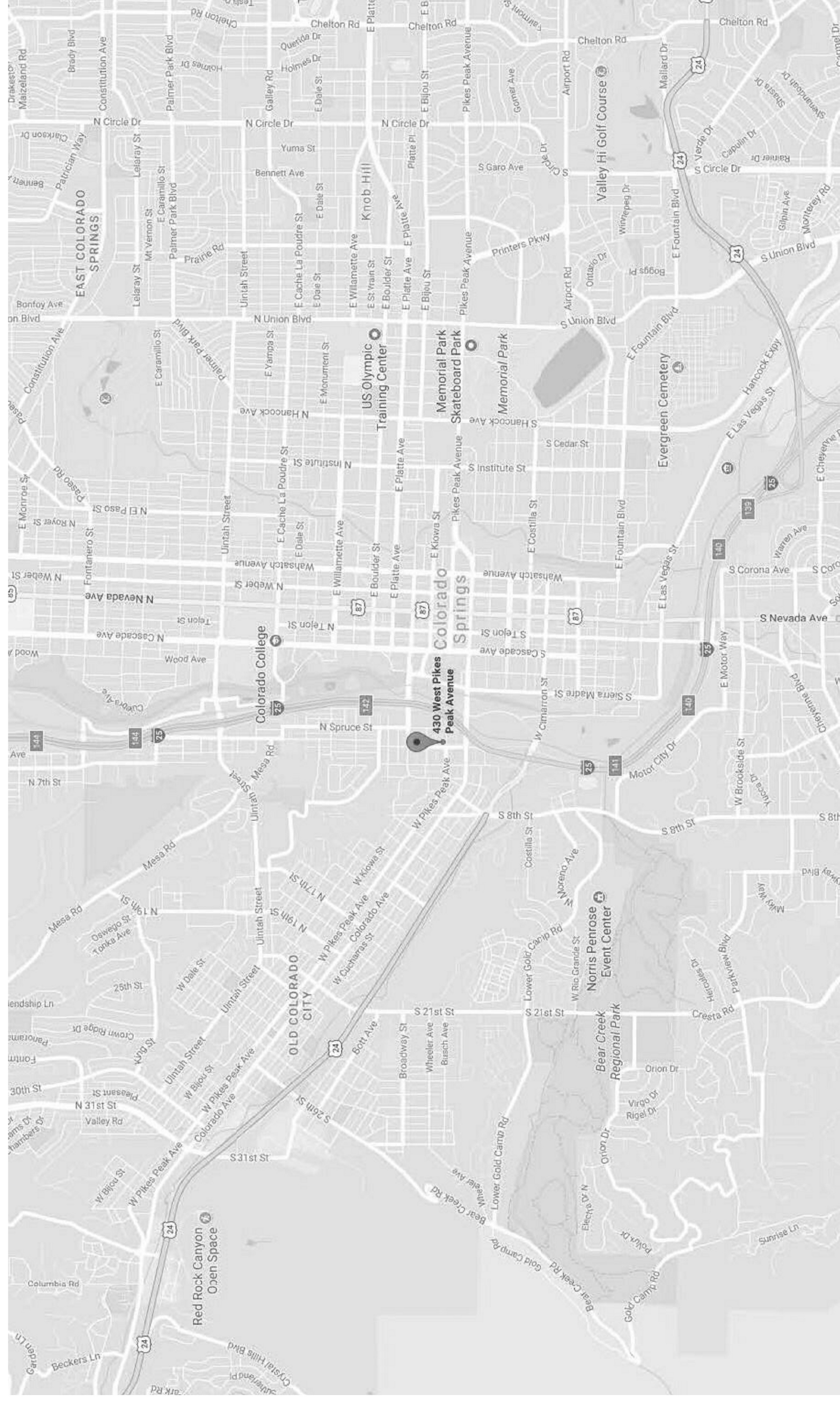
DEVELOPMENT PLAN DRAWINGS



② PERSPECTIVE - VIEW LOOKING NW

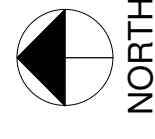


① PERSPECTIVE - VIEW LOOKING SE



VICINITY MAP

NOT TO SCALE



PROJECT DATA

OWNER:

2245 BROADWAY AVE
COLORADO SPRINGS, CO 80904
PHONE: 719-337-1633

PROJECT ADDRESS:

430 W. PIKES PEAK AVE
COLORADO SPRINGS, CO 80905

PROJECT DESCRIPTION:

11 UNIT APARTMENT BUILDING
2 STORY, 8 UNIT APARTMENT BUILDING
ASSESSOR'S SCHEDULE NO.:
7413122013

LEGAL DESCRIPTION:

S 75 FT OF LOTS 21 TO 24 INC BLK 14 PARRISHS ADD COLO
SPGS, VAC 30 FT STRIP OF PIKES PEAK AVE ADJ THERETO

NOTE: WALKER OF REC AT IS BEING PROCESSED
APPLICANT IS REQUESTING TO CONSIDER THE PROPERTY AS A LEGAL
LOT (FILE # CPC CU18-00028)

CITY ZONING CLASSIFICATION:

C8 CU

CITY MASTER PLAN:

WESTSIDE MASTER PLAN

LOT SIZE (ACREAGE):

0.24 ACRES (10,500 sq)

PUBLIC SPACES:

PARKSIDE IMPROVEMENTS PER LANDSCAPE PLAN

SIGNAGE:

SIGNAGE APPROVALS THROUGH SEPARATE PROCESS AT A
LATER DATE

DENSITY/BONUSES:

NONE

SETBACK REQUIREMENTS (RS STANDARDS PER CONDITIONAL USE):

FRONT YARD - 20'

SIDE YARD - 5'

REAR YARD - 25'

NOTE:

A NON-USE VARIANCE HAS BEEN REQUESTED TO ENCROACH INTO THE 20'

FRONT YARD SETBACK (FILE # CPC NV 18-00030)

HEIGHT RESTRICTIONS (RS STANDARDS PER CONDITIONAL USE):

MAX. HEIGHT - 35'

PROPOSED BLDG. = 33' - 6"

BUILDING SQUARE FOOTAGE CALCULATIONS:

NEW LIVABLE: 2,520 sf

NEW GROUND LEVEL: 2,520 sf

NEW SECOND LEVEL: 2,520 sf

NEW THIRD LEVEL: 2,520 sf

TOTAL NEW LIVABLE: 7,560 sf

NEW COVERED:

NEW COVERED GROUND LEVEL (PATIO/EXTERIOR STAIRWAY): 536 sf

NEW COVERED SECOND LEVEL (BALCONIES/EXTERIOR STAIRWAY): 536 sf

NEW COVERED THIRD LEVEL (BALCONIES/EXTERIOR STAIRWAY): 536 sf

TOTAL NEW COVERED: 1,608 sf

NEW BUILDING FOOTPRINT: 3,056 sf

LOT COVERAGE RESTRICTIONS (RS STANDARDS PER CONDITIONAL USE):

ALLOWABLE LOT COVERAGE: 40%

TOTAL LOT COVERAGE: 35%

PARKING REQUIREMENTS

REQUIRED PER CITY CODE SECTION 7.4.203 - ADU 1 BEDROOM:

1.5 SPACES PER UNIT X 11 UNITS = 17 REQUIRED PARKING SPACES

12 OFF STREET PARKING SPACES PROVIDED = 5 ALTERNATIVE PARKING SPACES
(ON STREET PARKING CREDIT - CITY CODE SECTION 7.4.204)

1 ADA VAN SPACE PROVIDED

REVISIONS	DATE	FOR	RESUB
1	6/18		

NOT FOR
CONSTRUCTIO
N

TremmelDesignGroup, LLC
201 East Las Animas, Suite 113
Colorado Springs, CO 80903
719.623.5641 (Phone)
719.623.5643 (Fax)

8-UNIT APARTMENT BUILDING
430 W. PIKES PEAK
PARRISH'S ADDITION
COLORADO SPRINGS, CO 80905

COVER SHEET

DATE: 02/19/2018
DRAWN BY: TDG
CHECKED BY: TDG
PROJECT NO.: 17144

SHEET:
A0-1
1 OF 7

SHEET INDEX

ARCHITECTURAL:

A0-1 COVER SHEET / PROJECT INFORMATION

A1-1 EXISTING / DEMOLITION SITE PLAN

A1-2 PROPOSED SITE PLAN

A2-1 BUILDING ELEVATIONS

CIVIL:

C1 SITE GRADING & EROSION CONTROL PLAN

U1 UTILITY & PUBLIC FACILITIES PLAN

LANDSCAPE:

L1-1 LANDSCAPE PLAN

PROJECT TEAM

ARCHITECT:

TREMME DESIGN GROUP
1130 W. WALNUT ST., SUITE 113
COLORADO SPRINGS, CO 80903
PHONE: 719-623-5641

MARK TREMEL

RICHARD GILLILAND

CIVIL ENGINEER:

JPS ENGINEERING

19 E. WILLAMETTE AVE.

COLORADO SPRINGS, CO 80903

PHONE: 719-385-5544

JOHN SCHWAB

LANDSCAPE ARCHITECT:

JAMES W. REESE

1130 W. WALNUT ST., SUITE 113

COLORADO SPRINGS, CO 80903

PHONE: 719-385-5544

JIM REESE

ENGINEERING DEVELOPMENT NOTE:

ALL EXISTING CURBS AND SIDEWALK POSING A SAFETY HAZARD TO THE PUBLIC SHALL BE REPAIRED OR REPLACED PRIOR TO CONSTRUCTION. EXISTING CURBS AND SIDEWALKS ALONG N. WALNUT ST. AND W. PIKES PEAK AVE. ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED PRIOR TO ISSUING THE CERTIFICATE OF OCCUPANCY (C.O.). ALL CURBS AND SIDEWALKS SHALL BE REPLACED WITH NEW CURBS AND SIDEWALKS UP WITH THE ENGINEERING DESIGN. ANY IMPROVEMENTS ARE REQUIRED. THE INSPECTOR CAN BE REACHED AT 719-385-5977.

FLOODPLAIN INFORMATION:

AS DETERMINED BY THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL #08041 C 0729 F (REVISED MARCH 16, 2017), THE SUBJECT PROPERTY IS LOCATED IN ZONE X (AN AREA OF FLOOD RISK WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE.

REVISIONS	FOR
DATE	RESUB
6/6/18	

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CONSTRUCTIO
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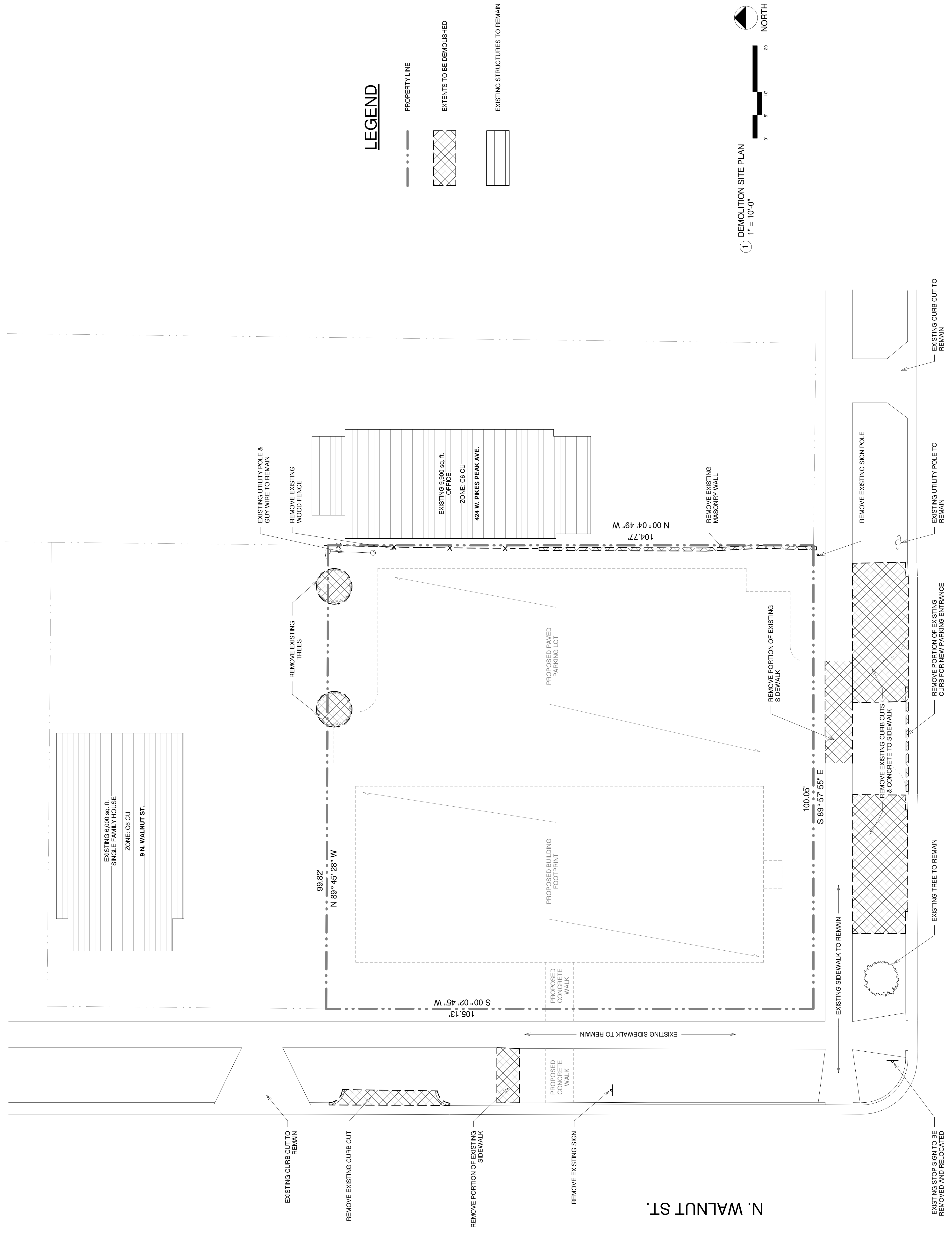
TremmelDesignGroup, LLC
201 East Las Animas, Suite 113
Colorado Springs, CO 80903
719.623.5641 (Phone)
719.623.5643 (Fax)

8-UNIT APARTMENT BUILDING
PARRISH'S ADDITON
430 W. PIKES PEAK
COLORADO SPRINGS, CO 80905

DEMOLITION
SITE PLAN

DATE: 02/19/2018
DRAWN BY: TDG
CHECKED BY: TDG
PROJECT NO.: 17144

SHEET:
AD-1
2 OF 7



W. PIKES PEAK AVE.
CPU CU 18-00029

REVISIONS	FOR
DATE	RESUB
6/6/18	

NOT FOR CONSTRUCTION

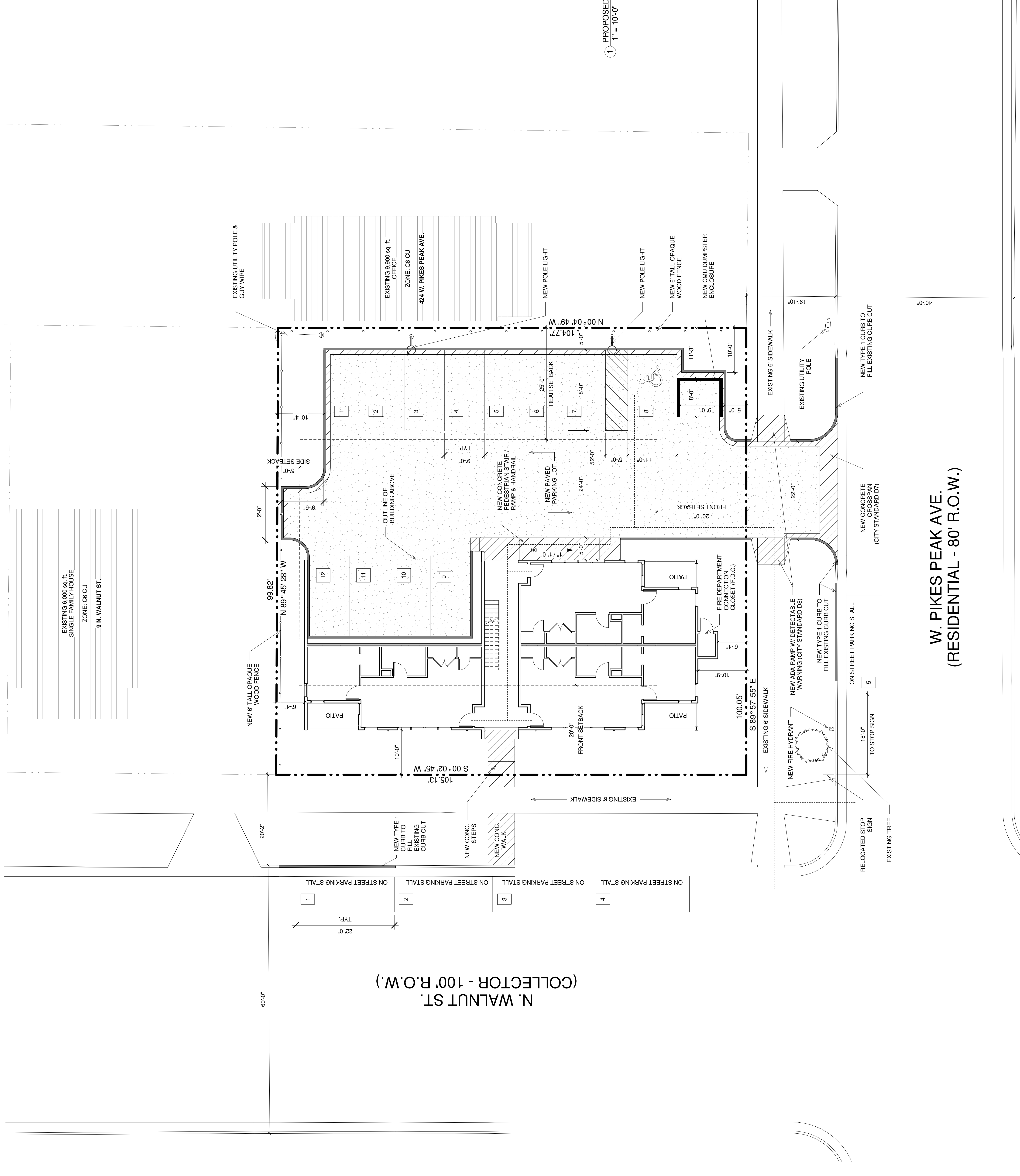
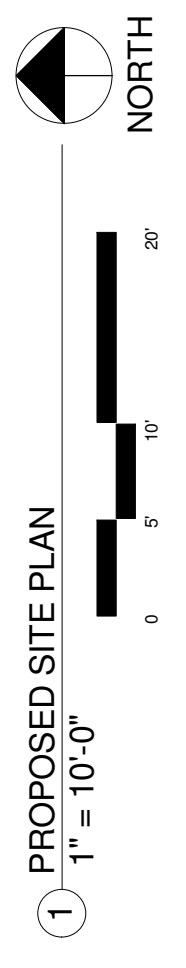
TremmelDesignGroup, LLC
 201 East Las Animas, Suite 113
 Colorado Springs, CO 80903
 719.623.5641 (Phone)
 719.623.5643 (Fax)

8-UNIT APARTMENT BUILDING
 PARRISH'S ADDITION
 430 W. PIKES PEAK
 COLORADO SPRINGS, CO 80905

PROPOSED SITE PLAN
 DATE: 02.19.2018
 DRAWN BY: TDG
 CHECKED BY: TDG
 PROJECT NO.: 17144
 SHEET:
AS-1
 3 OF 7

LEGEND

	PROPERTY LINE
	NEW ASPHALT PAVING
	NEW CONCRETE PAVING
	NEW CURB
	ACCESSIBLE ROUTES
	EXISTING STRUCTURES



W. PIKES PEAK AVE.
 (RESIDENTIAL - 80' R.O.W.)

CPU CU 18-00029

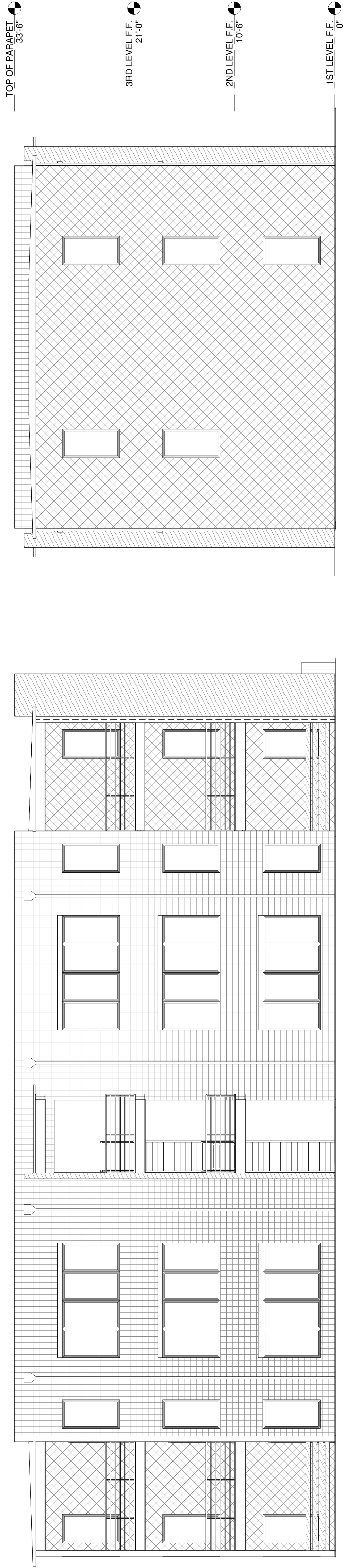
REVISIONS	FOR
DATE	RESUB
6/9/18	

NOT FOR CONSTRUCTION

TremmelDesignGroup, LLC
 201 East Las Animas, Suite 113
 Colorado Springs, CO 80903
 719.623.5641 (Phone)
 719.623.5643 (Fax)

8-UNIT APARTMENT BUILDING
 430 W. PIKES PEAK
 PARRISH'S ADDITON
 COLORADO SPRINGS, CO 80905

BUILDING ELEVATIONS
 DATE: 02.19.2018
 DRAWN BY: TDG
 CHECKED BY: TDG
 PROJECT NO.: 17144
 SHEET: A3-1
 4 OF 7

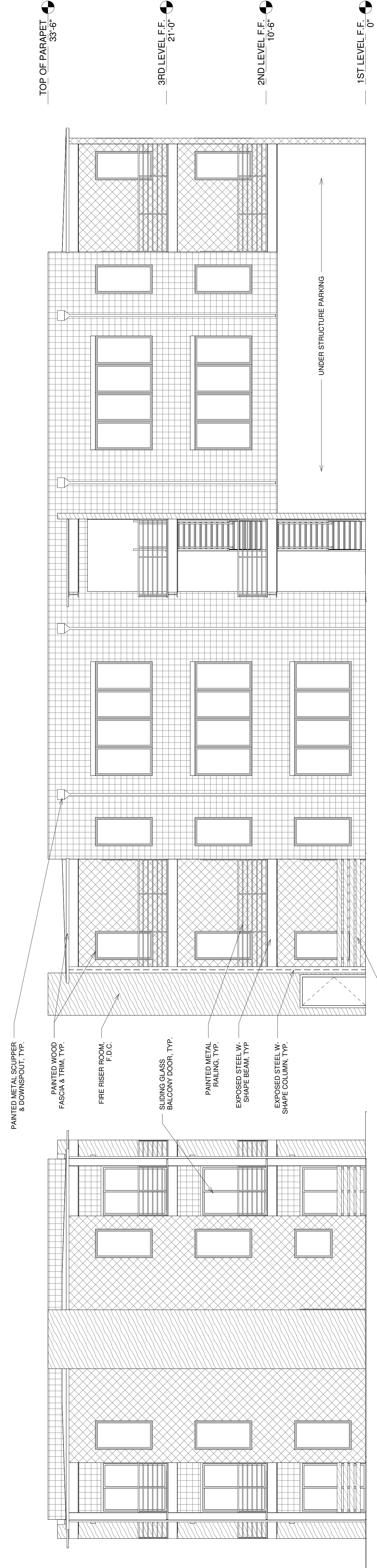
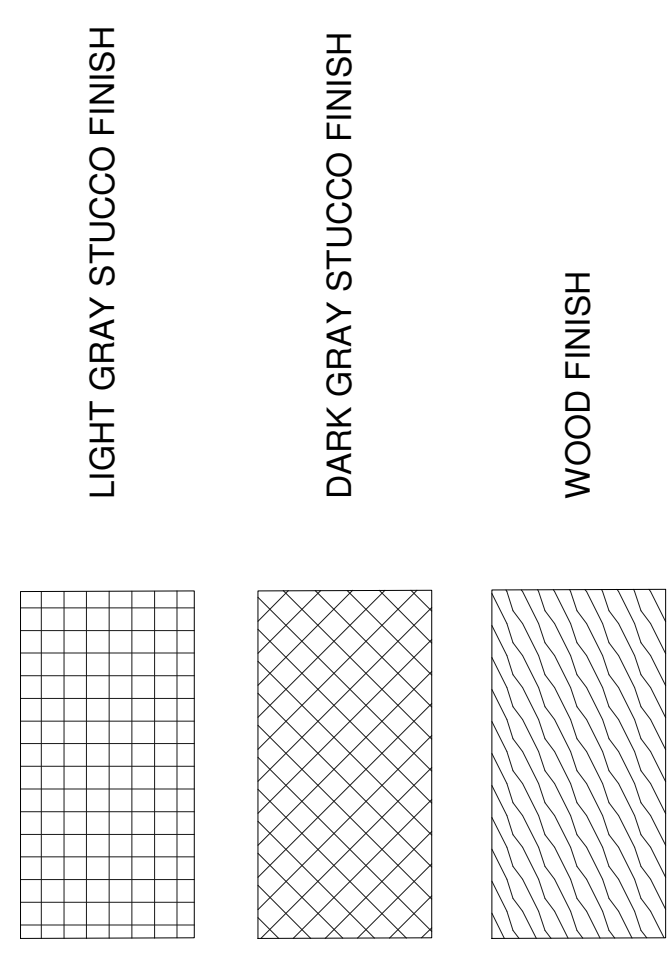


④ WEST ELEVATION
 3/16" = 1'-0"

③ NORTH ELEVATION
 3/16" = 1'-0"

FINISH NOTES / LEGEND:

ALL EXTERIOR FINISH SHALL BE STUCCO ON DRAINAGE MAT OVER PLYWOOD SHEATHING. STUCCO COLORS SHALL BE LIGHT GRAY, MEDIUM GRAY AND DARK GRAY AS INDICATED ON ELEVATIONS & LEGEND. ALL EXPOSED METAL, FASCIA AND TRIM SHALL BE PAINTED DARK GRAY.



② SOUTH ELEVATION
 3/16" = 1'-0"

① EAST ELEVATION
 3/16" = 1'-0"

GENERAL NOTES:

- ALL CONSTRUCTION SHALL MEET THE STANDARDS & SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS ENGINEERING DIVISION AND COLORADO SPRINGS UTILITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD LOCATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ACTUAL CONSTRUCTION.
- THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THESE APPROVED PLANS AND ONE (1) COPY OF THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES:
 - COLORADO SPRINGS ENGINEERING DIVISION STANDARD SPECIFICATIONS.
- STORM DRAIN PIPE SHALL BE RCP CLASS III WITH CLASS C BEDDING UNLESS OTHERWISE NOTED.
- STATIONING IS AT CENTERLINE UNLESS OTHERWISE NOTED. ALL ELEVATIONS ARE AT FLOWLINE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE FROM FACE OF CURB UNLESS OTHERWISE NOTED. LENGTHS SHOWN FOR STORM SEWER PIPES ARE TO CENTER OF MANHOLE.
- CONTRACTOR SHALL COORDINATE WITH GAS, ELECTRIC, TELEPHONE AND CABLE T.V. UTILITY SUPPLIERS FOR INSTALLATION OF ALL UTILITIES. MINIMUM COVER FOR ALL NON-CITY UTILITIES SHALL BE 36".
- CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, DEBRIS, WASTE AND OTHER UNSUITABLE FILL MATERIAL FOUND WITHIN THE LIMITS OF EXCAVATION.
- MATCH INTO EXISTING GRADES AT 3:1 MAX CUT AND FILL SLOPES.
- REVEGETATION OF ALL DISTURBED AREAS SHALL BE DONE WITH 4" TOPSOIL AND DRY LAND GRASS SEED AFTER FINE GRADING IS COMPLETE. (FOOTHILLS SEED MIX).
- EROSION CONTROL SHALL CONSIST OF SILT FENCE AND HAY BALES AS SHOWN ON THE DRAWING, AND TOPSOIL WITH GRASS SEED, WHICH WILL BE WATERED UNTIL VEGETATION HAS BEEN REESTABLISHED.
- THE EROSION CONTROL MEASURES OUTLINED ON THIS PLAN ARE THE RESPONSIBILITY OF THE DEVELOPER TO MONITOR AND REPLACE, REGRADE, AND REBUILD AS NECESSARY UNTIL VEGETATION IS REESTABLISHED.
- CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES IN A MANNER THAT WILL PROTECT ADJACENT PROPERTIES AND PUBLIC FACILITIES FROM THE ADVERSE EFFECTS OF EROSION AND SEDIMENTATION AS A RESULT OF CONSTRUCTION AND EARTHWORK ACTIVITIES WITHIN THE PROJECT SITE.
- ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AS DETERMINED BY SITE CONDITIONS.
- THE CONTRACTOR WILL TAKE THE NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES FROM DAMAGE DUE TO THIS OPERATION. ANY DAMAGE TO THE UTILITIES WILL BE REPAIRED AT THE CONTRACTOR'S EXPENSE, AND ANY SERVICE DISRUPTION WILL BE SETTLED BY THE CONTRACTOR.
- ALL BACKFILL, SUB-BASE AND/OR BASE COURSE MATERIAL SHALL BE COMPACTED PER PROJECT GEOTECHNICAL REPORT AND CITY OF COLORADO SPRINGS SPECIFICATIONS.
- CONCRETE USED IN CURB AND GUTTER, SIDEWALK, AND CROSSSPAN CONSTRUCTION WILL HAVE A MINIMUM YIELD STRENGTH OF 4,000 PSI AT 28 DAYS.
- ALL CURB RETURNS SHALL BE 8" VERTICAL CURB, CITY OF COLORADO SPRINGS TYPE 1 CURB. ALL CURB RETURNS SHALL HAVE RADIUS AS NOTED.
- PEDESTRIAN RAMPS SHALL BE INSTALLED AT ALL INTERSECTIONS AND CONFORM TO THE CITY OF COLORADO SPRINGS, ENGINEERING DIVISION STANDARDS AND SPECIFICATIONS.
- ALL FINISHED GRADES SHALL HAVE A MINIMUM 1.0% SLOPE TO PROVIDE POSITIVE DRAINAGE.
- CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO BEGINNING WORK.

ESTIMATED EARTHWORK QUANTITY:

UNCLASSIFIED EXCAVATION (TOTAL CUT) = 47 CY
 * EMBANKMENT FILL = 232 CY
 NET (FILL) = 185 CY

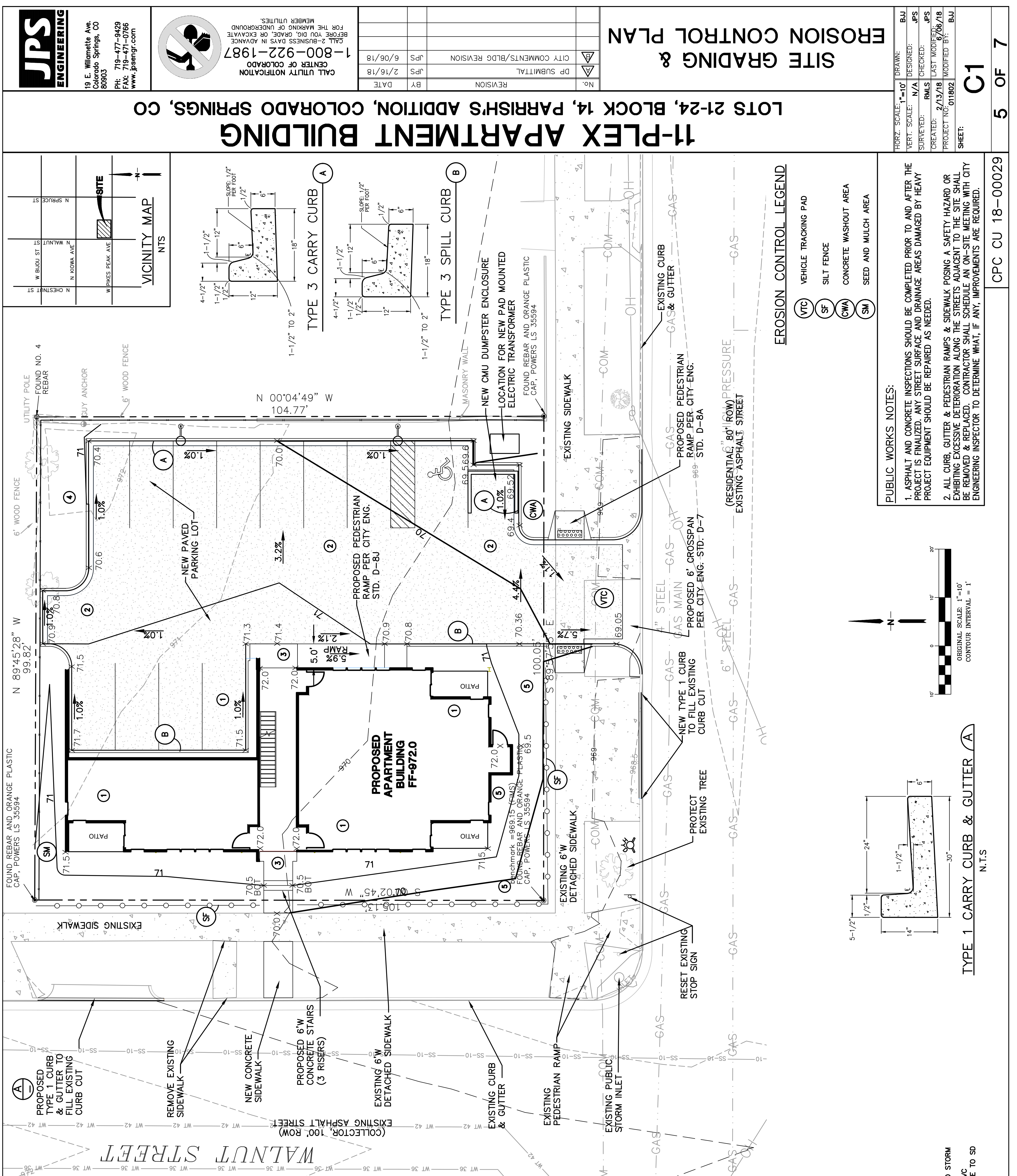
* (ASSUMES 15% COMPACTION FACTOR)

NOTE: THIS ESTIMATE IS PROVIDED FOR INFORMATION ONLY, REPRESENTING THE CALCULATED BULK EARTHWORK VOLUME TO FINISHED GRADE, EXCLUDING ANY ADJUSTMENT FOR PAVEMENT DEPTHS, ETC. CONTRACTOR SHALL MAKE HIS OWN DETERMINATION OF EARTHWORK QUANTITIES AS BASIS FOR BID PRICING AND NOTIFY ENGINEER OF ANY DISCREPANCIES.

KEYED NOTES:

- PREPARE & COMPACT FOUNDATION & SLABS PER GEOTECHNICAL REPORT
- SITE PAVING PER GEOTECHNICAL REPORT (MIN. 4" FULL-DEPTH ASPHALT)
- CONCRETE PAVEMENT @ 2% MIN. SLOPE AWAY FROM BLDG.
- STORAGE EQUIPMENT, MAINTENANCE & TEMPORARY DISPOSAL AREA
- ADJUST (LOWER) BOTTOM OF FOUNDATION WALL BASED ON FINISHED GRADE OUTSIDE BUILDING

BENCHMARK:
 FOUND REBAR AND ORANGE PLASTIC CAP. POWERS LS 35594
 EL=696.15 (FIMS)



JPS ENGINEERING
 19 E. Wilmette Ave
 Colorado Springs, CO 80903
 PH: 719-477-9429
 FAX: 719-477-0766
 www.jpseng.com

CALL UTILITY NOTIFICATION CENTER OF COLORADO
 1-800-922-1987
 2-BUSINESS DAYS IN ADVANCE FOR THE MARKING OF UNDERGROUND UTILITIES.

No.	REVISION	DATE
1	DP SUBMITTAL	2/16/18
2	CITY COMMENTS/BLDG REVISION	6/06/18

11-PLEX APARTMENT BUILDING
 EROSION CONTROL PLAN

PROJECT NO: 011802
 SHEET: C1
 5 OF 7

FIGURE 2

NOTE: EXISTING PUBLIC FIRE HYDRANT #897-C IS LOCATED 176' NORTH OF NW PROPERTY CORNER

PROPOSED 41.6± LF 4" PVC WW SVC LINE @ 2.1% MIN SLOPE

FIELD LOCATE & CONNECT TO EXISTING WW MAIN W/4" SERVICE SADDLE

PROPOSED FIRE HYDRANT

EXISTING 42" STEEL PUBLIC WATER MAIN (TYP)

PROPOSED 44.5 LF 4" PVC FIRE SERVICE LINE

PROPOSED 44.5 LF 1" COPPER WATER SERVICE LINE

PROPOSED 6" GATE VALVE

PROPOSED 6" WET TAP

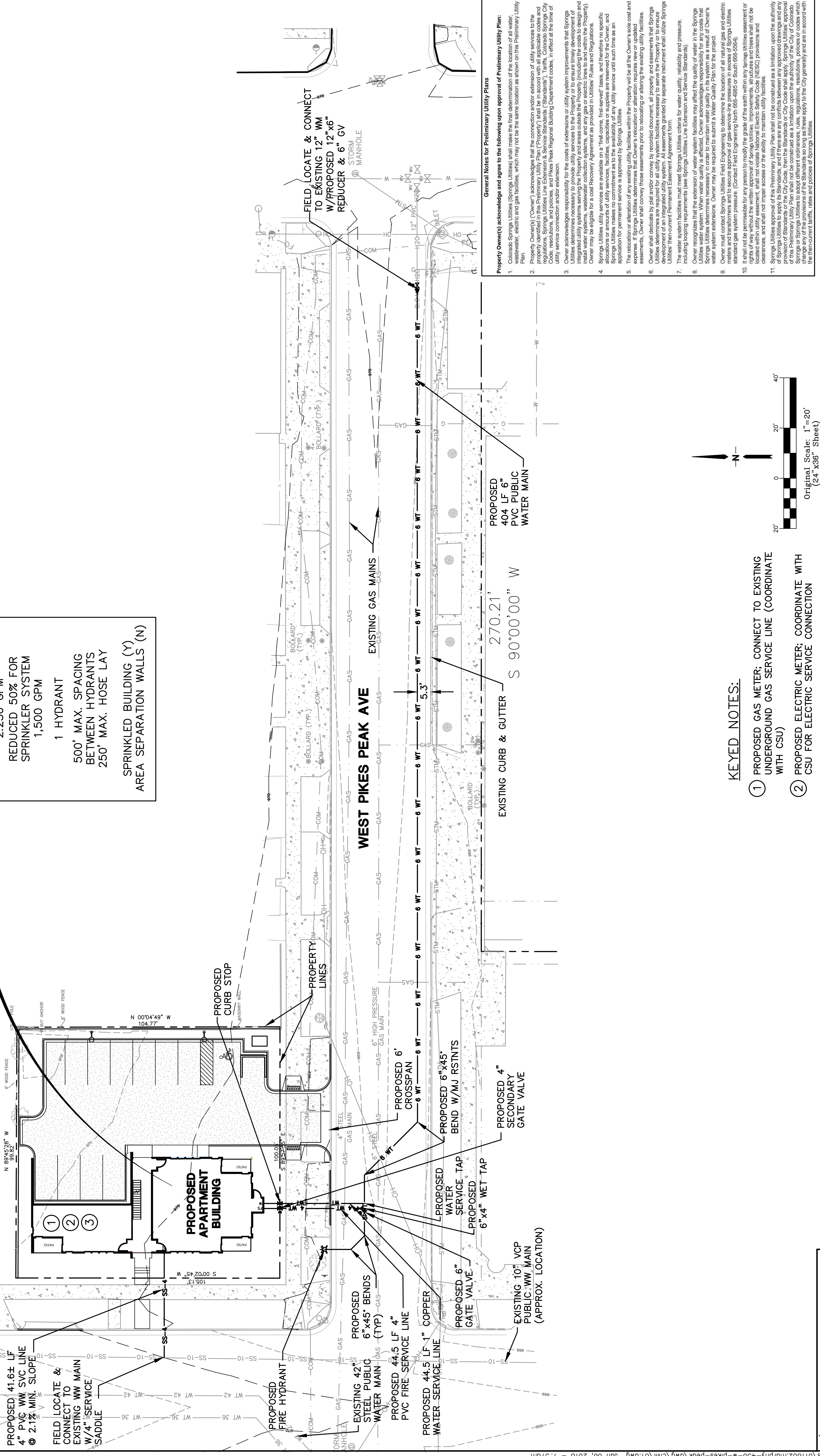
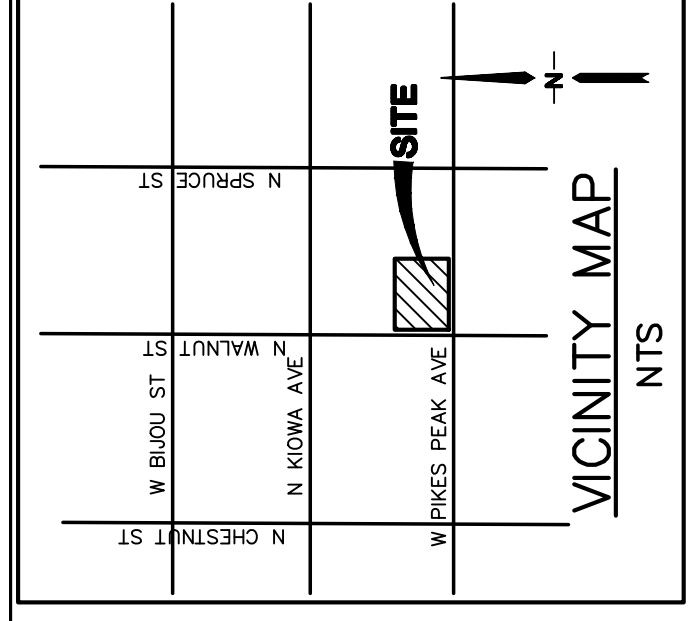
PROPOSED 6" W/4" BEND W/MJ RSNTS

PROPOSED 6" CROSSSPAN

PROPOSED 6" X45" SECONDARY GATE VALVE

EXISTING 10" VCP PUBLIC WW MAIN (APPROX. LOCATION)

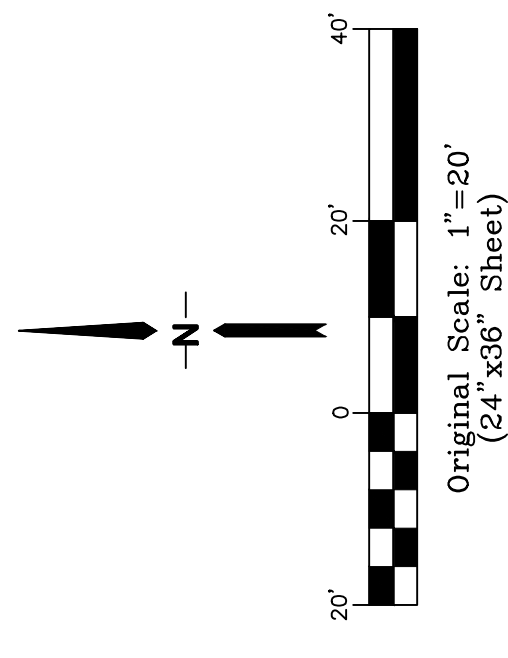
PROPOSED APARTMENT BUILDING
430 W. PIKES PEAK AVE
COLORADO SPRINGS, CO
6,720 SQ. FT.
TYPE V-B
2,250 GPM
REDUCED 50% FOR
SPRINKLER SYSTEM
1,500 GPM
1 HYDRANT
500' MAX. SPACING
BETWEEN HYDRANTS
250' MAX. HOSE LAY
SPRINKLED BUILDING (Y)
AREA SEPARATION WALLS (N)



KEYED NOTES:

- ① PROPOSED GAS METER: CONNECT TO EXISTING UNDERGROUND GAS SERVICE LINE (COORDINATE WITH CSU)
- ② PROPOSED ELECTRIC METER: COORDINATE WITH CSU FOR ELECTRIC SERVICE CONNECTION
- ③ COORDINATE W/ CENTURY LINK FOR TELEPHONE SERVICE

BENCHMARK:
FOUND REBAR AND ORANGE
PLASTIC CAP. POWERS LS 35594
EL=696.15 (FIMS)



General Notes for Preliminary Utility Plans

Property Owner(s) acknowledge and agree to the following upon approval of Preliminary Utility Plan:

- Colorado Springs Utilities (Spring Utilities) shall make the final determination of the location of all water, wastewater, electric and gas facilities, which may not be the same location as shown on the Preliminary Utility Plan.
- Property Owner(s) acknowledge that the connection and/or extension of utility services to the property identified in this Preliminary Utility Plan (Property) shall be in accordance with all applicable codes and regulations, including but not limited to the Colorado Springs Utilities Line Extension & Service Standards (Standards), tariffs, Colorado Springs City Ordinance No. 176, and applicable state and federal regulations.
- Owner acknowledges responsibility for the costs of extensions or utility improvements that Spring Utilities determines necessary to provide utility services to the Property or to ensure timely development of the Property. The cost of utility improvements shall include, but not be limited to, the cost of design, engineering, construction, installation, and maintenance of utility lines and equipment, including water systems, wastewater collection systems, and any gas or electric lines to and within the Property. Owner may be eligible for a cost recovery agreement as provided in Utilities' Rules and Regulations.
- Spring Utilities utility services are available on a "first-come, first-served" basis, and therefore no specific guarantee is made by Spring Utilities as to the availability of any utility service until such time as an application for permanent service is approved by Spring Utilities.
- The relocation or alteration of any existing utility facilities within the Property will be at the Owner's sole cost and expense. The Owner shall be responsible for obtaining all necessary permits and easements for any utility facilities to be installed, relocated, or altered.
- Owner shall dedicate by plat and/or convey by recorded document, all property and easements that Spring Utilities determines are required for an utility system facilities necessary to serve the Property or to ensure the proper installation and operation of utility facilities. The dedication shall be in accordance with the Spring Utilities' then-current Permanent Easement Agreement form.
- The water system facilities must meet Spring Utilities criteria for water quality, reliability and pressure, including looping requirements (see Spring Utilities Line Extension and Service Standards).
- Owner recognizes that the extension of water system facilities may affect the quality of water in the Springs area. Spring Utilities determines necessary in order to maintain water quality in its system as a result of Owner's water system extensions. Owner may be required to submit a Water Quality Plan for the project.
- Owner must contact Springs Utilities Field Engineering to determine the location of all natural gas and electric lines within the Property. Owner shall be responsible for obtaining all necessary permits and easements for any utility facilities to be installed, relocated, or altered.
- It shall not be permissible for any person to modify the grade of the earth within any Springs Utilities easement or right-of-way without the written approval of Springs Utilities. Improvements, alterations and trees shall not be installed or removed within any Springs Utilities easement or right-of-way without the written approval of Springs Utilities. Any person who installs or removes any utility facilities within the Springs Utilities easement or right-of-way without the written approval of Springs Utilities shall be liable for the cost of removal and replacement of the facilities, and for any damages caused by the removal and replacement of the facilities.
- Spring Utilities approval of this Preliminary Utility Plan shall not be construed as a limitation upon the authority of Springs Utilities to supply the City Code, and the Springs Utilities shall have the authority to amend any part of this Preliminary Utility Plan that is in conflict with the City Code. The City Code shall prevail in the event of a conflict between this Preliminary Utility Plan and the City Code. The City Code shall be construed as a limitation upon the authority of the City of Colorado Springs or Springs Utilities to alter the standards, rules, regulations, conditions, policies or codes which apply to the City of Colorado Springs. The City Code shall apply to the City generally and shall not be construed to alter the then-current tariffs, rates and policies of Springs Utilities.

JPS ENGINEERING
19 E. Wilmette Ave
Colorado Springs, CO
80903
PH: 719-477-9429
FAX: 719-477-0766
www.jpsengr.com

CALL UTILITY NOTIFICATION CENTER OF COLORADO
1-800-922-1987
FOR THE MARKING OF UNDERGROUND UTILITIES.
CALL 24 BUSINESS HOURS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE.

No.	REVISION	DATE	BY
JPS	DP SUBMITTAL	2/16/18	JPS
JPS	CITY COMMENTS/BLDG REVISION	6/06/18	JPS

PRELIMINARY UTILITY & PUBLIC FACILITIES PLAN

HORIZ. SCALE:	1"=20'	DRAWN:	BU
VERT. SCALE:	1/4"=20'	CHECKED:	JPS
SURVEYED:	RMLS	LAST MODIFIED:	JPS
CREATED:	2/13/18	MODIFIED BY:	BU
PROJECT NO.:	011802		

U1
6 OF 7

CPC CU 18-00029

FIGURE 2

REVISIONS	DATE	FOR

NOT FOR
CONSTRUCTION

TremelDesignGroup, LLC
201 East Las Animas, Suite 113
Colorado Springs, CO 80903
719.623.5641 (Phone)
719.623.5643 (Fax)

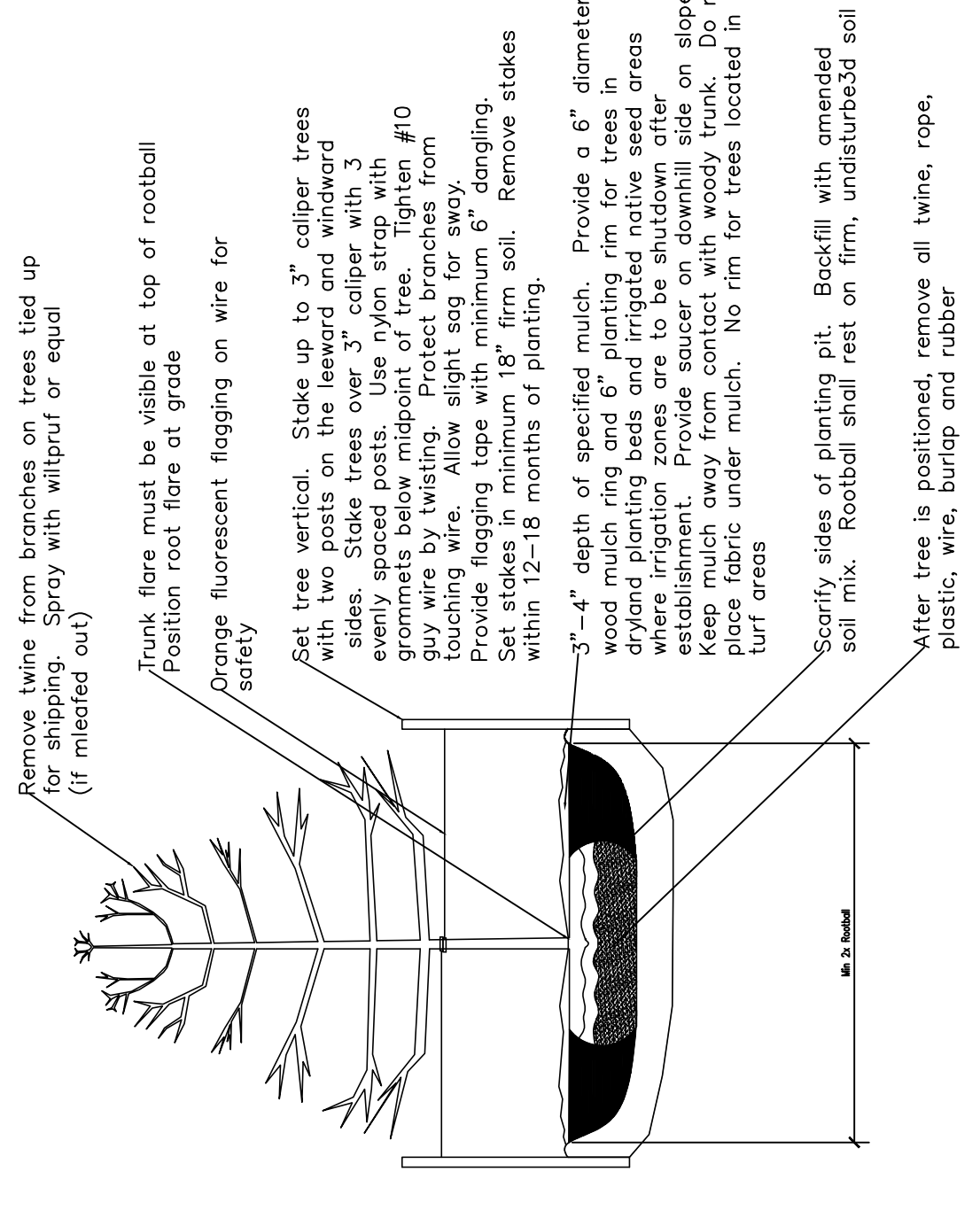
11-UNIT APARTMENT BUILDING
430 W. PIKES PEAK
FINAL LANDSCAPE PLAN

Revisions:
3-28-18
5-24-18

DATE: 02.07.2018
DRAWN BY: J REES
CHECKED BY: J REES
PROJECT NO.: 17144
SHEET:
L1-1
7 OF 7

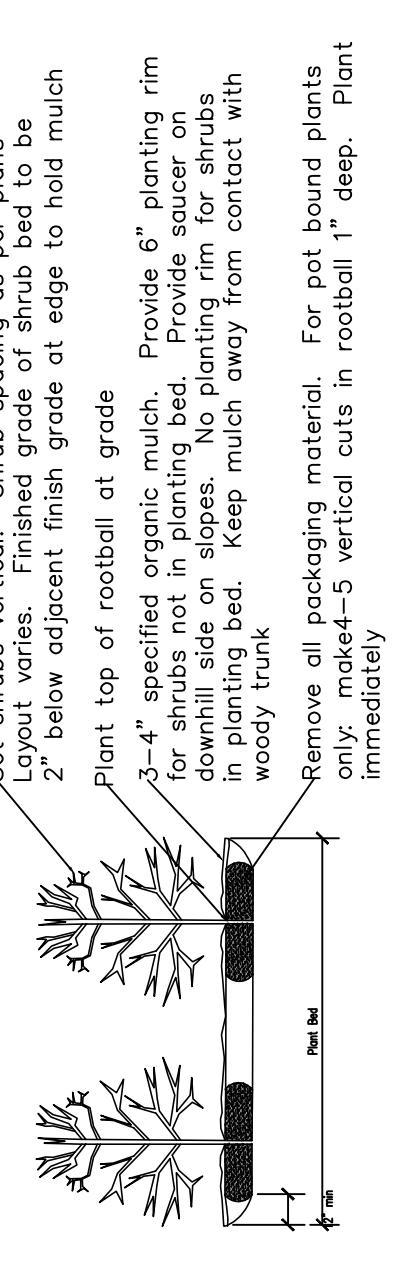
CPC CU18-00029

- Notes:
1. Mark the north side of the tree in the nursery, and rotate to face north at the site
 2. At the time of planting, do not remove or cut leader and prune only dead or broken branches, cross over branches, and weak or narrow crotches. Some interior twigs and lateral branches may be pruned.
 3. However, do not remove the terminal buds of branches that extend to the edge of the crown.
 4. Structural pruning should not begin until after establishment period, usually two growing seasons
 5. Keep plants moist and shaded until planting
 6. Do not fertilize for at least one growing season
 7. Amended backfill shall be 3/4 compost (Class 1 Biocomp by A-1 Organics or equal) and 3/4 native and/or imported topsoil
 8. Wrap trunk on exposed sites and species with thin bark. Use electrical or duck tape. Not twine
 9. Coordinate with City Forestry for current insect and disease recommendations prior to planting
 10. Deep water all plants at time of planting



NOT TO SCALE

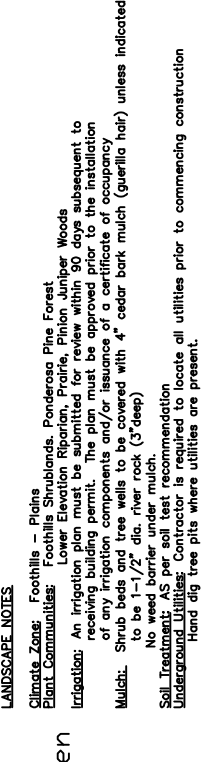
- NOTES
1. Prune only dead or broken branches and weak or narrow crotches
 2. Keep plants moist and shaded until planting
 3. Do not fertilize for at least one growing season
 4. All shrubs in rock areas to receive shredded mulch rings
 5. All shrubs in rock areas to receive shredded mulch rings
 6. Deep water all plants at time of planting



- NOTES
1. Prune only dead or broken branches and weak or narrow crotches
 2. Keep plants moist and shaded until planting
 3. Do not fertilize for at least one growing season
 4. All shrubs in rock areas to receive shredded mulch rings
 5. All shrubs in rock areas to receive shredded mulch rings
 6. Deep water all plants at time of planting

Project Data
Site: 430 W. Pikes Peak
Owner: CPC
Architect: J. Rees
Landscape Architect: J. Rees
Planting Schedule: 12/15/18
Planting Date: 12/15/18
Planting Time: 8:00 AM - 4:00 PM
Weather: Clear, 40-60°F
Soil: 3/4 Compost, 3/4 Native Topsoil
Water: 1" Deep Water at Time of Planting
Fertilizer: None
Pest Control: None
Site Preparation: 4" Deep Mulch in Rock Areas
Planting Method: Standard Method

Plant Code	Quantity	Plant Name	Common Name	Size	Notes
12-Ac	1	Aspen	Populus tremula	12" x 6"	Standard Method
12-Bt(D)	1	Baldcypress	Taxodium distichum	12" x 6"	Standard Method
12-Cc(D)	1	Cedar	Juniperus horizontalis	12" x 6"	Standard Method
12-Jk(D)	1	Juniper	Juniperus horizontalis	12" x 6"	Standard Method
12-Tc(Av)	1	Taxus	Taxus canadensis	12" x 6"	Standard Method
6-Pf(D)	1	Prunella	Prunella vulgaris	6" x 6"	Standard Method
3-Pf(D)	1	Prunella	Prunella vulgaris	3" x 3"	Standard Method
12-Jk(D)	1	Juniper	Juniperus horizontalis	12" x 6"	Standard Method
5-Cc(D)	1	Cedar	Juniperus horizontalis	5" x 5"	Standard Method



PLANT CODES:
12-Ac Aspen
12-Bt(D) Baldcypress
12-Cc(D) Cedar
12-Jk(D) Juniper
12-Tc(Av) Taxus
6-Pf(D) Prunella
3-Pf(D) Prunella
12-Jk(D) Juniper
5-Cc(D) Cedar

PROPOSED SITE PLAN
1" = 10'-0"