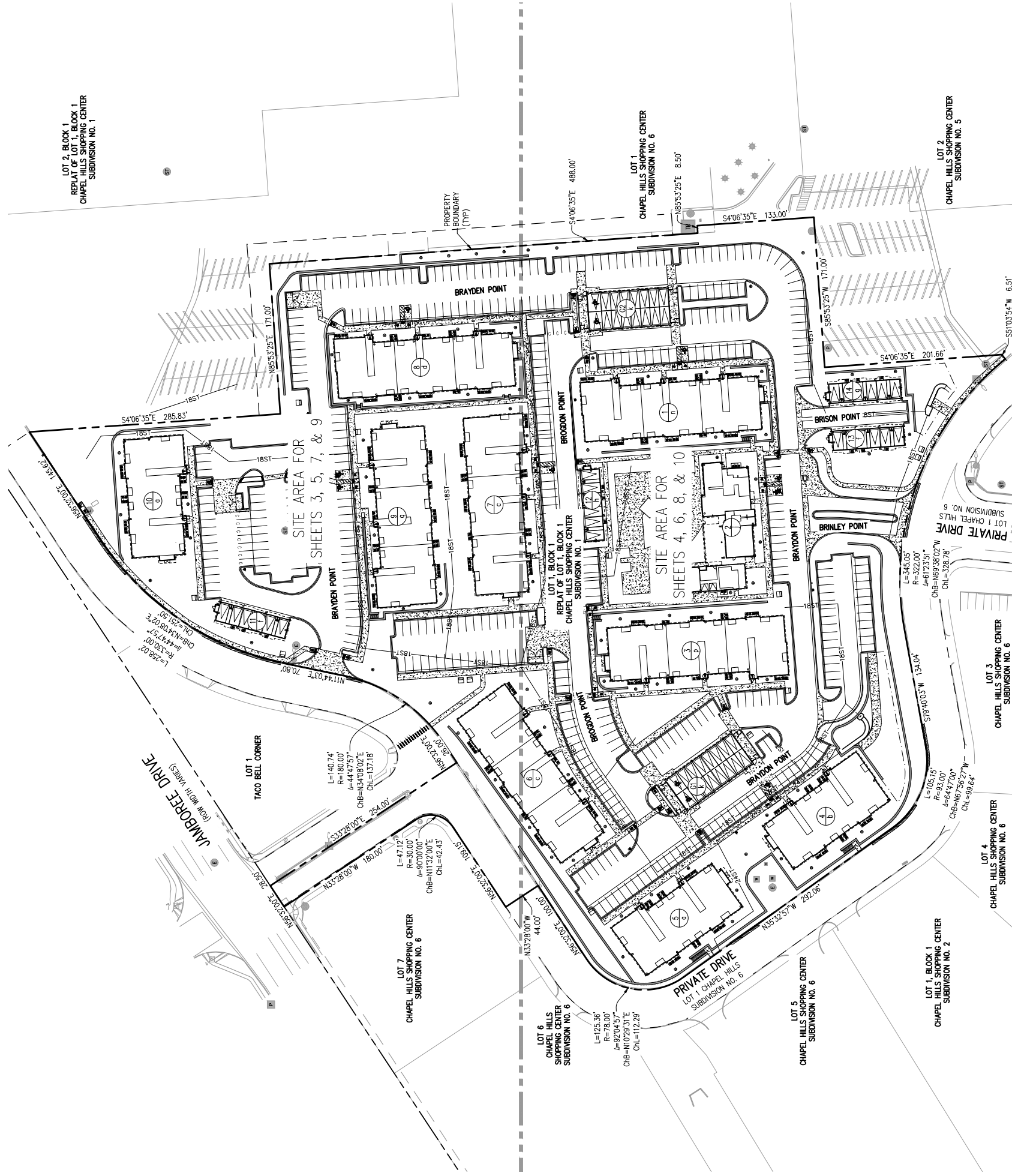


OUTLOOK BRIARGATE

SITUATED IN THE EAST 1/2 OF SECTION 5, TOWNSHIP 13 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
COLORADO SPRINGS, EL PASO COUNTY, STATE OF COLORADO
1650 BRIARGATE BOULEVARD

CONDITIONAL USE DEVELOPMENT PERMIT



09-04-2020
12-18-2020

REVISION DATE: 01-15-2021 ISSUE DATE: 06-26-2020

OVERALL SITE PLAN
SHEET 2 OF 27

OUTLOOK BRIARGATE - CITY FILING NO: CPC CU 20-00104

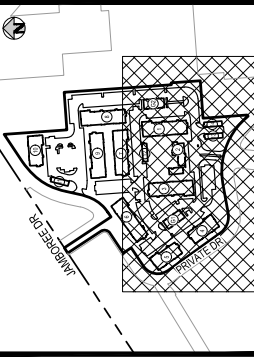
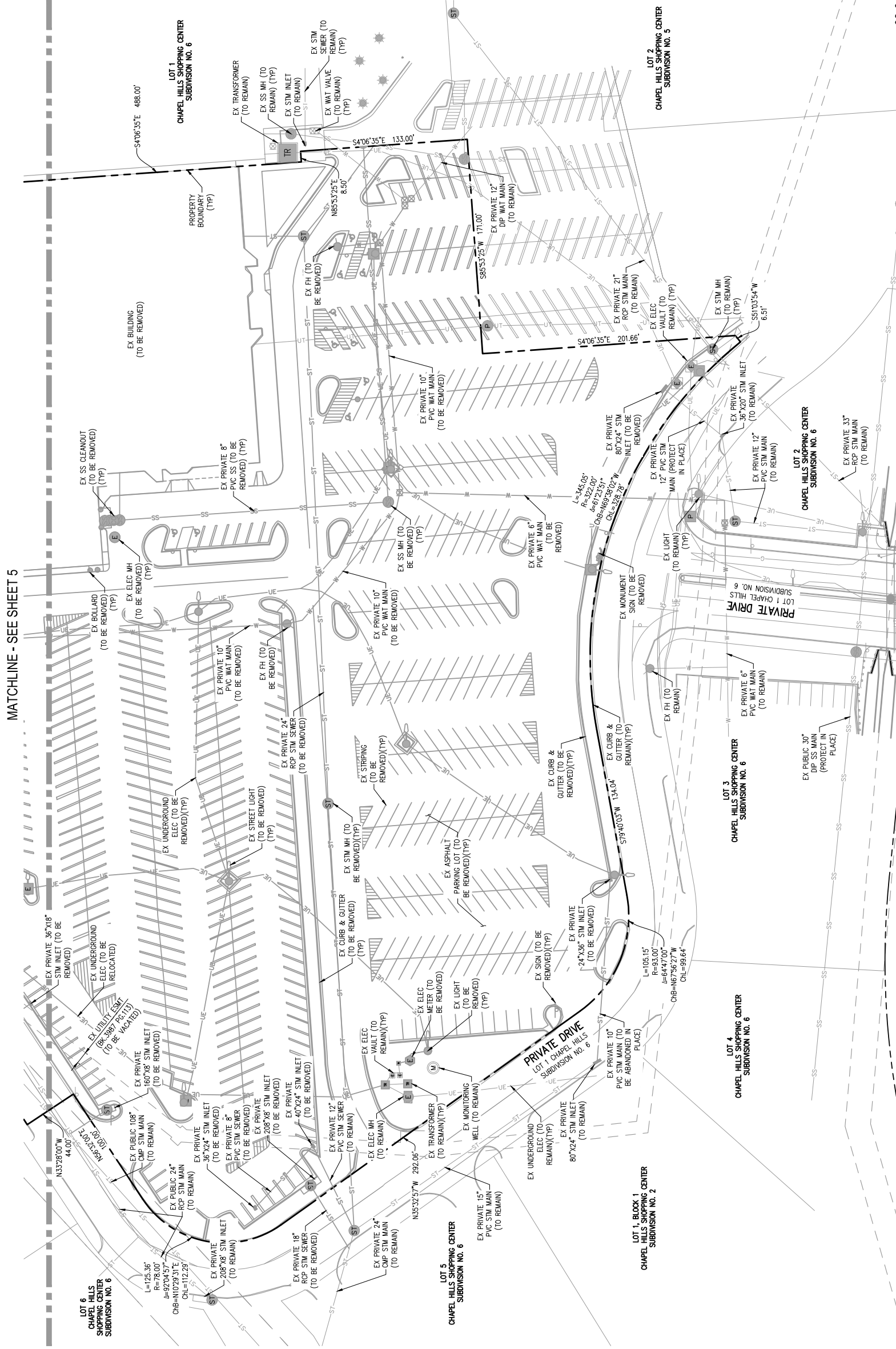
NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOEHLER SMITH. PROJECT: K:\2020\ENGINEERING\DRP - SITE PLANNING Layout Overall.dwg, PLOT: K:\2020\ENGINEERING\DRP - SITE PLANNING Layout Overall.dwg, PLOT DATE: 11/13/21 9:53:27A, BY: HMM\mchase, PLOT SCALE: 1/8\"/>

CONDITIONAL USE DEVELOPMENT PLAN

OUTLOOK BRIARGATE

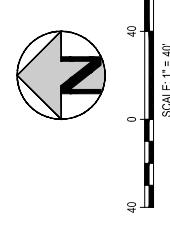
SITUATED IN THE EAST 1/2 OF SECTION 5, TOWNSHIP 13 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
COLORADO SPRINGS, EL PASO COUNTY, STATE OF COLORADO
1650 BRIARGATE BOULEVARD

CONDITIONAL USE DEVELOPMENT PERMIT



KEY MAP
SCALE: 1"=400'

- LEGEND:**
- PROPERTY BOUNDARY
 - RIGHT-OF-WAY
 - EXISTING UNDERGROUND TELECOMMUNICATIONS
 - EXISTING UNDERGROUND ELECTRIC
 - EXISTING GAS
 - EXISTING SANITARY SEWER
 - EXISTING STORM SEWER
 - EXISTING WATER
 - EXISTING ELECTRIC METER
 - EXISTING GAS METER
 - EXISTING ELECTRIC MANHOLE
 - EXISTING ELECTRIC VAULT
 - EXISTING TRANSFORMER
 - EXISTING SANITARY CLEANOUT
 - EXISTING FIRE HYDRANT
 - EXISTING STREET LIGHTS
 - EXISTING STORM MANHOLE
 - EXISTING SANITARY MANHOLE
 - EXISTING SIGN
 - EXISTING BOLLARD



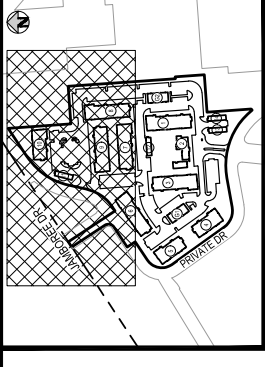
09-04-2020
12-18-2020
REVISION DATE: 01-15-2021
ISSUE DATE: 06-26-2020
SHEET 4 OF 27
OUTLOOK BRIARGATE - CITY FILING NO: CPC CU 20-00104

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOEHLER SMITH. PROJECT # 200107

OUTLOOK BRIARGATE

SITUATED IN THE EAST 1/2 OF SECTION 5, TOWNSHIP 13 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
 COLORADO SPRINGS, EL PASO COUNTY, STATE OF COLORADO
 1650 BRIARGATE BOULEVARD

CONDITIONAL USE DEVELOPMENT PERMIT



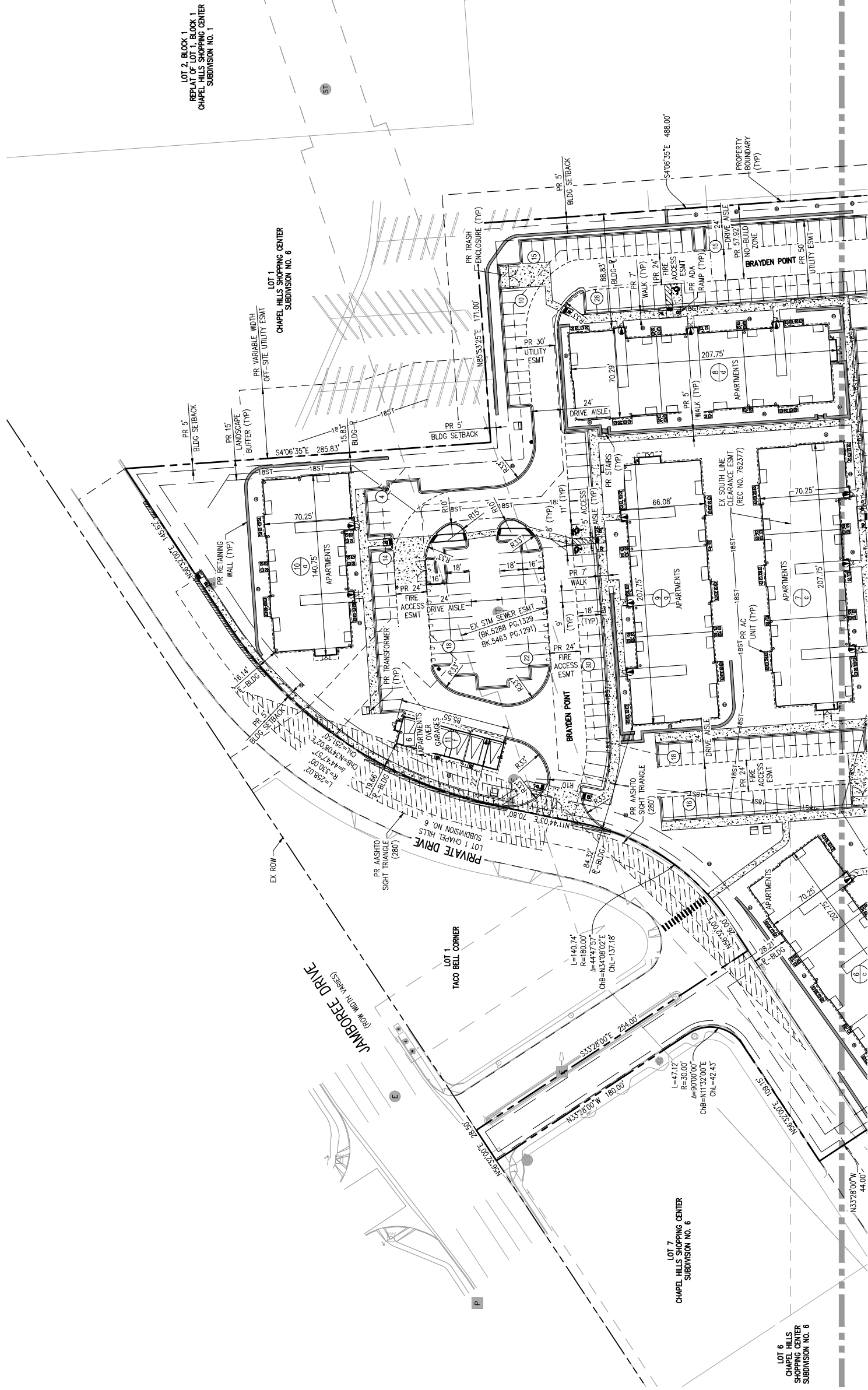
KEY MAP
 SCALE: 1"=400'

- LEGEND:**
- PROPERTY BOUNDARY
 - RIGHT-OF-WAY
 - BUILDING SETBACK
 - LANDSCAPE BUFFER
 - FIRE ACCESS EASEMENT
 - UTILITY EASEMENT
 - NO-BUILD ZONE
 - EXISTING FIRE HYDRANT
 - EXISTING STREET LIGHTS
 - EXISTING STORM MANHOLE
 - EXISTING SANITARY MANHOLE
 - EXISTING SIGN
 - PROPOSED BUILDING ENTRANCE
 - BUILDING NUMBER / TYPE
 - SURFACE PARKING COUNT
 - GARAGE/CARRIAGE UNIT PARKING COUNT
 - SURFACE COMPACT PARKING SPACE
 - SURFACE HANDICAPPED PARKING SPACE
 - ACCESSIBLE ROUTE
 - CONCRETE

HANDICAPPED PARKING SPACES	STANDARD SURFACE VAN SPACES	SURFACE GARAGE SPACES	TOTAL SPACES
6	2	4	12



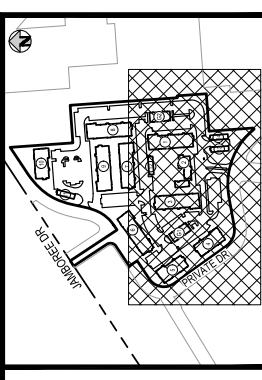
SCALE: 1"=40'



MATCHLINE - SEE SHEET 6

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOEHLER SMITH

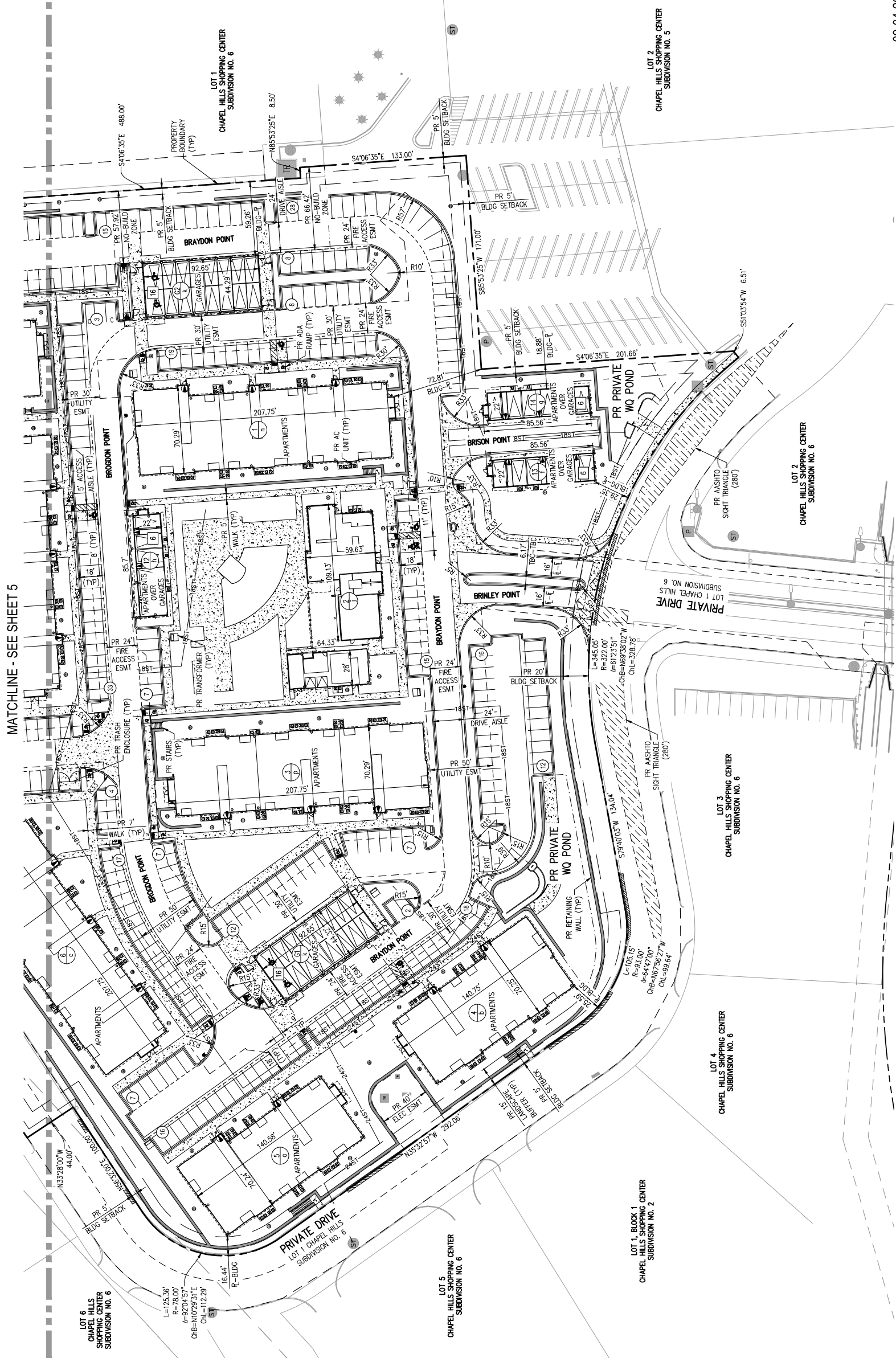
CONDITIONAL USE DEVELOPMENT PLAN



OUTLOOK BRIARGATE

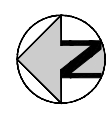
SITUATED IN THE EAST 1/2 OF SECTION 5, TOWNSHIP 13 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
COLORADO SPRINGS, EL PASO COUNTY, STATE OF COLORADO
1650 BRIARGATE BOULEVARD

CONDITIONAL USE DEVELOPMENT PERMIT



- LEGEND:**
- PROPERTY BOUNDARY
 - RIGHT-OF-WAY
 - BUILDING SETBACK
 - LANDSCAPE BUFFER
 - FIRE ACCESS EASEMENT
 - UTILITY EASEMENT
 - NO-BUILD ZONE
 - EXISTING FIRE HYDRANT
 - EXISTING STREET LIGHTS
 - EXISTING STORM MANHOLE
 - EXISTING SANITARY MANHOLE
 - EXISTING SIGN
 - PROPOSED BUILDING ENTRANCE
 - BUILDING NUMBER / TYPE
 - SURFACE PARKING COUNT
 - GARAGE/CARRIAGE UNIT PARKING COUNT
 - SURFACE COMPACT PARKING SPACE
 - SURFACE HANDICAPPED PARKING SPACE
 - ACCESSIBLE ROUTE
 - CONCRETE

HANDICAPPED PARKING		STANDARD SURFACE VAN SURFACE GARAGE SPACES		TOTAL	
SPACES	6	SPACES	2	SPACES	4
				TOTAL	12



SCALE: 1" = 40'

09-04-2020
12-18-2020
REVISION DATE: 01-15-2021 ISSUE DATE: 06-26-2020

PROJECT # 200107
SITE PLAN - SOUTH
SHEET 6 OF 27
OUTLOOK BRIARGATE - CITY FILING NO: CPC CU 20-00104

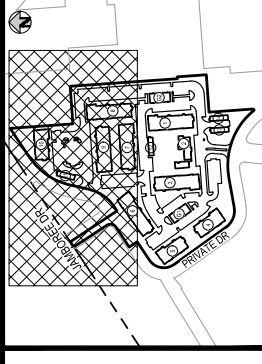
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 Plot Date: 06/26/2020 10:56:14 AM By: Chris McConahan

CONDITIONAL USE DEVELOPMENT PLAN

OUTLOOK BRIARGATE

SITUATED IN THE EAST 1/2 OF SECTION 5, TOWNSHIP 13 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
 COLORADO SPRINGS, EL PASO COUNTY, STATE OF COLORADO
 1650 BRIARGATE BOULEVARD

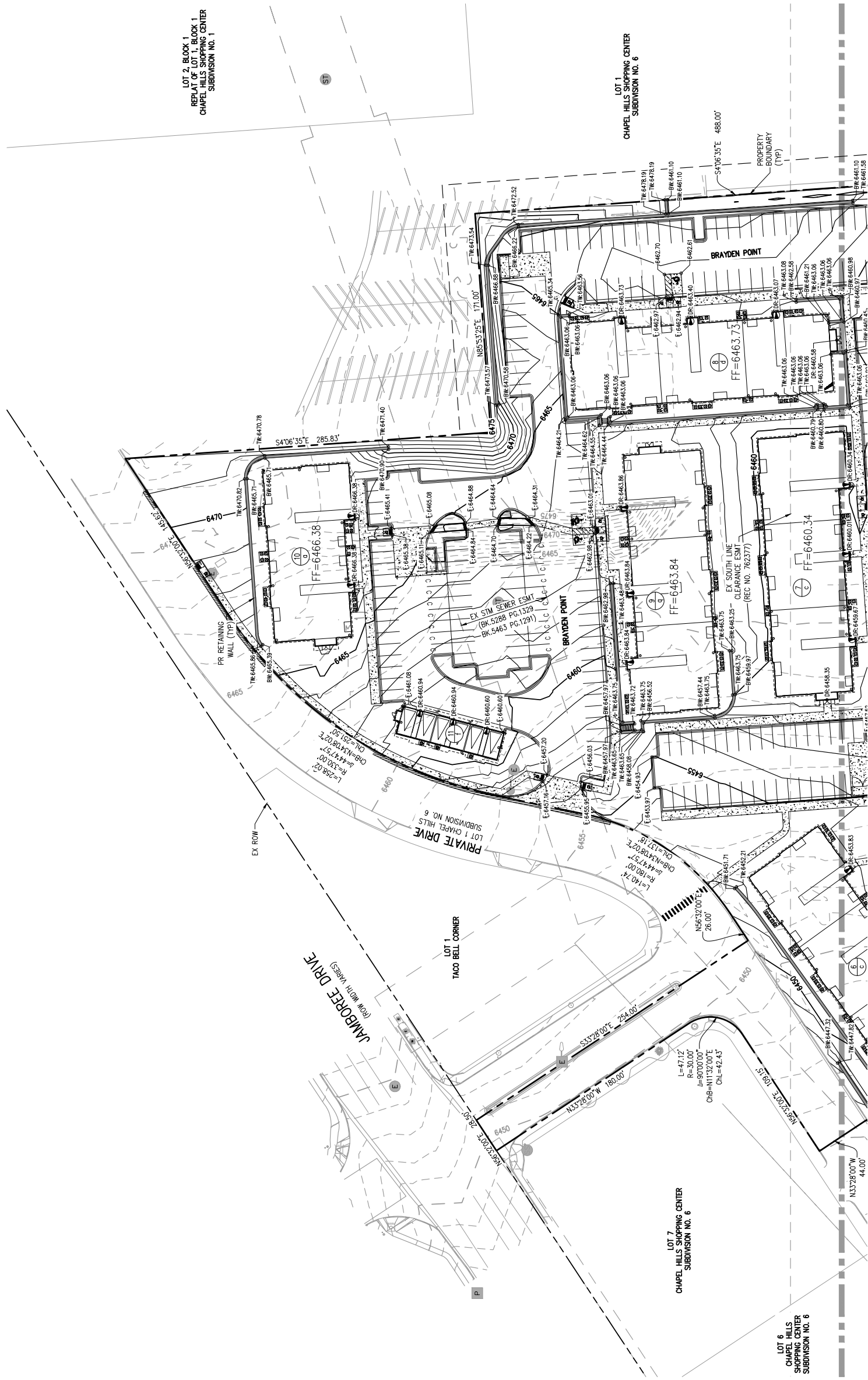
CONDITIONAL USE DEVELOPMENT PERMIT



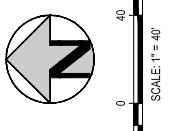
- LEGEND:**
- PROPERTY BOUNDARY
 - EXISTING CONTOURS
 - PROPOSED CONTOURS
 - SPOT ELEVATION
 - SAWCUT
 - BUILDING NUMBER

NOTE:

ALL SPOT ELEVATIONS ARE TO CONVEY THE INTENT OF THE DESIGN AND SHALL NOT BE USED FOR CONSTRUCTION. SEE THE APPROVED **OUTLOOK BRIARGATE STORM SEWER PLAN SET** FOR DETAILED GRADING PLANS.



MATCHLINE - SEE SHEET 6



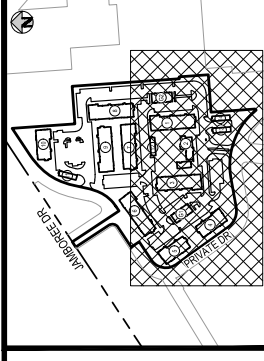
CONDITIONAL USE DEVELOPMENT PLAN

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOEHLER SMITH. PROJECT # 200107

OUTLOOK BRIARGATE

SITUATED IN THE EAST 1/2 OF SECTION 5, TOWNSHIP 13 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
COLORADO SPRINGS, EL PASO COUNTY, STATE OF COLORADO
1650 BRIARGATE BOULEVARD

CONDITIONAL USE DEVELOPMENT PERMIT

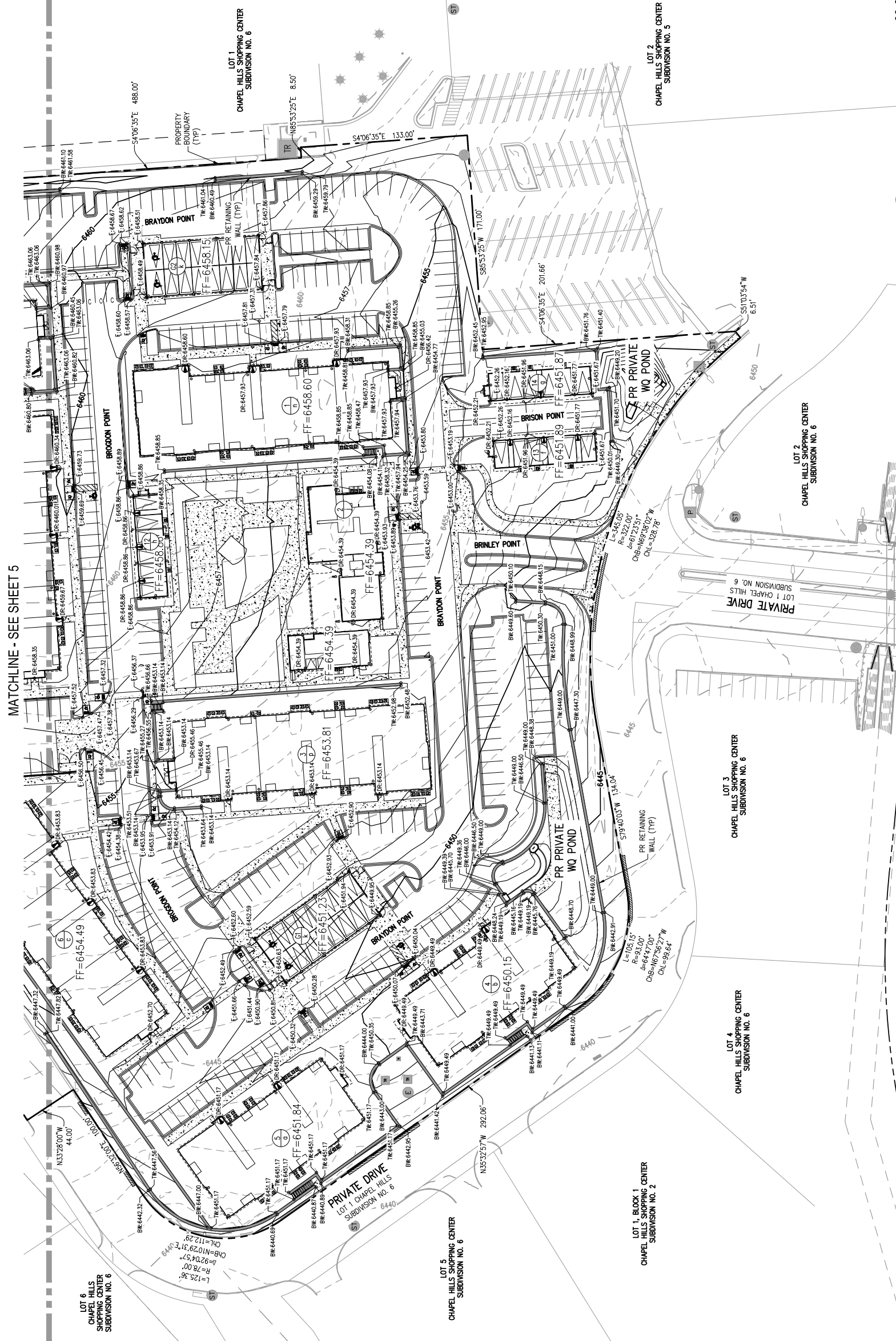


SCALE: 1"=400'

- LEGEND:**
- PROPERTY BOUNDARY
 - EXISTING CONTOURS
 - PROPOSED CONTOURS
 - SPOT ELEVATION
 - SAWCUT
 - BUILDING NUMBER

NOTE:

ALL SPOT ELEVATIONS ARE TO CONVEY THE INTENT OF THE DESIGN AND SHALL NOT BE USED FOR CONSTRUCTION. SEE THE APPROVED OUTLOOK BRIARGATE STORM SEWER PLAN SET FOR DETAILED GRADING PLANS.



SCALE: 1"=40'

09-04-2020

12-18-2020

REVISION DATE: 01-15-2021

ISSUE DATE: 06-26-2020

SHEET 8 OF 27

PROJECT # 200107

PRELIMINARY GRADING PLAN - SOUTH

OUTLOOK BRIARGATE - CITY FILING NO: CPC CU 20-00104

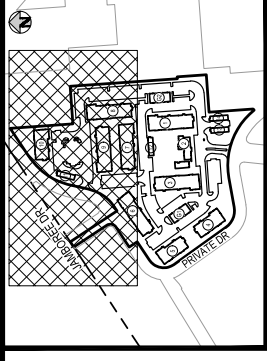
CONDITIONAL USE DEVELOPMENT PLAN

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOEHLER SMITH. P:\Projects\2020\07\ENR\ENR\GPRP - GRADING PLANNING\Layout\LAYOUT2.dwg (11/13/21 9:56:29) By: Matt Mochman

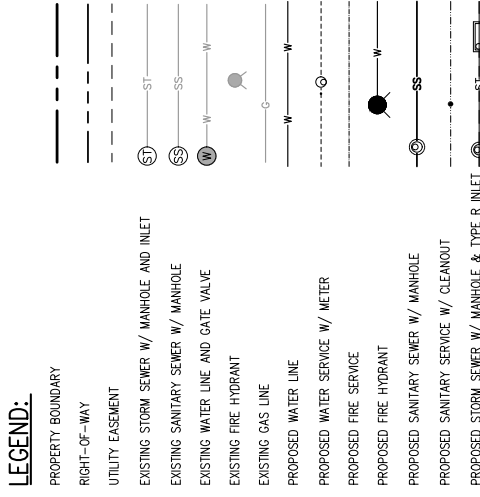
OUTLOOK BRIARGATE

SITUATED IN THE EAST 1/2 OF SECTION 5, TOWNSHIP 13 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
COLORADO SPRINGS, EL PASO COUNTY, STATE OF COLORADO
1650 BRIARGATE BOULEVARD

CONDITIONAL USE DEVELOPMENT PERMIT



KEY MAP
SCALE: 1"=400'



- NOTES:**
- ALL UTILITIES TO BE CONSTRUCTED ACCORDING TO COLORADO SPRINGS STANDARDS AND SPECIFICATIONS.
 - ALL UTILITY (WATER, SANITARY, AND STORM SEWER) INFRASTRUCTURE SIZES SHOWN ON THIS PLAN ARE CONSIDERED PRELIMINARY. FINAL SIZING OF PIPES, MANHOLES, INLETS, ETC. SHALL BE DONE BY THE ENGINEER.
 - ALL WATER MAINS TO BE PVC C-900.
 - ALL SANITARY SEWER MAINS TO BE PVC SDR-35 UNLESS INDICATED OTHERWISE.
 - ALL ON-SITE STORM SEWER MAINS TO BE RCP UNLESS INDICATED OTHERWISE.
 - ALL PROPOSED STORM SEWER IS CONSIDERED PRIVATE UNLESS OTHERWISE SPECIFIED.
 - ALL PROPOSED WATER AND SANITARY SEWER IS CONSIDERED PUBLIC UNLESS OTHERWISE SPECIFIED.

LOT 2, BLOCK 1
REPLAT OF LOT 1, BLOCK 1
CHAPEL HILLS SHOPPING CENTER
SUBDIVISION NO. 1

PROPERTY OWNER(S) ACKNOWLEDGE AND AGREE TO THE FOLLOWING UPON APPROVAL OF PRELIMINARY UTILITY PLAN:

- COLORADO SPRINGS UTILITIES (SPRINGS UTILITIES) SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION OF UTILITIES (WATER, SANITARY, AND STORM SEWER) AND FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THIS PRELIMINARY UTILITY PLAN.
- PROPERTY OWNER(S) (OWNER) ACKNOWLEDGES THE CONNECTION AND/OR EXTENSION OF UTILITY SERVICES TO THE PROPERTY IDENTIFIED IN THIS PRELIMINARY UTILITY PLAN ("PROPERTY") SHALL BE IN ACCORD WITH ALL APPLICABLE CODES AND REGULATIONS, SPRINGS UTILITIES LINE EXTENSION & SERVICE STANDARDS ("STANDARDS"), TARIFFS, COLORADO SPRINGS CITY CODE, RESOLUTIONS AND POLICES, AND Pikes Peak REGIONAL BUILDING DEPARTMENT CODES. IN EFFECT AT THE TIME OF UTILITY SERVICE CONNECTION AND/OR EXTENSION.
- OWNER ACKNOWLEDGES RESPONSIBILITY FOR THE COSTS OF EXTENSIONS OR UTILITY SYSTEM IMPROVEMENTS THAT SPRINGS UTILITIES DETERMINES NECESSARY TO PROVIDE UTILITY SERVICES TO THE PROPERTY OR TO ENSURE TIMELY DETERMINATION OF INTEGRATED UTILITY SYSTEMS SERVING THE PROPERTY AND AREAS OUTSIDE THE PROPERTY (INCLUDING THE COSTS OF DESIGN AND INSTALLATION OF UTILITY SYSTEMS AND/OR ELECTRICAL SYSTEMS AND/OR ELECTRICAL SYSTEMS TO AND WITHIN THE PROPERTY). OWNER MAY BE ELIGIBLE FOR A COST RECOVERY AGREEMENT AS PROVIDED IN UTILITIES' RULES AND REGULATIONS.
- SPRINGS UTILITIES UTILITY SERVICES ARE AVAILABLE ON A "FIRST-COME, FIRST-SERVE" BASIS, AND THEREFORE NO SPECIFIC ALLOCATIONS OR AMOUNTS OF UTILITY SERVICES, FACILITIES, CAPACITIES, OR SUPPLIES ARE RESERVED FOR THE OWNER, AND SPRINGS UTILITIES MAKES NO COMMITMENT AS TO THE AVAILABILITY OF ANY UTILITY SERVICE UNTIL SUCH TIME AS AN APPLICATION FOR PERMANENT SERVICE IS APPROVED BY SPRINGS UTILITIES.
- OWNER SHALL DEDICATE BY PLAT AND/OR CONVEY BY RECORDED DOCUMENT ALL PROPERTY AND EASEMENTS THAT SPRINGS UTILITIES DETERMINES ARE REQUIRED FOR ALL UTILITY SYSTEM FACILITIES NECESSARY TO SERVE THE PROPERTY OR TO ENSURE DEVELOPMENT OF AN INTEGRATED UTILITY SYSTEM. CURRENT PERMANENT EASEMENT AGREEMENTS FOR UTILITY SHALL UTILIZE SPRINGS UTILITIES' STANDARD PERMANENT EASEMENT AGREEMENT FORMS FOR WATER QUALITY, UTILITY RELIABILITY, AND PRESSURE, INCLUDING LOOPING REQUIREMENTS (SEE SPRINGS UTILITIES LINE EXTENSION AND SERVICE STANDARDS).
- OWNER RECOGNIZES THAT THE EXTENSION OF WATER SYSTEM FACILITIES MAY AFFECT THE QUALITY OF WATER IN THE SPRINGS UTILITIES WATER SYSTEM. WHEN WATER QUALITY IS AFFECTED, OWNER ACKNOWLEDGES RESPONSIBILITY FOR ANY COSTS THAT SPRINGS UTILITIES DETERMINES NECESSARY IN ORDER TO MAINTAIN WATER IN ITS SYSTEM AS A RESULT OF OWNER'S WATER SYSTEM EXTENSIONS. OWNER MAY BE REQUIRED TO SUBMIT A WATER QUALITY PLAN FOR THE PROJECT. CONTACT SPRINGS UTILITIES FIELD ENGINEERS TO DETERMINE THE LOCATION OF ALL NATURAL GAS AND ELECTRIC METERS AND TRANSFORMERS, AND TO SECURE APPROVAL OF GAS-SERVICE-LINE PRESSURES IN EXCESS OF SPRINGS UTILITIES STANDARD GAS SYSTEM PRESSURE. (CONTACT FIELD ENGINEERING NORTH 668-4985 OR SOUTH 668-5564)
- IT SHALL NOT BE PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH WITHIN ANY SPRINGS UTILITIES EASEMENT OR RIGHTS OF WAY WITHOUT THE WRITTEN APPROVAL OF SPRINGS UTILITIES. IMPROVEMENTS, STRUCTURES, AND TREES SHALL NOT BE LOCATED WITHIN UTILITY EASEMENT, SHALL NOT VIOLATE NATIONAL ELECTRIC SAFETY CODE (NEC) PROVISIONS AND CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY ACCESS. SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSIDERED AS A LIMITATION UPON THE AUTHORITY OF SPRINGS UTILITIES TO APPLY ITS STANDARDS; AND IF THERE ARE ANY CONFLICTS BETWEEN ANY OF THE APPROVED DRAWINGS AND ANY PROVISION OF STANDARDS OR THE CITY CODE, THEN THE STANDARDS OR CITY CODE SHALL APPLY. SPRINGS UTILITIES' APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSIDERED AS A LIMITATION UPON THE AUTHORITY OF THE CITY OF COLORADO SPRINGS OR SPRINGS UTILITIES TO ADOPT DIFFERENT ORDINANCES, RULES, REGULATIONS, POLICES, OR CODES WHICH CHANGE ANY OF THE PROVISIONS OF THE STANDARDS SO LONG AS THESE APPLY TO THE EXTENSION OF UTILITY SERVICES AND ARE IN ACCORD WITH THE THEN-CURRENT TARIFFS, RATES, AND POLICES OF SPRINGS UTILITIES. ALL PRIVATE TO PUBLIC CONNECTIONS FOR THE STORM SEWER MUST BE INSPECTED BY THE ENGINEERING DEVELOPMENT REVIEW INSPECTOR.



MATCHLINE - SEE SHEET 6

09-04-2020
12-18-2020
REVISION DATE: 01-15-2021

PRELIMINARY UTILITY AND
PUBLIC FACILITIES PLAN - NORTH
ISSUE DATE: 06-26-2020
SHEET 9 OF 27

OUTLOOK BRIARGATE - CITY FILING NO: CPC CU 20-00104

CONDITIONAL USE DEVELOPMENT PLAN

Project: K:\2020\ENGINEERING\DRP-UTILITY\PLAN\Layout\LAYOUT1.dwg
Date: 11/13/21 10:56:37A
By: Dina M. Rodriguez
Scale: 1"=400'

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOEHLER SMITH.

OUTLOOK BRIARGATE

SITUATED IN THE EAST 1/2 OF SECTION 5, TOWNSHIP 13 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
 COLORADO SPRINGS, EL PASO COUNTY, STATE OF COLORADO
 1650 BRIARGATE BOULEVARD

CONDITIONAL USE DEVELOPMENT PERMIT

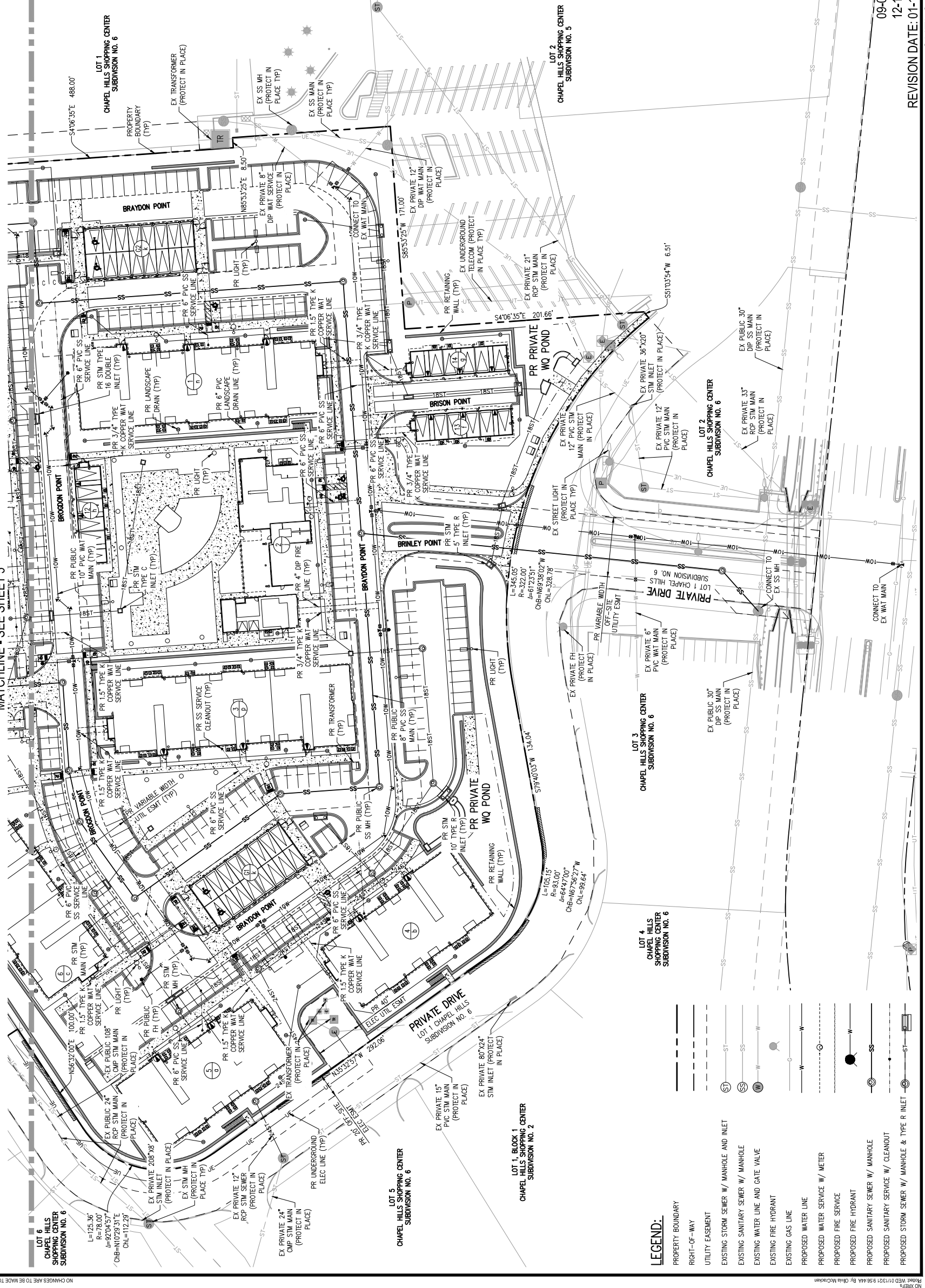
MATCHLINE - SEE SHEET 5

KEY MAP
 SCALE: 1"=400'

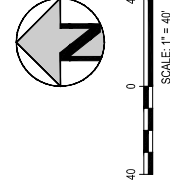
- NOTES:**
- ALL UTILITIES TO BE CONSTRUCTED ACCORDING TO COLORADO SPRINGS STANDARDS AND SPECIFICATIONS.
 - ALL UTILITY (WATER, SANITARY, AND STORM SEWER) INFRASTRUCTURE SIZES SHOWN ON THIS PLAN ARE CONSIDERED PRELIMINARY. FINAL SIZING OF PIPES, MANHOLES, INLETS, ETC. SHALL BE DONE BY THE ENGINEER.
 - ALL WATER MAINS TO BE PVC C-900.
 - ALL SANITARY SEWER MAINS TO BE PVC SDR-35 UNLESS INDICATED OTHERWISE.
 - ALL ON-SITE STORM SEWER MAINS TO BE RCP UNLESS INDICATED OTHERWISE.
 - ALL PROPOSED STORM SEWER IS CONSIDERED PRIVATE UNLESS OTHERWISE SPECIFIED.
 - ALL PROPOSED WATER AND SANITARY SEWER IS CONSIDERED PUBLIC UNLESS OTHERWISE SPECIFIED.

PROPERTY OWNER(S) ACKNOWLEDGE AND AGREE TO THE FOLLOWING UPON APPROVAL OF PRELIMINARY UTILITY PLAN:

- COLORADO SPRINGS UTILITIES (SPRINGS UTILITIES) SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION AND DEPTH OF UTILITIES INCLUDING GAS FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THIS PRELIMINARY UTILITY PLAN.
- PROPERTY OWNER(S) ("OWNER") ACKNOWLEDGES THE CONNECTION AND/OR EXTENSION OF UTILITY SERVICES TO THE PROPERTY IDENTIFIED IN THIS PRELIMINARY UTILITY PLAN ("PROPERTY") SHALL BE IN ACCORD WITH ALL APPLICABLE CODES AND REGULATIONS, SPRINGS UTILITIES LINE EXTENSION & SERVICE STANDARDS ("STANDARDS"), TARIFFS, COLORADO SPRINGS CITY CODE, REGULATIONS AND POLICES, AND Pikes Peak REGIONAL BUILDING DEPARTMENT CODES. IN EFFECT AT THE TIME OF UTILITY SERVICE CONNECTION AND/OR EXTENSION.
- OWNER ACKNOWLEDGES RESPONSIBILITY FOR THE COSTS OF EXTENSIONS OR UTILITY SYSTEM IMPROVEMENTS THAT SPRINGS UTILITIES DETERMINES NECESSARY TO PROVIDE UTILITY SERVICES TO THE PROPERTY OR TO ENSURE "TIMELY" DETERMINATION OF INTEGRATED UTILITY SYSTEMS SERVING THE PROPERTY AND AREAS OUTSIDE THE PROPERTY (INCLUDING THE COSTS OF DESIGN AND INSTALLATION OF UTILITY SYSTEMS). THE PROPERTY OWNER MAY BE ELIGIBLE FOR A COST RECOVERY AGREEMENT AS PROVIDED IN UTILITIES' RULES AND REGULATIONS.
- SPRINGS UTILITIES' SERVICES ARE AVAILABLE ON A "FIRST-COME, FIRST-SERVE" BASIS, AND THEREFORE NO SPECIFIC ALLOCATIONS OR AMOUNTS OF UTILITY SERVICES, FACILITIES, CAPACITIES, OR SUPPLIES ARE RESERVED FOR THE OWNER, AND SPRINGS UTILITIES MAKES NO COMMITMENT AS TO THE AVAILABILITY OF ANY UTILITY SERVICE UNTIL SUCH TIME AS AN APPLICATION FOR PERMANENT SERVICE IS APPROVED BY SPRINGS UTILITIES.
- OWNER SHALL DEDICATE BY PLAT AND/OR CONVEY BY RECORDED DOCUMENT ALL PROPERTY AND EASEMENTS THAT SPRINGS UTILITIES DETERMINES ARE REQUIRED FOR ALL UTILITY SYSTEM FACILITIES NECESSARY TO SERVE THE PROPERTY OR TO ENSURE DEVELOPMENT OF AN INTEGRATED UTILITY SYSTEM. CURRENT PERMANENT EASEMENT AGREEMENTS THAT MAY BE IN PLACE SHALL UTILIZE SPRINGS UTILITIES' STANDARD PERMANENT EASEMENT AGREEMENT FORMS THAT SHALL UTILIZE SPRINGS UTILITIES' RULES AND REGULATIONS.
- THE WATER SYSTEM FACILITIES MUST MEET SPRINGS UTILITIES CRITERIA FOR WATER QUALITY, RELIABILITY, AND PRESSURE, INCLUDING LOOPING REQUIREMENTS (SEE SPRINGS UTILITIES LINE EXTENSION AND SERVICE STANDARDS).
- OWNER RECOGNIZES THAT THE EXTENSION OF WATER SYSTEM FACILITIES MAY AFFECT THE QUALITY OF WATER IN THE SPRINGS UTILITIES WATER SYSTEM. WHEN WATER QUALITY IS AFFECTED, OWNER ACKNOWLEDGES RESPONSIBILITY FOR ANY COSTS THAT SPRINGS UTILITIES DETERMINES NECESSARY IN ORDER TO MAINTAIN WATER IN ITS SYSTEM AS A RESULT OF OWNER'S WATER SYSTEM EXTENSIONS. OWNER MAY BE REQUIRED TO SUBMIT A WATER QUALITY PLAN FOR THE PROJECT.
- OWNER SHALL CONTACT SPRINGS UTILITIES FIELD ENGINEERS TO DETERMINE THE LOCATION OF ALL NATURAL GAS AND ELECTRIC METERS AND TRANSFORMERS, AND TO SECURE APPROVAL OF GAS-SERVICE-LINE PRESSURES IN EXCESS OF SPRINGS UTILITIES STANDARD GAS SYSTEM PRESSURE. (CONTACT FIELD ENGINEERING NORTH 668-4985 OR SOUTH 668-5564)
- IT SHALL NOT BE PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH WITHIN ANY SPRINGS UTILITIES EASEMENT OR RIGHTS OF WAY WITHOUT THE WRITTEN APPROVAL OF SPRINGS UTILITIES. IMPROVEMENTS, STRUCTURES, AND TREES SHALL NOT BE LOCATED WITHIN UTILITY EASEMENT, SHALL NOT VIOLATE NATIONAL ELECTRIC SAFETY CODE (NEC) PROVISIONS AND CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.
- OWNER'S APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSIDERED AS A LIMITATION UPON THE AUTHORITY OF SPRINGS UTILITIES TO APPLY ITS STANDARDS; AND IF THERE ARE ANY CONFLICTS BETWEEN ANY OF THE APPROVED DRAWINGS AND ANY PROVISION OF STANDARDS OR THE CITY CODE, THEN THE STANDARDS OR CITY CODE SHALL APPLY. SPRINGS UTILITIES' APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSIDERED AS A LIMITATION UPON THE AUTHORITY OF THE CITY OF COLORADO SPRINGS OR SPRINGS UTILITIES TO ADOPT DIFFERENT ORDINANCES, RULES, REGULATIONS, POLICES, OR CODES WHICH CHANGE ANY OF THE PROVISIONS OF THE STANDARDS SO LONG AS THESE APPLY TO THE UTILITY SYSTEMS AND ARE IN ACCORD WITH THE THEN-CURRENT TARIFFS, RATES, AND POLICES OF SPRINGS UTILITIES.
- ALL PRIVATE TO PUBLIC CONNECTIONS FOR THE STORM SEWER MUST BE INSPECTED BY THE ENGINEERING DEVELOPMENT REVIEW INSPECTOR.



- LEGEND:**
- PROPERTY BOUNDARY
 - RIGHT-OF-WAY
 - UTILITY EASEMENT
 - EXISTING STORM SEWER W/ MANHOLE AND INLET
 - EXISTING SANITARY SEWER W/ MANHOLE
 - EXISTING WATER LINE AND GATE VALVE
 - EXISTING FIRE HYDRANT
 - EXISTING GAS LINE
 - PROPOSED WATER LINE
 - PROPOSED WATER SERVICE W/ METER
 - PROPOSED FIRE SERVICE
 - PROPOSED FIRE HYDRANT
 - PROPOSED SANITARY SEWER W/ MANHOLE
 - PROPOSED SANITARY SERVICE W/ CLEANOUT
 - PROPOSED STORM SEWER W/ MANHOLE & TYPE R INLET



CONDITIONAL USE DEVELOPMENT PLAN

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOEHLER SMITH. PROJECT # 2001007

OUTLOOK BRIARGATE

SITUATED IN THE EAST 1/2 OF SECTION 5, TOWNSHIP 13 SOUTH, RANGE 66
WEST OF THE 6TH P.M.

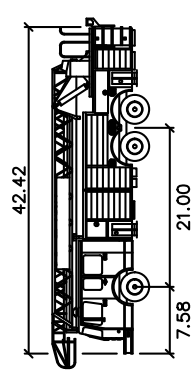
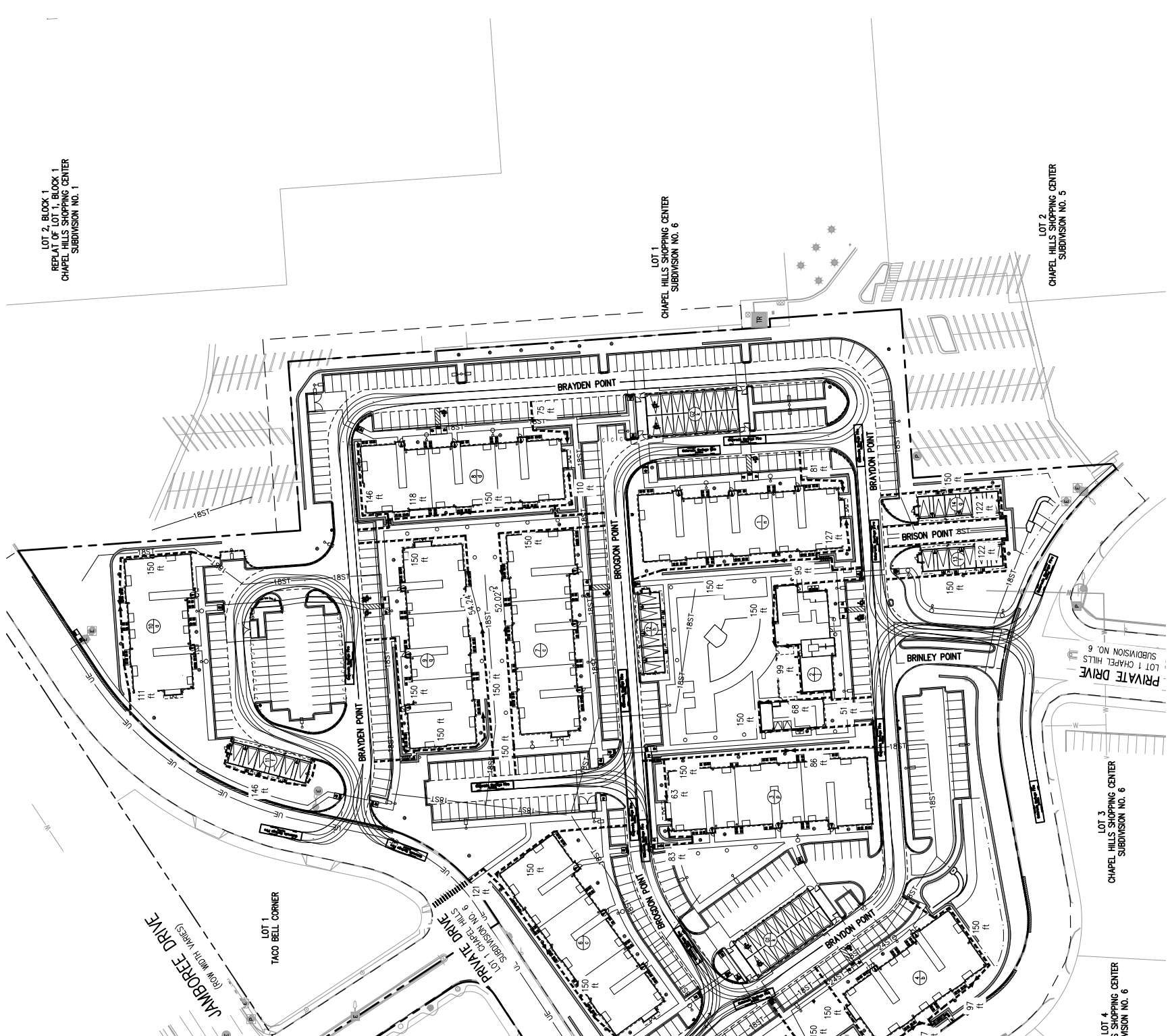
COLORADO SPRINGS, EL PASO COUNTY, STATE OF COLORADO
CONDITIONAL USE DEVELOPMENT PERMIT

3. Striping Requirements

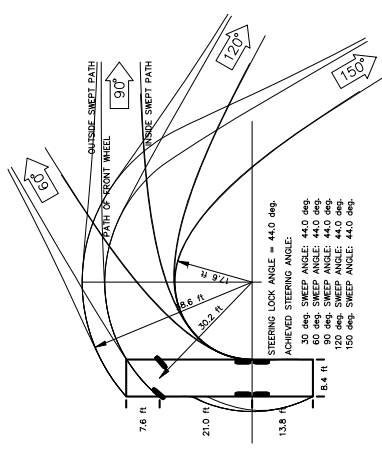
- 3.1. Design. When striping is used to identify fire apparatus access roads, the striping shall comply with Figures 14 and 17. All striping used for marking of fire lanes must meet the following criteria:
- ▶ 6-inch red traffic paint stripes
 - ▶ 4-inch white reflective labeling/wording with 3/4-inch stroke spacing "No Parking Fire Lane"
 - ▶ Lettering/wording spaced every 25 feet
 - ▶ See attachment for additional striping design criteria.

NO PARKING FIRE LANE
NO PARKING FIRE LANE
NO PARKING FIRE LANE

BUILDING TYPE	TOTAL SQUARE FOOTAGE	SPRINKLERS	FIRE FLOW		REQ # OF HYDRANTS	HOSE LAY (FT)
			CALCULATED	50% REDUCTION		
TYPE C CLUBHOUSE	6,597	NFPA 13	2,000	1,500	1	150
TYPE A	25,530	NFPA 13R	3,000	1,500	1	150
TYPE B	37,750	NFPA 13R	3,200	1,025	1	150
CARRIAGE UNIT	3,753	NFPA 13R	1,750	1,500	1	150



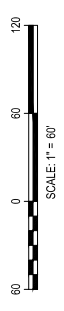
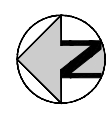
Colorado Spring Fire
Width : 8.42
Track : 8.17
Lock to Lock Time : 5.0
Steering Angle : 44.0



- LEGEND:**
- PROPERTY BOUNDARY
 - FIRE ACCESS EASEMENT
 - MARKED CURB FOR FIRE LANE
 - FIRE HYDRANT PULL LENGTH
 - FIRE TRUCK HOSE LENGTH (MAX 150')
 - PROPOSED FIRE HYDRANT
 - PROPOSED FIRE DEPARTMENT CONNECTION

NOTES:

- APPROVED VEHICLE ACCESS FOR FIRE FIGHTING SHALL BE PROVIDED TO ALL CONSTRUCTION/DEMOLITION SITES. VEHICLES ACCESS SHALL BE PROVIDED EITHER TEMPORARY OR PERMANENT ROADS CAPABLE OF SUPPORTING VEHICLE LOADING UNDER ALL WEATHER CONDITIONS. VEHICLE ACCESS SHALL BE MAINTAINED UNTIL PERMANENT FIRE ACCESS ROADS ARE AVAILABLE. (2009 FC68-1410)
- TEMPORARY ACCESS ROADS SHALL BE AN ALL WEATHER SURFACE COMPRISED OF EITHER THE FIRST LIFT OF ASPHALT OR CONCRETE/COMPACTED GRAVEL TO A THICKNESS CAPABLE OF SUPPORTING THE IMPOSED LOADS OF FIRE DEPARTMENT APPARATUS. A 20-FT MINIMUM WIDTH SHALL BE MAINTAINED UNLESS THE PERMANENT ROAD IS DESIGNED LESS THAN 20-FT. IN WHICH CASE, THE TEMPORARY ROAD SHALL BE THE INTENDED WIDTH OF THE PERMANENT ROAD. ADEQUATE STREET SIGN AND FIRE LANE SIGNS SHALL BE INSTALLED WHERE APPLICABLE. TEMPORARY ACCESS ROADS MUST BE MAINTAINED IN ACCORD WITH THIS SECTION AND INSPECTED BY THE FIRE DEPARTMENT. (2009 FC68-1410.1)
- THE FIRE DEPARTMENT SHALL BE NOTIFIED PRIOR TO ANY CONSTRUCTION AND SHALL BE MADE SERVICEABLE PRIOR TO AND DURING CONSTRUCTION. APPROVED ALTERNATIVE METHODS FOR FIRE PROTECTION SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON THE SITE. (2009 FC68-1410.1)
- VEHICLE ACCESS SHALL BE PROVIDED TO WITHIN 100 FEET OF TEMPORARY OR PERMANENT FIRE DEPARTMENT CONNECTIONS. VEHICLE ACCESS SHALL BE PROVIDED BY EITHER TEMPORARY OR PERMANENT ROADS CAPABLE OF SUPPORTING VEHICLE LOADING UNDER ALL WEATHER CONDITIONS. VEHICLE ACCESS SHALL BE MAINTAINED UNTIL PERMANENT FIRE APPARATUS ACCESS ROADS ARE AVAILABLE. (2009 FC68-1410.1)
- AT FINAL LANDSCAPE PLAN, CLEAR ACCESS PATHS AND FINAL TREE AND SHRUB LOCATIONS WILL BE COORDINATED WITH COLORADO SPRINGS FIRE DEPARTMENT.
- THE QUANTITY AND SPECIFIC LOCATION OF GATES WITHIN THE SITE WILL BE COORDINATED WITH COLORADO SPRINGS FIRE DEPARTMENT AT THE TIME OF BUILDING PERMIT.
- ALL CURB RADI ALONG FIRE ACCESS IS 33 FEET MINIMUM.



09-04-2020
12-18-2020
REVISION DATE: 01-15-2021

ISSUE DATE: 06-26-2020

FIRE ACCESS PLAN
SHEET 11 OF 27

OUTLOOK BRIARGATE - CITY FILING NO: CPC CU 20-00104

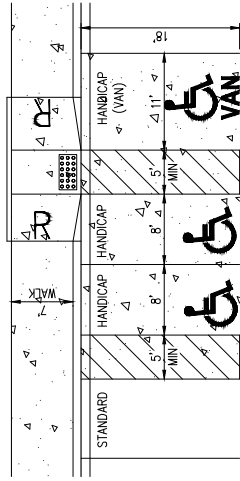
CONDITIONAL USE DEVELOPMENT PLAN

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH. PROJECT: 11113217 19-05-2019. BY: CHAI MACHONDA. PLOT: 11113217 19-05-2019. FILE: 11113217 19-05-2019. DATE: 06-26-2020. TIME: 10:00:00 AM. SCALE: 1" = 60'. SHEET: 11 OF 27. PROJECT NO: 200107.

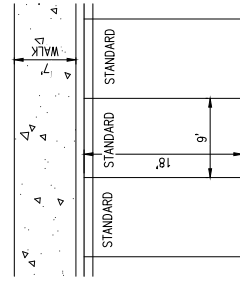
OUTLOOK BRIARGATE

SITUATED IN THE EAST 1/2 OF SECTION 5, TOWNSHIP 13 SOUTH, RANGE 66
WEST OF THE 6TH P.M.

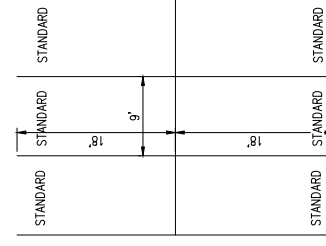
COLORADO SPRINGS, EL PASO COUNTY, STATE OF COLORADO
CONDITIONAL USE DEVELOPMENT PERMIT



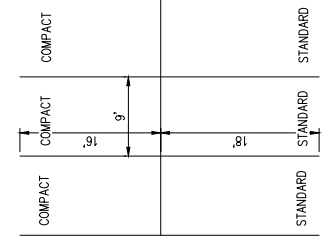
HANDICAP PARKING SPACE DETAIL
NTS



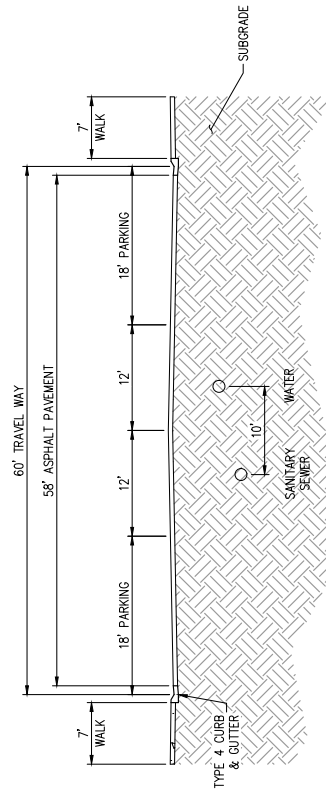
STANDARD PARKING
SPACE DETAIL (CURB)
NTS



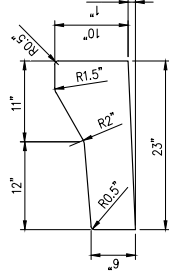
STANDARD PARKING SPACE
DETAIL (INTERNAL)
NTS



COMPACT PARKING SPACE
DETAIL (INTERNAL)
NTS



TYPICAL STREET SECTION (PRIVATE)
NTS

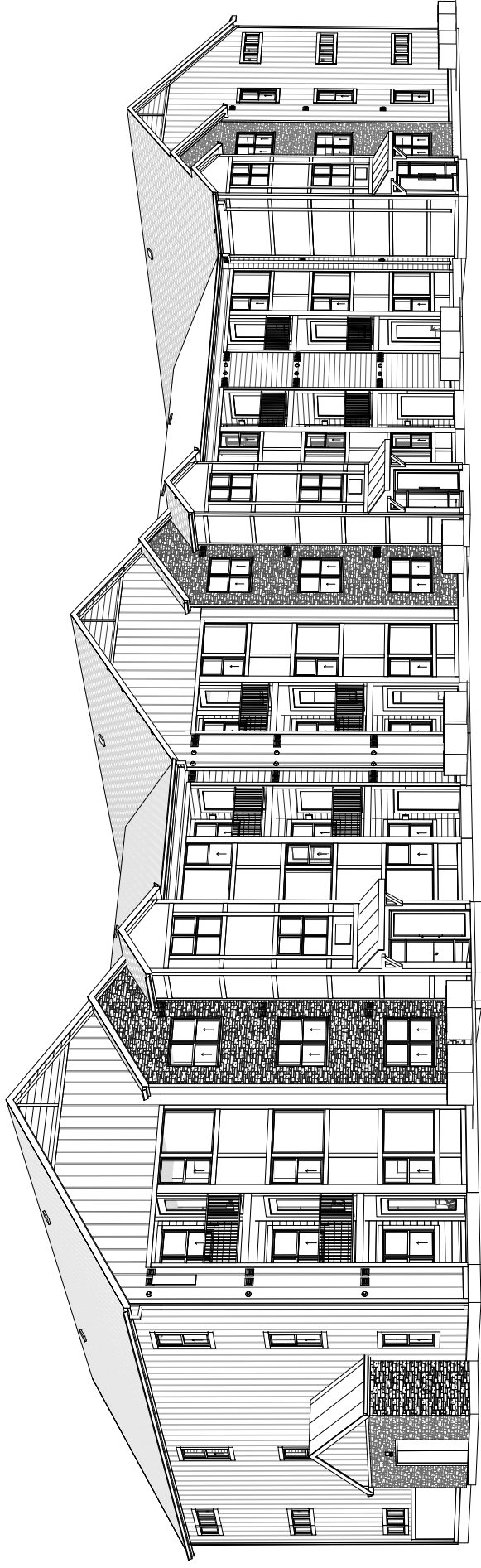


TYPE 4 CURB &
GUTTER DETAIL
NTS

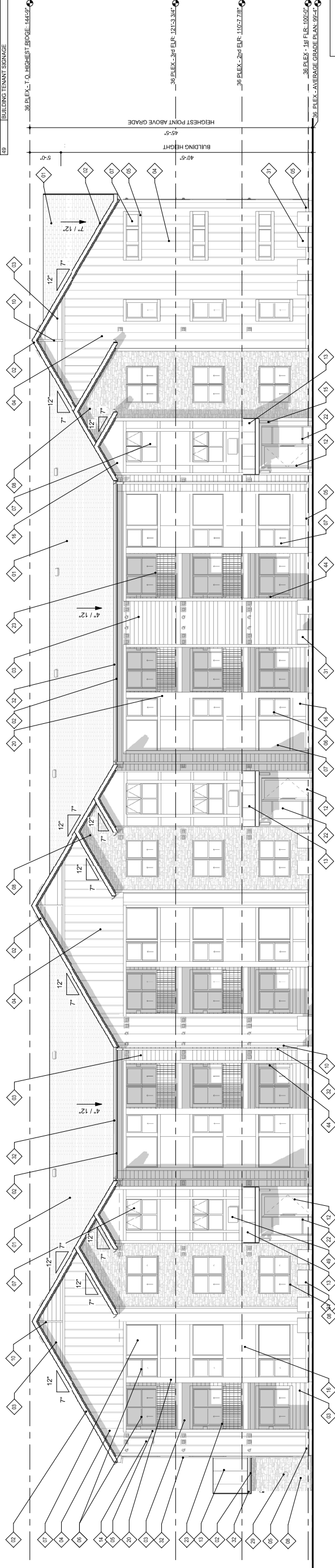
OUTLOOK BRIARGATE

SITUATED IN THE EAST 1/2 OF SECTION 5, TOWNSHIP 13 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
 COLORADO SPRINGS, EL PASO COUNTY, STATE OF COLORADO
 1650 BRIARGATE BOULEVARD

CONDITIONAL USE DEVELOPMENT PERMIT



2 PERSPECTIVE - 36 PLEX



1 FRONT ELEVATION - BLDG B - 36 PLEX
 1/8" = 1'-0"

MATERIAL & FINISH LEGEND	
	FIBER CEMENT LAP SIDING
	FIBER CEMENT BOARD & BATTEN SIDING
	FIBER CEMENT TRIM
	ADHEARED SYNTHETIC STONE VENEER
	METAL STANDING SEAM ROOF
	ARCHITECTURAL COMPOSITE ROOF

OUTLOOK AT CENTENNIAL: EVERGREEN DEVELOPMENT			
STELLA COLOR SCHEMES		SCHEME 2	SCHEME 3
EDGE	TAMKO	TAMKO	TAMKO
METAL ROOF	WEATHERED WOOD	WEATHERED WOOD	WEATHERED WOOD
	DARK BRONZE	DARK BRONZE	DARK BRONZE
EASERA	SHERWIN WILLIAMS SW 7020	SHERWIN WILLIAMS SW 7020	SHERWIN WILLIAMS SW 7020
	BLACK FOX	BLACK FOX	BLACK FOX
BDD01.1	SHERWIN WILLIAMS SW 6201	SHERWIN WILLIAMS SW 7026	SHERWIN WILLIAMS SW 6988
	THUNDEROUS GRIFFIN		NUTCRACK
BDD01.2	SHERWIN WILLIAMS SW 6201	SHERWIN WILLIAMS SW 6201	SHERWIN WILLIAMS SW 6201
	RAISE GREY	FUNCTIONAL GREY	STONE LION
STONE	SUNSET STONE	FIELDSTONE	WINTERSKY
	WINTERSKY	WINTERSKY	WINTERSKY

NOTE: ALL BUILDINGS WILL BE PROVIDED WITH FIRE SPRINKLER PROTECTION AT ALL LEVELS

NO.	NOTE
01	ARCHITECTURAL COMPOSITE SHINGLE ROOF
02	5/4" X 8" PAINTED FIBER CEMENT FASCIA
03	5/4" X 8" PAINTED FIBER CEMENT SIDING
04	5/4" X 8" PAINTED FIBER CEMENT ACCENT TRIM
05	5/4" X 8" PAINTED FIBER CEMENT ACCENT TRIM
06	VINYL SINGLE-HUNG WINDOW
07	5/4" X 8" PAINTED FIBER CEMENT TRIM
08	5/4" X 8" PAINTED FIBER CEMENT TRIM
09	5/4" X 8" PAINTED FIBER CEMENT TRIM
10	5/4" X 8" PAINTED FIBER CEMENT TRIM
11	5/4" X 8" PAINTED FIBER CEMENT TRIM
12	BUILDING ENTRY DOOR, MAINTAIN ACCESSIBLE ROUTE TO THIS DOOR
13	STANDING SEAM METAL ROOF
14	BUILDING ADDRESS SIGNAGE
15	DECORATIVE ROOF BRACKET
16	FIBER CEMENT PANEL SIDING
17	5/4" X 8" PAINTED FIBER CEMENT TRIM
18	5/4" X 8" PAINTED FIBER CEMENT TRIM
19	5/4" X 8" PAINTED FIBER CEMENT TRIM
20	5/4" X 8" PAINTED FIBER CEMENT TRIM
21	5/4" X 8" PAINTED FIBER CEMENT TRIM
22	4" TALL PAINTED METAL RAILING AT UNIT BALCONY
23	4" TALL PAINTED METAL RAILING AT UNIT BALCONY
24	4" TALL PAINTED METAL RAILING AT UNIT BALCONY
25	FIRE DEPARTMENT CONNECTION
26	GROUND MOUNTED A/C CONDENSING UNIT
27	GROUND MOUNTED A/C CONDENSING UNIT
28	GROUND MOUNTED A/C CONDENSING UNIT
29	GROUND MOUNTED A/C CONDENSING UNIT
30	GROUND MOUNTED A/C CONDENSING UNIT
31	GROUND MOUNTED A/C CONDENSING UNIT
32	GROUND MOUNTED A/C CONDENSING UNIT
33	GROUND MOUNTED A/C CONDENSING UNIT
34	GROUND MOUNTED A/C CONDENSING UNIT
35	GROUND MOUNTED A/C CONDENSING UNIT
36	GROUND MOUNTED A/C CONDENSING UNIT
37	GROUND MOUNTED A/C CONDENSING UNIT
38	GROUND MOUNTED A/C CONDENSING UNIT
39	GROUND MOUNTED A/C CONDENSING UNIT
40	GROUND MOUNTED A/C CONDENSING UNIT
41	GROUND MOUNTED A/C CONDENSING UNIT
42	GROUND MOUNTED A/C CONDENSING UNIT
43	GROUND MOUNTED A/C CONDENSING UNIT
44	GROUND MOUNTED A/C CONDENSING UNIT
45	GROUND MOUNTED A/C CONDENSING UNIT
46	GROUND MOUNTED A/C CONDENSING UNIT
47	GROUND MOUNTED A/C CONDENSING UNIT
48	GROUND MOUNTED A/C CONDENSING UNIT
49	GROUND MOUNTED A/C CONDENSING UNIT

CITY OF COLORADO
 SPRINGS STAMP

09-04-2020
 12-18-2020
 REVISION DATE: 01-15-2021
 ISSUE DATE: 06-19-20
 ELEVATIONS 36 PLEX
 SHEET 13 OF 27
 OUTLOOK BRIARGATE - CITY FILING NO: CPC DP 20-00104

OUTLOOK BRIARGATE
 SITUATED IN THE EAST 1/2 OF SECTION 5, TOWNSHIP 13 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
 COLORADO SPRINGS, EL PASO COUNTY, STATE OF COLORADO
 1650 BRIARGATE BOULEVARD

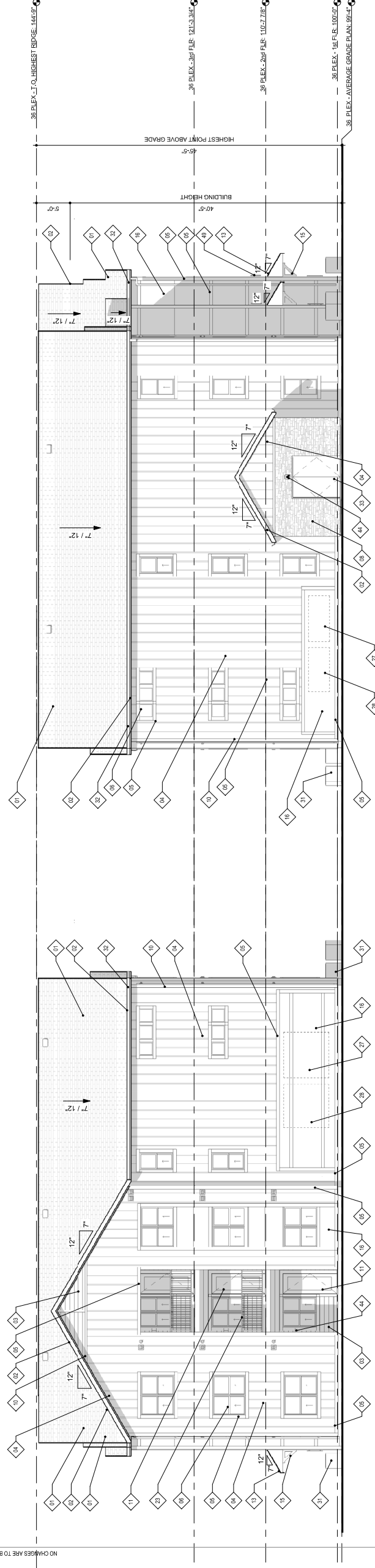
CONDITIONAL USE DEVELOPMENT PERMIT

MATERIAL & FINISH LEGEND	
	FIBER CEMENT LAP SIDING
	FIBER CEMENT BOARD & BATTEN SIDING
	FIBER CEMENT TRIM
	ADHEARED SYNTHETIC STONE VENEER
	METAL STANDING SEAM ROOF
	ARCHITECTURAL COMPOSITE ROOF

OUTLOOK AT CENTENNIAL: EVERGREEN DEVELOPMENT			
STELLA COLOR SCHEMES		SCHEME 2	SCHEME 3
ROCK	TAMKO	WEATHERED WOOD	TAMKO
METAL	WEATHERED WOOD	WEATHERED WOOD	WEATHERED WOOD
BRONZE	DARK BRONZE	DARK BRONZE	DARK BRONZE
WILLIAMS	SHERWIN WILLIAMS	SHERWIN WILLIAMS	SHERWIN WILLIAMS
SW 7020	SW 7020	BLACK FOX	SW 7020
BLACK FOX	SW 7026	SHERWIN WILLIAMS	SW 6988
SW 6988	THUNDEROUS	GRiffin	NUTMATCH
SW 6201	SHERWIN WILLIAMS	FUNCTIONAL GREY	STONE LION
SW 6201	RAISE GREY	SUNSET STONE	WINTERSKY
RAISE GREY	FIELDSTONE	WINTERSKY	WINTERSKY

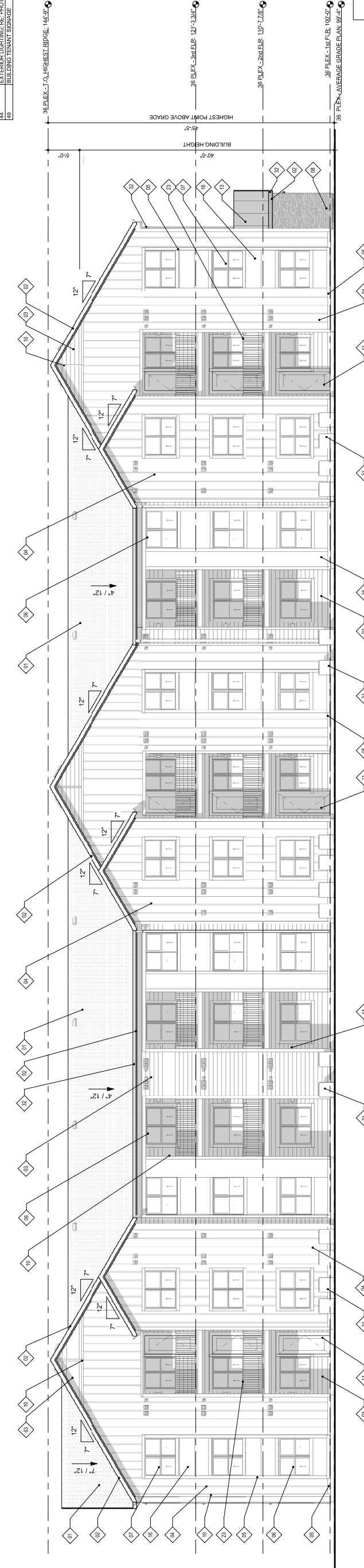
NOTE: ALL BUILDINGS WILL BE PROVIDED WITH FIRE SPRINKLER PROTECTION AT ALL LEVELS

NO.	NOTE
01	ARCHITECTURAL COMPOSITE SHINGLE ROOF
02	5/4 X 8 PAINTED FIBER CEMENT FASCIA
03	5/4 X 8 PAINTED FIBER CEMENT SIDING
04	5/4 X 8 PAINTED FIBER CEMENT ACCENT TRIM
05	5/4 X 8 PAINTED FIBER CEMENT ACCENT TRIM
06	VINYL SINGLE-HUNG WINDOW
07	VINYL DOUBLE-HUNG WINDOW
08	VINYL SLIDING WINDOW
09	5/4 X 4 PAINTED FIBER CEMENT ACCENT TRIM
10	5/4 X 4 PAINTED FIBER CEMENT ACCENT TRIM
11	5/4 X 4 PAINTED FIBER CEMENT ACCENT TRIM
12	5/4 X 4 PAINTED FIBER CEMENT ACCENT TRIM
13	5/4 X 4 PAINTED FIBER CEMENT ACCENT TRIM
14	5/4 X 4 PAINTED FIBER CEMENT ACCENT TRIM
15	5/4 X 4 PAINTED FIBER CEMENT ACCENT TRIM
16	5/4 X 4 PAINTED FIBER CEMENT ACCENT TRIM
17	5/4 X 4 PAINTED FIBER CEMENT ACCENT TRIM
18	5/4 X 4 PAINTED FIBER CEMENT ACCENT TRIM
19	5/4 X 4 PAINTED FIBER CEMENT ACCENT TRIM
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31	5/4 X 4 PAINTED FIBER CEMENT ACCENT TRIM
32	5/4 X 4 PAINTED FIBER CEMENT ACCENT TRIM
33	5/4 X 4 PAINTED FIBER CEMENT ACCENT TRIM
34	5/4 X 4 PAINTED FIBER CEMENT ACCENT TRIM
35	5/4 X 4 PAINTED FIBER CEMENT ACCENT TRIM
36	5/4 X 4 PAINTED FIBER CEMENT ACCENT TRIM
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38	5/4 X 4 PAINTED FIBER CEMENT ACCENT TRIM
39	5/4 X 4 PAINTED FIBER CEMENT ACCENT TRIM
40	5/4 X 4 PAINTED FIBER CEMENT ACCENT TRIM
41	5/4 X 4 PAINTED FIBER CEMENT ACCENT TRIM
42	5/4 X 4 PAINTED FIBER CEMENT ACCENT TRIM
43	5/4 X 4 PAINTED FIBER CEMENT ACCENT TRIM
44	5/4 X 4 PAINTED FIBER CEMENT ACCENT TRIM
45	5/4 X 4 PAINTED FIBER CEMENT ACCENT TRIM
46	5/4 X 4 PAINTED FIBER CEMENT ACCENT TRIM
47	5/4 X 4 PAINTED FIBER CEMENT ACCENT TRIM
48	5/4 X 4 PAINTED FIBER CEMENT ACCENT TRIM
49	5/4 X 4 PAINTED FIBER CEMENT ACCENT TRIM

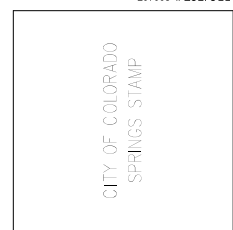


2 RIGHT ELEVATION - BLDG B - 36 PLEX
 1/8" = 1'-0"

3 LEFT ELEVATION - BLDG B - 36 PLEX
 1/8" = 1'-0"



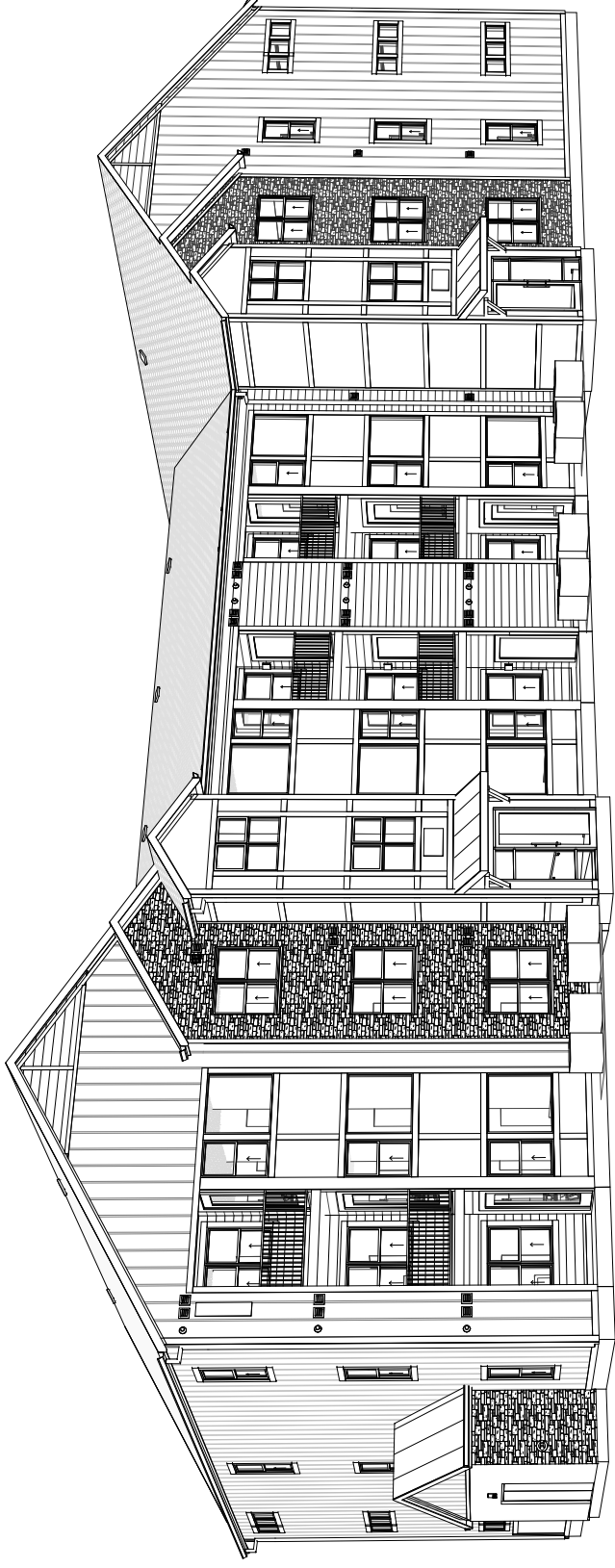
1 REAR ELEVATION - BLDG B - 36 PLEX
 1/8" = 1'-0"



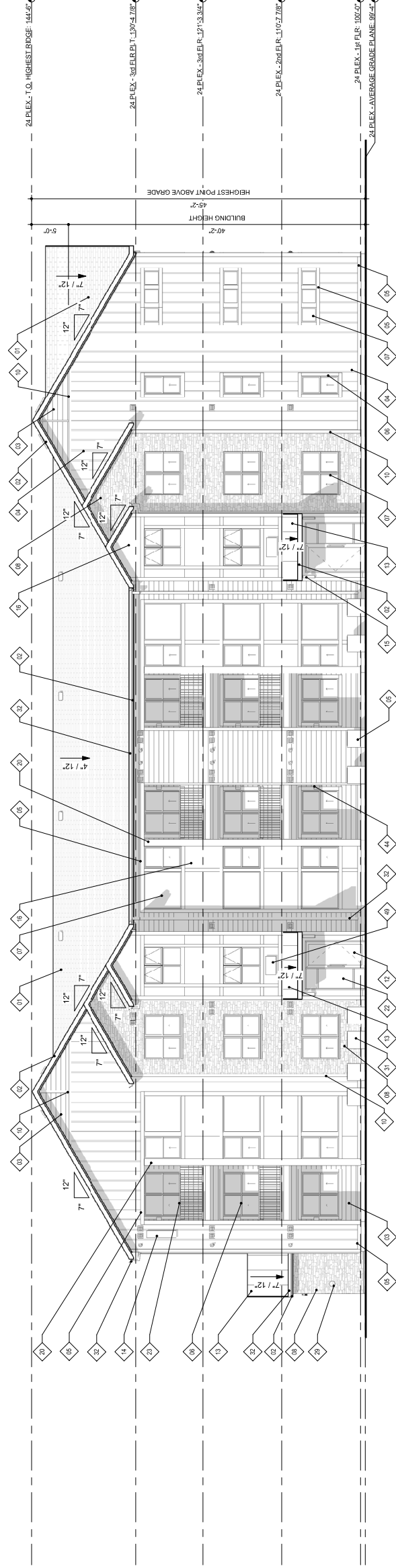
OUTLOOK BRIARGATE

SITUATED IN THE EAST 1/2 OF SECTION 5, TOWNSHIP 13 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
 COLORADO SPRINGS, EL PASO COUNTY, STATE OF COLORADO
 1650 BRIARGATE BOULEVARD

CONDITIONAL USE DEVELOPMENT PERMIT



2 PERSPECTIVE - 24 PLEX



1 FRONT ELEVATION - 24 PLEX
1/8" = 1'-0"

MATERIAL & FINISH LEGEND	
	FIBER CEMENT LAP SIDING
	FIBER CEMENT BOARD & BATTEN SIDING
	FIBER CEMENT TRIM
	ADHEARED SYNTHETIC STONE VENEER
	METAL STANDING SEAM ROOF
	ARCHITECTURAL COMPOSITE ROOF

OUTLOOK AT CENTENNIAL: EVERGREEN DEVELOPMENT			
STELLA COLOR SCHEMES		SCHEME 2	SCHEME 3
ROOF	TAMKO	TAMKO	TAMKO
	WEATHERED WOOD	WEATHERED WOOD	WEATHERED WOOD
METAL ROOF	DARK BRONZE	DARK BRONZE	DARK BRONZE
FASCIA	SHERWIN WILLIAMS SW 7020	SHERWIN WILLIAMS SW 7020	SHERWIN WILLIAMS SW 7020
	BLACK FOX	BLACK FOX	BLACK FOX
BODIL 1	SHERWIN WILLIAMS SW 6201	SHERWIN WILLIAMS SW 7026	SHERWIN WILLIAMS SW 6888
	THUNDEROUS GRIFFIN	GRIFIN	NUTCRACK
BODIL 2	SHERWIN WILLIAMS SW 6888	SHERWIN WILLIAMS SW 6888	SHERWIN WILLIAMS SW 6888
	RAISE GREY	FUNCTIONAL GREY	STONE LION
STONE	SUNSET STONE	SUNSET STONE	SUNSET STONE
	FELDSTONE	FELDSTONE	FELDSTONE
	WINTERSKY	WINTERSKY	WINTERSKY

NOTE: ALL BUILDINGS WILL BE PROVIDED WITH FIRE SPRINKLER PROTECTION AT ALL LEVELS

NO.	NOTE
01	ARCHITECTURAL COMPOSITE SHINGLE ROOF
02	5/4" X 8" PAINTED FIBER CEMENT FASCIA
03	5/4" X 8" PAINTED FIBER CEMENT PANEL SIDING
04	FIBER CEMENT BOARD & BATTEN PANEL SIDING
05	5/4" X 8" PAINTED FIBER CEMENT ACCENT TRIM
06	VINYL SINGLE-HUNG WINDOW
07	RECESSED WINDOW
08	SYNTHETIC STONE VENEER SYSTEM
09	5/4" X 4" PAINTED FIBER CEMENT TRIM
10	5/4" X 4" PAINTED FIBER CEMENT ACCENT TRIM
11	5/4" X 4" PAINTED FIBER CEMENT TRIM
12	BUILDING ENTRY DOOR, MAINTAIN ACCESSIBLE ROUTE TO THIS DOOR
13	STANDING SEAM METAL ROOF
14	BUILDING ADDRESS SIGNAGE
15	DECORATIVE ROOF BRACKET
16	FIBER CEMENT PANEL SIDING
17	5/4" X 8" PAINTED FIBER CEMENT TRIM
18	ALUMINUM STOREFRONT SYSTEM WITH INSULATED, LOW-E GLAZING
19	42" TALL PAINTED METAL RAILING AT UNIT BALCONY
20	FIRE DEPARTMENT CONNECTION
21	GROUND MOUNTED A/C CONDENSING UNIT
22	GROUND MOUNTED A/C CONDENSING UNIT
23	EXTERIOR LIGHTING, SEE PHOTO/METRIC PLAN
24	BUILDING TENANT SIGNAGE
25	BUILDING TENANT SIGNAGE

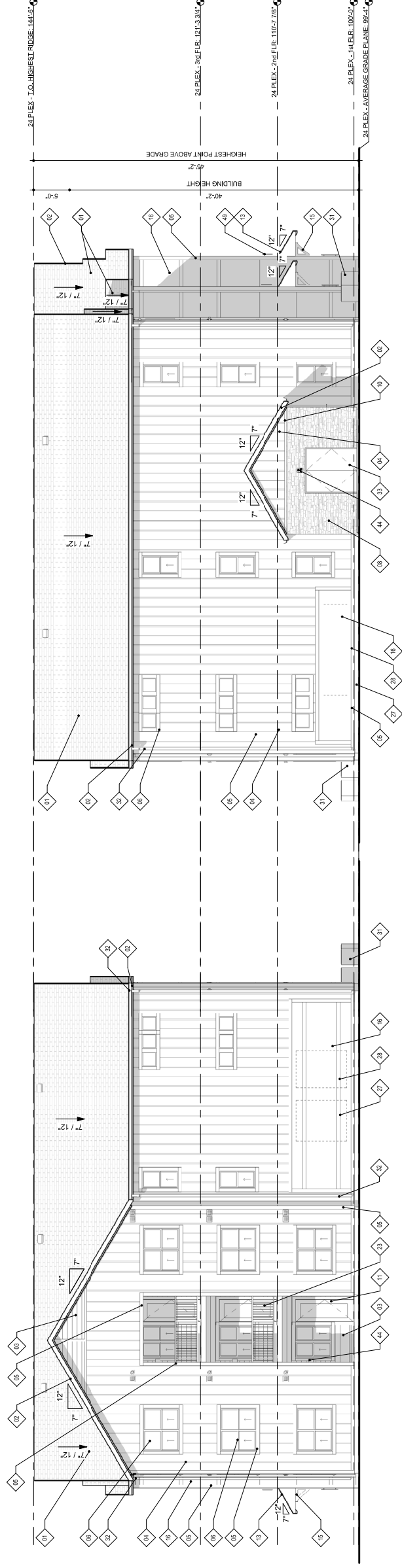
CITY OF COLORADO
SPRINGS STAMP

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH

OUTLOOK BRIARGATE

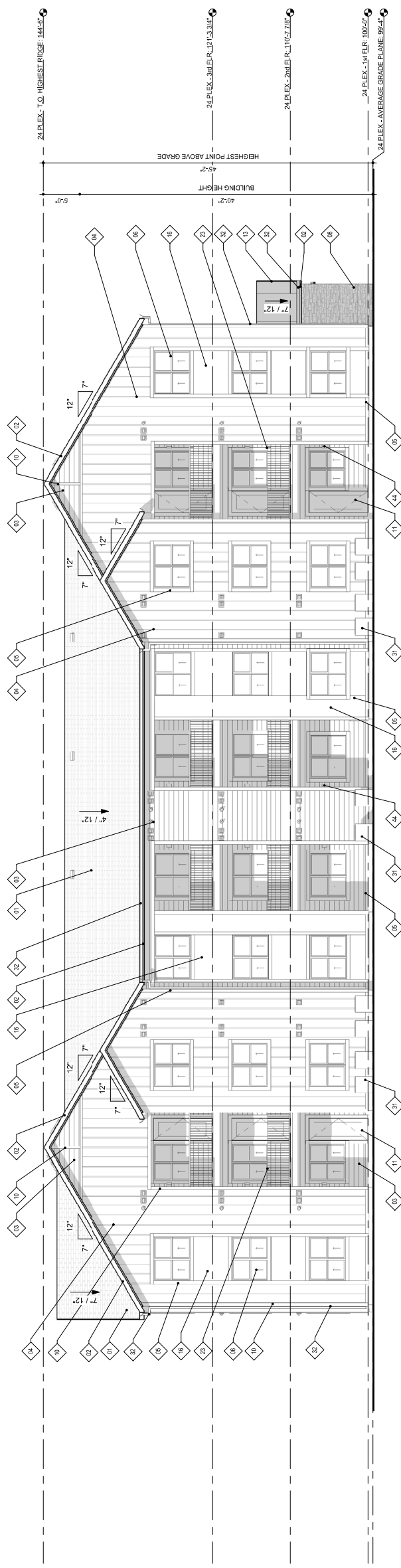
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 COLORADO SPRINGS, EL PASO COUNTY, STATE OF COLORADO
 1650 BRIARGATE BOULEVARD

CONDITIONAL USE DEVELOPMENT PERMIT



3 RIGHT ELEVATION - BLDG A - 24 PLEX
 1/8" = 1'-0"

2 LEFT ELEVATION - BLDG A - 24 PLEX
 1/8" = 1'-0"



1 REAR ELEVATION - BLDG A - 24 PLEX
 1/8" = 1'-0"

MATERIAL & FINISH LEGEND	
	FIBER CEMENT LAP SIDING
	FIBER CEMENT BOARD & BATTEN SIDING
	FIBER CEMENT TRIM
	ADHEARED SYNTHETIC STONE VENEER
	METAL STANDING SEAM ROOF
	ARCHITECTURAL COMPOSITE ROOF

OUTLOOK AT CENTENNIAL: EVERGREEN DEVELOPMENT			
STELLA COLOR SCHEMES		SCHEME 2	SCHEME 3
ROOF	TAMKO WEATHERED WOOD	TAMKO WEATHERED WOOD	TAMKO WEATHERED WOOD
METAL ROOF	DARK BRONZE	DARK BRONZE	DARK BRONZE
CLADDING	SHERWIN WILLIAMS SW 7020	SHERWIN WILLIAMS SW 7020	SHERWIN WILLIAMS SW 7020
	BLACK FOX	BLACK FOX	BLACK FOX
BODIL 1	SHERWIN WILLIAMS SW 6888	SHERWIN WILLIAMS SW 7026	SHERWIN WILLIAMS SW 6888
	THUNDEROUS	GRIFFIN	NUTMATCH
BODIL 2	SHERWIN WILLIAMS SW 6888	SHERWIN WILLIAMS SW 7026	SHERWIN WILLIAMS SW 6888
	THUNDEROUS	GRIFFIN	NUTMATCH
STONE	SUNSET STONE	FUNCTIONAL GREY	SUNSET STONE
	FIELDSTONE	WINTERSKY	FIELDSTONE
	WINTERSKY	WINTERSKY	WINTERSKY

NOTE: ALL BUILDINGS WILL BE PROVIDED WITH FIRE SPRINKLER PROTECTION AT ALL LEVELS

NO.	NOTE
01	ARCHITECTURAL COMPOSITE SHINGLE ROOF
02	5/4" X 8" PAINTED FIBER CEMENT FASCIA
03	5/4" X 8" PAINTED FIBER CEMENT SIDING
04	FIBER CEMENT BOARD & BATTEN PANEL SIDING
05	5/4" X 8" PAINTED FIBER CEMENT ACCENT TRIM
06	VINYL SINGLE-HUNG WINDOW
07	VINYL DOUBLE-HUNG WINDOW
08	5/4" X 8" PAINTED FIBER CEMENT ACCENT TRIM
09	5/4" X 8" PAINTED FIBER CEMENT ACCENT TRIM
10	5/4" X 8" PAINTED FIBER CEMENT ACCENT TRIM
11	FULL-LITE EXTERIOR DOOR
12	STANDING SEAM METAL ROOF
13	DECORATIVE ROOF BRACKET
14	4" X 4" METAL RAILING AT UNIT BALCONY
15	4" X 4" METAL RAILING AT UNIT BALCONY
16	ELECTRICAL METER
17	GAS METER
18	GROUND MOUNTED A/C CONDENSING UNIT
19	ROOF GUTTER AND DOWNSPOUT
20	INSUR ROOM DOOR
21	EXTERIOR LIGHTING RE PHOTOMETRIC PLAN
22	EXTERIOR LIGHTING RE PHOTOMETRIC PLAN
23	EXTERIOR LIGHTING RE PHOTOMETRIC PLAN
24	BUILDING TENANT SIGNAGE
25	BUILDING TENANT SIGNAGE
26	BUILDING TENANT SIGNAGE
27	BUILDING TENANT SIGNAGE
28	BUILDING TENANT SIGNAGE
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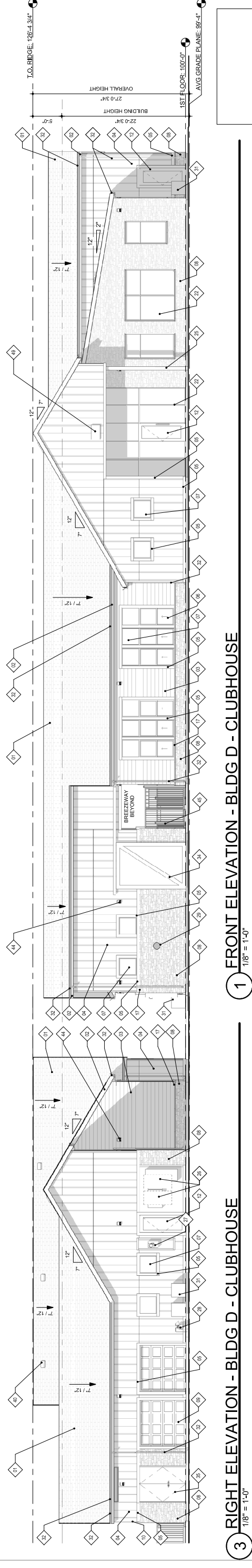
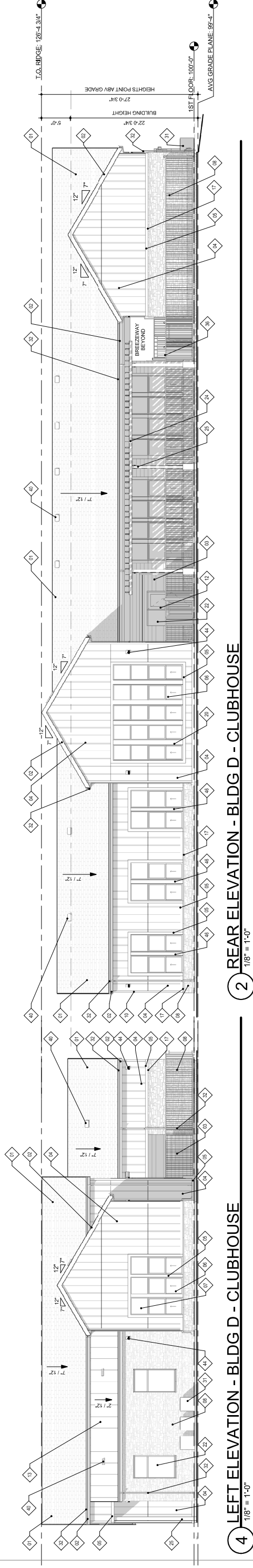
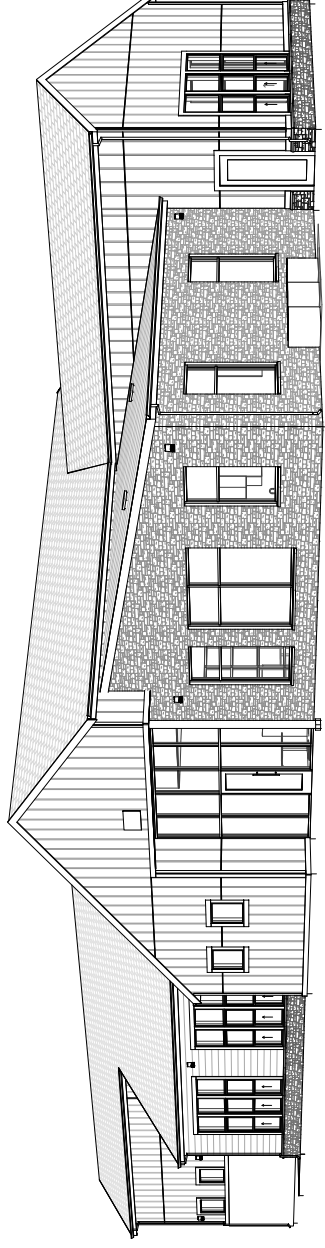
CITY OF COLORADO
 SPRINGS STAMP

OUTLOOK BRIARGATE

SITUATED IN THE EAST 1/2 OF SECTION 5, TOWNSHIP 13 SOUTH, RANGE 66 WEST OF THE 6TH P.M.

COLORADO SPRINGS, EL PASO COUNTY, STATE OF COLORADO
1650 BRIARGATE BOULEVARD

CONDITIONAL USE DEVELOPMENT PERMIT



2 REAR ELEVATION - BLDG D - CLUBHOUSE
1/8" = 1'-0"

1 FRONT ELEVATION - BLDG D - CLUBHOUSE
1/8" = 1'-0"

MATERIAL & FINISH LEGEND

8" FIBER CEMENT LAP SIDING	SHERWIN WILLIAMS SW 7014, PEPPER CORN
FIBER CEMENT BOARD & BATTEN PANEL SIDING	SHERWIN WILLIAMS SW 6012, BROWSE BROWN
FIBER CEMENT TRIM	SHERWIN WILLIAMS SW 7069, IRON ORE
ADHESIVE SYNTHETIC STONE VENEER	SUNSET STONE, WINTERSKY FIELD STONE, WINTERSKY
METAL STANDING SEAM ROOF	DARK BRONZE
ARCHITECTURAL COMPOSITE ROOF	TAMKO, WEATHERED WOOD

NOTE: CLUBHOUSE WILL BE PROVIDED WITH SPRINKLER FIRE PROTECTION

KEYNOTES

01	ARCHITECTURAL COMPOSITE SHINGLE ROOF
02	8" FIBER CEMENT LAP SIDING
03	FIBER CEMENT BOARD & BATTEN PANEL SIDING
04	FIBER CEMENT BOARD & BATTEN PANEL SIDING
05	5/4" X 6" PAINTED FIBER CEMENT ACCENT TRIM
06	5/4" X 6" PAINTED FIBER CEMENT ACCENT TRIM
07	5/4" X 6" PAINTED FIBER CEMENT ACCENT TRIM
08	ADHESIVE SYNTHETIC STONE VENEER
09	ADHESIVE SYNTHETIC STONE VENEER
10	ADHESIVE SYNTHETIC STONE VENEER
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46	ADHESIVE SYNTHETIC STONE VENEER
47	ADHESIVE SYNTHETIC STONE VENEER
48	ADHESIVE SYNTHETIC STONE VENEER
49	ADHESIVE SYNTHETIC STONE VENEER

CONDITIONAL USE DEVELOPMENT PLAN

09-04-2020

12-18-2020

REVISION DATE: 01-15-2021 ISSUE DATE: 06.26.20

OUTLOOK BRIARGATE - CITY FILING NO: CPC DP 20-00104

BLDG C - CLUBHOUSE ELEVATIONS

SHEET 17 OF 27

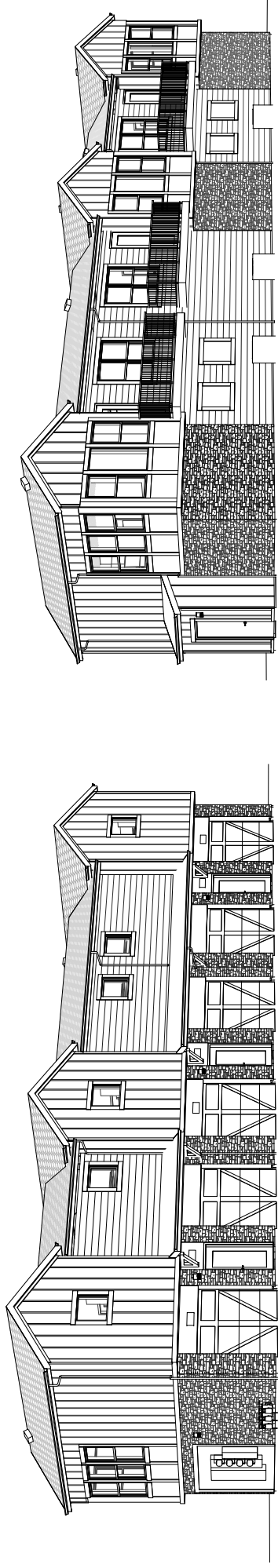
CITY OF COLORADO
SPRINGS STAMP

PROJECT #: 200107

OUTLOOK BRIARGATE

SITUATED IN THE EAST 1/2 OF SECTION 5, TOWNSHIP 13 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
 COLORADO SPRINGS, EL PASO COUNTY, STATE OF COLORADO
 1650 BRIARGATE BOULEVARD

CONDITIONAL USE DEVELOPMENT PERMIT



MATERIAL & FINISH LEGEND

	FIBER CEMENT LAP SIDING
	FIBER CEMENT BOARD & BATTEN SIDING
	FIBER CEMENT TRIM
	ADHEARED SYNTHETIC STONE VENEER
	METAL STANDING SEAM ROOF
	ARCHITECTURAL COMPOSITE ROOF

OUTLOOK AT CENTENNIAL: EVERGREEN DEVELOPMENT

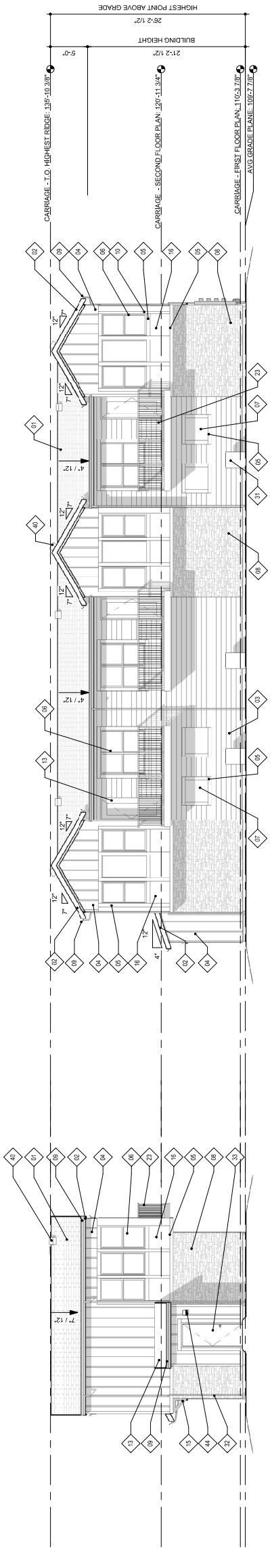
STELLA COLOR SCHEMES

SCHEME 1	SCHEME 2	SCHEME 3
ROOF: WEATHERED WOOD	TAIKKO WEATHERED WOOD	TAIKKO WEATHERED WOOD
METAL EDGE: DARK BRONZE	DARK BRONZE	DARK BRONZE
FASCIA: SHERWIN WILLIAMS SW 7020	SHERWIN WILLIAMS SW 7020	SHERWIN WILLIAMS SW 7020
BLACK FOX	BLACK FOX	BLACK FOX
BODDL1: SHERWIN WILLIAMS SW 6155	SHERWIN WILLIAMS SW 6155	SHERWIN WILLIAMS SW 6155
THUNDEROUS	GRITFIN	NUTCRACK
BODDL2: SHERWIN WILLIAMS SW 6155	SHERWIN WILLIAMS SW 7024	SHERWIN WILLIAMS SW 7507
RARE GREY	FUNCTIONAL GREY	STONE LION
STONE: SUNSET STONE	SUNSET STONE	SUNSET STONE
FELDSTONE	FELDSTONE	FELDSTONE
WINTERSKY	WINTERSKY	WINTERSKY

NOTE: ALL BUILDINGS WILL BE PROVIDED WITH FIRE SPRINKLER PROTECTION AT ALL LEVELS

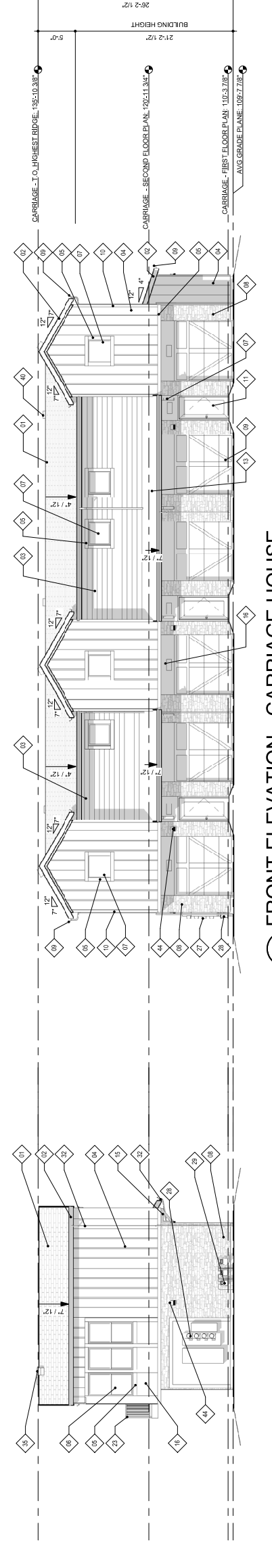
KEYNOTES

#	DESCRIPTION
01	ARCHITECTURAL COMPOSITE SHINGLE ROOF
02	5/4" X 6" PAINTED FIBER CEMENT FASCIA
03	5/4" X 6" PAINTED FIBER CEMENT BOARD & BATTEN SIDING
04	5/4" X 6" PAINTED FIBER CEMENT TRIM
05	5/4" X 6" PAINTED FIBER CEMENT ACCENT TRIM
06	VINYL SINGLE-HUNG WINDOW
07	VINYL SIDED WINDOW
08	OVERHEAD GARAGE DOOR SYSTEM
09	5/4" X 4" PAINTED FIBER CEMENT ACCENT TRIM
10	FULL-LITE EXTERIOR DOOR
11	5/4" X 6" PAINTED FIBER CEMENT TRIM
12	5/4" X 6" PAINTED FIBER CEMENT BOARD & BATTEN SIDING
13	5/4" X 6" PAINTED FIBER CEMENT TRIM
14	5/4" X 6" PAINTED FIBER CEMENT ACCENT TRIM
15	5/4" X 6" PAINTED FIBER CEMENT BOARD & BATTEN SIDING
16	5/4" X 6" PAINTED FIBER CEMENT TRIM
17	5/4" X 6" PAINTED FIBER CEMENT ACCENT TRIM
18	5/4" X 6" PAINTED FIBER CEMENT BOARD & BATTEN SIDING
19	5/4" X 6" PAINTED FIBER CEMENT TRIM
20	5/4" X 6" PAINTED FIBER CEMENT ACCENT TRIM
21	5/4" X 6" PAINTED FIBER CEMENT BOARD & BATTEN SIDING
22	5/4" X 6" PAINTED FIBER CEMENT TRIM
23	5/4" X 6" PAINTED FIBER CEMENT ACCENT TRIM
24	5/4" X 6" PAINTED FIBER CEMENT BOARD & BATTEN SIDING
25	5/4" X 6" PAINTED FIBER CEMENT TRIM
26	5/4" X 6" PAINTED FIBER CEMENT ACCENT TRIM
27	5/4" X 6" PAINTED FIBER CEMENT BOARD & BATTEN SIDING
28	5/4" X 6" PAINTED FIBER CEMENT TRIM
29	5/4" X 6" PAINTED FIBER CEMENT ACCENT TRIM
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31	5/4" X 6" PAINTED FIBER CEMENT TRIM
32	5/4" X 6" PAINTED FIBER CEMENT ACCENT TRIM
33	5/4" X 6" PAINTED FIBER CEMENT BOARD & BATTEN SIDING
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40	5/4" X 6" PAINTED FIBER CEMENT TRIM
41	5/4" X 6" PAINTED FIBER CEMENT ACCENT TRIM
42	5/4" X 6" PAINTED FIBER CEMENT BOARD & BATTEN SIDING
43	5/4" X 6" PAINTED FIBER CEMENT TRIM
44	5/4" X 6" PAINTED FIBER CEMENT ACCENT TRIM



4 RIGHT ELEVATION - CARRIAGE HOUSE
 1/8" = 1'-0"

2 REAR ELEVATION - BLDG D - CARRIAGE HOUSE
 1/8" = 1'-0"



3 LEFT ELEVATION - CARRIAGE HOUSE
 1/8" = 1'-0"

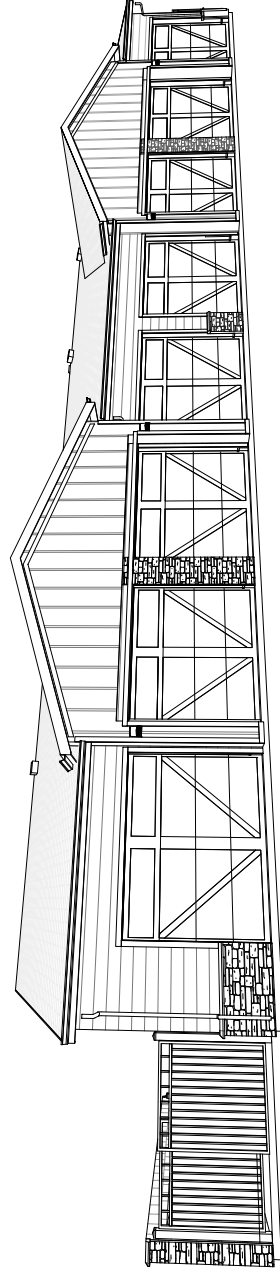
1 FRONT ELEVATION - CARRIAGE HOUSE
 1/8" = 1'-0"



OUTLOOK BRIARGATE

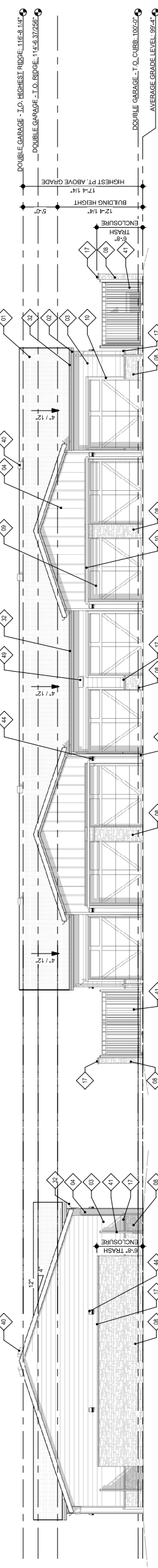
SITUATED IN THE EAST 1/2 OF SECTION 5, TOWNSHIP 13 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
 COLORADO SPRINGS, EL PASO COUNTY, STATE OF COLORADO
 1650 BRIARGATE BOULEVARD

CONDITIONAL USE DEVELOPMENT PERMIT



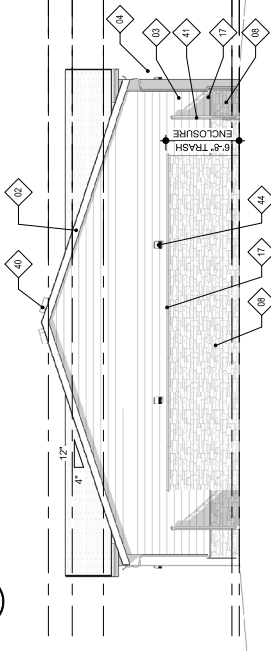
MATERIAL & FINISH LEGEND	
	FIBER CEMENT LAP SIDING
	FIBER CEMENT BOARD & BATTEN SIDING
	FIBER CEMENT TRIM
	ADHEARED SYNTHETIC STONE VENEER
	METAL STANDING SEAM ROOF
	ARCHITECTURAL COMPOSITE ROOF

OUTLOOK AT CENTENNIAL: EVERGREEN DEVELOPMENT			
STELLA COLOR SCHEMES		SCHEME 2	SCHEME 3
EDGE	WEATHERED WOOD	TAIKO	WEATHERED WOOD
METAL ROOF	DARK BRONZE	DARK BRONZE	DARK BRONZE
FASCIA	SHERWIN WILLIAMS SW 7020	SHERWIN WILLIAMS SW 7020	SHERWIN WILLIAMS SW 7020
BLACK FOX	BLACK FOX	BLACK FOX	BLACK FOX
EDGE 1	SHERWIN WILLIAMS SW 6195	SHERWIN WILLIAMS SW 7024	SHERWIN WILLIAMS SW 7024
THUNDEROUS	THUNDEROUS	GRIFIN	GRIFIN
EDGE 2	SHERWIN WILLIAMS SW 6195	SHERWIN WILLIAMS SW 7024	SHERWIN WILLIAMS SW 7024
RARE GREY	RARE GREY	FUNCTIONAL GREY	STONE LION
STONE	SUNSET STONE	SUNSET STONE	SUNSET STONE
FIELDSTONE	FIELDSTONE	FIELDSTONE	FIELDSTONE
WINTERSKY	WINTERSKY	WINTERSKY	WINTERSKY



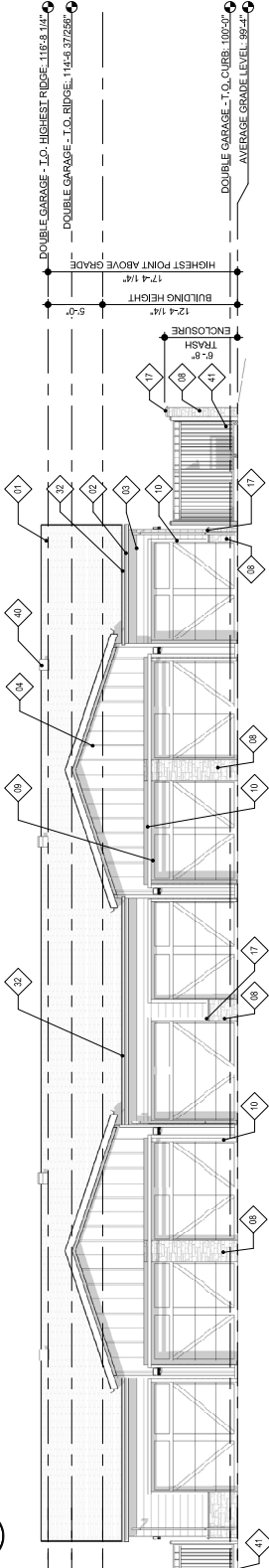
8 RIGHT ELEVATION - DOUBLE GARAGE
 1/16" = 1'-0"

4 REAR ELEVATION - DOUBLE GARAGE
 1/16" = 1'-0"



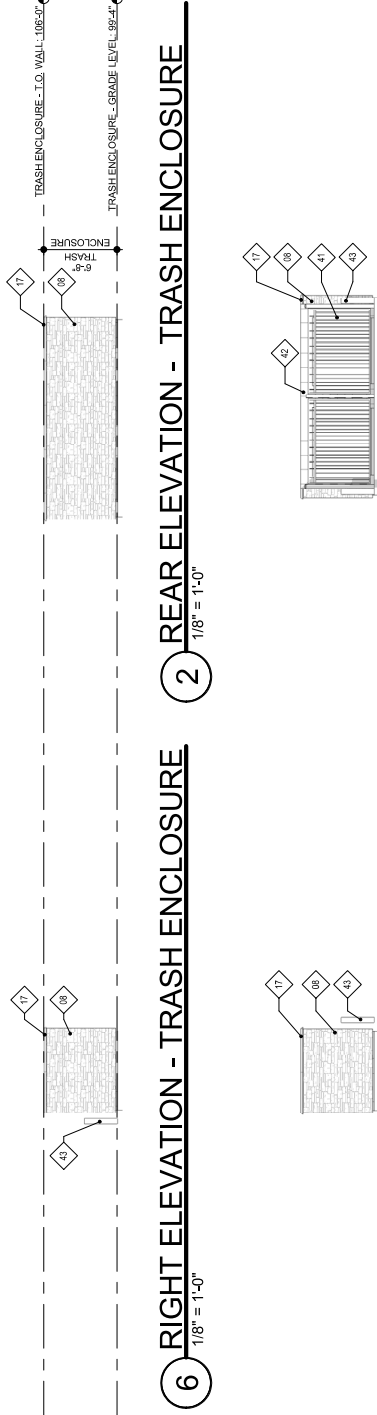
7 LEFT ELEVATION - DOUBLE GARAGE
 1/16" = 1'-0"

3 FRONT ELEVATION - DOUBLE GARAGE
 1/16" = 1'-0"



6 RIGHT ELEVATION - TRASH ENCLOSURE
 1/16" = 1'-0"

2 REAR ELEVATION - TRASH ENCLOSURE
 1/16" = 1'-0"



5 LEFT ELEVATION - TRASH ENCLOSURE
 1/16" = 1'-0"

1 FRONT ELEVATION - TRASH ENCLOSURE
 1/16" = 1'-0"

#	DESCRIPTION
01	ARCHITECTURAL COMPOSITE SHINGLE ROOF
02	5/4" X 8" PAINTED FIBER CEMENT FASCIA
03	FIBER CEMENT BOARD & BATTEN SIDING
04	FIBER CEMENT BOARD & BATTEN PANEL SIDING
05	SYNTHETIC STONE VENEER SYSTEM
06	OVERHEAD GARAGE DOOR STEEL
07	5/4" X 4" PAINTED FIBER CEMENT ACCENT TRIM
08	PAINTED METAL GUTTER AND DOWNSPOUT
09	REFINISHED METAL GUTTER AND DOWNSPOUT
10	ROOF VENT MATCH ROOF COLOR
41	METAL TRASH ENCLOSURE GATE
42	CMU BLOCK WALL
43	EXTERIOR LIGHTING RE: PHOTOMETRIC PLAN
44	BUILDING TENANT SIGNAGE
49	



OUTLOOK BRIARGATE

SITUATED IN THE EAST 1/2 OF SECTION 5, TOWNSHIP 13 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
COLORADO SPRINGS, EL PASO COUNTY, STATE OF COLORADO
1650 BRIARGATE BOULEVARD

LANDSCAPE NOTES

- SOIL AMENDMENT * INCORPORATE 3 CUBIC YARDS/1000 SF AREA OF "PREMIUM 3 ORGANIC COMPOST", OR APPROVED EQUAL, ON BLUEGRASS TURF AREAS. INCORPORATE 2 CUBIC YARDS/1000 SF AREA OF ORGANIC COMPOST (DECOMPOSED MANURE) TO ALL NATIVE SEED AREAS. TILL INTO TOP 8" OF SOIL. FOR PLANTING PIT AMENDMENTS, SEE LANDSCAPE DETAILS.
- FERTILIZER REQUIREMENTS BELOW ARE BASED ON SOIL ANALYSIS:

Plant Nutrient	SHRUBS/ROSE/LEAF	SEED	SHRUBS/ROSE/LEAF
NITROGEN	0 LBS/1000SF	0 LBS/1000SF	0 LBS/1000SF
PHOSPHORUS (P2O5)	0 LBS/1000SF	0 LBS/1000SF	0 LBS/1000SF
POTASSIUM (K2O)	0 LBS/1000SF	0 LBS/1000SF	0 LBS/1000SF
MANGANESE	0 LBS/1000SF	0 LBS/1000SF	0 LBS/1000SF

- *NATIVE SEED FERTILIZER NOTE - APPLY NITROGEN AND OTHER FERTILIZER JUST PRIOR TO THE BEGINNING OF SPRING GROWTH. AFTER GRASS HAS ESTABLISHED, APPLYING NITROGEN TOO EARLY CAN STIMULATE COOL SEASON GRASSES AND WEEDS, THIS IS A SIGNED AFFIDAVIT ATTESTING TO THE SOIL AMENDMENTS INCORPORATED TO CORRECT DEFICIENCIES SHALL BE INCLUDED WITH THE CONTRACT TO UTILIZE STOCKPILED TOPSOIL FROM PHOTOMETRIC PLAN.
- CONTRACTOR TO UTILIZE STOCKPILED TOPSOIL FROM PHOTOMETRIC PLAN.
- FOR STANDARD LIGHTING AND LOCATIONS, REFER TO PHOTOMETRIC PLAN.
- ALL PRESERVATION AREAS CONTAINING VEGETATION DESIGNATED TO BE PRESERVED, SHALL BE FENCED OFF DURING CONSTRUCTION TO MINIMIZE DISTURBANCE IN THESE AREAS. ALL FENCING SHALL BE INSTALLED AROUND PRESERVED VEGETATION PRIOR TO ANY PRODUCT INFO TO L.A. FOR APPROVAL PRIOR TO INSTALLATION.
- A FULLY AUTOMATED SPRINKLER IRRIGATION SYSTEM WILL DRIP IRRIGATE ALL TREE, SHRUB, AND GROUND COVER PLANTING AREAS AND SPRAY ANY TURF. IRRIGATION PLAN WILL INCLUDE AN IRRIGATION SCHEDULE THAT NOTES APPLICATION RATES BASED ON TURF SEASONAL ADJUSTMENTS (SPRING AND FALL).
- NATIVE SEED AREAS TO USE SEED MIX SPECIFIED. ALL SEED AREAS SHALL BE IRRIGATED UNTIL ESTABLISHMENT. SUBMIT SEED MIX PRODUCT INFORMATION TO L.A. FOR APPROVAL PRIOR TO INSTALLATION.
- ROCK BOULDERS SHALL BE INSTALLED IN PLANTING BEDS TO RECEIVE 3" HIGH DEPTH MULCH RING UNLESS OTHERWISE SPECIFIED. MULCH RINGS TO BE SIZED PER PLANTING DETAILS.
- SOIL SHALL BE KENTUCKY BLUEGRASS BLEND.
- SOOTY SEPARATION BETWEEN SOIL AND NATIVE SEED, AND BETWEEN ALTERNATIVE TURF AND NATIVE SEED SHALL BE A ROLLED STRIP, WITHOUT STEEL EDGING.
- SEE: SOLID STEEL EDGING TO BE: "DURAEDGE" (1/8" THICK X 4" WIDE) STEEL LANDSCAPE EDGING, GREEN COLOR, WITH ROLLED EDGE AND 1/4" BEEL STAKES. SOLID STEEL EDGING EXCEPT WHERE NOTED BY THE PLANS.
- ALL TREES TO BE STAKED TO A MINIMUM OF 18 MONTHS. REMOVE STAKING MATERIALS ONCE TREE IS ESTABLISHED, WHICH MAY DEPEND ON TREE SPECIES, MATURITY AND SITE CONDITIONS.
- WOOD MULCH, GORILLA HAIR CEDAR WOOD MULCH SHALL BE USED IN SHRUB BEDS AS INDICATED ON PLAN.
- ALL LANDSCAPE BOULDERS SHOWN ON PLAN ARE TO BE 10-12 CUBIC FEET MINIMUM, _____ ROCK BOULDERS UNLESS OTHERWISE SPECIFIED.
- ALL LANDSCAPE BOULDERS SHOWN ON PLAN ARE TO BE 10-12 CUBIC FEET MINIMUM, _____ ROCK BOULDERS UNLESS OTHERWISE SPECIFIED.
- AN IRRIGATION PLAN, WITH APPLICABLE SUPPORT MATERIAL, MAY BE SUBMITTED AT TIME OF BUILDING PERMIT APPLICATION, REVIEW AND APPROVAL OF THESE PLANS SHALL OCCUR THIRTY (30) DAYS SUBSEQUENT TO BUILDING PERMIT ISSUANCE OR PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY, WHICHEVER OCCURS FIRST, UPON REQUEST BY THE APPLICANT, AN IRRIGATION PLAN, WITH APPLICABLE SUPPORT MATERIAL, SHALL BE SUBMITTED NINETY (90) DAYS SUBSEQUENT TO INSPECTION AND APPROVAL: NOTIFICATION FOR IRRIGATION INSPECTION AFFIDAVIT SHALL BE GIVEN DURING CONSTRUCTION WHILE TRENCH IS OPEN AND AFTER COMPLETION OF SYSTEM INSTALLATION PRIOR TO SEEDING OR SOODING. THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO CLIENT SEEKING CERTIFICATE OF OCCUPANCY FOR FINAL LANDSCAPE.
- ANY FIELD CHANGES OR DEVIATIONS TO THESE PLANS WITHOUT PRIOR CITY APPROVAL OF AN AMENDED DEVELOPMENT PLAN MAY RESULT IN A DELAY OF FINAL APPROVAL AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- THESE PLANS ARE FOR CITY APPROVAL ONLY AND ARE NOT TO BE UTILIZED FOR CONSTRUCTION.
- ALL FIRE DEPARTMENT CONNECTIONS (FDC) SHALL NOT BE VISUALLY OR PHYSICALLY OBSTRUCTED BY LANDSCAPING.
- ENHANCED IMPACT PLANTINGS AND BOULDERS WILL BE ADDRESSED IN DETAIL AT TIME OF FINAL LANDSCAPE PLAN.

Internal Landscaping See Code Section Policy 322 & 317

Net Site Area (SF)	Percent Minimum	Internal Area (SF)	Internal Trees (1/500 SF)	Percent Ground Plane Required/Provided
549,598 S.F.	15%	82,440 / 125,858	165 / 92	75% / 75%

Shrub Substitutes: 75% / 75%
 Ornamental Grass Substitutes: 75% / 75%
 Denoted on Plan: Veg. Req. / Prov.

Motor Vehicle Lots See Code Section Policy 321 & 317

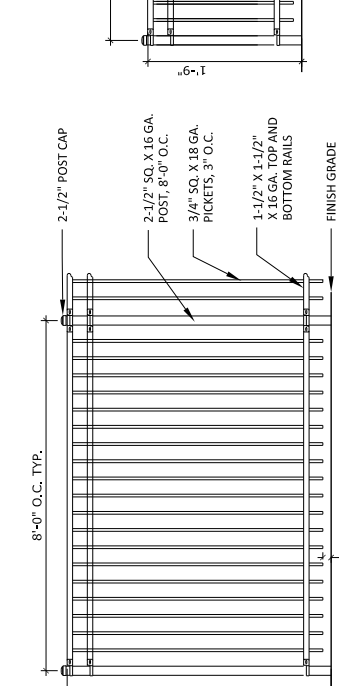
No. of Vehicles Spaces Provided	Shade Trees (1/15 spaces)	Vehicle Lot Frontages (excluding driveways)	Length of Frontage	2/3 Length Frontages	544 FT	86 FT
451	31 / 31 (8%)	816 FT	128 FT	816 FT	816 FT	86 FT

Min. 2' Screening: 808 FT
 Vehicle Lot Plant: 75% / 75%
 Plants Req. / Prov.: 151 / --
 Veg. Req. / Prov.: 75% / 75%

Landscape Buffer & Screens See Code Section Policy 323 & 317

Street Name or Property Line	Linear Length (ft.)	Evergreen Trees Required/Provided	Buffer Trees (1/20) Required/Provided	Evergreen Trees (1/20) Required/Provided
151 / 15	3,985	65 / 65	150 / 150	65 / 65

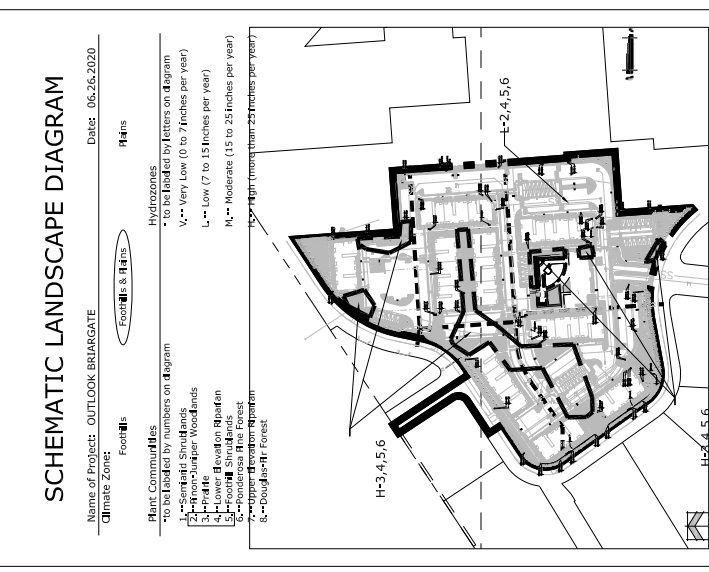
Shrub Substitutes: 75% / 75%
 Ornamental Grass Substitutes: 75% / 75%
 Denoted on Plan: Veg. Req. / Prov.



1 POOL FENCE SCALE: NOT TO SCALE

2 GUARDRAIL SCALE: NOT TO SCALE

CONDITIONAL USE DEVELOPMENT PERMIT



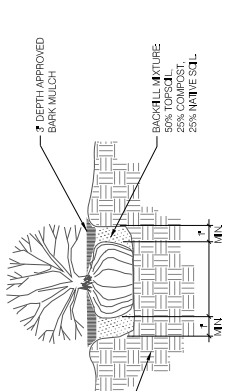
PLANT SCHEDULE

DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH	SIZE	COND	KEY
•	Qk sh2	19	<i>Quercus tibacanthus</i> 'Premis' / Shademaster Loust	45'	35"	2' Cal.	B&B	45A
+	Qs	11	<i>Quercus shumardii</i> / Shumard Red Oak	40'	30"	2.5' Cal.	B&B	
•	Tco	8	<i>Tilia cordata</i> / Uttidear Linden	45'	35"	2' Cal.	B&B	45
•	Um new	13	<i>Ulmus americana</i> 'New Harmony' / New Harmony American Elm	60'	35"	2' Cal.	B&B	457DA

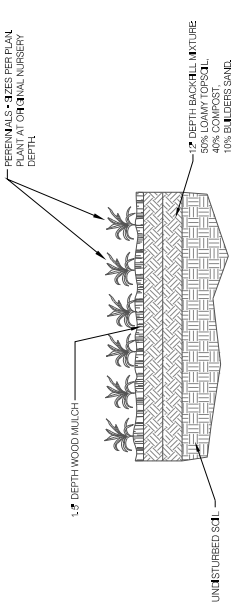
EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH	SIZE	COND	KEY
•	Am	6	<i>Abies concolor</i> / White Fir	50'	20"	6' HT	B&B	4567SSA
•	Js	8	<i>Juniperus scopulorum</i> 'Gray Queen' / Gray Queen Juniper	15'	6"	6' HT	B&B	125678D
•	Pgg	55	<i>Picea pungens glauca</i> 'Baby Blue Eyes' / Baby Blue Eyes Colorado Blue Spruce	15'	10"	6' HT	B&B	678S
•	Pf	26	<i>Pinus flexilis</i> 'Vanderhoff's Pyramid' / Vanderhoff's Pyramid Pine	30'	15"	6' HT	B&B	678S
•	Hn2	17	<i>Pinus strobtiformis</i> / Southwestern White Pine	45'	25"	6' HT	B&B	564D

ORNAMENTAL TREE	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH	SIZE	COND	KEY
•	Acz	25	<i>Acer grandidentatum</i> 'Rocky Mountain Glow' / Bigtooth Maple	25'	15"	2' Cal.	B&B	7S
•	Amc gra	11	<i>Amelanchier x grandiflora</i> 'Autumn Brilliance' / Autumn Brilliance Serviceberry	20'	15"	2' Cal.	B&B	4578S
•	Ms	2	<i>Malus x 'Spring Snow'</i> / Spring Snow Crab Apple	25'	25"	2.5' Cal.	B&B	467S
•	Ph	9	<i>Prunus nigra</i> 'Princess Kay' / Princess Kay Plum	20'	20"	2' Cal.	B&B	467S

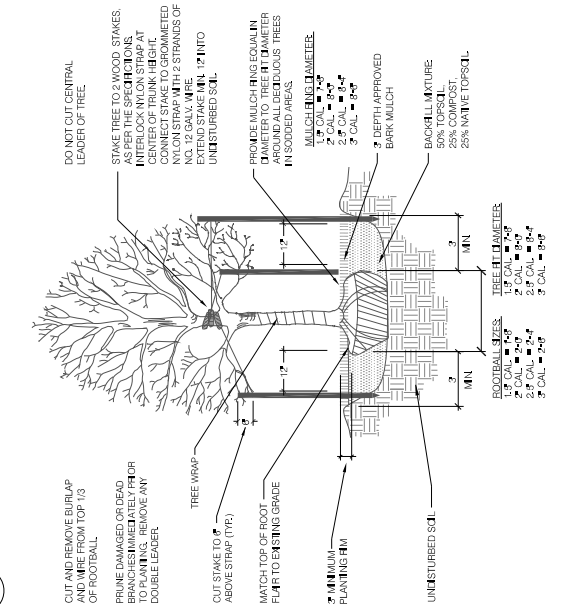
Signatures: *Project* 1/5
Scale 1/5
Date 1/5
 Total No. of Trees: 145 = 100% Signature Trees



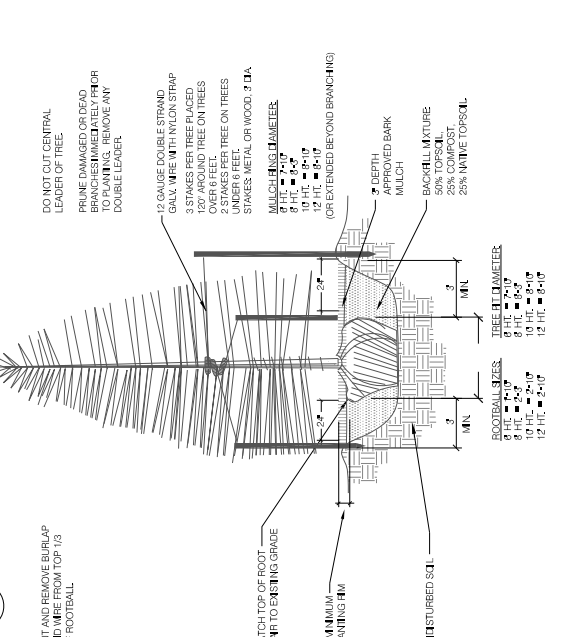
3 SHRUB PLANTING DETAIL SCALE: NOT TO SCALE



4 PERENNIAL / GROUND COVER PLANTING SCALE: NOT TO SCALE



5 DECIDUOUS TREE PLANTING DETAIL SCALE: NOT TO SCALE

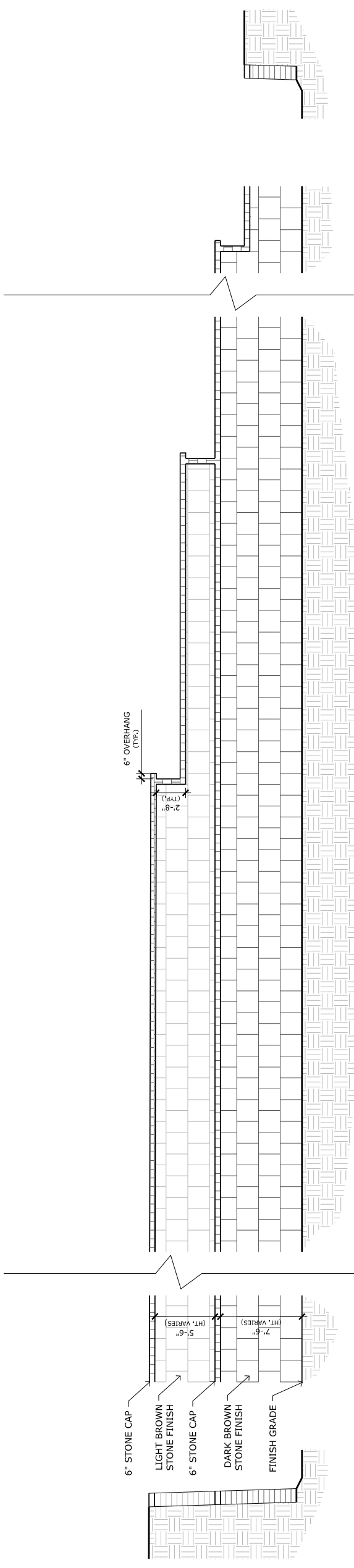


6 CONIFEROUS TREE PLANTING DETAIL SCALE: NOT TO SCALE

OUTLOOK BRIARGATE

SITUATED IN THE EAST 1/2 OF SECTION 5, TOWNSHIP 13 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
COLORADO SPRINGS, EL PASO COUNTY, STATE OF COLORADO
1650 BRIARGATE BOULEVARD

CONDITIONAL USE DEVELOPMENT PERMIT



SECTION

ELEVATION






SECTION

OUTLOOK BRIARGATE

SITUATED IN THE EAST 1/2 OF SECTION 5, TOWNSHIP 13 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
 COLORADO SPRINGS, EL PASO COUNTY, STATE OF COLORADO
 1650 BRIARGATE BOULEVARD

CONDITIONAL USE DEVELOPMENT PERMIT

GROUND COVER LEGEND

-  ROCK MULCH 1
-  ROCK MULCH
-  SOD
-  ROCK COBBLE
-  SWQ SEED MIX
Custom per City Standards



MATCHLINE SHEET 22
 MATCHLINE SHEET 23

09-04-2020

12-18-2020

REVISION DATE: 01-15-2021

ISSUE DATE: 06-19-2020

SHEET 22 OF 27

OUTLOOK BRIARGATE - CITY FILING NO: CPC DP 20-00104

PRELIM. LANDSCAPE PLAN

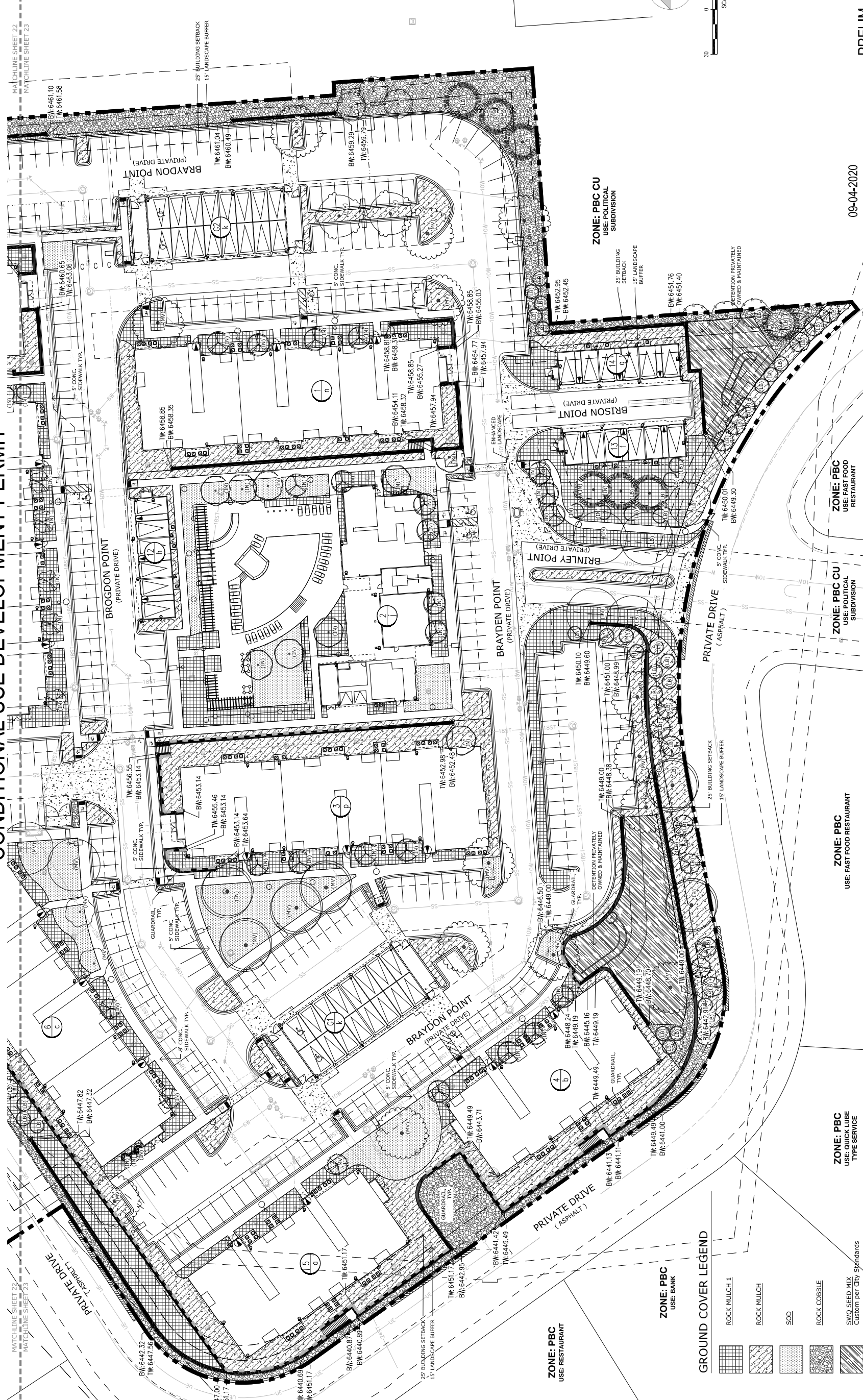
PROJECT #: 200107

CONDITIONAL USE DEVELOPMENT PLAN

OUTLOOK BRIARGATE

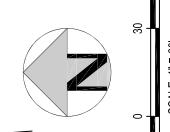
SITUATED IN THE EAST 1/2 OF SECTION 5, TOWNSHIP 13 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
 COLORADO SPRINGS, EL PASO COUNTY, STATE OF COLORADO
 1650 BRIARGATE BOULEVARD

CONDITIONAL USE DEVELOPMENT PERMIT



GROUND COVER LEGEND

[Pattern]	ROCK MULCH 1
[Pattern]	ROCK MULCH
[Pattern]	SOD
[Pattern]	ROCK COBBLE
[Pattern]	SWO SEED MIX Custom per City Standards



MATCHLINE SHEET 22
 MATCHLINE SHEET 23

MATCHLINE SHEET 22
 MATCHLINE SHEET 23

CONDITIONAL USE DEVELOPMENT PLAN

OUTLOOK BRIARGATE

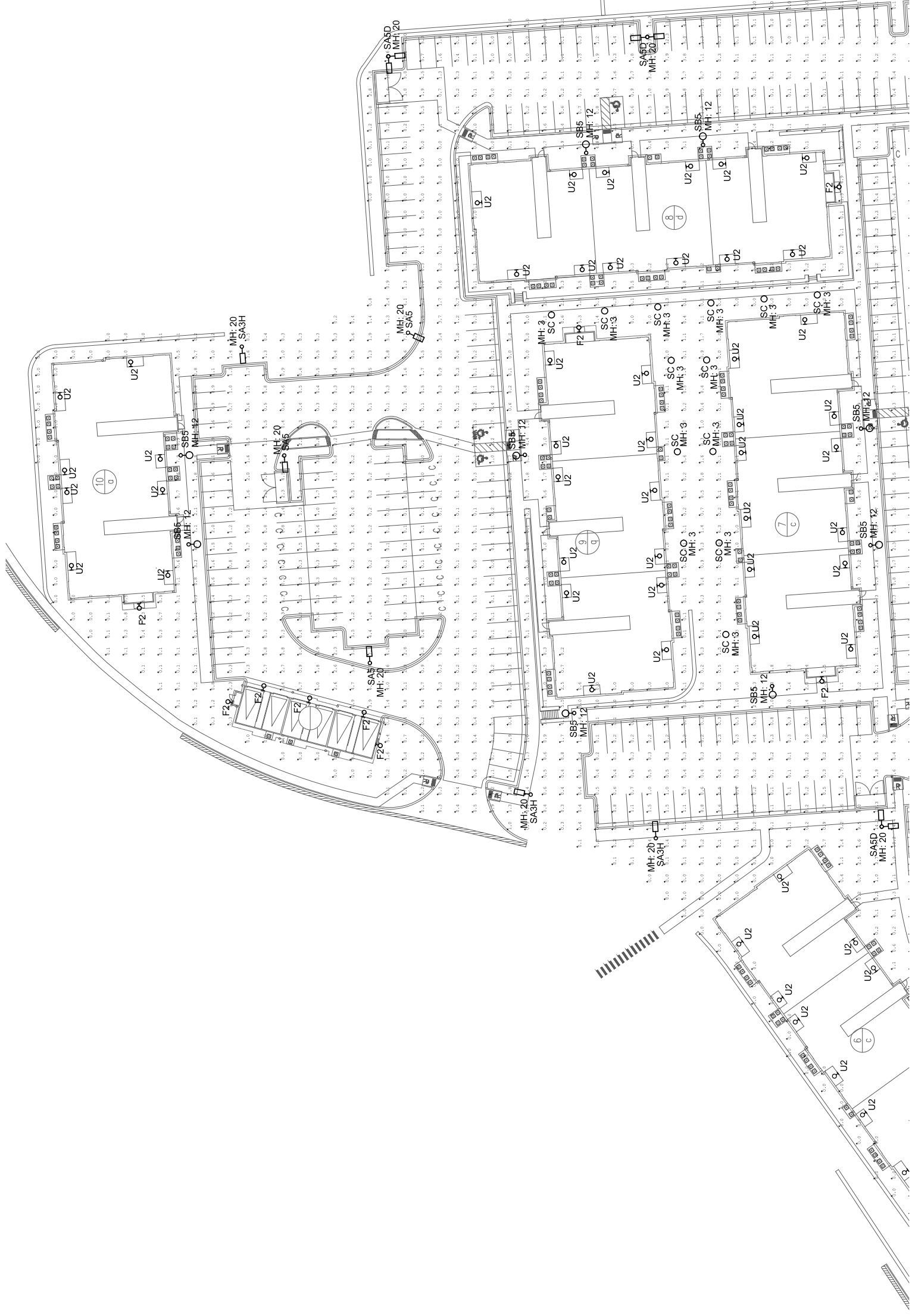
SITUATED IN THE EAST 1/2 OF SECTION 5, TOWNSHIP 13 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
 COLORADO SPRINGS, EL PASO COUNTY, STATE OF COLORADO
 1650 BRIARGATE BOULEVARD

CONDITIONAL USE DEVELOPMENT PERMIT

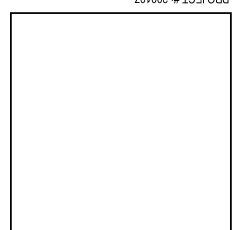
GENERAL NOTES:

1. ANY PROPOSED LIGHT FIXTURES INSTALLED ON PRIVATE PROPERTY ADJACENT TO PUBLIC ROW, SHALL BE ORIENTED IN A MANNER OR LIMITED IN LUMEN OUTPUT TO PREVENT GLARE PROBLEMS AND SHALL NOT EXCEED NATIONAL IES LIGHTING STANDARDS FOR DISABILITY GLARE.
2. ALL FIXTURES ARE IN UNITS OF FOOTCANDLES.
3. ALL VALUES TO BE FULL CUTOFF. REFER TO SPEC SHEETS FOR MORE INFORMATION.

Calculation Summary				
Label	Calc Type	Avg	Max	Min
Site Area	Illuminance	FC	14.4	0.0



SCALE: 1" = 30'



SITE PHOTOMETRIC PLAN

09-04-2020
 12-18-2020
 REVISION DATE: 01-15-2021
 ISSUE DATE: 06-19-2020
 SHEET 24 OF 27

OUTLOOK BRIARGATE - CITY FILING NO: CPC DP 20-00104

CONDITIONAL USE DEVELOPMENT PLAN

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOEHLER SMITH

OUTLOOK BRIARGATE

SITUATED IN THE EAST 1/2 OF SECTION 5, TOWNSHIP 13 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
 COLORADO SPRINGS, EL PASO COUNTY, STATE OF COLORADO
 1650 BRIARGATE BOULEVARD

CONDITIONAL USE DEVELOPMENT PERMIT

GENERAL NOTES:

1. ANY PROPOSED LIGHT FIXTURES INSTALLED ON PRIVATE PROPERTY ADJACENT TO PUBLIC ROW, SHALL BE ORIENTED IN A MANNER OR LIMITED IN LUMEN OUTPUT TO PREVENT GLARE PROBLEMS AND SHALL NOT EXCEED NATIONAL IES LIGHTING STANDARDS FOR DISABILITY GLARE.
2. ALL VALUES ARE IN UNITS OF FOOT-CANDLES.
3. ALL FIXTURES TO BE FULL CUTOFF. REFER TO SPEC SHEETS FOR MORE INFORMATION.

Calculation Summary			
Label	Calc Type	Avg	Max
Site Area	Illuminance	0.87	14.4
		FC	0.0



SCALE: 1" = 30'

SITE PHOTOMETRIC PLAN

09-04-2020
 12-18-2020
 REVISION DATE: 01-15-2021 ISSUE DATE: 06-19-2020 SHEET 25 OF 27
 OUTLOOK BRIARGATE - CITY FILING NO: CPC DP 20-00104

**CONDITIONAL USE
 DEVELOPMENT PLAN**

PROJECT # 200107

OUTLOOK BRIARGATE

SITUATED IN THE EAST 1/2 OF SECTION 5, TOWNSHIP 13 SOUTH, RANGE 66 WEST OF THE 6TH P.M. COLORADO SPRINGS, EL PASO COUNTY, STATE OF COLORADO
1650 BRIARGATE BOULEVARD

CONDITIONAL USE DEVELOPMENT PERMIT

TECHLIGHT
INNOVATION IN ILLUMINATION

CTL SERIES

High Lumen Output Cutoff Area Light

SERIES	HOUSING HEIGHT	LENGTH X WIDTH	SPREAD (FT)
CTL	44"	7.25" X 12.25"	1.4

FEATURES & SPECIFICATIONS

APPLICATION — The Cutless Series of High-output LED luminaires are designed to be replacement for high output area lighting in applications such as parking lots, industrial sites, and outdoor areas where uniform or wide traffic maintenance illumination is required. The high wattage, wide beam output area luminaire is ideal for parking, outdoor, sports, outdoor, or general area lighting applications.

CONSTRUCTION — The heavy-duty housing is constructed of cast aluminum with heat dissipating fins. The optical assemblies are sealed in aluminum housings for weather light protection. Modular design allows for easy installation and removal. The luminaire is designed for easy installation and removal. The luminaire is designed for easy installation and removal.

OPTICAL SYSTEM — Made with a standard 4x4 LED array, the luminaire provides high performance, high output area lighting. The luminaire is designed for easy installation and removal. The luminaire is designed for easy installation and removal.

ELECTRICAL SYSTEM — Available in up to 4x4 LED arrays, the luminaire provides high performance, high output area lighting. The luminaire is designed for easy installation and removal. The luminaire is designed for easy installation and removal.

Job Name: _____
Type: _____
Part #: _____
Notes: _____

LAKE24 SERIES

FEATURES/BENEFITS

- High quality LED light that meets industry norms.
- Environmentally friendly.
- Reliable and low maintenance.
- 7-year limited warranty on system.
- Standard colors are Black, White, Dark Green, and Dark Bronze. Custom colors available, consult factory.
- All exposed hardware shall be stainless steel.

SPECIFICATIONS

LUMINAIRE: Shall be constructed of corrosion resistant, heavy wall cast aluminum housing.

DRIVER: Electronic LED driver (120V/277V).

OPTIONAL: Dimming control (0-10V).

ELECTRICAL: Luminaire is designed for operation in wet locations. Luminaire is designed for operation in wet locations.

FINISH: Powder coat. Standard colors are Black, White, Dark Green, and Dark Bronze. Custom colors available, consult factory.

All exposed hardware shall be stainless steel.

Job Name: _____
Type: _____
Part #: _____
Notes: _____

AB3Q & AB4Q

Reveal Round & Square Bolards

Specifications and Features:

The LED3 AB3Q and AB4Q Emit LED Cutoff Bolards with polycarbonate lenses and sealed optical compartments are designed to replace HID lighting in applications such as parking lots, industrial sites, and outdoor areas where uniform or wide traffic maintenance illumination is required. The high wattage, wide beam output area luminaire is ideal for parking, outdoor, sports, outdoor, or general area lighting applications.

CONSTRUCTION — The heavy-duty housing is constructed of cast aluminum with heat dissipating fins. The optical assemblies are sealed in aluminum housings for weather light protection. Modular design allows for easy installation and removal. The luminaire is designed for easy installation and removal.

OPTICAL SYSTEM — Made with a standard 4x4 LED array, the luminaire provides high performance, high output area lighting. The luminaire is designed for easy installation and removal. The luminaire is designed for easy installation and removal.

ELECTRICAL SYSTEM — Available in up to 4x4 LED arrays, the luminaire provides high performance, high output area lighting. The luminaire is designed for easy installation and removal. The luminaire is designed for easy installation and removal.

Job Name: _____
Type: _____
Part #: _____
Notes: _____

TYPE SA3, SA3H, SA5 AND SA5D

SITE LUMINAIRE SCHEDULE							
TYPE	LAMPS/KELVIN	DESCRIPTION	HOUSING HEIGHT	LOAD, VA	VOLTS	MANUFACTURER/CAT. NO.	NOTES
SA3	4000K LED	SINGLE HEAD LED AREA LIGHT, TYPE 5 DISTRIBUTION	20' ABOVE GRADE	68	0VOLT	TECH LIGHTING CTL-AN-BT3-1EZ	FULL CUTOFF, FIXTURES TO BE CONTROLLED BY TIMECLOCK AND EXTERNAL PHOTOCELL
SA3H	4000K LED	SINGLE HEAD LED AREA LIGHT, TYPE 5 DISTRIBUTION, INTEGRAL HOUSE SIDED SHIELD	20' ABOVE GRADE	68	0VOLT	TECH LIGHTING CTL-AN-BT3-HZ2-2T5	FULL CUTOFF, FIXTURES TO BE CONTROLLED BY TIMECLOCK AND EXTERNAL PHOTOCELL
SA5	4000K LED	SINGLE HEAD LED AREA LIGHT, TYPE 5 DISTRIBUTION	20' ABOVE GRADE	10000	0VOLT	TECH LIGHTING CTL-AN-BT5M-1EZ	FULL CUTOFF, FIXTURES TO BE CONTROLLED BY TIMECLOCK AND EXTERNAL PHOTOCELL
SA5C	4000K LED	DOUBLE HEAD LED AREA LIGHT, TYPE 5 DISTRIBUTION	20' ABOVE GRADE	10000 / EACH	0VOLT	TECH LIGHTING CTL-AN-BT5M-1EZ	FULL CUTOFF, FIXTURES TO BE CONTROLLED BY TIMECLOCK AND EXTERNAL PHOTOCELL
SB5	4000K LED	SINGLE HEAD PEDESTRIAN AREA LIGHT, TYPE 5 DISTRIBUTION	12' ABOVE GRADE	5000	0VOLT	LAKE-16-2M-SW-SMT-T5-D62 AT02 SINGLE ARM SE SRP-FDARK BRONZE	FULL CUTOFF, FIXTURES TO BE CONTROLLED BY TIMECLOCK AND EXTERNAL PHOTOCELL
SC	4000K LED	LED BOLLARD	40' ABOVE GRADE	1547	0VOLT	MOBERN 330FF1X1BUK6Z	FULL CUTOFF, FIXTURES TO BE CONTROLLED BY TIMECLOCK AND EXTERNAL PHOTOCELL
C22	3000K LED	WET LISTED LED WALL SCOONCE	8' ABOVE GRADE	624	120	PROGRESS LIGHTING P560029-331-30	FULL CUTOFF, FIXTURES TO BE CONTROLLED BY TIMECLOCK AND EXTERNAL PHOTOCELL
C3, F2	4000K LED	WET LISTED LED WALL SCOONCE	7.5' ABOVE GRADE	1285	120	ENVOY ELED0PCAT3M-4K	FULL CUTOFF, FIXTURES TO BE CONTROLLED BY TIMECLOCK AND EXTERNAL PHOTOCELL
U2	4000K LED	WET LISTED LED WALL SCOONCE	6' ABOVE PATIO	800	120	SPECIFIED BY OTHERS	CONTROLLED BY RESIDENTS

- VERIFY EXACT FIXTURES CATALOG NUMBER, FINISH, LAMP(S), LENGTHS AND OPTIONS WITH TENDR/ARCHITECT PRIOR TO ORDERING.
- CONTRACTOR TO VERIFY COMPATIBLE DIMMER TYPE AND MANUFACTURER FROM LUMINAIRE CUT SHEET
- CONTRACTOR TO PROVIDE ALL PARTS AND ACCESSORIES FOR A COMPLETE AND FUNCTIONING SYSTEM.

TYPE SB5

SITE LUMINAIRE SCHEDULE							
TYPE	LAMPS/KELVIN	DESCRIPTION	HOUSING HEIGHT	LOAD, VA	VOLTS	MANUFACTURER/CAT. NO.	NOTES
SB5	4000K LED	SINGLE HEAD LED AREA LIGHT, TYPE 5 DISTRIBUTION	20' ABOVE GRADE	68	0VOLT	TECH LIGHTING CTL-AN-BT3-1EZ	FULL CUTOFF, FIXTURES TO BE CONTROLLED BY TIMECLOCK AND EXTERNAL PHOTOCELL
SB5	4000K LED	SINGLE HEAD LED AREA LIGHT, TYPE 5 DISTRIBUTION, INTEGRAL HOUSE SIDED SHIELD	20' ABOVE GRADE	68	0VOLT	TECH LIGHTING CTL-AN-BT3-HZ2-2T5	FULL CUTOFF, FIXTURES TO BE CONTROLLED BY TIMECLOCK AND EXTERNAL PHOTOCELL
SB5	4000K LED	SINGLE HEAD LED AREA LIGHT, TYPE 5 DISTRIBUTION	20' ABOVE GRADE	10000	0VOLT	TECH LIGHTING CTL-AN-BT5M-1EZ	FULL CUTOFF, FIXTURES TO BE CONTROLLED BY TIMECLOCK AND EXTERNAL PHOTOCELL
SB5C	4000K LED	DOUBLE HEAD LED AREA LIGHT, TYPE 5 DISTRIBUTION	20' ABOVE GRADE	10000 / EACH	0VOLT	TECH LIGHTING CTL-AN-BT5M-1EZ	FULL CUTOFF, FIXTURES TO BE CONTROLLED BY TIMECLOCK AND EXTERNAL PHOTOCELL
SB5	4000K LED	SINGLE HEAD PEDESTRIAN AREA LIGHT, TYPE 5 DISTRIBUTION	12' ABOVE GRADE	5000	0VOLT	LAKE-16-2M-SW-SMT-T5-D62 AT02 SINGLE ARM SE SRP-FDARK BRONZE	FULL CUTOFF, FIXTURES TO BE CONTROLLED BY TIMECLOCK AND EXTERNAL PHOTOCELL
SC	4000K LED	LED BOLLARD	40' ABOVE GRADE	1547	0VOLT	MOBERN 330FF1X1BUK6Z	FULL CUTOFF, FIXTURES TO BE CONTROLLED BY TIMECLOCK AND EXTERNAL PHOTOCELL
C22	3000K LED	WET LISTED LED WALL SCOONCE	8' ABOVE GRADE	624	120	PROGRESS LIGHTING P560029-331-30	FULL CUTOFF, FIXTURES TO BE CONTROLLED BY TIMECLOCK AND EXTERNAL PHOTOCELL
C3, F2	4000K LED	WET LISTED LED WALL SCOONCE	7.5' ABOVE GRADE	1285	120	ENVOY ELED0PCAT3M-4K	FULL CUTOFF, FIXTURES TO BE CONTROLLED BY TIMECLOCK AND EXTERNAL PHOTOCELL
U2	4000K LED	WET LISTED LED WALL SCOONCE	6' ABOVE PATIO	800	120	SPECIFIED BY OTHERS	CONTROLLED BY RESIDENTS

- VERIFY EXACT FIXTURES CATALOG NUMBER, FINISH, LAMP(S), LENGTHS AND OPTIONS WITH TENDR/ARCHITECT PRIOR TO ORDERING.
- CONTRACTOR TO VERIFY COMPATIBLE DIMMER TYPE AND MANUFACTURER FROM LUMINAIRE CUT SHEET
- CONTRACTOR TO PROVIDE ALL PARTS AND ACCESSORIES FOR A COMPLETE AND FUNCTIONING SYSTEM.

TYPE SC

5618 E. WASHINGTON BLVD. COMMERCE, CA 90040
PHONE: (323)890-9000 • FAX: (323)890-1881 • EMAIL: info@echolighting.com
WEBSITE: www.echolighting.com

Ordering Information:

Model	Power Source	Wattage	Driver	CCT	Lens	Color	Height	Options
AB3Q	120V/277V	150W	120V/277V	3000K	Clear	Black	44"	None
AB4Q	120V/277V	300W	120V/277V	3000K	Clear	Black	44"	None
AB3Q	120V/277V	150W	120V/277V	3000K	Clear	Black	44"	None
AB4Q	120V/277V	300W	120V/277V	3000K	Clear	Black	44"	None

Dimensions:

Width (B): 10" (254mm)
Height (A): 44" (1118mm)
Height (C): 44" (1118mm)

Notes:

1. All dimensions are in inches unless otherwise noted.

2. All dimensions are in millimeters unless otherwise noted.

3. All dimensions are in centimeters unless otherwise noted.

4. All dimensions are in meters unless otherwise noted.

5. All dimensions are in feet unless otherwise noted.

6. All dimensions are in kilometers unless otherwise noted.

7. All dimensions are in miles unless otherwise noted.

8. All dimensions are in nautical miles unless otherwise noted.

9. All dimensions are in light years unless otherwise noted.

10. All dimensions are in parsecs unless otherwise noted.

11. All dimensions are in astronomical units unless otherwise noted.

12. All dimensions are in solar radii unless otherwise noted.

13. All dimensions are in solar diameters unless otherwise noted.

14. All dimensions are in solar masses unless otherwise noted.

15. All dimensions are in solar luminosities unless otherwise noted.

16. All dimensions are in solar winds unless otherwise noted.

17. All dimensions are in solar flares unless otherwise noted.

18. All dimensions are in solar storms unless otherwise noted.

19. All dimensions are in solar eclipses unless otherwise noted.

20. All dimensions are in solar coronas unless otherwise noted.

21. All dimensions are in solar winds unless otherwise noted.

22. All dimensions are in solar flares unless otherwise noted.

23. All dimensions are in solar storms unless otherwise noted.

24. All dimensions are in solar eclipses unless otherwise noted.

25. All dimensions are in solar coronas unless otherwise noted.

Job Name: _____
Type: _____
Part #: _____
Notes: _____

