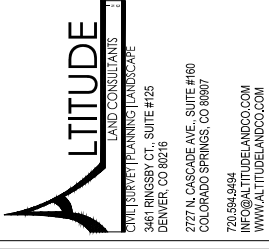


SELBY RANCH DEVELOPMENT PLAN

A PORTION OF THE SOUTH HALF OF SECTION 36,
IN THE CITY OF COLORADO SPRINGS, EL PASO COUNTY, COLORADO



PROJECT NOTES:

- OWNER/DEVELOPER: ROCKWOOD HOMES, LLC
6455 N. UNION BLVD., SUITE 103
COLORADO SPRINGS, CO 80918
CONTACT: JOHN RAFTIS
PHONE: 719-593-5987
- SURVEYOR: ORIENT CONSULTANTS, INC.
3888 MARLEND ROAD
COLORADO SPRINGS, CO 80909
CONTACT: DAVE HOSTETLER, PLS
PHONE: 719-524-4133
- CIVIL ENGINEER: ALTITUDE LAND CONSULTANTS
161 KINGSBURY CT., SUITE 125
DENVER, CO 80202
CONTACT: SAL CAMBRIA, PE
PHONE: 720-427-3017
- LANDSCAPE ARCHITECT: ALTITUDE LAND CONSULTANTS
2727 N. CASCADE AVE., SUITE 160
COLORADO SPRINGS, CO 80907
PHONE: 719-524-4147
- ARCHITECT: ARCHITECTURE P.C.
10 TOWN PLAZA #178
DURANGO, CO 81301
CONTACT: JERRY BURNS
PHONE: 970-471-9800

GENERAL NOTES:

- ALL COMMON AREAS, OPEN SPACE AND LANDSCAPE IMPROVEMENTS SHALL BE OWNED AND MAINTAINED BY SELBY RANCH HOMEOWNERS ASSOCIATION OR CURRENT OWNER. STREET TREES WITHIN THE CITY ROW TO BE OWNED BY THE CITY BUT MAINTAINED BY SELBY RANCH HOMEOWNERS ASSOCIATION OR CURRENT ADJACENT PROPERTY OWNER.
- FLOODPLAIN STATEMENT: THIS PROPERTY IS LOCATED WITHIN ZONE X PER FIRM PANEL 080410789 G WITH AN EFFECTIVE DATE OF DECEMBER 7, 2018.
- SCHOOL AND PARK FEES IN LIEU OF LAND DEDICATION SHALL BE PROVIDED AT THE TIME OF BUILDING PERMIT.
- ALL ON-SITE DRIVES, ROADS, AND SURFACE PARKING FACILITIES SHALL BE ASPHALT WITH CONCRETE CURB AND GUTTER. ALL ON-SITE ALLEYS SHALL BE CONCRETE.
- SIGNAGE IS NOT APPROVED WITH THIS PLAN. A SEPARATE SIGN PERMIT IS REQUIRED. PLEASE CONTACT THE CITY'S DEVELOPMENT REVIEW ENTERPRISE AT 2880 INTERNATIONAL CIRCLE FOR A SIGN PERMIT APPLICATION.
- THESE LINES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.
- ALL LIGHTING FIXTURES SHALL HAVE FULL CUT-OFF SHIELDING OR FIXTURES TO REDUCE OFF-SITE LIGHTING IMPACTS.
- ALL EXISTING CURB, GUTTER AND CROSSPANS POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATION OR NOT MEETING CURRENT CITY ENGINEERING STANDARDS ALONG HANCOCK EXPRESSWAY AND SILVER HAWK AVENUE ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED TO MEET CURRENT CITY ENGINEERING STANDARDS. EXISTING CURB AND GUTTER SHALL BE RECONSTRUCTED TO MEET CURRENT CITY ENGINEERING STANDARDS.
- THE DEVELOPER SHALL INSTALL ALL ON-SITE TRAFFIC CONTROL MEASURES SHOWN ON THE DEVELOPMENT PLAN TO MEET MUTCD STANDARDS.
- THE REQUIRED PARKING FOR ALL DEVELOPED USES SHALL BE CALCULATED IN ACCORDANCE WITH CITY CODE.
- ZONING ORDINANCE 98-112 CONDITIONS OF RECORD:
- USES SHALL BE RESTRICTED TO THOSE SHOWN ON THE APPROVED CONCEPT PLAN. MAJOR USE CHANGES SHALL BE REVIEWED BY THE PLANNING COMMISSION.
- DEVELOPMENT PLAN REVIEW BY THE PLANNING COMMISSION, PER ZONING CODE ARTICLE 4, SHALL BE REQUIRED.
- THE ARTERIAL STREET SCAPE SHALL BE COORDINATED THROUGH DEVELOPMENT PLAN REVIEW TO CREATE A STRONG SENSE OF PLACE FOR SOARING PARK-LIKE MANNEUR.
- A COMPREHENSIVE SET OF DESIGN STANDARDS SHALL BE SET FORTH ON THE DEVELOPMENT PLAN(S) TO LINK THE MIXED-USE IN A COMPREHENSIVE OR COORDINATED LANDSCAPE AND OPEN SPACE THEME SHALL BE FACILITATED AND MAINTAINED BY A SPECIAL IMPROVEMENT MAINTENANCE DISTRICT OR PROPERTY OWNERS ASSOCIATION, WHICH SHALL BE NOTED IN THE RECORDED COVENANTS AND ON ALL SUBDIVISION PLATS.
- THE OWNERS SHALL PARTICIPATE IN A LOCAL IMPROVEMENT DISTRICT(S) ROADWAYS.
- IT SHALL BE NOTED ON ALL DEVELOPMENT PLANS AND PLATS THAT THE PRELIMINARY SUBSURFACE SOIL INVESTIGATION, 250 ACRE SITE, DRENNAN ROAD AT HANCOCK STREET, COLORADO SPRINGS, COLORADO, BY ENTECH ENGINEERS, INC., DATED NOVEMBER 2, 1998, SHALL BE CONSULTED PRIOR TO ASSUANCE OF ANY BUILDING PERMIT.
- FACILITY IMPROVEMENTS SHALL BE CONSTRUCTED HEREFTER CONSTRUCTED SHALL BE ACCESSIBLE TO FIRE DEPARTMENT APPARATUS BY WAY OF AN APPROVED FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS WITH A MINIMUM SINGLE AXLE WEIGHT OF 27,000 POUNDS.
- THIS SITE IS SUBJECT TO THE AVIGATION EASEMENT FOR THE COLORADO SPRINGS AIRPORT AS RECORDED UNDER BOOK 3324 AT PAGE 313, RECORDS OF EL PASO COUNTY, COLORADO.
- ENCROACHMENTS INTO COMMON AREA TRACTS MAY INCLUDE EAVES, DECKS, PORCHES, ROOF OVERHANGS, AND MECHANICAL EQUIPMENT, SUCH AS GAS AND ELECTRIC METERS AND AC UNITS.



DRAWING NO.	DRAWING NAME	SHEET NO.
DP1	COVER SHEET & NOTES	01 OF 18
DP2	OVERALL SITE PLAN	02 OF 18
DP3	SITE PLAN (W)	03 OF 18
DP4	SITE PLAN (E)	04 OF 18
DP5	ADA COMPLIANCE PLAN	05 OF 18
DP6	PRELIMINARY GRADING & DRAINAGE PLAN (W)	06 OF 18
DP7	PRELIMINARY GRADING & DRAINAGE PLAN (E)	07 OF 18
DP8	PRELIMINARY OVERALL UTILITY PLAN	08 OF 18
DP9	PRELIMINARY UTILITY PLAN (W)	09 OF 18
DP10	PRELIMINARY UTILITY PLAN (E)	10 OF 18
DP11	PRELIMINARY LANDSCAPE PLAN (W)	11 OF 18
DP12	PRELIMINARY LANDSCAPE PLAN (E)	12 OF 18
DP13	LANDSCAPE NOTES & DETAILS	13 OF 18
DP14	LANDSCAPE NOTES & DETAILS	14 OF 18
DP15	BUILDING ELEVATIONS	15 OF 18
DP16	BUILDING ELEVATIONS	16 OF 18
DP17	BUILDING ELEVATIONS	17 OF 18
DP18	BUILDING ELEVATIONS	18 OF 18

SELBY RANCH DEVELOPMENT PLAN

0 SILVER HAWK AVENUE
CITY OF COLORADO SPRINGS, STATE OF COLORADO

19-095

NOT FOR CONSTRUCTION

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REVISION:

NO.	DATE	BY
1	5.15.20	ENE
2	6.10.20	ENE
3	10.16.20	ENE

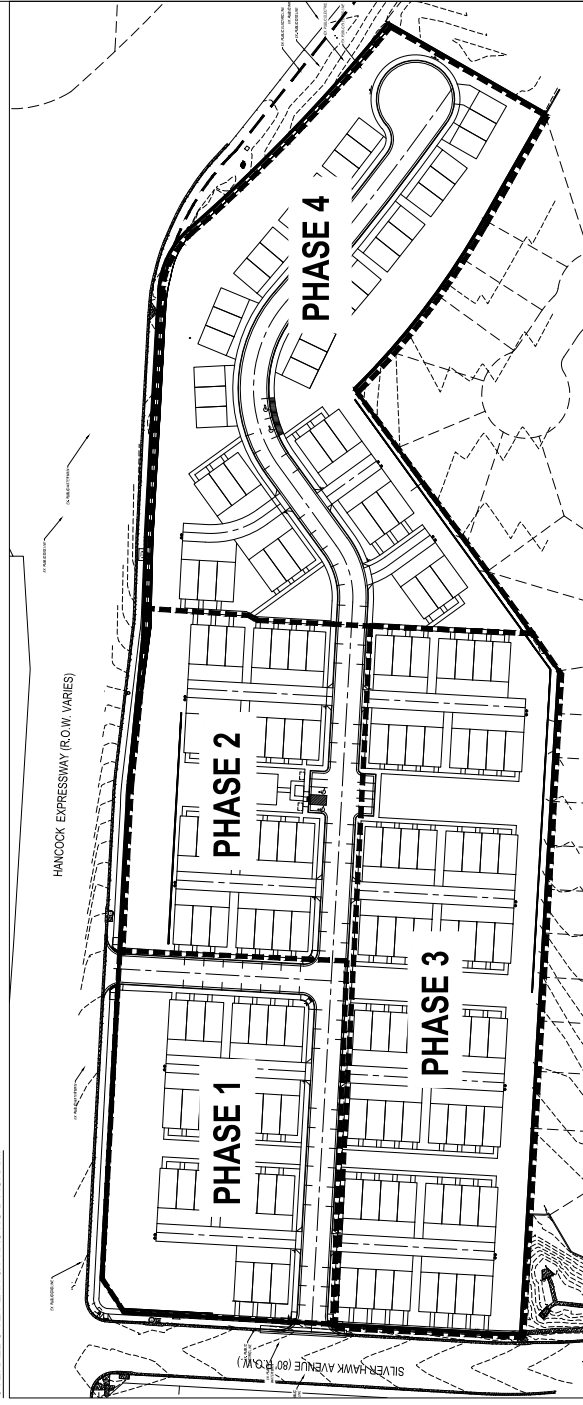
DATE: 10.16.20
DRAWN BY: BJU
CHECKED BY: KAW

COVER SHEET
AND NOTES

DP1

SHEET 01 OF 18

OVERALL SITE PLAN & PHASING DIAGRAM:



PHASING NOTE:

ABOVE PHASING DIAGRAM ONLY APPLIES TO VERTICAL CONSTRUCTION. ALL SITE LAYOUT, UTILITY, AND GRADING WILL BE CONSTRUCTED DURING THE FIRST PHASE.

FEMA NOTE:

NO PORTION OF THE SITE IS LOCATED WITHIN A 100-YEAR FLOODPLAIN AS DETERMINED BY THE FLOOD INSURANCE RATE MAP (FIRM) NUMBER 080410789G EFFECTIVE DATE: DECEMBER 7, 2018.

PARKING SUMMARY:

OVERALL PARKING REQUIRED:	OVERALL PARKING PROVIDED:
3 BEDROOM = 2.0 SPACES X DWELLING UNIT	(28) ATTACHED GARAGE SPACES (2-CAR GARAGES X 16)
185 DWELLING UNITS = 326 PARKING SPACES REQUIRED	(82) PARALLEL ON-STREET SPACES
326 TOTAL PARKING SPACES REQUIRED	(397) TOTAL SPACES
	ADA PARKING SPACES REQUIRED: 4 SPACES (BASED ON ON-STREET AND 90° SPACES)
	MINIMUM PARKING PROVIDED: 9 X 18 STANDARD 90° STALL
	MINIMUM PARKING SIZE: 9 X 22 8' X 18' STALL
	TYPICAL ADA PARKING STALL: 5 OR 8' X 18' STRIPED AREA

CONSTRUCTION SCHEDULE:

COMMERCE CONSTRUCTION:	CONSTRUCTION COMPLETION:
PHASE 1 COMMENCE CONSTRUCTION: SPRING 2021	PHASE 1 COMMENCE CONSTRUCTION: SPRING 2021
PHASE 2 COMMENCE CONSTRUCTION: SPRING 2021	PHASE 2 COMMENCE CONSTRUCTION: SPRING 2021
PHASE 3 COMMENCE CONSTRUCTION: SPRING 2023	PHASE 3 COMMENCE CONSTRUCTION: SPRING 2023
PHASE 4 COMMENCE CONSTRUCTION: SPRING 2023	PHASE 4 COMMENCE CONSTRUCTION: SPRING 2023

*FUTURE PHASES TO BE BLOCKED OFF BY A 6' BARBER NOT ALLOWING USE OF FUTURE PHASES BEFORE THEY ARE COMPLETED.

LEGAL DESCRIPTION:

A TRACT OF LAND BEING A PORTION OF THE SOUTH HALF OF SECTION 36, TOWNSHIP 14 SOUTH, RANGE 68 WEST OF THE 6TH P.M., SITUATE IN THE CITY OF COLORADO SPRINGS, EL PASO COUNTY, COLORADO, DESCRIBED AS FOLLOWS:
BEGINNING AT THE MOST NORTHERLY NORTHEASTLY CORNER OF SOARING EAGLES SUBDIVISION PLAT NO. 1 (RECEPTION NO. 20101098), EL PASO COUNTY, COLORADO RECORDS, SAID POINT IS ON THE SOUTHERLY RIGHT-OF-WAY LINE OF HANCOCK EXPRESSWAY (R.O.W. WIDTH VARIES) AS DESCRIBED BY DOCUMENT BOOK 8915, PAGE 1021, SAID EL PASO COUNTY RECORDS; (THE FOLLOWING SIX (6) COURSES ARE ALONG SAID HANCOCK EXPRESSWAY'S SOUTHERLY RIGHT-OF-WAY LINE); 1) 107'57"32"E, 48.80 FEET; 2) S88°53'34"E, 54.19 FEET; 3) S84°28'52"E, 197.71 FEET; 4) S89°19'56"E, 110.72 FEET; 5) S86°55'29"E, 282.66 FEET; 6) ON A CURVE TO THE RIGHT, SAID CURVE HAVING A CENTRAL ANGLE OF 45°46'17", A RADIUS OF 100.00 FEET, AN ARC LENGTH OF 79.89 FEET (THE CHORD TO SAID CURVE BEARS S89°12'17"E, A DISTANCE OF 117.78 FEET) TO A POINT ON THE SOUTHWESTERLY RIGHT-OF-WAY LINE OF HANCOCK EXPRESSWAY (R.O.W. WIDTH VARIES) AS DESCRIBED BY DOCUMENT BOOK 725, PAGE 26, SAID RECORDS; THENCE SOUTHWESTERLY ALONG SAID CURVE TO A POINT ON SAID S. POWERS BOULEVARD'S SOUTHWESTERLY RIGHT-OF-WAY LINE, SAID CURVE HAVING A CENTRAL ANGLE OF 69°49'51", A RADIUS OF 1897.70 FEET, AN ARC LENGTH OF 326.61 FEET (THE CHORD TO SAID CURVE BEARS S46°04'01"E, A DISTANCE OF 323.21 FEET) TO A POINT ON THE NORTHWESTERLY LINE OF THAT TRACT DESCRIBED BY DOCUMENT (RECEPTION NO. 205019158) SAID RECORDS; THENCE S29°46'50"W ALONG SAID TRACT'S NORTHWESTERLY LINE, 205.34 FEET TO THE MOST EASTERLY CORNER OF SILVER HAWK AT SOARING EAGLES FILING NO. 1 (RECEPTION NO. 218713849, SAID RECORDS) (THE FOLLOWING FOUR (4) COURSES ARE ALONG THE NORTHERLY LINE OF SAID SILVER HAWK AT SOARING EAGLES FILING NO. 1); 1) N06°22'48"W, 139.89 FEET; 2) ON A CURVE TO THE RIGHT, SAID CURVE HAVING A CENTRAL ANGLE OF 15°26'38", A RADIUS OF 900.00 FEET, AN ARC LENGTH OF 52.26 FEET; 3) ON A CURVE TO THE RIGHT, SAID CURVE HAVING A CENTRAL ANGLE OF 15°26'38", A RADIUS OF 900.00 FEET, AN ARC LENGTH OF 52.26 FEET; 4) ON A CURVE TO THE RIGHT, SAID CURVE HAVING A CENTRAL ANGLE OF 15°26'38", A RADIUS OF 900.00 FEET, AN ARC LENGTH OF 52.26 FEET; THENCE NORTHWESTERLY ALONG SAID CURVE TO THE POINT OF BEGINNING AND THE TERMINUS POINT OF THIS DESCRIPTION; CONTAINING 13.188 ACRES (674.475 SQUARE FEET), MORE OR LESS.

DIMENSIONAL CONTROLS - PER R-5 DEVELOPMENT STANDARDS:

MAXIMUM BUILDING HEIGHT:	MINIMUM BUILDING SETBACKS:	MINIMUM LANDSCAPE SETBACKS:	LOT COVERAGE:	REQUIRED LOT AREA:	OPEN SPACE:
45-FEET	FRONT (HANCOCK EXPRESSWAY) - 25-FEET (NOISE BUFFER - 40-FEET)	FRONT (HANCOCK EXPRESSWAY) - 25-FEET	REQUIRED MAX LOT COVERAGE = 53.32 ACRES (49%)	133.2 STORY UNITS X 1,107 SF = 147,231 SF	200 SF X 468 BEDS = 93,600 SF REQ'D. (200,650 SF PROJ.)
MINIMUM BUILDING SETBACKS:	FRONT (SILVER HAWK AVENUE) - 20-FEET	FRONT (SILVER HAWK AVENUE) - 10-FEET	REQUIRED MULTI-FAMILY 2-STORY = 1,107 SF PER UNIT FOR LOTS 1-13	147,231 SF + 27,800 SF = 174,831 SF	
REAR (SOUTH) - 25-FEET	REAR (SOUTH) - 25-FEET	ACCESSORY STRUCTURE - 5 FEET	REQUIRED MULTI-FAMILY 3-STORY = 920 SF PER UNIT FOR LOTS 134-163		
MINIMUM LANDSCAPE SETBACKS:	FRONT (HANCOCK EXPRESSWAY) - 25-FEET	FRONT (SILVER HAWK AVENUE) - 10-FEET	REQUIRED MULTI-FAMILY 2-STORY = 1,107 SF PER UNIT FOR LOTS 1-13		
FRONT (SOUTH) - 15-FEET (BUFFER)	FRONT (SOUTH) - 15-FEET (BUFFER)	REAR (SOUTH) - 15-FEET (BUFFER)	REQUIRED MULTI-FAMILY 3-STORY = 920 SF PER UNIT FOR LOTS 134-163		
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REAR (SOUTH) - 15-FEET (BUFFER)	REAR (SOUTH) - 15-FEET (BUFFER)	REAR (SOUTH) - 15-FEET (BUFFER)	REQUIRED MULTI-FAMILY 2-STORY = 1,107 SF PER UNIT FOR LOTS 1-13		
FRONT (SOUTH) - 15-FEET (BUFFER)	FRONT (SOUTH) - 15-FEET (BUFFER)	FRONT (SOUTH) - 15-FEET (BUFFER)	REQUIRED MULTI-FAMILY 3-STORY = 920 SF PER UNIT FOR LOTS 134-163		
REAR (SOUTH) - 15-FEET (BUFFER)	REAR (SOUTH) - 15-FEET (BUFFER)	REAR (SOUTH) - 15-FEET (BUFFER)	REQUIRED MULTI-FAMILY 2-STORY = 1,107 SF PER UNIT FOR LOTS 1-13		
FRONT (SOUTH) - 15-FEET (BUFFER)	FRONT (SOUTH) - 15-FEET (BUFFER)	FRONT (SOUTH) - 15-FEET (BUFFER)	REQUIRED MULTI-FAMILY 3-STORY = 920 SF PER UNIT FOR LOTS 134-163		
REAR (SOUTH) - 15-FEET (BUFFER)					

SELBY RANCH DEVELOPMENT PLAN

A PORTION OF THE SOUTH HALF OF SECTION 36,
IN THE CITY OF COLORADO SPRINGS, EL PASO COUNTY, COLORADO



ALTITUDE
LAND CONSULTANTS
CIVIL SURVEY/PLANNING/LANDSCAPE
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DENVER, CO 80216
2727 N. CASCADE AVE., SUITE #100
COLORADO SPRINGS, CO 80907
720.594.9494
WWW.ALTITUDELANDCO.COM
WWW.ALTITUDELANDCO.COM

SILVER HAWK SUBDIVISION
PLANNING NO. 24154550
RECEPTION NO. 24154550

UNPLATTED (CITY #1905207)

SILVER HAWK SUBDIVISION
PLANNING NO. 24154550
RECEPTION NO. 24154550



SITE DATA:

- EASEMENTS: 30' UTILITY EASEMENT IN LOCATIONS OF 1 WET UTILITY
- 50' EASEMENT IN LOCATIONS OF 2 WET UTILITIES
- SIDEWALK: 6' ALONG ROADWAY
- 5' INTERNAL SITE SIDEWALKS
- 5' BREEZE WALKS - SERVES AS A TRAIL FOR RESIDENTS
- PARKING: 22' x 9' PARALLEL PARKING ALONG STREET

- 133 REAR-LOADED TOWNHOMES @ 40.5' X 45'
- 30 FRONT-LOADED TOWNHOMES @ 23' X 35'
- 163 TOTAL UNITS
- 10' SPACING BETWEEN BUILDINGS
- 50' ROW ALONG SELBY GROVE
- 96' CUL-DE-SAC DIAMETER

LEGEND:

---	SETBACK
---	EASEMENT
---	SUBDIVISION BOUNDARY
---	PROP. CEDAR FENCE
---	PROPOSED KEYSTONE
---	RETAINING WALL
---	PROPOSED CONCRETE
---	NOISE WALL
---	PROPOSED CONCRETE
---	EXISTING CONCRETE
---	PARKING COUNT
---	ACCESSIBLE PARKING

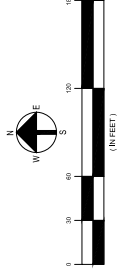
REVISION:

NO.	DATE	BY
1	5.15.20	ENE
2	9.10.20	ENE
3	10.16.20	ENE

DATE: 3.17.2020
DRAWN BY: BAU
CHECKED BY: KAW

APPROVAL BOX

NOTE: STREET AND DRIVES WILL NOT BE PHASED. INTERNAL SIDEWALKS TO INDIVIDUAL TOWNHOUSES WILL BE COMPLETED AT THE TIME TOWNHOUSES ARE BUILT.



SELBY RANCH
DEVELOPMENT PLAN
0 SILVER HAWK AVENUE
CITY OF COLORADO SPRINGS, STATE OF COLORADO
19-095

NOT FOR CONSTRUCTION

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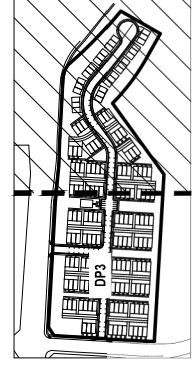
OVERALL
SITE PLAN

DP2
SHEET 2 OF 18

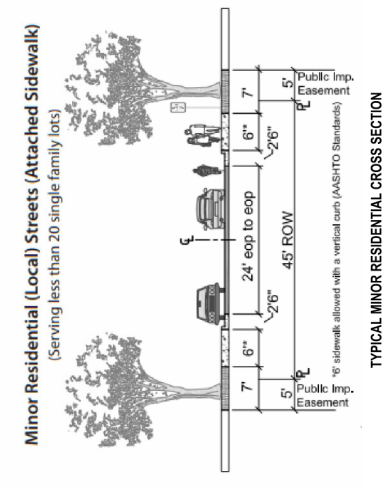
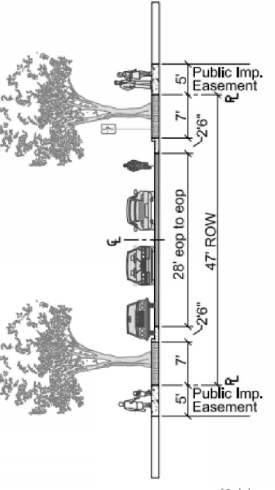
CONDITIONAL USE DEVELOPMENT PLAN

SELBY RANCH DEVELOPMENT PLAN

A PORTION OF THE SOUTH HALF OF SECTION 36,
IN THE CITY OF COLORADO SPRINGS, EL PASO COUNTY, COLORADO

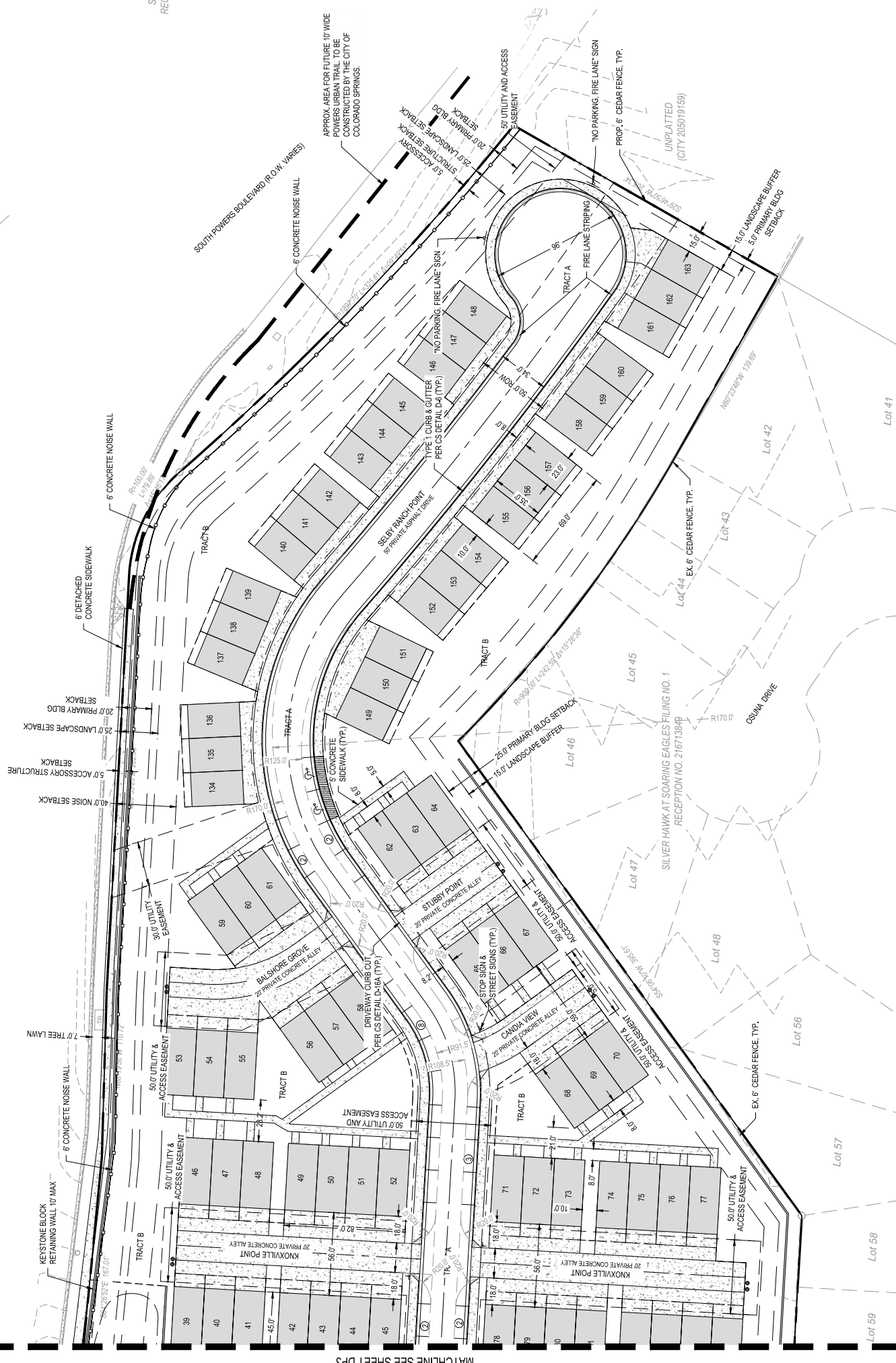


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2727 N. CASCADE AVE., SUITE #180
COLORADO SPRINGS, CO 80907
INFO@ALITUDELANDCO.COM
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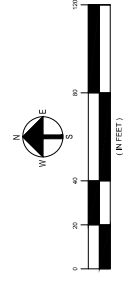


TYPICAL MINOR RESIDENTIAL CROSS SECTION
N.T.S.
NOTE: PROPOSED MINOR RESIDENTIAL STREET INCLUDES 28' EOP TO EOP AND SIDEWALK ONLY ON ONE SIDE.

NOTE: ALL ALLEYS ON SITE WILL BE MARKED AS FIRE LANE THROUGHOUT.



NOTE: STREET AND DRIVES WILL NOT BE PHASED. INTERNAL SIDEWALKS TO INDIVIDUAL TOWNHOUSES WILL BE COMPLETED AT THE TIME TOWNHOUSES ARE BUILT.



LEGEND:

- SETBACK
- - - EASEMENT
- - - SUBDIVISION BOUNDARY
- - - PROP. CEDAR FENCE
- PROPOSED KEYSTONE RETAINING WALL
- PROPOSED CONCRETE NOISE WALL
- PROPOSED CONCRETE EXISTING CONCRETE
- PARKING COUNT
- ACCESSIBLE PARKING

APPROVAL BOX

SITE PLAN - EAST

DP4

SHEET 4 OF 18

NOT FOR CONSTRUCTION

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NO.	DATE	BY
1	5.15.20	ENE
2	9.10.20	ENE
3	10.16.20	ENE

DATE: 10.16.20
DRAWN BY: VEC
CHECKED BY: SCC

SELBY RANCH DEVELOPMENT PLAN

A PORTION OF THE SOUTH HALF OF SECTION 36,
IN THE CITY OF COLORADO SPRINGS, EL PASO COUNTY, COLORADO

ALITUDE
LAND CONSULTANTS
CIVIL SURVEY/PLANNING/LANDSCAPE
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SELBY RANCH
DEVELOPMENT PLAN
0 SILVER HAWK AVENUE
CITY OF COLORADO SPRINGS, STATE OF COLORADO

19-085

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REVISION:
NO. DATE BY
1 5.15.20 ENE
2 8.10.20 ENE
3 10.16.20 ENE

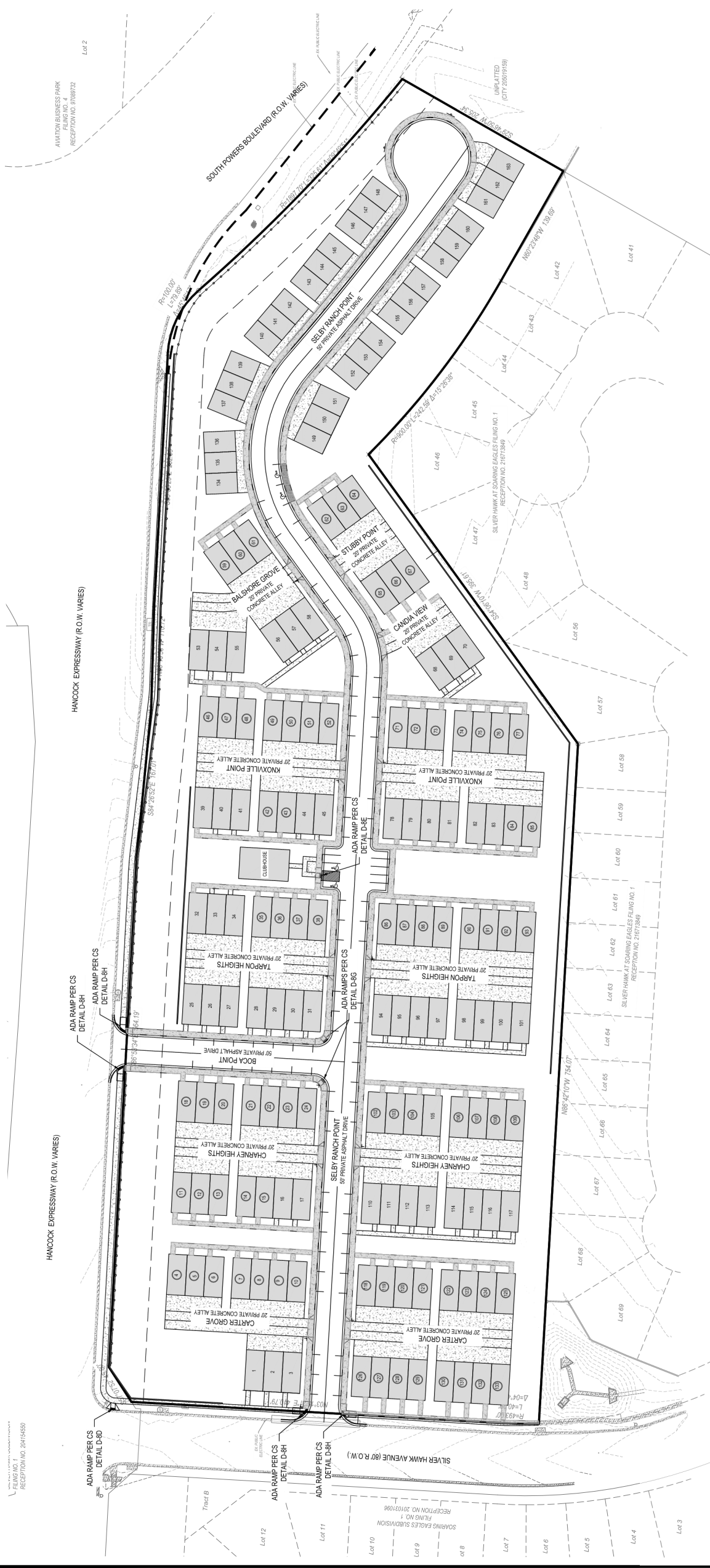
DATE: 10.16.20
DRAWN BY: VEC
CHECKED BY: SCC

**ADA COMPLIANCE
PLAN**

DP 5

SHEET 05 OF 18

CPC CU 19-00147 - DEVELOPMENT PLAN



SELBY RANCH DEVELOPMENT PLAN

A PORTION OF THE SOUTH HALF OF SECTION 36,
IN THE CITY OF COLORADO SPRINGS, EL PASO COUNTY, COLORADO



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SELBY RANCH
DEVELOPMENT PLAN
0 SILVER HAWK AVENUE
CITY OF COLORADO SPRINGS, STATE OF COLORADO

19-005

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NO. DATE BY

1 5.15.20 ENE

2 9.10.20 ENE

3 10.16.20 ENE

DATE: 10.16.20

DRAWN BY: VCC

CHECKED BY: SCC

PRELIMINARY
GRADING &
DRAINAGE PLAN -
WEST

DP 6

SHEET 06 OF 18

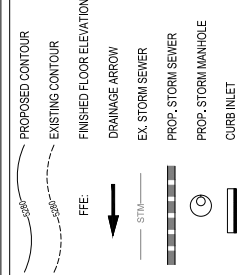


KEY MAP
N.T.S.

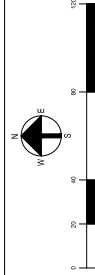


MATCHLINE SEE SHEET DP7

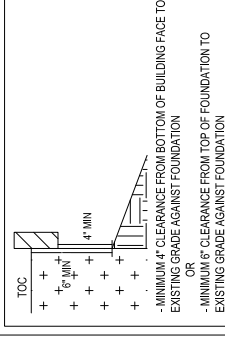
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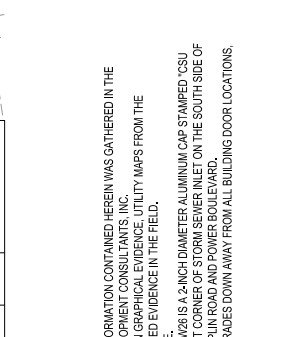
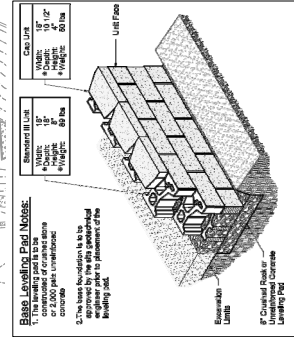
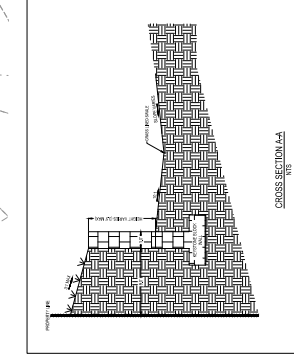
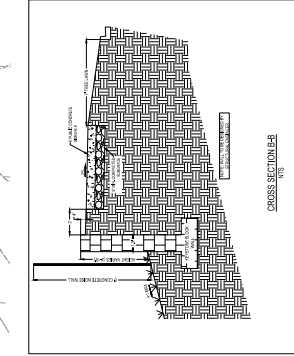
ALL PLANNED LINEWORK THAT IS FADED BACK SHOWN HEREIN INDICATES AN EXISTING FEATURE (IMPROVEMENT: TOPOGRAPHY, UTILITY, ETC.). ALL PLANNED LINEWORK THAT IS NOT FADED BACK AND NOT FADED OUT INDICATES A CALLOUT TO AN EXISTING FEATURE.



APPROVAL BOX



FOUNDATION DETAIL



NOTE: GRADING AND UTILITIES WILL NOT BE PHASED. ALL GRADING AND UTILITIES TO BE COMPLETED IN ONE PHASE.

NOTE: ALL PROPOSED STORM INFRASTRUCTURE ON-SITE WILL BE PRIVATE.

STRUCTURE	TYPE	RIM	INVERTS
FES 1	CONCRETE FLARED END SECTION	5976.18	INV IN (SE) = 5973.00
FES 2	CONCRETE FLARED END SECTION	5979.16	INV IN (E) = 5977.00
INLET 1	10" TYPE R INLET	5979.50	INV IN (S) = 5975.65 INV IN (E) = 5974.73 INV OUT (N) = 5974.63
INLET 2	10" TYPE R INLET	5979.50	INV OUT (N) = 5975.83
INLET 3	15" TYPE R INLET	5984.57	INV IN (S) = 5980.04 INV IN (E) = 5979.20 INV OUT (W) = 5978.10
INLET 4	15" TYPE R INLET	5984.56	INV OUT (N) = 5980.22
INLET 5	10" TYPE R INLET	5988.70	INV IN (S) = 5983.25 INV IN (E) = 5983.03 INV OUT (W) = 5982.73
INLET 6	15" TYPE R INLET	5988.70	INV OUT (N) = 5983.43
INLET 7	5" TYPE R INLET	5984.38	INV IN (S) = 5989.30 INV OUT (W) = 5989.21
INLET 8	15" TYPE R INLET	5984.38	INV OUT (N) = 5980.02
INLET 9	TYPE C INLET	5988.71	INV IN (S) = 5985.11 INV IN (E) = 5981.40 INV OUT (W) = 5981.30
INLET 10	TYPE C INLET	5985.31	INV OUT (W) = 5980.61
INLET 11	5" TYPE R INLET	5987.53	INV IN (SE) = 5983.81 INV IN (NE) = 5980.31 INV OUT (W) = 5980.21
INLET 12	15" TYPE R INLET	5987.53	INV OUT (NW) = 5984.53
INLET 13	10" TYPE R INLET	5988.11	INV IN (SE) = 5983.68 INV OUT (SW) = 5983.58
INLET 14	10" TYPE R INLET	5988.26	INV IN (E) = 5984.45 INV OUT (NW) = 5984.46
INLET 15	10" TYPE R INLET	6003.74	INV IN (NE) = 5999.28 INV OUT (NW) = 5998.18
INLET 16	10" TYPE R INLET	6003.74	INV OUT (SW) = 6000.00
INLET 17	NYLOPLAST YARD DRAIN	5978.51	INV IN (S) = 5973.92 INV OUT (NE) = 5973.92
INLET 18	NYLOPLAST YARD DRAIN	5982.51	INV IN (S) = 5978.06 INV OUT (N) = 5978.06
INLET 19	NYLOPLAST YARD DRAIN	5983.73	INV IN (E) = 5979.79 INV OUT (N) = 5978.79
MH 1	60" TYPE I MANHOLE	5981.62	INV IN (S) = 5974.23 INV OUT (NW) = 5974.13
MH 2	48" TYPE I MANHOLE	5986.70	INV IN (E) = 5983.83 INV OUT (N) = 5986.83
MH 3	48" TYPE I MANHOLE	6000.57	INV IN (SE) = 5986.09 INV OUT (W) = 5984.98

GENERAL NOTES:

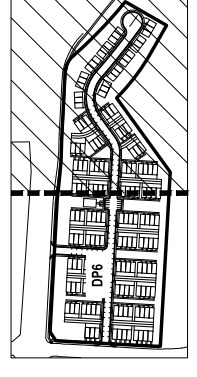
- ALL TOPOGRAPHIC AND PLANNING INFORMATION CONTAINED HEREIN WAS GATHERED IN THE FIELD ON THE DATE OF SURVEY.
- THESE PLANS ARE BASED ON THE DATA PROVIDED BY THE CLIENT AND THE SURVEYING DATA OBTAINED FROM THE FIELD.
- GOVERNING JURISDICTIONS AND SURVEYED EVIDENCE IN THE FIELD.
- SITE BENCHMARK IS: FMS BENCHMARK PW28 IS A 2-INCH DIAMETER ALUMINUM CAP STAMPED 'CSU FMS CONTROL PW28' ON THE NORTHEAST CORNER OF STORM SEWER INLET ON THE SOUTH SIDE OF TRAFFIC ISLAND AT THE CORNER OF ZEPLIN ROAD AND POWER BOULEVARD.
- CONTRACTOR SHALL SLOPE ALL FINED GRADES DOWN AWAY FROM ALL BUILDING DOOR LOCATIONS AS SHOWN.

CONDITIONAL USE
DEVELOPMENT PLAN

SELBY RANCH

DEVELOPMENT PLAN

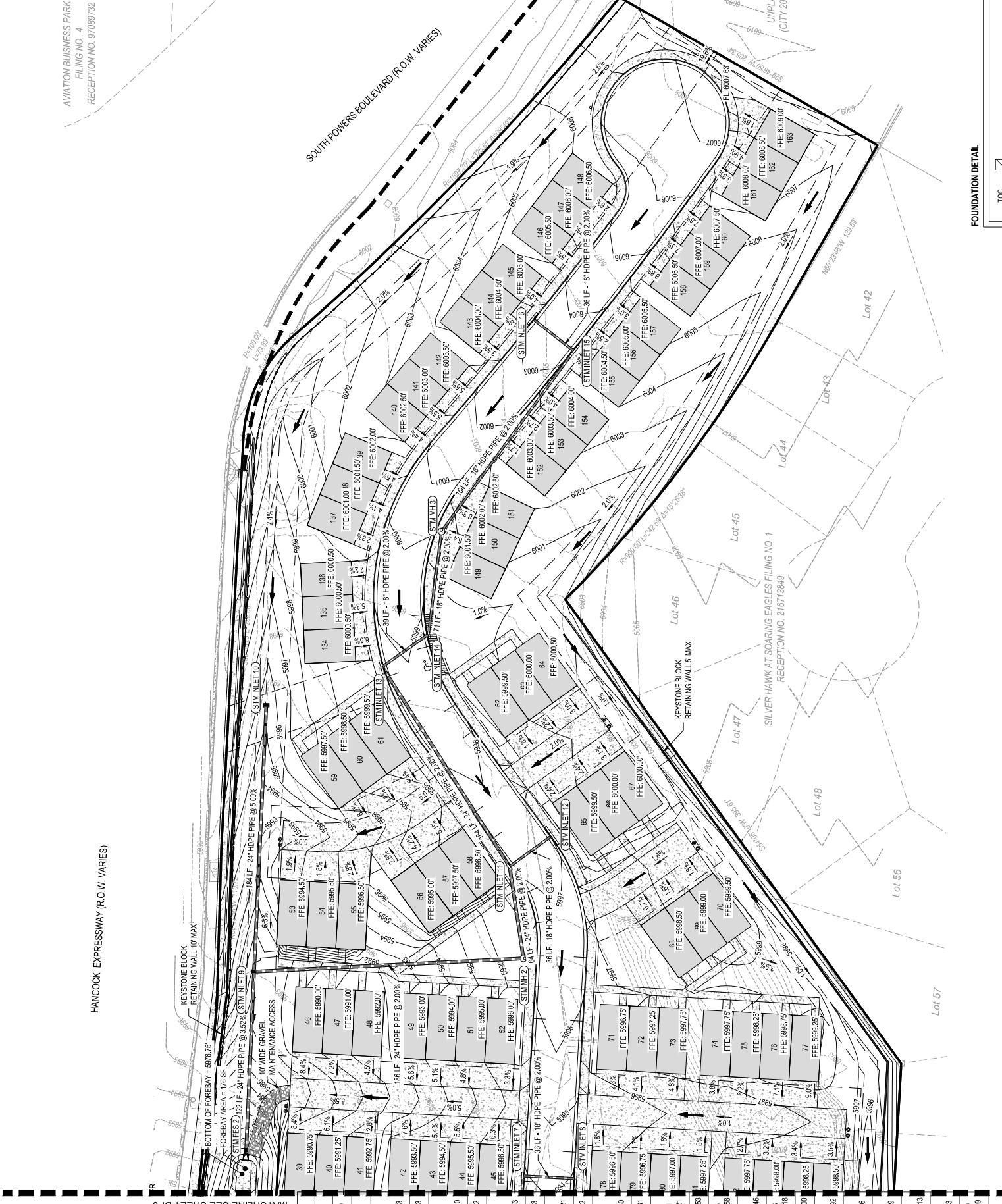
A PORTION OF THE SOUTH HALF OF SECTION 36,
IN THE CITY OF COLORADO SPRINGS, EL PASO COUNTY, COLORADO



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INFO@ALITUDELANDCO.COM
WWW.ALITUDELANDCO.COM

DEVELOPMENT PLAN
0 SILVER HAWK AVENUE
SELBY RANCH
19-0065
CITY OF COLORADO SPRINGS, STATE OF COLORADO

AVIATION BUSINESS PARK
FILING NO. 4
RECEPTION NO. 97108732



STRUCTURE	TYPE	RIM	INVERTS
FES1	CONCRETE FLARED END SECTION	5976.18	INV IN (SE) = 5973.00 INV OUT (N) = 5974.63
FES2	CONCRETE FLARED END SECTION	5979.16	INV IN (E) = 5977.00 INV OUT (W) = 5978.10
INLET 1	10" TYPE R INLET	5979.50	INV IN (S) = 5975.85 INV OUT (N) = 5974.63
INLET 2	10" TYPE R INLET	5979.50	INV IN (S) = 5975.85 INV OUT (N) = 5974.63
INLET 3	15" TYPE R INLET	5984.57	INV IN (S) = 5980.04 INV IN (E) = 5979.20 INV OUT (W) = 5979.10
INLET 4	15" TYPE R INLET	5984.56	INV IN (S) = 5980.22 INV IN (E) = 5983.83 INV OUT (W) = 5983.73
INLET 5	10" TYPE R INLET	5983.70	INV IN (S) = 5983.25 INV IN (E) = 5983.83 INV OUT (W) = 5983.73
INLET 6	15" TYPE R INLET	5988.70	INV OUT (N) = 5983.43
INLET 7	5" TYPE R INLET	5994.38	INV IN (S) = 5989.30 INV IN (E) = 5989.21 INV OUT (W) = 5989.21
INLET 8	15" TYPE R INLET	5994.38	INV OUT (N) = 5990.02
INLET 9	TYPE C INLET	5988.71	INV IN (S) = 5985.11 INV IN (E) = 5981.40 INV OUT (W) = 5981.30
INLET 10	TYPE C INLET	5985.31	INV OUT (W) = 5986.61
INLET 11	5" TYPE R INLET	5997.53	INV IN (SE) = 5993.81 INV IN (NE) = 5990.31 INV OUT (W) = 5990.21
INLET 12	15" TYPE R INLET	5997.53	INV OUT (NW) = 5994.53
INLET 13	10" TYPE R INLET	5999.11	INV IN (SE) = 5993.68 INV IN (SW) = 5993.58 INV OUT (SW) = 5993.58
INLET 14	10" TYPE R INLET	5999.26	INV IN (E) = 5994.56 INV OUT (NW) = 5994.46
INLET 15	10" TYPE R INLET	6003.74	INV IN (NE) = 5995.28 INV OUT (NW) = 5995.10 INV OUT (SW) = 6000.00
INLET 16	10" TYPE R INLET	6003.74	INV IN (S) = 5978.06 INV OUT (N) = 5976.06
INLET 17	NYLOPLAST YARD DRAIN	5979.51	INV IN (S) = 5973.92 INV OUT (NE) = 5973.92 INV OUT (W) = 5973.79
INLET 18	NYLOPLAST YARD DRAIN	5982.51	INV IN (S) = 5978.06 INV OUT (N) = 5976.06
INLET 19	NYLOPLAST YARD DRAIN	5983.73	INV IN (E) = 5979.79 INV OUT (N) = 5978.79
MH1	60" TYPE IMANHOLE	5981.62	INV IN (S) = 5974.23 INV IN (E) = 5988.83 INV OUT (N) = 5988.83
MH2	48" TYPE IMANHOLE	5996.70	INV IN (SE) = 5996.09 INV OUT (W) = 5996.96
MH3	48" TYPE IMANHOLE	6000.57	INV IN (SE) = 5996.09 INV OUT (W) = 5996.96

NOTE:
ALL PROPOSED STORM INFRASTRUCTURE
ON-SITE WILL BE PRIVATE.

NOTE:
GRADING AND UTILITIES WILL NOT BE PHASED.
ALL GRADING AND UTILITIES TO BE COMPLETED IN
ONE PHASE.

- GENERAL NOTES:**
- ALL TOPOGRAPHIC AND PLANNING INFORMATION CONTAINED HEREIN WAS GATHERED IN THE FIELD IN AUGUST OF 2018 BY LAND DEVELOPMENT CONSULTANTS, INC.
 - UTILITIES SHOWN HEREON ARE BASED ON GRAPHICAL EVIDENCE, UTILITY MAPS FROM THE GOVERNING JURISDICTIONS AND FIELD SURVEY.
 - SITE ADDRESS IS SILVER HAWK AVENUE.
 - SITE BENCHMARK IS FMS BENCHMARK PW26 IS A 4-INCH DIAMETER ALUMINUM CAP STAMPED 'CSU FMS CONTROL PW26' ON THE NORTHEAST CORNER OF STORM SEWER INLET ON THE SOUTH SIDE OF 'TRAFFIC ISLAND' AT THE CORNER OF ZEPPLIN ROAD AND POWER BOULEVARD.
 - CONTRACTOR SHALL SLOPE ALL FINED GRADES DOWN AWAY FROM ALL BUILDING DOOR LOCATIONS, AS SHOWN.

LEGEND:

- PROPOSED CONTOUR
- EXISTING CONTOUR
- FINISHED FLOOR ELEVATION
- DRAINAGE ARROW
- EX. STORM SEWER
- PROP. STORM SEWER
- PROP. STORM MANHOLE
- CURB INLET
- GRATE INLET

ALL PLANNING LINEWORK THAT IS PHASED BACK SHOWN HEREIN INDICATES AN EXISTING FEATURE (IMPROVEMENT, TOPOGRAPHY, UTILITY, ETC.). ALL PLANNING TEXT THAT IS PHASED BACK AND PLANNING LINEWORK THAT INDICATES A CALLOUT TO AN EXISTING FEATURE.

NO. DATE BY
1 5.15.20 ENE
2 9.10.20 ENE
3 10.16.20 ENE

DATE: 10.16.20
DRAWN BY: VCC
CHECKED BY: SECC

1" = 40' (IN FEET)

APPROVAL BOX

FOUNDATION DETAIL

- MINIMUM 4" CLEARANCE FROM BOTTOM OF BUILDING FACE TO EXISTING GRADE AGAINST FOUNDATION OR
- MINIMUM 6" CLEARANCE FROM TOP OF FOUNDATION TO EXISTING GRADE AGAINST FOUNDATION

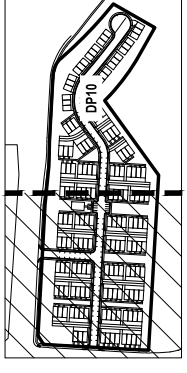
PRELIMINARY GRADING & DRAINAGE PLAN - EAST

DP 7

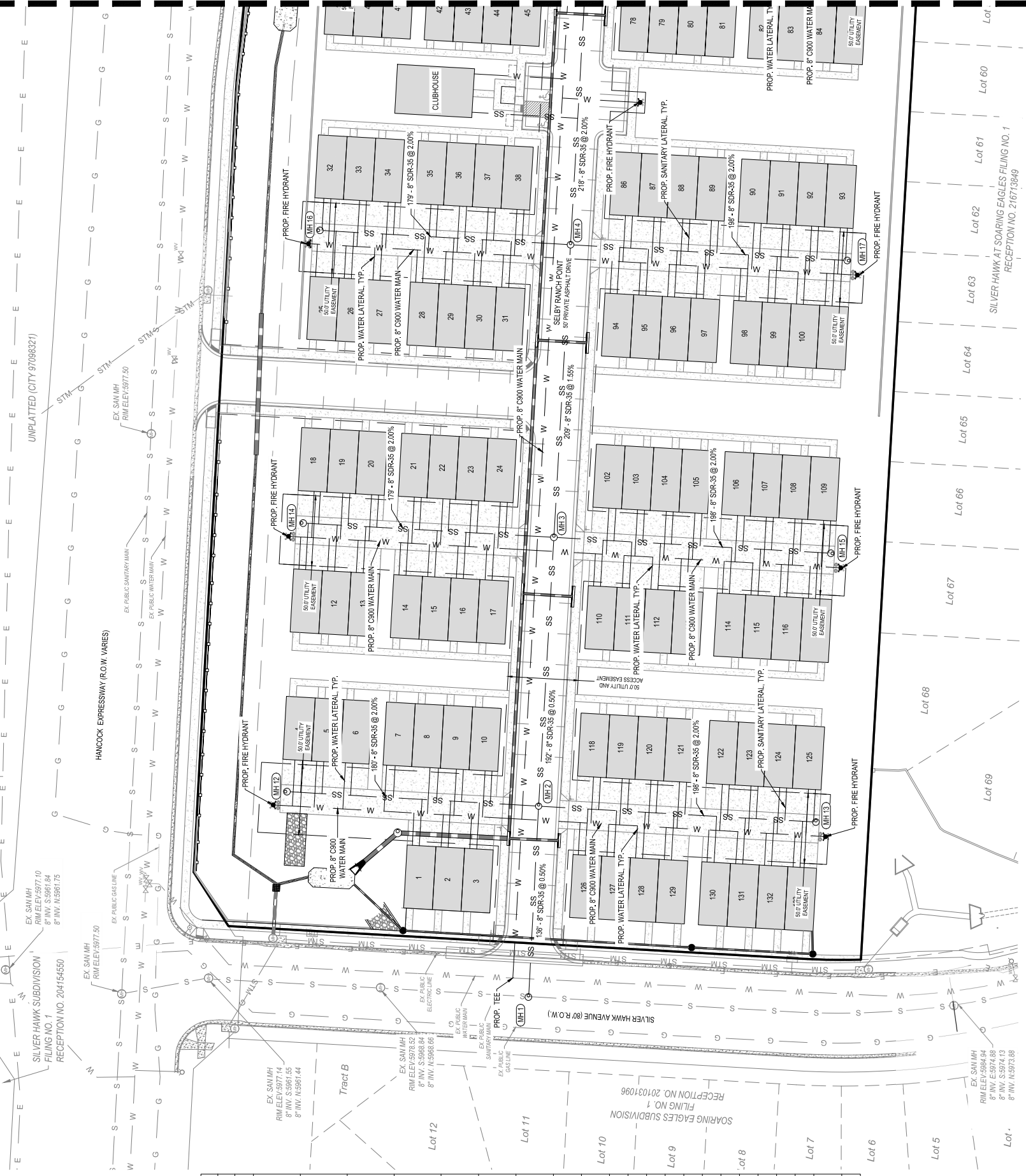
SHEET 07 OF 18

SELBY RANCH DEVELOPMENT PLAN

A PORTION OF THE SOUTH HALF OF SECTION 36,
IN THE CITY OF COLORADO SPRINGS, EL PASO COUNTY, COLORADO



KEY MAP
N.T.S.



UNPLATTED (CITY 9708321)

HANCOCK EXPRESSWAY (R.O.W. VARIES)

SILVER HAWK AVENUE (R.O.W.)

NOTE: UTILITIES WILL NOT BE PHASED. ALL UTILITIES TO BE COMPLETED IN ONE PHASE.

NOTE: ALL PROPOSED UTILITIES ON-SITE WILL BE PUBLIC. ALL EXISTING UTILITIES SURROUNDING THE SITE ARE PUBLIC.

STRUCTURE	TYPE	RIM ELEV.	INVERTS		DEPTH
MH1	PROP. 60" MH	5980.03	INV IN (E) = 5970.88	INV IN (W) = 5970.88	9.0'
MH2	PROP. 60" MH	5973.76	INV IN (E) = 5971.76 INV IN (S) = 5971.86 INV IN (W) = 5971.86	INV OUT (W) = 5971.66	8.1'
MH3	PROP. 60" MH	5985.67	INV IN (E) = 5972.92 INV IN (S) = 5972.92 INV IN (W) = 5972.92	INV OUT (W) = 5972.72	13.0'
MH4	PROP. 60" MH	5980.95	INV IN (E) = 5976.45 INV IN (S) = 5976.45 INV IN (W) = 5976.45	INV OUT (W) = 5976.07	14.9'
MH5	PROP. 60" MH	5985.32	INV IN (E) = 5980.63 INV IN (S) = 5980.82 INV IN (W) = 5980.82	INV OUT (W) = 5980.53	14.8'
MH6	PROP. 60" MH	5986.65	INV IN (E) = 5983.17 INV IN (S) = 5983.27 INV IN (W) = 5983.27	INV OUT (W) = 5982.97	14.3'
MH7	PROP. 60" MH	5987.88	INV IN (E) = 5984.27 INV IN (S) = 5984.27 INV IN (W) = 5984.27	INV OUT (W) = 5983.67	14.2'
MH8	PROP. 60" MH	5984.12	INV IN (E) = 5984.15 INV IN (S) = 5984.35 INV IN (W) = 5984.35	INV OUT (W) = 5984.05	14.1'
MH9	PROP. 48" MH	5988.91	INV IN (E) = 5985.77	INV OUT (W) = 5985.67	13.2'
MH10	PROP. 48" MH	6000.42	INV IN (E) = 5987.79 INV IN (S) = 5987.69	INV OUT (W) = 5987.69	12.7'
MH11	PROP. 48" MH	6007.19	INV IN (E) = 5987.96	INV OUT (W) = 5987.96	9.2'
MH12	PROP. 48" MH	5988.81	INV IN (E) = 5975.46	INV OUT (S) = 5975.46	5.3'
MH13	PROP. 48" MH	5983.53	INV IN (E) = 5975.82	INV OUT (N) = 5975.82	7.7'
MH14	PROP. 48" MH	5982.09	INV IN (E) = 5975.50	INV OUT (S) = 5975.50	5.6'
MH15	PROP. 48" MH	5985.31	INV IN (E) = 5975.88	INV OUT (N) = 5975.88	12.4'
MH16	PROP. 48" MH	5986.62	INV IN (E) = 5980.03	INV OUT (N) = 5980.03	8.6'
MH17	PROP. 48" MH	5992.28	INV IN (E) = 5986.40	INV OUT (N) = 5986.40	12.9'
MH18	PROP. 48" MH	5987.54	INV IN (E) = 5982.61	INV OUT (S) = 5982.61	4.9'
MH19	PROP. 48" MH	5992.29	INV IN (E) = 5986.76	INV OUT (N) = 5986.76	12.5'
MH20	PROP. 48" MH	5986.60	INV IN (E) = 5985.05	INV OUT (W) = 5985.05	13.5'
MH21	PROP. 48" MH	5992.78	INV IN (E) = 5987.47	INV OUT (S) = 5987.47	5.3'
MH22	PROP. 48" MH	5985.43	INV IN (E) = 5986.40	INV OUT (S) = 5986.30	9.1'
MH23	PROP. 48" MH	5986.49	INV IN (E) = 5985.98	INV OUT (W) = 5985.98	13.5'

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SELBY RANCH
DEVELOPMENT PLAN
0 SILVER HAWK AVENUE
19-0095
CITY OF COLORADO SPRINGS, STATE OF COLORADO

DP 9
SHEET 09 OF 18
PRELIMINARY
UTILITY & PUBLIC
FACILITIES PLAN -
WEST

APPROVAL BOX

DATE: 10.16.20
DRAWN BY: VCC
CHECKED BY: SCC

REVISION:
NO. DATE BY
1 5.15.20 ENE
2 9.10.20 ENE
3 10.16.20 ENE

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LEGEND:
PROPOSED CONCRETE
EXISTING CONCRETE
EX. STORM SEWER
PROP. STORM SEWER
PROP. STORM MANHOLE
CURB INLET
AREA INLET
EX. SANITARY SEWER
PROP. SANITARY SEWER
PROP. SANITARY MANHOLE
EX. WATER LINE
PROP. WATER LINE
FIRE HYDRANT
EX. GAS LINE
EX. ELECTRIC LINE
UTILITY POLE
TREE

**CONDITIONAL USE
DEVELOPMENT PLAN**

SELBY RANCH DEVELOPMENT PLAN

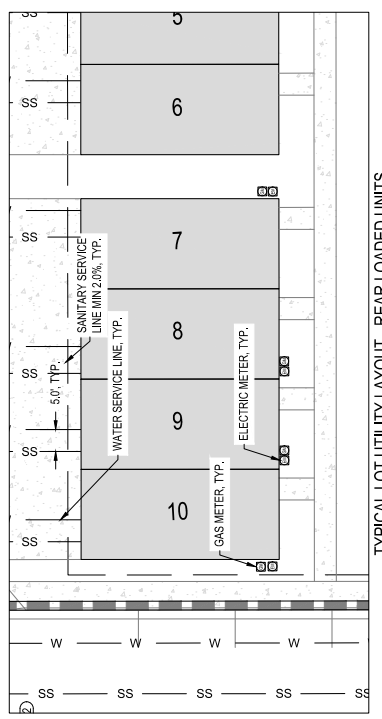
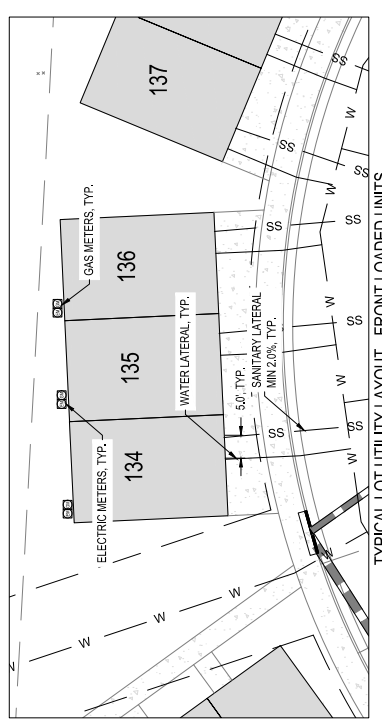
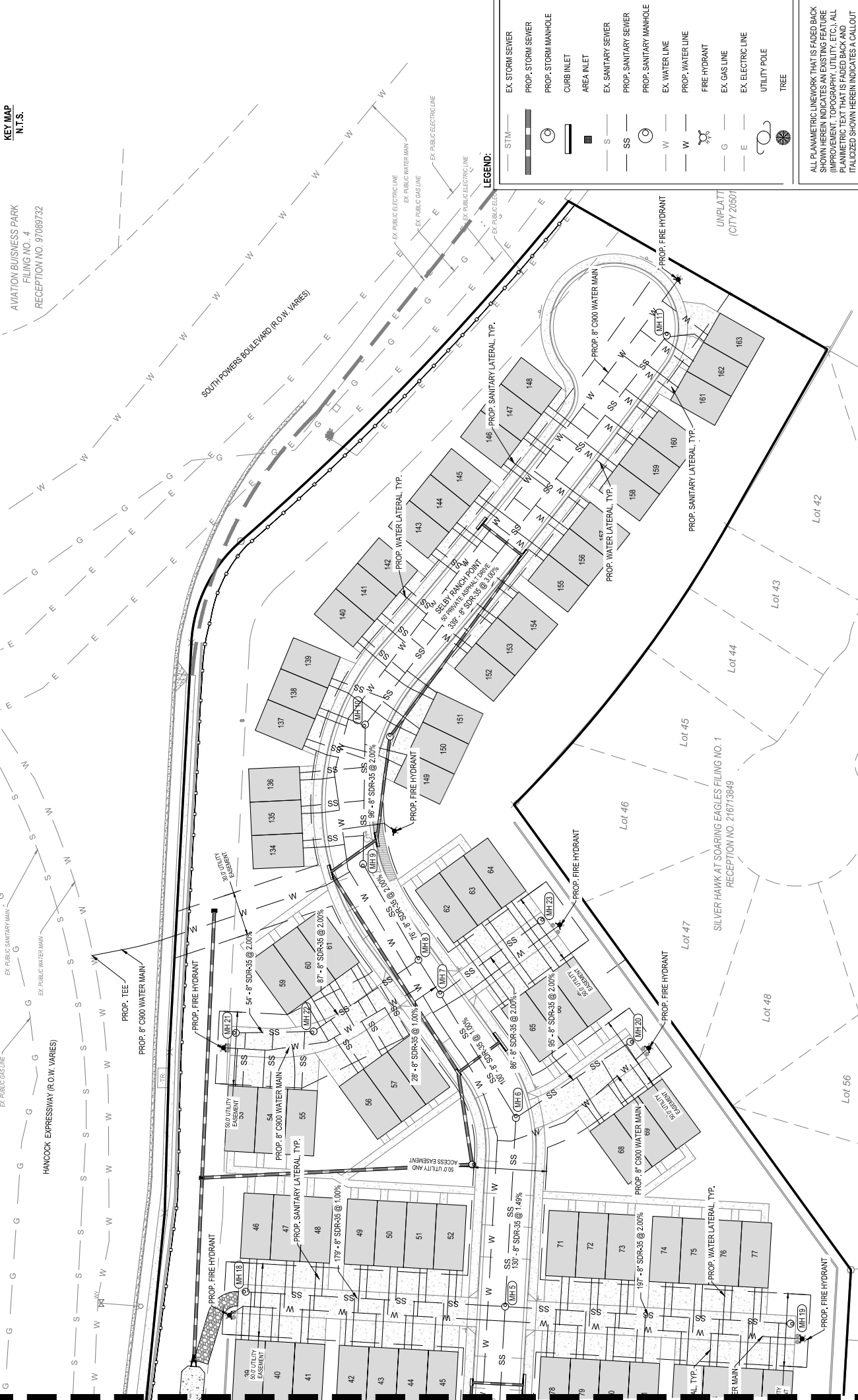
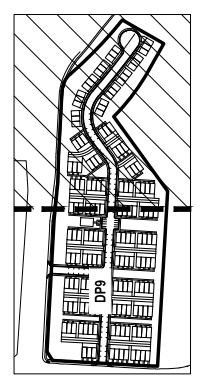
A PORTION OF THE SOUTH HALF OF SECTION 36,
IN THE CITY OF COLORADO SPRINGS, EL PASO COUNTY, COLORADO

ALITUDE
LAND CONSULTANTS
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SELBY RANCH
DEVELOPMENT PLAN
0 SILVER HAWK AVENUE
19-095

CONDITIONAL USE DEVELOPMENT PLAN

CPC CU 19-00147 - DEVELOPMENT PLAN
SHEET 10 OF 18



NOTE: UTILITIES WILL NOT BE PHASED. ALL UTILITIES TO BE COMPLETED IN ONE PHASE.
NOTE: ALL PROPOSED UTILITIES ON-SITE WILL BE PUBLIC. ALL EXISTING UTILITIES SURROUNDING THE SITE ARE PUBLIC.

SANITARY STRUCTURE TABLE		DEPTH
STRUCTURE	TYPE	DEPTH
MH1	PROP. 60" MH	9.0'
	INVERTS	
	INV IN (E) = 5970.99	
	INV IN (S) = 5971.76	
	INV IN (N) = 5971.66	
	INV IN (W) = 5971.66	
	INV OUT (W) = 5971.66	
MH2	PROP. 60" MH	8.1'
	INV IN (E) = 5972.92	
	INV IN (S) = 5972.82	
	INV IN (N) = 5972.72	
	INV IN (W) = 5972.72	
	INV OUT (W) = 5972.72	
MH3	PROP. 60" MH	13.0'
	INV IN (E) = 5976.17	
	INV IN (S) = 5976.45	
	INV IN (N) = 5976.45	
	INV IN (W) = 5976.07	
	INV OUT (W) = 5976.07	
MH4	PROP. 60" MH	14.9'
	INV IN (E) = 5980.83	
	INV IN (S) = 5980.83	
	INV IN (N) = 5980.82	
	INV IN (W) = 5980.53	
	INV OUT (W) = 5980.53	
MH5	PROP. 60" MH	14.8'
	INV IN (E) = 5983.17	
	INV IN (S) = 5983.17	
	INV IN (N) = 5983.17	
	INV IN (W) = 5982.82	
	INV OUT (W) = 5982.82	
MH6	PROP. 60" MH	14.3'
	INV IN (E) = 5985.37	
	INV IN (S) = 5985.37	
	INV IN (N) = 5985.37	
	INV IN (W) = 5985.07	
	INV OUT (W) = 5985.07	
MH7	PROP. 60" MH	14.2'
	INV IN (E) = 5984.15	
	INV IN (S) = 5984.55	
	INV IN (N) = 5984.55	
	INV IN (W) = 5984.06	
	INV OUT (W) = 5984.06	
MH8	PROP. 60" MH	14.1'
	INV IN (E) = 5985.77	
	INV IN (S) = 5985.77	
	INV IN (N) = 5985.77	
	INV IN (W) = 5985.67	
	INV OUT (W) = 5985.67	
MH9	PROP. 48" MH	13.2'
	INV IN (E) = 5987.79	
	INV IN (S) = 5987.79	
	INV IN (N) = 5987.79	
	INV IN (W) = 5987.69	
	INV OUT (W) = 5987.69	
MH10	PROP. 48" MH	12.7'
	INV IN (E) = 5987.19	
	INV IN (S) = 5987.19	
	INV IN (N) = 5987.19	
	INV IN (W) = 5987.06	
	INV OUT (W) = 5987.06	
MH11	PROP. 48" MH	9.2'
	INV IN (E) = 5975.46	
	INV IN (S) = 5975.46	
	INV IN (N) = 5975.46	
	INV IN (W) = 5975.46	
	INV OUT (W) = 5975.46	
MH12	PROP. 48" MH	5.3'
	INV IN (E) = 5983.17	
	INV IN (S) = 5983.17	
	INV IN (N) = 5983.17	
	INV IN (W) = 5983.06	
	INV OUT (W) = 5983.06	
MH13	PROP. 48" MH	7.7'
	INV IN (E) = 5982.82	
	INV IN (S) = 5982.82	
	INV IN (N) = 5982.82	
	INV IN (W) = 5982.82	
	INV OUT (W) = 5982.82	
MH14	PROP. 48" MH	12.8'
	INV IN (E) = 5982.82	
	INV IN (S) = 5982.82	
	INV IN (N) = 5982.82	
	INV IN (W) = 5982.82	
	INV OUT (W) = 5982.82	
MH15	PROP. 48" MH	4.9'
	INV IN (E) = 5982.82	
	INV IN (S) = 5982.82	
	INV IN (N) = 5982.82	
	INV IN (W) = 5982.82	
	INV OUT (W) = 5982.82	
MH16	PROP. 48" MH	12.9'
	INV IN (E) = 5982.82	
	INV IN (S) = 5982.82	
	INV IN (N) = 5982.82	
	INV IN (W) = 5982.82	
	INV OUT (W) = 5982.82	
MH17	PROP. 48" MH	13.5'
	INV IN (E) = 5982.82	
	INV IN (S) = 5982.82	
	INV IN (N) = 5982.82	
	INV IN (W) = 5982.82	
	INV OUT (W) = 5982.82	
MH18	PROP. 48" MH	9.1'
	INV IN (E) = 5982.82	
	INV IN (S) = 5982.82	
	INV IN (N) = 5982.82	
	INV IN (W) = 5982.82	
	INV OUT (W) = 5982.82	
MH19	PROP. 48" MH	13.5'
	INV IN (E) = 5982.82	
	INV IN (S) = 5982.82	
	INV IN (N) = 5982.82	
	INV IN (W) = 5982.82	
	INV OUT (W) = 5982.82	
MH20	PROP. 48" MH	13.5'
	INV IN (E) = 5982.82	
	INV IN (S) = 5982.82	
	INV IN (N) = 5982.82	
	INV IN (W) = 5982.82	
	INV OUT (W) = 5982.82	
MH21	PROP. 48" MH	9.1'
	INV IN (E) = 5982.82	
	INV IN (S) = 5982.82	
	INV IN (N) = 5982.82	
	INV IN (W) = 5982.82	
	INV OUT (W) = 5982.82	
MH22	PROP. 48" MH	13.5'
	INV IN (E) = 5982.82	
	INV IN (S) = 5982.82	
	INV IN (N) = 5982.82	
	INV IN (W) = 5982.82	
	INV OUT (W) = 5982.82	
MH23	PROP. 48" MH	13.5'
	INV IN (E) = 5982.82	
	INV IN (S) = 5982.82	
	INV IN (N) = 5982.82	
	INV IN (W) = 5982.82	
	INV OUT (W) = 5982.82	

APPROVAL BOX

PRELIMINARY
UTILITY & PUBLIC
FACILITY PLAN
-EAST
DP 10

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1 5.15.20 ENE
2 9.10.20 ENE
3 10.16.20 ENE

DATE: 10.16.20
DRAWN BY: VCC
CHECKED BY: SCC

LEGEND:

- EX. STORM SEWER
- PROP. STORM SEWER
- PROP. STORM MANHOLE
- CURB INLET
- AREA INLET
- EX. SANITARY SEWER
- PROP. SANITARY SEWER
- PROP. SANITARY MANHOLE
- EX. WATER LINE
- PROP. WATER LINE
- FIRE HYDRANT
- EX. GAS LINE
- EX. ELECTRIC LINE
- UTILITY POLE
- TREE

MATCHLINE SEE SHEET DP9

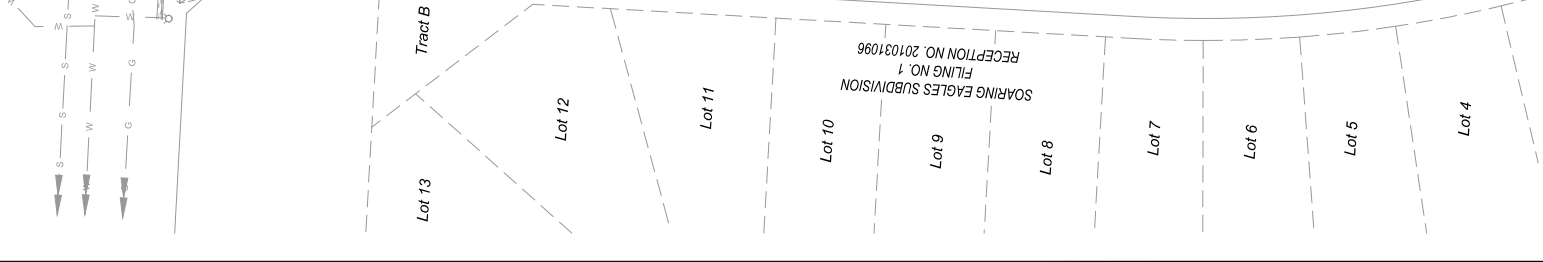
SELBY RANCH DEVELOPMENT PLAN

A PORTION OF THE SOUTH HALF OF SECTION 36,
IN THE CITY OF COLORADO SPRINGS, EL PASO COUNTY, COLORADO

ALITUDE
LAND CONSULTANTS
CIVIL SURVEY PLANNING & LANDSCAPE
4801 1655 CT., SUITE #125
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COLORADO SPRINGS, CO 80907
726.594.0484
INFO@ALITUDELANDCO.COM
WWW.ALITUDELANDCO.COM

- V - Native Seed
- P - NATIVE PRAIRIE MIX:
BLUE GRASS
BUFFALOGRASS
SIDE-OATS GRAMA
GREEN NEEDLEGRASS
SAND DROPSIED
- L - Mulch with Shrub/Perennial
PLANTS: CHILLA, YAWR CEDAR
WOOD MULCH
- M - SOD/SEED/TURF
FESTUCA ARUNDINACEA
RHIZOMATOUS RIF / RIF-TALL FESCUE
- C - COBBLE/GRAVEL
1-1/2" GREY RIVER ROCK

*FINAL GROUNDPLANE COVERAGE QUANTITIES TO BE
CALCULATED ON FINAL LANDSCAPE PLAN



SELBY RANCH
DEVELOPMENT PLAN
0 SILVER HAWK AVENUE
CITY OF COLORADO SPRINGS, STATE OF COLORADO

19-095

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1	5.15.20	BJU
2	10.20.20	AKT
3	10.16.20	AKT

REVISION:

DATE: 10.16.20
DRAWN BY: RLB
CHECKED BY: RAW

PRELIMINARY
LANDSCAPE PLAN

DP11
SHEET 11 OF 18

LEGEND:

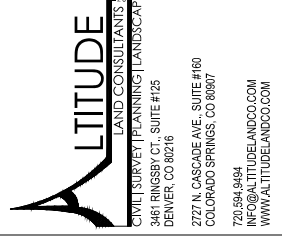
- MATCH LINE
- 6" Cedar Fence
- 6" Steel Rolled-Top Edger
- Concrete Noise Wall
- Keystone Block Ret. Wall

APPROVAL BOX

0 20 40 60 80 100
(IN FEET)
0 10 20 30 40 50
(IN METERS)

SELBY RANCH DEVELOPMENT PLAN

A PORTION OF THE SOUTH HALF OF SECTION 36,
IN THE CITY OF COLORADO SPRINGS, EL PASO COUNTY, COLORADO



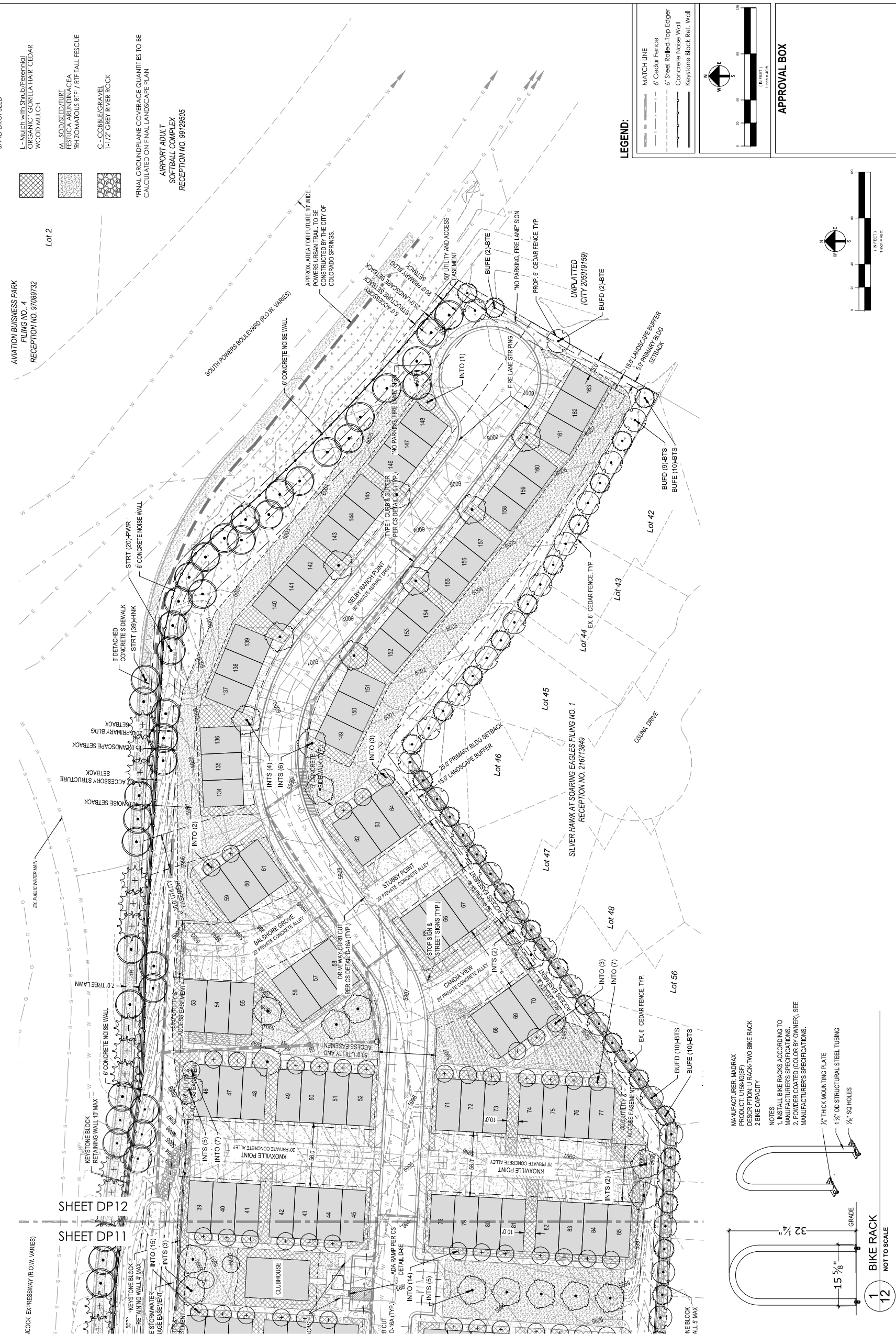
SELBY RANCH
DEVELOPMENT PLAN
0 SILVER HAWK AVENUE
CITY OF COLORADO SPRINGS, STATE OF COLORADO
19-095

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NO. DATE	BLU
1 5.15.20	PLT
2 6.10.20	AKT
3 10.16.20	AKT
DATE: 10.16.20	DATE: 10.16.20
DRAWN BY: RLB	CHECKED BY: KAW

PRELIMINARY
LANDSCAPE PLAN
DP12
SHEET 12 OF 18

- V - Native Seed
PST NATIVE PRAIRIE MIX:
TALL GRASS
BLUE GRASS
BUFFALO GRASS
SIDE-OATS GRAMA
GREEN NEEDLEGRASS
SAND DROSEED
- L - Mulch with Strub/Perennial
PLANTING: CORILIAHAIR CEDAR
WOOD MULCH
- M - SOD/SEED/TURF
FESTUCA ARUNDINACEA
RHIZOMATOUS RTF / RTF TALL FESCUE
- C - COBBLE/GRAVEL
1-1/2" GREY RIVER ROCK

*FINAL GROUNDPLANE COVERAGE QUANTITIES TO BE
CALCULATED ON FINAL LANDSCAPE PLAN
AIRPORT ADULT
SOFTBALL COMPLEX
RECEPTION NO. 9972505



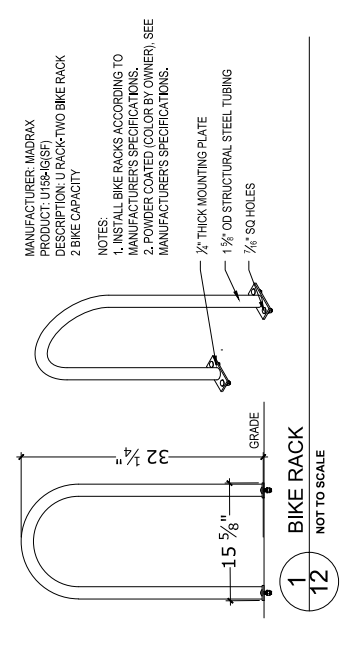
LEGEND:

- MATCH LINE
- 6" Cedar Fence
- 6" Steel Rolled-Top Edger
- Concrete Noise Wall
- Keystone Block Ret. Wall

APPROVAL BOX

Scale: 1" = 40'

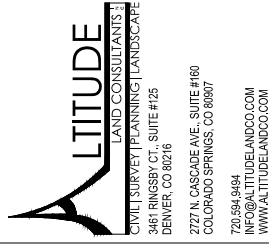
North Arrow



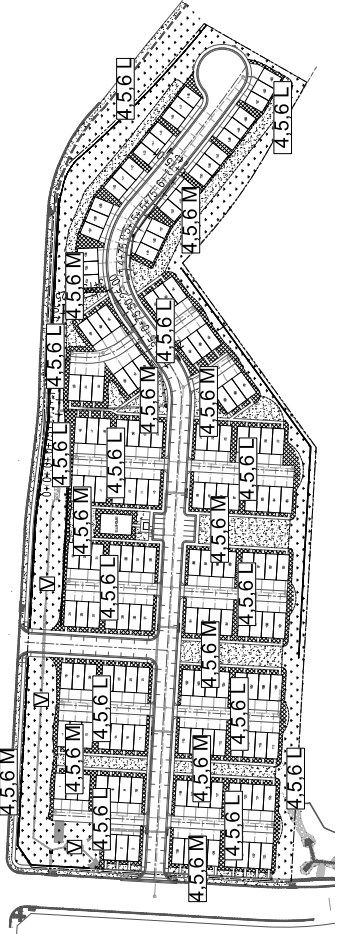
CONDITIONAL USE DEVELOPMENT PLAN

SELBY RANCH DEVELOPMENT PLAN

A PORTION OF THE SOUTH HALF OF SECTION 36,
IN THE CITY OF COLORADO SPRINGS, EL PASO COUNTY, COLORADO



- Plant Communities**
- to be labeled by number(s) on diagram:
1. Semiarid Shrublands
 2. Pinyon-Juniper Woodlands
 3. Prairie Riparian
 4. Lower Elevation Riparian
 5. Foothills Shrublands
 6. Ponderosa Pine Forest
 7. Upper Elevation Riparian
 8. Douglas-fir Forest
- Hydrozones (supplemental water)**
- to be labeled by letter(s) on diagram:
- V - Very Low (0 to 7 inches per year)
L - Low (7 to 15 inches per year)
M - Moderate (15 to 25 inches per year)
H - High (more than 25 inches per year)



SELBY RANCH
DEVELOPMENT PLAN
0 SILVER HAWK AVENUE
CITY OF COLORADO SPRINGS, STATE OF COLORADO
19-095

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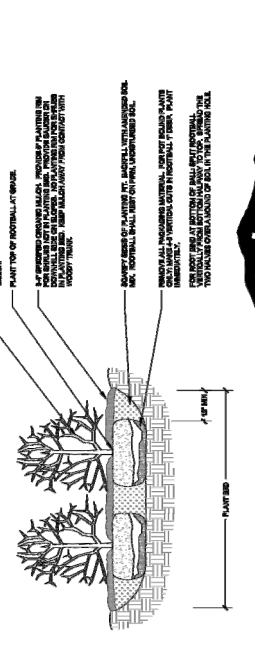
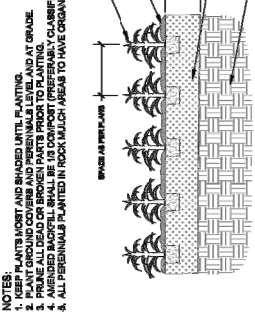
NO.	DATE	BY
1	5.15.20	BMU
2	10.02.20	AKT
3	10.16.20	AKT

DATE: 10.16.20
R.L.B.
CHECKED BY: RAW

**PRELIMINARY
LANDSCAPE
NOTES AND
DETAILS**

DP13
SHEET 13 OF 18

APPROVAL BOX



NOTES:

1. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
2. PLANT PLANTS NORTH AND SHADOWED UNTIL PLANTING.
3. PLANT PLANTS SOUTH AND SHADOWED UNTIL PLANTING.
4. AMENDED BACKFILL SHALL BE 1/2 COMPOST (PREFERABLY CLAMBERED) AND 1/2 NATIVE SANDOR IMPORTED TOPSOIL.
5. AMENDED BACKFILL SHALL BE 1/2 COMPOST (PREFERABLY CLAMBERED) AND 1/2 NATIVE SANDOR IMPORTED TOPSOIL.
6. DEEP WATER ALL PLANTS AT TIME OF PLANTING.

NOTES:

1. DO NOT REMOVE OR CUT LEAVES.
2. DO NOT REMOVE OR CUT LEAVES.
3. DO NOT REMOVE OR CUT LEAVES.
4. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
5. MARK THE NORTH SIDE OF THESE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE.
6. PINE AND SPRUCE TREES TO BE SPACED FOR THE BANK SETBACK PRIOR TO PLANTING. COORDINATE WITH CITY FORESTRY.
7. ALL TREES TO BE DEEP WATERED AT TIME OF PLANTING.

NOTES:

1. TOPSOIL TO CONSIST OF DARK, LIGHT LOAM SOIL FREE OF ROCKS, ROOTS, AND OTHER FOREIGN MATERIALS.
2. SOIL AMENDMENT PER CSU RECOMMENDATION FOLLOWING SOILS TEST NOTE FOR AMENDMENT AND FERTILIZER. THE FERTILIZER APPLICATION SHOULD BE DELAYED IF PLANTING DOES NOT OCCUR WITHIN 2-3 DAYS OF FERTILIZING.
3. COMPOST TO CONSIST OF 1-YEAR OLD PLANT-BASED ORGANIC MATERIAL.
4. FROZEN MATERIALS OR MATERIALS GREATER THAN 1" DIA. SHOULD BE REMOVED.
5. THE SURFACE FOR ALL PLANTING BEDS ALONG WALKS OR CURBS SHOULD BE 4" LOWER THAN THE SURFACE OF EXISTING TREE DRIFTLINES SHALL NOT BE ROTOTILLED AT ANY TIME. ROTOTILLING IS ONLY PERMITTED IN AREAS OUTSIDE OF EXISTING TREE DRIFTLINES WHERE THE CONCRETE AND Hardscape ARE REMOVED.

NOTES:

1. REMOVE TRUNK FROM BRANCHES ON TREE TOP UP TO 10 FEET ABOVE THE TRUNK.
2. BRANCHES TO BE REMOVED WITH THE TRUNK.
3. BRANCHES TO BE REMOVED WITH THE TRUNK.
4. BRANCHES TO BE REMOVED WITH THE TRUNK.
5. BRANCHES TO BE REMOVED WITH THE TRUNK.
6. BRANCHES TO BE REMOVED WITH THE TRUNK.

NOTES:

1. REMOVE TRUNK FROM BRANCHES ON TREE TOP UP TO 10 FEET ABOVE THE TRUNK.
2. BRANCHES TO BE REMOVED WITH THE TRUNK.
3. BRANCHES TO BE REMOVED WITH THE TRUNK.
4. BRANCHES TO BE REMOVED WITH THE TRUNK.
5. BRANCHES TO BE REMOVED WITH THE TRUNK.
6. BRANCHES TO BE REMOVED WITH THE TRUNK.

NOTES:

1. TOPSOIL TO CONSIST OF DARK, LIGHT LOAM SOIL FREE OF ROCKS, ROOTS, AND OTHER FOREIGN MATERIALS.
2. SOIL AMENDMENT PER CSU RECOMMENDATION FOLLOWING SOILS TEST NOTE FOR AMENDMENT AND FERTILIZER. THE FERTILIZER APPLICATION SHOULD BE DELAYED IF PLANTING DOES NOT OCCUR WITHIN 2-3 DAYS OF FERTILIZING.
3. COMPOST TO CONSIST OF 1-YEAR OLD PLANT-BASED ORGANIC MATERIAL.
4. FROZEN MATERIALS OR MATERIALS GREATER THAN 1" DIA. SHOULD BE REMOVED.
5. THE SURFACE FOR ALL PLANTING BEDS ALONG WALKS OR CURBS SHOULD BE 4" LOWER THAN THE SURFACE OF EXISTING TREE DRIFTLINES SHALL NOT BE ROTOTILLED AT ANY TIME. ROTOTILLING IS ONLY PERMITTED IN AREAS OUTSIDE OF EXISTING TREE DRIFTLINES WHERE THE CONCRETE AND Hardscape ARE REMOVED.

NOTES:

1. REMOVE TRUNK FROM BRANCHES ON TREE TOP UP TO 10 FEET ABOVE THE TRUNK.
2. BRANCHES TO BE REMOVED WITH THE TRUNK.
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SELBY RANCH

DEVELOPMENT PLAN

A PORTION OF THE SOUTH HALF OF SECTION 36,
IN THE CITY OF COLORADO SPRINGS, EL PASO COUNTY, COLORADO

ALITUDE
LAND CONSULTANTS
CIVIL SURVEY PLANNING LANDSCAPE
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architrlogy
ARCHITECTS
1000 W. COLONIAL BLVD., SUITE 200
DENVER, CO 80202
P: 303.733.8900
WWW.ARCHITRLOGY.COM

SELBY RANCH
DEVELOPMENT PLAN
0 SILVER HAWK AVENUE
CITY OF COLORADO SPRINGS, STATE OF COLORADO
19-095

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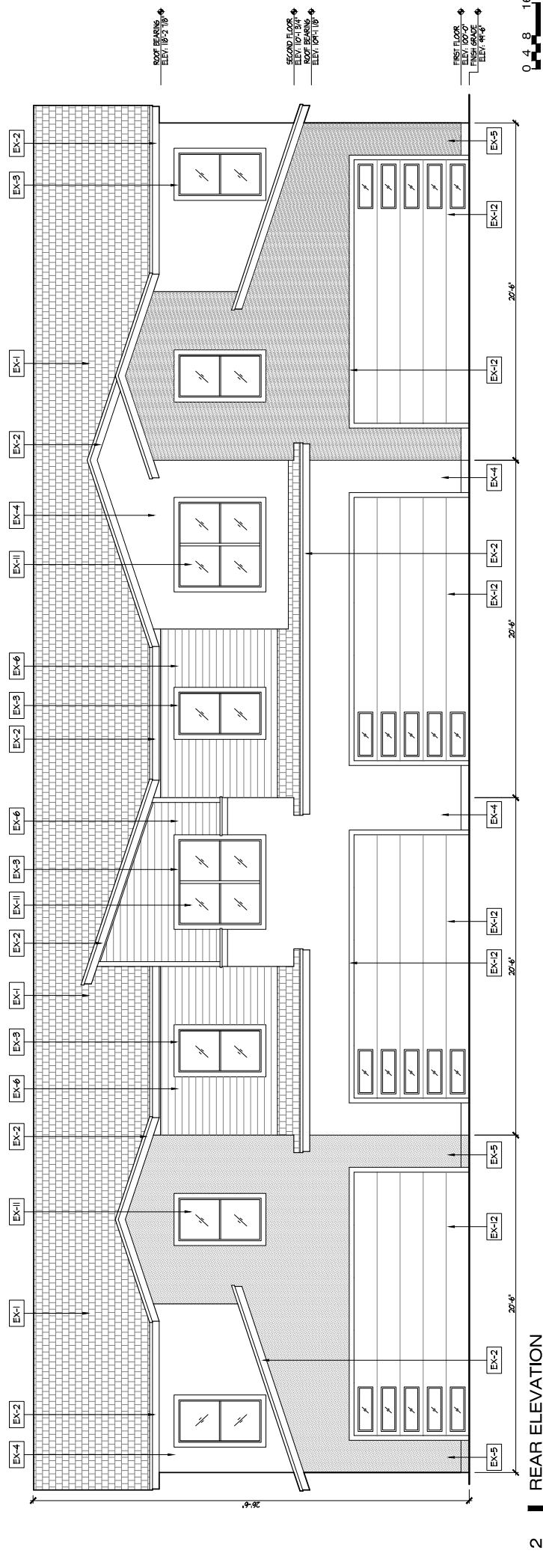
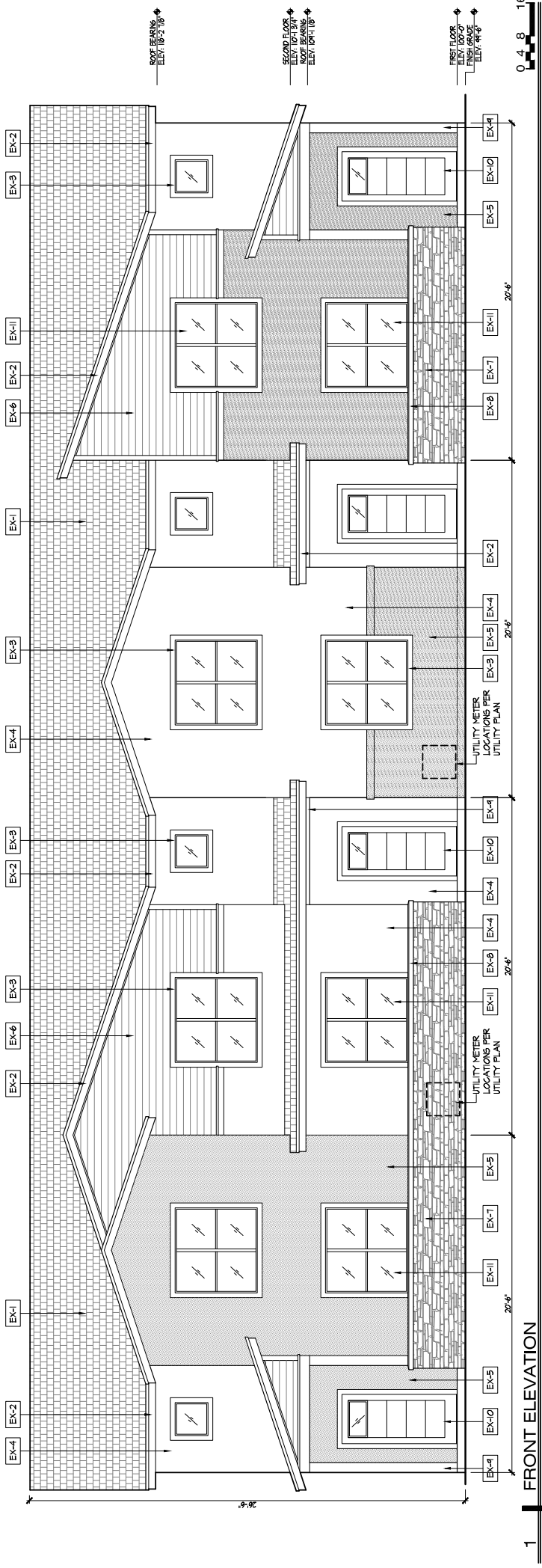
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DATE: 06.03.2020
DRAWN BY:
CHECKED BY:

REAR LOAD
GARAGE UNITS
ARCHITECTURAL
ELEVATIONS

DP15
SHEET 15 OF 18



ELEVATION MATERIAL KEY

MATERIAL NO.	MATERIAL DESCRIPTION
EX-1	ASPHALT SHINGLE ROOF - COLOR: MEDIUM GRAY
EX-2	ROOF FACIA - COLOR: MEDIUM GRAY
EX-3	WINDOW TRIM - COLOR: LIGHT TAN (EXCEPT AT EX-6 MEDIUM BROWN)
EX-4	CEMENT STUCCO - COLOR: LIGHT GREY
EX-5	CEMENT STUCCO - COLOR: MEDIUM TAN
EX-6	LAP SIDING - COLOR: MEDIUM BROWN

MATERIAL NO.	MATERIAL DESCRIPTION
EX-7	STONE VENEER - DRY STACKED LEDGE STONE - COLOR: LIGHT TO MEDIUM GRAY
EX-8	STONE VENEER SILLS AND CAPS - COLOR: MEDIUM GRAY
EX-9	PORCH COLUMNS AND BEAMS - COLOR: DARK GRAY
EX-10	ENTRY DOORS AND TRIM - COLOR: MEDIUM GRAY
EX-11	WINDOWS - COLOR: LIGHT TAN FRAMES
EX-12	GARAGE DOORS AND TRIM - COLOR: MEDIUM GRAY

REAR LOADED GARAGE FOUR-PLEX UNITS:
7-10 14-17 21-24 28-31 35-38 42-45 49-52
74-133

APPROVAL BOX

SELBY RANCH

DEVELOPMENT PLAN

A PORTION OF THE SOUTH HALF OF SECTION 36,
IN THE CITY OF COLORADO SPRINGS, EL PASO COUNTY, COLORADO

ALITUDE
LAND CONSULTANTS
CIVIL SURVEY PLANNING LANDSCAPE
3461 RINGSBY CT, SUITE #125
DENVER, CO 80216
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COLORADO SPRINGS, CO 80907
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architrilogy
ARCHITECTURE
1110 S. WASHINGTON ST., SUITE 200
DENVER, CO 80202
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WWW.ARCHITRILGY.COM

SELBY RANCH
DEVELOPMENT PLAN
0 SILVER HAWK AVENUE
CITY OF COLORADO SPRINGS, STATE OF COLORADO

19-095

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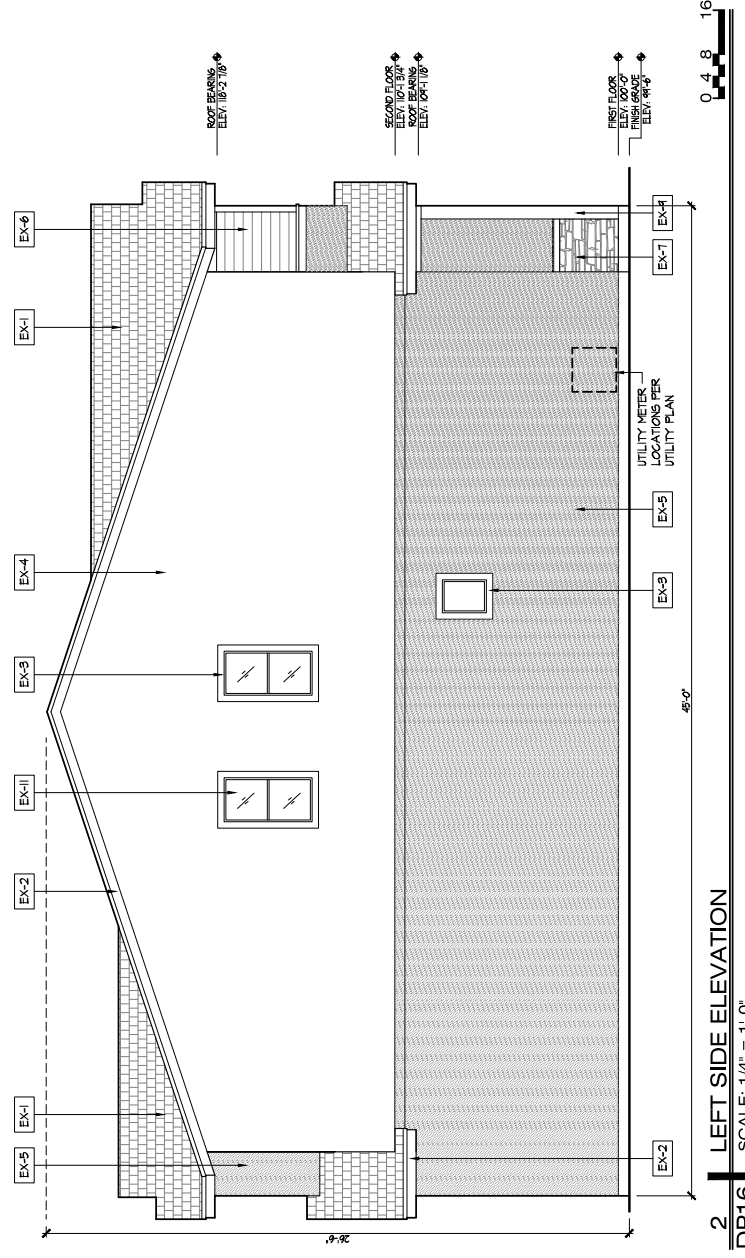
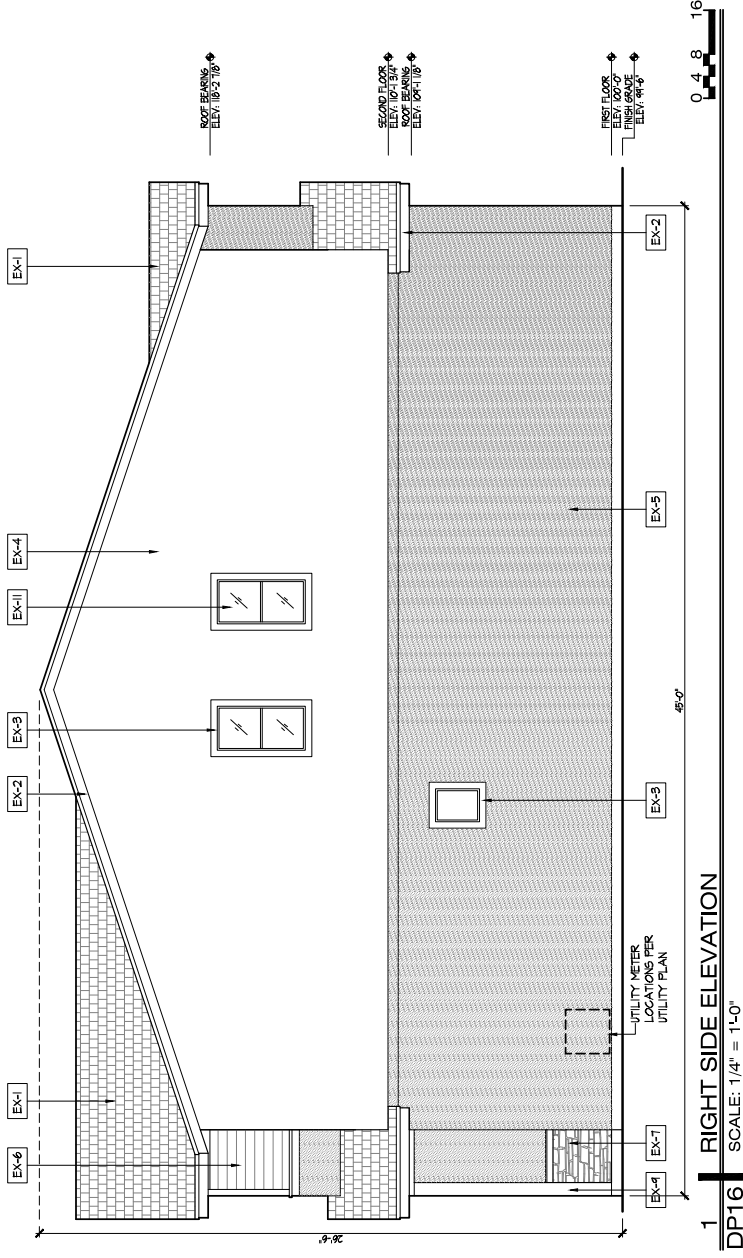
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1 06.25.2020 1

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REAR LOAD
GARAGE UNITS
ARCHITECTURAL
ELEVATIONS

DP16
SHEET 16 OF 18



APPROVAL BOX

REAR LOADED GARAGE FOUR-PLEX UNITS:
7-10 14-17 21-24 28-31 35-38 42-45 49-52
74-133

ELEVATION MATERIAL KEY

MATERIAL NO.	MATERIAL DESCRIPTION	MATERIAL NO.	MATERIAL DESCRIPTION
EX-1	ASPHALT SHINGLE ROOF - COLOR: MEDIUM GRAY	EX-7	STONE VENEER - DRY STACKED LEDGE STONE - COLOR: LIGHT TO MEDIUM GRAY
EX-2	ROOF FACIA - COLOR: MEDIUM GRAY	EX-8	STONE VENEER SILLS AND CAPS - COLOR: MEDIUM GRAY
EX-3	WINDOW TRIM - COLOR: LIGHT TAN (EXCEPT AT EX-6 MEDIUM BROWN)	EX-9	PORCH COLUMNS AND BEAMS - COLOR: DARK GRAY
EX-4	CEMENT STUCCO - COLOR: LIGHT GREY	EX-10	ENTRY DOORS AND TRIM - COLOR: MEDIUM GRAY
EX-5	CEMENT STUCCO - COLOR: MEDIUM TAN	EX-11	WINDOWS - COLOR: LIGHT TAN FRAMES
EX-6	LAP SIDING - COLOR: MEDIUM BROWN	EX-12	GARAGE DOORS AND TRIM - COLOR: MEDIUM GRAY

SELBY RANCH

DEVELOPMENT PLAN

A PORTION OF THE SOUTH HALF OF SECTION 36,
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DEVELOPMENT PLAN
0 SILVER HAWK AVENUE
CITY OF COLORADO SPRINGS, STATE OF COLORADO
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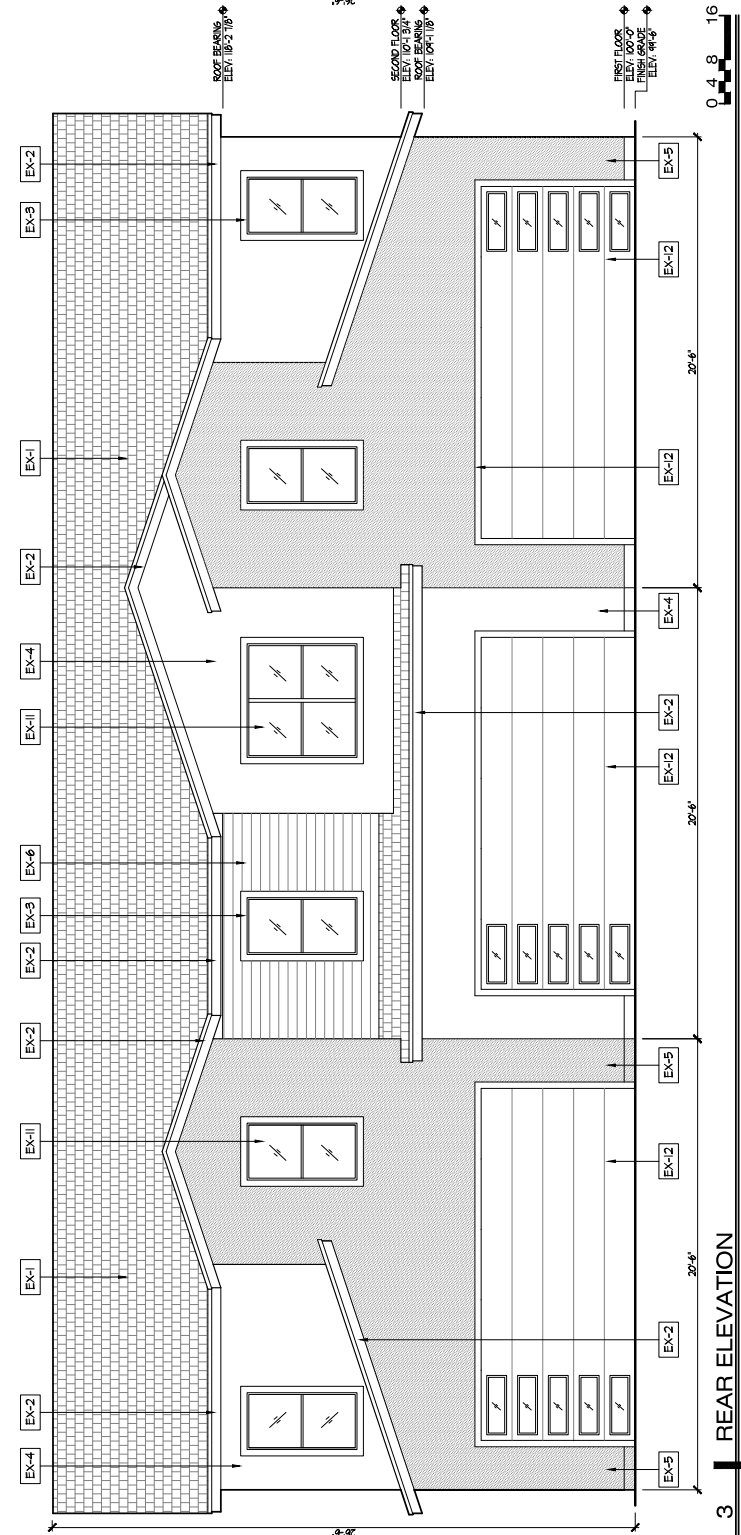
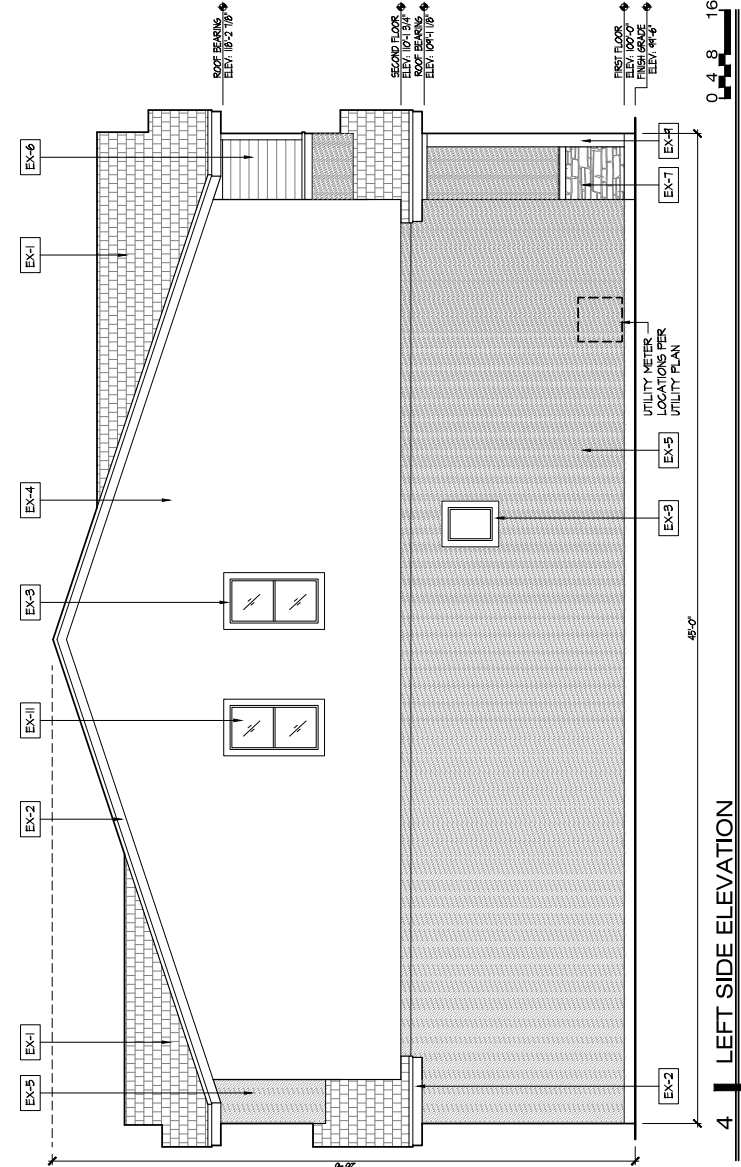
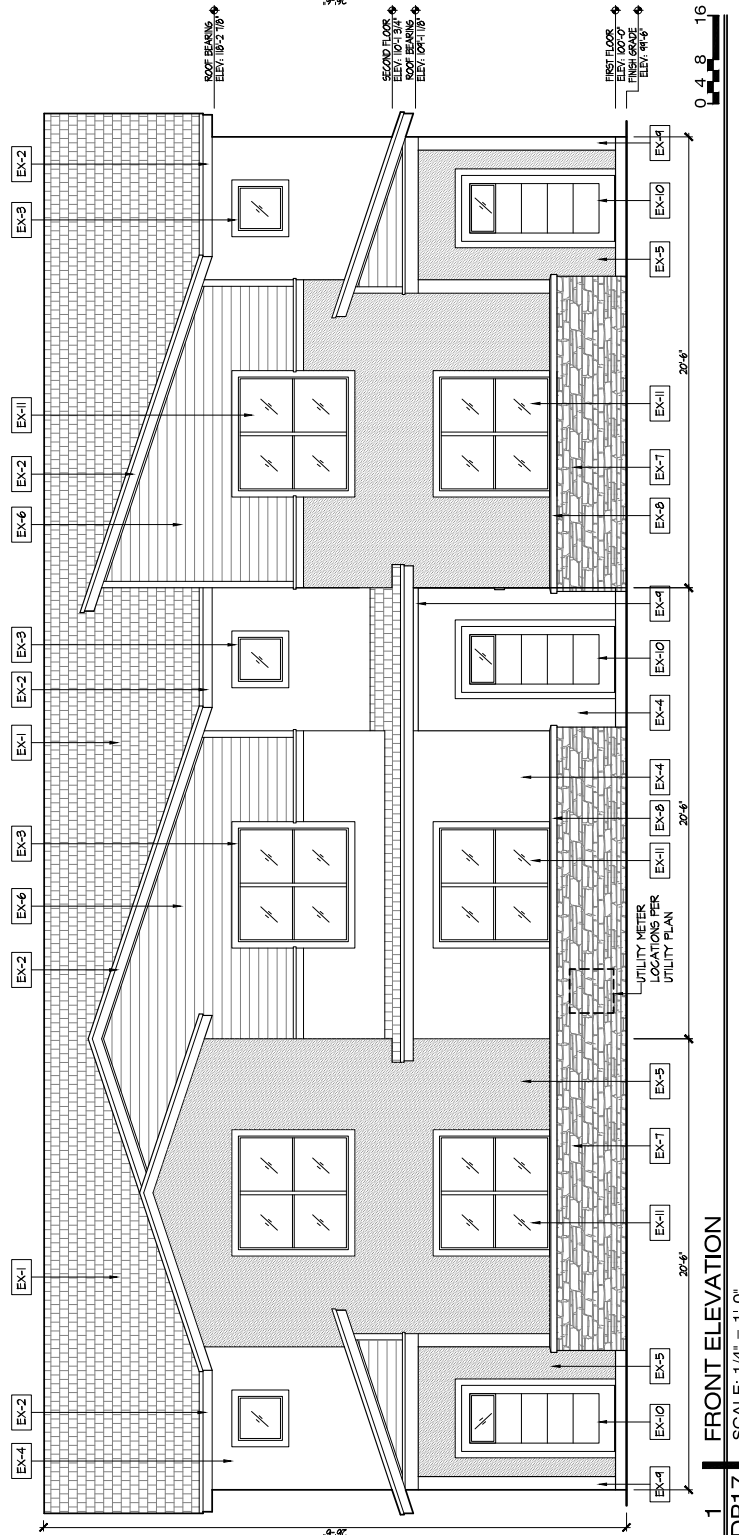
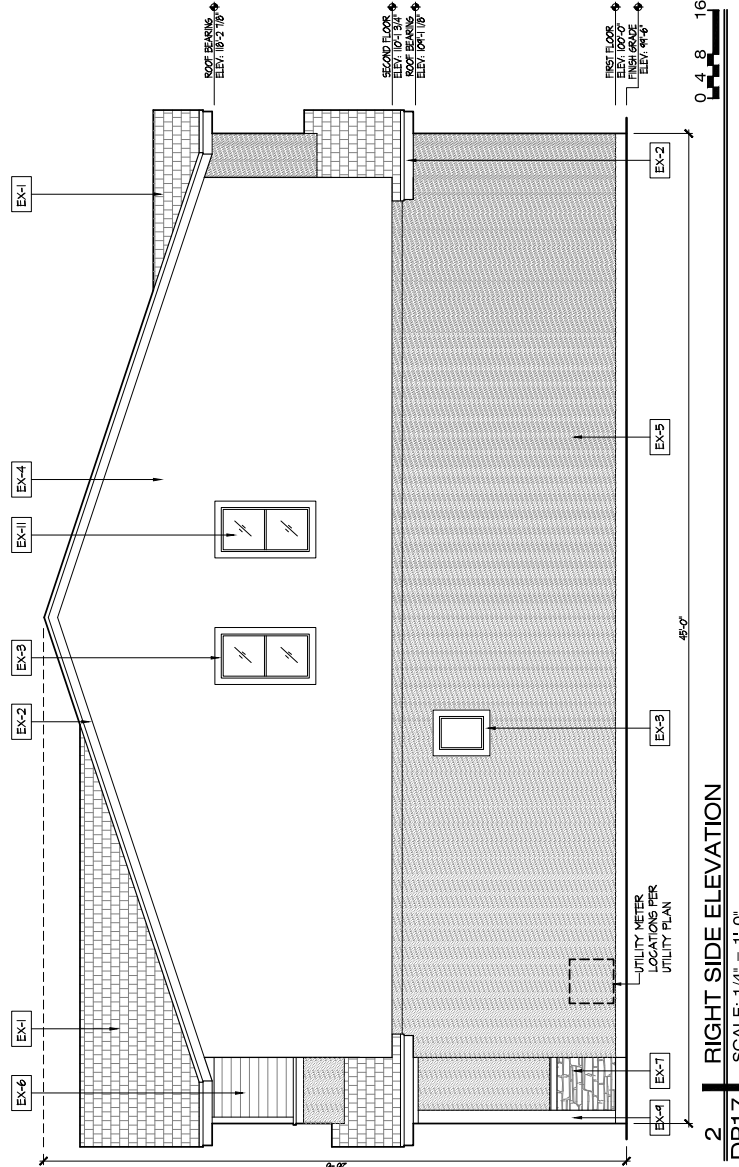
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DATE: 06.03.2020
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REAR LOAD
GARAGE UNITS
ARCHITECTURAL
ELEVATIONS

DP17
SHEET 17 OF 18

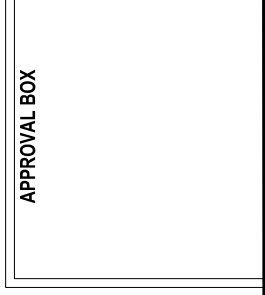
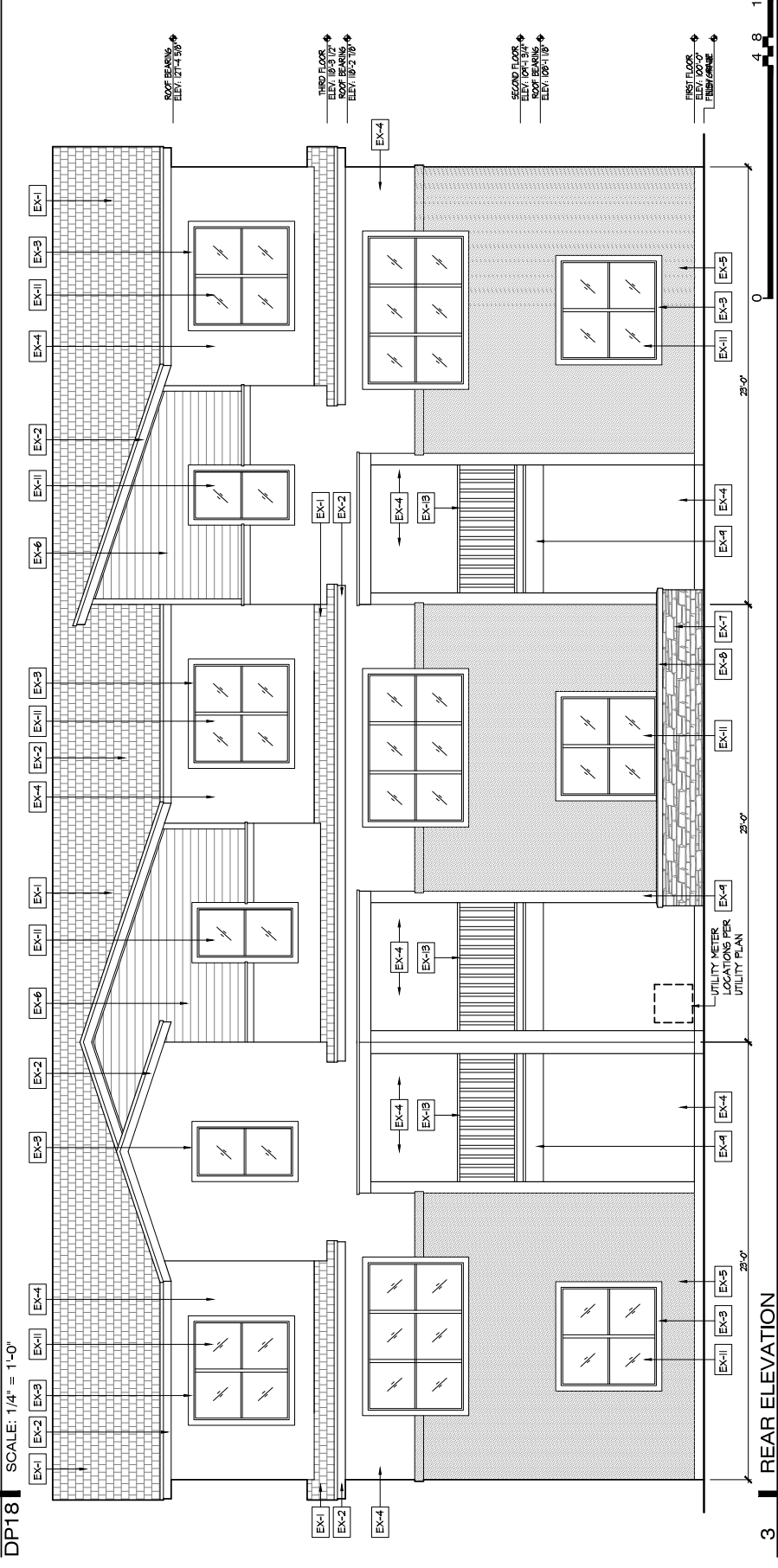
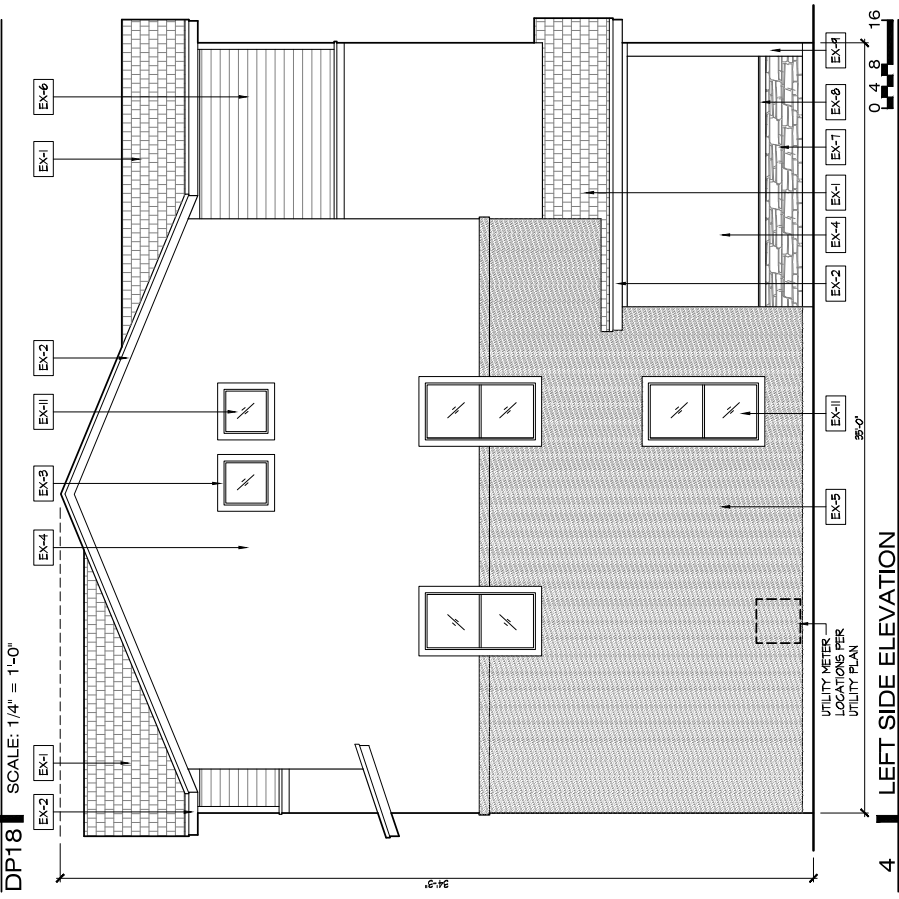
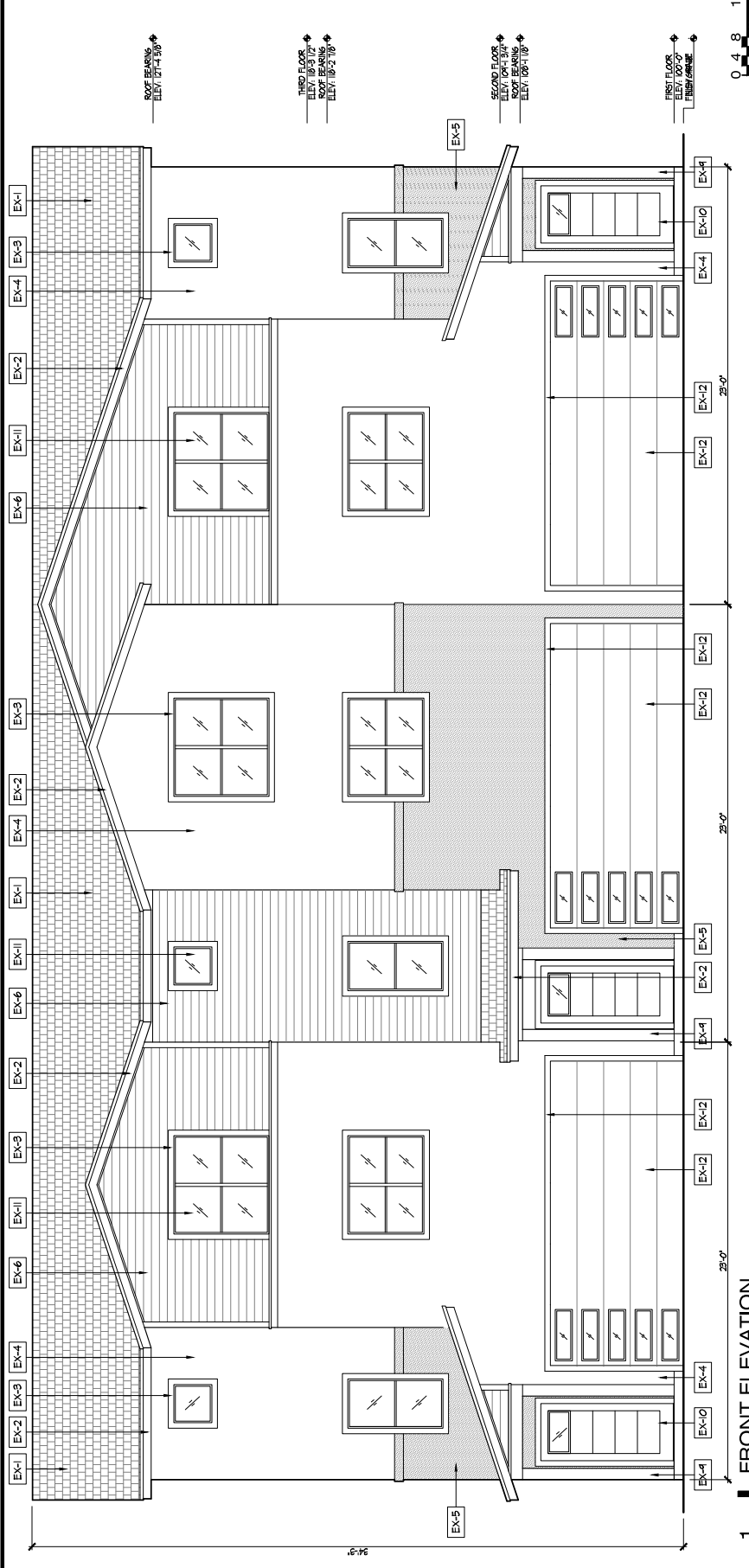
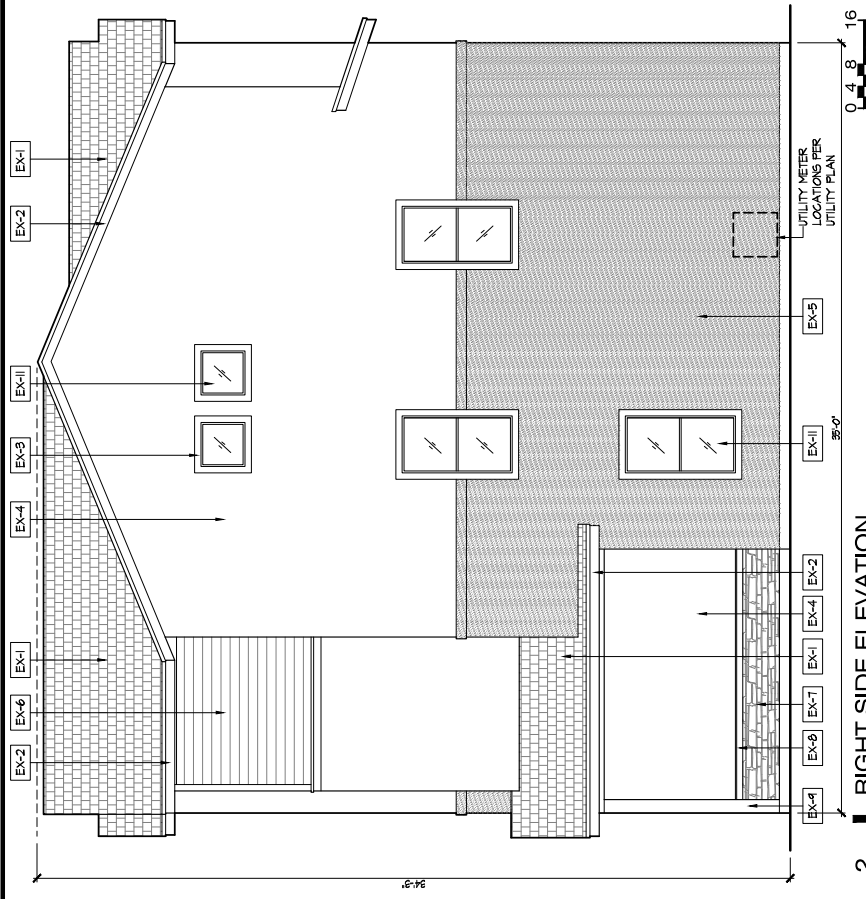


ELEVATION MATERIAL KEY

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EX-1	ASPHALT SHINGLE ROOF - COLOR: MEDIUM GRAY	EX-1	STONE VENER - DRY STACKED LEDGE STONE - COLOR: LIGHT TO MEDIUM GRAY
EX-2	ROOF FACIA - COLOR: MEDIUM GRAY	EX-2	STONE VENER SILLS AND CAPS - COLOR: MEDIUM GRAY
EX-3	WINDOW TRIM - COLOR: LIGHT TAN EXCEPT AT EX-6 MEDIUM BROWN	EX-3	PORCH COLUMNS AND BEAMS - COLOR: DARK GRAY
EX-4	CEMENT STUCCO - COLOR: LIGHT CREAM	EX-4	ENTRY DOORS AND TRIM - COLOR: MEDIUM GRAY
EX-5	CEMENT STUCCO - COLOR: MEDIUM TAN	EX-5	WINDOWS - COLOR: LIGHT TAN FRAMES
EX-6	LAP SIDING - COLOR: MEDIUM BROWN	EX-6	GARAGE DOORS AND TRIM - COLOR: MEDIUM GRAY

REAR LOADED GARAGE THREE-PLEX UNITS:
1-3 4-6 11-13 18-20 25-27 32-34 39-41
46-48 53-73

APPROVAL BOX



FRONT LOADED GARAGE THREE-PLEX UNITS:
134-163

SELBY RANCH
DEVELOPMENT PLAN
A PORTION OF THE SOUTH HALF OF SECTION 36,
IN THE CITY OF COLORADO SPRINGS, EL PASO COUNTY, COLORADO

MATERIAL NO.	MATERIAL DESCRIPTION	MATERIAL NO.	MATERIAL DESCRIPTION
EX-1	ASPHALT SHINGLE ROOF - COLOR: MEDIUM GRAY	EX-9	STONE VENEER SILLS AND CAPS - COLOR: MEDIUM GRAY
EX-2	ROOF FACIA - COLOR: MEDIUM GRAY	EX-10	PORCH AND DECK COLUMNS AND BEAMS - COLOR: DARK GRAY
EX-3	WINDOW TRIM - COLOR: LIGHT TAN (EXCEPT AT EX-6 MEDIUM BROWN)	EX-11	ENTRY DOORS AND TRIM - COLOR: MEDIUM GRAY
EX-4	CEMENT STUCCO - COLOR: LIGHT CREAM	EX-12	WINDOWS - COLOR: LIGHT TAN FRAMES
EX-5	GENENT STUCCO - COLOR: MEDIUM TAN	EX-13	GARAGE DOORS AND TRIM - COLOR: MEDIUM GRAY
EX-6	LAP SIDING - COLOR: MEDIUM BROWN	EX-14	DECK RAILINGS - COLOR: MEDIUM BROWN
EX-7	STONE VENEER - DRY STACKED LEDGE STONE - COLOR: LIGHT TO MEDIUM GRAY		