

PROJECT SITE SUMMARY:
 Total Number of Dwelling Units
 Total Development Plan Acreage
 Gross Dwelling Units Per Acre

130
 8.112 Ac
 16.0 DU/AC

LAND SUMMARY:
 R.O.W. (New Car Drive)
 Lot 1
 Tract A
 TOTAL

0.685 Ac.
 7.370 Ac.
 0.057 Ac.
 8.112 Ac.

SITE COVERAGES (Lot 1):

Building Coverage	1.716 Ac.	74,765 SF	23 %
Parking and Private Drives	1.483 Ac.	64,584 SF	20 %
Sidewalks/Patios	0.844 Ac.	28,065 SF	9 %
Pervious Surfaces	3.527 Ac.	153,639 SF	48 %
TOTAL	7.370 Ac.	321,053 SF	100 %

PARKING SUMMARY:

UNITS 130
 0.6 spaces/unit = 78 spaces
 Parking Spaces Required
 Elderly (60 and over):
 78 spaces

OPEN PARKING SPACES PROVIDED 110 (includes 8 accessible spaces)
 GARAGE SPACES PROVIDED 32
 TOTAL PARKING SPACES PROVIDED 142 (1.1 spaces/unit provided)

DEVELOPMENT STANDARDS:

LAND USE STANDARD
 The development is a multi-family residential development. The maximum number of dwelling units planned in this project will be 130. The permitted uses allowed in this project will be residential, management, office, parking, maintenance and accessory and related retail uses associated with the residences, their use and maintenance. No sheds or outbuildings not constructed as a part of or to service the actual development project shall be permitted in this project.
MASTER PLAN
 Norwood Master Plan (City File No. CPC MPA 02-187)

CONCEPT PLAN
 Powers Autopark II Concept Plan (City File No. AR CP 05-00100-A2MJ12)

EXISTING ZONING
 C-6(A)(C)(R) Ordinance No. 10-1
 CPC ZC 09-00074

SITE ADDRESS
 N/A
TAX ID NUMBERS
 63121-00-019
SUBDIVISION PLAT:
 Resort Lifestyle Communities Filing No. 1

DRAINAGE BASIN
 Cottonwood Creek Drainage Basin
DEVELOPMENT SCHEDULE
 The development of this project is anticipated to begin Spring 2018.
MAXIMUM BUILDING HEIGHT
 The maximum building height shall not exceed 5' as measured from 5' below the highest peak of the roof to an average elevation of finished grade at the major building corners, per City Zoning Code 7.2.2.01 definitions.

All major corners have the same finished grade elevation which is 8' below the finished floor elevation.
 Building Height based upon City Code: 46' where a maximum of 50' is allowed.
MINIMUM PROJECT BOUNDARY BUILDING SETBACKS
 Front Setback - Targa Drive and New Car Drive 10'
 Front Setback - Bridle Pass Drive 0'
 Side Setback - West Boundary 0'

SIGNS
 Signage is subject to the residential requirements as required by Section 7.4.4.09 of the City Zoning Code. The sign may not exceed 32 square feet and 7 feet in height. A sign permit is required.

PEDESTRIAN CIRCULATION
 Paved walkways 4.5 and 6 feet in width will be provided in those locations so as to provide safe and efficient pedestrian access from parking areas to residences, and to allow pedestrian circulation throughout the development. Sidewalk widths will increase to 6 feet in width when adjacent to parking bays to compensate for parking overlooking.

FLOODPLAIN STATEMENT
 This property is located within Zone X (Areas determined to be outside the 500-year floodplain) as established by FEMA per FIRM panel 08041C0258P; effective date 3/17/1997.

LANDSCAPE MATERIALS
 Landscape materials will be installed on the site by the developer in accordance with the attached Landscape Plans. Landscape plants selected will be native plants indigenous to the area and introduced plants which will be chosen for their drought tolerance abilities and aesthetic properties.

LANDSCAPE AND PROPERTY MAINTENANCE
 The landscape materials placed in private openspaces/common areas will be owned and maintained by the owner of Lot 1 as part of the management functions of the development. All landscaped areas will be irrigated with a permanent irrigation system.

LANDSCAPE MATERIALS IN PUBLIC UTILITY EASEMENTS
 Landscape materials may encroach into public utility easements within this project. Trees will not be planted directly over utility lines in any location. If the respective public utility division needs to repair or modify utility lines in the project after construction, and landscape materials or irrigation systems have to be removed or are damaged during these repairs or modifications, then the owner of the property and or his assigns will replace the landscape materials and repair the irrigation system at the property owner's expense. Public Utility companies will not be held responsible for any landscape materials or feature damage or replacement within the described property boundary.

FENCES
 Six foot opaque landscape screen walls will be located along the south property line adjacent to Bridle Pass Drive separating the multi-family use from the street and single family residential uses south of Bridle Pass Drive.

RECREATIONAL OPPORTUNITIES
 All dwelling units are furnished with a private patio or deck. Open space areas are provided around the structures throughout the project for the use and enjoyment of the residents. Sidewalks will circulate throughout the project. Recreational amenities are being provided within the structure for the use and enjoyment of the residents.

FIRE
 "No Parking Fire Lane" signs shall be posted as required by the Fire Department. Please refer to Sheet 2 for locations of the signage and or striping.

PRIVATE STREETS OWNERSHIP AND MAINTENANCE
 The interior street system within this development is private and will be owned and maintained by the owner of Lot 1 and or his assigns as part of the management association functions of the development.

AVIGATION EASEMENT
 This development is currently subject to an avigation easement recorded at Reception #210071002.

This property may be impacted by noise caused by aircraft operating into and out of the Colorado Springs Municipal Airport. The buyer should familiarize himself/herself with the potentiality and the ramifications thereof.

SPECIAL DISTRICTS:
 This property is located within the Norwood Special Maintenance and Improvement District as recorded at Reception Number: 201064960 in the records of El Paso County. This property is located within the Power and Woodmen Business Improvement District as recorded at Reception Number: 204939604 in the records of El Paso County.

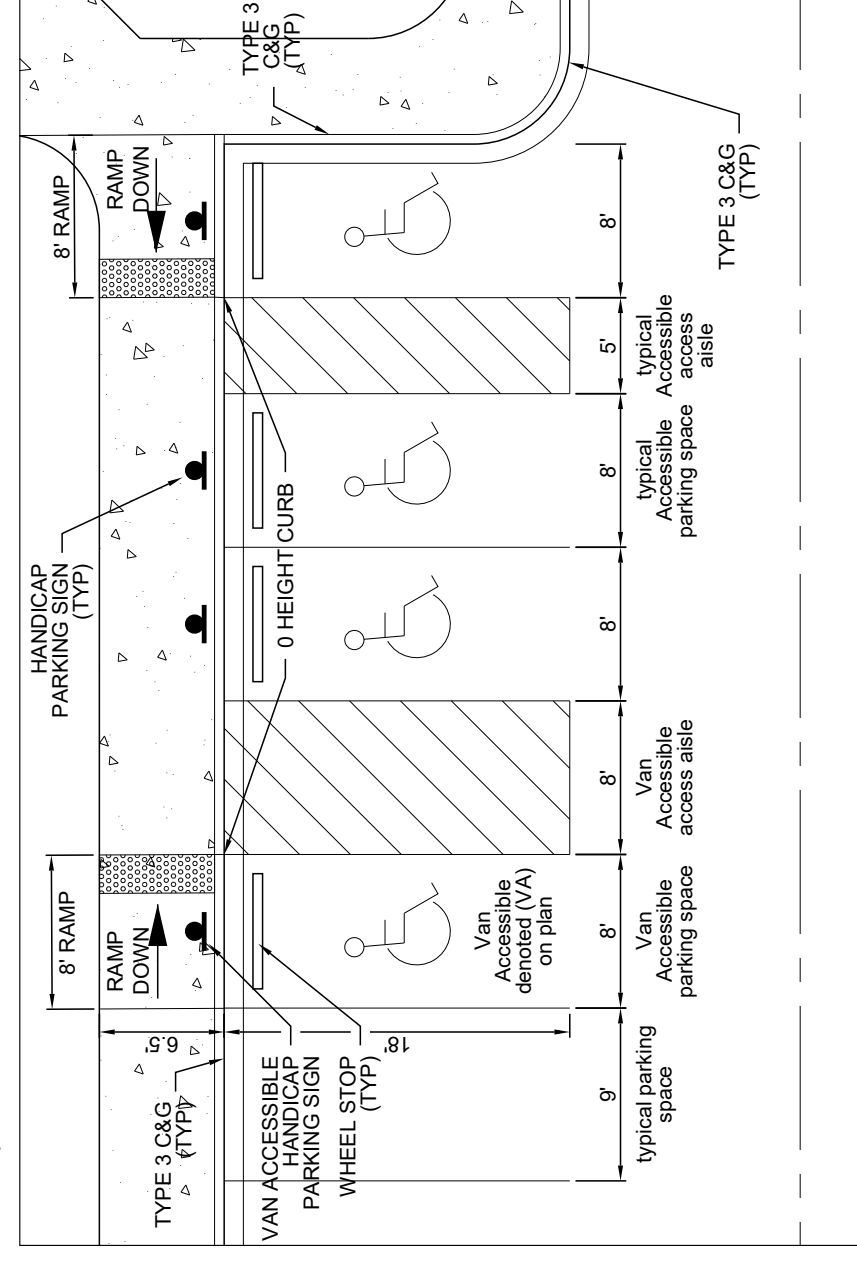
GENERAL NOTES:
 There are no significant natural features located upon this property.
 This project is to be developed in one phase.
 "Stop Signs" will be installed by the developer at the entrances onto New Car Drive and Bridle Pass Drive to meet MUTCD standards.
 All new work shall be in accordance with the City Engineering Standards and shall exhibit excessive deterioration or not meeting current City Engineering Standards along New Car Dr., Targa Dr. and Bridle Pass Dr. adjacent to the site will need to be removed and replaced prior to issuing the Certificate of Occupancy (C.O.). An on-site meeting can be set up with the Engineering Development Review Inspector to determine what, if any, improvements are required. The inspector can be reached at 719-385-5977.

Tract A is for public and private utilities, private drainage and private access to Lot 1, Powers Autopark Filing No. 16. Tract A will be transferred via separate instrument to the owner of Lot 1, Powers Autopark Filing No. 1, who will own and maintain said Tract A. City shall be determined that one low profile sign relating to the residential use of this project will be permitted within the C-6 district. No use of the four (4) pylon signs for commercial uses within the C-6 zone district. No use of the four (4) pylon signs for any of the residential uses within the development will be allowed.

LEGAL DESCRIPTION:
 Lot 1, Resort Lifestyle Communities Filing No. 1

ACCESSIBLE PARKING DESIGN CRITERIA

- Ramps shall not be placed in handicapped access aisle, but shall be placed within the adjoining parking space.
- Access aisles may not exceed a 2% slope in any direction.
- Handicapped ramps may not exceed a slope of 8%.
- The minimum width for handicapped ramps is 36 inches.
- The sides of ramps may not exceed a slope of 10% unless protected with a handrail.
- Handicapped parking shall meet all other applicable City, ADA, and Fair Housing Act code requirements.



TYPICAL 9'x18' PARKING SPACE AND ACCESSIBLE PARKING AND RAMP DETAIL
 SCALE 1"=10'

ADA STANDARD NOTE:
 The parties responsible for this plan have familiarized themselves with all current accessibility criteria and specifications and the proposed plan reflects all site elements required by the applicable ADA design standards and guidelines as published by the United States Department of Justice. Approval of this plan by the City of Colorado Springs does not assure compliance with the ADA or any other Federal or State accessibility laws or any regulations or guidelines enacted or promulgated under or with respect to such laws. Sole responsibility for compliance with Federal and State accessibility laws lies with the property owner.

LEGAL DESCRIPTION:
 Lot 1, Resort Lifestyle Communities Filing No. 1

Resort Lifestyle Communities Development Plan

Colorado Springs, CO

Prepared For: **Resort Lifestyle Communities**
 8040 Eiger Drive
 Lincoln, NE 68516
 (402) 420-3149

Owner: David D. Jenkins
 111 S. Tejon, Suite 222
 Colorado Springs, CO 80903
 (719) 593-2600

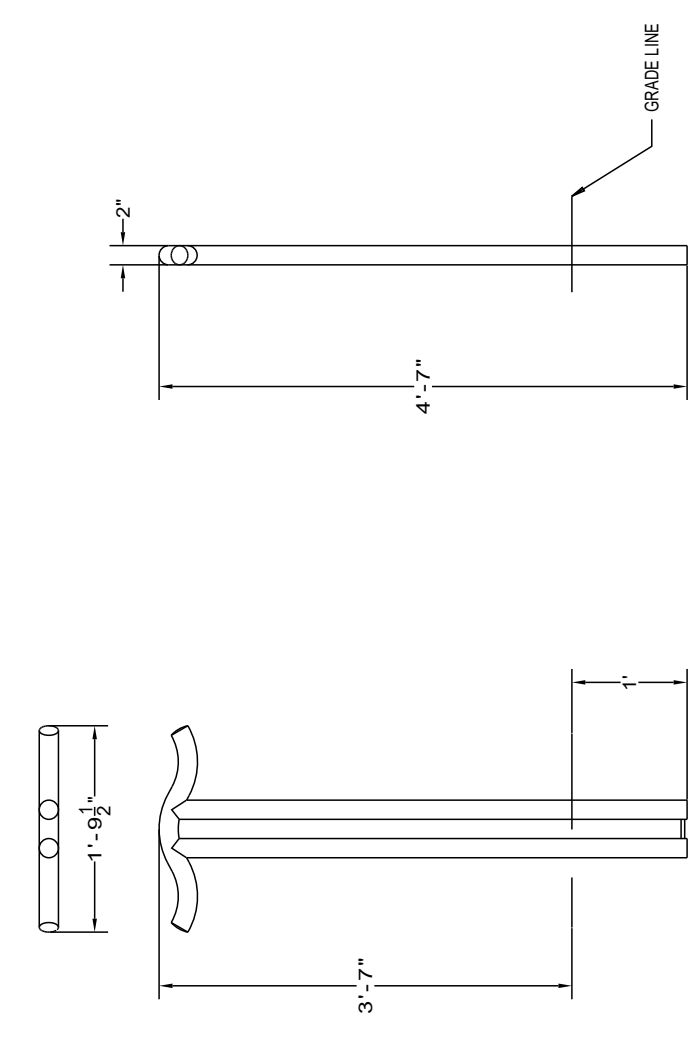
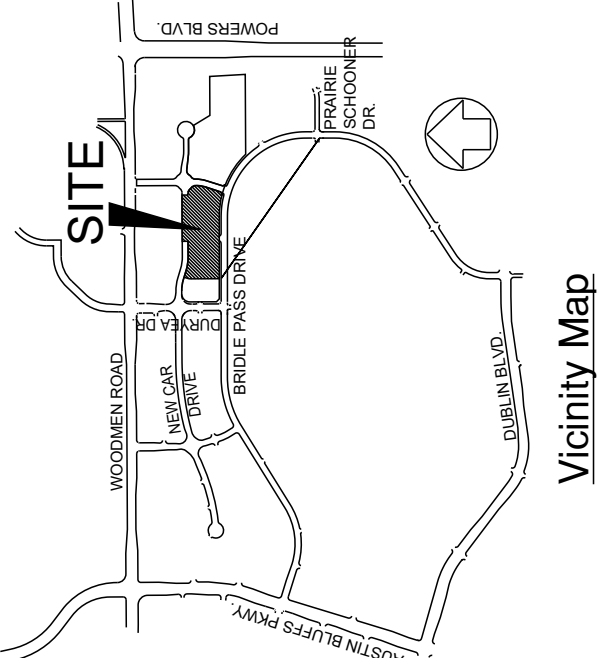


Prepared By: NDA LAND PLANNING • LANDSCAPE ARCHITECTURE
 111 S. Tejon, Suite 312
 Colorado Springs, CO 80903
 (719) 475-2466

PREPARATION: 10-23-17
 REVISION: 12-14-17
 CITY FILE NO: CPC-CU 17-00140

SHEET INDEX

- 1 of 20 DEVELOPMENT PLAN COVER SHEET
- 2 of 20 DEVELOPMENT PLAN SITE PLAN
- 3 of 20 PRELIMINARY GRADING PLAN
- 4 of 20 PRELIMINARY UTILITY & PUBLIC FACILITIES PLAN
- 5 of 20 FINAL LANDSCAPE PLAN
- 6 of 20 FINAL LANDSCAPE PLAN
- 7 of 20 FINAL LANDSCAPE PLAN
- 8 of 20 FINAL LANDSCAPE PLAN
- 9 of 20 FINAL LANDSCAPE PLAN
- 10 of 20 BUILDING ELEVATIONS REFERENCE PLAN
- 11 of 20 BUILDING ELEVATIONS
- 12 of 20 BUILDING ELEVATIONS
- 13 of 20 BUILDING ELEVATIONS
- 14 of 20 BUILDING ELEVATIONS
- 15 of 20 BUILDING ELEVATIONS
- 16 of 20 BUILDING ELEVATIONS
- 17 of 20 BUILDING ELEVATIONS
- 18 of 20 BUILDING ELEVATIONS
- 19 of 20 PHOTOMETRIC PLAN
- 20 of 20 PHOTOMETRIC LIGHT FIXTURE CUT SHEETS

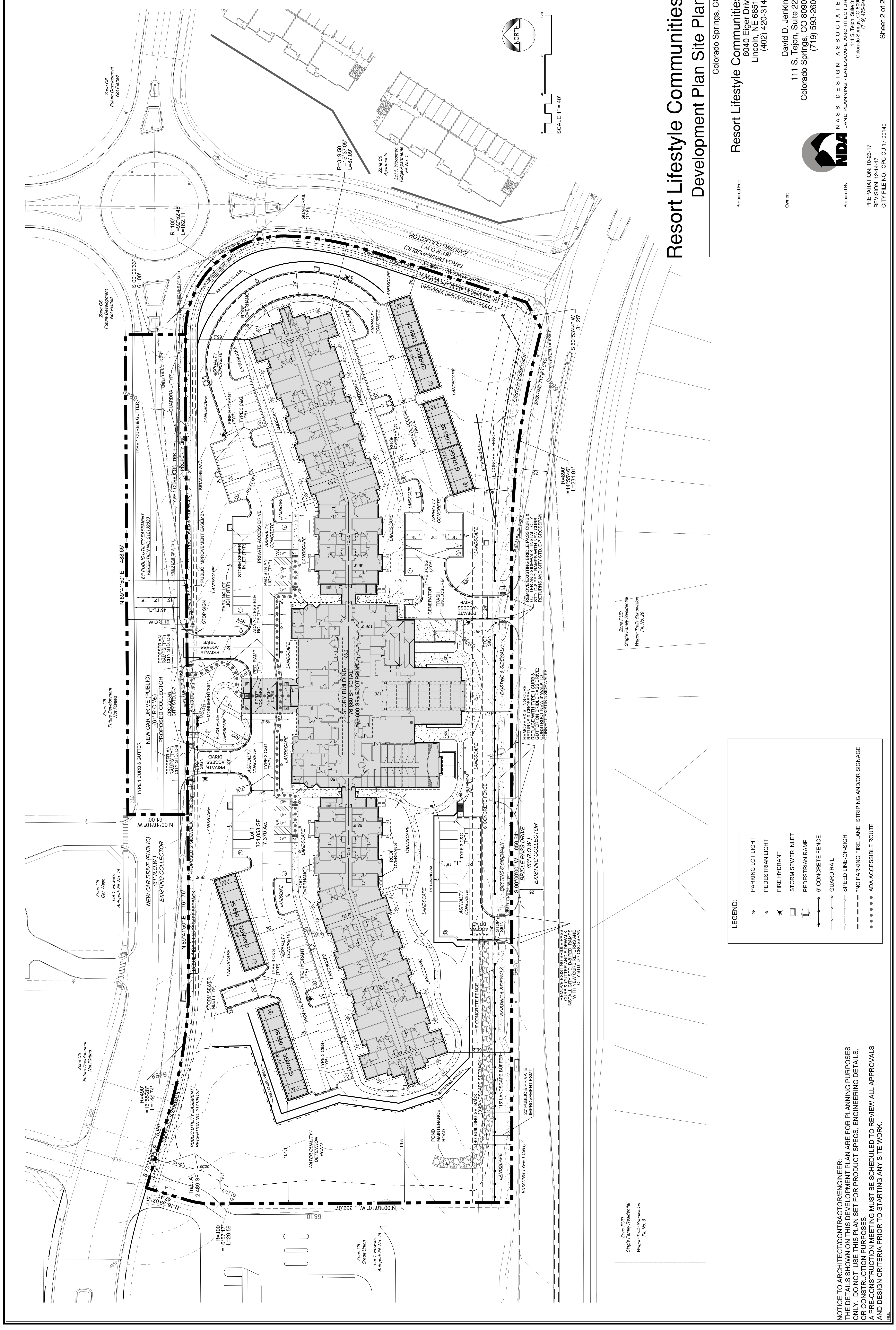


LANDSCAPE FORMS
 KAJANUSO M 6086 FAX: 781-361-3456
 CONCEPTUAL DRAWING INFORMATION CONTAINED HEREIN IS THE PROPERTY OF LANDSCAPE FORMS, INC. WITHOUT LIMITATION, NO PROFESSIONAL RESPONSIBILITY FOR THE DESIGN OR CONSTRUCTION OF ANY PROJECTS IS ASSUMED BY LANDSCAPE FORMS, INC. ALL RIGHTS RESERVED.
 © 1988 LANDSCAPE FORMS, INC.

Bike Rack Detail
 Not to Scale

NOTICE TO ARCHITECT/CONTRACTOR/ENGINEER:
 THE DETAILS SHOWN ON THIS DEVELOPMENT PLAN ARE FOR PLANNING PURPOSES ONLY. DO NOT USE THIS PLAN SET FOR PRODUCT SPECS, ENGINEERING DETAILS, OR CONSTRUCTION PURPOSES.
 A PRE-CONSTRUCTION MEETING MUST BE SCHEDULED TO REVIEW ALL APPROVALS AND DESIGN CRITERIA PRIOR TO STARTING ANY SITE WORK.

FIGURE 2

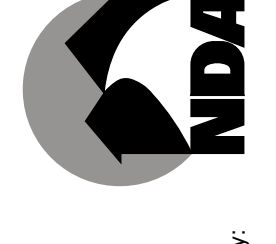


Resort Lifestyle Communities Development Plan Site Plan

Colorado Springs, CO

Prepared For: **Resort Lifestyle Communities**
8040 Eiger Drive
Lincoln, NE 68516
(402) 420-3149

Owner: **David D. Jenkins**
111 S. Tejon, Suite 222
Colorado Springs, CO 80903
(719) 593-2600

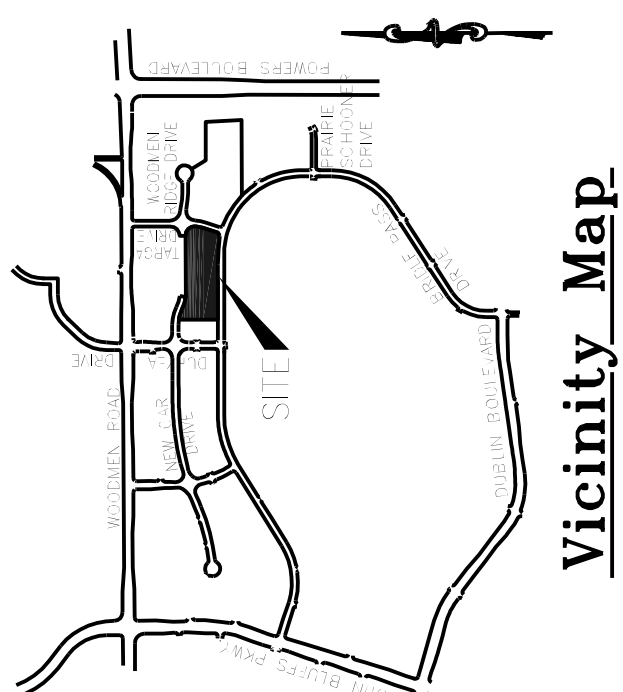


Prepared By: **NDA**

PREPARATION: 10-23-17
REVISION: 12-14-17
CITY FILE NO: CPC-CU 17-00140

NOTICE TO ARCHITECT/CONTRACTOR/ENGINEER:
THE DETAILS SHOWN ON THIS DEVELOPMENT PLAN ARE FOR PLANNING PURPOSES ONLY. DO NOT USE THIS PLAN SET FOR PRODUCT SPECS, ENGINEERING DETAILS, OR CONSTRUCTION PURPOSES.
A PRE-CONSTRUCTION MEETING MUST BE SCHEDULED TO REVIEW ALL APPROVALS AND DESIGN CRITERIA PRIOR TO STARTING ANY SITE WORK.

FIGURE 2



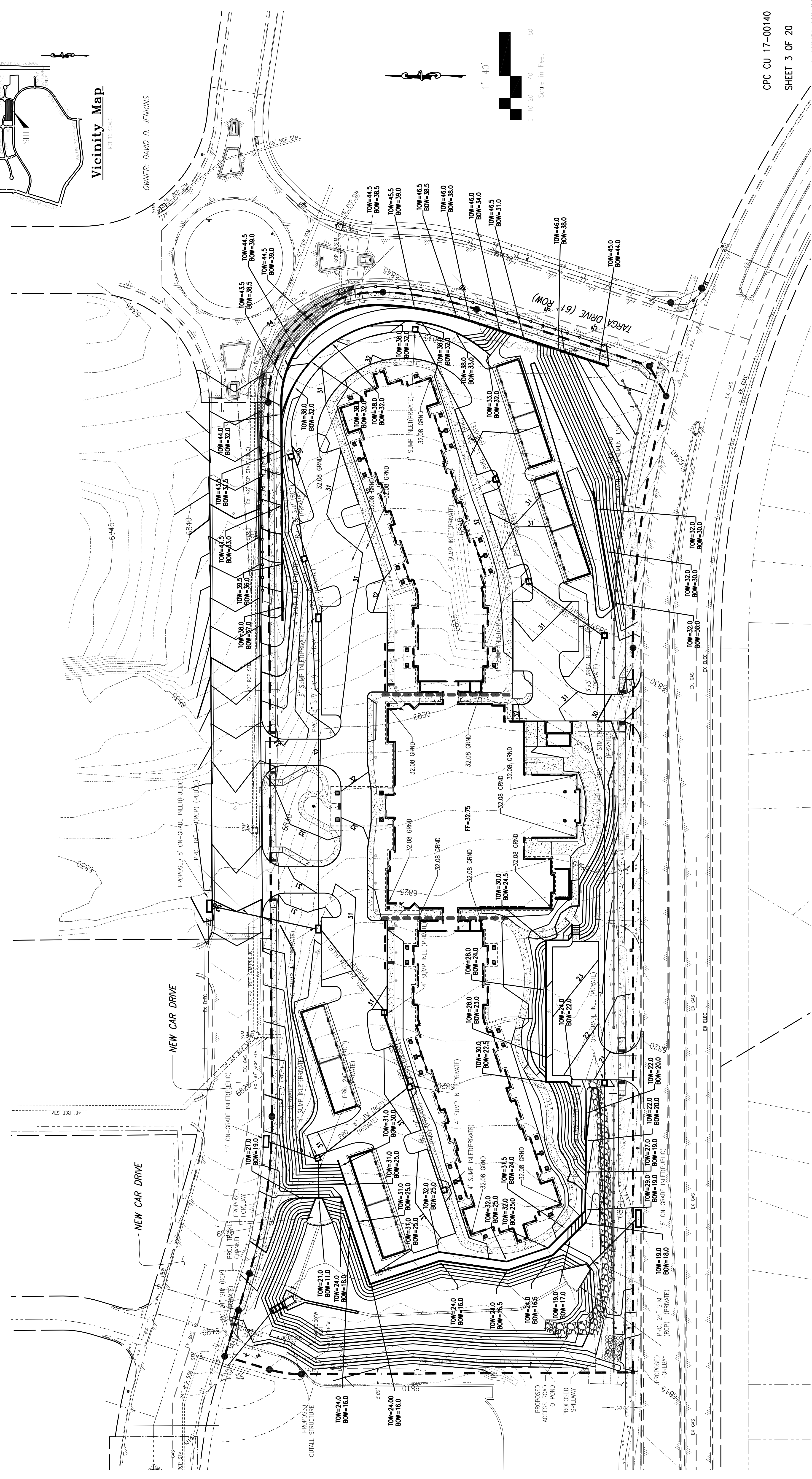
Vicinity Map

OWNER: DAVID D. JENKINS

CPC CU 17-00140
SHEET 3 OF 20

RESORT LIFESTYLE COMMUNITIES
PRELIMINARY GRADING PLAN

TITLE: 17-026
SCALE: 1"=40'
DATE: 12/14/17
DRAWN BY: KDR
CHECKED BY: KDR
JOB NO.



- LEGEND
- EXISTING 1' CONTOUR
 - EXISTING 5' CONTOUR
 - PROPOSED 1' CONTOUR
 - PROPOSED 5' CONTOUR
- FINISH GRADE AT TOP OF WALL
FINISH GRADE AT BOTTOM OF WALL
*ELEVATIONS DO NOT REFLECT ACTUAL STRUCTURAL WALL ELEVATIONS.
- T.O.W.=80.0
B.O.W.=78.00

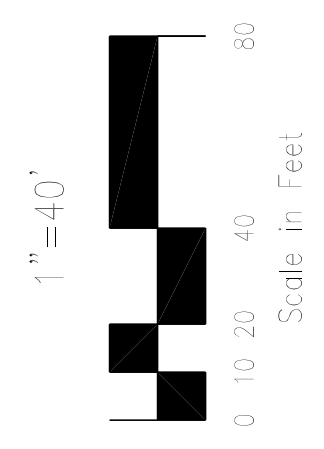
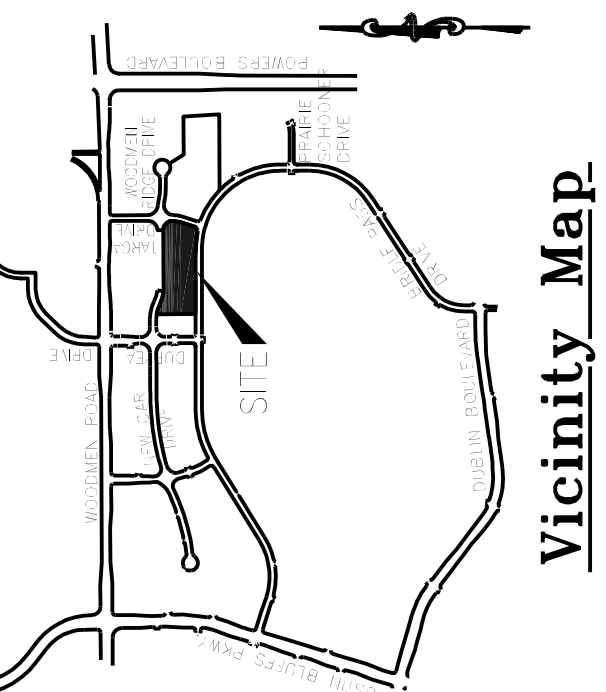


FIGURE 2

General Notes for Preliminary Utility Plans

1. Colorado Springs Utilities (Springs Utilities) shall make the final determination of the location of all water, wastewater, electric and gas facilities, which may not be the same location as shown on this Preliminary Utility Plan.
2. Property Owner(s) ("Owner") acknowledges that the connection and/or extension of utility services to the property identified in this Preliminary Utility Plan ("Property") shall be in accordance with all applicable codes and regulations, Springs Utilities Line Extension & Service Standards ("Standards"), Tariffs, Colorado Springs City Code, resolutions, and policies, and Pikes Peak Regional Building Department codes, in effect at the time of utility service connection and/or extension.
3. Owner acknowledges responsibility for the costs of extensions or utility system improvements that Springs Utilities determines necessary to provide utility services to the Property or to ensure timely development of integrated utility systems serving the Property and areas outside the Property (including the costs to design and install water systems, wastewater collection systems, and any gas or electric lines to and within the Property). Owner may be eligible for a cost Recovery Agreement as provided in Utilities Rules and Regulations.
4. Springs Utilities utility services are available on a "first-come, first-served" basis, and therefore no specific allocations or amounts of utility services, facilities, capacities or supplies are reserved for the Owner, and Springs Utilities makes no commitment as to the availability of any utility service until such time as an application for permanent service is approved by Springs Utilities.
5. The relocation or alteration of any existing utility facilities within the Property will be at the Owner's expense. Springs Utilities reserves the right to relocate or alter existing utility facilities or to challenge the existing utility facilities. Owner shall convey these easements prior to relocating or altering the existing utility facilities.
6. Owner shall dedicate by plat and/or convey by recorded document, all property and easements that Springs Utilities determines are required for all utility system facilities necessary to serve the Property or to ensure development of an integrated utility system. All easements granted by separate instrument shall utilize Springs Utilities' then-current Permanent Easement Agreement form.

7. The water system facilities must meet Springs Utilities criteria for water quality, reliability and pressure, including looping requirements (see Springs Utilities Line Extension and Service Standards).
8. Owner recognizes that the extension of water system facilities may affect the quality of water in the Springs Utilities water system. When water quality is affected, Owner acknowledges responsibility for any costs that Springs Utilities determines necessary in order to maintain water quality in its system as a result of Owner's water system extensions. Owner may be required to submit a Water Quality Plan for the project.
9. Owner must contact Springs Utilities Field Engineering to determine the location of all natural gas and electric meters and transformers and to secure approval of gas-service-line pressures in excess of Springs Utilities standard gas system pressure. (Contact Field Engineering North 688-4985 or South 688-3564).
10. It shall not be permissible for any person to modify the grade of the earth within any lot, or to install any structure, utility, or other improvement on the lot, which, in whole or in part, violates any applicable codes, rules, regulations, resolutions, policies or codes which shall not violate National Electric Safety Code (NESC) provisions and clearances, and shall not impair access or the ability to maintain utility facilities.
11. Springs Utilities approval of this Preliminary Utility Plan shall not be construed as a limitation upon the authority of Springs Utilities to apply its Standards, and if there are any conflicts between any approved drawings and any provision of Standards or the City Code, then the Standards or City Code shall apply. Springs Utilities approval of this Preliminary Utility Plan shall not be construed as a limitation upon the authority of the City of Colorado Springs or Springs Utilities to adopt different ordinances, rules, regulations, resolutions, policies or codes which change any of the provisions of the Standards so long as these apply to the City generally and are in accord with the then-current tariffs, rates and policies of Springs Utilities.



Vicinity Map

NOT PLATTED
OWNER: DAVID D. JENKINS

LOT 1
POWERS AUTOPARK FILING NO. 15
RECEPTION NO. 215713649
OWNER: WOODMEN INVESTMENT GROUP, LLC

NEW CAR DRIVE
POWERS AUTOPARK FILING NO. 10
RECEPTION NO. 211713174
OWNER: DAVID D. JENKINS

NEW CAR DRIVE
POWERS AUTOPARK FILING NO. 15
RECEPTION NO. 215713649
OWNER: WOODMEN INVESTMENT GROUP, LLC

NEW CAR DRIVE
POWERS AUTOPARK FILING NO. 10
RECEPTION NO. 211713174
OWNER: DAVID D. JENKINS

NEW CAR DRIVE
POWERS AUTOPARK FILING NO. 15
RECEPTION NO. 215713649
OWNER: WOODMEN INVESTMENT GROUP, LLC

NEW CAR DRIVE
POWERS AUTOPARK FILING NO. 10
RECEPTION NO. 211713174
OWNER: DAVID D. JENKINS

NEW CAR DRIVE
POWERS AUTOPARK FILING NO. 15
RECEPTION NO. 215713649
OWNER: WOODMEN INVESTMENT GROUP, LLC

NEW CAR DRIVE
POWERS AUTOPARK FILING NO. 10
RECEPTION NO. 211713174
OWNER: DAVID D. JENKINS

NEW CAR DRIVE
POWERS AUTOPARK FILING NO. 15
RECEPTION NO. 215713649
OWNER: WOODMEN INVESTMENT GROUP, LLC

NEW CAR DRIVE
POWERS AUTOPARK FILING NO. 10
RECEPTION NO. 211713174
OWNER: DAVID D. JENKINS

NEW CAR DRIVE
POWERS AUTOPARK FILING NO. 15
RECEPTION NO. 215713649
OWNER: WOODMEN INVESTMENT GROUP, LLC

NEW CAR DRIVE
POWERS AUTOPARK FILING NO. 10
RECEPTION NO. 211713174
OWNER: DAVID D. JENKINS

NEW CAR DRIVE
POWERS AUTOPARK FILING NO. 15
RECEPTION NO. 215713649
OWNER: WOODMEN INVESTMENT GROUP, LLC

NEW CAR DRIVE
POWERS AUTOPARK FILING NO. 10
RECEPTION NO. 211713174
OWNER: DAVID D. JENKINS

NEW CAR DRIVE
POWERS AUTOPARK FILING NO. 15
RECEPTION NO. 215713649
OWNER: WOODMEN INVESTMENT GROUP, LLC

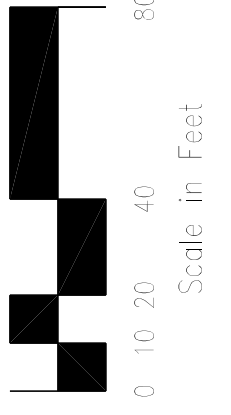
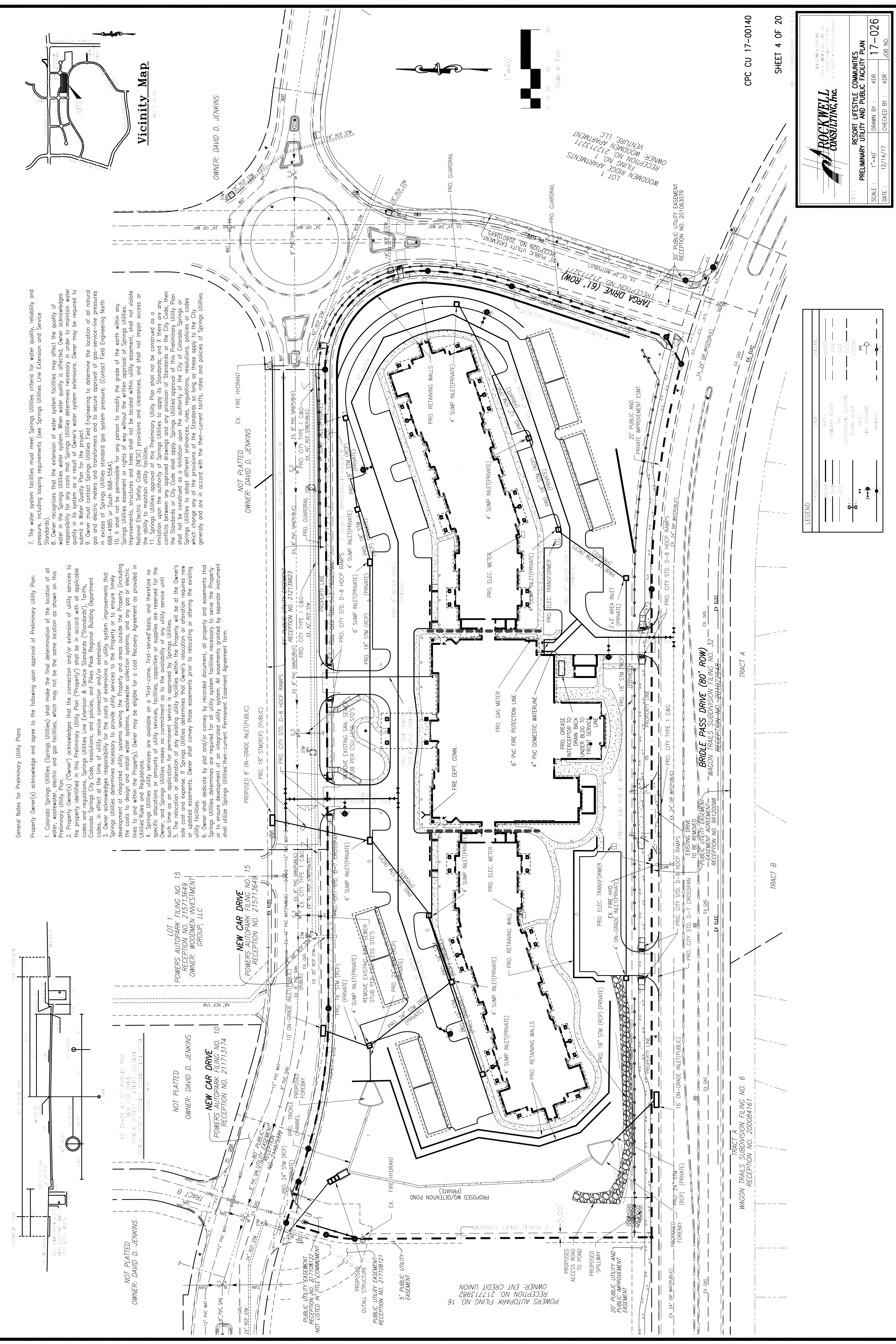
NEW CAR DRIVE
POWERS AUTOPARK FILING NO. 10
RECEPTION NO. 211713174
OWNER: DAVID D. JENKINS

NEW CAR DRIVE
POWERS AUTOPARK FILING NO. 15
RECEPTION NO. 215713649
OWNER: WOODMEN INVESTMENT GROUP, LLC

NEW CAR DRIVE
POWERS AUTOPARK FILING NO. 10
RECEPTION NO. 211713174
OWNER: DAVID D. JENKINS

NEW CAR DRIVE
POWERS AUTOPARK FILING NO. 15
RECEPTION NO. 215713649
OWNER: WOODMEN INVESTMENT GROUP, LLC

NEW CAR DRIVE
POWERS AUTOPARK FILING NO. 10
RECEPTION NO. 211713174
OWNER: DAVID D. JENKINS



1" = 40'

CPC CU 17-00140

SHEET 4 OF 20

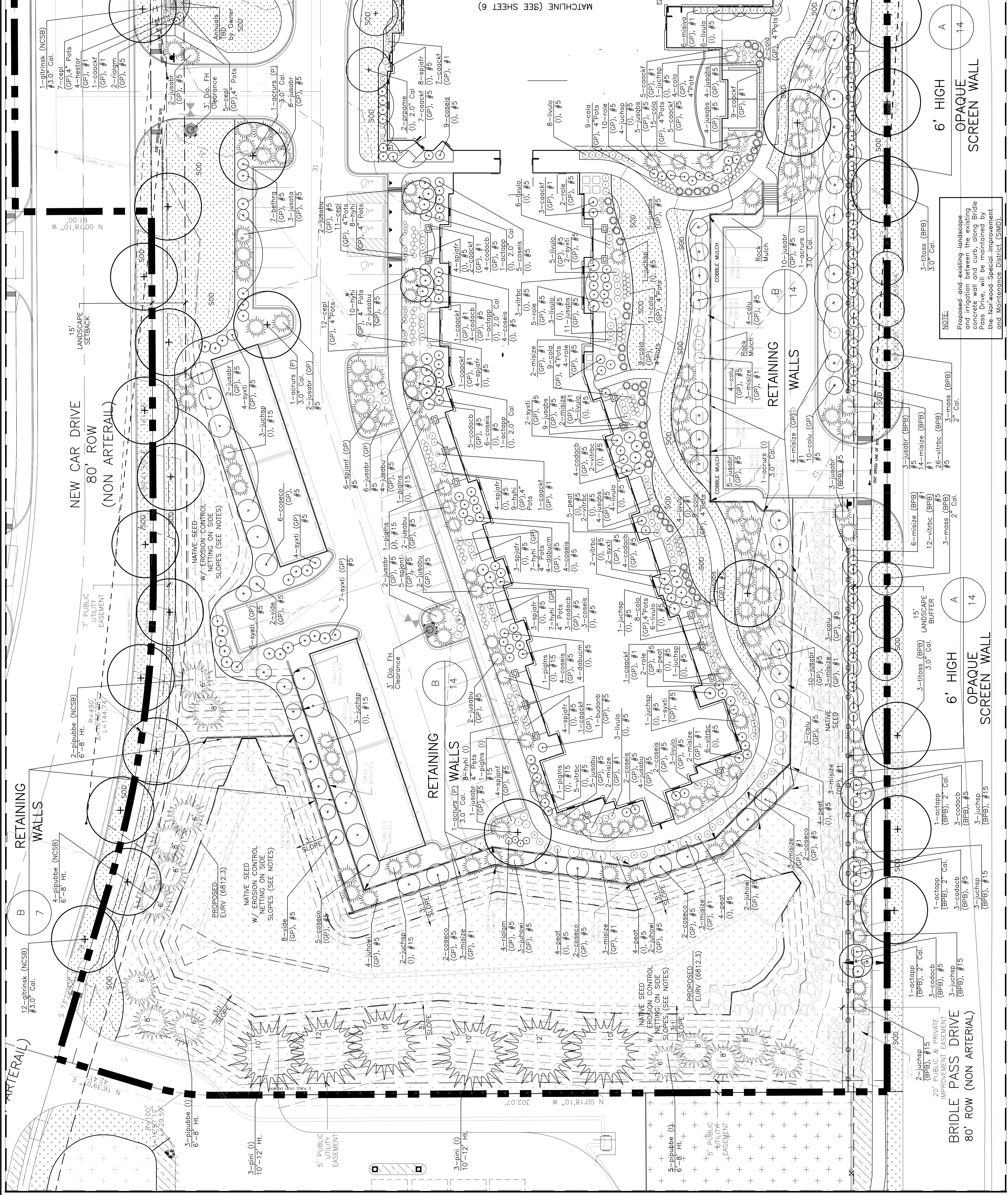
LEGEND	PROPOSED	EXISTING
WATER	---	---
SEWER	---	---
GAS	---	---
ELECTRIC	---	---
STORM SEWER	---	---
VALVE	---	---
FIRE HYDRANT	---	---
METER	---	---
WATER	---	---
SEWER	---	---
GAS	---	---
ELECTRIC	---	---
STORM SEWER	---	---
VALVE	---	---
FIRE HYDRANT	---	---
METER	---	---

ROCKWELL CONSULTING, INC.
 1001 N. WOODMEN AVENUE
 COLORADO SPRINGS, CO 80906
 TEL: 719.575.1100 FAX: 719.575.1101

RESORT LIFESTYLE COMMUNITIES
PRELIMINARY UTILITY AND PUBLIC FACILITY PLAN

TITLE: 17-026
 SCALE: 1"=40'
 DATE: 12/14/17
 DRAWN BY: KDR
 CHECKED BY: KDR
 JOB NO. 17-026

FIGURE 2



SITE COVERAGES (Lot 1):

Building Coverage	1.716 Ac.	23%
Parking and Private Drives	1.485 Ac.	20%
Sidewalks/Patios	0.644 Ac.	9%
Various Surfaces	7.370 Ac.	100%
TOTAL	11.215 Ac.	100%

PARKING SUMMARY:

UNITS	130
Parking Spaces Required	110
OPEN PARKING SPACES PROVIDED	32
GARAGE SPACES PROVIDED	142

0.6 unit = 78 spaces

LANDSCAPE KEY:

- SHRUB BEDS: DEFINED BY STEEL EDGER, CONCRETE EDGE OR BUILDING FOUNDATION. ALL SHRUB BEDS TO HAVE 4" TO 8" DEPTH OF COBBLE MULCH.
- SOD AREAS: SEE LANDSCAPE NOTES FOR SOD BLEND
- NATIVE SEED: (IRRIGATED - FOR ESTABLISHMENT - FOR SEE LANDSCAPE NOTES FOR SEED MIX TRES AND SHRUBS IN NATIVE AREAS WILL BE DRIP IRRIGATED BY SEPARATE ZONE

INDIVIDUAL TREES SHALL HAVE A WOOD MULCH RING 3" TO 4" IN DIAMETER. INDIVIDUAL SHRUBS SHALL HAVE A WOOD MULCH RING 1 1/2 TIMES THE SIZE OF THE ROOTBALL.

THIS DOCUMENT IS NOT A CONSTRUCTION DOCUMENT UNLESS SPECIFIED BY THE LANDSCAPE ARCHITECTURE RECORD.

AN IRRIGATION PLAN TO BE SUBMITTED FOR REVIEW WITHIN 90 DAYS SUBSEQUENT TO RECEIVING A BUILDING PERMIT. THE PLAN MUST BE APPROVED PRIOR TO THE INSTALLATION OF ANY IRRIGATION COMPONENTS AND/OR ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

DISCLAIMER: IRRESPONSIBLE OF ANY OTHER TERM IN THIS DOCUMENT. DESIGNER SHALL NOT CONTROL OR BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SCHEDULES, SEQUENCES OR PROCEDURES; OR FOR CONSTRUCTION SAFETY OR ANY OTHER RELATED PROGRAM; OR FOR PARTIES' ERRORS OR OMISSIONS OR FOR ANOTHER PARTIES' FAILURE TO COMPLETE THEIR WORK OR SERVICES IN ACCORDANCE WITH DESIGNER'S DOCUMENTS.

THIS DOCUMENT IS FOR CITY REVIEW AND DEVELOPMENT PLAN APPROVAL ONLY.

REUSE OF DOCUMENT: THIS DOCUMENT IS THE PROPERTY OF Land Patterns, Inc. The ideas and designs contained herein are instruments of professional service and shall not be used for any other project without written authorization of Land Patterns, Inc. © 2017 Land Patterns, Inc. All rights reserved.

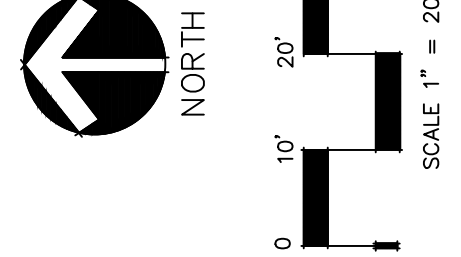


FIGURE 2

Final Landscape Development Plan
for
Resort Lifestyle Community
at Powers Autopark

Colorado Springs, CO 80903

Land Patterns, Inc.

DESIGN: LAND PATTERNS, INC.
709 578 8689
LAND PATTERNS, INC.
709 578 8689

LANDSCAPE PLAN

Sheet Title:

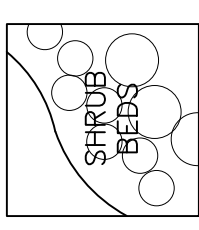
Reuse of Document
This document is the property of Land Patterns, Inc. The ideas and information contained in this document are instruments of professional service and shall not be used for any other project without written authorization of Land Patterns, Inc. All rights reserved.

Revisions	By

Drawn By: DTM
Checked By: DTM
Date: October 2017
Scale: 1"=20'-0"
Job No.: 17012

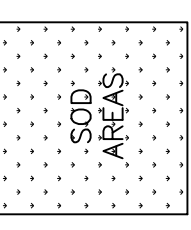
6
of 20 sheets

LANDSCAPE KEY:

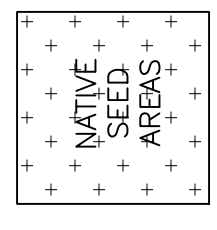


SHRUB BEDS DEFINED BY STEEL EDGER, CONCRETE EDGE OR BUILDING FOUNDATION. ALL SHRUB BEDS TO HAVE 4" TO 8" DEPTH OF COBBLE MULCH.

INDIVIDUAL TREES SHALL HAVE A WOOD MULCH RING 3" TO 4" IN DIAMETER. INDIVIDUAL SHRUBS SHALL HAVE A WOOD MULCH RING 1 1/2 TIMES THE SIZE OF THE FOOTBALL.



SOD AREAS. SEE LANDSCAPE NOTES FOR SOD BLEND



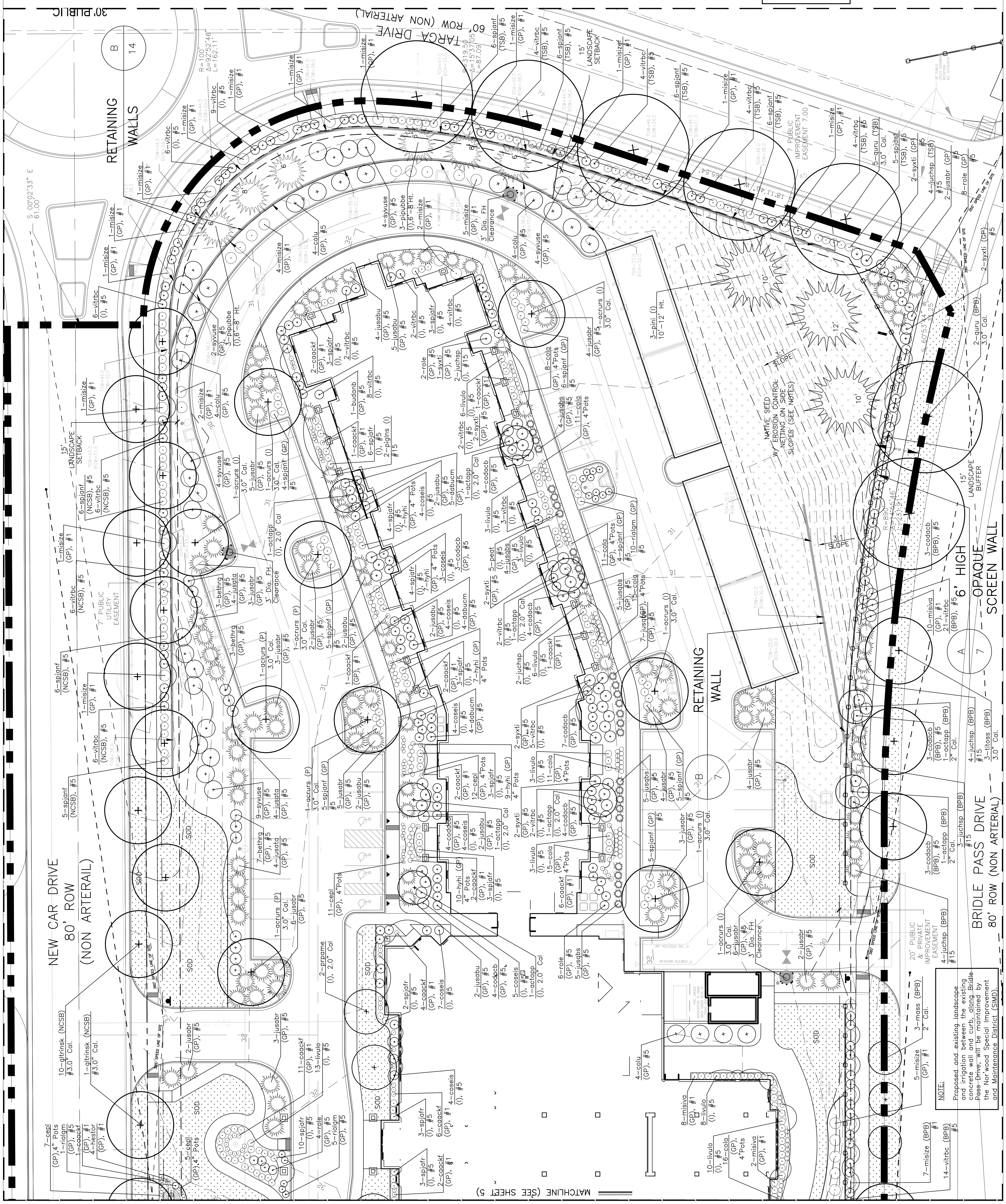
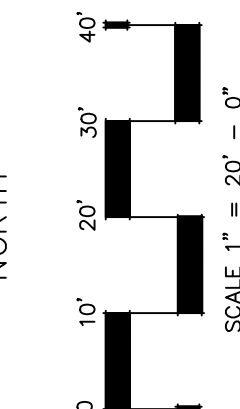
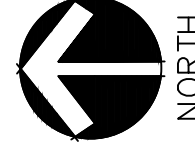
NATIVE SEED (PRIGATED FOR ESTABLISHMENT) FOR TREES AND SHRUBS IN NATIVE AREAS WILL BE DRIP IRRIGATED BY SEPARATE ZONE

THIS DOCUMENT IS FOR CITY REVIEW AND DEVELOPMENT PLAN APPROVAL ONLY.

THIS DOCUMENT IS NOT A CONSTRUCTION DOCUMENT UNLESS STAMPED BY THE LANDSCAPE ARCHITECT OF RECORD

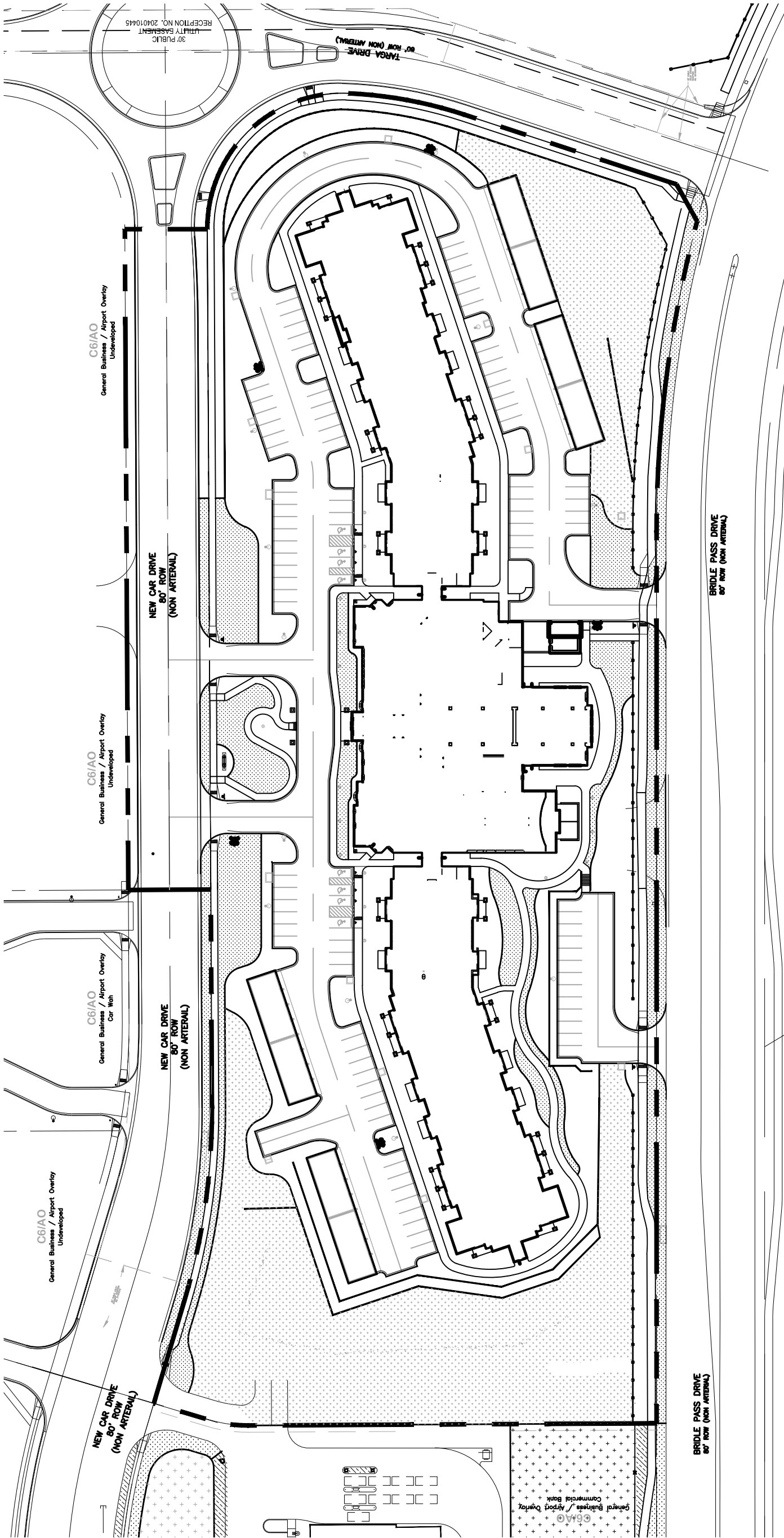
AN IRRIGATION PLAN TO BE SUBMITTED FOR REVIEW WITHIN 90 DAYS SUBSEQUENT TO RECEIVING A BUILDING PERMIT. THE PLAN MUST BE APPROVED PRIOR TO THE INSTALLATION OF ANY IRRIGATION COMPONENTS AND/OR ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

DISCLAIMER:
IRRESPECTIVE OF ANY OTHER TERM IN THIS DOCUMENT, DESIGNER SHALL NOT CONTROL OR BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SCHEDULES, SEQUENCES OR PROCEDURES; OR FOR CONSTRUCTION SAFETY OR ANY OTHER RELATED PROGRAM; OR FOR PARTIES' ERRORS OR OMISSIONS OR FOR ANOTHER PARTIES' FAILURE TO COMPLETE THEIR WORK OR SERVICES IN ACCORDANCE WITH DESIGNER'S DOCUMENTS.



NOTE:
Proposed and existing landscape on location between the existing Bridle Pass Drive will be maintained by the Norwood Special Improvement and Maintenance District (SMD).

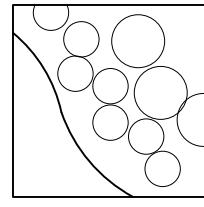
FIGURE 2



HYDRO ZONE MAP

LANDSCAPE KEY:

- (2345678 SA)
- SHRUB BEDS DEFINED BY STEEL EDGES, CONCRETE EDGES OR BUILDING FOUNDATION. ALL SHRUB BEDS TO HAVE 4" TO 8" DEPTH OF COBBLE MULCH.
- INDIVIDUAL TREES SHALL HAVE A WOOD MULCH RING 3" TO 4" IN DIAMETER. INDIVIDUAL SHRUBS SHALL HAVE A WOOD MULCH RING 1 1/2 TIMES THE SIZE OF THE ROOTBALL.



(M-MODERATE) SOD AREAS

(L-LOW) NATIVE SEED, (IRRIGATED) FOR ESTABLISHMENT SEE LANDSCAPE NOTES FOR SEE MIX TREES AND SHRUBS IN NATIVE AREAS WILL BE DRIP IRRIGATED BY SEPARATE ZONE

Schematic Landscape Diagram

Submitted in conformance with Policy 311

ENT Credit Union Powers Autopark

DATE: Dec. 2016

CLIMATE ZONE

(from Figure 4 of Landscape Policy Manual) - circle zone:

FOOTHILLS & PLAINS PLAINS

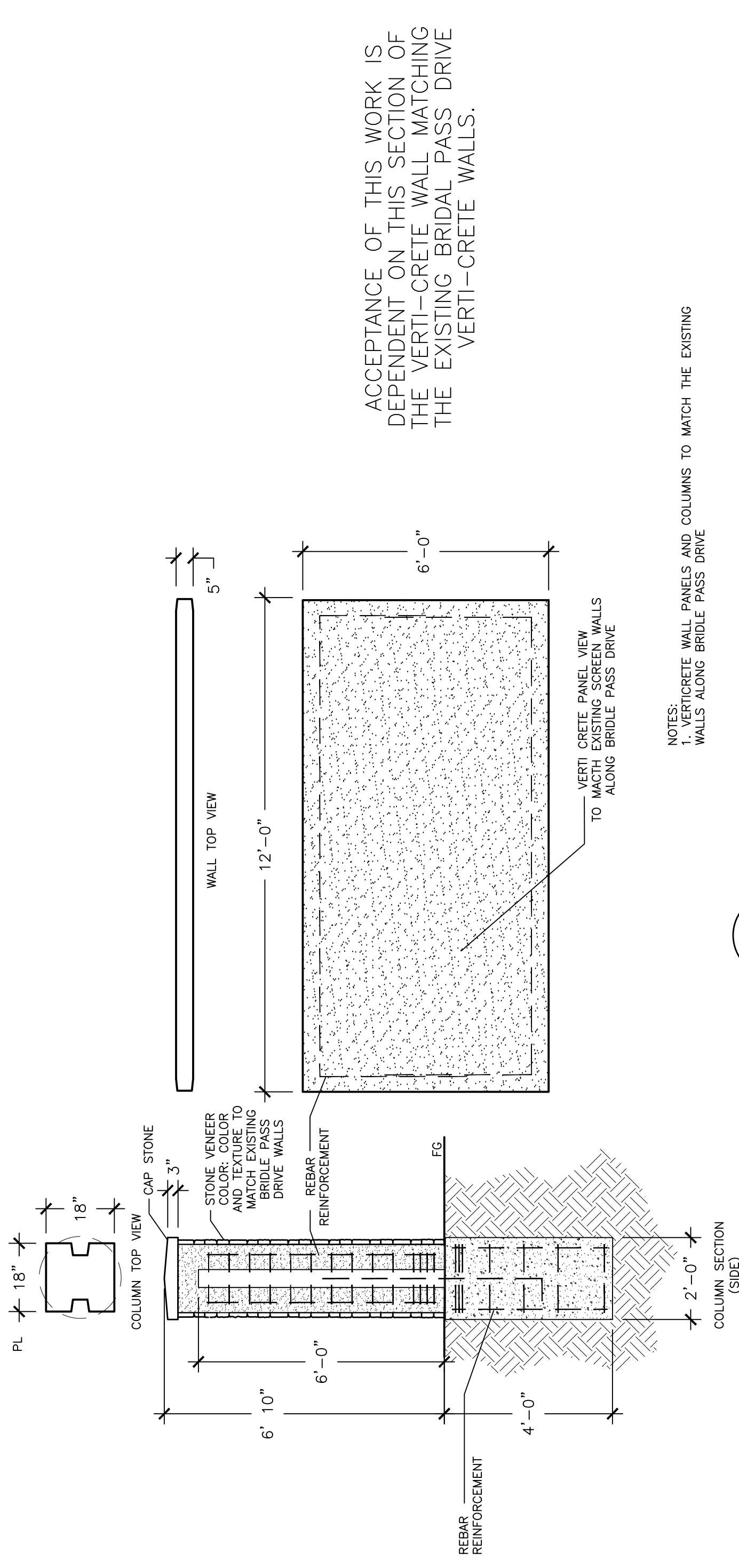
PLANT COMMUNITIES

- 1 -- Semi-ard Shrubs
- 2 -- Pinn-juniper Woodlands
- 3 -- Lower Elevation Roodion
- 4 -- Foothill Shrubs
- 5 -- Ponderosa Pine Forest
- 6 -- Douglas Fir Forest

HYDROZONES

- (supplemental water - to be issued by inter(s) on diagram)
- V (D) - Very Low (0 to 7 inches per year)
- L (A) - Low (7 to 15 inches per year)
- M (S) - Moderate (15 to 25 inches per year)
- H (M) - High (more than 25 inches per year)

Project Name		Resort Living Community		
Date	Project Number	Climate Zone	Property Zoned	Footills & Plains
06-17	17021		C6/AO	
Site Category Calculations				
Landscape Setbacks (Code Section / Policy 320 & 317 (pp. 31 & 36))				
Plant Label Code	Street Name / Right-of-Way	Street Width (ft)	Frontage (ft)	No. Trees (1500 ±)
NCSB	New Car Drive	10'	565	32
TSB	Terra Drive	10'	365	20
	Bridle Pass	(See Buffer Requirement Below)		12
NCSB	Shrub Substitutes	Om. Grass Subst.	% Ground Plane Veg. Provided	75%
TSB	Shrub Substitutes	Om. Grass Subst.	% Ground Plane Veg. Provided	75%
Motor Vehicle Lots (Code Section / Policy 321 & 317 (pp. 31 & 38))				
Plant Label Code	No. of Vehicles	Shade Trees (11.5 ft)	Frontage (ft)	Length of Frontage (ft)
P	110	7	7	213
Internal Landscaping (Code Section / Policy 322 & 317 (pp. 31 & 40))				
Plant Label Code	Net Site Area (±)	Percent Minimum Internal Area (±)	Internal Trees (1500 ±)	
I	321,053	15%	48,158	96
I	350	350	350	75%
Landscape Buffers & Screens (Code Section / Policy 323 & 317 (pp. 31 & 41))				
Plant Label Code	Street Name or Property Line	Width (ft)	Buffer Trees (120)	Evergreen Trees (50%)
BPB	Bridle Pass	15	882	45
	Length of "Op. Street"	% Ground Plane Veg. Provided		
	810'	75%		
Additional Plants				
Plant Label Code				
X				
GP				



6' HIGH LANDSCAPE OPAQUE SCREEN WALL

NOTES:
1. VERTI-CRETE WALL PANELS AND COLUMNS TO MATCH THE EXISTING WALLS ALONG BRIDLE PASS DRIVE

ACCEPTANCE OF THIS WORK IS DEPENDENT ON THIS SECTION OF THE VERTI-CRETE WALL MATCHING THE EXISTING BRIDLE PASS DRIVE VERTI-CRETE WALLS.

SPECIFICATIONS FOR VERTI-CRETE WALL IS A GENERIC SPECIFICATION FOR THIS PRODUCT. THE BRIDLE PASS DRIVE VERTI-CRETE WALL MAY HAVE SPECIFICATIONS THAT DIFFER FROM THE GENERIC SPECIFICATION. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING RED ROCK FROM RANGE 719-864-2828 FOR CUSTOM VERTI-CRETE WALL SPECIFICATION.

WHERE RETAINING WALLS WITH DIFFERENCES IN GRADE LEVEL ON IN EXCESS OF 4 FEET, ARE LOCATED CLOSER THAN 4 FEET TO A WALK, PATH, PARKING LOT OR DRIVEWAY ON THE HIGH SIDE, THE WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH Pikes Peak Regional Building Code (CURRENT EDITION).

THIS DOCUMENT IS FOR CITY REVIEW AND DEVELOPMENT PLAN APPROVAL ONLY.

THIS DOCUMENT IS NOT A CONSTRUCTION DOCUMENT UNLESS STAMPED BY THE LANDSCAPE ARCHITECT OF RECORD.

AN IRRIGATION PLAN TO BE SUBMITTED FOR REVIEW BY THE CITY ENGINEER SHALL NOT CONSTITUTE A BUILDING PERMITS PLAN. THE IRRIGATION PLAN MUST BE APPROVED PRIOR TO THE INSTALLATION OF ANY IRRIGATION COMPONENTS AND/OR ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

DISCLAIMER:
IRRESPECTIVE OF ANY OTHER TERM IN THIS DOCUMENT, THE DESIGNER SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SCHEDULES, SEQUENCES OR PROCEDURES; OR FOR CONSTRUCTION SAFETY; OR ANY OTHER RELATED PROGRAM; OR FOR ANY PARTIES' ERRORS OR OMISSIONS OR FOR ANOTHER PARTIES' FAILURE TO COMPLETE THEIR WORK OR SERVICES IN ACCORDANCE WITH DESIGNER'S DOCUMENTS.

1. THIS DRAWING IS FOR REFERENCE ONLY. DETERMINATION OF THE SUITABILITY AND/OR MANNER OF USE OF ANY DETAILS CONTAINED IN THIS DOCUMENT IS THE SOLE RESPONSIBILITY OF THE DESIGN ENGINEER OF RECORD. FINAL PROJECT DESIGNS, INCLUDING ALL CONSTRUCTION DETAILS, SHALL BE PREPARED BY A LICENSED PROFESSIONAL ENGINEER USING THE ACTUAL CONDITIONS OF THE PROPOSED SITE.

2. REDI-ROCK 'LEDGESTONE' PRODUCT WALL TYPE.

WHERE RETAINING WALLS WITH DIFFERENCES IN GRADE LEVEL ON IN EXCESS OF 4 FEET, ARE LOCATED CLOSER THAN 4 FEET TO A WALK, PATH, PARKING LOT OR DRIVEWAY ON THE HIGH SIDE, THE WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH Pikes Peak Regional Building Code (CURRENT EDITION).

THIS DOCUMENT IS FOR CITY REVIEW AND DEVELOPMENT PLAN APPROVAL ONLY.

THIS DOCUMENT IS NOT A CONSTRUCTION DOCUMENT UNLESS STAMPED BY THE LANDSCAPE ARCHITECT OF RECORD.

AN IRRIGATION PLAN TO BE SUBMITTED FOR REVIEW BY THE CITY ENGINEER SHALL NOT CONSTITUTE A BUILDING PERMITS PLAN. THE IRRIGATION PLAN MUST BE APPROVED PRIOR TO THE INSTALLATION OF ANY IRRIGATION COMPONENTS AND/OR ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

DISCLAIMER:
IRRESPECTIVE OF ANY OTHER TERM IN THIS DOCUMENT, THE DESIGNER SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SCHEDULES, SEQUENCES OR PROCEDURES; OR FOR CONSTRUCTION SAFETY; OR ANY OTHER RELATED PROGRAM; OR FOR ANY PARTIES' ERRORS OR OMISSIONS OR FOR ANOTHER PARTIES' FAILURE TO COMPLETE THEIR WORK OR SERVICES IN ACCORDANCE WITH DESIGNER'S DOCUMENTS.

1. THIS DRAWING IS FOR REFERENCE ONLY. DETERMINATION OF THE SUITABILITY AND/OR MANNER OF USE OF ANY DETAILS CONTAINED IN THIS DOCUMENT IS THE SOLE RESPONSIBILITY OF THE DESIGN ENGINEER OF RECORD. FINAL PROJECT DESIGNS, INCLUDING ALL CONSTRUCTION DETAILS, SHALL BE PREPARED BY A LICENSED PROFESSIONAL ENGINEER USING THE ACTUAL CONDITIONS OF THE PROPOSED SITE.

2. REDI-ROCK 'LEDGESTONE' PRODUCT WALL TYPE.

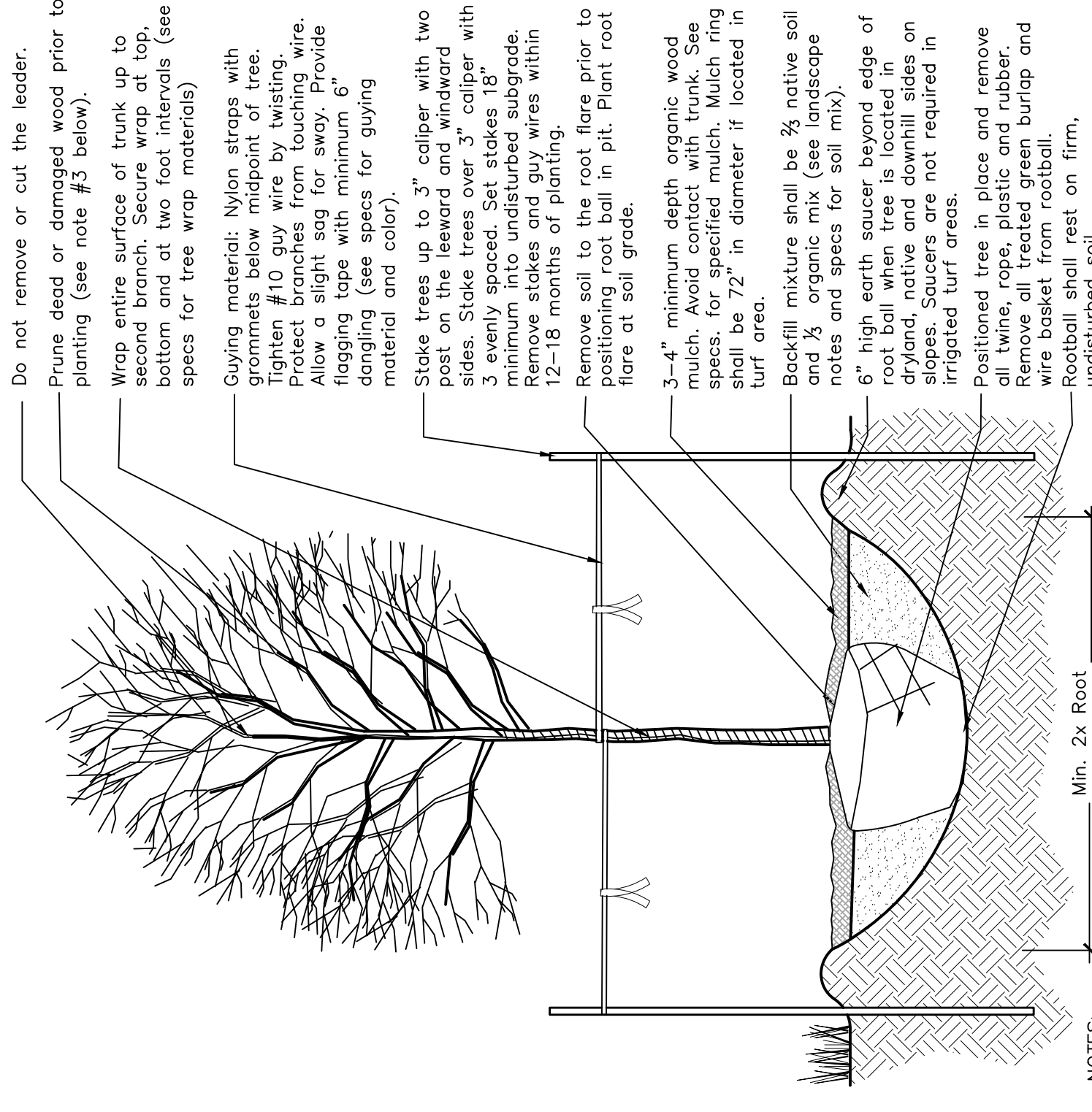
RETAINING WALL

NTS

7

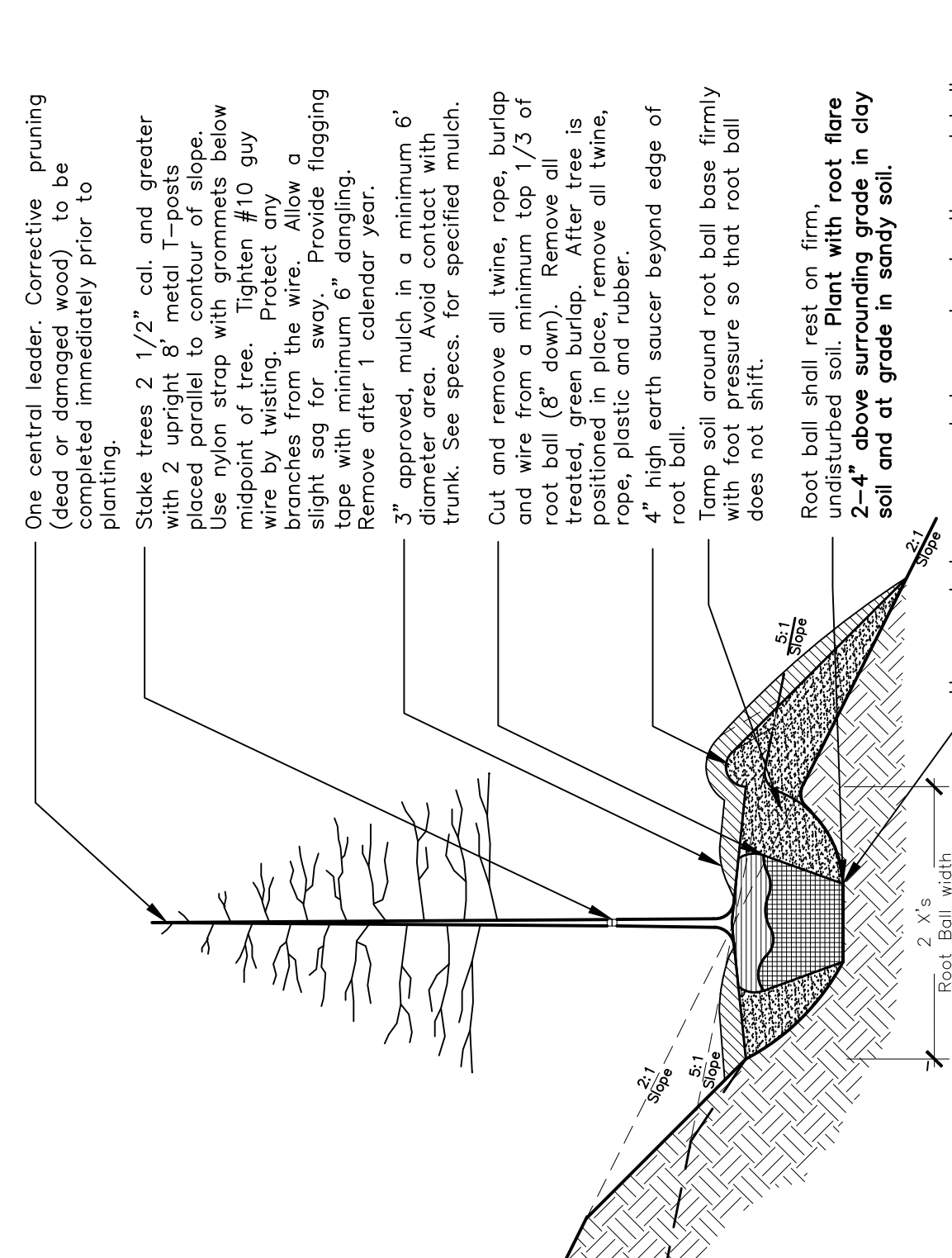
Revisions	By

Drawn By:	DTM
Checked By:	DTM
Date:	October 2017
Scale:	
Job No.:	17012
	7



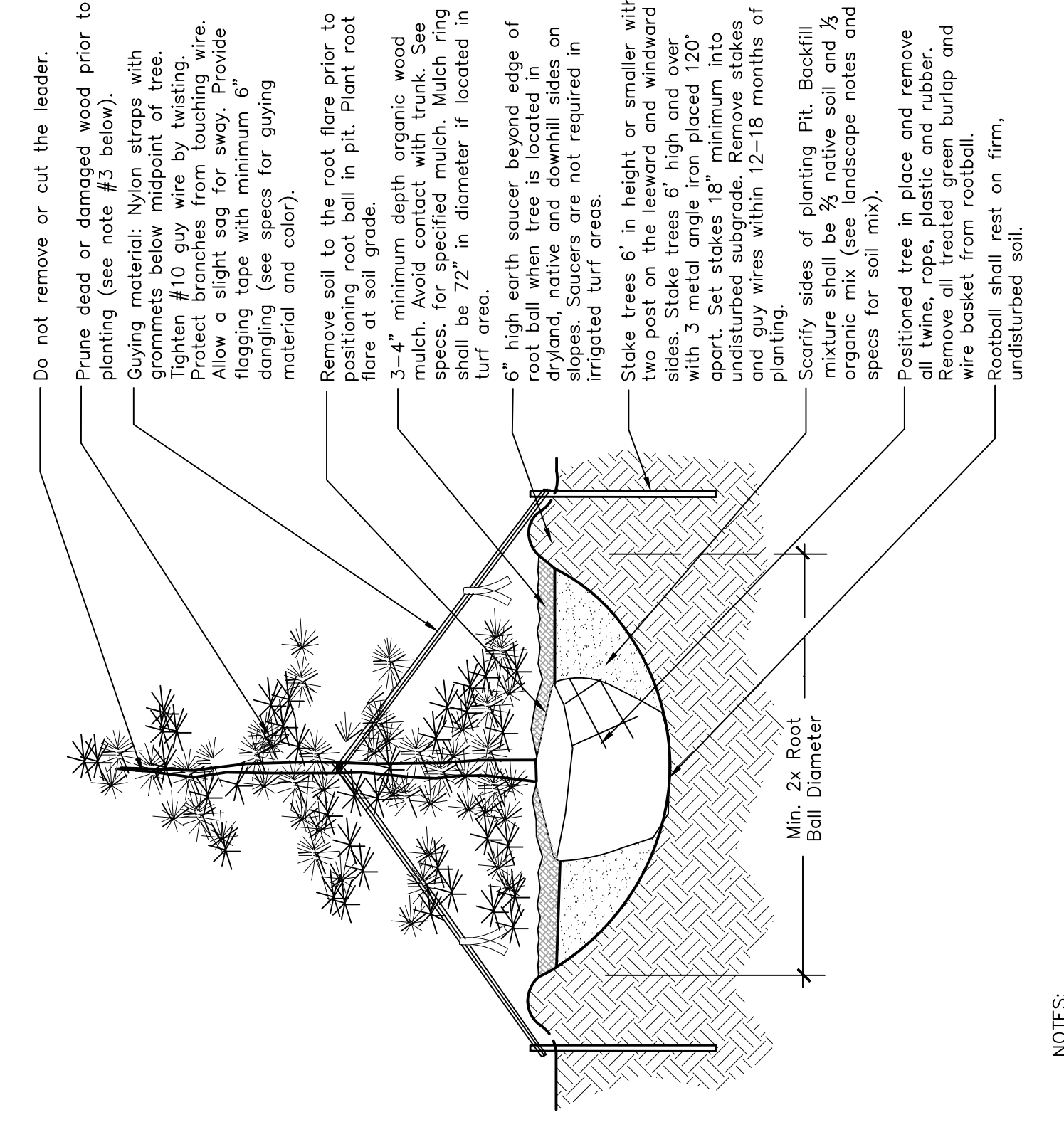
- NOTES:**
1. Dig pit so that the top of the root flare is level with surrounding grade. The root flare should determine the depth of the pit, not the top of the rootball.
 2. Before delivery to the site assure nursery has marked the North side of all trees. At time of installation rotate tree so the mark is facing North.
 3. Prune dead, broken or crossed branches with weak or narrow crotches. Do not remove the terminal buds or branches that extend to the edge of the crown.
 4. Structural Pruning should
 5. Do not fertilize for at least one growing season.
 6. Keep plants moist and shaded until planted.

A DECIDUOUS TREE PLANTING DETAIL NOT TO SCALE 9



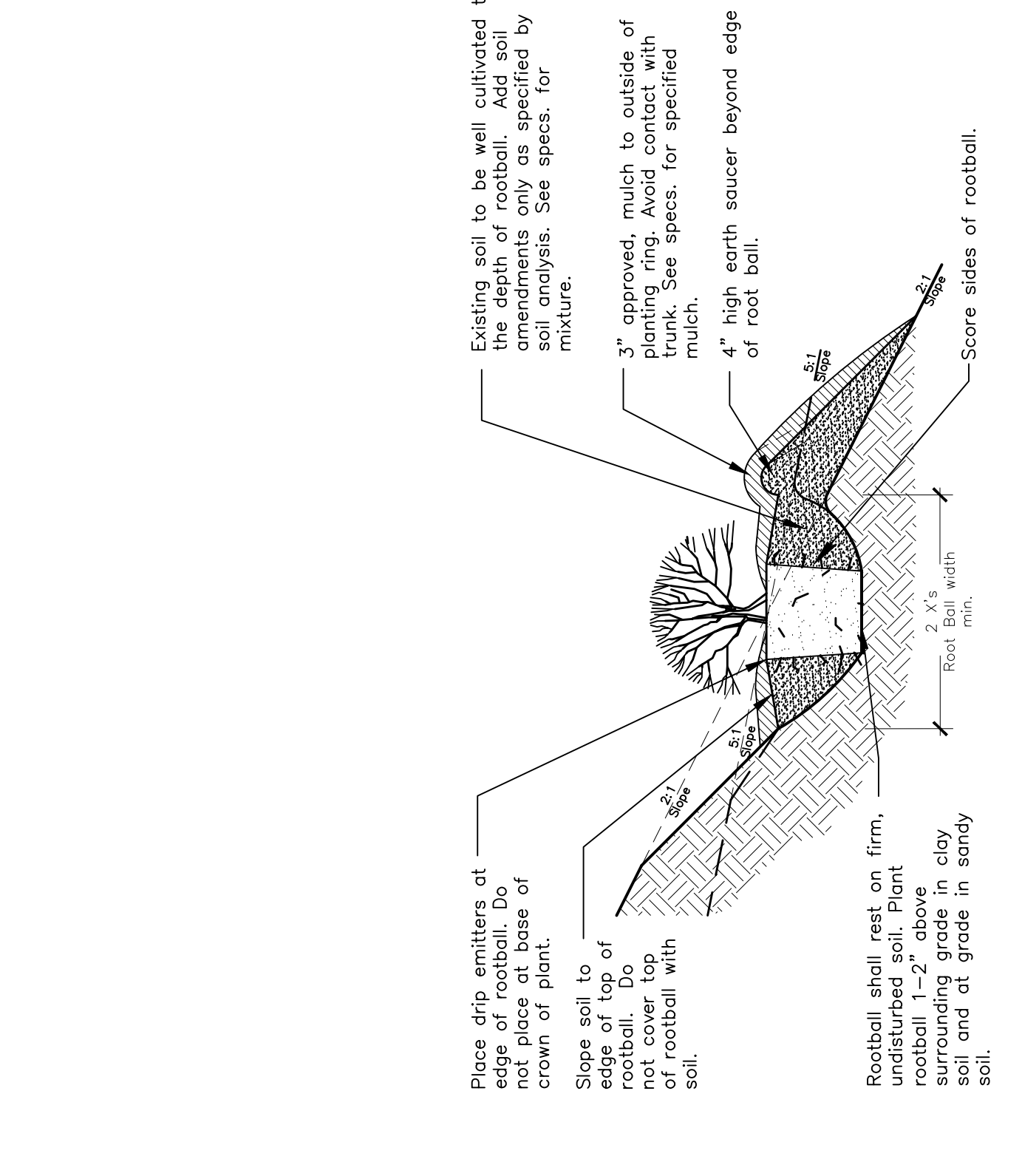
- NOTES:**
1. Mark the north side of the tree in the nursery, and rotate tree to face north at the site possible.
 2. **Each tree must be planted such that the trunk flare is visible at the top of the root ball. Trees where the trunk flare is not visible shall be rejected. Do not cover the top of the root ball with soil.** Prune dead, broken or crossed branches with weak or narrow crotches.
 3. Do not remove lower limbs and sprouts for at least two growing seasons.
 4. Stake only when necessary. Stake trees 2" cal. and smaller with metal post on prevailing wind side.
 5. Do not wrap trunk unless required on exposed sites for species with thin bark. Use electrical tape, not duct tape. Do not use twine. Wrap in November and remove in February.
 6. Do not fertilize for at least one growing season.
 7. Keep plants moist and shaded until planted.

B EVERGREEN TREE PLANTING DETAIL NOT TO SCALE 9



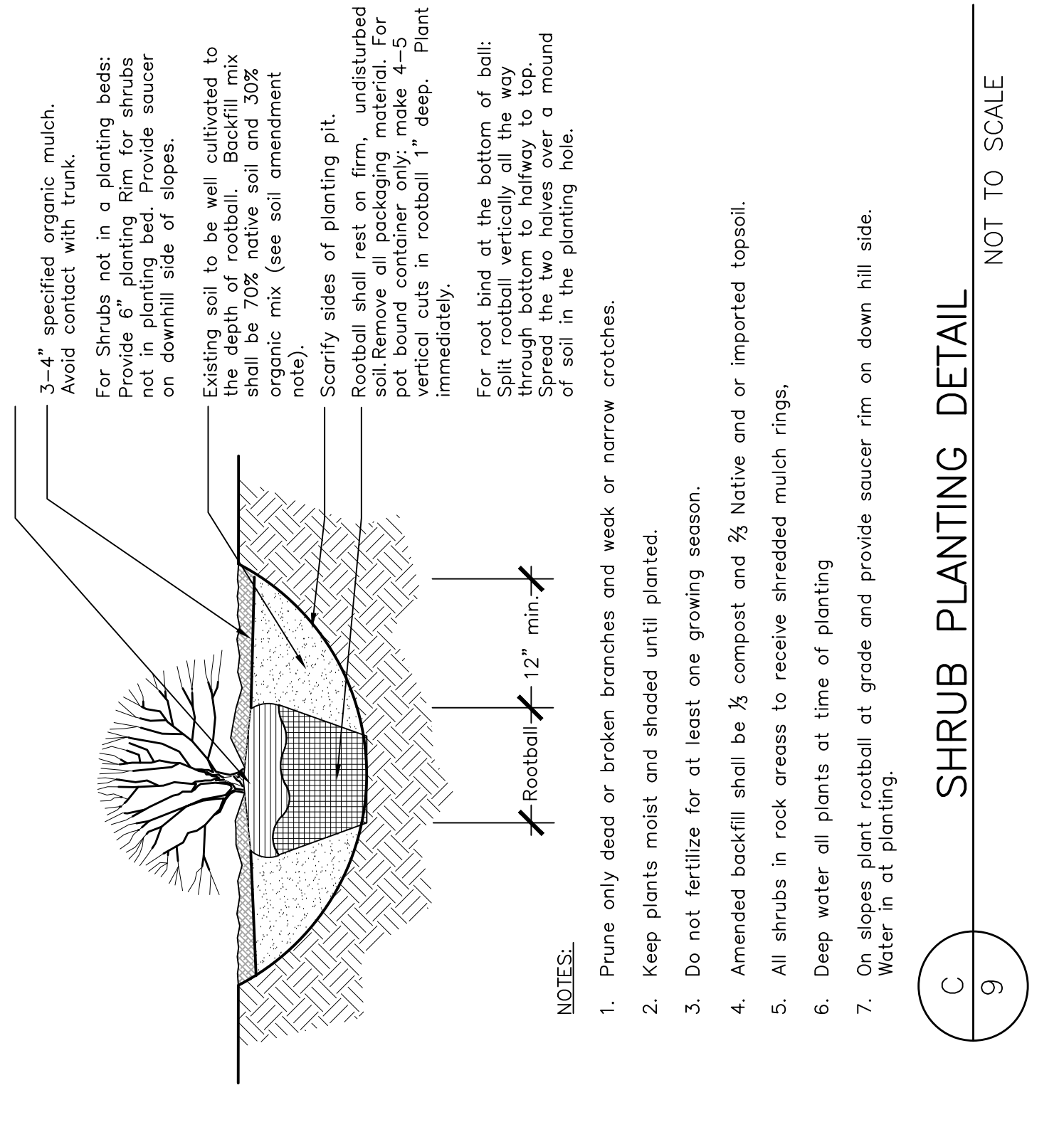
- NOTES:**
1. Dig pit so that the top of the root flare is level with surrounding grade. The root flare should determine the depth of the pit, not the top of the rootball.
 2. Before delivery to the site assure nursery has marked the North side of all trees. At time of installation rotate tree so the mark is facing North.
 3. Prune dead, broken or crossed branches and branches with weak or narrow crotches. Do not remove the terminal buds or branches that extend to the edge of the crown.
 4. Structural Pruning should
 5. Do not fertilize for at least one growing season.
 6. Keep plants moist and shaded until planted.

C SHRUB PLANTING DETAIL NOT TO SCALE 9



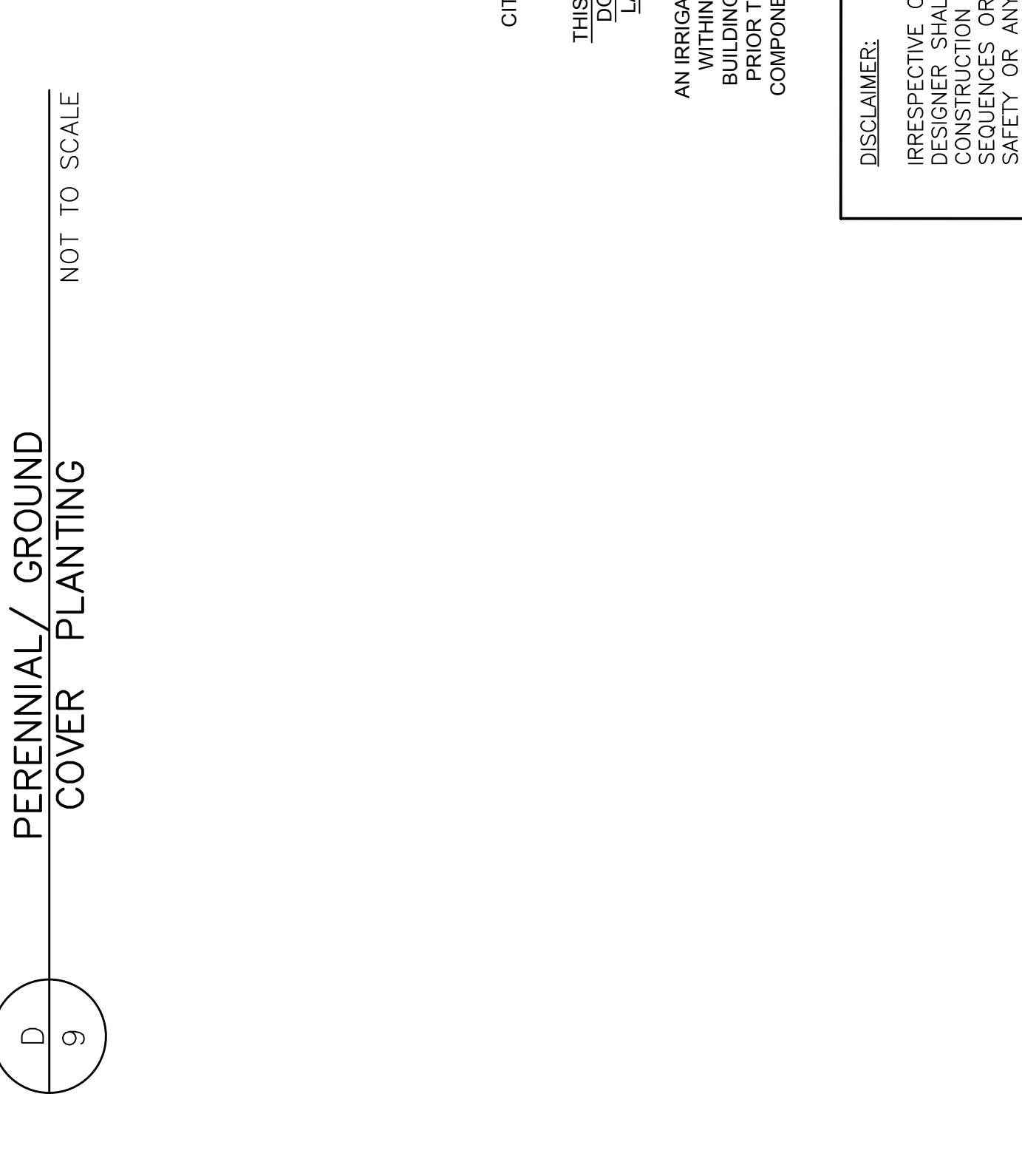
- NOTES:**
1. Dig pit so that the top of the root flare is level with surrounding grade. The root flare should determine the depth of the pit, not the top of the rootball.
 2. Before delivery to the site assure nursery has marked the North side of all trees. At time of installation rotate tree so the mark is facing North.
 3. Prune dead, broken or crossed branches and branches with weak or narrow crotches. Do not remove the terminal buds or branches that extend to the edge of the crown.
 4. Structural Pruning should
 5. Do not fertilize for at least one growing season.
 6. Keep plants moist and shaded until planted.

D PERENNIAL/ GROUND COVER PLANTING NOT TO SCALE 9



- NOTES:**
1. Prune only dead or broken branches and weak or narrow crotches.
 2. Keep plants moist and shaded until planted.
 3. Do not fertilize for at least one growing season.
 4. Amended backfill shall be 2/3 compost and 1/3 native and/or imported topsoil.
 5. All shrubs in rock areas to receive shredded mulch rings.
 6. Deep water all plants at time of planting
 7. On slopes plant rootball at grade and provide saucer rim on down hill side. Water in at planting.

E SHRUB PLANTING DETAIL NOT TO SCALE 9



- NOTES:**
1. Dig pit so that the top of the root flare is level with surrounding grade. The root flare should determine the depth of the pit, not the top of the rootball.
 2. Before delivery to the site assure nursery has marked the North side of all trees. At time of installation rotate tree so the mark is facing North.
 3. Prune dead, broken or crossed branches and branches with weak or narrow crotches. Do not remove the terminal buds or branches that extend to the edge of the crown.
 4. Structural Pruning should
 5. Do not fertilize for at least one growing season.
 6. Keep plants moist and shaded until planted.

F SHRUB PLANTINGS ON SLOPES NOT TO SCALE 9

Land Patterns, Inc.
Landscape Architecture

703 578 8989
1000 W. Colfax Ave. Suite 200
Denver, CO 80202

Final Landscape Development Plan
for
Resort Lifestyle Community
at Powers Autopark
Colorado Springs, CO 80903

Sheet Title:
LANDSCAPE
DETAILS

Reason of Document
This document is the property of Land Patterns, Inc. The ideas contained herein are instruments of professional service and shall not be reproduced or transmitted without written authorization of Land Patterns, Inc.
© 2017 Land Patterns, Inc. All rights reserved.

Revisions	By

Drawn By:	DTM
Checked By:	DTM
Date:	October 2017
Scale:	
Job No.:	17012
9	
9 of 20 sheets	

THIS DOCUMENT IS FOR
CITY REVIEW AND DEVELOPMENT PLAN
APPROVAL ONLY.

THIS DOCUMENT IS NOT A CONSTRUCTION
DOCUMENT UNLESS STAMPED BY THE
LANDSCAPE ARCHITECT OF RECORD

AN IRRIGATION PLAN TO BE SUBMITTED FOR REVIEW
WITHIN 90 DAYS SUBSEQUENT TO RECEIVING A
BUILDING PERMIT. THE PLAN MUST BE APPROVED
PRIOR TO THE INSTALLATION OF ANY IRRIGATION
COMPONENTS AND/OR ISSUANCE OF A CERTIFICATE
OF OCCUPANCY.

DISCLAIMER:
IRRESPECTIVE OF ANY OTHER TERM IN THIS DOCUMENT, DESIGNER SHALL NOT CONTROL OR BE RESPONSIBLE FOR THE ACTIONS OF ANY CONTRACTORS, ARCHITECTS, ENGINEERS, SURVEYORS, INSURERS, AGENTS, SALESPEOPLE, SEVENERS OR PROCEDURES, OR FOR CONSTRUCTION SAFETY OR ANY OTHER RELATED PROGRAM, OR FOR PARTIES' ERRORS OR OMISSIONS OR FOR ANOTHER PARTIES' FAILURE TO COMPLETE THEIR WORK OR SERVICES IN ACCORDANCE WITH DESIGNER'S DOCUMENTS.

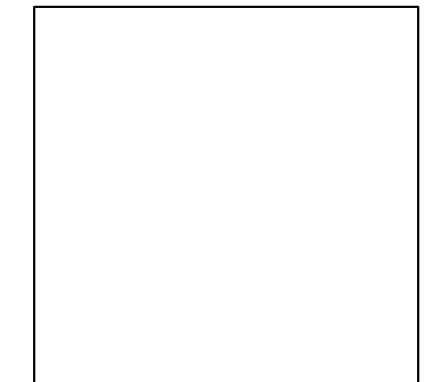
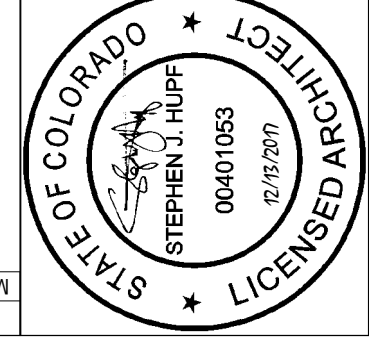


FIGURE 2

MARK	DATE	DESCRIPTION	REVISIONS

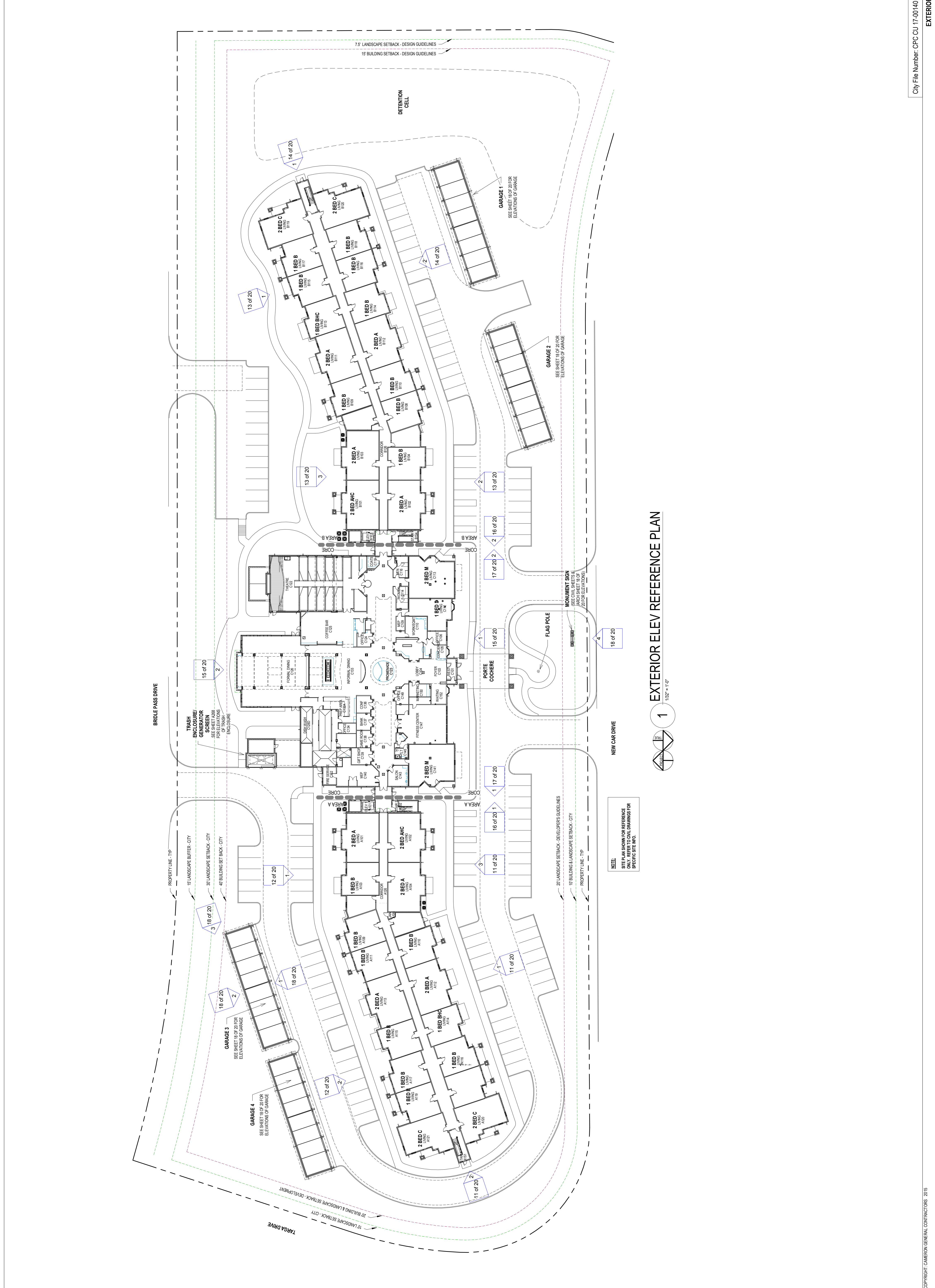
CONSULTANT:



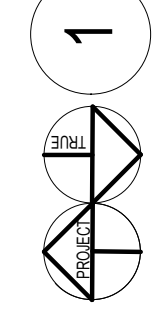
ARCHITECT:



PROJECT NO: 2017-044
 DESIGNED BY: SH
 DRAWN BY: SH
 DATE: 12/17/17



EXTERIOR ELEV REFERENCE PLAN



NOTE
 SITE PLAN SHOWN FOR REFERENCE
 ONLY. REFER TO CIVIL DRAWINGS FOR
 SPECIFIC SITE INFO.

FIGURE 2

2 ELEVATION - 'A' WING - END
1/8" = 1'-0"



3 ELEVATION - 'A' WING - FRONT
1/8" = 1'-0"



1 ELEVATION - 'A' WING - FRONT - END
1/8" = 1'-0"



EXTERIOR MATERIAL - COLOR LEGEND

MASONRY:
 BRICK - 4" WEBER, ACME BRICK, BROWNELL
 BRICK - 4" WEBER, ACME BRICK, BROWNELL
 STONE - 4" WEBER, OLD CASTLE, WATERFORD PIER
 STONE - 4" WEBER, OLD CASTLE, WATERFORD PIER
 STONE - THIN STONE VENEER, MATCH #4 STONE VENEER
 CAST STONE, FREASTONE, NOSTALGIC STONE, LIGHT BUFF
 COLUMN - MASONRY SECTION, ACME BRICK, PEPPERWELL

SPONGE SYSTEMS:
 SIDING - HORIZ LAP SIDING 1, HARDE TRIM, ARTIC, GRAY
 SIDING - HORIZ LAP SIDING 2, HARDE TRIM, ARTIC, GRAY
 SIDING - VERT & HORIZ ACCENT BANDING, HARDE TRIM, ARTIC, WHITE
 SIDING - VERT & HORIZ ACCENT BANDING, HARDE TRIM, ARTIC, WHITE
 COLUMN - SPANISHWOOD, HARDE TRIM, ARTIC, GRAY
 COLUMN - SPANISHWOOD, HARDE TRIM, ARTIC, GRAY
 COLUMN - ACCENTS TRIM, HARDE TRIM, ARTIC, WHITE
 PORCH TRIM - LEVEL 3 SOFFIT, HARDE TRIM, ARTIC, WHITE
 WINDOW TRIM, HARDE TRIM, ARTIC, WHITE

SOFFIT FASCIA:
 FASCIA - HARDE TRIM, ARTIC, WHITE
 SOFFIT - ALUM, PEPPERWELL, WHITE

ROOF:
 SHINGLES - OWENS CORNING, PEPPERWELL, GRAY
 GUTTER, WHITE ALUMINUM
 DOWNSPOUT, WHITE ALUMINUM

DOORS & WINDOWS:
 DOORS - HOLLOW METAL, MATCH ARCTIC WHITE
 STOREFRONT, ALUM, WHITE

MISC.:
 LOWER TRIM, TBS TO MATCH SIDING & BRICK
 LOWER PTAC, TBS TO MATCH SIDING & BRICK
 LOWER CORNER, MATCH WINDOW COLOR
 COLUMN TOP SECTION, ALUM, GRAY
 PORCH RAILING, MATCH ARCTIC WHITE
 HVAC SCREEN WALL, MATCH PEARL GRAY
 HVAC SCREEN WALL, MATCH PEARL GRAY
 DRYER & EXHAUST VENTS, COLOR MATCH TO SIDING & BRICK

STEPHEN J. RUFF
00401053
12/19/2010

CAMERON
8040 Eiger Drive
Lincoln, Nebraska - 68516
P 402.232.2323
F 402.232.2324

ARCHITECT: _____

CONSULTANT: _____

PROJECT NO: 2017-044

DESIGNED BY: SH

DRAWN BY: SH

DATE: 12/11/17

SITE DEVELOPMENT PLAN

RESORT LIFESTYLE COMMUNITIES

COLORADO SPRINGS

EXTERIOR ELEVATIONS - AREA 'A'

REV	DATE	DESCRIPTION

2 ELEVATION - 'A' WING - BACK - END
1/8" = 1'-0"



1 ELEVATION - 'A' WING - BACK
1/8" = 1'-0"



3 ELEVATION - 'B' WING - BACK
1/8" = 1'-0"



2 ELEVATION - 'B' WING - FRONT
1/8" = 1'-0"

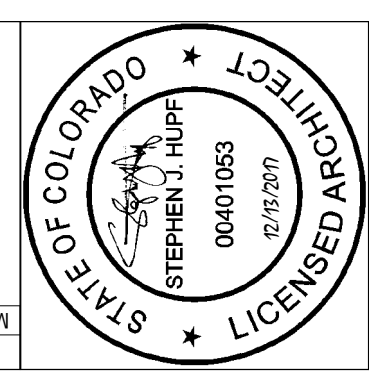
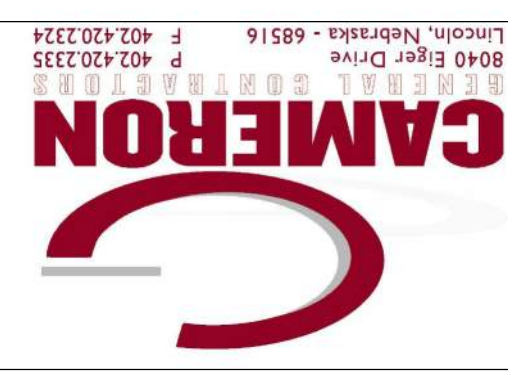


1 ELEVATION - 'B' WING - BACK - END
1/8" = 1'-0"



SITE DEVELOPMENT PLAN
RESORT LIFESTYLE COMMUNITIES
COLORADO SPRINGS
EXTERIOR ELEVATIONS - AREA 'B'

PROJECT NO:	2017-044
DESIGNED BY:	SAH
DRAWN BY:	SAH
DATE:	12/11/17



MARK	DATE	DESCRIPTION
REVISIONS		

MARK	DATE	DESCRIPTION	REVISIONS

1 ELEVATION - 'B' WING - END
1/8" = 1'-0"



2 ELEVATION - 'B' WING - FRONT - END - SDP
1/8" = 1'-0"



1 ELEVATION - CORE - FRONT
1/8" = 1'-0"

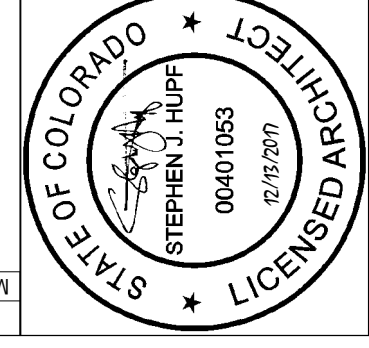


2 ELEVATION - CORE - BACK
1/8" = 1'-0"



SITE DEVELOPMENT PLAN
RESORT LIFESTYLE COMMUNITIES
COLORADO SPRINGS
EXTERIOR ELEVATIONS - AREA 'C'

PROJECT NO:	2017-044
DESIGNED BY:	SAH
DRAWN BY:	SAH
DATE:	12/11/17

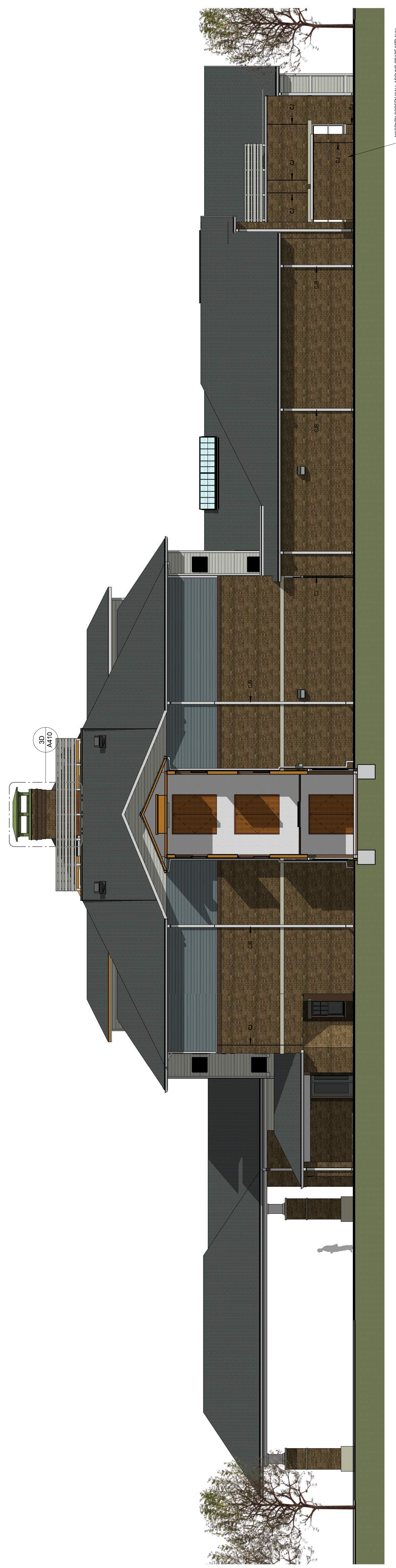


MARK	DATE	DESCRIPTION	REVISIONS

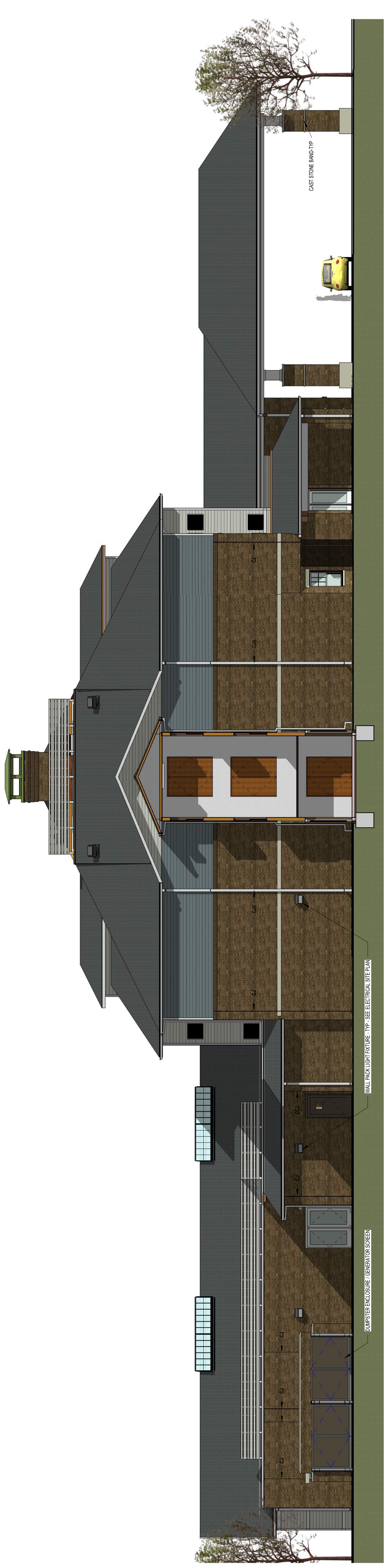
CONSULTANT:

ARCHITECT:

2 ELEVATION - CORE - 'B' WING SIDE
1/8" = 1'-0"

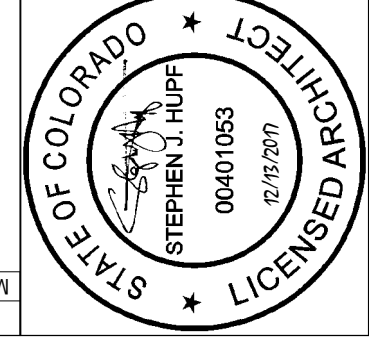


1 ELEVATION - CORE - 'A' WIDE SIDE
1/8" = 1'-0"

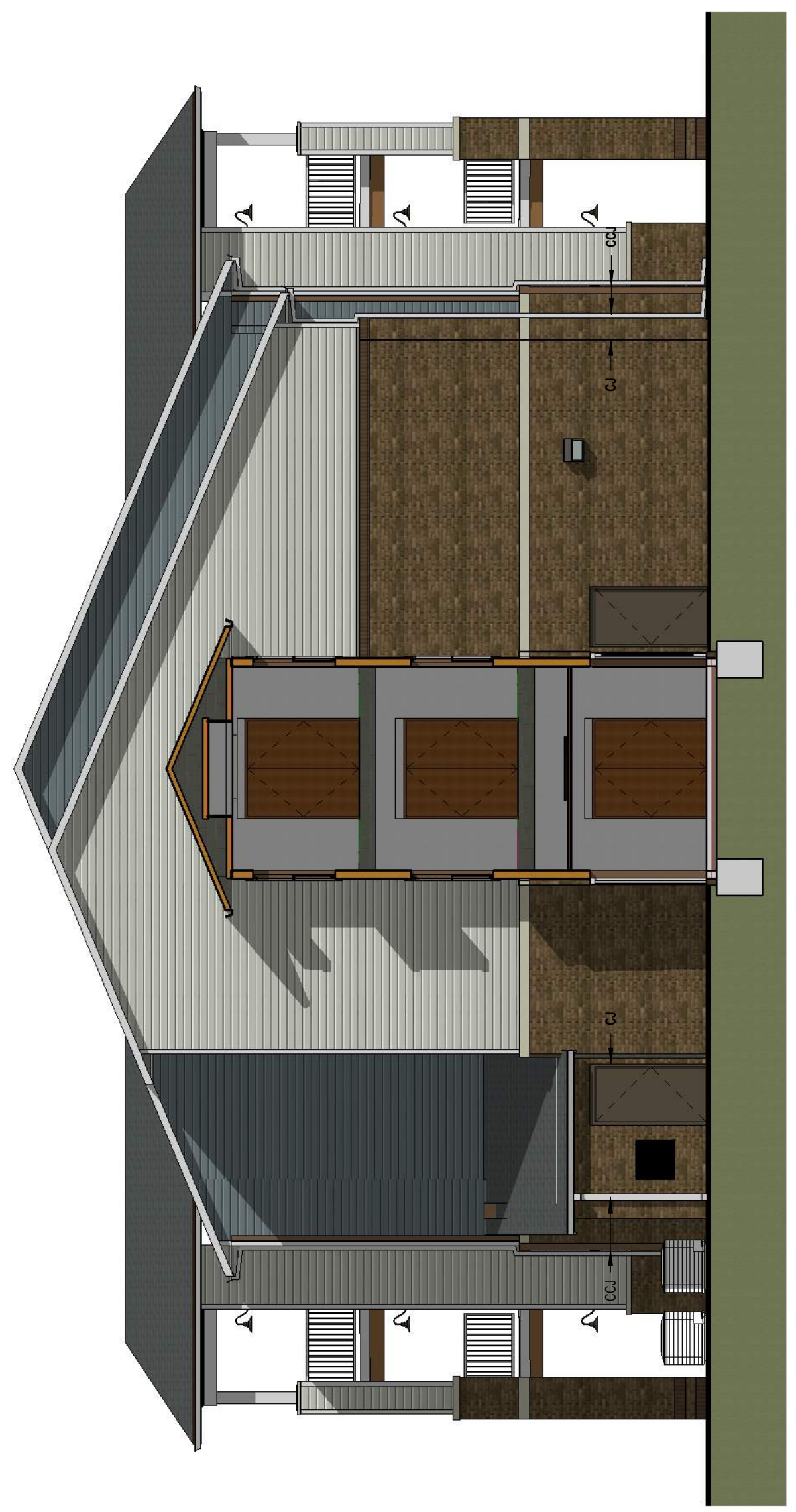


PROJECT NO:	2017-04
DESIGNED BY:	SAH
DRAWN BY:	SAH
DATE:	12/11/17

SITE DEVELOPMENT PLAN
 RESORT LIFESTYLE COMMUNITIES
 COLORADO SPRINGS
 EXTERIOR ELEVATIONS - AREA 'C'



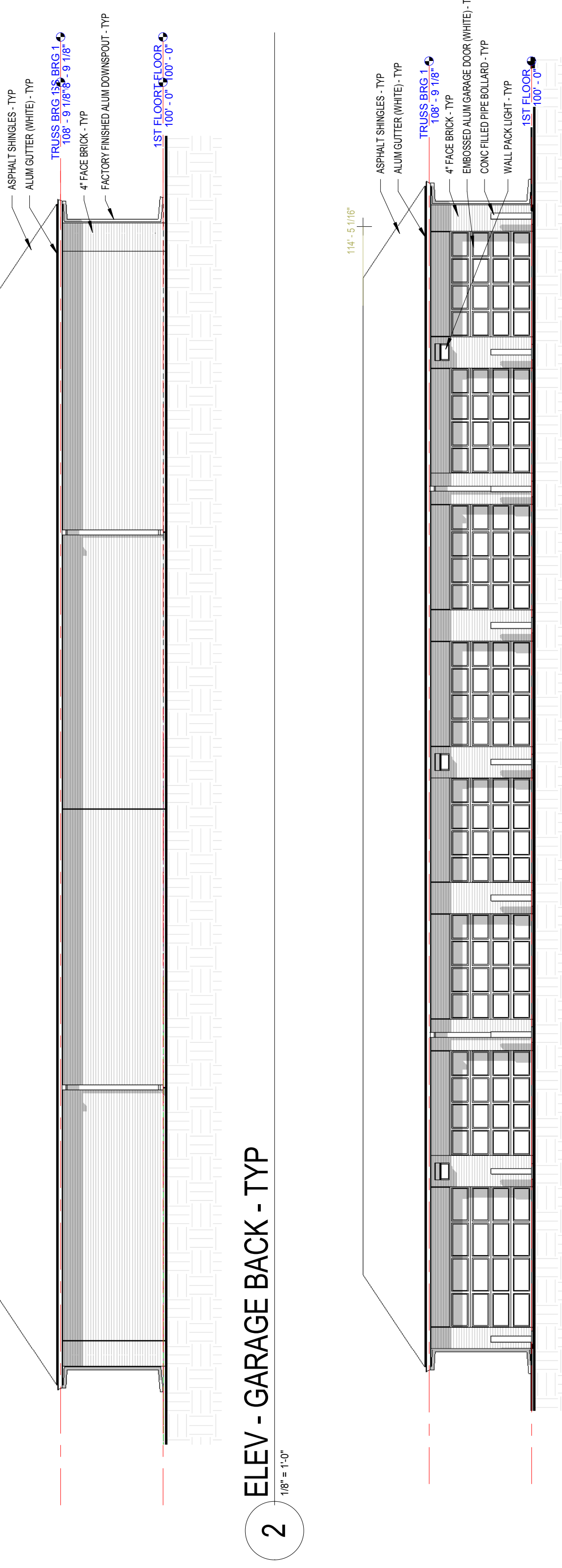
MARK	DATE	DESCRIPTION	REVISIONS



2 ELEVATION - CORE - END OF 'B' WING
 1/8" = 1'-0"



1 ELEVATION - CORE - END OF 'A' WING
 1/8" = 1'-0"

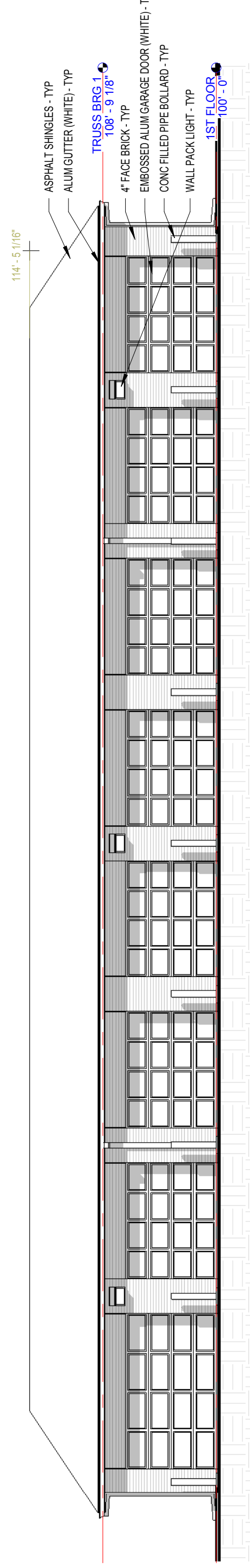
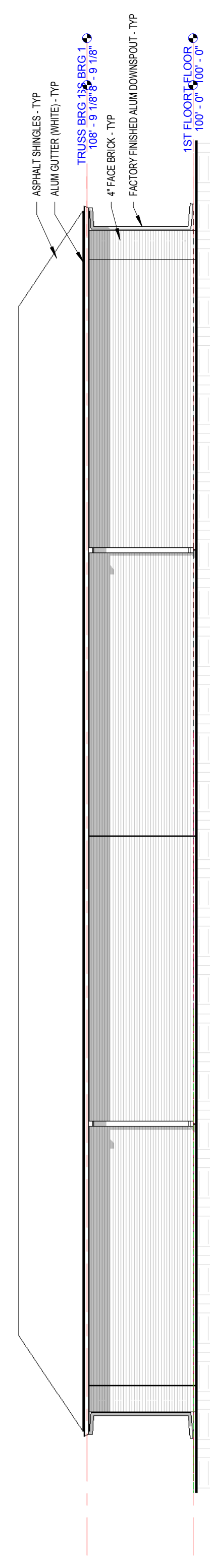
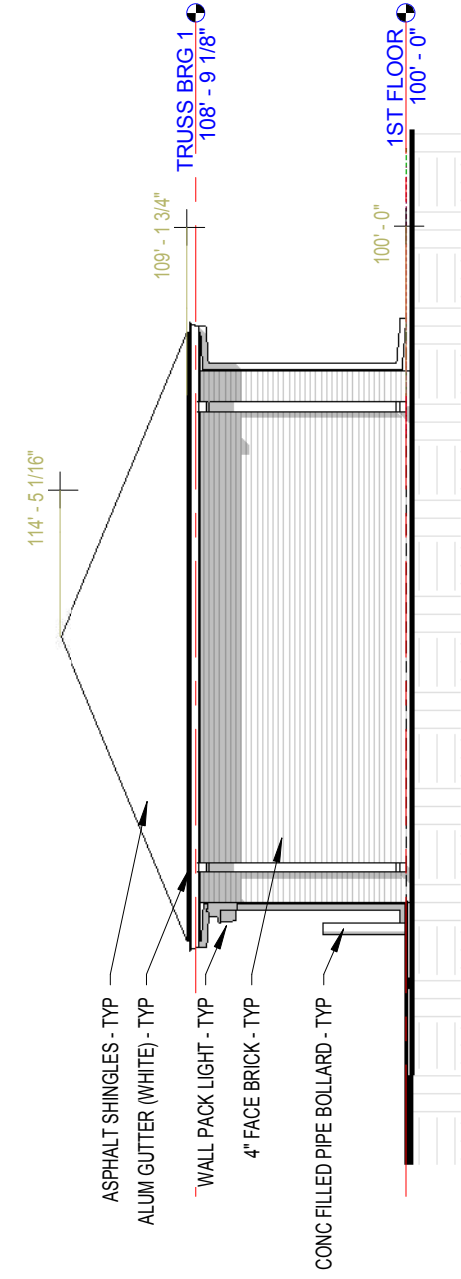
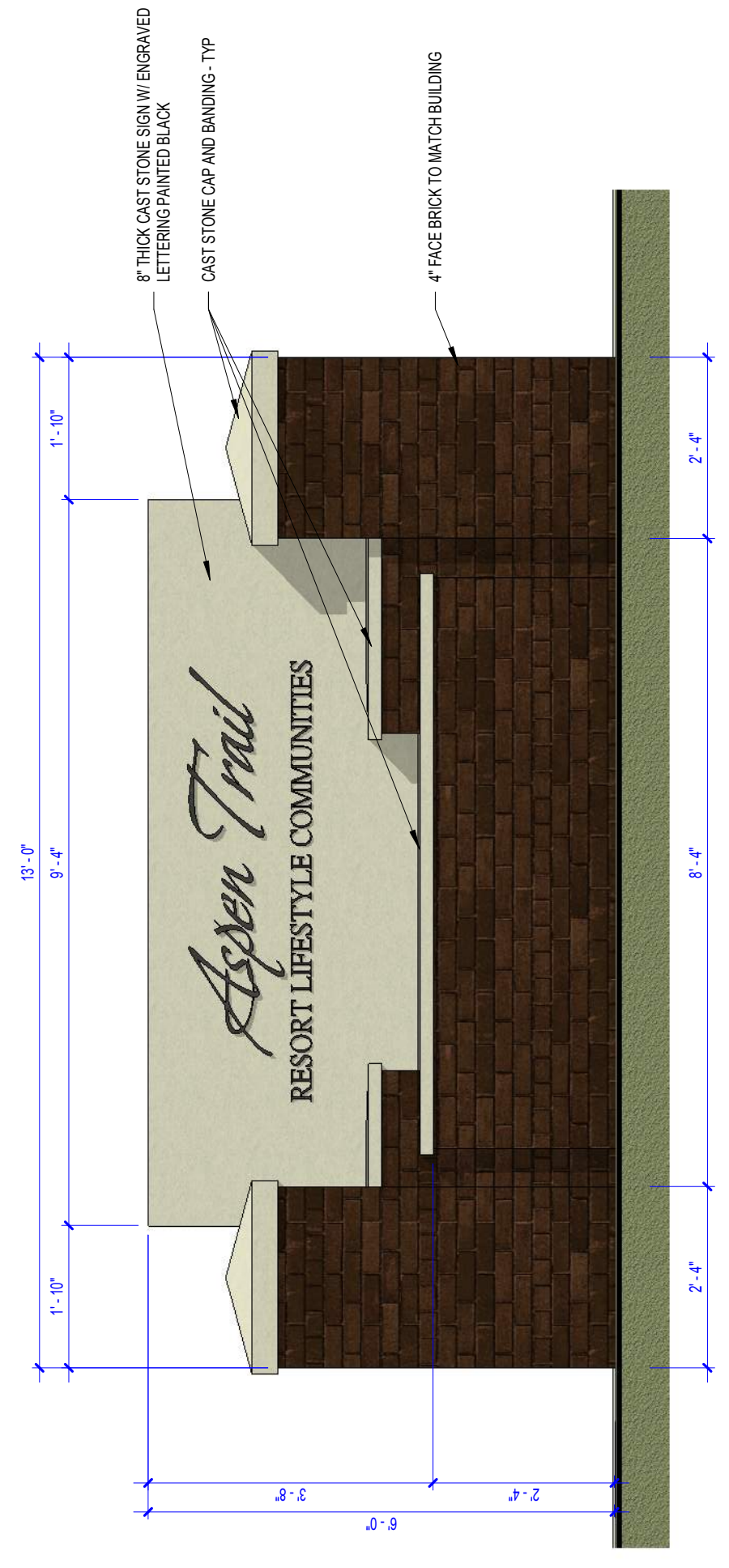


1
118" = 1'-0"

2
118" = 1'-0"

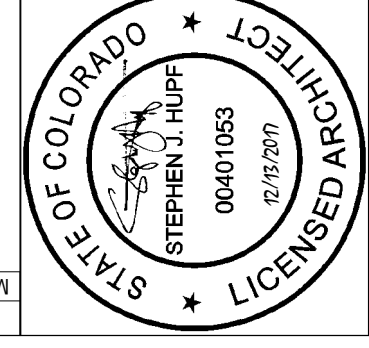
3
118" = 1'-0"

4
112" = 1'-0"



SITE DEVELOPMENT PLAN
RESORT LIFESTYLE COMMUNITIES
COLORADO SPRINGS
GARAGE & SIGN ELEVATIONS

PROJECT NO: 2017-044
DESIGNED BY: Designer
DRAWN BY: ABBBY
DATE: 12/11/17



MARK	DATE	DESCRIPTION	REVISIONS

CONSULTANT:

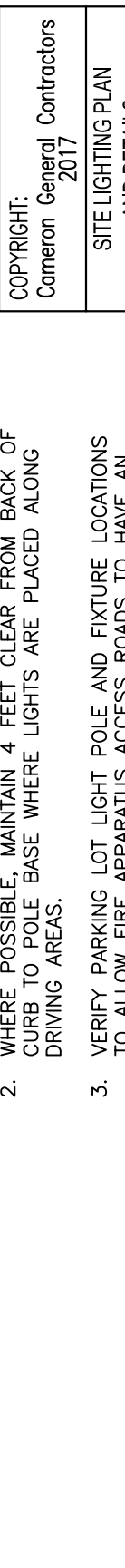
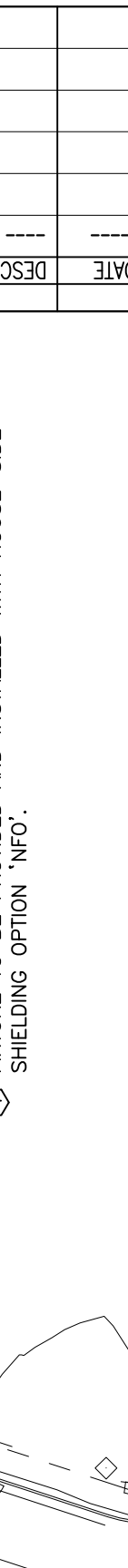
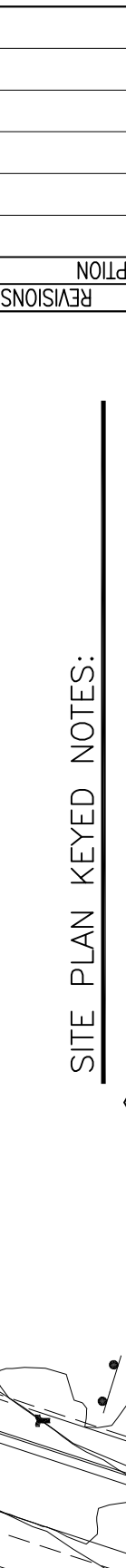
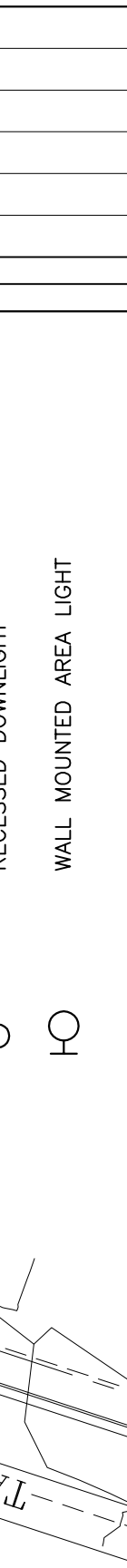
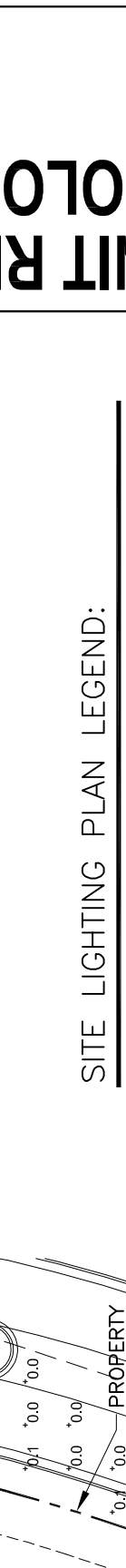
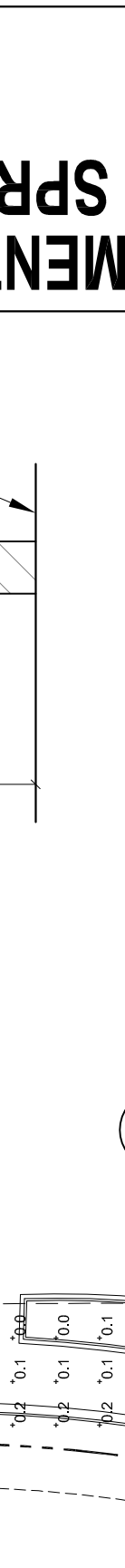
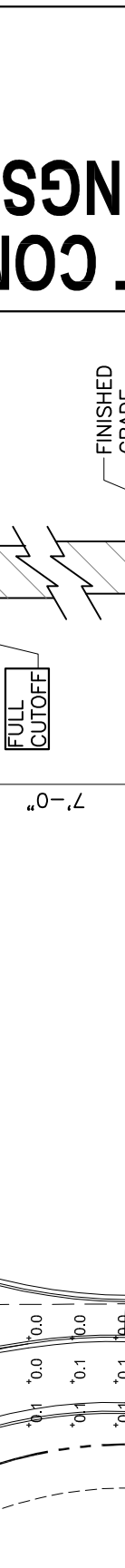
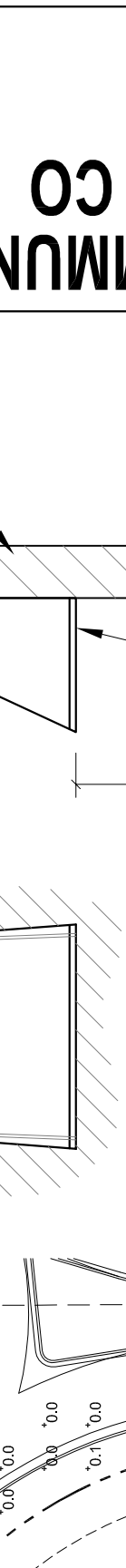
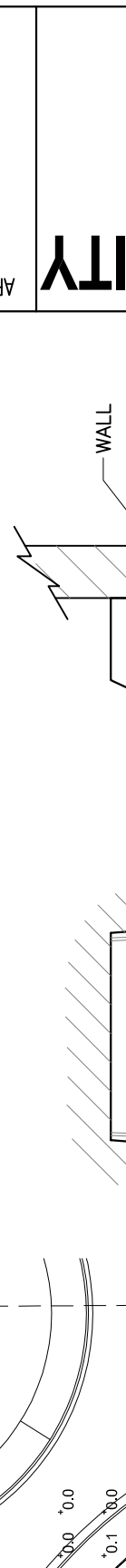
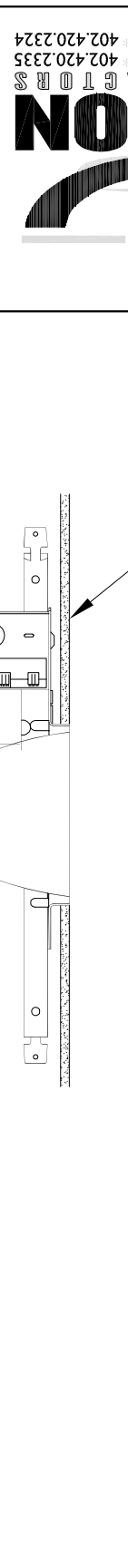
ARCHITECT:

FIX. NO.	DESCRIPTION	LAMPS	MOUNTING	COMMENTS	QUANTITY
AA	POLE MOUNTED PARKING LOT LIGHT FIXTURE ALUMINUM HOUSING 1A CC25A 2 P.35 96L.4K. 208 CC MOUNT AS MOUNT AS MOUNT AS MOUNT AS	18BW LED	W/ 18" POLE AS MOUNT AS MOUNT AS	2	3
AB	POLE MOUNTED PARKING LOT LIGHT FIXTURE ALUMINUM HOUSING 1A CC25A 3 P.35 96L.4K. 208 CC MOUNT AS MOUNT AS MOUNT AS MOUNT AS	18BW LED	W/ 18" POLE AS MOUNT AS MOUNT AS	*1, 2	2
AC	POLE MOUNTED PARKING LOT LIGHT FIXTURE ALUMINUM HOUSING 1A CC25A 4 P.35 96L.4K. 208 CC MOUNT AS MOUNT AS MOUNT AS MOUNT AS	18BW LED	W/ 18" POLE AS MOUNT AS MOUNT AS	*1, 2	2
B1	WALL MOUNTED EXTERIOR AREA LIGHT HOUSING 1A CC25A 4 P.35 96L.4K. 208 CC MOUNT AS MOUNT AS MOUNT AS MOUNT AS	34W LED	W/ 18" POLE AS MOUNT AS MOUNT AS	12	12
E2	6" RECESSED LED DOWNLIGHT SEMI-SPECULAR FINISH, MEDIUM THROW GOTHAM EVO 35/20 BAR MD LS M001 E21	23.2W LED	RECESSED UNDER CANOPY	10	10
G1	WALL MOUNTED EXTERIOR AREA LIGHT HOUSING 1A CC25A 4 P.35 96L.4K. 208 CC MOUNT AS MOUNT AS MOUNT AS MOUNT AS	34W LED	W/ 18" POLE AS MOUNT AS MOUNT AS	13	13
S	GROUND MOUNTED FLOOD LIGHT FOR FLAG POLE HOUSING 1A CC25A 4 P.35 96L.4K. 208 CC MOUNT AS MOUNT AS MOUNT AS MOUNT AS	37W LED	KNUCKLE W/ 1/2" PIPE	2	2
S1	GROUND MOUNTED FLOOD LIGHT FOR MONUMENT SIGN HOUSING 1A CC25A 4 P.35 96L.4K. 208 CC MOUNT AS MOUNT AS MOUNT AS MOUNT AS	18W LED	KNUCKLE W/ 1/2" PIPE	4	4
Z	42" LIGHTED BOLLARD, J.S. ARCHITECTURAL LIG. BR96-LED CL 24LED NW RAL-8019-T	28W LED	BOLLARD UNDER CANOPY	16	16

SYMBOL	AVG.	MAX.	MIN.	AVG./MIN
GENERAL PARKING AND PEDESTRIAN AREAS	2.0 FC	9.7 FC	0.1	20.0:1
PERIMETER BEYOND PROPERTY LINE	<0.1 FC	0.6 FC	0.0	N/A

STATISTICS
(MAINTAINED LIGHTING LEVELS MEASURED IN FOOTCANDLES)

NOTES:
1. LIGHT LOSS FACTOR USED FOR ALL POLE MOUNTED LED FIXTURES IS 0.95. LLF FOR WALL MOUNTED AND RECESSED FIXTURES IS 0.90. THESE FACTORS REPLICATE MAINTAINED LUMEN OUTPUT FROM EACH FIXTURE AS REFLECTED IN THE MANUFACTURER'S LITERATURE.
2. ALL CALCULATIONS ARE HORIZONTAL VALUES MEASURED AT GRADE LEVEL.
3. ALL PARKING LOT LIGHT FIXTURES, BOLLARDS AND WALL MOUNTED LIGHT FIXTURES SHOWN ON THE GARAGES AND THE MAIN BUILDING ARE FULL CUTOFF AND ARE SHIELDED.



REVISIONS

MARK	DATE	DESCRIPTION

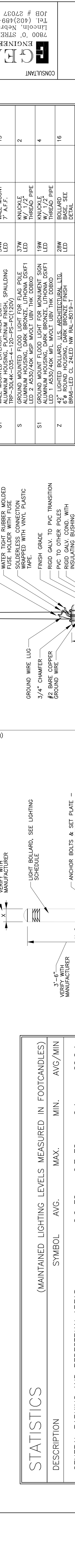
DATE: 10/28/2017
DRAWN BY: [Signature]

SITE PLAN KEYED NOTES:

- COORDINATE LOCATIONS OF PARKING LOT LIGHT POLES WITH TREES AND LANDSCAPING AS REQUIRED.
- WHERE POSSIBLE, MAINTAIN 4 FEET CLEAR FROM BACK OF CURB TO POLE BASE WHERE LIGHTS ARE PLACED ALONG DRIVING AREAS.
- VERIFY PARKING LOT LIGHT POLE AND FIXTURE LOCATIONS TO ALLOW FREE APPROPRIATE ACCESS ROADS TO HAVE AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET 6 INCHES AS REQUIRED PER FC 503.2.1.

SITE PLAN GENERAL NOTES:

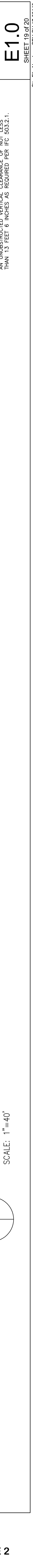
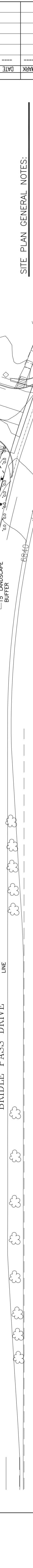
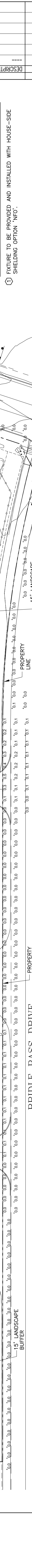
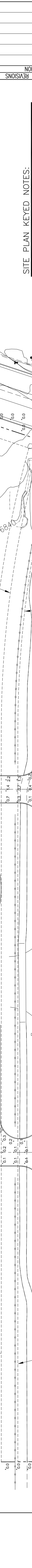
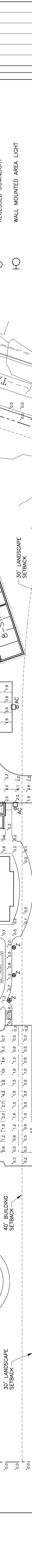
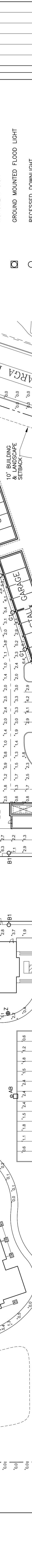
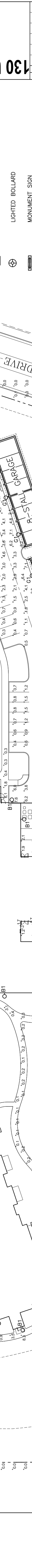
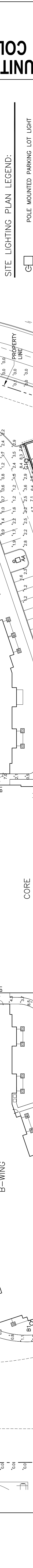
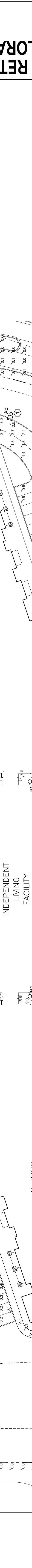
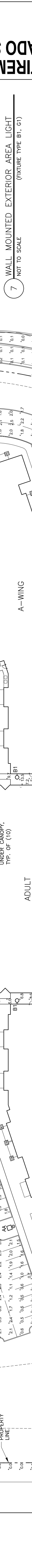
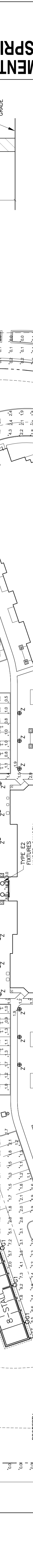
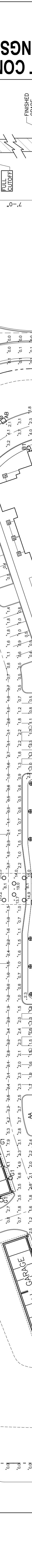
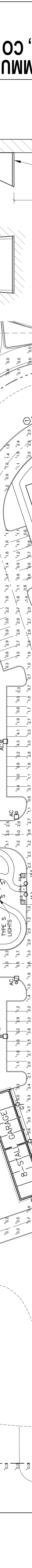
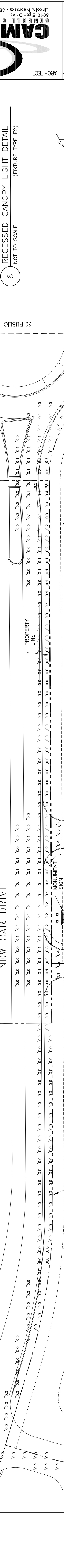
- COORDINATE LOCATIONS OF PARKING LOT LIGHT POLES WITH TREES AND LANDSCAPING AS REQUIRED.
- WHERE POSSIBLE, MAINTAIN 4 FEET CLEAR FROM BACK OF CURB TO POLE BASE WHERE LIGHTS ARE PLACED ALONG DRIVING AREAS.
- VERIFY PARKING LOT LIGHT POLE AND FIXTURE LOCATIONS TO ALLOW FREE APPROPRIATE ACCESS ROADS TO HAVE AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET 6 INCHES AS REQUIRED PER FC 503.2.1.



STATISTICS
(MAINTAINED LIGHTING LEVELS MEASURED IN FOOTCANDLES)

DESCRIPTION	SYMBOL	AVG.	MAX.	MIN.	AVG./MIN
GENERAL PARKING AND PEDESTRIAN AREAS	+	2.0 FC	9.7 FC	0.1	20.0:1
PERIMETER BEYOND PROPERTY LINE	+	<0.1 FC	0.6 FC	0.0	N/A

NOTES:
1. LIGHT LOSS FACTOR USED FOR ALL POLE MOUNTED LED FIXTURES IS 0.95. LLF FOR WALL MOUNTED AND RECESSED FIXTURES IS 0.90. THESE FACTORS REPLICATE MAINTAINED LUMEN OUTPUT FROM EACH FIXTURE AS REFLECTED IN THE MANUFACTURER'S LITERATURE.
2. ALL CALCULATIONS ARE HORIZONTAL VALUES MEASURED AT GRADE LEVEL.
3. ALL PARKING LOT LIGHT FIXTURES, BOLLARDS AND WALL MOUNTED LIGHT FIXTURES SHOWN ON THE GARAGES AND THE MAIN BUILDING ARE FULL CUTOFF AND ARE SHIELDED.



KIM LIGHTING
COLORADO SPRINGS RLC

CC/CC25
25' Arm Mounted, Curvilinear, Pole Mount
K-LED, 3000K, 4000K, 5000K

TYPE: AA, AB, AC APPROVALS:

FEATURES:
• Full Cutoff Photometric technology
• Available in 5000K, 3000K, 4000K and 5000K
• G10V dimming driver standard
• Standard CCT

CERTIFICATIONS:
• ETL
• UL
• DLC

ORDERING CODE

Model	Arm Length	Beam Spread	Mounting	Options
CC	25'	15°	Side Arm	
CC25	25'	15°	Side Arm	
CC25A	25'	15°	Side Arm	
CC25B	25'	15°	Side Arm	
CC25C	25'	15°	Side Arm	
CC25D	25'	15°	Side Arm	
CC25E	25'	15°	Side Arm	
CC25F	25'	15°	Side Arm	
CC25G	25'	15°	Side Arm	
CC25H	25'	15°	Side Arm	
CC25I	25'	15°	Side Arm	
CC25J	25'	15°	Side Arm	
CC25K	25'	15°	Side Arm	
CC25L	25'	15°	Side Arm	
CC25M	25'	15°	Side Arm	
CC25N	25'	15°	Side Arm	
CC25O	25'	15°	Side Arm	
CC25P	25'	15°	Side Arm	
CC25Q	25'	15°	Side Arm	
CC25R	25'	15°	Side Arm	
CC25S	25'	15°	Side Arm	
CC25T	25'	15°	Side Arm	
CC25U	25'	15°	Side Arm	
CC25V	25'	15°	Side Arm	
CC25W	25'	15°	Side Arm	
CC25X	25'	15°	Side Arm	
CC25Y	25'	15°	Side Arm	
CC25Z	25'	15°	Side Arm	

Notes:
1. All models are 150W.
2. All models are 150W.
3. All models are 150W.
4. All models are 150W.
5. All models are 150W.
6. All models are 150W.
7. All models are 150W.
8. All models are 150W.
9. All models are 150W.
10. All models are 150W.

© 2016 KIM LIGHTING | 1595 East Ave. | City of Industry, CA 91745
763.366.5666 | 1.800.363.2555 | www.kimlighting.com | 1595 East Ave. | City of Industry, CA 91745

HUBBELL Lighting

KIM LIGHTING
COLORADO SPRINGS RLC

PTRS
Round Steel Tapered Pole
revision 10/5/15 - K, J, pins, spec, pdf

TYPE: AA, AB, AC Pole
Job: Colorado Springs RLC
Catalog number: PTRS20

APPROVALS:

DATE: Page 1 of 4

Specifications

Conduit Opening
Press-pack Template

Base Cover
Plan View

Longitudinal Orientation
Orient parallel to curb or walkway.

Leveling Nut and Washer
Anchor Bolt Projection

Anchor Bolt
Cover, Typ. A

Base Detail

Ground must be packed under pole base to insure full contact with footing. Concrete footing must be designed by others. Provide a channel through the ground for drainage from the pole interior.

CAUTION: Insulation of poles without laminated copper pole strength and may result in pole failure.

MAINTENANCE: A regularly scheduled maintenance program must be established to insure the protective paint coating is intact, and anchor bolts are tight. Failure to do so could lead to eventual pole collapse and serious injury or property damage.

CAUTION: Insulation of poles without laminated copper pole strength and may result in pole failure.

© 2016 KIM LIGHTING | 1595 East Ave. | City of Industry, CA 91745
763.366.5666 | 1.800.363.2555 | www.kimlighting.com | 1595 East Ave. | City of Industry, CA 91745

HUBBELL Lighting

SPALDING
LED

ASPRD/TPR
INDUSTRIAL WALLPODS

Model: ASPRD/TPR
Type: B1, G1

PRODUCT IMAGES

Technical Specs:
• 300W LED
• 1500lm
• 1500lm
• 1500lm

INSTALLATION:
• 1500lm
• 1500lm
• 1500lm

ORDERING INFORMATION:

Model	Power	Output	Beam Spread	Mounting
ASPRD/TPR	300W	1500lm	15°	Wall Mount

© 2016 SPALDING LIGHTING | 1595 East Ave. | City of Industry, CA 91745
763.366.5666 | 1.800.363.2555 | www.spaldinglighting.com | 1595 East Ave. | City of Industry, CA 91745

HUBBELL Lighting

GEARY ENGINEERING, INC.
CONSULTANT

7800 O STREET SUITE 100
LINCOLN, NEBRASKA 68510
TEL: (402) 683-7827
FAX: (402) 683-7827

gotham®

6" Evo®
Downlight
Solid State Lighting

ELECTRICAL SYSTEM
This fixture is designed for use in a solid state lighting system. It is not to be used in a traditional incandescent lighting system. The fixture is designed to be used in a solid state lighting system. The fixture is designed to be used in a solid state lighting system. The fixture is designed to be used in a solid state lighting system.

ORDERING INFORMATION

Model	Power	Output	Beam Spread	Mounting
EVO	300W	1500lm	15°	Recessed

© 2016 GOTHAM LIGHTING | 1595 East Ave. | City of Industry, CA 91745
763.366.5666 | 1.800.363.2555 | www.gothamlighting.com | 1595 East Ave. | City of Industry, CA 91745

HUBBELL Lighting

KIM LIGHTING
COLORADO SPRINGS RLC

DSKF1 P2 40K MSP MVOLT THK DBSD

TYPE: S

Specifications

EPA: 0.6 ft
Depth: 8.0 ft
Width: 8.0 ft
Height: 7.3 ft
Overall Height: 8.0 ft
Weight: 7.2 lbs

Ordering Information

Model	Power	Output	Beam Spread	Mounting
DSKF1 P2 40K MSP MVOLT THK DBSD	40K	4000lm	15°	Recessed

© 2016 KIM LIGHTING | 1595 East Ave. | City of Industry, CA 91745
763.366.5666 | 1.800.363.2555 | www.kimlighting.com | 1595 East Ave. | City of Industry, CA 91745

HUBBELL Lighting

KIM LIGHTING
COLORADO SPRINGS RLC

DSKF1 P1 40K MSP MVOLT THK DBSD

TYPE: S1

Specifications

EPA: 0.6 ft
Depth: 8.0 ft
Width: 8.0 ft
Height: 7.3 ft
Overall Height: 8.0 ft
Weight: 7.2 lbs

Ordering Information

Model	Power	Output	Beam Spread	Mounting
DSKF1 P1 40K MSP MVOLT THK DBSD	40K	4000lm	15°	Recessed

© 2016 KIM LIGHTING | 1595 East Ave. | City of Industry, CA 91745
763.366.5666 | 1.800.363.2555 | www.kimlighting.com | 1595 East Ave. | City of Industry, CA 91745

HUBBELL Lighting

KIM LIGHTING
COLORADO SPRINGS RLC

BRA SERIES-LED

TYPE: Z

Specifications

EPA: 0.6 ft
Depth: 8.0 ft
Width: 8.0 ft
Height: 7.3 ft
Overall Height: 8.0 ft
Weight: 7.2 lbs

Ordering Information

Model	Power	Output	Beam Spread	Mounting
BRA	40K	4000lm	15°	Recessed

© 2016 KIM LIGHTING | 1595 East Ave. | City of Industry, CA 91745
763.366.5666 | 1.800.363.2555 | www.kimlighting.com | 1595 East Ave. | City of Industry, CA 91745

HUBBELL Lighting

CAMERON ARCHITECT

402.402.3328
402.402.3328
402.402.3328

130 UNIT RETIREMENT COMMUNITY
COLORADO SPRINGS, CO

DATE: 10/27/2017
MARK: []
DESCRIPTION: []

COPYRIGHT: Cameron General Contractors
SITE LIGHTING CUT SHEETS

E1.1
SHEET 20 of 20
City File Number: CPU CD 17-00160