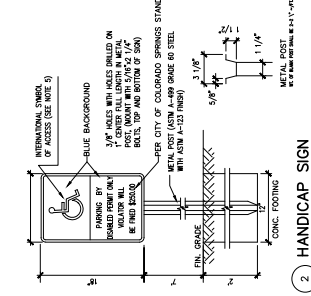
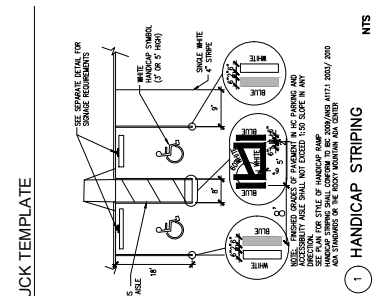
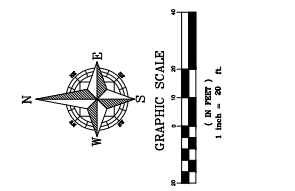
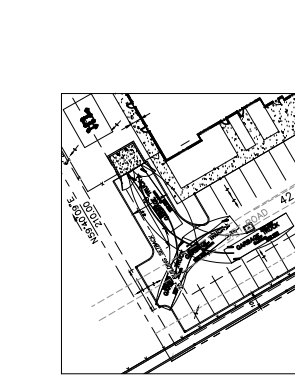
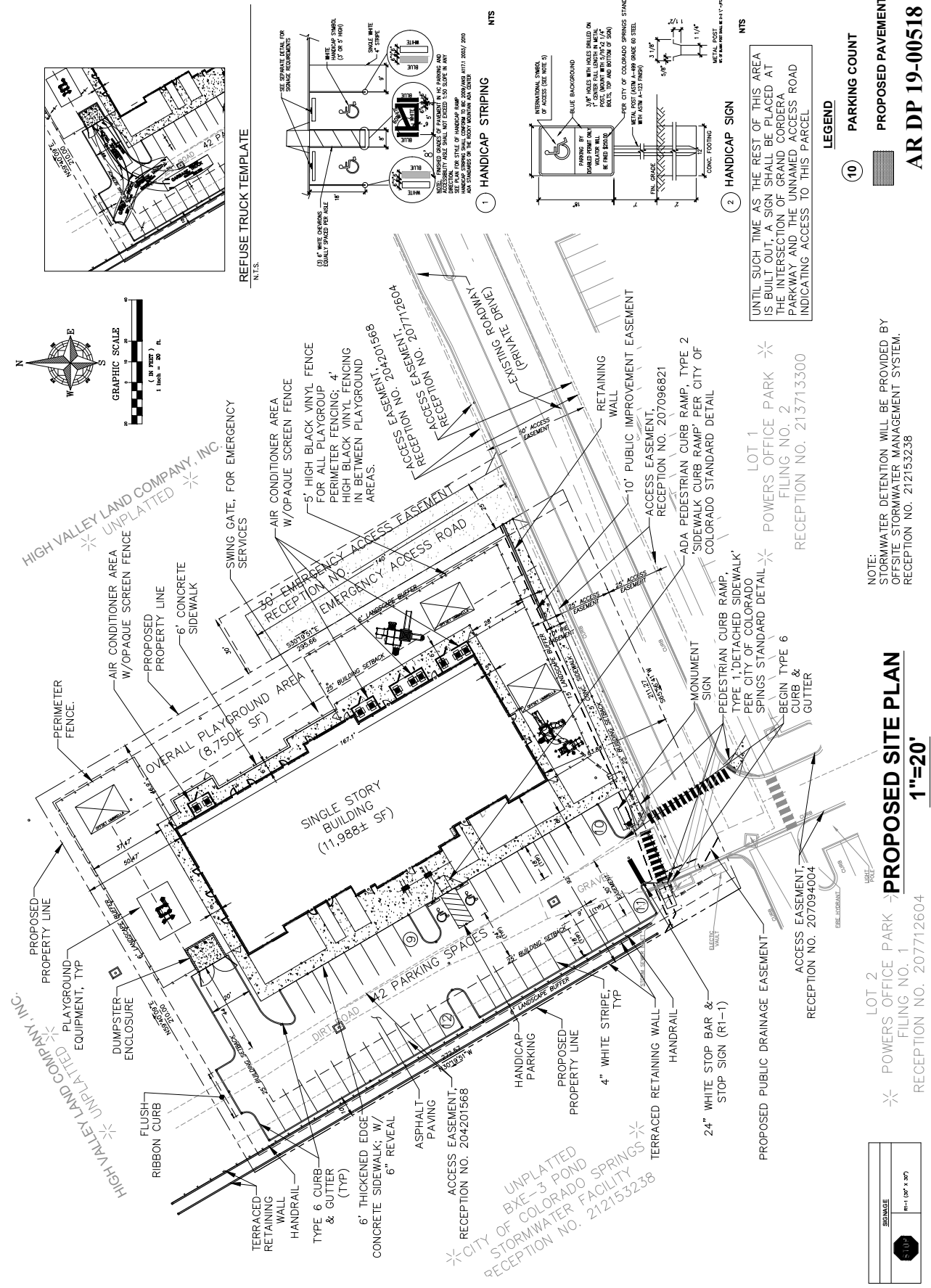




DATE	10/22/19	CITY OF COLORADO SPRINGS REVISION
NO.	1	
REVISION		

PROJECT NO.	2018.001
DATE	JUN 2018
BY	11-201
CHECKED BY	C-2
SCALE	1"=20'
SHEET	C-2
TOTAL SHEETS	1

ENGINEER OF RECORD	MICHAEL J. DANIEL, LLC 4775 Avenue P Suite 100 Colorado Springs, CO 80906 719.593.8888 mj.daniel@mjdanield.com
REGISTERED PROFESSIONAL ENGINEER	MICHAEL J. DANIEL, LLC 4775 Avenue P Suite 100 Colorado Springs, CO 80906 719.593.8888 mj.daniel@mjdanield.com



UNTIL SUCH TIME AS THE REST OF THIS AREA IS BUILT OUT, A SIGN SHALL BE PLACED AT THE INTERSECTION OF GRAND CORDERA PARKWAY AND THE UNNAMED ACCESS ROAD INDICATING ACCESS TO THIS PARCEL

**LEGEND**

10 PARKING COUNT

PROPOSED PAVEMENT

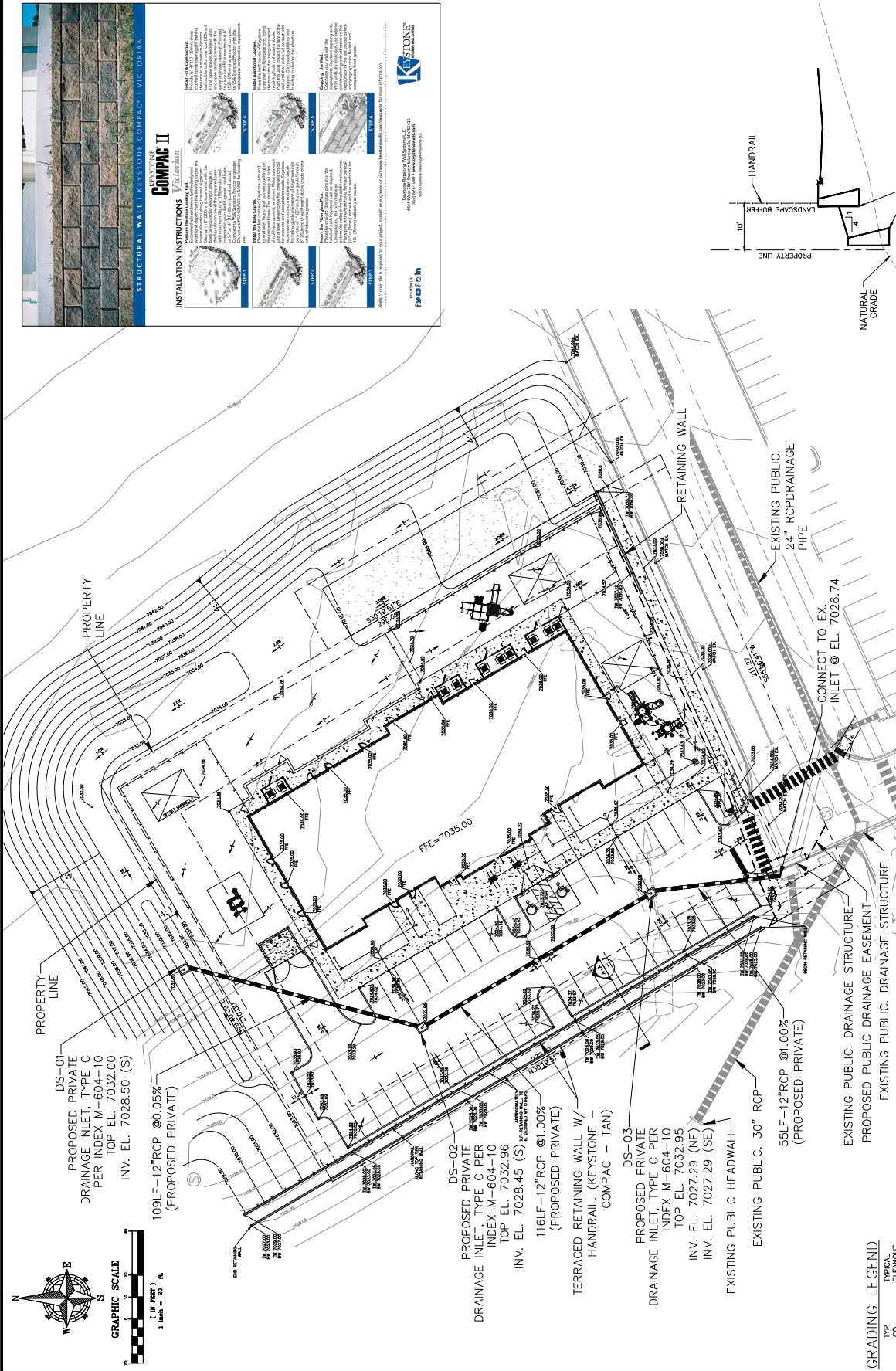
AR DP 19-00518

NOTE: STORMWATER DETENTION WILL BE PROVIDED BY OFFSITE STORMWATER MANAGEMENT SYSTEM. RECEPTION NO. 212153238

LOT 2  
 POWERS OFFICE PARK  
 FILING NO. 1  
 RECEPTION NO. 207712604

LOT 1  
 POWERS OFFICE PARK  
 FILING NO. 2  
 RECEPTION NO. 213713300

SCALE	1"=20' x 5'
-------	-------------



NO.	DATE	REVISION / ISSUE DATE
1	10/22/19	CITY OF COLORADO SPRINGS REVISION

RCE CONSULTANTS, LLC  
1075 Avenue Pkwy., Suite 200  
Colorado Springs, CO 80909  
PH: 719.575.8800  
WWW.RCECONSULTANTS.COM

Engineer of Record  
LARRY J. PETERSON  
RCE CONSULTANTS, LLC  
A MEMBER OF WILSONJONES GROUP

PROJECT: 2018.001  
DRAWING CHECKED: JMP  
DATE: JAN. 2018  
SHEET: 17 OF 20  
PROJECT NUMBER: C-3  
DRAWING TITLE: PRELIMINARY GRADING PLAN

**KEYSTONE COMPACT II**  
STRUCTURAL WALL | KEystone COMPACT VICTORIAN

**INSTALLATION INSTRUCTIONS**

**STEP 1: PREPARE THE SUBGRADE**  
Excavate to the finished grade. Compact the subgrade to a minimum of 95% relative compaction. Lay out the wall location and mark the centerline. Excavate the trench to the required depth and width. Compact the trench bottom and sides. Lay out the wall location and mark the centerline.

**STEP 2: LAY THE FIRST COURSE**  
Lay the first course of blocks on the prepared subgrade. The blocks should be laid in a staggered pattern. The blocks should be laid on a bed of sand or gravel. The blocks should be laid on a bed of sand or gravel.

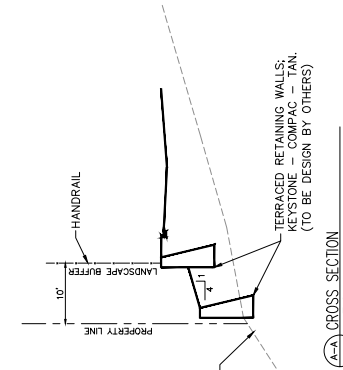
**STEP 3: ADD ADJUSTER COURSE**  
Lay the adjuster course of blocks on top of the first course. The adjuster course blocks should be laid in a staggered pattern. The adjuster course blocks should be laid on a bed of sand or gravel. The adjuster course blocks should be laid on a bed of sand or gravel.

**STEP 4: COMPLETE THE WALL**  
Lay the remaining courses of blocks on top of the adjuster course. The blocks should be laid in a staggered pattern. The blocks should be laid on a bed of sand or gravel. The blocks should be laid on a bed of sand or gravel.

**FINISHING NOTES:**  
The wall should be finished with a smooth surface. The wall should be finished with a smooth surface. The wall should be finished with a smooth surface.

**KEYSTONE**  
Keystone Building Solutions, LLC  
4000 West 104th Avenue, Suite 1000  
Denver, Colorado 80231  
www.keystonebuilding.com

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Keystone Building Solutions, LLC  
4000 West 104th Avenue, Suite 1000  
Denver, Colorado 80231  
www.keystonebuilding.com



**AR DP 19-00518**

**PRELIMINARY GRADING PLAN**

1"=20'

UTILITY NOTES  
1. ALL PRIVATE TO PUBLIC STORM SEWER CONNECTIONS MUST BE INSPECTED BY ENGINEERING DEVELOPMENT REVIEW INSPECTOR

**GRADING LEGEND**

TYP	TYPICAL
CO	CLEANOUT
INV	INVERT ELEVATION
DE	EXISTING GRADE ELEVATION
PE	PROPOSED TOP OF CURB ELEVATION
PI	PROPOSED TOP OF PAVEMENT ELEVATION
DI	DRAINAGE INLET
ME	MIEDED END SECTION
PS	PROPOSED SMALL STORMWATER FLOW
SS	STORM SEWER STRUCTURE NUMBER

NO.	DATE	REVISION / ISSUE DATE
1	10/22/19	CITY OF COLORADO SPRINGS REVISION

RCE CONSULTANTS, LLC  
1475 Avenue of the  
Centuries, Suite 1000  
Colorado Springs, CO 80902  
PH: 719.575.8800  
WWW.RCECONSULTANTS.COM

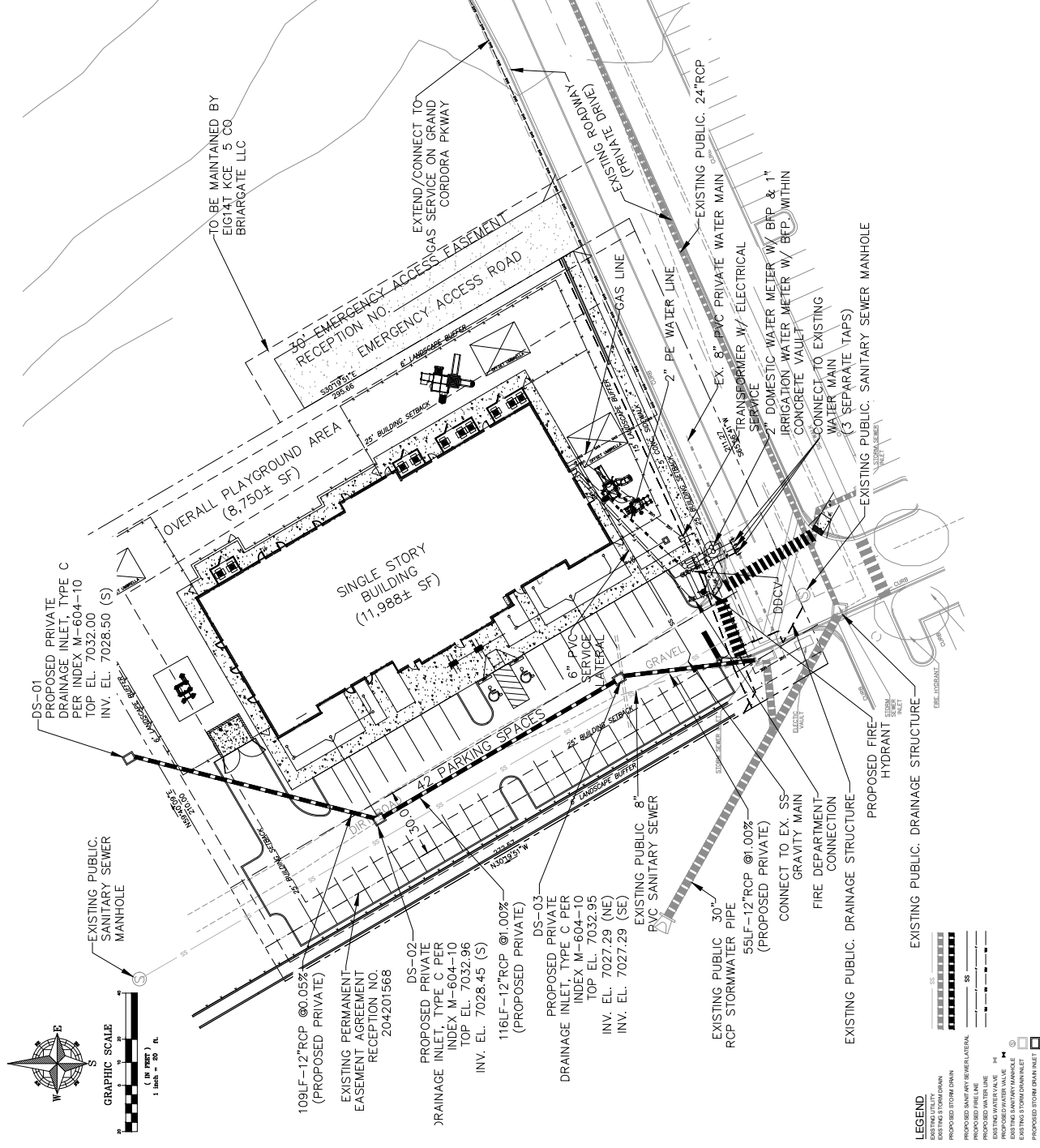
Engineer of Record  
  
RCE CONSULTANTS, LLC  
1475 Avenue of the  
Centuries, Suite 1000  
Colorado Springs, CO 80902  
PH: 719.575.8800  
WWW.RCECONSULTANTS.COM

PROJECT NO. 2018-001  
DRAWING CHECKED: MJP  
DATE: JAN. 2018  
SHEET: C-4  
SCALE: 1"=20'  
PROJECT: BRIARGATE KINDERCARE  
PUBLIC UTILITY PLAN

- UTILITY NOTES:**
1. ALL UTILITIES TO BE CONSTRUCTED ACCORDING TO COLORADO SPRINGS STANDARDS AND SPECIFICATIONS.
  2. ALL UTILITY (WATER, SANITARY AND STORM DRAIN) INFRASTRUCTURE SHALL BE CONSTRUCTED TO THE PROPERTY BOUNDARY. THE SIZE OF PIPES, MANHOLES, INLETS AND SIMILAR WILL BE DONE AT THE DISCRETION OF THE ENGINEER.
  3. ALL WATER MAINS TO BE PVC C-900.
  4. ALL SANITARY SEWER MAINS TO BE PVC SDR-35.
  5. ALL STORM SEWER MAINS TO BE 15" RCP.
  6. ALL STORM SEWER MAINS WITHIN PUBLIC RIGHT OF WAY TO BE RCP.

Property Owner(s) acknowledge and agree to the following upon approval of Preliminary Utility Plan:

1. Colorado Springs Utilities (Spring Utilities) shall provide the final Administration of the location of all water, wastewater, electric and gas facilities, which may not be the same location as shown on this Preliminary Utility Plan.
2. Property Owner(s) shall be responsible for obtaining all necessary permits and approvals from the City of Colorado Springs, Colorado Springs Utilities, and the Colorado Department of Public Health Regional Building Department codes, in effect at the time of utility service connection and/or extension.
3. Spring Utilities shall be responsible for the cost of construction of all utility infrastructure necessary to provide service to the property, including but not limited to the design, construction, installation, and maintenance of integrated utility systems serving the Property and areas outside the Property boundary, including but not limited to the design, construction, installation, and maintenance of any gas or electrical lines to and within the Property. Owner may be eligible for a cost recovery agreement as provided in Utilities' Rules and Regulations.
4. Specific allocations or amounts of utility services, facilities, standards or standards are reserved for the Owner, and Spring Utilities makes no commitment as to the availability of any utility service to the Property.
5. The location or placement of any existing utility facilities within the Property, including but not limited to, shall be determined by Spring Utilities. Owner shall convey those easements, prior to recording or starting the construction of any utility facilities.
6. Owner shall dedicate by plat and/or convey by recorded document, all property and easements that Spring Utilities determines are required for all utility system facilities necessary to serve the Property and areas outside the Property boundary, including but not limited to the design, construction, installation, and maintenance of any gas or electrical lines to and within the Property. Owner may be eligible for a cost recovery agreement as provided in Utilities' Rules and Regulations.
7. The water system facilities must meet Spring Utilities criteria for water quality, reliability and quantity. Spring Utilities reserves the right to require the Owner to install additional water system facilities as a result of Owner's water system extensions. Owner may be required to submit a Water Quality Plan for the project.
8. Spring Utilities shall be responsible for the cost of construction of all utility infrastructure necessary to provide service to the property, including but not limited to the design, construction, installation, and maintenance of integrated utility systems serving the Property and areas outside the Property boundary, including but not limited to the design, construction, installation, and maintenance of any gas or electrical lines to and within the Property. Owner may be eligible for a cost recovery agreement as provided in Utilities' Rules and Regulations.
9. Spring Utilities shall be responsible for the cost of construction of all utility infrastructure necessary to provide service to the property, including but not limited to the design, construction, installation, and maintenance of integrated utility systems serving the Property and areas outside the Property boundary, including but not limited to the design, construction, installation, and maintenance of any gas or electrical lines to and within the Property. Owner may be eligible for a cost recovery agreement as provided in Utilities' Rules and Regulations.
10. It shall not be deemed a violation of any applicable law, ordinance, rule, regulation, or code of the City of Colorado Springs, Colorado Springs Utilities, or the State of Colorado, if the construction of any utility facilities is necessary to provide service to the property, including but not limited to the design, construction, installation, and maintenance of integrated utility systems serving the Property and areas outside the Property boundary, including but not limited to the design, construction, installation, and maintenance of any gas or electrical lines to and within the Property. Owner may be eligible for a cost recovery agreement as provided in Utilities' Rules and Regulations.



- LEGEND**
- EXISTING STORM DRAIN
  - PROPOSED STORM DRAIN
  - PROPOSED SANITARY SEWER LATERAL
  - PROPOSED SANITARY SEWER MAIN
  - PROPOSED FIRE LINE
  - EXISTING WATER MAIN
  - EXISTING WATER VALVE
  - EXISTING SANITARY MANHOLE
  - EXISTING SANITARY INLET
  - PROPOSED STORM DRAIN INLET

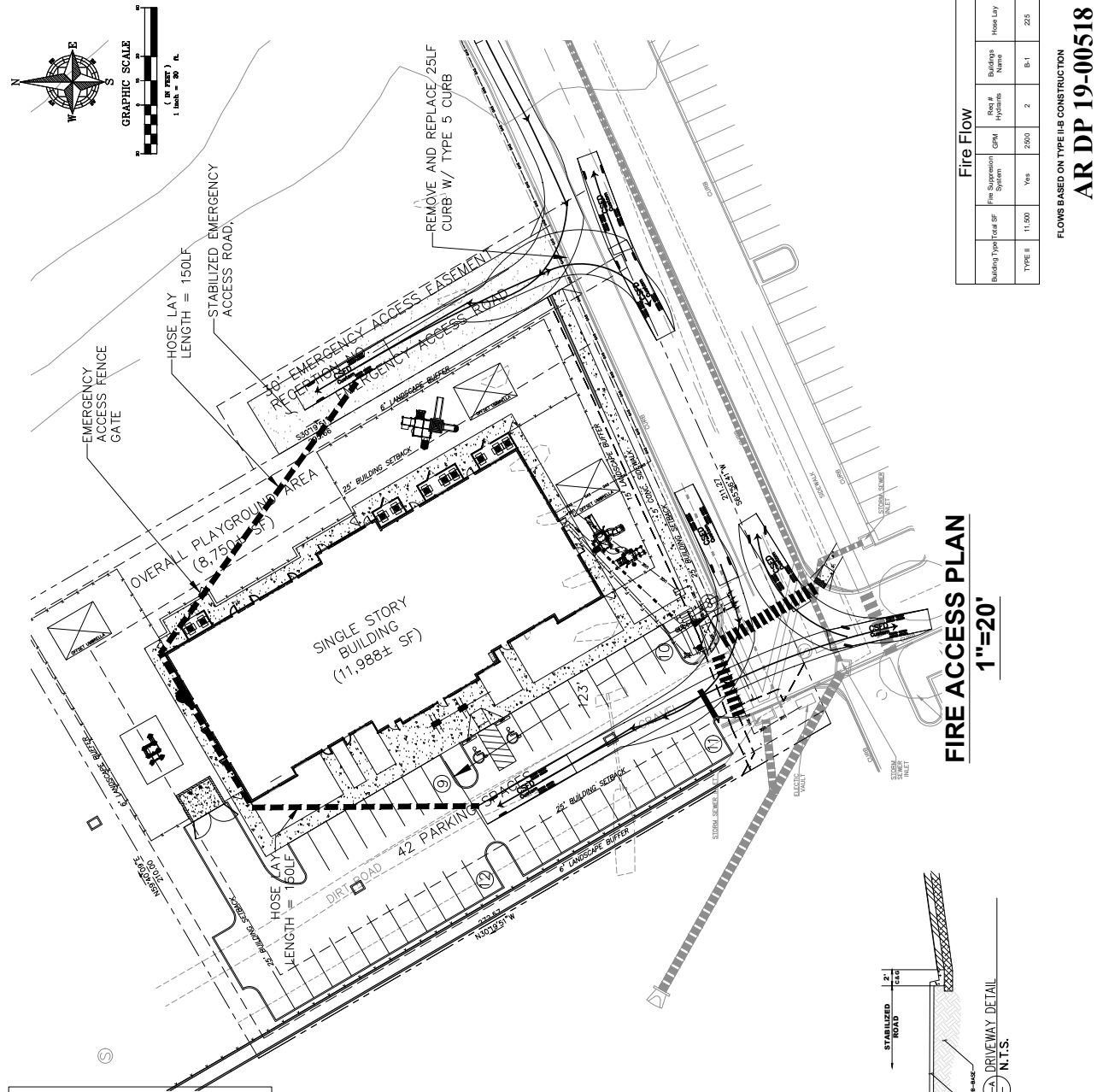
FIGURE 1

NO.	DATE	REVISION / ISSUE DATE
1	10/22/19	

RCE CONSULTANTS, LLC  
1475 Avenue of the  
Centuries, Suite 1000  
Colorado Springs, CO 80904  
PH: 719.578.1234  
WWW.RCECONSULTANTS.COM

Engineer of Record  
Name  
Title  
Professional Seal  
City of Colorado Springs Revision

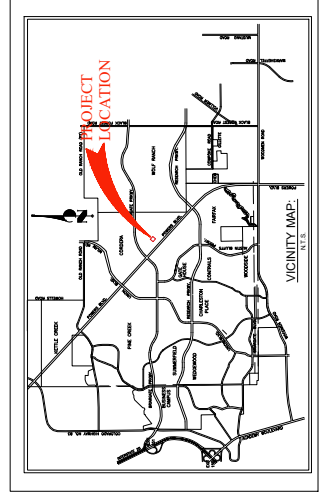
PROJECT: 2018.001  
DRAWING CHECKED: JMP  
DATE: JUN. 2018  
SHEET: C-5  
1"=20'



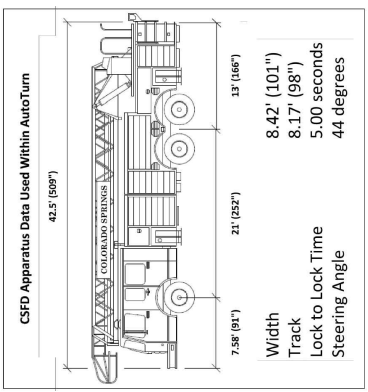
**FIRE ACCESS PLAN**  
**1"=20'**

FLOWES BASED ON TYPE IIB CONSTRUCTION  
**AR DP 19-00518**

Building Type/Total SF	Fire Suppression System	Fire Hydrants	Flow (GPM)	Flow Name	Flow Lay
TYPE II	11,000	Yes	2500	2	B-1
205					205



- NOTES:**
- APPROVED VEHICLE ACCESS FOR FIREFIGHTING SHALL BE PROVIDED TO ALL PERMANENT ROADS, CAPABLE OF SUPPORTING VEHICLE LOADING UNDER ALL WEATHER CONDITIONS. VEHICLE ACCESS SHALL BE MAINTAINED UNTIL PERMANENT FIRE ACCESS ROADS ARE AVAILABLE (2016 FC §410)
  - EMERGENCY ACCESS ROADS SHALL BE AN ALL-WEATHER SURFACE COMPRISED OF EITHER THE EXISTING SURFACE OR A NEW SURFACE. PERMANENT ROADS SHALL BE MAINTAINED UNTIL PERMANENT FIRE ACCESS ROADS ARE AVAILABLE (2016 FC §410). PERMANENT ROADS SHALL BE MAINTAINED UNTIL PERMANENT FIRE ACCESS ROADS ARE AVAILABLE (2016 FC §410). PERMANENT ROADS SHALL BE MAINTAINED UNTIL PERMANENT FIRE ACCESS ROADS ARE AVAILABLE (2016 FC §410). PERMANENT ROADS SHALL BE MAINTAINED UNTIL PERMANENT FIRE ACCESS ROADS ARE AVAILABLE (2016 FC §410).
  - FIRE DEPARTMENT ACCESS ROADS SHALL BE MADE SERVICABLE PRIOR TO AND DURING THE CONSTRUCTION PHASE. PERMANENT ROADS SHALL BE MAINTAINED UNTIL PERMANENT FIRE ACCESS ROADS ARE AVAILABLE (2016 FC §410).



**Shipping Requirements**

3.1 Design: When shipping is used to verify fire apparatus access roads, the shipping shall comply with the following: 4" max. for all openings used for marking of fire trucks must meet the following criteria:

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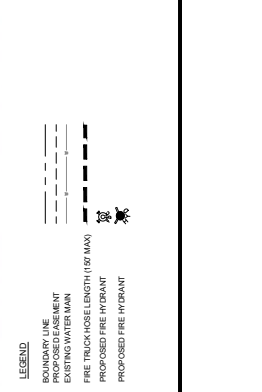


FIGURE 1



DATE	10/22/19
REVISION / ISSUE DATE	
NO.	1

RCE CONSULTANTS, LLC  
 477 Acacia Drive  
 Suite 100  
 Fountain, CO 80818  
 303.425.8800

Engineer of Record  
 \_\_\_\_\_  
 License # \_\_\_\_\_  
 RCE CONSULTANTS, LLC  
 Certified Professional Engineer

PROJECT	2018.001
DRAWING CHECKED: MJP	
DATE: JUN 2018	
SHEET: N/A	C-7
PHOTOMETRIC CUT SHEETS	

### Performance Data

**Lumen Ambient Temperature (LAT) Multipliers**

LAT	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	
Multiplier	1.00	0.98	0.96	0.94	0.92	0.90	0.88	0.86	0.84	0.82	0.80	0.78	0.76	0.74	0.72	0.70	0.68	0.66	0.64	0.62	0.60

**Electrical Load**

Fixture	Power (W)	Current (A)	VA
1x 100W	100	0.83	100
1x 200W	200	1.67	200
1x 300W	300	2.50	300
1x 400W	400	3.33	400
1x 500W	500	4.17	500
1x 600W	600	5.00	600
1x 700W	700	5.83	700
1x 800W	800	6.67	800
1x 900W	900	7.50	900
1x 1000W	1000	8.33	1000

**Project LED Luminaire Information**

Model	Power (W)	Current (A)	VA
100W	100	0.83	100
200W	200	1.67	200
300W	300	2.50	300
400W	400	3.33	400
500W	500	4.17	500
600W	600	5.00	600
700W	700	5.83	700
800W	800	6.67	800
900W	900	7.50	900
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**LED Luminaire Information**

Model	Power (W)	Current (A)	VA
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900W	900	7.50	900
1000W	1000	8.33	1000

### Ordering Information

**Accessories**

- 1. LED Luminaire: 100W, 200W, 300W, 400W, 500W, 600W, 700W, 800W, 900W, 1000W
- 2. LED Luminaire: 100W, 200W, 300W, 400W, 500W, 600W, 700W, 800W, 900W, 1000W
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**External Cable Shield**

**Drilling**

**Mounting Information**

**Photometric Data**

**Photometric Diagrams**

### Ordering Information

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- 1. LED Luminaire: 100W, 200W, 300W, 400W, 500W, 600W, 700W, 800W, 900W, 1000W
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**External Cable Shield**

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**External Cable Shield**

**Drilling**

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### Ordering Information

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**External Cable Shield**

**Drilling**

**Mounting Information**

**Photometric Data**

**Photometric Diagrams**

### Ordering Information

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- 1. LED Luminaire: 100W, 200W, 300W, 400W, 500W, 600W, 700W, 800W, 900W, 1000W
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**External Cable Shield**

**Drilling**

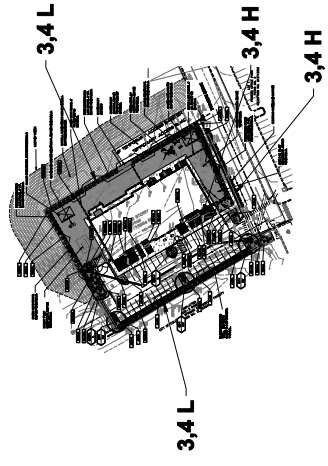
**Mounting Information**

**Photometric Data**

**Photometric Diagrams**

FIGURE 1

**CLIMATE ZONE: FOOTHILLS AND PLAINS PLAINS**



- PLANT COMMUNITIES**
- 1 - SEMI-DWARF SHRUBS
  - 2 - TALL GRASS (10' TO 15' IN)
  - 3 - PRairie
  - 4 - MEDIUM ELEVATION BARKMAN
  - 5 - FOOTHILL SHRUB LANDS
  - 6 - MOUNTAIN BIRCH FOREST
  - 7 - LOWER ELEVATION PRAIRIE
  - 8 - DOUGLASS-FIR FOREST
- HYDROZONES (SUPPLEMENTAL WATER)**
- V - VERY LOW (0.25" / AN / YR)
  - L - LOW (0.5" TO 2.0" / AN / YR)
  - M - MODERATE (2.5" TO 5.0" / AN / YR)
  - H - HIGH (MORE THAN 5.0" / AN / YR)

**SCHEMATIC LANDSCAPE DIAGRAM NOT TO SCALE**



**VICINITY MAP NOT TO SCALE**

**CITY AFFIDAVIT NOTE**

THE DESIGN PROFESSIONAL OF RECORD IS TO COMPLETE THE INSPECTION AFFIDAVIT BASED ON CITY APPROVED FINAL LANDSCAPE PLAN AND CONSTRUCTION DRAWINGS BY HGB, INC. IF ANY DISCREPANCY BETWEEN APPROVED FINAL LANDSCAPE PLAN AND CONSTRUCTION DRAWINGS IS IDENTIFIED, THE DESIGN PROFESSIONAL OF RECORD SHALL IMMEDIATELY NOTIFY THE CITY ENGINEER AND THE CITY PLANNER TO RESOLVE THE DISCREPANCY. THIS AFFIDAVIT IS NOT A GUARANTEE OF ACCURACY AND IS NOT A SUBSTITUTE FOR THE CITY ENGINEER'S INSPECTION. THE DESIGN PROFESSIONAL OF RECORD SHALL BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS AFFIDAVIT. THE DESIGN PROFESSIONAL OF RECORD SHALL BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS AFFIDAVIT. THE DESIGN PROFESSIONAL OF RECORD SHALL BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS AFFIDAVIT.

**IRRIGATION SYSTEM DESCRIPTION NOTE**

AN UNDERGROUND IRRIGATION SYSTEM WITH SURFACE DRIP COMPONENTS WILL BE USED TO IRRIGATE ALL PLANT MATERIAL AND A ROTARY SPRINKLER SYSTEM FOR TURF AND/OR SEEDING AREAS AS REQUIRED PER PLAN. IF THE IRRIGATION PLAN IS NOT SUBMITTED WITH THE FINAL, IT MUST BE SUBMITTED FOR REVIEW WITHIN 30 DAYS AFTER BUILDING PERMIT IS ISSUED. THE PLAN MUST BE APPROVED PRIOR TO ANY IRRIGATION COMPONENT INSTALLATION AND/OR ISSUANCE OF CERTIFICATE OF OCCUPANCY. CONTACT LANDSCAPE ARCHITECT.

THE IRRIGATION PLAN WILL INCLUDE WATERING SCHEDULE, WATER USE, ESTABLISHMENT GUIDELINES, AND WATER WATERING GUIDELINES. THE PROPERTY OWNER SHALL BECOME FAMILIAR WITH THESE GUIDELINES.

**SITE CATEGORY CALCULATIONS**

LANDSCAPE METHODS (L)	RECYCLED PLANT MATERIAL	RECYCLED PLANT MATERIAL	RECYCLED PLANT MATERIAL	RECYCLED PLANT MATERIAL
RECYCLED PLANT MATERIAL	RECYCLED PLANT MATERIAL	RECYCLED PLANT MATERIAL	RECYCLED PLANT MATERIAL	RECYCLED PLANT MATERIAL
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RECYCLED PLANT MATERIAL	RECYCLED PLANT MATERIAL	RECYCLED PLANT MATERIAL	RECYCLED PLANT MATERIAL	RECYCLED PLANT MATERIAL

**FINAL LANDSCAPE PLAN**

**GENERAL SITE NOTES**

- CONTRACTOR RESPONSIBLE FOR COORDINATING AND INSTALLING ALL SERVICES REQUIRED FOR SITE UTILITIES, INCLUDING BUT NOT LIMITED TO SANITARY, POTENTIAL, LIGHTING, AND ELECTRICAL. COORDINATE WITH GENERAL CONTRACTOR.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES, AS SHOWN ON THESE PLANS, IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO VERIFY EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR ALL APPLICABLE AGENCIES.
- ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION OF PUBLIC IMPROVEMENTS SHALL MEET OR EXCEED THE STANDARDS AND SPECIFICATIONS SET FORTH IN CITY OF COLORADO SPRINGS STANDARDS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR ALL APPLICABLE AGENCIES. ALL WORK SHALL BE INSPECTED AND APPROVED BY THE APPROPRIATE GOVERNING AGENCIES.
- THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE APPROVED CONSTRUCTION DOCUMENTS, ONE COPY OF THE FINAL LANDSCAPE PLAN, AND ONE COPY OF THE FINAL CONSTRUCTION DOCUMENTS. EXTRA COPIES OF THESE DOCUMENTS SHALL BE KEPT ON THE JOB, ON SITE AT ALL TIMES.
- ALL REFERENCES TO ANY REGULATORY STANDARDS SHALL REFER TO THE LATEST VERSION OF SAID STANDARD, UNLESS SPECIFICALLY STATED OTHERWISE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION DEBRIS TRUCKED FROM THE SITE.

**UTILITIES NOTE**

VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO START OF WORK. CALL IN THE UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO VERIFY EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES.

**DOCUMENT NOTE**

THIS PLAN IS THE PROPERTY OF HGB, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF HGB, INC. ANY REVISIONS TO THIS PLAN SHALL BE MADE BY ADDING CHANGES TO THIS PLAN. THIS PLAN IS THE PROPERTY OF HGB, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF HGB, INC.

**HIGHER GROUND DESIGNS, INC.**

LANDSCAPE ARCHITECTS, PLANNERS & RESTORATION DESIGN

1000 NORTH ACADAMY BLVD, STE. 200  
 COLORADO SPRINGS, CO 80908  
 TEL: 719.586.1122



**BIRABARATE CHILDCARE**

10700 E. WILSON AVE.  
 COLORADO SPRINGS, CO

PREPARED FOR  
 817 ONE LLC

THESE DRAWINGS AND THE PROPERTY OF HIGHER GROUND DESIGNS, INC. AND SHALL NOT BE USED FOR ANY OTHER PROJECTS WITHOUT WRITTEN PERMISSION OF HIGHER GROUND DESIGNS, INC.

**NOT FOR CONSTRUCTION**

JOB NUMBER: **817-18**

DATE: 10-31-19

DESIGNER: JIM

GENERAL NOTES

SCALE: 1/4" = 1'-0"

DATE: 10-31-19

OF



HIGHER GROUND DESIGNS, INC.  
LANDSCAPE ARCHITECTURE, PLANNING & RESTORATION SERVICES  
1000 NORTH ACADAMY BLVD., STE. 200  
DENVER, CO 80202  
TEL: 724-641-1234



BIRAPARTE CHILDCARE  
COLORADO SPRINGS, CO  
PREPARED FOR  
817 ONE LLC

NOT FOR CONSTRUCTION  
JOB NUMBER: 817-18  
REVISIONS:  
DATE: 10-31-19  
DRAWN BY: JMT  
ORIGINAL DATE: 10-31-19  
FINAL LANDSCAPE PLAN

### PLANT SCHEDULE

Symbol	Abb.	QTY.	Botanical Name	Common Name	Mature Planting Size
<b>DECIDUOUS TREES:</b>					
○	QAC	1	Quercus alba 'Chalcedoni'	Common White Oak	18' x 40'
○	QAC	2	Quercus macrocarpa 'Stuebeli'	White River Oak	2' dia.
○	QAC	2	Quercus macrocarpa 'Stuebeli'	White River Oak	1 1/2' dia.
○	QAC	2	Quercus macrocarpa 'Stuebeli'	White River Oak	1 1/2' dia.
<b>EVERGREEN TREES:</b>					
○	QAC	1	Quercus alba 'Chalcedoni'	Common White Oak	18' x 40'
○	QAC	2	Quercus macrocarpa 'Stuebeli'	White River Oak	2' dia.
○	QAC	2	Quercus macrocarpa 'Stuebeli'	White River Oak	1 1/2' dia.
○	QAC	2	Quercus macrocarpa 'Stuebeli'	White River Oak	1 1/2' dia.
<b>PERENNIALS:</b>					
○	QAC	1	Quercus alba 'Chalcedoni'	Common White Oak	18' x 40'
○	QAC	2	Quercus macrocarpa 'Stuebeli'	White River Oak	2' dia.
○	QAC	2	Quercus macrocarpa 'Stuebeli'	White River Oak	1 1/2' dia.
○	QAC	2	Quercus macrocarpa 'Stuebeli'	White River Oak	1 1/2' dia.

### GROUND COVER LEGEND

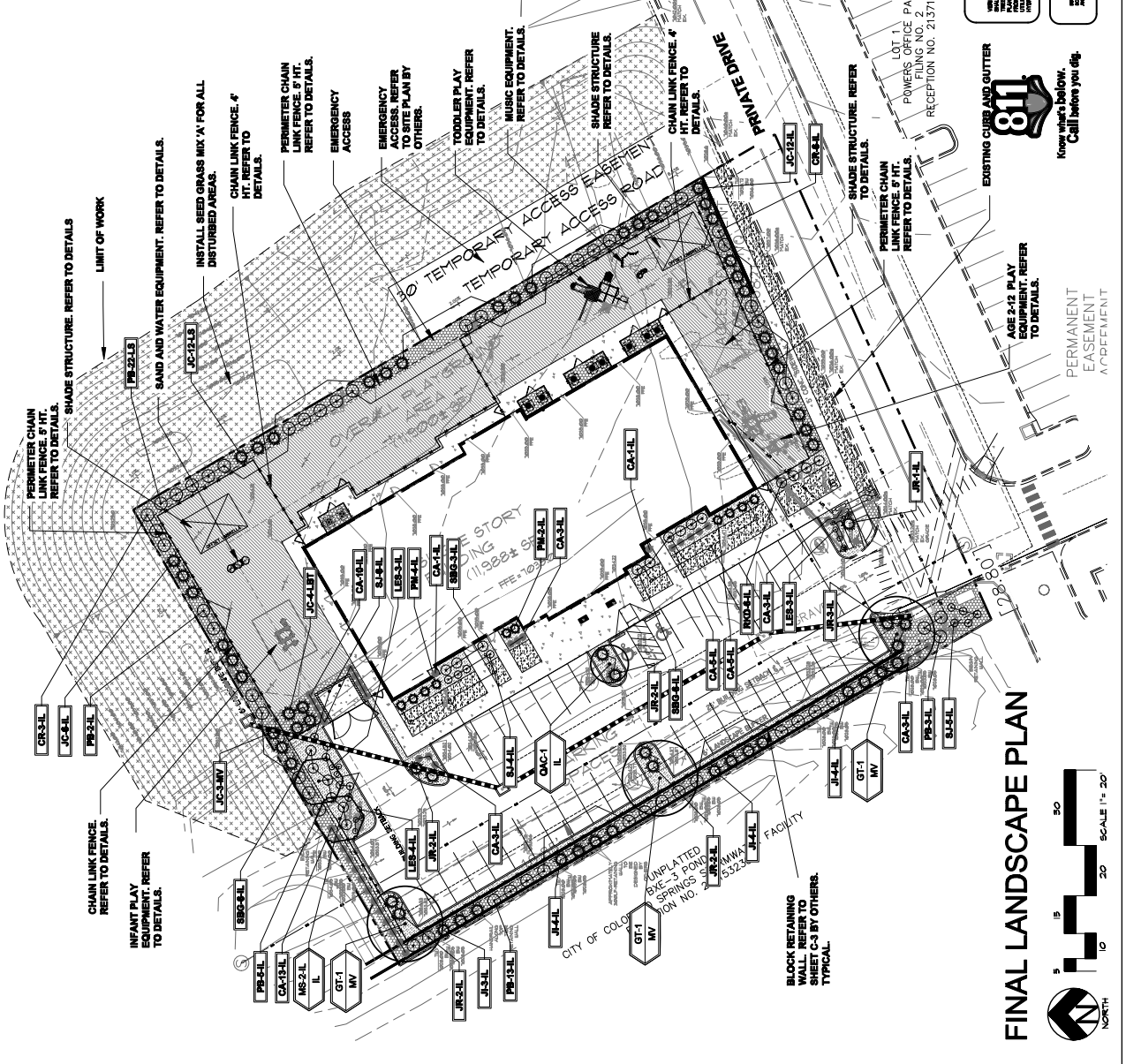
SYMBOL	DESCRIPTION	APPROX. SF
[Pattern]	Organic Mulch 4" - Refer to Note	2,000 SF
[Pattern]	Denver Granite Block: 36" Diameter (with weed barrier)	7,000 SF
[Pattern]	Kentucky Bluegrass Sod. Refer to notes	2,200 SF
[Pattern]	Non-irrigated Native Seed Mix 'A' - Refer to notes	23,204 SF
[Pattern]	Southwest Grasses turf: GB-045 P.L.A. 50	11,400 SF
[Pattern]	Steel Edge: Refer to notes	
[Pattern]	Accent Building: Denver Granite - 18" dia. 1g 30" dia.	

### GRADE NOTE

GRADE SHALL BE DETERMINED BASED ON THE FINISHED GRADE LATERALS AND PLAN. THE GRADE AT ALL EXISTING AND PROPOSED STRUCTURES SHALL BE 2' BELOW TOP OF FOUNDATION. AT ROCK BELT AREAS GRADE SHALL BE 2' BELOW TOP OF ROCK BELT. AT ROCK BELT AREAS GRADE SHALL BE 2' BELOW TOP OF ROCK BELT.

### UTILITIES NOTE

NOTE: LOCATION AND DEPTH OF ALL UTILITIES SHALL BE DETERMINED BY THE CONTRACTOR. CALL ALL UTILITIES LOCATIONS. REFER TO THE UTILITY RECORDS FOR THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLORADO SPRINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLORADO SPRINGS.



### FINAL LANDSCAPE PLAN

SCALE 1" = 20'

FIGURE 1





CLIENT

**EIGHT**  
3221 W Big Beaver, Suite 111  
Troy, MI 48064

**NOT FOR CONSTRUCTION**

DATE: 10/11/17

NO. 10

DATE: 10/11/17

NO. 10

DATE: 10/11/17

NO. 10

DATE: 10/11/17

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NO. 10

DATE: 10/11/17

NO. 10

DATE: 10/11/17

NO. 10

IBI

CONSULTANTS

PROJECT: KINDERCARE LEARNING CENTER

LOCATION: COLORADO SPRINGS, CO 80920

DESIGNED BY: [Name]

CHECKED BY: [Name]

PROJECT PLAN: [Name]

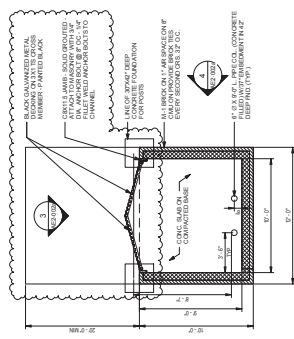
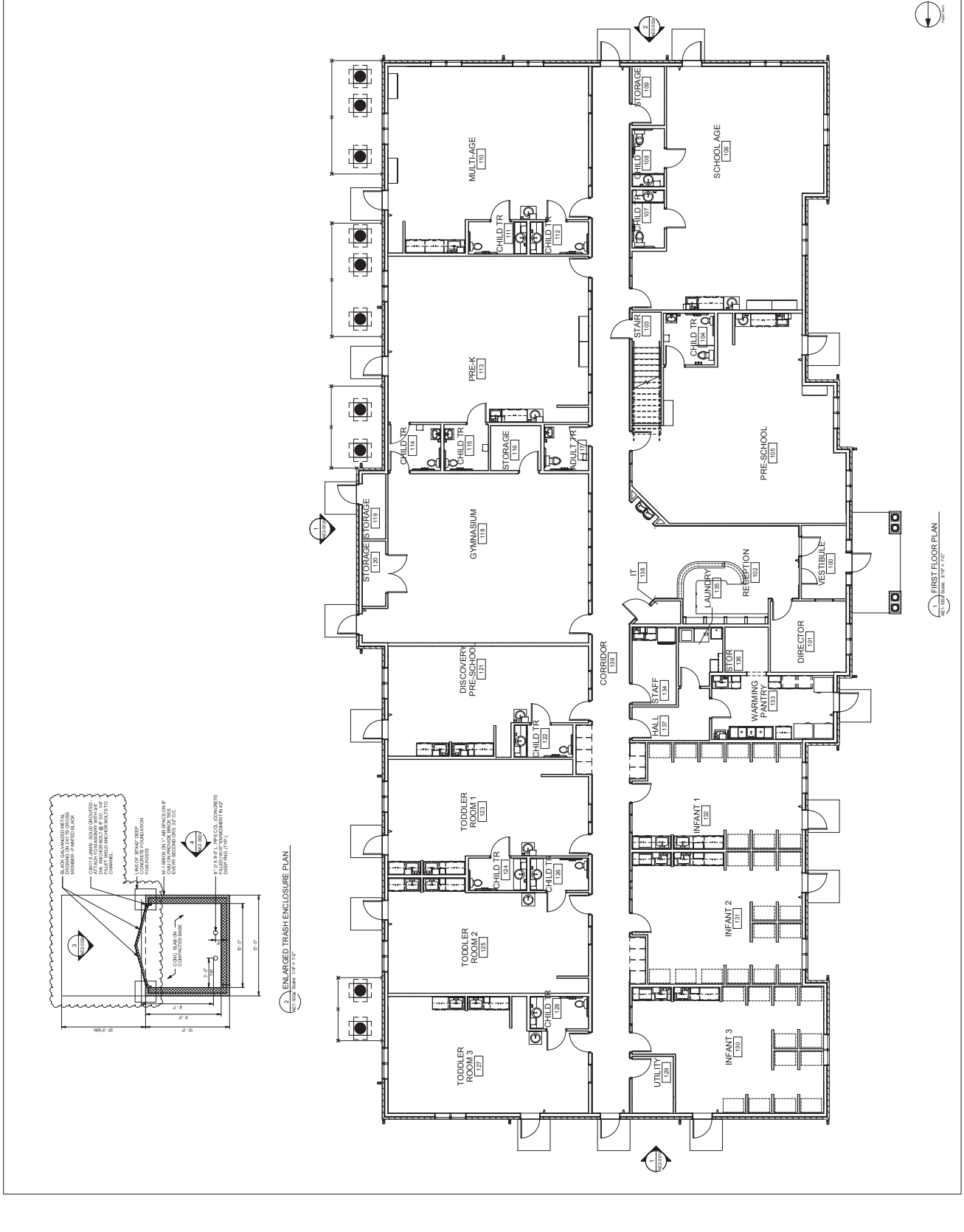
APPROVED BY: [Name]

DATE: 10/11/17

SHEET TITLE: FIRST FLOOR PLAN

SHEET NUMBER: AE1-100a

SCALE: B



ENLARGED TRASH ENCLOSURE PLAN  
SCALE: 1/8" = 1'-0"

FIGURE 1

CLIENT

**EIGHT**  
3221 W Big Beaver, Suite 111  
Troy, MI 48068

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NO.	DESCRIPTION	DATE

**NOT FOR CONSTRUCTION**



**CONSULTANTS**  
**mslp**  
MORRISON MASONRY SERVICES, LLC  
10000 W. WOODLAND AVENUE  
DENVER, CO 80231



SCALE

**PROJECT**  
KINDERCARE LEARNING CENTER  
COLORADO SPRINGS, CO 80920

**PROJECT NO.**  
18-0000

**DESIGNED BY**  
K. Anderson

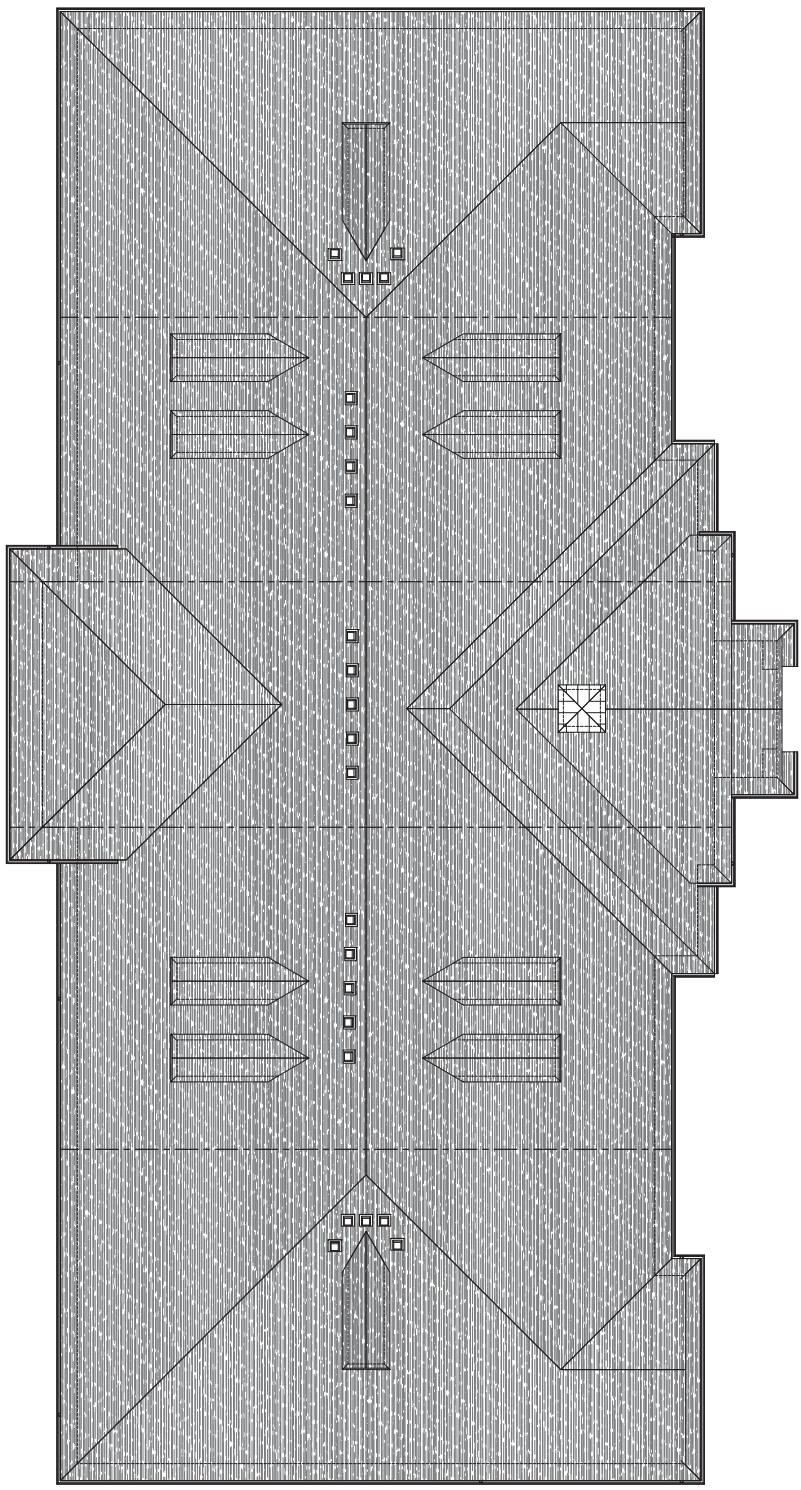
**PROJECT TEAM**  
K. Anderson  
A. Johnson  
S. Smith

**DATE**  
3/31/18

**SHEET TITLE**  
ROOF PLAN

**SHEET NUMBER**  
AE1-300a

**SCALE**  
A



- GENERAL NOTES - ROOF**
1. LOCATE ALL PLUMBING DEVICES NEAR EXTERIOR WALLS. PROVIDE SLOPE INDICATORS AND NUMBER FROM THIS SHEET.
  2. PROVIDE PREFABRICATED METAL FLASHING AT ALL ROOF PENETRATIONS.
  3. PROVIDE PREFABRICATED METAL FLASHING AT ALL ROOF PENETRATIONS. COORDINATE DOWNPOUT LOCATIONS WITH MECHANICAL CONTRACTORS.
  4. PROVIDE SEALED ARCHITECTURAL SKYLIGHTS AND ARCHITECTURAL SKYLIGHTS WITH INTEGRATED LED LIGHTING. PROVIDE SEALED ARCHITECTURAL SKYLIGHTS WITH INTEGRATED LED LIGHTING. PROVIDE SEALED ARCHITECTURAL SKYLIGHTS WITH INTEGRATED LED LIGHTING.
  5. PROVIDE SEALED ARCHITECTURAL SKYLIGHTS WITH INTEGRATED LED LIGHTING. PROVIDE SEALED ARCHITECTURAL SKYLIGHTS WITH INTEGRATED LED LIGHTING.
  6. PROVIDE SEALED ARCHITECTURAL SKYLIGHTS WITH INTEGRATED LED LIGHTING. PROVIDE SEALED ARCHITECTURAL SKYLIGHTS WITH INTEGRATED LED LIGHTING.



FIGURE 1

**EIGHT**  
3221 W. Big Beaver, Suite 111  
Troy, MI 48068

**NOT FOR CONSTRUCTION**

**IBI**

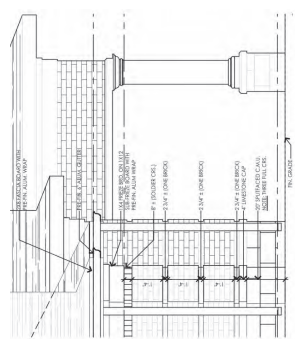
**Kindergarten LEARNING CENTER**

CONSULTANTS  
**msp**  
MORRISON MANAGEMENT SERVICES, P.C.  
10000 W. GRAND AVENUE, SUITE 1000  
DENVER, CO 80231  
PH: 303.733.8800  
WWW.MSPCONSULTANTS.COM

**Kindergarten LEARNING CENTER**

PROJECT: KINDERCARE LEARNING CENTER  
COLORADO SPRINGS, CO 80920  
DRAWN BY: [Name]  
CHECKED BY: [Name]  
PROJECT MANAGER: [Name]  
DATE: [Date]

SHEET NUMBER: AE2-001a  
SCALE: AS SHOWN  
SHEET TITLE: EXTERIOR ELEVATIONS



SYMBOL	ITEM	MANUFACTURER	FINISH	REMARKS
M1	BRICK	EMERSON BRICK	COMMON BRICK	
M2	ASPHALT SHINGLES	TRUSBULO 40 LIFETIME SHINGLES	TRUSBULO 40 LIFETIME SHINGLES	
M3	BRICKMATERIAL TRIM	TRIMITE EMBOSSE D TRIM COIL	TRIMITE EMBOSSE D TRIM COIL	
M4	ALUMINUM TRIM	PLASTER MIMIC	PLASTER MIMIC	
M5	STILES COLUMN	TOBE RETURNED	TOBE RETURNED	
M6	PRE-FINISHED ALUMINUM	METRIC HOME EXTERIORS	PRE-FINISHED ALUMINUM	
M7	STAINLESS STEEL	HAERLBY METAL	HAERLBY METAL	
M8	SPRUE FACE CMU	BRUE FACE CMU	BRUE FACE CMU	

NOTE: 1. WALLS OF DOOR AND FRAME SHALL BE FINISHED WITH A FINISH TO MATCH THE EXTERIOR WALLS.  
2. ALL METALS SHALL BE GALVANNEAL STEEL UNLESS OTHERWISE NOTED.  
3. ALL METALS SHALL BE PAINTED WITH A FINISH TO MATCH THE EXTERIOR WALLS.

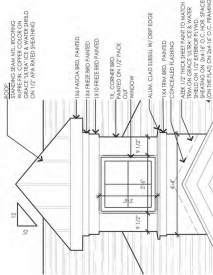
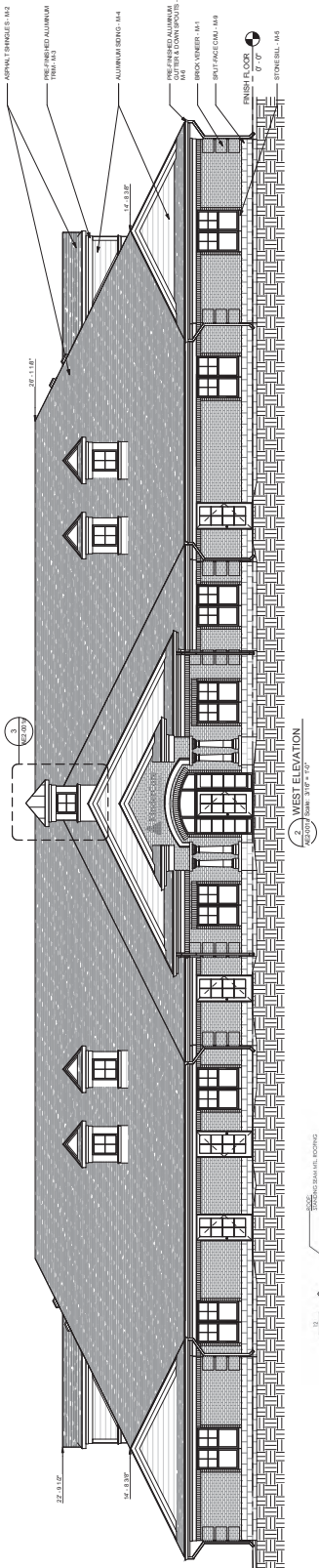
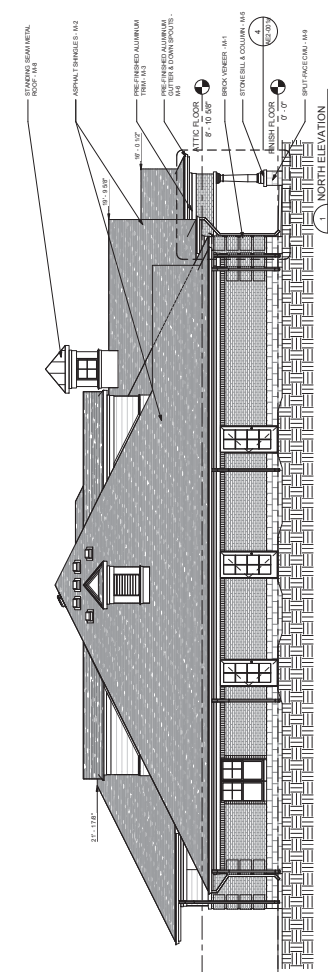


FIGURE 1

CLIENT

**EIGHT**  
3221 W. Big Beaver, Suite 111  
Fry, M. #8084

**NOT FOR CONSTRUCTION**

NO.	DESCRIPTION	DATE
1	PRELIMINARY	10/11/17
2	REVISED	11/14/17
3	FINAL APPROVAL	12/14/17



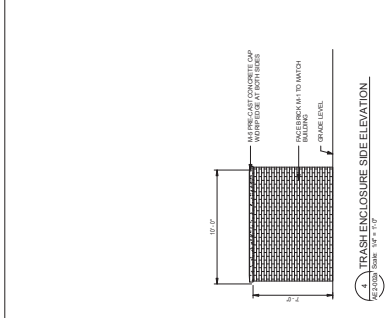
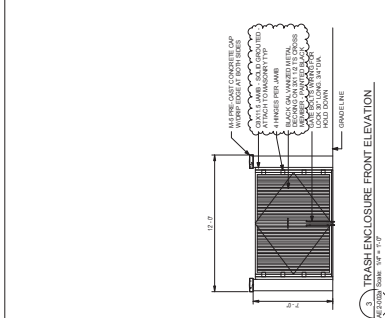
**CONSULTANTS**  
wsp  
WILSON PERKINS ARCHITECTS  
1000 17th Street, Suite 1000  
Boulder, CO 80502  
303.440.1000  
www.wilsonperkins.com



PROJECT: KINDERCARE LEARNING CENTER  
COLORADO SPRINGS, CO 80902

PROVIDED BY: KINDERCARE LEARNING CENTER  
DESIGNED BY: WSP  
PROJECT TEAM: WSP  
ARCHITECT: WSP  
INTERIOR ARCHITECT: WSP  
MECHANICAL: WSP  
ELECTRICAL: WSP  
PLUMBING: WSP  
GENERAL CONTRACTOR: WSP

EXTERIOR ELEVATIONS  
SHEET NUMBER: AE2-002a  
SCALE: B



SYMBOL	ITEM	MANUFACTURER	MODEL	COLOR / FINISH	REMARKS
M-1	BRICK	BRIMPTON BRICK	CROSSHATCH SERIES	JANPERS	
M-2	ROOFING	TRUSKIN	TRUSKIN HD LUTITE SHINGLES	NIGHT RED WOOD	
M-3	TRIM	TRIM	TRIM	TRIM	TRIM
M-4	ALUMINUM BRINGS	ALUMINUM BRINGS	ALUMINUM BRINGS	ALUMINUM BRINGS	
M-5	ALUMINUM BRINGS	ALUMINUM BRINGS	ALUMINUM BRINGS	ALUMINUM BRINGS	
M-6	ALUMINUM BRINGS	ALUMINUM BRINGS	ALUMINUM BRINGS	ALUMINUM BRINGS	
M-7	ALUMINUM BRINGS	ALUMINUM BRINGS	ALUMINUM BRINGS	ALUMINUM BRINGS	
M-8	ALUMINUM BRINGS	ALUMINUM BRINGS	ALUMINUM BRINGS	ALUMINUM BRINGS	

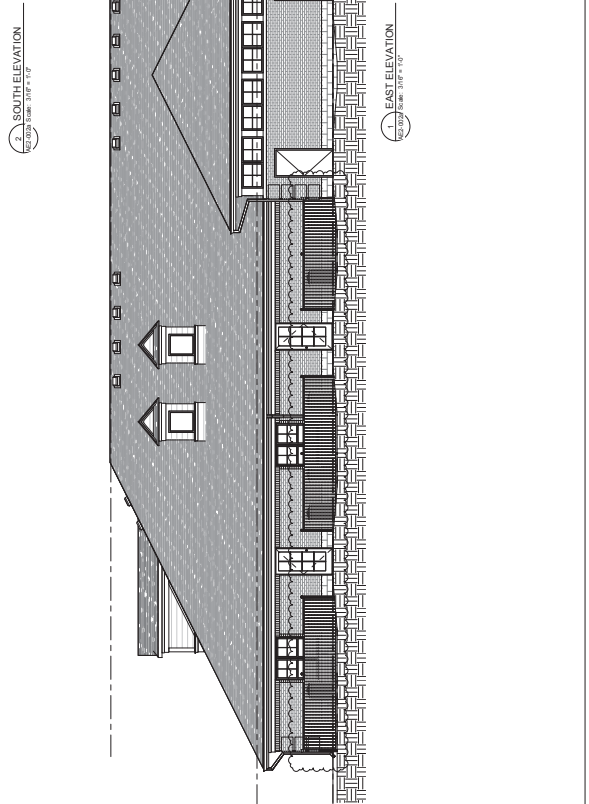
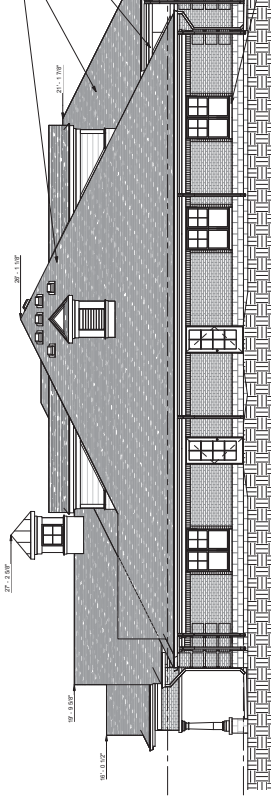
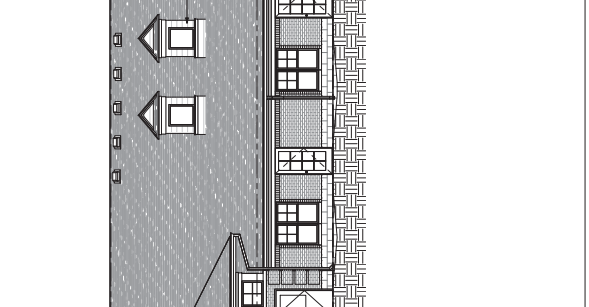
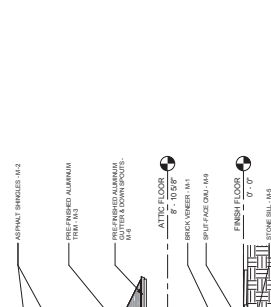


FIGURE 1



M-1 BRICK



M-9 SPLIT FACE CMU



SW6334 FLOWER POT



SW9117 URBAN JUNGLE



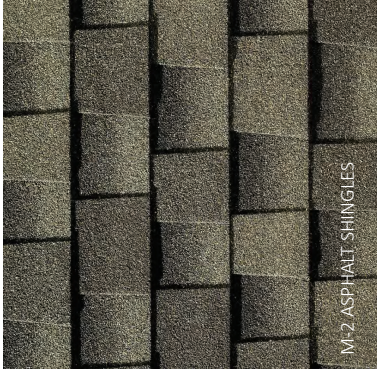
SW6150 UNIVERSAL KHAKI



SW9127 AT EASE SOLDIER



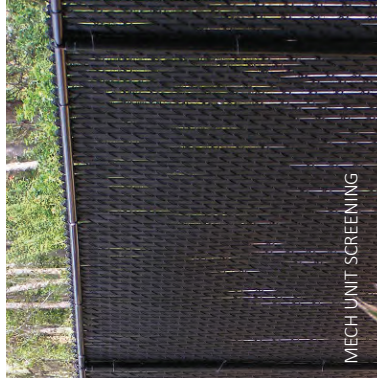
SW9172 STUDIO CLAY



M-2 ASPHALT SHINGLES



M-5 - SILLS & COLUMNS



MECH UNIT SCREENING



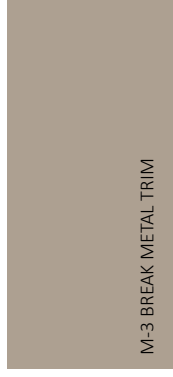
M-4 ALUMINIUM SIDING



M-6 PRE-FINISHED ALUMINUM GUTTER



RETAINING WALL - KEYSTONE COMPACTAIN



M-3 BREAK METAL TRIM



M-4 - STANDING SEAM ROOF

SYMBOL	ITEM	MANUFACTURER	MODEL	COLOR/FINISH
M-1	BRICK	BRAMPTON BRICK	CROSSROADS SERIES	JASPER
M-2	ASPHALT SHINGLES	GAF ROOFING	TIMBERLINE HD	WEATHERED WOOD
M-3	BREAK METAL TRIM	QUALITY EDGE	TRULINE	807 CLAY
M-4	ALUMINIUM SIDING	PLY-GEM MASTIC	ENDURANCE	RUGGED CANYON
M-5	SILLS AND COLUMNS	TBD	CAST STONE	VARIEGATED
M-6	PRE-FIN ALUMINIUM GUTTER	PLY-GEM MASTIC	6" GUTTER COIL, 27 GAUGE	PEBBLESTONE CLAY
M-8	STANDING SEAM ROOF	MCCLEROY METAL	INSTALOC SYSTEM	COPPER PENNY METALLIC
M-9	SPLIT FACE CMU	MICHIGAN CERTIFIED CONCRETE	SPLIT FACE	VAO LS
SW6334	PAINT FOR GUTTERS	SHERWIN WILLIAMS	-	SW6334 - FLOWER POT
SW6150	PAINT FOR EXTERIOR DOORS	SHERWIN WILLIAMS	-	SW6150 - UNIVERSAL KHAKI
SW9172	PAINT TO MATCH M-4	SHERWIN WILLIAMS	-	SW9172 - STUDIO CLAY
SW9127	PAINT FOR VENTS	SHERWIN WILLIAMS	-	SW9127 - AT EASE SOLDIER
SW9117	PAINT TO MATCH M-3	SHERWIN WILLIAMS	-	SW9117 - URBAN JUNGLE

