

Resort Lifestyle Communities Development Plan Site Plan

Colorado Springs, CO

Prepared For: **Resort Lifestyle Communities**
8040 Eiger Drive
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(402) 420-3149

Owner: **David D. Jenkins**
111 S. Tejon, Suite 222
Colorado Springs, CO 80903
(719) 593-2600

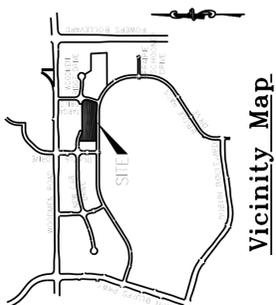


Prepared By: **NDA** N.A.S.S. DESIGN ASSOCIATES
LAND PLANNING · LANDSCAPE ARCHITECTURE
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PREPARATION: 10-23-17
REVISION: 12-14-17
CITY FILE NO: CPC-CU 17-00140

NOTICE TO ARCHITECT/CONTRACTOR/ENGINEER:
THE DETAILS SHOWN ON THIS DEVELOPMENT PLAN ARE FOR PLANNING PURPOSES ONLY. DO NOT USE THIS PLAN SET FOR PRODUCT SPECS, ENGINEERING DETAILS, OR CONSTRUCTION PURPOSES.
A PRE-CONSTRUCTION MEETING MUST BE SCHEDULED TO REVIEW ALL APPROVALS AND DESIGN CRITERIA PRIOR TO STARTING ANY SITE WORK.

FIGURE 2

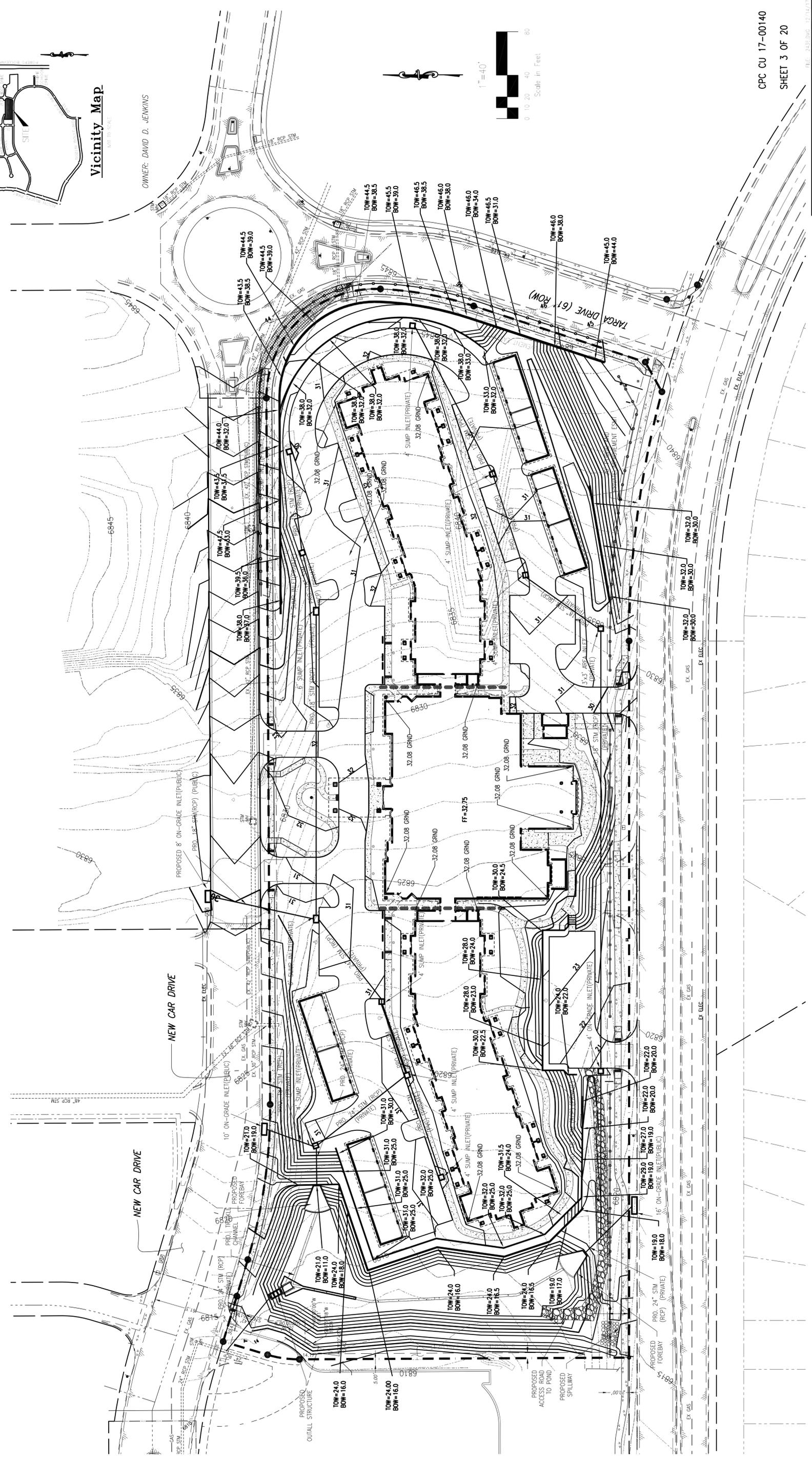


Vicinity Map

OWNER: DAVID D. JENKINS

CPC CU 17-00140
SHEET 3 OF 20

RESORT LIFESTYLE COMMUNITIES
 PRELIMINARY GRADING PLAN
 TITLE: 1"=40'
 SCALE: 12/14/17
 DRAWN BY: KDR
 CHECKED BY: KDR
 JOB NO. 17-026



FINISH GRADE AT TOP OF WALL
 FINISH GRADE AT BOTTOM OF WALL
 *ELEVATIONS DO NOT REFLECT ACTUAL STRUCTURAL WALL ELEVATIONS.

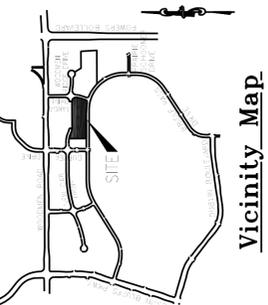
T.O.W.=80.0
 B.O.W.=78.00

FIGURE 2

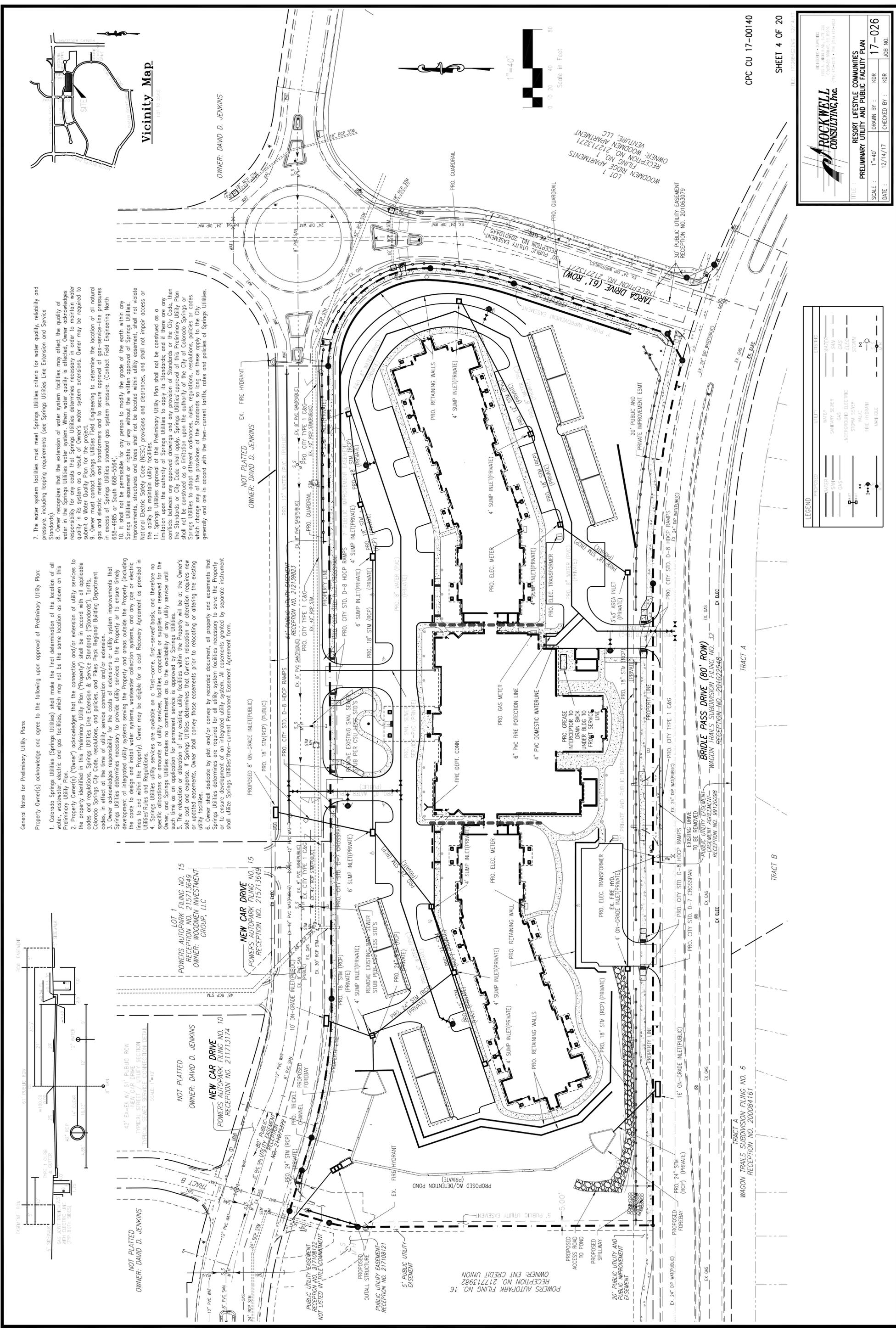
General Notes for Preliminary Utility Plans

1. Colorado Springs Utilities (Springs Utilities) shall make the final determination of the location of all water, wastewater, electric and gas facilities, which may not be the same location as shown on this Preliminary Utility Plan.
2. Property Owner(s) ("Owner") acknowledges that the connection and/or extension of utility services to the property identified in this Preliminary Utility Plan ("Property") shall be in accordance with all applicable codes and regulations, Springs Utilities Line Extension & Service Standards ("Standards"), Tariffs, Colorado Springs City Code, resolutions, and policies, and Pikes Peak Regional Building Department codes, in effect at the time of utility service connection and/or extension.
3. Owner acknowledges responsibility for the costs of extensions or utility system improvements that Springs Utilities determines necessary to provide utility services to the Property or to ensure timely development of integrated utility systems serving the Property and areas outside the Property (including the costs to design and install water systems, wastewater collection systems, and any gas or electric lines to and within the Property). Owner may be eligible for a cost Recovery Agreement as provided in Utilities Rules and Regulations.
4. Springs Utilities utility services are available on a "first-come, first-served" basis, and therefore no specific allocations or amounts of utility services, facilities, capacities or supplies are reserved for the Owner, and Springs Utilities makes no commitment as to the availability of any utility service until such time as an application for permanent service is approved by Springs Utilities.
5. The relocation or alteration of any existing utility facilities within the Property will be at the Owner's expense. Springs Utilities reserves the right to require the Owner to relocate or alter existing utility facilities. Owner shall convey these easements prior to relocating or altering the existing utility facilities.
6. Owner shall dedicate by plat and/or convey by recorded document, all property and easements that Springs Utilities determines are required for all utility system facilities necessary to serve the Property or to ensure development of an integrated utility system. All easements granted by separate instrument shall utilize Springs Utilities' then-current Permanent Easement Agreement form.

7. The water system facilities must meet Springs Utilities criteria for water quality, reliability and pressure, including looping requirements (see Springs Utilities Line Extension and Service Standards).
8. Owner recognizes that the extension of water system facilities may affect the quality of water in the Springs Utilities water system. When water quality is affected, Owner acknowledges responsibility for any costs that Springs Utilities determines necessary in order to maintain water quality in its system as a result of Owner's water system extensions. Owner may be required to submit a Water Quality Plan for the project.
9. Owner must contact Springs Utilities Field Engineering to determine the location of all natural gas and electric meters and transformers and to secure approval of gas-service-line pressures in excess of Springs Utilities standard gas system pressure. (Contact Field Engineering North 688-4985 or South 688-3564).
10. It shall not be permissible for any person to modify the grade of the earth within any utility easement, or to construct any structure or facility within a utility easement that shall not violate National Electric Safety Code (NESC) provisions and clearances, and shall not impair access or the ability to maintain utility facilities.
11. Springs Utilities approval of this Preliminary Utility Plan shall not be construed as a limitation upon the authority of Springs Utilities to apply its Standards, and if there are any conflicts between any approved drawings and any provision of Standards or the City Code, then the Standards or City Code shall apply. Springs Utilities approval of this Preliminary Utility Plan shall not be construed as a limitation upon the authority of the City of Colorado Springs or Springs Utilities to adopt different ordinances, rules, regulations, resolutions, policies or codes which change any of the provisions of the Standards so long as these apply to the City generally and are in accord with the then-current tariffs, rates and policies of Springs Utilities.



Vicinity Map
NOT TO SCALE



LEGEND

PROPOSED	EXISTING	UTILITY	EXEMPT
Water	Water	Water	Water
Sanitary Sewer	Sanitary Sewer	Sanitary Sewer	Sanitary Sewer
Gas	Gas	Gas	Gas
Underground Electric	Underground Electric	Underground Electric	Underground Electric
Storm Sewer	Storm Sewer	Storm Sewer	Storm Sewer
Valve	Valve	Valve	Valve
Fire Hydrant	Fire Hydrant	Fire Hydrant	Fire Hydrant
Manhole	Manhole	Manhole	Manhole

CPC CU 17-00140

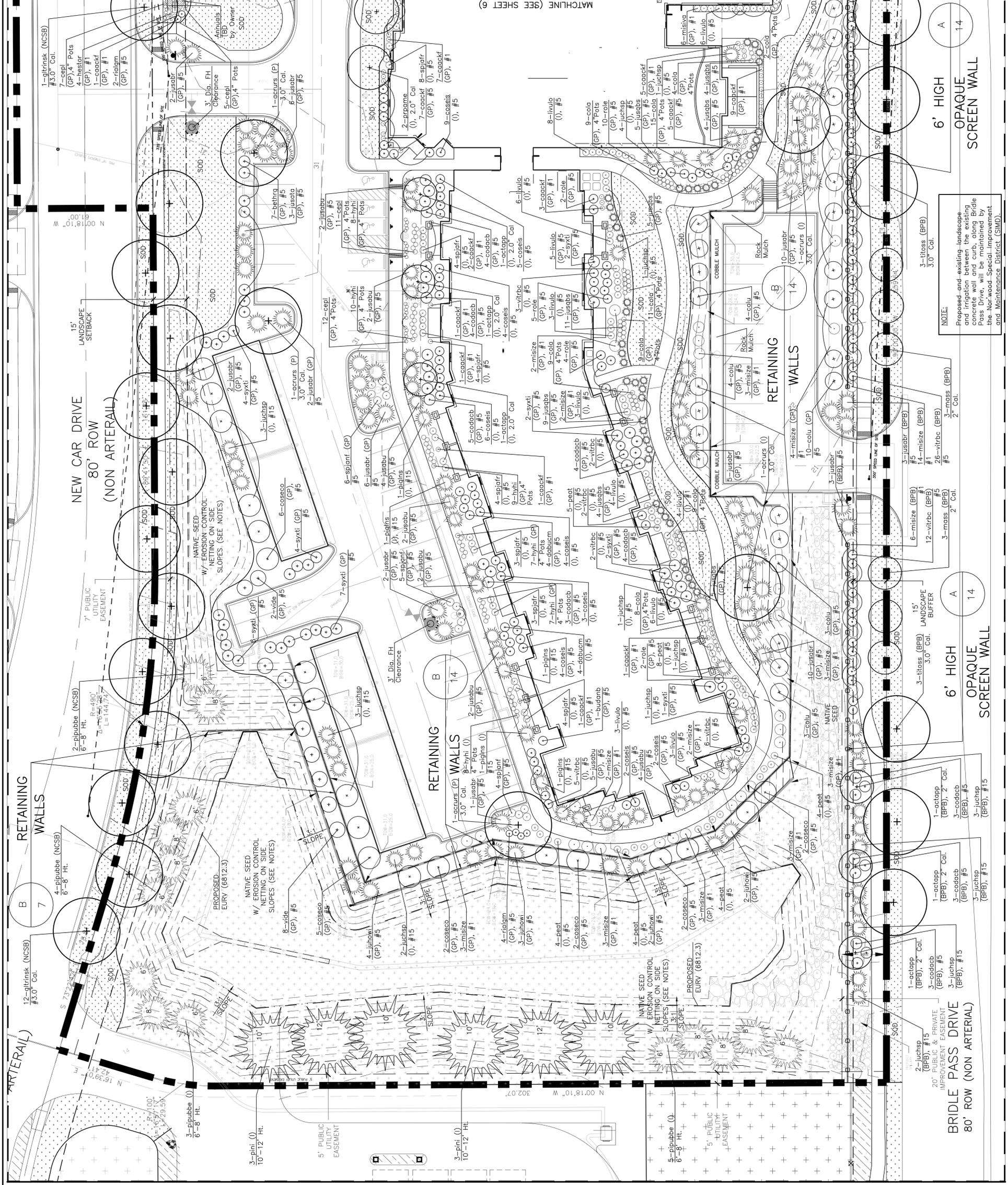
SHEET 4 OF 20

ROCKWELL CONSULTING, INC.
1015 S. WOODMEN AVENUE
COLORADO SPRINGS, CO 80905
TEL: 719.575.1100 FAX: 719.575.1101

RESORT LIFESTYLE COMMUNITIES
PRELIMINARY UTILITY AND PUBLIC FACILITY PLAN

TITLE: 17-026
SCALE: 1"=40'
DATE: 12/14/17
DRAWN BY: KDR
CHECKED BY: KDR
JOB NO. 17-026

FIGURE 2



SITE COVERAGES (Lot 1):

Building Coverage	1.716 Ac.	74,765 SF	23%
Parking and Private Drives	1.485 Ac.	64,584 SF	20%
Sidewalks/Patios	0.644 Ac.	28,065 SF	9%
Various Surfaces	2.777 Ac.	121,053 SF	39%
TOTAL	7.370 Ac.	321,065 SF	100%

PARKING SUMMARY:

UNITS	130
OPEN PARKING SPACES PROVIDED	110
CARSPACES & BICYCLE SPACES PROVIDED	32
GARAGE SPACES PROVIDED	142
TOTAL PARKING SPACES PROVIDED	142

LANDSCAPE KEY:

- SHRUB BEDS: DEFINED BY STEEL EDGER, CONCRETE EDGE OR BUILDING FOUNDATION. ALL SHRUB BEDS TO HAVE 4" TO 8" DEPTH OF COBBLE MULCH.
- INDIVIDUAL TREES SHALL HAVE A WOOD MULCH RING 3" TO 4" IN DIAMETER. INDIVIDUAL SHRUBS SHALL HAVE A WOOD MULCH RING 1 1/2 TIMES THE SIZE OF THE ROOTBALL.
- SOD AREAS: SEE LANDSCAPE NOTES FOR SOD BLEND
- NATIVE SEED: (IRRIGATED - FOR ESTABLISHMENT - FOR SEE LANDSCAPE NOTES FOR SEED MIX TREES AND SHRUBS IN NATIVE AREAS WILL BE DRIP IRRIGATED BY SEPARATE ZONE

Land Patterns, Inc.
Landscape Architecture
707 578 8689
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LANDSCAPE ARCHITECTURE
DESIGN
CONSTRUCTION SERVICES CO.
CONSULTING
PLANNING

Final Landscape Development Plan
for
Resort Lifestyle Community
at Powers Autopark
Colorado Springs, CO 80903

LANDSCAPE
PLAN
Sheet Title:

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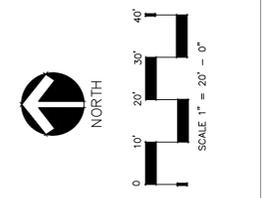
Revisions	By

Drawn By:	DTM
Checked By:	DTM
Date:	October 2017
Scale:	1" = 20'-0"
Job No.:	17012
5	

5 of 20 sheets

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CITY FILE NO. CFC CU 17-00140

NOTE:
Proposed and existing landscape and irrigation between the existing concrete walls and existing bridge. The bridge will be replaced with the new wood. Special Improvement and Maintenance District (SMD).

6' HIGH OPAQUE SCREEN WALL

6' HIGH OPAQUE SCREEN WALL

FIGURE 2

Final Landscape Development Plan
for
Resort Lifestyle Community
at Powers Autopark

Colorado Springs, CO 80903

Land Patterns, Inc.

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LANDSCAPE PLAN

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Revisions	By

Drawn By:	DTM
Checked By:	DTM
Date:	October 2017
Scale:	1" = 20'-0"
Job No.:	17012

6
6 of 20 sheets

LANDSCAPE KEY:



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INDIVIDUAL TREES SHALL HAVE A WOOD MULCH RING 3" TO 4" IN DIAMETER. INDIVIDUAL SHRUBS SHALL HAVE A WOOD MULCH RING 1 1/2 TIMES THE SIZE OF THE ROOTBALL.



SOD AREAS. SEE LANDSCAPE NOTES FOR SOD BLEND



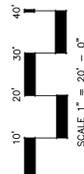
NATIVE SEED (PRIGATED FOR ESTABLISHMENT) FOR TREES AND SHRUBS IN NATIVE AREAS WILL BE DRIP IRRIGATED BY SEPARATE ZONE

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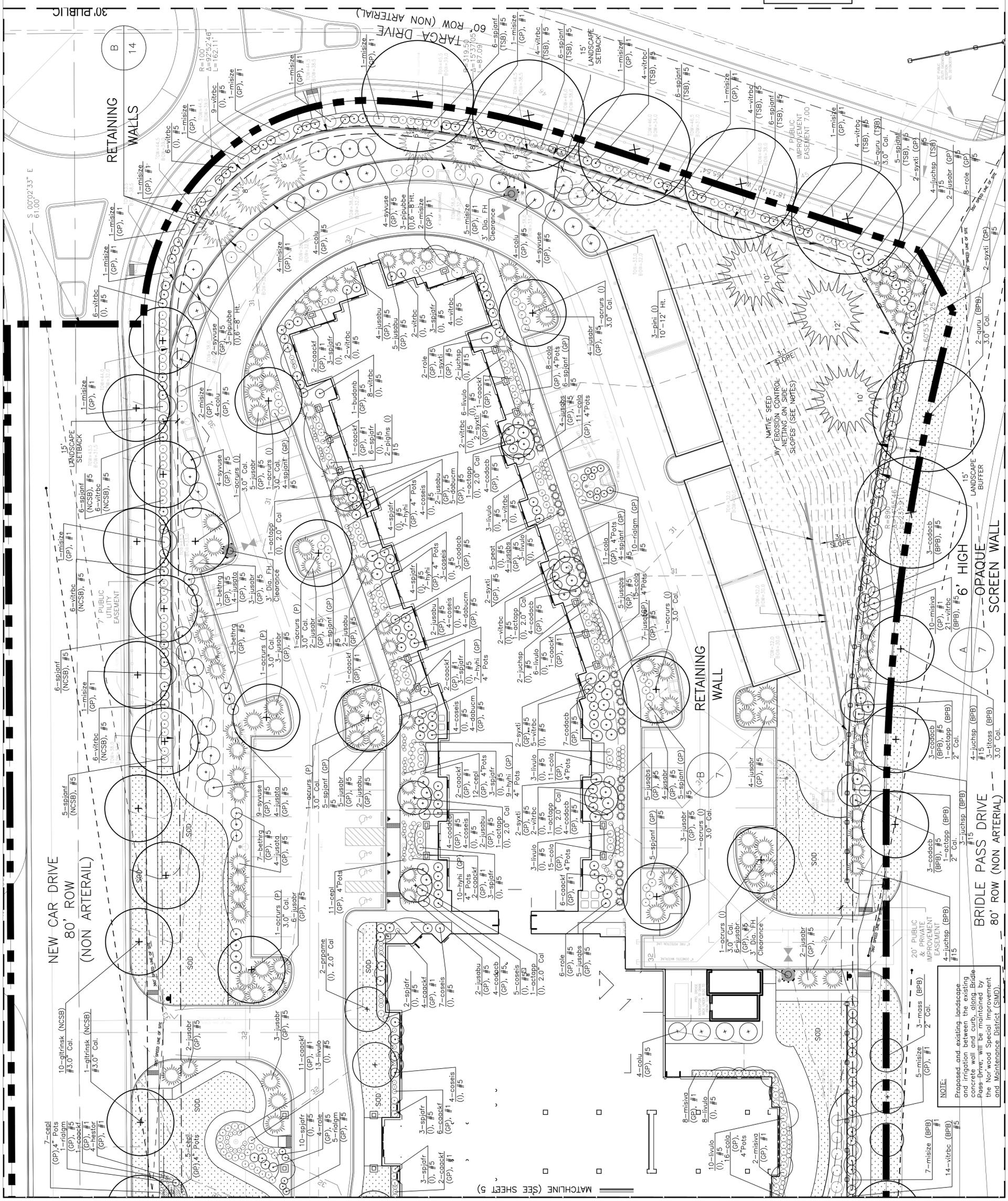
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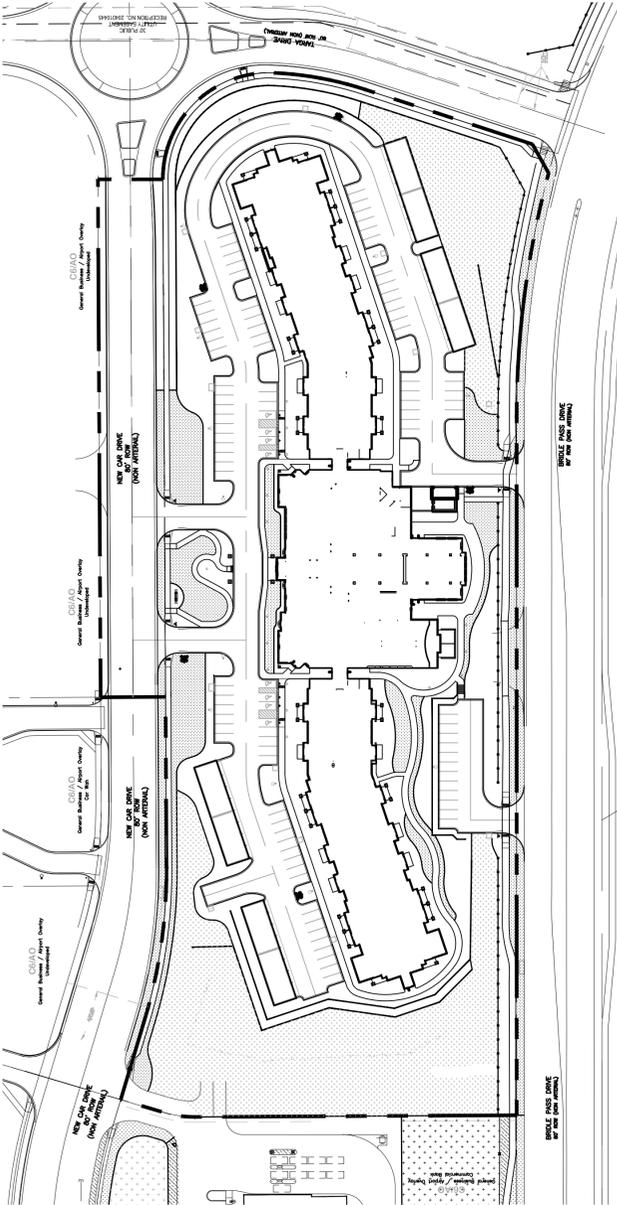


CITY FILE NO. CPC CU 17-00140



NOTE:
Proposed and existing landscape on location between the existing Bridle Pass Drive will be maintained by the Norwood Special Improvement and Maintenance District (SMD).

FIGURE 2



HYDRO ZONE MAP

LANDSCAPE KEY:

- (2345678 SA)
- SHRUB BEDS DEFINED BY STEEL EDGES, CONCRETE EDGES OR BUILDING FOUNDATION. ALL SHRUB BEDS TO HAVE 4" TO 8" DEPTH OF COBBLE MULCH.
- INDIVIDUAL TREES SHALL HAVE A WOOD MULCH RING 3' TO 4' IN DIAMETER. INDIVIDUAL SHRUBS SHALL HAVE A WOOD MULCH RING 1 1/2 TIMES THE SIZE OF THE ROOTBALL.



(M-MODERATE)
SOD AREAS

(L-LOW)
NATIVE SEED,
(IRRIGATED) - FOR
ESTABLISHMENT
SEE LANDSCAPE NOTES FOR SEE MIX
TREES AND SHRUBS IN NATIVE AREAS
WILL BE DRIP IRRIGATED BY SEPARATE
ZONE

Schematic Landscape Diagram

Submitted in conformance with Policy 311

ENT Credit Union Powers Autopark

DATE: Dec. 2016

CLIMATE ZONE

(from Figure 4 of Landscape Policy Manual) - circle zone:

FOOTHILLS FOOHHILLS & PLAINS PLAINS

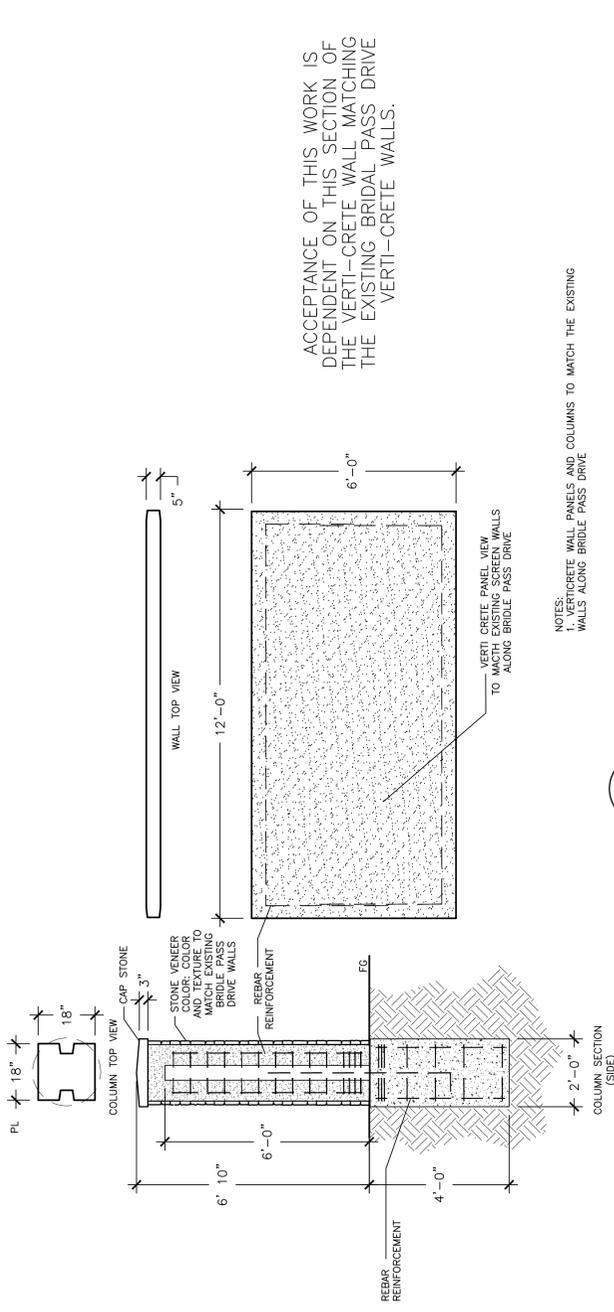
PLANT COMMUNITIES

- 1 -- Semi-ard Shrubs
- 2 -- Pinn-juniper Woodlands
- 3 -- Lower Elevation Roodion
- 4 -- Foothill Shrubs
- 5 -- Ponderosa Pine Forest
- 6 -- Douglas Fir Forest

HYDROZONES

- (supplemental water - to be issued by meter) on diagrams)
- V (D) - Very Low (0 to 7 inches per year)
- L (A) - Low (7 to 15 inches per year)
- M (S) - Moderate (15 to 25 inches per year)
- H (M) - High (more than 25 inches per year)

Project Name		Resort Living Community		Climate Zone		Foothills & Plains	
Date	Project Number	Climate Zone	Property Zoned	CS/AO	CS/AO	CS/AO	CS/AO
06-17	17021						
Site Category Calculations							
Landscape Setbacks (Code Section / Policy 320 & 317 (pp. 31 & 36))							
Plant Label Code	Street Name / Right-of-Way	Street Width	Setback	Required	Provided	Footage	No. Trees
NCSB	New Car Drive	10'	15'	65'	130'	32	30
TSB	Terra Drive	10'	15'	365'	130'	12	9
Bridle Pass (See Buffer Requirement Below)							
NCSB	Shrub Substitutes	Om. Grass Subst.	Setback Plant Abstr.	% Ground Plane Veg. Required	Provided	75%	75%
TSB	Shrub Substitutes	Om. Grass Subst.	Setback Plant Abstr.	% Ground Plane Veg. Required	Provided	75%	75%
Motor Vehicle Lots (Code Section / Policy 321 & 317 (pp. 31 & 38))							
Plant Label Code	No. of Vehicles	Shade Trees (11.5 ft)	Frontage	Length of Frontage (ft.)	203 Length of Frontage (ft.)		
P	110	7	7	7	7		
Internal Landscaping (Code Section / Policy 322 & 317 (pp. 31 & 40))							
Plant Label Code	Min. Site Area (S.F.)	Percent Minimum Internal Area (S.F.)	Internal Area (S.F.)	Internal Trees (1500 ±)	Required	Provided	
I	321,053	15%	48,158	153,639	96	61	
Landscape Buffers & Screens (Code Section / Policy 323 & 317 (pp. 31 & 41))							
Plant Label Code	Street Name or Property Line	Width (in ft.)	Linear Footage	Buffer Trees (120')	Required	Provided	Req. (50%)
BPB	Bridle Pass	15	17.5	882'	45	45	22
Additional Plants							
Plant Label Code	Length of "Op. Struct. Required	Buffer Tree Abstr.	% Ground Plane Veg. Required	Provided	Req. (50%)	Provided	
X	810'	810'	75%	75%			
GP	INDICATES EXTRA PLANT MATERIAL ABOVE THE REQUIREMENTS						
	INDICATES PLANT MATERIAL MEETING GROUNDPANE VEGETATION REQUIREMENTS						



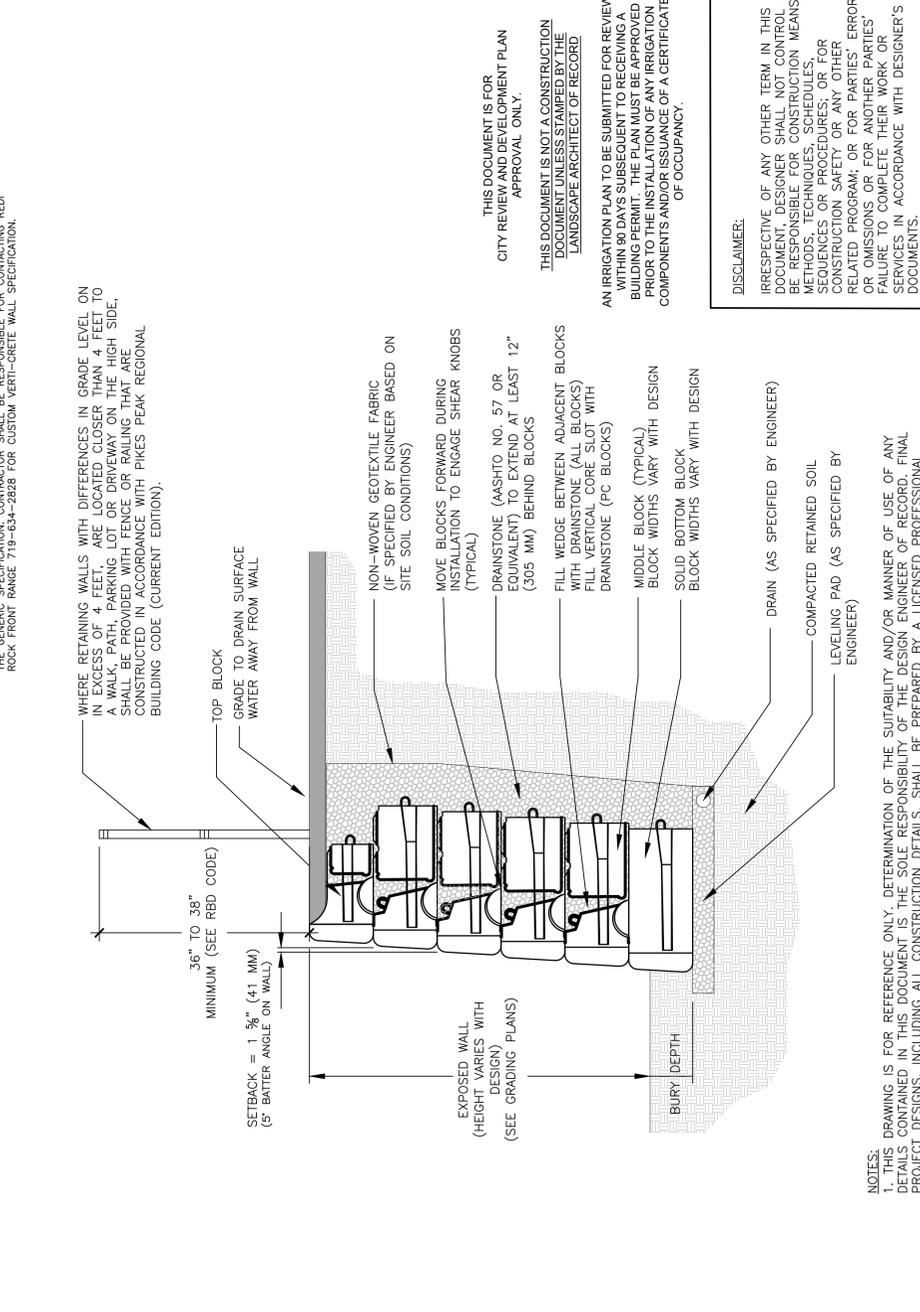
ACCEPTANCE OF THIS WORK IS DEPENDENT ON THIS SECTION OF THE VERTI-CRETE WALL MATCHING THE EXISTING BRIDLE PASS DRIVE VERTI-CRETE WALLS.

NOTES:
1. VERTI-CRETE WALL PANELS AND COLUMNS TO MATCH THE EXISTING WALLS ALONG BRIDLE PASS DRIVE

6' HIGH LANDSCAPE OPAQUE SCREEN WALL

SPECIFICATIONS FOR VERTI-CRETE WALL IS A GENERIC SPECIFICATION FOR THIS PRODUCT. THE BRIDLE PASS DRIVE VERTI-CRETE WALL MAY HAVE SPECIFICATIONS THAT DIFFER FROM THE GENERIC SPECIFICATION. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING RED ROCK FROM RANGE 719-864-2828 FOR CUSTOM VERTI-CRETE WALL SPECIFICATION.

WHERE RETAINING WALLS WITH DIFFERENCES IN GRADE LEVEL ON IN EXCESS OF 4 FEET, ARE LOCATED CLOSER THAN 4 FEET TO A WALK, PATH, PARKING LOT OR DRIVEWAY ON THE HIGH SIDE, THE WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH Pikes Peak REGIONAL BUILDING CODE (CURRENT EDITION).



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2. REDI-ROCK 'LEDGESTONE' PRODUCT WALL TYPE.

Revisions	By

Drawn By:	DTM
Checked By:	DTM
Date:	October 2017
Scale:	
Job No.:	17012
Sheet No.:	7

LANDSCAPE PLANT SCHEDULE

Abbr.	Qty.	Botanical Name	Common Name	App. B Key	Mature Width	Planting Size	Notes
TREES							
oacrus	15	Acer rubrum Red Sunset Maple	Red Sunset Maple	S	30'-40'	3.0" Cal.	
oactep	14	Acer tataricum Pattern Perfect	Pattern Perfect Tatarian Maple	235AD	15'-20'	2.0" Cal.	
gltink	24	Gleditsia triancanthos Inermis Skyline	Skyline Honeylocust	45A	30'-40'	3.0" Cal.	
juchap	47	Juniperus chinensis Spartan	Spartan Juniper	256BA	4'-6'	#15	
mass	9	Malus Spring Snow	Spring Snow Crabapple	467S	20'-25'	2.0" Cal.	
pligns	7	Picea glauca North Star	Compact White Spruce North Star	W	5'-7'	#15	
phi	6	Pinus nigra	Austrum Pine	2567BA	30'-40'	10" Ht.	
phi	3	Pinus nigra	Austrum Pine	2567BA	30'-40'	12" Ht.	
plubbe	11	Picea pungens Baby Blue Eyes	Baby Blue Eyes Spruce	678S	10'-15'	6" Ht.	
plubbe	9	Picea pungens Baby Blue Eyes	Baby Blue Eyes Spruce	678S	10'-15'	8" Ht.	
pprane	4	Prunus padus Merlot	Purple Leaf Mayday Tree	S	15'-20'	2.0" Cal	
quru	7	Quercus rubra Northern Red	Purple Leaf Oak	45	15'-20'	3.0" Cal.	
tliss	9	Tilia tomentosa Sterling Silver	Sterling Silver Linden	45	20'-35'	3.0" Cal.	
Percent Signature Shrubs (60% minimum - Policy 311.3)							
Signature Trees - 139 (60% minimum - Policy 311.3)							
Total No. of Trees = 84% Signature Trees							
SHRUBS							
bethg	20	Berberis thunbergii Rose Glow	Rose Glow Barberry	45A	3'-6'	#5	
budob	2	Buddleia davidii Nemo Blue	Compact Blue Butterflybush	45A	4'-5'	#5	
codob	72	Cotoneaster dammeri Coral Beauty	Coral Beauty Cotoneaster	44568S	4'-6'	#5	
colu	41	Cotoneaster lucidus	Peking Cotoneaster	2345D	6'-10'	#5	
cosco	19	Cornus sericea Colorado	Colorado Redtwig Dogwood	457S	6'-10'	#5	
cosis	71	Cornus sericea Incani	Incani Dogwood	457S	4'-6'	#5	
deburn	21	Daphne x burwoodii Royal Lace	Cora Mockle Daphne	S	3'-5'	#5	
fralco	14	Fragaria ananassa Strawberry	Call Hedge Strawberry	45D	3'-4'	#5	
jhwai	10	Juniperus horizontalis Wilton	Wilton Carpet Juniper	2568A	6'-8'	#5	
juasbr	99	Juniperus sibirica Broadmoor	Broadmoor Juniper	568A	6'-8'	#5	
juasba	44	Juniperus sibirica Buffalo	Buffalo Juniper	568A	6'-8'	#5	
juasba	15	Juniperus sibirica Montezuma	Tommy Juniper	568A	6'-8'	#5	
juasps	72	Juniperus squamata Blue Star	Blue Star Juniper	A	2'-3'	#5	
lvulo	106	Ligustrum vulgare Ligustrum	Ligustrum Prickly Pear	A	3'-4'	#5	
peet	34	Perovskia atriplicifolia Russian Sage	Russian Sage	12D	3'-4'	#5	
rdlgn	22	Ribes alpinum Green Mound	Green Mound Currant	24567DA	2'-3'	#5	
role	43	Rosa rugosa Utah Easy	Utah Easy Rose	45678SA	3'-5'	#5	
spplr	78	Syringa japonica Linn Easy	Compel Syringa	SA	2'-4'	#5	
spplnf	101	Syringa japonica Neo-Franz	Neo-Franz Syringa	SA	4'-5'	#5	
syvas	23	Syringa vulgaris Samolus	White Syringa	568BA	8'-12'	#5	
syxti	41	Syringa x Thibaudielle Thibaudielle	Thibaudielle Lilac	568BA	4'-5'	#5	
vde	10	Viburnum dentatum Viburnum	Arrowwood Viburnum	A	6'-8'	#5	
vltrc	170	Viburnum x bodinieri Bailey Compact	Compact American Viburnum	47A	4'-5'	#5	
Percent Signature Shrubs (60% minimum - Policy 311.3)							
Signature Shrubs - 768 (60% minimum - Policy 311.3)							
Total No. of Shrubs = 66% Signature Shrubs							
GRASSES							
coack	88	Cymbopogon acutiflorus Xeri Evergreen Grass	Feather Reed Grass	A (L)	18" -24"	#1	
mlsiv	16	Miscanthus sinensis Variegatus	Variogated Maiden Grass	DA	2'-3'	#1	
mlsiv	104	Miscanthus sinensis Zebrinus	Zebra Grass	DA	4'-6'	#1	
PERENNIALS							
cepl	82	Ceratostigma plumbaginoides	Rubra Leaf		18"-24"	4" Pots	
colu	159	Coreopsis lanceolata	Lance-leaf Coreopsis	123A	18"-24"	4" Pots	
hstor	22	Hemerocallis Stella de Oro	Dwarf Gold Daylily		12"-18"	4" Pots	
lyli	89	Hypericum 'Hidcote'	Hidcote St. John's Wort		18"-24"	4" Pots	

CONTRACTOR RESPONSIBILITY:

CONSTRUCTION DOCUMENTS INCLUDE CONSTRUCTION PLANS AND PROJECT SPECIFICATIONS. CONTRACTOR IS RESPONSIBLE FOR READING ALL DOCUMENTS ASSOCIATED WITH THE INSTALLATION OF IRRIGATION AND PLANT MATERIAL PRIOR TO COMMENCING INSTALLATION (INCLUDING CITY INSTALLATION AND PLANTING GENERAL NOTES REQUIREMENTS - THIS SHEET). CONTRACTOR IS RESPONSIBLE FOR CONTACTING PROJECT LANDSCAPE ARCHITECT OR IRRIGATION DESIGNER WITH QUESTIONS REGARDING DISCREPANCIES WITHIN THESE DOCUMENTS. IN THE EVENT DISCREPANCIES OCCUR BETWEEN THE QUANTITIES OF PLANTS INDICATED IN THE PLANT SCHEDULE AND INDICATED BY SYMBOL ON THE DRAWINGS, THE PLANT QUANTITIES INDICATED BY THE SYMBOL ON THE DRAWINGS SHALL PREVAIL. REQUEST FOR SUBSTITUTIONS OR RELOCATION OF MATERIALS MUST BE AUTHORIZED BY THE LANDSCAPE ARCHITECT AND/OR IRRIGATION DESIGNER OF RECORD.

MATERIAL INSPECTIONS:

- LANDSCAPE INSPECTION AND APPROVAL:
PRE-DELIVERY INSPECTION: ALL PLANT MATERIALS SHALL BE AVAILABLE AT ONE SITE FOR VISUAL INSPECTION PRIOR TO INSTALLATION. INSPECTIONS OF NEW PLANTS ARE PRIMARILY FOR QUALITY, SIZE AND VARIETY, BUT OTHER REQUIREMENTS ARE NOT WAIVED EVEN THOUGH VISUAL INSPECTION RESULTS IN APPROVAL. PLANTS MAY BE INSPECTED WHERE GROWING, BUT INSPECTION AT THE PLACE OF GROWTH SHALL NOT PRECLUDE THE RIGHT OF REJECTION AT THE SITE. REJECTED PLANTS AND OTHER MATERIALS SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH SUITABLE SPECIMENS.
THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT AT ANY TIME OR PLACE PRIOR TO FINAL ACCEPTANCE OF ANY AND ALL MATERIALS AND PLANTS WHICH, IN HIS/HER OPINION, FAIL TO MEET SPECIFICATIONS.
IRRIGATION INSPECTIONS: NOTIFICATION FOR IRRIGATION SYSTEM INSPECTION WHILE TRENCH IS OPEN SHALL BE GIVEN 2 WEEKS IN ADVANCE OF REQUESTED INSPECTION DATE
AFFIDAVIT INSPECTIONS:
- LANDSCAPE ARCHITECT AND/OR IRRIGATION DESIGNER OF RECORD SHALL BE NOTIFIED AT LEAST TWO WEEKS PRIOR TO CLIENT SEEKING OCCUPANCY PERMIT FOR AFFIDAVIT INSPECTION. SEE CITY OF COLORADO SPRINGS REQUIREMENTS, INSTALLATION, VERIFICATION AND DEFERRAL -CODE SECTION 309 - (THIS SHEET)

GENERAL PLANTING NOTES:

- Exact locations, elevations and configurations of utilities, structures, existing plants and natural features are the responsibility of the user and shall be field verified prior to any work, including material orders. Caution shall be exercised during all field work surveying, locating, hand digging, pilot holes and/or other appropriate methods may be required for subsurface work. Contact local utilities locating services at least 2 business days (not including the day of the actual notice) prior to excavation work. Utility Notification Center of Colorado 12600 W. Colfax Ave., Suite B-310, Lakewood, CO 80215 (800)-922-1987.
- TOPSOIL STOCKPILING: See Grading Plan for stockpiling, mound soil no higher than 1.3 m (4 feet) high for less than 1 year and preferably less than 6 months. Cover (SEE NATIVE SEED MIX) to prevent soil erosion and contamination by weeds.
- WEED CONTROL: Apply pre/post emergent herbicides per manufacturer recommendations (see specifications for manufacturer's products). Prepare all sod areas and planting beds before planting by applying herbicide as per label directions to weed or grass growth in planting areas on site. Do not proceed with landscape installation until weed growth has been controlled.
- SOIL AMENDMENTS:
Spread the following amendments to ALL landscape areas. Amendments are per the submitted soils report and approved by the City.
-Add 3 cu. yds. Ecogro Class 1 Compost (an A-1 Organics Product) or an approved plant based compost equal) per 1,000 s.f.
-Add 3 lbs. Nitrogen (N) per 1,000 s.f. for turf and shrub bed areas (For each 1/10 lb of Nitrogen apply 1/4 lb Urea)
-Add 4 lbs. Phosphorus (P2O5) per 1,000 s.f.
-Add 1 LBS Potassium (K2O) per 1,000 s.f.
-Add 2 oz. of Zinc (Zn) per 1,000 s.f. (or 10 lbs Zn per Acre)
Prior to spreading amendments rip (till) ALL existing soil to a depth of eight (8) inches minimum (see project specifications) All parking lot islands shall be filled and soil amendments added to a depth of 30" (see project specifications).

Apply soil amendments to a 1" depth before incorporating into soil (3 cubic yards of compost amendment will cover 1000 sf area at a 1" depth) to ALL landscape areas. Cultivate (till) soil amendments into the 8" depth.
Contractor shall submit all soil amendment receipts from supplier to the Landscape Architect. Receipts shall illustrate soil amendment mix per the specifications above and the amount (cubic yards) ordered for the project.

5. TREE & SHRUB PIT BACKFILL MIXTURE, shall be 70% native soil and 30% organic mix.

6. IRRIGATION: An automatic irrigation system shall be installed. All trees and shrubs in planting beds shall be drip irrigated. Fescue Sod and native seed areas are to be irrigated by pop-up and/or spray heads. Native seed areas will be irrigated for establishment purposes only. Rain sensors will be required (see irrigation sheets - this document).

AN IRRIGATION PLAN SHALL BE SUBMITTED BY A QUALIFIED IRRIGATION DESIGNER FOR REVIEW WITHIN 90 DAYS SUBSEQUENT TO RECEIVING A BUILDING PERMIT. THE PLAN MUST BE APPROVED PRIOR TO THE INSTALLATION OF ANY IRRIGATION COMPONENTS AND/OR ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

7. PLANT LIST: Codes for the species (scientific name), size, and quantity required to complete the planting, are listed and indicated by symbol in the drawings. In the event discrepancies occur between information indicated in the schedule and information indicated by symbol on the drawings, the information indicated by symbol on the drawings shall govern.

8. FORM: All plants shall conform to the ANSI Z60.1, and Colorado Nursery Act. Provide plant material well formed, true to species or variety, free from injuries and disfigurement, unless otherwise approved by the Landscape Architect. Trees shall be fully branched in proportion to width and height. Trees, both deciduous and evergreen, shall have relatively straight trunks and one central leader (trees shall not be "poled"), unless otherwise approved by the Landscape Architect. Shrubs shall be provided that have the height and number of primary stems as recommended by ANSI Z60.1. An acceptable plant shall be well shaped with sufficient well-spaced side branches recognized by the ANLA (American Nurserymen and Landscape Association) as typical for the variety grown in the region.

9. HEALTH: Provide healthy plant material. Plant material shall be free from disease, defects such as disfiguring knots, sunscald, windburn or bark abrasions, infestations or injury and have a vigorous root system. Root balls shall be free of weeds. If necessary, spray plant material at time of installation and periodically as required to exclude infestation until final acceptance.

10. SIZE: The minimum acceptable sizes of plants measured before pruning with branches in normal position, shall conform to measurements as specified in the plant list furnished. Height and spread dimensions refer to main body of plant and not from branch or root tip to tip. Measure trees and shrubs with branches in normal position. Measure trunk caliper 6" above ground up to and including 4" caliper size and 12" above ground for larger sizes. The sizes identified are minimum sizes; plant material smaller than specified is unacceptable. Plants larger than specified may be used, if approved, at no additional cost.

11. PRUNING: All plants shall not have been pruned after selection by the Landscape Architect or Contractor at either the supplier's nursery or the Contractor's work site, except as otherwise provided herein. (See Specs).

12. IDENTIFICATION: All plant materials shall be identified by means of a grower's label affixed to the plant. The grower's label shall give the data necessary to indicate conformance to specifications. Use durable waterproof labels with water-resistant ink which will remain legible for at least 60 days.

13. SUBSTITUTIONS: No substitutions accepted, except with the written permission of the Landscape Architect or owners authorized representative.

14. TREE STAKES & GUYS: For deciduous trees: Lodgepole Pine 1-1/2"-2" diameter post, 8 long with bottom end pencil pointed. For evergreen trees, steel T posts, 30" bottom portion with anchor intact. Guying Material: Arborite manufactured by Deep Root Partners, L.P., (800) 458-7668 or approved equal. Submit sample to Owner's Authorized Representative for approval a minimum of two (2) weeks prior to delivery on-site. Color: Green.

15. TREE WRAP: Standard nursery crepe tape not less than 4" wide, designed to prevent winter sun-scaled. Secured every 24" by taping. Do not use duct tape.

16. COBBLE MULCH: Unless otherwise noted, all planting beds for trees and shrubs and designated cobble areas shall be mulched with COBBLE MULCH. Cobble Mulch shall be Blue Gray or Cottonwood cobble, 1/2" to 8" in size. Apply as supplied by C&C Sand Co. or approved equal. (till) Cobble/river rock as indicated on drawings over geo-textile fabric layer. Place cobble in entire designated area to minimum depth of 6" - 10". Individual trees installed in cobbled shrub beds shall have a wood mulch ring 3' to 4' in diameter. Individual shrubs installed in cobbled shrub beds shall have a wood mulch ring 1/2 the size of the rootball.

17. WOOD MULCH: Where indicated on the plans for areas designated to receive WOOD Mulch all planting, including individual plant wood mulch rings shall be mulched with three inches (3"-4") of shredded wood cedar mulch. Cedar mulch shall be a fibrous material, not chipped or chunks, (see specs for acceptable type), and watered in after installation.

18. BOULDERS: Landscape Boulders shall be Granite Cottonwood Boulders, 2'-4" in diameter as supplied by C&C Sand Co. or approved equal.

19. GEO-TEXTILE FABRIC: Underlayment fabric for weed barrier - USED IN ROCK & COBBLE MULCH DESIGNATED AREAS ONLY - shall have a nominal weight of 0.35 oz. per square yard with a permeability of 0.7 cm/sec. minimum (see project specifications).

THIS DOCUMENT IS FOR CITY REVIEW AND DEVELOPMENT PLAN APPROVAL ONLY.

AN IRRIGATION PLAN TO BE SUBMITTED FOR REVIEW WITHIN 90 DAYS SUBSEQUENT TO RECEIVING A BUILDING PERMIT. THE PLAN MUST BE APPROVED PRIOR TO THE INSTALLATION OF ANY IRRIGATION COMPONENTS AND/OR ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

THIS DOCUMENT IS NOT A CONSTRUCTION DOCUMENT UNLESS STAMPED BY THE LANDSCAPE ARCHITECT OF RECORD.

Land Patterns, Inc.
Landscape Architecture
703 788 8689
703 788 8689
DESIGN
CONSTRUCTION
LANDSCAPE ARCHITECTURE

Final Landscape Development Plan
for
Resort Lifestyle Community
at Powers Autopark
Colorado Springs, CO 80903

Sheet Title: LANDSCAPE NOTES

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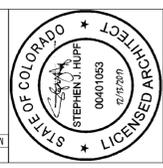
Revisions	By

Drawn By: DTM
Checked By: DTM
Date: October 2017
Scale:
Job No.: 17012
8
8 of 20 sheets

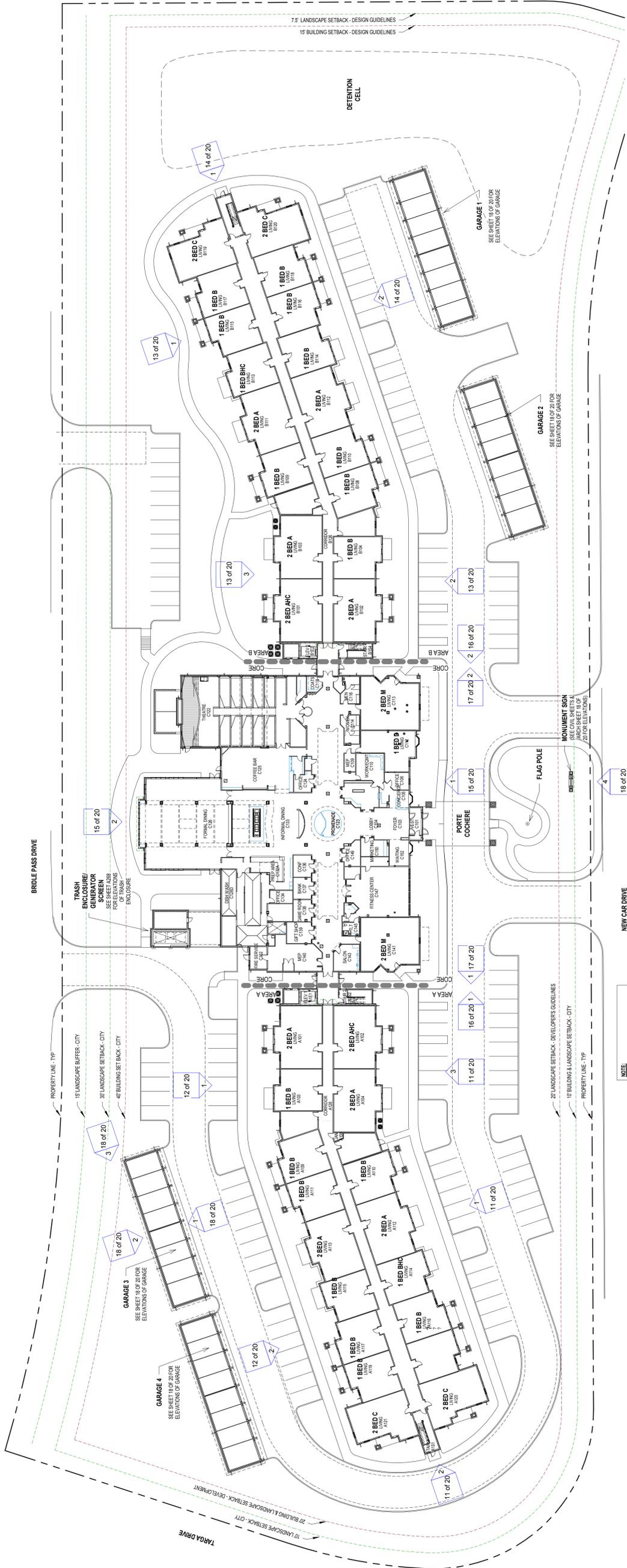
DISCLAIMER:
IRRESPECTIVE OF ANY OTHER TERM IN THIS DOCUMENT, DESIGNER SHALL NOT CONTROL OR BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SCHEDULES, SEQUENCES OR PROCEDURES; OR FOR CONSTRUCTION SAFETY OR ANY OTHER RELATED PROGRAM; OR FOR PARTIES' ERRORS OR OMISSIONS OR FOR ANOTHER PARTIES' FAILURE TO COMPLETE THEIR WORK OR SERVICES IN ACCORDANCE WITH DESIGNER'S DOCUMENTS.

SITE DEVELOPMENT PLAN
 RESORT LIFESTYLE COMMUNITIES
 COLORADO SPRINGS
 EXTERIOR ELEV REFERENCE PLAN

PROJECT NO:	2017-044
DESIGNED BY:	SAH
DRAWN BY:	SAH
DATE:	12/13/17



MARK	DATE	DESCRIPTION	REVISIONS



EXTERIOR ELEV REFERENCE PLAN



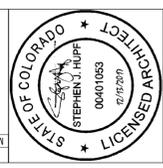
NOTE:
 SITE PLAN SHOWN FOR REFERENCE
 ONLY. REFER TO CIVIL DRAWINGS FOR
 SPECIFIC SITE INFO.

FIGURE 2

SITE DEVELOPMENT PLAN
 RESORT LIFESTYLE COMMUNITIES
 COLORADO SPRINGS
 EXTERIOR ELEVATIONS - AREA 'A'

PROJECT NO:	2017-044
DESIGNED BY:	SAH
DRAWN BY:	SAH
DATE:	12/11/17

ARCHITECT:



MARK	DATE	DESCRIPTION	REVISIONS

- EXTERIOR MATERIAL - COLOR LEGEND**
- MASONRY:**
 BRICK - 4" WEBER, ACME BRICK, BROWNELL
 BRICK - 4" WEBER, OLD CASTLE, WATERFORD
 STONE - 4" WEBER, OLD CASTLE, WATERFORD
 STONE - THIN STONE VENEER, MATCH #4 STONE VENEER
 CAST STONE, FREASTONE, NOSTALGIC STONE, LIGHT BUFF
 COLUMN - MASONRY SECTION, ACME BRICK, PEPPERWELL
- SPONGE SYSTEMS:**
 SIDING - HORIZ LAP SIDING 1, HARDE TRIM, PEARL GRAY
 SIDING - HORIZ LAP SIDING 2, HARDE TRIM, AGED PINE
 SIDING - VERT & HORIZ ACCENT BANDING, HARDE TRIM, ARTIC WHITE
 SHINGLES - OWENS CORNING, PEPPERWELL GRAY
 GUTTER - WHITE ALUMINUM
 DOWNSPOUT - WHITE ALUMINUM
- ROOF:**
 SHINGLES - OWENS CORNING, PEPPERWELL GRAY
 GUTTER - WHITE ALUMINUM
 SOFFIT - EPS, SMOOTH SAND TEXTURE, WHITE
- DOORS & WINDOWS:**
 WINDOW - WHITE
 WINDOW - HOLLOW METAL, MATCH ARCTIC WHITE
 DOORS - ALUM, WHITE
 STOREFRONT - ALUM, WHITE
- MISC:**
 LOWER TRIM - TBG TO MATCH SIDING & BRICK
 LOWER PTAC - TBG TO MATCH SIDING & BRICK
 LOWER CORNER - MATCH WINDOW COLOR
 COLUMN TOP SECTION - ALUM/COG, MATCH ARCTIC WHITE
 PORCH RAILING - MATCH WINDOW COLOR
 PORCH RAILING - MATCH ARCTIC WHITE
 HVAC SCREEN WALL - MATCH PEARL GRAY
 EXHAUST - MATCH WINDOW COLOR
 DRYER & EXHAUST - MATCH #4 BRICK, COLOR MATCH TO SIDING & BRICK



1 ELEVATION - 'A' WING - FRONT - END
 1/8" = 1'-0"



2 ELEVATION - 'A' WING - END
 1/8" = 1'-0"

3 ELEVATION - 'A' WING - FRONT
 1/8" = 1'-0"

WALL PACK LIGHT FIXTURE - TYP.
 SEE LIGHT FIXTURE PLAN

PULL OUTTOP PATIO LIGHT - TYP.
 SEE LIGHT FIXTURE PLAN

EXHAUST VENTS - TYP. - COLOR
 MATCH TO SIDING & BRICK

WALL PACK LIGHT FIXTURE - TYP.
 SEE LIGHT FIXTURE PLAN

2 ELEVATION - 'A' WING - BACK - END
1/8" = 1'-0"



1 ELEVATION - 'A' WING - BACK
1/8" = 1'-0"



DATE: 12/11/17

DRAWN BY: SAH

DESIGNED BY: SAH

PROJECT NO: 2017-044

SITE DEVELOPMENT PLAN
RESORT LIFESTYLE COMMUNITIES
COLORADO SPRINGS
EXTERIOR ELEVATIONS - AREA 'B'



MARK	DATE	DESCRIPTION	REVISIONS

CONSULTANT:

ARCHITECT:



1 ELEVATION - 'B' WING - END
1/8" = 1'-0"



2 ELEVATION - 'B' WING - FRONT - END - SDP
1/8" = 1'-0"

1 ELEVATION - CORE - FRONT
1/8" = 1'-0"



2 ELEVATION - CORE - BACK
1/8" = 1'-0"



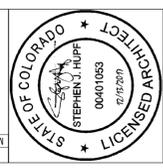
PROJECT NO:	2017-044
DESIGNED BY:	SAH
DRAWN BY:	SAH
DATE:	12/11/17

SITE DEVELOPMENT PLAN
RESORT LIFESTYLE COMMUNITIES
COLORADO SPRINGS
EXTERIOR ELEVATIONS - AREA 'C'

ARCHITECT:

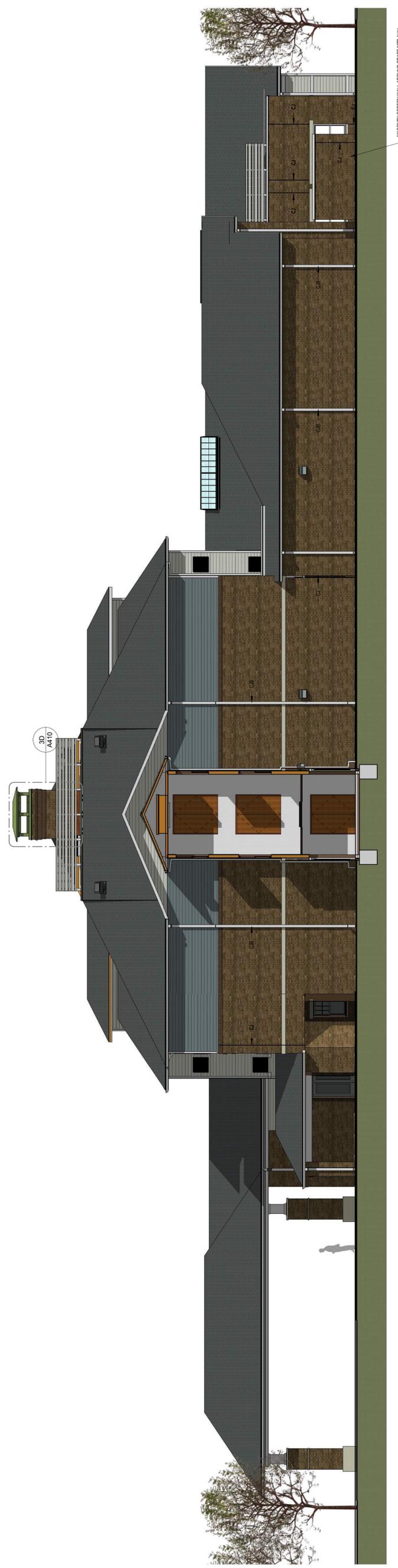


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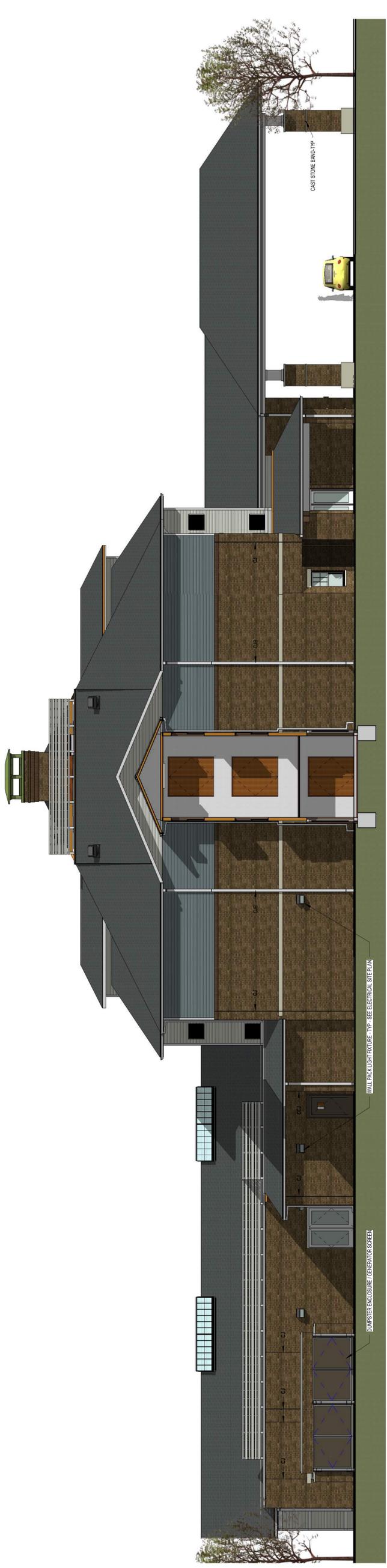


MARK	DATE	DESCRIPTION	REVISIONS

2 ELEVATION - CORE - 'B' WING SIDE
1/8" = 1'-0"



1 ELEVATION - CORE - 'A' WIDE SIDE
1/8" = 1'-0"



DATE: 12/11/17

DRAWN BY: SH

DESIGNED BY: SH

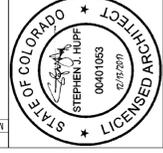
PROJECT NO: 2017-04

SITE DEVELOPMENT PLAN
RESORT LIFESTYLE COMMUNITIES
COLORADO SPRINGS
EXTERIOR ELEVATIONS - AREA 'C'

ARCHITECT:



CONSULTANT:



MARK	DATE	DESCRIPTION	REVISIONS



2 ELEVATION - CORE - END OF 'B' WING
1/8" = 1'-0"



1 ELEVATION - CORE - END OF 'A' WING
1/8" = 1'-0"

DATE: 12/11/17

DRAWN BY: *ahay*

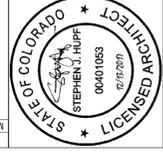
DESIGNED BY: Designer

PROJECT NO: 2017-044

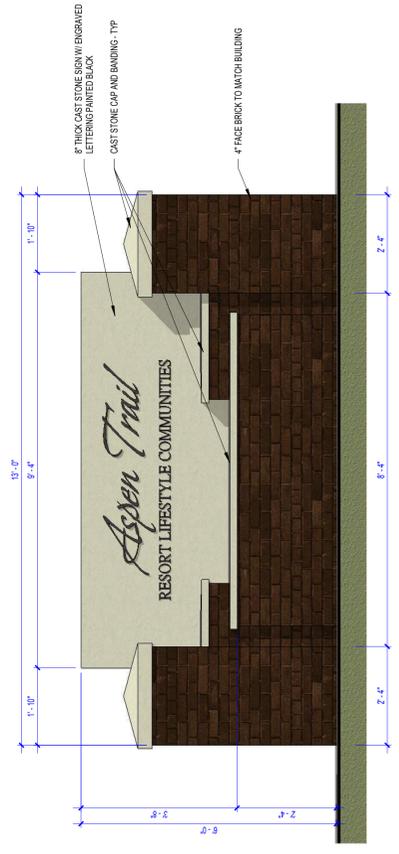
SITE DEVELOPMENT PLAN
RESORT LIFESTYLE COMMUNITIES
COLORADO SPRINGS
GARAGE & SIGN ELEVATIONS



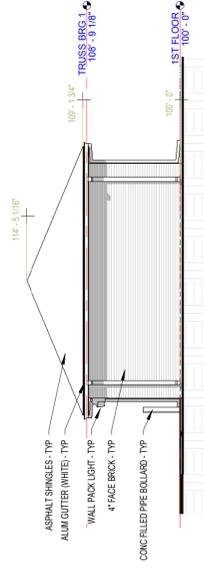
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CONSULTANT:



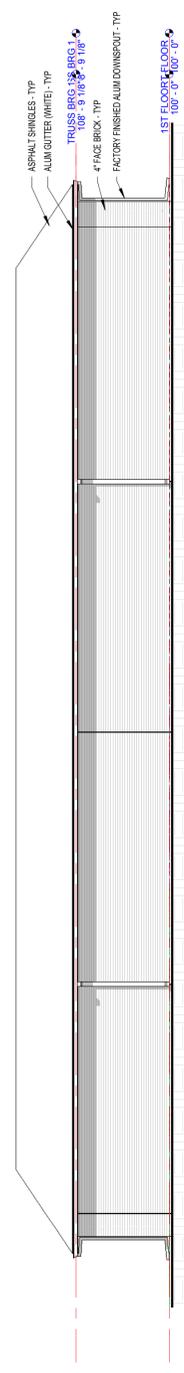
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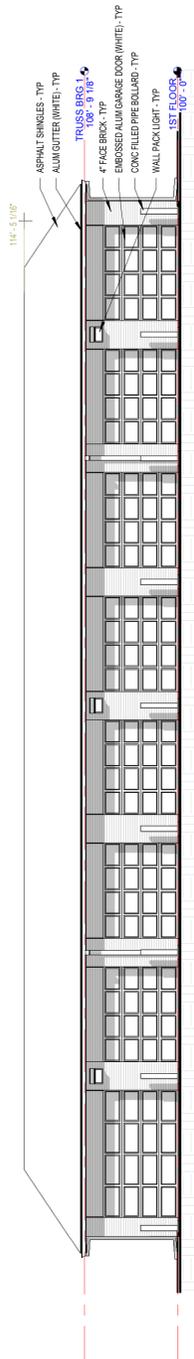
4 ELEV - MONUMENT SIGN
1/2" = 1'-0"



3 ELEV - GARAGE END - TYP
1/8" = 1'-0"



2 ELEV - GARAGE BACK - TYP
1/8" = 1'-0"



1 ELEV - GARAGE FRONT - TYP
1/8" = 1'-0"

