

CITY OF COLORADO SPRINGS
LIQUOR OR 3.2% FERMENTED MALT BEVERAGE APPLICATION

NEW LICENSE **TRANSFER OF OWNERSHIP**

Type of License applying for (Check One)

- | | | | | |
|---|--|--|---|--|
| <input checked="" type="checkbox"/> Hotel/Restaurant | <input type="checkbox"/> Hotel/Restaurant w/Optional Premises | <input type="checkbox"/> Tavern | <input type="checkbox"/> Beer & Wine | <input type="checkbox"/> Brew Pub |
| <input type="checkbox"/> Retail Liquor Store | <input type="checkbox"/> 3.2% Beer On Premises | <input type="checkbox"/> 3.2% Beer Off Premises | <input type="checkbox"/> 3.2% Beer On and Off Premises | <input type="checkbox"/> Club |
| <input type="checkbox"/> Drugstore | <input type="checkbox"/> Racetrack | <input type="checkbox"/> Optional Premises | <input type="checkbox"/> Club | <input type="checkbox"/> Vinters |

APPLICANT INFORMATION

Name of Applicant: Great Wolf Lodge of Colorado, LLC	Property Tax Schedule No.: 6220201010
Trade Name (DBA): Great Wolf Lodge	Business Telephone: Pending
Address of Premises: 9494 Federal Drive, Colorado Springs, CO 80920	Alternate Telephone: (703) 899-1028

IF THIS IS A TRANSFER OF AN EXISTING LICENSE – THE FOLLOWING MUST BE ANSWERED:

Present trade name of establishment (dba)	Present State License No.	Present Class of License	Present Expiration Date
N/A			

If the applicant is: a Corporation, Limited Liability Company, Partnership or Association, list all officers, directors, general partners and managing members, position held and percentage owned.

NAME	POSITION HELD	%OWNED
See Attached		

FINANCIAL INFORMATION

TOTAL INVESTMENT IN BUSINESS (include purchase, start up, inventory)	\$ 78,000,000
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Source(s) of funds invested (provide names, banks, and indicate checking, savings, loan, promissory note, gift or other).
THE FOLLOWING INFORMATION MUST REFLECT THE SOLE SOURCE OF FUNDS INVESTED. NO OTHER PERSON OR PARTIES MAY HAVE A FINANCIAL INTEREST IN THE BUSINESS FOR WHICH THIS AFFIDAVIT IS SUBMITTED.

NAME/ADDRESS OF FUNDING SOURCE (bank(s), individual(s), et al.)	FUNDING SOURCE (checking/savings/ loan/ note/ gift)	AMOUNT
Flintco Colorado Springs, LLC	Promissory Note (Property Purchase)	\$18,000,000
Credit Agricole Corp. and Inv. Bank	Promissory Note (Construction Loan)	\$60,000,000

List applicant(s) prior experience in the sale of alcoholic beverages. Include dates and locations.

Business Name & Address	Applicant's Name	Experience/Position	Dates
See attached list of locations.			

DO NOT ALTER THESE FORMS IN ANY MANNER

A-8

Has the applicant previously been issued a liquor or beer license (include any of the partners, if a partnership; members or manager if a limited liability company; or officers, stockholders or directors if a corporation)? yes no

If yes, identify the business and any current or former financial interest in said business including any loans to or from a licensee.

Name of Business	Address	Type/amt. of Interest
See attached list of locations.		

PREMISES/ESTABLISHMENT

Terms of legal possession of the premises for which the application is made? own lease

If leased provide terms: Start date N/A End date N/A

Dimensions of premises ~302' x 186' (Hotel) Square footage 384,311 Seating Capacity N/A

Is there a patio area? yes no --- If yes, provide dimensions ~302' x 70'

Anticipated number of employees? ~520

Will training be offered or required? yes no --- If yes, through what agency? TBD

Has the applicant or manager in Colorado, or any other State (include any of the partners, if a partnership; members or manager if a limited liability company; or officers, stockholders or directors if a corporation), ever:	YES	NO
Been denied an alcohol beverage license?		X
Had an alcohol beverage license suspended or revoked?		X
Had interest in another entity where an alcohol beverage license was suspended or revoked?		X
Ever been charged or convicted of a crime, received a suspended sentence, a deferred sentence, or have charges pending?		X
If yes, provide explanation, date(s) and location(s).		

Has the applicant ever received a violation notice, suspension, or revocation for any liquor law violation, have charges pending; or has the applicant applied for and been denied a liquor or beer license anywhere in the United States?

Yes No

If yes, provide explanation, date(s) and location(s):

I declare under the penalty of perjury in the second degree that this application and all attachments are true, correct, and complete to the best of my knowledge. I understand that any falsehood or omission will jeopardize the application as such falsehood or omission constitutes evidence regarding the character of the applicant.

[Signature]
Signature

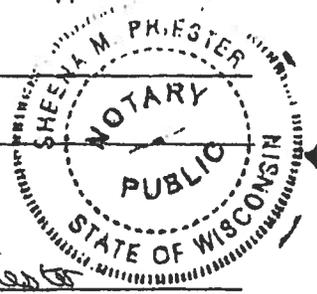
Title: Secretary

State of WISCONSIN
County of DANE

Subscribed and sworn to before me this 15th day of JUNE, 2016.

My Commission Expires: 7/24/2016

[Signature]
Notary Public



DO NOT ALTER THESE FORMS IN ANY MANNER

Supplemental Responses to Colorado Springs Application:

Officers/Owner:

Name	Address	DOB	Position	%Owned
Ruben Rodriguez	Miami, FL 33133		President	0%
Alexander Lombardo	Stafford, VA 22556		VP	0%
Gregory Kryder	Westport, CT 06880		Treasurer	0%
Craig Johnson	Madison, WI 53717		Secretary	0%
GWR Colorado Parent LLC	525 Junction Road Suite 6000 South Madison, WI 53703	N/A	Parent Company	100%**

** No Beneficial Owner rises to the 10% reporting threshold.

Existing Locations:

Great Wolf Resort – Grapevine
100 Great Wolf Drive
Grapevine, TX 76051-3713

Great Wolf Resort – Sandusky
4600 Milan Road
Sandusky, OH 44870

Great Wolf Resort – Centralia
20500 Old Hwy 99 SW
Centralia, WA 98531

Great Wolf Resort – Wisconsin Dells
1400 Great Wolf Drive
Wisconsin Dells, WI 53965

Great Wolf Resort – Fitchburg
150 Great Wolf Lodge
Fitchburg, MA 01420

Great Wolf Resort – Concord
10175 Weddington Drive
Concord, NC 28027

Great Wolf Resort – Scotrun

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1 Great Wolf Drive
Scotrun, PA 18355

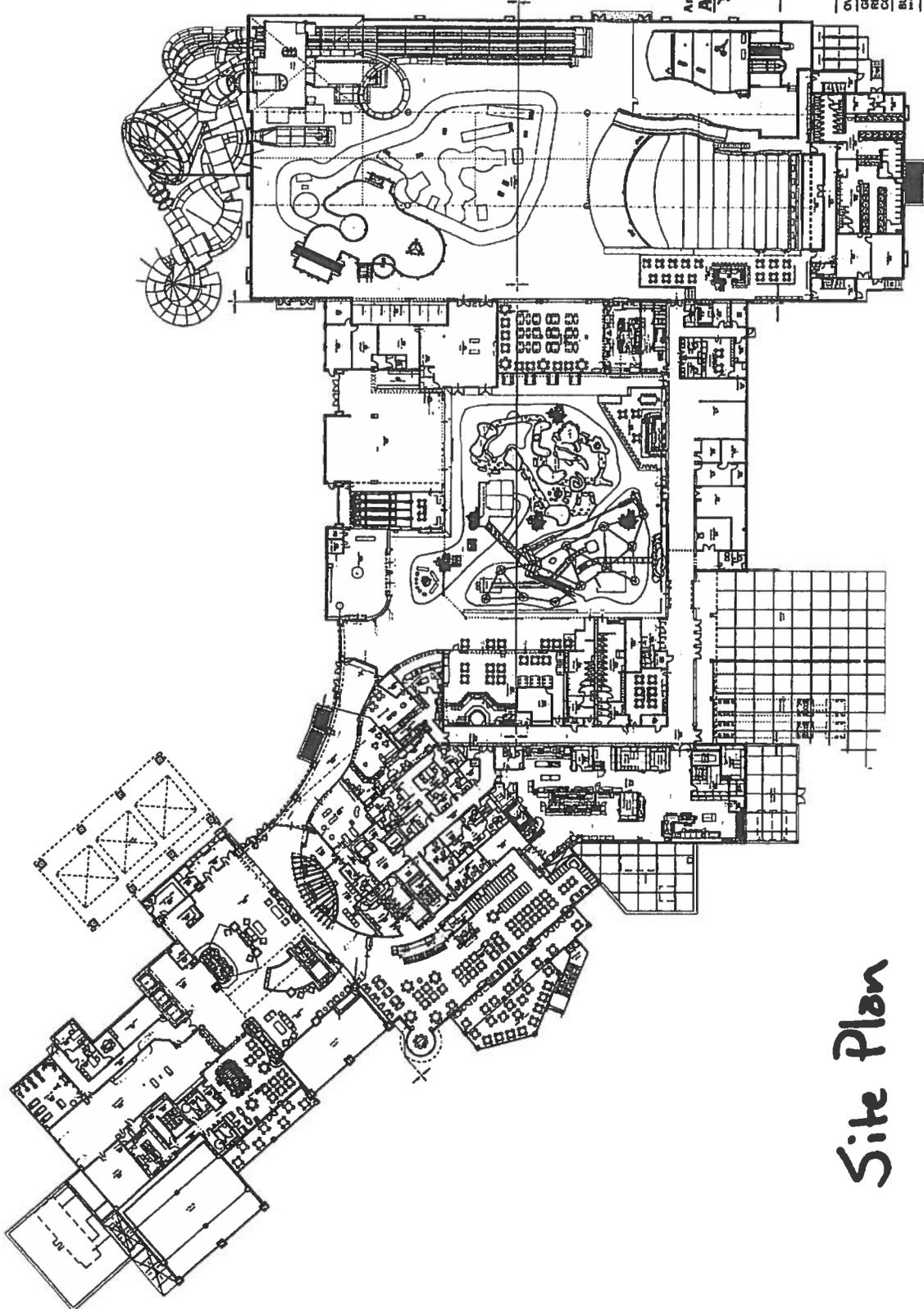
Great Wolf Resort – Williamsburg
555 and 559 Rochambeau Drive
Williamsburg, VA 23188

Great Wolf Resort – Traverse City
3575 North US 31 South
Traverse City, MI 49684

Great Wolf Resort – Kansas City
10401 Cabela Drive
Kansas City, KS 66111

Great Wolf Resort – Mason
2501 Great Wolf Drive
Mason, OH 45040

NOT FOR CONSTRUCTION



ADCI
 Architectural Design Consultants, Inc.
 30 Wisconsin Delta Parkway
 P.O. Box 560 WY 82940
 Phone: (800) 254-4181
 Fax: (800) 254-2139

OVERALL FIRST LAYOUT
 GREAT WOLF LODGE
 EXPANSION
 COLORADO SPRINGS, COLORADO
 BUTLER, ROSENBERG & PARTNERS, INC.
 1000 W. 10TH AVENUE, SUITE 100
 DENVER, CO 80202
 Phone: (303) 733-1100
 Fax: (303) 733-1101

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OVERALL FIRST FLOOR PLAN

Site Plan

KEYNOTES

1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.

2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.

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REVISIONS

A 8-01 - 08-08-09

GENERAL NOTES

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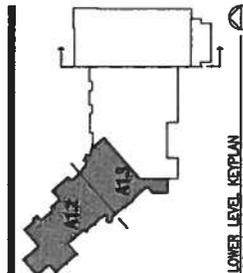
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ADCI

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OVERALL LOWER LEVEL FLOOR PLAN

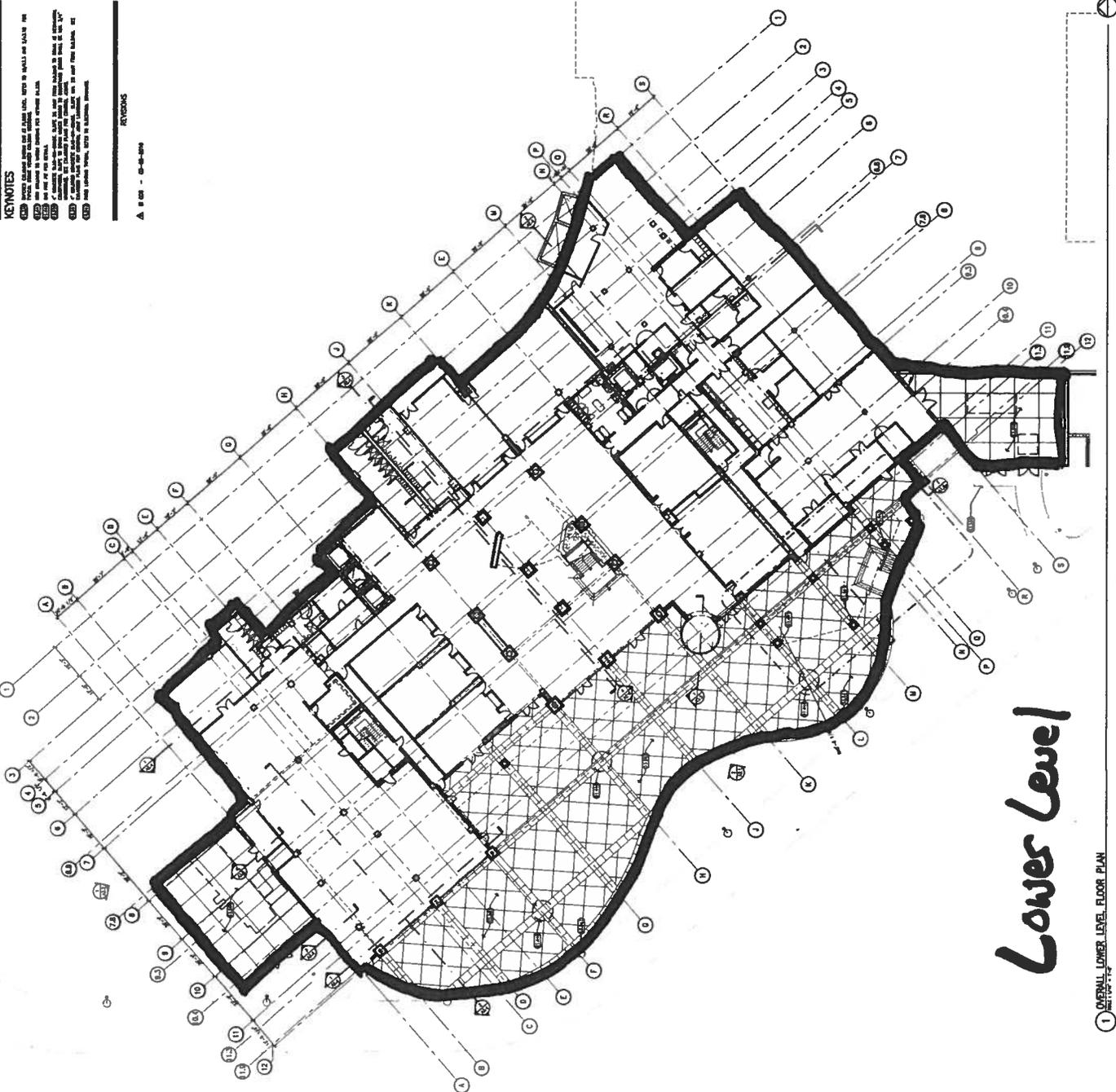
GREAT WOLF LODGE
GREAT WOLF LODGE
GREAT WOLF LODGE
GREAT WOLF LODGE
GREAT WOLF LODGE

BUTLER, ROSENBERG & PARTNERS, INC.

1111 14th St., Suite 200, Broomfield, Colorado 80020-1400
Phone: (303) 440-1111
Fax: (303) 440-1111

DATE: 8-18-10
SCALE: AS SHOWN

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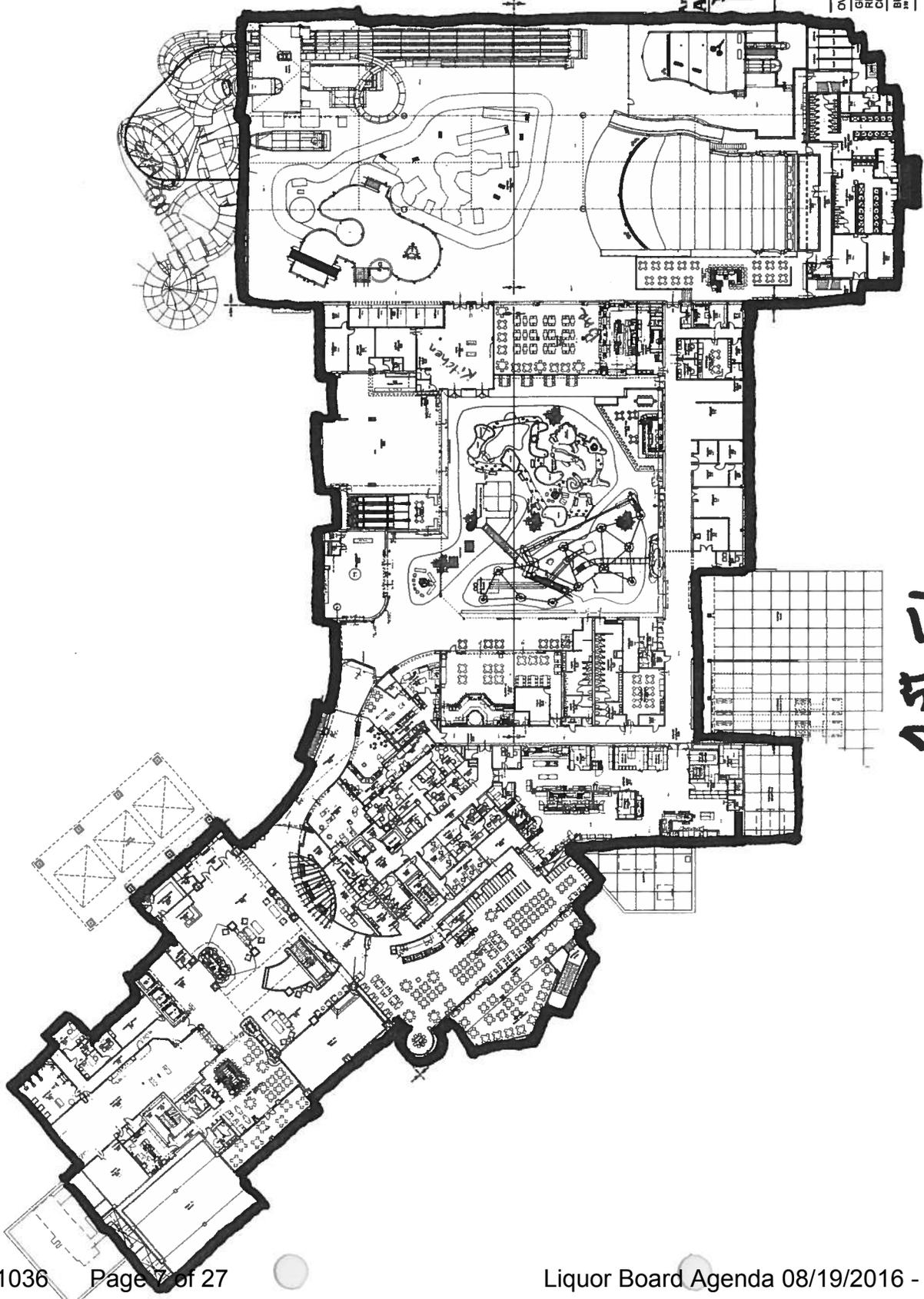
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Architectural Design Consultants, Inc.
ADCI
30 Wisconsin Dells Parkway
P.O. Box 500
Lake Dells, WI 53840
Phone: (608) 254-6181
Fax: (608) 254-2139

OVERALL FIRST LAYOUT
GREAT WOLF LODGE
REMODEL AND WATER PARK ADDITION
COLORADO SPRINGS, COLORADO
BUTLER, ROSEBURY & PARTNERS, INC.
30 N. MAIN ST., SUITE 200, DENVER, COLORADO 80202

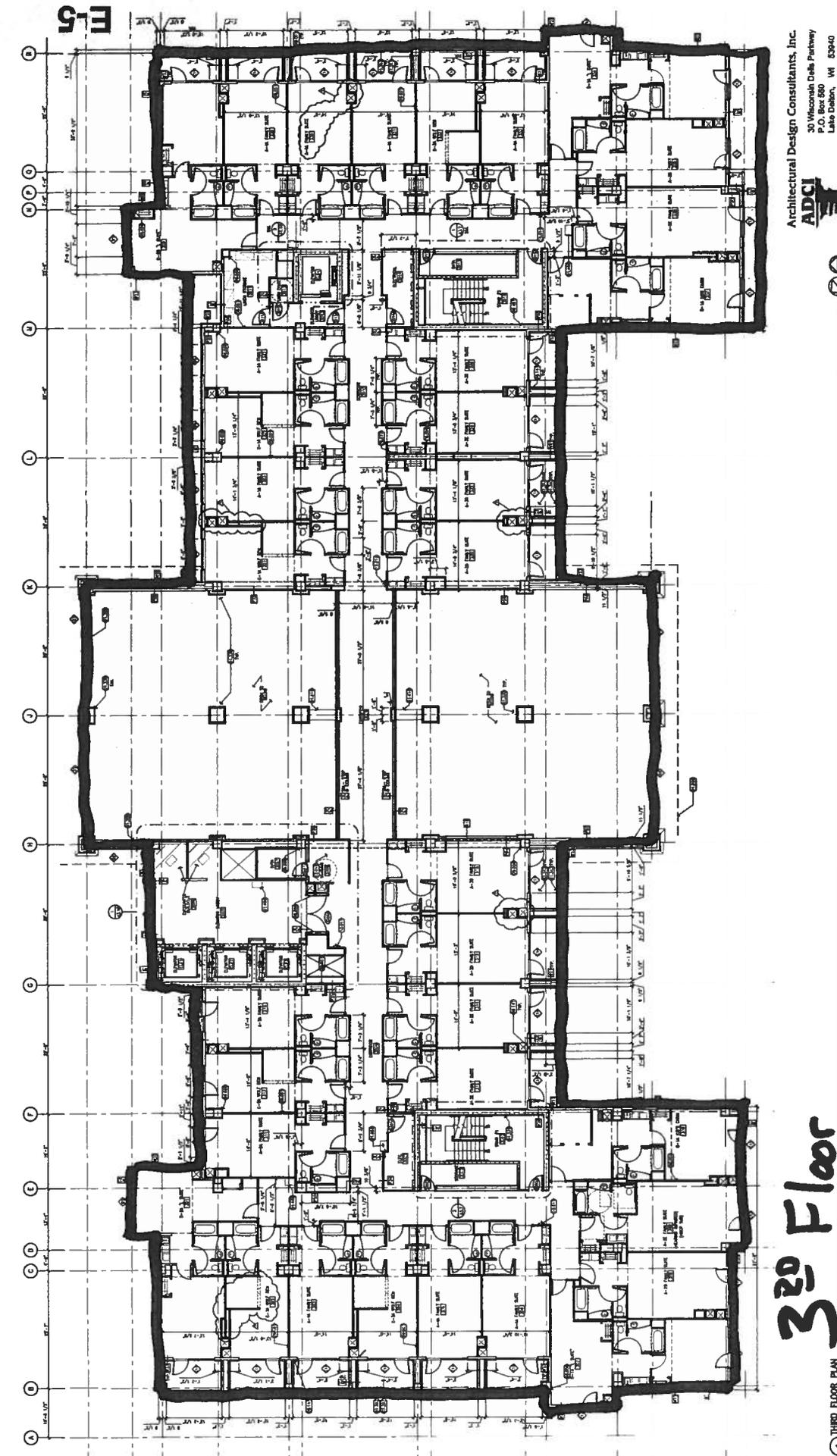
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DATE: 08/19/16
SCALE: AS SHOWN
PROJECT: GREAT WOLF LODGE
SHEET: A1.0



1st Floor

OVERALL FIRST FLOOR PLAN
SCALE: AS SHOWN



3rd Floor

Architectural Design Consultants, Inc.
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 Lake Delton, WI 53040
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 Fax: (608) 254-2138

THIRD FLOOR PLAN
GREAT WOLF LODGE
REMODEL AND WATER PARK ADDITION
COLORADO SPRINGS, COLORADO
BUTLER, ROSENBERG & PARTNERS, INC.
 401 N. W. 10th St., Suite 200, Fort Lauderdale, Florida 33304-4000
 Phone: (954) 573-1100
 Fax: (954) 573-1101



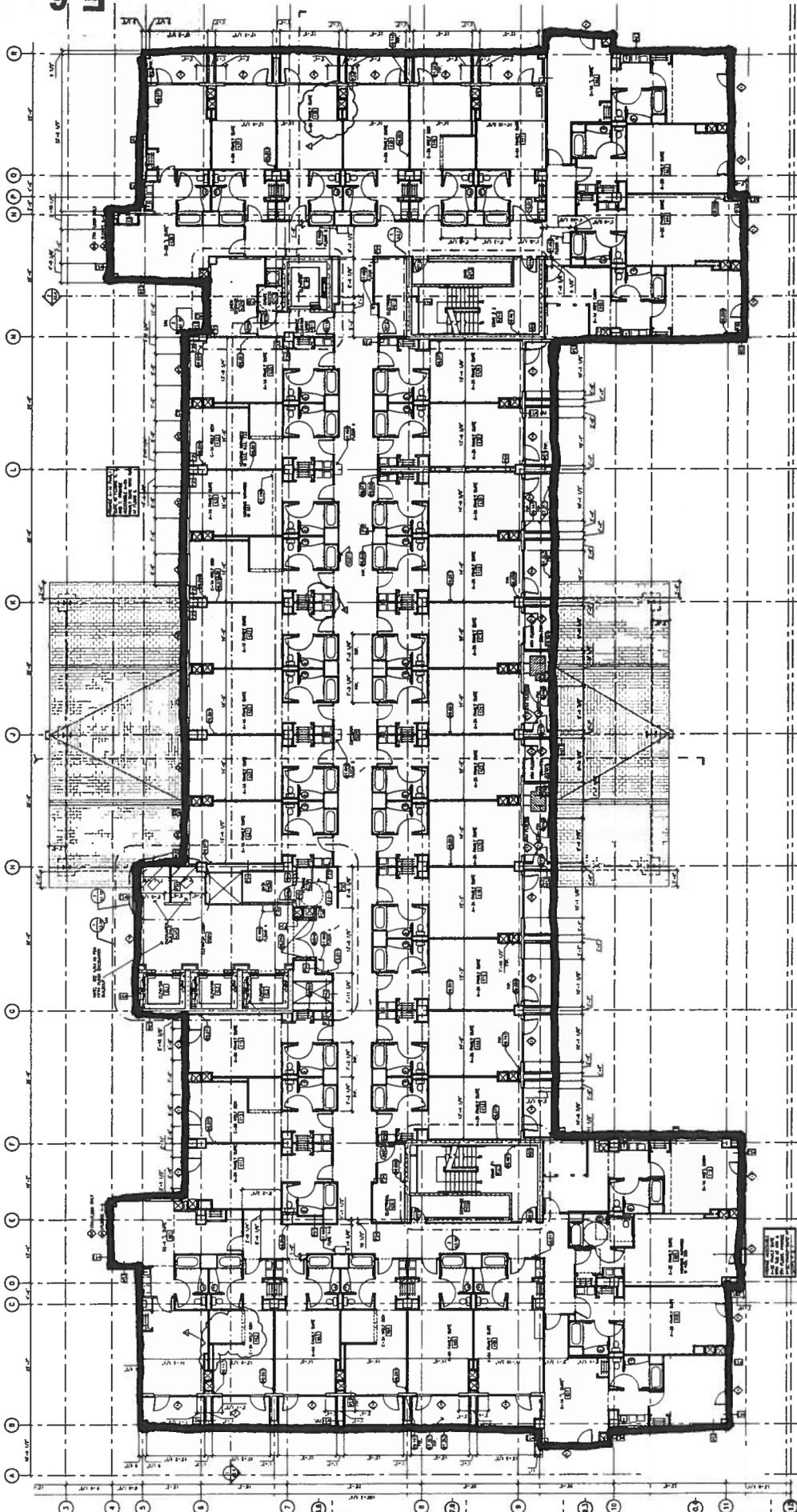
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WALL TYPES (SEE SCHEDULE FOR ALL THE WALL TYPES)

- 1. 1/2" GYPSUM BOARD ON 2" X 4" STUDS
- 2. 5/8" GYPSUM BOARD ON 2" X 4" STUDS
- 3. 1" GYPSUM BOARD ON 2" X 4" STUDS
- 4. 1 1/2" GYPSUM BOARD ON 2" X 4" STUDS
- 5. 2" GYPSUM BOARD ON 2" X 4" STUDS
- 6. 1/2" GYPSUM BOARD ON 2" X 4" STUDS WITH 1/2" POLYSTYRENE INSULATION
- 7. 5/8" GYPSUM BOARD ON 2" X 4" STUDS WITH 1/2" POLYSTYRENE INSULATION
- 8. 1" GYPSUM BOARD ON 2" X 4" STUDS WITH 1/2" POLYSTYRENE INSULATION
- 9. 1 1/2" GYPSUM BOARD ON 2" X 4" STUDS WITH 1/2" POLYSTYRENE INSULATION
- 10. 2" GYPSUM BOARD ON 2" X 4" STUDS WITH 1/2" POLYSTYRENE INSULATION
- 11. 1/2" GYPSUM BOARD ON 2" X 4" STUDS WITH 1/2" POLYSTYRENE INSULATION AND 1/2" AIR SPACE
- 12. 5/8" GYPSUM BOARD ON 2" X 4" STUDS WITH 1/2" POLYSTYRENE INSULATION AND 1/2" AIR SPACE
- 13. 1" GYPSUM BOARD ON 2" X 4" STUDS WITH 1/2" POLYSTYRENE INSULATION AND 1/2" AIR SPACE
- 14. 1 1/2" GYPSUM BOARD ON 2" X 4" STUDS WITH 1/2" POLYSTYRENE INSULATION AND 1/2" AIR SPACE
- 15. 2" GYPSUM BOARD ON 2" X 4" STUDS WITH 1/2" POLYSTYRENE INSULATION AND 1/2" AIR SPACE

- KEYNOTES**
- 1. SEE SCHEDULE FOR ALL THE PARTITION TYPES
 - 2. SEE SCHEDULE FOR ALL THE WALL TYPES
 - 3. SEE SCHEDULE FOR ALL THE FLOOR TYPES
 - 4. SEE SCHEDULE FOR ALL THE CEILING TYPES
 - 5. SEE SCHEDULE FOR ALL THE DOOR TYPES
 - 6. SEE SCHEDULE FOR ALL THE WINDOW TYPES
 - 7. SEE SCHEDULE FOR ALL THE STAIR TYPES
 - 8. SEE SCHEDULE FOR ALL THE ELEVATOR TYPES
 - 9. SEE SCHEDULE FOR ALL THE MECHANICAL TYPES
 - 10. SEE SCHEDULE FOR ALL THE ELECTRICAL TYPES
 - 11. SEE SCHEDULE FOR ALL THE PLUMBING TYPES
 - 12. SEE SCHEDULE FOR ALL THE FIRE TYPES
 - 13. SEE SCHEDULE FOR ALL THE SECURITY TYPES
 - 14. SEE SCHEDULE FOR ALL THE SPECIAL TYPES
 - 15. SEE SCHEDULE FOR ALL THE OTHER TYPES

F-6



4th Floor

Architectural Design Consultants, Inc.
 30 Wisconsin Dells Parkway
 P.O. Box 590 WI 53940
 Phone: (800) 254-4361
 Fax: (800) 254-2138



FOURTH FLOOR PLAN (5TH-7TH SIM)
 GREAT WOLF LODGE
 REMODEL AND WATER PARK ADDITION
 COLORADO SPRINGS, COLORADO
 BUTLER, ROSENBERG & PARTNERS, INC.
 20 N. W. 12, SUITE 200, MIAMI, FL 33136-1100
 PHONE: (305) 551-1100
 FAX: (305) 551-1101



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REVISIONS
 A 11/15/08
 B 01/12/09



1) ENTAILY FLOOR PLAN - FIFTH THROUGH SEVENTH FLOORS, SIM.

2) LINEN STORAGE AT 6TH FLOOR.

3) STORAGE RM AT 6TH AND 7TH FLOORS.

4) ENCOUNTER BUILDOUT - 5TH FLOOR.

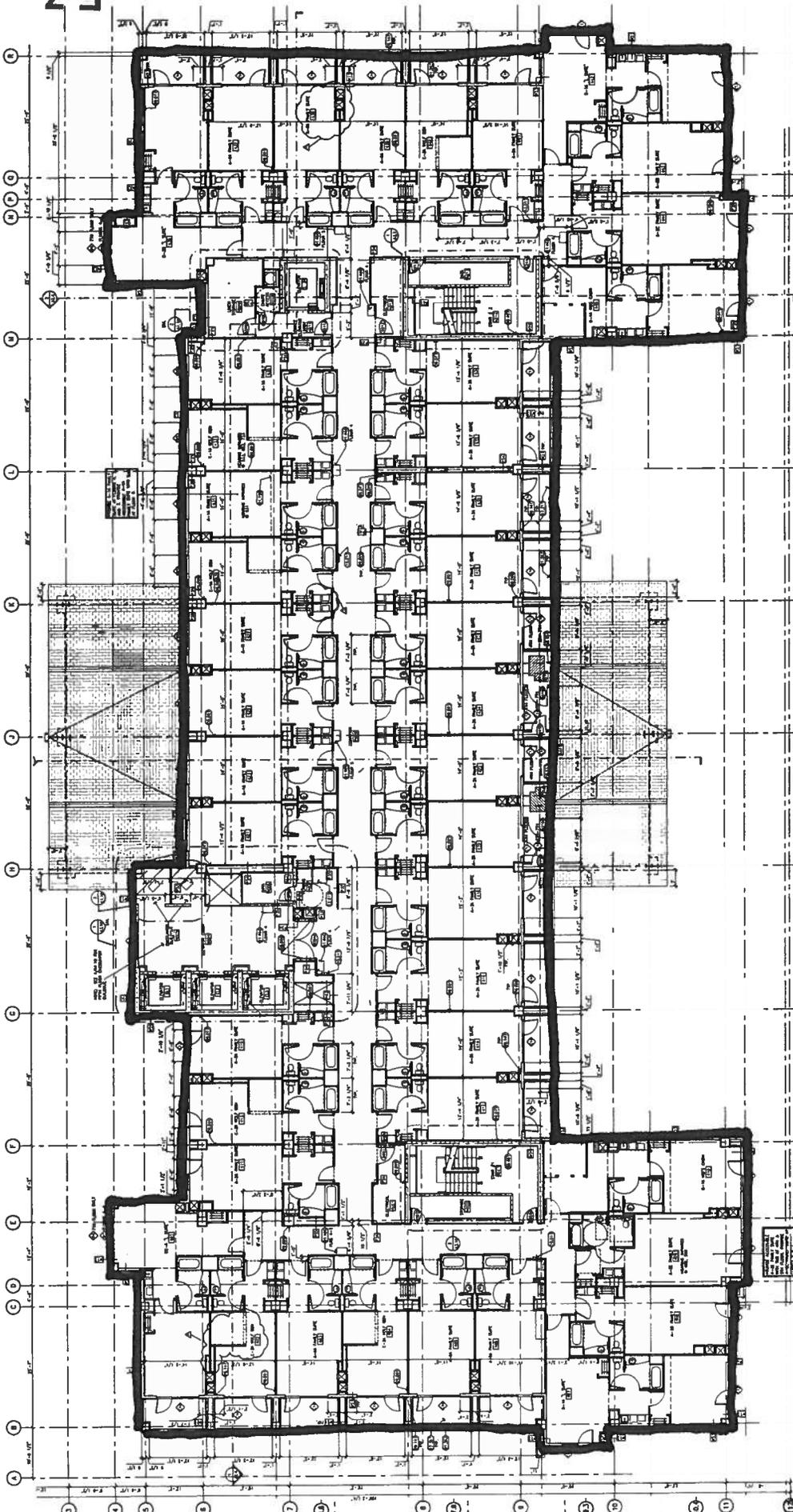
KEYNOTES

- 1) ALL ROOMS TO BE FINISHED TO THE FINISHES SHOWN ON THE FINISH SCHEDULE.
- 2) ALL WALLS TO BE FINISHED TO THE FINISHES SHOWN ON THE FINISH SCHEDULE.
- 3) ALL FLOORS TO BE FINISHED TO THE FINISHES SHOWN ON THE FINISH SCHEDULE.
- 4) ALL CEILING TO BE FINISHED TO THE FINISHES SHOWN ON THE FINISH SCHEDULE.
- 5) ALL LIGHTING TO BE INSTALLED TO THE FINISHES SHOWN ON THE FINISH SCHEDULE.
- 6) ALL MECHANICAL AND ELECTRICAL TO BE INSTALLED TO THE FINISHES SHOWN ON THE FINISH SCHEDULE.
- 7) ALL PAINT TO BE INSTALLED TO THE FINISHES SHOWN ON THE FINISH SCHEDULE.
- 8) ALL GLASS TO BE INSTALLED TO THE FINISHES SHOWN ON THE FINISH SCHEDULE.
- 9) ALL METALS TO BE INSTALLED TO THE FINISHES SHOWN ON THE FINISH SCHEDULE.
- 10) ALL WOOD TO BE INSTALLED TO THE FINISHES SHOWN ON THE FINISH SCHEDULE.
- 11) ALL CARPET TO BE INSTALLED TO THE FINISHES SHOWN ON THE FINISH SCHEDULE.
- 12) ALL TILE TO BE INSTALLED TO THE FINISHES SHOWN ON THE FINISH SCHEDULE.
- 13) ALL STAIRS TO BE INSTALLED TO THE FINISHES SHOWN ON THE FINISH SCHEDULE.
- 14) ALL ELEVATORS TO BE INSTALLED TO THE FINISHES SHOWN ON THE FINISH SCHEDULE.
- 15) ALL RAMPWAYS TO BE INSTALLED TO THE FINISHES SHOWN ON THE FINISH SCHEDULE.
- 16) ALL HANDICAPPED ACCESSIBLE TOILETS TO BE INSTALLED TO THE FINISHES SHOWN ON THE FINISH SCHEDULE.
- 17) ALL HANDICAPPED ACCESSIBLE SHOWERS TO BE INSTALLED TO THE FINISHES SHOWN ON THE FINISH SCHEDULE.
- 18) ALL HANDICAPPED ACCESSIBLE PARKING SPACES TO BE INSTALLED TO THE FINISHES SHOWN ON THE FINISH SCHEDULE.
- 19) ALL HANDICAPPED ACCESSIBLE BUS STOP TO BE INSTALLED TO THE FINISHES SHOWN ON THE FINISH SCHEDULE.
- 20) ALL HANDICAPPED ACCESSIBLE BOARDING PLATFORM TO BE INSTALLED TO THE FINISHES SHOWN ON THE FINISH SCHEDULE.
- 21) ALL HANDICAPPED ACCESSIBLE BOARDING PLATFORM TO BE INSTALLED TO THE FINISHES SHOWN ON THE FINISH SCHEDULE.
- 22) ALL HANDICAPPED ACCESSIBLE BOARDING PLATFORM TO BE INSTALLED TO THE FINISHES SHOWN ON THE FINISH SCHEDULE.
- 23) ALL HANDICAPPED ACCESSIBLE BOARDING PLATFORM TO BE INSTALLED TO THE FINISHES SHOWN ON THE FINISH SCHEDULE.
- 24) ALL HANDICAPPED ACCESSIBLE BOARDING PLATFORM TO BE INSTALLED TO THE FINISHES SHOWN ON THE FINISH SCHEDULE.

PARTITION TYPES

- 1) 1/2\"/>

E-7



ADCI
 Architectural Design Consultants, Inc.
 38 Wisconsin Drive Parkway
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 Lake Dallas, TX 75049
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 Fax: (972) 254-2138

FOURTH FLOOR PLAN (5TH-7TH SIM)
 GREAT WOLF LODGE
 REMODEL AND WATER PARK ADDITION
 CALDWAY SPRINGS, COLORADO
 BUTLER ROSEBURY & PARTNERS, INC.
 101 West 1st Street, Suite 200, Fort Collins, Colorado 80501-1116
 DATE: 11/11/09
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]

A1.10
 5-11-16

REVISIONS
 A 11/11/09
 B 11/11/09

5th Floor

KEYNOTES

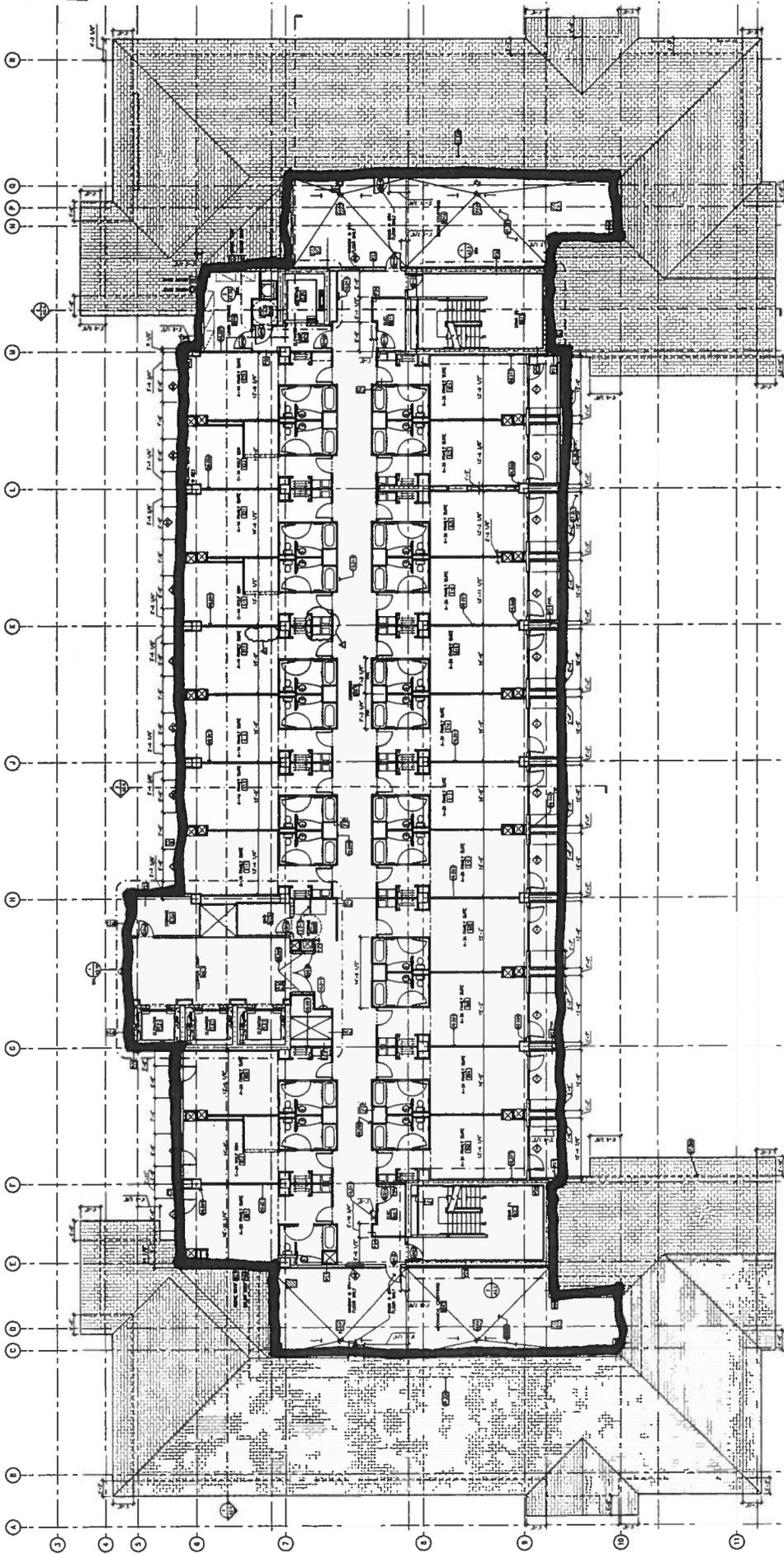
- 1. ENCOUNTER FLOOR PLAN - FIFTH THROUGH SEVENTH FLOORS SIM
- 2. LINEN STORAGE AT 6TH FLOOR
- 3. STORAGE RM. AT 6TH AND 7TH FLOORS
- 4. ENCOUNTER BUILDOUT - 5TH FLOOR

PARTITION TYPES

- 1. 1/2" Gypsum Board on 2x4 Stud, 5/8" Acoustic Mineral Wool Insulation, 1/2" Gypsum Board
- 2. 1/2" Gypsum Board on 2x4 Stud, 5/8" Acoustic Mineral Wool Insulation, 1/2" Gypsum Board, 1/2" Acoustic Mineral Wool Insulation
- 3. 1/2" Gypsum Board on 2x4 Stud, 5/8" Acoustic Mineral Wool Insulation, 1/2" Gypsum Board, 1/2" Acoustic Mineral Wool Insulation, 1/2" Gypsum Board
- 4. 1/2" Gypsum Board on 2x4 Stud, 5/8" Acoustic Mineral Wool Insulation, 1/2" Gypsum Board, 1/2" Acoustic Mineral Wool Insulation, 1/2" Gypsum Board, 1/2" Acoustic Mineral Wool Insulation
- 5. 1/2" Gypsum Board on 2x4 Stud, 5/8" Acoustic Mineral Wool Insulation, 1/2" Gypsum Board, 1/2" Acoustic Mineral Wool Insulation, 1/2" Gypsum Board, 1/2" Acoustic Mineral Wool Insulation, 1/2" Gypsum Board
- 6. 1/2" Gypsum Board on 2x4 Stud, 5/8" Acoustic Mineral Wool Insulation, 1/2" Gypsum Board, 1/2" Acoustic Mineral Wool Insulation, 1/2" Gypsum Board, 1/2" Acoustic Mineral Wool Insulation, 1/2" Gypsum Board, 1/2" Acoustic Mineral Wool Insulation

WALL TYPES

- 1. 1/2" Gypsum Board on 2x4 Stud, 5/8" Acoustic Mineral Wool Insulation, 1/2" Gypsum Board
- 2. 1/2" Gypsum Board on 2x4 Stud, 5/8" Acoustic Mineral Wool Insulation, 1/2" Gypsum Board, 1/2" Acoustic Mineral Wool Insulation
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- 4. 1/2" Gypsum Board on 2x4 Stud, 5/8" Acoustic Mineral Wool Insulation, 1/2" Gypsum Board, 1/2" Acoustic Mineral Wool Insulation, 1/2" Gypsum Board, 1/2" Acoustic Mineral Wool Insulation
- 5. 1/2" Gypsum Board on 2x4 Stud, 5/8" Acoustic Mineral Wool Insulation, 1/2" Gypsum Board, 1/2" Acoustic Mineral Wool Insulation, 1/2" Gypsum Board, 1/2" Acoustic Mineral Wool Insulation, 1/2" Gypsum Board
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 Lake Dillon, WI 53940
 Phone: (800) 254-4161
 Fax: (800) 254-4158

EIGHTH FLOOR PLAN (8TH FLOOR SM)
 GREAT WOLF LODGE
 PARK ADDITION
 COLORADO SPRINGS, COLORADO
 BUTLER ROSENBERG & PARTNERS, INC.
 275 W. SOUTH ST. SUITE 200, DENVER, COLORADO 80202-1000



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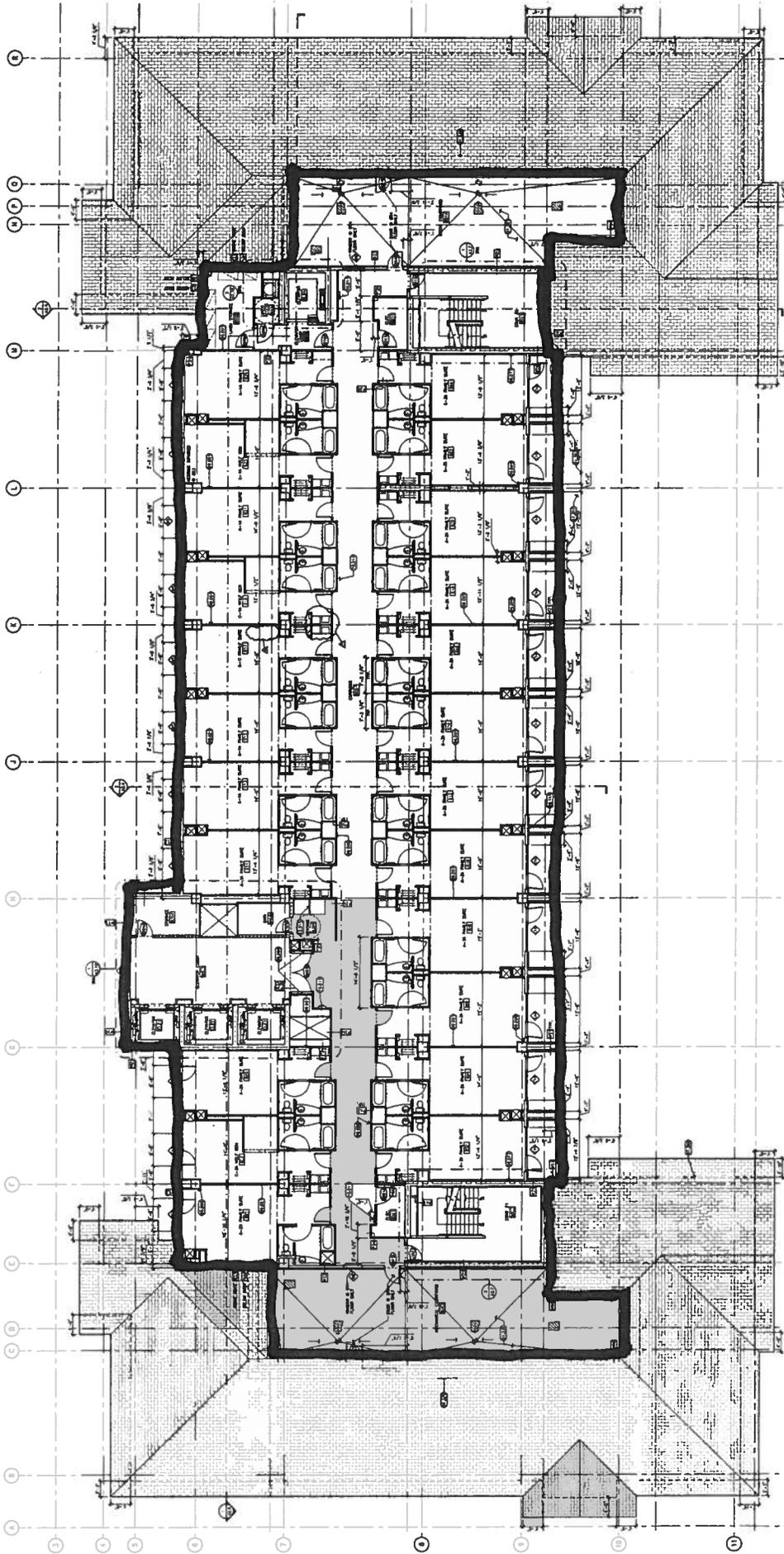
1 EIGHTH FLOOR PLAN (NORTH FLOOR SM)

- KEYNOTES**
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 - (4) ALL CEILING SHALL BE FINISHED TO THE FINISHES SHOWN ON THE FINISH SCHEDULE.
 - (5) ALL LIGHT FIXTURES SHALL BE FINISHED TO THE FINISHES SHOWN ON THE FINISH SCHEDULE.
 - (6) ALL DOORS SHALL BE FINISHED TO THE FINISHES SHOWN ON THE FINISH SCHEDULE.
 - (7) ALL WINDOWS SHALL BE FINISHED TO THE FINISHES SHOWN ON THE FINISH SCHEDULE.
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 - (10) ALL MECHANICAL EQUIPMENT SHALL BE FINISHED TO THE FINISHES SHOWN ON THE FINISH SCHEDULE.
 - (11) ALL ELECTRICAL EQUIPMENT SHALL BE FINISHED TO THE FINISHES SHOWN ON THE FINISH SCHEDULE.
 - (12) ALL PLUMBING EQUIPMENT SHALL BE FINISHED TO THE FINISHES SHOWN ON THE FINISH SCHEDULE.
 - (13) ALL FIRE PROTECTION EQUIPMENT SHALL BE FINISHED TO THE FINISHES SHOWN ON THE FINISH SCHEDULE.
 - (14) ALL SECURITY EQUIPMENT SHALL BE FINISHED TO THE FINISHES SHOWN ON THE FINISH SCHEDULE.
 - (15) ALL ACCESSIBILITY EQUIPMENT SHALL BE FINISHED TO THE FINISHES SHOWN ON THE FINISH SCHEDULE.
 - (16) ALL SIGNAGE SHALL BE FINISHED TO THE FINISHES SHOWN ON THE FINISH SCHEDULE.
 - (17) ALL FURNITURE SHALL BE FINISHED TO THE FINISHES SHOWN ON THE FINISH SCHEDULE.
 - (18) ALL FIXTURES SHALL BE FINISHED TO THE FINISHES SHOWN ON THE FINISH SCHEDULE.
 - (19) ALL EQUIPMENT SHALL BE FINISHED TO THE FINISHES SHOWN ON THE FINISH SCHEDULE.
 - (20) ALL MATERIALS SHALL BE FINISHED TO THE FINISHES SHOWN ON THE FINISH SCHEDULE.
 - (21) ALL WORK SHALL BE IN ACCORDANCE WITH THE 2012 INTERNATIONAL BUILDING CODES.
 - (22) ALL WORK SHALL BE IN ACCORDANCE WITH THE 2012 INTERNATIONAL PLUMBING AND MECHANICAL CODES.
 - (23) ALL WORK SHALL BE IN ACCORDANCE WITH THE 2012 INTERNATIONAL FIRE AND SAFETY CODES.
 - (24) ALL WORK SHALL BE IN ACCORDANCE WITH THE 2012 INTERNATIONAL ELECTRICAL CODES.
 - (25) ALL WORK SHALL BE IN ACCORDANCE WITH THE 2012 INTERNATIONAL ACCESSIBILITY STANDARDS.
 - (26) ALL WORK SHALL BE IN ACCORDANCE WITH THE 2012 INTERNATIONAL SIGNAGE STANDARDS.
 - (27) ALL WORK SHALL BE IN ACCORDANCE WITH THE 2012 INTERNATIONAL FURNITURE STANDARDS.
 - (28) ALL WORK SHALL BE IN ACCORDANCE WITH THE 2012 INTERNATIONAL FIXTURE STANDARDS.
 - (29) ALL WORK SHALL BE IN ACCORDANCE WITH THE 2012 INTERNATIONAL EQUIPMENT STANDARDS.
 - (30) ALL WORK SHALL BE IN ACCORDANCE WITH THE 2012 INTERNATIONAL MATERIALS STANDARDS.

- WALL TYPES**
- (1) 1/2" GYPSUM BOARD ON 2x4 STUDS
 - (2) 5/8" GYPSUM BOARD ON 2x4 STUDS
 - (3) 1" GYPSUM BOARD ON 2x4 STUDS
 - (4) 1 1/2" GYPSUM BOARD ON 2x4 STUDS
 - (5) 2" GYPSUM BOARD ON 2x4 STUDS
 - (6) 1/2" GYPSUM BOARD ON 2x6 STUDS
 - (7) 5/8" GYPSUM BOARD ON 2x6 STUDS
 - (8) 1" GYPSUM BOARD ON 2x6 STUDS
 - (9) 1 1/2" GYPSUM BOARD ON 2x6 STUDS
 - (10) 2" GYPSUM BOARD ON 2x6 STUDS
 - (11) 1/2" GYPSUM BOARD ON 2x8 STUDS
 - (12) 5/8" GYPSUM BOARD ON 2x8 STUDS
 - (13) 1" GYPSUM BOARD ON 2x8 STUDS
 - (14) 1 1/2" GYPSUM BOARD ON 2x8 STUDS
 - (15) 2" GYPSUM BOARD ON 2x8 STUDS
 - (16) 1/2" GYPSUM BOARD ON 2x10 STUDS
 - (17) 5/8" GYPSUM BOARD ON 2x10 STUDS
 - (18) 1" GYPSUM BOARD ON 2x10 STUDS
 - (19) 1 1/2" GYPSUM BOARD ON 2x10 STUDS
 - (20) 2" GYPSUM BOARD ON 2x10 STUDS

- REVISIONS**
- A 10-11-16

8th Floor



ADCI
 Architectural Design Consultants, Inc.
 20 Wisconsin Dells Parkway
 P.O. Box 500
 Lake Dells, WI 53940
 Phone: (800) 254-4181
 Fax: (800) 254-2139

EIGHTH FLOOR PLAN (9TH FLOOR SIM)
 GREAT WOLF LODGE
 REMODEL AND WATER PARK ADDITION
 COLORADO SPRINGS, COLORADO
 BUTLER, ROSENBERG & PARTNERS, INC.
 219 S. MAIN ST. SUITE 202, DENVER, COLORADO 80202
 DATE: 11/11/09

A1.11



1 EIGHTH FLOOR PLAN (NINTH FLOOR SIM)

KEYNOTES

- (1) ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 IBC AND ALL APPLICABLE CODES.
- (2) ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 IBC AND ALL APPLICABLE CODES.
- (3) ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 IBC AND ALL APPLICABLE CODES.
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- (16) ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 IBC AND ALL APPLICABLE CODES.
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- (18) ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 IBC AND ALL APPLICABLE CODES.
- (19) ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 IBC AND ALL APPLICABLE CODES.
- (20) ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 IBC AND ALL APPLICABLE CODES.

WALL TYPES

- 1 1/2" CMU WITH GROUTED JOINTS
- 1 1/2" CMU WITH GROUTED JOINTS AND WEATHER STRIP
- 1 1/2" CMU WITH GROUTED JOINTS AND WEATHER STRIP AND INSULATION
- 1 1/2" CMU WITH GROUTED JOINTS AND WEATHER STRIP AND INSULATION AND WEATHER STRIP
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PARTITION TYPES

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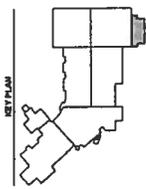
9th Floor

KEYNOTES

- 1. SEE GENERAL NOTES FOR NOTES 1 THROUGH 10.
- 2. SEE GENERAL NOTES FOR NOTES 11 THROUGH 20.
- 3. SEE GENERAL NOTES FOR NOTES 21 THROUGH 30.
- 4. SEE GENERAL NOTES FOR NOTES 31 THROUGH 40.
- 5. SEE GENERAL NOTES FOR NOTES 41 THROUGH 50.
- 6. SEE GENERAL NOTES FOR NOTES 51 THROUGH 60.
- 7. SEE GENERAL NOTES FOR NOTES 61 THROUGH 70.
- 8. SEE GENERAL NOTES FOR NOTES 71 THROUGH 80.
- 9. SEE GENERAL NOTES FOR NOTES 81 THROUGH 90.
- 10. SEE GENERAL NOTES FOR NOTES 91 THROUGH 100.

WATER PARK GENERAL NOTES

- 1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE LATEST EDITIONS OF THE INTERNATIONAL PLUMBING CODE (IPC).
- 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL AND ELECTRICAL PLUMBING CODE (IMC) AND THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC).
- 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL FIRE AND SAFETY CODE (IFSC) AND THE LATEST EDITIONS OF THE INTERNATIONAL FIRE AND SAFETY CODE (IFSC).
- 5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL FIRE AND SAFETY CODE (IFSC) AND THE LATEST EDITIONS OF THE INTERNATIONAL FIRE AND SAFETY CODE (IFSC).
- 6. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL FIRE AND SAFETY CODE (IFSC) AND THE LATEST EDITIONS OF THE INTERNATIONAL FIRE AND SAFETY CODE (IFSC).
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- 8. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL FIRE AND SAFETY CODE (IFSC) AND THE LATEST EDITIONS OF THE INTERNATIONAL FIRE AND SAFETY CODE (IFSC).
- 9. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL FIRE AND SAFETY CODE (IFSC) AND THE LATEST EDITIONS OF THE INTERNATIONAL FIRE AND SAFETY CODE (IFSC).
- 10. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL FIRE AND SAFETY CODE (IFSC) AND THE LATEST EDITIONS OF THE INTERNATIONAL FIRE AND SAFETY CODE (IFSC).



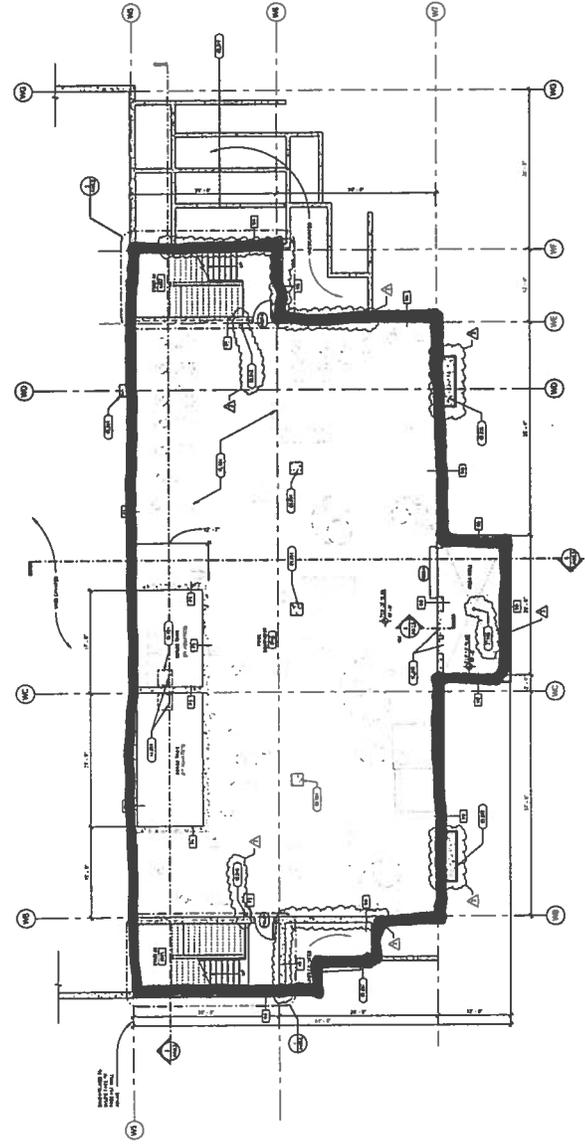
Architectural Design Consultants, Inc.
ADCI
 30 Wisconsin Delta Parkway
 P.O. Box 580 W. 53040
 Lake Delton, WI 53040
 Phone: (920) 254-8101
 Fax: (920) 254-2139

BASEMENT FLOOR PLAN

SEE PLAN FLOOR
 30 WISCONSIN DELTA PARKWAY
 WISCONSIN DELTA, WISCONSIN
 BUTLER, ROSENBERY & PARTNERS, INC.
 11-14-2015



AW1.3



1 ENLARGED - BASEMENT FLOOR

Pool Basement

KEYNOTES

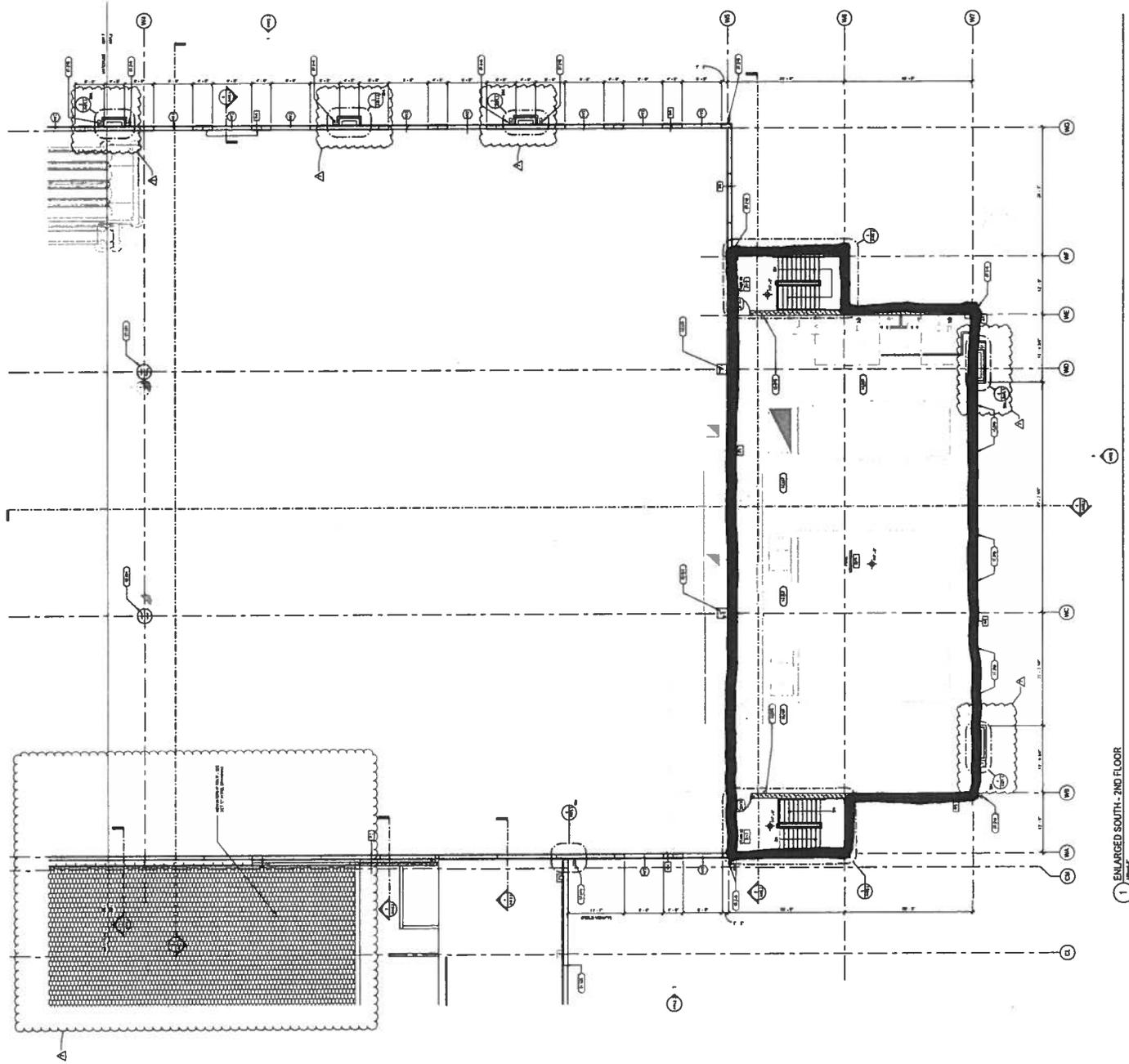
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF COLORADO SPRINGS SPECIFICATIONS FOR CONSTRUCTION.
2. ALL MATERIALS SHALL BE APPROVED BY THE CITY ENGINEER PRIOR TO CONSTRUCTION.
3. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
4. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED BUDGET.

WATER PARK GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF COLORADO SPRINGS SPECIFICATIONS FOR CONSTRUCTION.
2. ALL MATERIALS SHALL BE APPROVED BY THE CITY ENGINEER PRIOR TO CONSTRUCTION.
3. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
4. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED BUDGET.

ADCI
 Architectural Design Consultants, Inc.
 30 Westwood Drive Parkway
 P.O. Box 500
 Monument, CO 80132
 Phone: (303) 254-8181
 Fax: (303) 254-2139

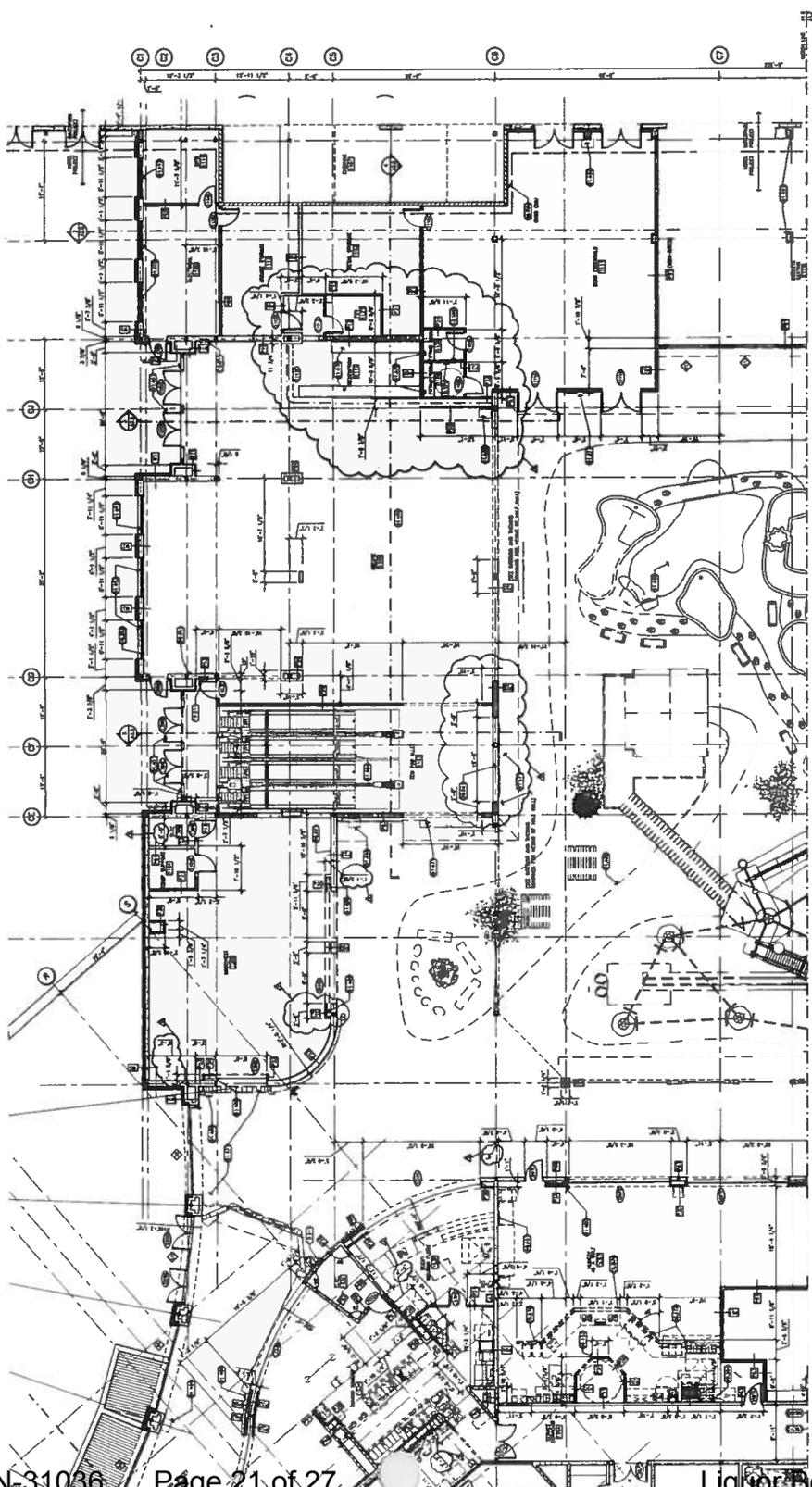
AW1.6
 3-11-16
 BUTLER, ROSENBERG & PARTNERS, INC.
 1000 S. W. 10th St., Suite 100
 Colorado Springs, CO 80904
 Phone: (303) 591-1111
 Fax: (303) 591-1112



1 ENLARGED SOUTH - 2ND FLOOR
Pool 2nd Floor

Arcade Kitchen Detail (1)

E-17



PARTIAL FIRST FLOOR PLAN ARCADE

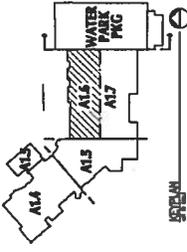
KEYNOTES
 (K1) ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN FEET AND INCHES.
 (K2) ALL WALLS UNLESS OTHERWISE NOTED ARE 1/2" THICK.
 (K3) ALL DOORS UNLESS OTHERWISE NOTED ARE 2'0" HIGH BY 3'0" WIDE.
 (K4) ALL WINDOWS UNLESS OTHERWISE NOTED ARE 4'0" HIGH BY 6'0" WIDE.
 (K5) ALL FLOOR FINISHES UNLESS OTHERWISE NOTED ARE AS SHOWN.
 (K6) ALL CEILING FINISHES UNLESS OTHERWISE NOTED ARE AS SHOWN.
 (K7) ALL LIGHT FIXTURES UNLESS OTHERWISE NOTED ARE AS SHOWN.
 (K8) ALL MECHANICAL EQUIPMENT UNLESS OTHERWISE NOTED ARE AS SHOWN.
 (K9) ALL ELECTRICAL SYMBOLS UNLESS OTHERWISE NOTED ARE AS SHOWN.
 (K10) ALL PLUMBING SYMBOLS UNLESS OTHERWISE NOTED ARE AS SHOWN.
 (K11) ALL HVAC SYMBOLS UNLESS OTHERWISE NOTED ARE AS SHOWN.
 (K12) ALL FINISHES UNLESS OTHERWISE NOTED ARE AS SHOWN.

PARTITION TYPES
 PARTITION TYPES UNLESS OTHERWISE NOTED ARE AS SHOWN.

WALL TYPES
 WALL TYPES UNLESS OTHERWISE NOTED ARE AS SHOWN.

GENERAL NOTES

1. SEE PLAN FOR FINISHES UNLESS OTHERWISE NOTED.
2. SEE PLAN FOR EQUIPMENT UNLESS OTHERWISE NOTED.
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10. SEE PLAN FOR ELECTRICAL UNLESS OTHERWISE NOTED.
11. SEE PLAN FOR PLUMBING UNLESS OTHERWISE NOTED.
12. SEE PLAN FOR HVAC UNLESS OTHERWISE NOTED.



Architectural Design Consultants, Inc.
ADCI
 30 Wisconsin Dells Parkway
 P.O. Box 580 WY 83840
 800 Dierksen, 784-4131
 Fax: (608) 284-2138

REVISIONS
 A 11-18-2015
 B 01-11-2016
 C 01-11-2016

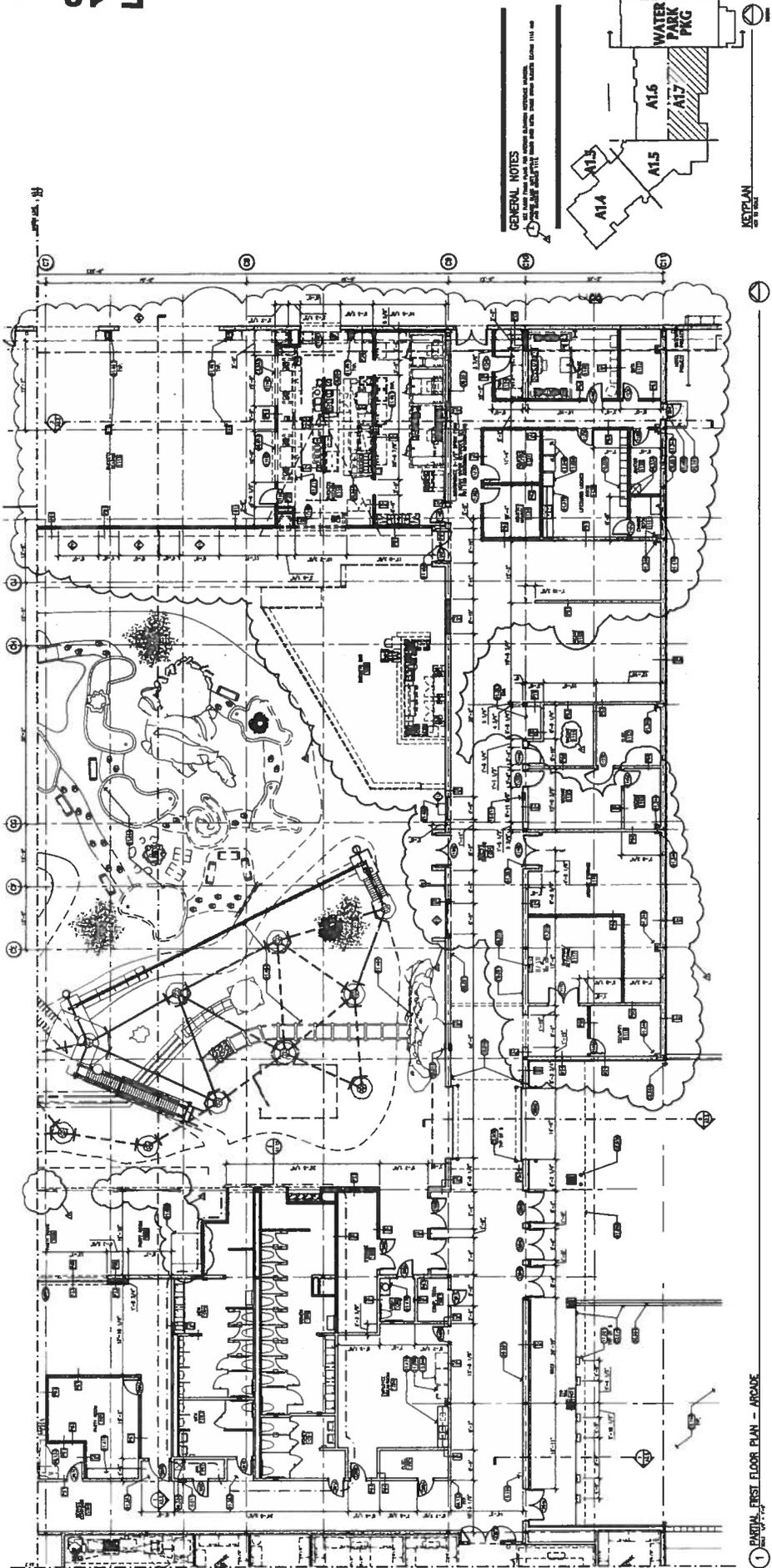
PARTIAL FIRST FLOOR PLAN
GREAT WOLF LODGE
BARBERS AND GROOMERS
ADDITION
COLORADO SPRINGS, COLORADO
BUTLER, ROSENBERG & PARTNERS, INC.
 101 S. W. 10th Street, Suite 1000, Fort Lauderdale, FL 33304
 Phone: (954) 573-1100
 Fax: (954) 573-1101
 www.butlerrosenberg.com



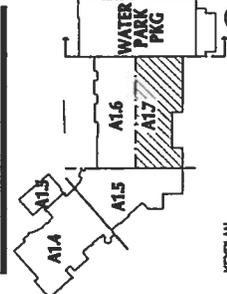
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 8-15-14

Arcade Kitchen Detail (2)

E-18



GENERAL NOTES
 1. SEE SHEET E-17 FOR GENERAL NOTES.
 2. SEE SHEET E-18 FOR GENERAL NOTES.
 3. SEE SHEET E-19 FOR GENERAL NOTES.
 4. SEE SHEET E-20 FOR GENERAL NOTES.
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 8. SEE SHEET E-24 FOR GENERAL NOTES.
 9. SEE SHEET E-25 FOR GENERAL NOTES.
 10. SEE SHEET E-26 FOR GENERAL NOTES.



KEY PLAN
 SEE SHEET E-17

Architectural Design Consultants, Inc.
 30 Wisconsin Delta Parkway
 P.O. Box 400
 Lake Dillon, CO 80401
 Phone: (800) 254-4181
 Fax: (800) 254-2139

REVISIONS
 A. APPROVED 3 - 11-10-04
 B. REVISED 2 - 11-10-04

PARTIAL FIRST FLOOR PLAN
GREAT WOLF LODGE
REAR AND WATER PARK ADDITION
COLORADO SPRINGS, COLORADO
BUTLEY, ROSENBERG & PARTNERS, INC.
 1111 N. 10TH ST., SUITE 200, DENVER, COLORADO 80202
 PHONE: (303) 733-1111
 FAX: (303) 733-1112
 WWW: WWW.BR&P.COM

A1.7

DATE: 11-10-04
 DRAWN BY: J. ROSENBERG
 CHECKED BY: M. BUTLEY
 APPROVED BY: M. BUTLEY

WALL TYPES
 SEE SHEET E-17 FOR PARTITION TYPES

PARTITION TYPES
 SEE SHEET E-17 FOR PARTITION TYPES

KEYNOTES

010 SEE SHEET E-17 FOR GENERAL NOTES.
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 490 SEE SHEET E-17 FOR GENERAL NOTES.
 500 SEE SHEET E-17 FOR GENERAL NOTES.

BEFORE THE COLORADO SPRINGS LIQUOR AND
BEER LICENSING BOARD
CITY OF COLORADO SPRINGS, STATE OF COLORADO
Address: 107 North Nevada Avenue
Council Chambers, City Hall
Colorado Springs, CO 80903

CITY CLERK'S OFFICE

2016 JUL 29 A 7:20

IN THE MATTER OF:

Great Wolf Lodge of Colorado, LLC d/b/a
Great Wolf Lodge
9494 Federal Boulevard
Colorado Springs, CO 80920
Mailing Address:
9494 Federal Boulevard
Colorado Springs, CO 80920

▲ BOARD USE ONLY ▲

Application No: 31036

NOTICE OF HEARING AND INITIAL FINDINGS OF FACT

NOTICE OF HEARING

This matter comes before the Board for hearing on **Friday, August 19, 2016 at 9:00 A.M. in the City Council Chambers of City Hall at 107 N. Nevada Avenue** upon Great Wolf Lodge of Colorado, LLC d/b/a Great Wolf Lodge ("Applicant") application for a new Hotel and Restaurant Liquor License at 9494 Federal Boulevard, Colorado Springs, CO 80920.

At this meeting, the Board will consider the factors outlined in Rule No. 9.08 of the Local Rules of Procedure, and it is the Applicant's burden to provide the necessary evidence to satisfy the Board.

A public notice poster has been prepared for the Applicant to pick up from the City Clerk's Office at 30 S. Nevada Avenue, Suite 101. This notice poster must be posted by the Applicant at the proposed premises in a manner that is visible and conspicuous to the public no later than Tuesday, August 9, 2016. Any applicable needs and desires petitions, remonstrances, and other reports or statements in writing must be filed with the City Clerk's Office by 12:00 P.M. on Tuesday, August 16, 2016.

Pursuant to C.R.S. §12-47-312 and Local Rule No. 7 the Local Licensing Authority, through the Office of the City Clerk, has conducted an investigation into Applicant's application. NOW THEREFORE these Initial Findings of Fact are presented.

INITIAL FINDINGS OF FACT

- I. Applicant's application was filed on July 5, 2016, and within a two (2) year period prior to this date, the Local Licensing Authority has not denied an application at the above referenced location for the reason that the reasonable requirements of the neighborhood were satisfied by existing outlets.
- II. Applicant will be entitled to possession of the premises for which the application is made pursuant to a lease, rental agreement, or other arrangement for possession of the premises, or by virtue of ownership thereof as evidence by the possession documents submitted by Applicant and contained in the administrative file.
- III. The location of the premises to be licensed appears to be in compliance with the Zoning Ordinances of the City of Colorado Springs as evidenced by the Land use review report submitted by the Planning and Development Department of the City of Colorado Springs.
- IV. The location of the premises to be licensed appears to be in compliance with the distance prohibition in regard to any public or parochial school or the principal campus of any college, university or seminary.
- V. The Colorado Springs Police Department has conducted a background investigation into Applicant and there are no objections to Applicant at this time.
- VI. A review of Applicant's finances did not disclose any unlawful financial assistance as prohibited in C.R.S. §12-47-308.
- VII. Applicant is not a person prohibited as a licensee pursuant to C.R.S. §12-47-307.
- VIII. Pursuant to Local Rule 6.01 neighborhood boundaries have been established, and a listing of existing licenses of a similar type that are within the established boundary area for the proposed establishment and boundary map are attached.

ON BEHALF OF THE LOCAL LICENSING AUTHORITY done July 29, 2016.

FOR THE CITY OF COLORADO
SPRINGS LIQUOR AND BEER
LICENSING BOARD



By: Sarah B. Johnson
City Clerk

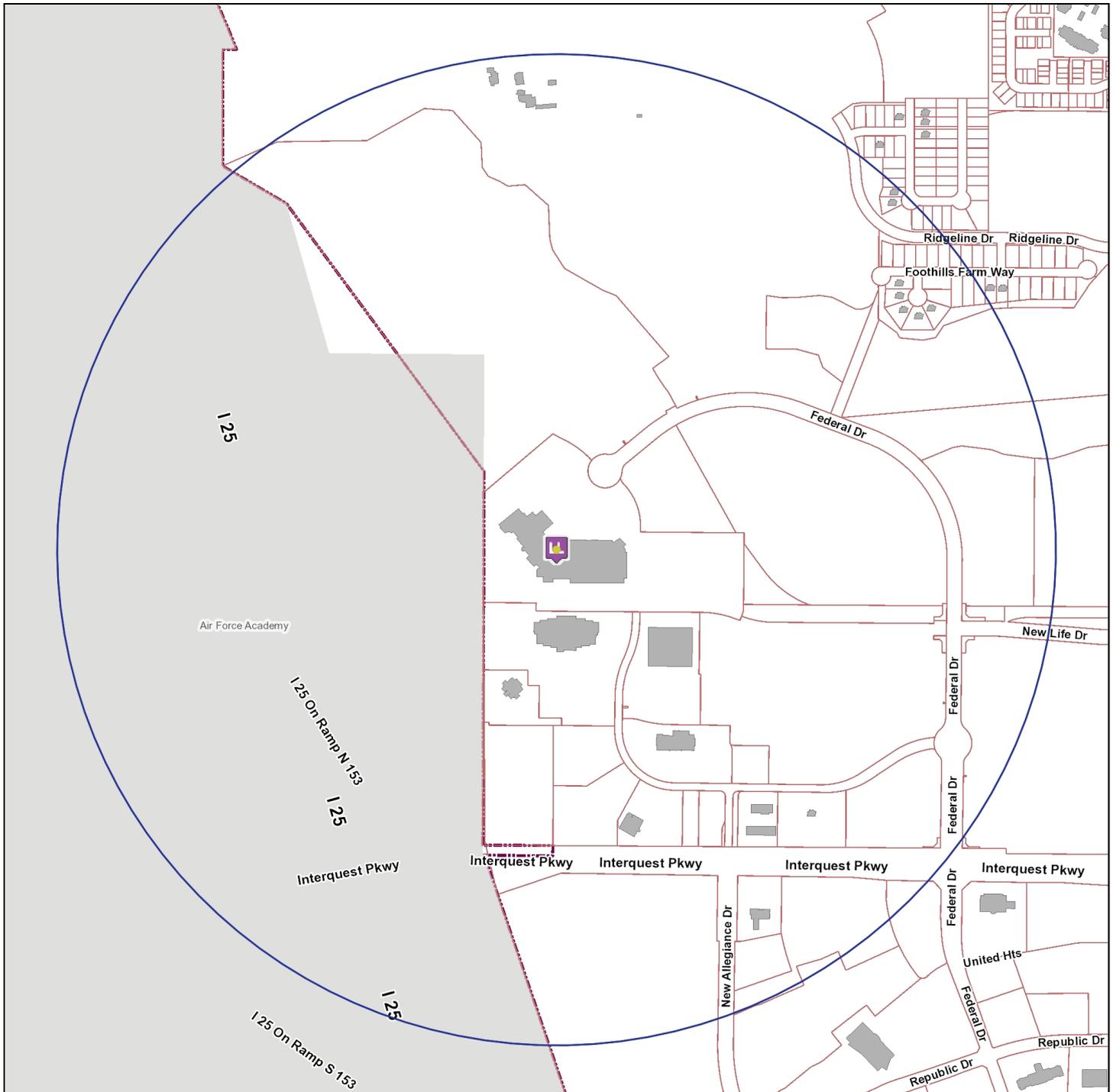
Direct questions regarding this notice and hearing to Lee McRae at 719-385-5106.

Liquor Survey Boundaries



GREAT WOLF LODGE OF COLORADO, LLC
d/b/a GREAT WOLF LODGE
9494 FEDERAL DR

OFFICE OF THE CITY CLERK
License ID: 31036



The survey boundary is 0.5 miles from the establishment

Map Prepared: 7/27/2016 1:55 PM

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OFFICE OF THE CITY CLERK

HEARING LETTER ATTACHMENT

License ID: 31036

GREAT WOLF LODGE OF COLORADO, LLC
d/b/a GREAT WOLF LODGE
9494 FEDERAL DR
COLORADO SPRINGS, CO 80920

EXISTING SIMILAR LICENSES WITHIN BOUNDARY AREA

<u>Business d/b/a</u>	<u>Business Address</u>	<u>License Type</u>	
1) COLORADO MOUNTAIN BREWERY	11202 RAMPART HILLS VW	Brew Pub	831.14 ft
2) DRURY INN & SUITES - COLORADO SPRINGS	1170 INTERQUEST PKWY	Tavern	1,290.33 ft
3) CHEDDARS CASUAL CAFE	1140 INTERQUEST PKWY	Hotel & Restaurant	1,460.39 ft
4) THE SUMMIT INTERQUEST	1180 INTERQUEST PKWY	Hotel & Restaurant	1,869.63 ft

CERTIFICATE OF MAILING

I, Lee McRae, hereby certify that I have mailed a true copy of the foregoing **NOTICE OF HEARING AND INITIAL FINDINGS OF FACT** by United States mail, first class postage paid, on July 29, 2016 to the following address of record:

Great Wolf Lodge of Colorado, LLC
dba Great Wolf Lodge
9494 Federal Boulevard
Colorado Springs, CO 80920



Lee McRae
License Enforcement Officer
City Clerk's Office
30 S. Nevada Avenue, Suite 101
Colorado Springs, CO 80903

CC: brian@fostergraham.com
janderson@greatwolf.com