

# WEBER STREET APARTMENTS

CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO  
DEVELOPMENT PLAN

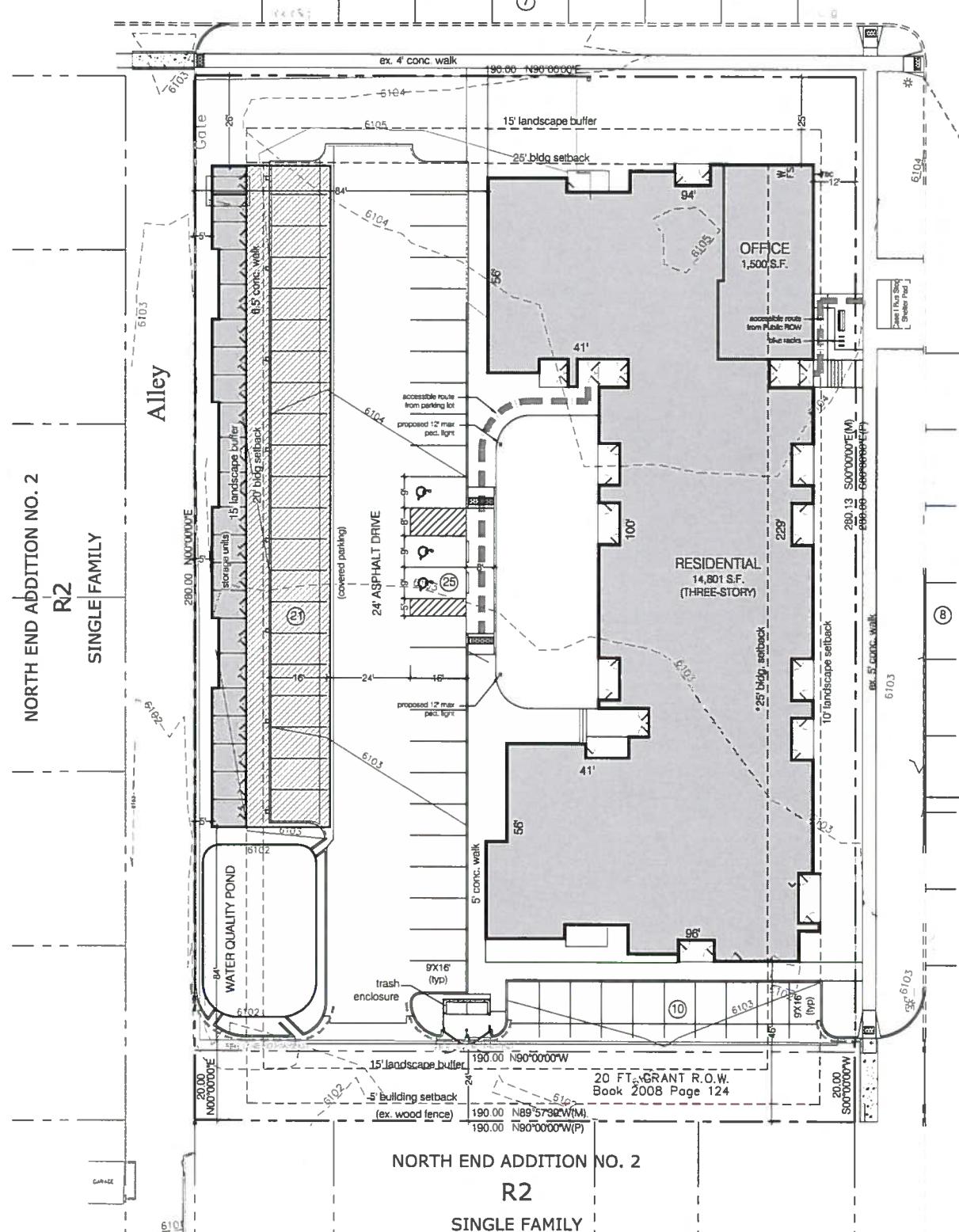
NORTH END ADDITION NO. 2

R2  
SINGLE FAMILY

NORTH END ADDITION NO. 2

R5  
SINGLE FAMILY

E. MADISON STREET  
(NON-ARTERIAL)  
60' PUBLIC ROW - 30' PAVED WIDTH



## LEGAL DESCRIPTION:

LOTS 11, 12, 13, 14, 15, 16 BLK 513 NORTH END ADD 2 COLO SPGS  
CONTAINING AN AREA OF 1.31 ACRES, MORE OR LESS.

## SITE DATA

OWNER: M&M 03 LLC  
C/O Charles Murphy  
2245 Broadway Street  
Colorado Springs, CO 80904

Tax ID Number: 646117001  
Master Plan: North End Neighborhood  
Current Zoning: OR  
Development Schedule: TBD  
Lot Size: 1.31 ac

Building Use: Office/Residential  
Building Size: 16,301sf  
Building Height: 35'

Setbacks\*: Front 25', Side 5', Rear 20'

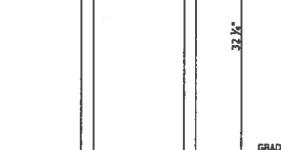
Units: 1-bedroom: 27 units  
2-bedroom: 17 units  
TOTAL: 44 units

Gross Density: 34 units/ac

Parking\* required: 73 spaces  
4 spaces @ 1/400 Office Space  
40 spaces @ 1.5 spaces/1,000sf  
29 spaces @ 1.7 spaces/2,000sf

provided: 56 On-Site Spaces  
3 accessible spaces  
21 covered spaces  
32 standard spaces  
15 Off-Site Spaces

Lot Coverage: 22,520sf (39%) building  
-11,669sf (20%) Impervious



NOTES:  
1. Per FEMA Flood Insurance Rate Map No: 08041C0727 F, this parcel is located in Zone X areas determined to be outside of the 500-year flood plain.  
2. Signage is not required with this plan. A separate sign permit is required. Contact Community Review enterprise at 2680 International Circle for sign plan application.

3. A 3-foot clear space shall be maintained around the circumference of all fire hydrants (2003 IFC §605.5).

4. The mixed use of the building must consist of a minimum of 1,500 sq. ft. and the office use be independent from and not related to the management of the apartment building.

5. All curb, gutter, pedestrian ramps are slowwalk posing a safety hazard, damaged, exhibiting excessive deterioration, or does not meet current City Engineering standards along Weber Street and Madison Street adjacent to the site will need to be removed and replaced. An on-site meeting can be set up with the Engineering Development Review Inspector to determine what, if any improvements are required. The Inspector can be reached at 385-5877.

6. All lighting to be full cut-off shielded LED lights.

7. The 20' Easement/Grant of R.O.W. (Book 2008, Page 124) at the south property line is an easement for the purposes of public access. The 20' Easement is to be owned, operated and maintained as a public alley with this development. A separate license agreement for the purposes of utility services lines is to be recorded with CSU.

**APPROVED  
CITY OF COLORADO SPRINGS**

BY CITY PLANNING

APR 24 2017

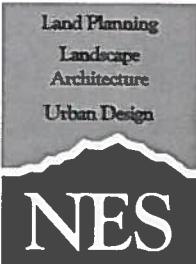
1 BIKE RACK DETAIL

SCALES NOT TO SCALE

0 10 20 40

SHEET INDEX

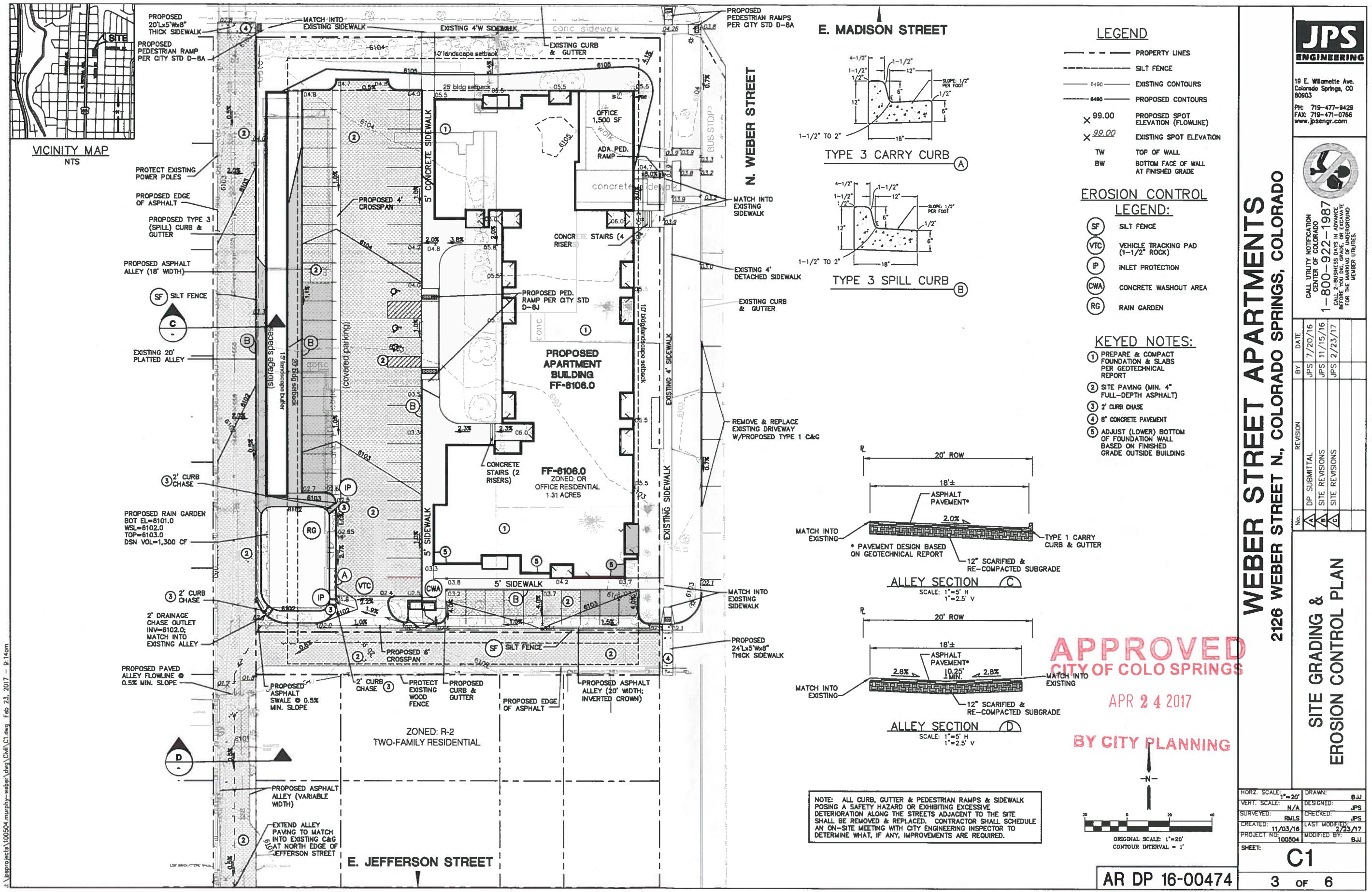
Sheet 1 of 6: Development Plan  
Sheet 2 of 6: Preliminary Landscape Plan  
Sheet 3 of 6: Grading and Erosion Control  
Sheet 4 of 6: Preliminary Utilities  
Sheet 5 of 6: Elevations  
Sheet 6 of 6: Elevations



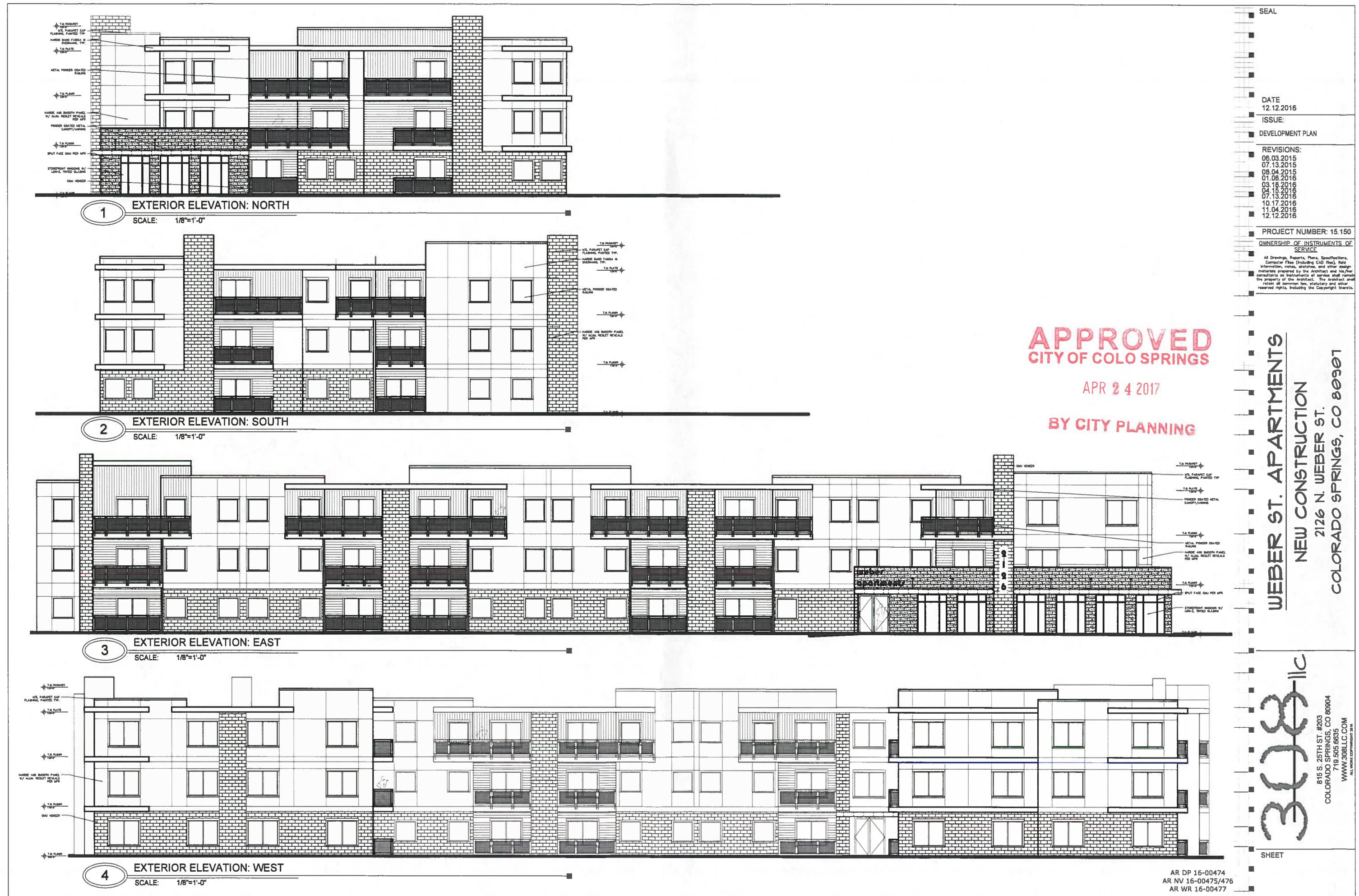
N.E.S. Inc.  
619 N. Cascade Avenue, Suite 200  
Colorado Springs, CO 80903  
Tel. 719.471.0073  
Fax 719.471.0267  
www.nescoolorado.com  
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|   |   |
|---|---|
| PLANNED LANDSCAPE AND SITE                            | IN ADDITION TO THE  |
| WEBER ST.<br>APTS.                                    |   |
| MIXED USE   |   |
| 2126 N. Weber Street                                  |   |
| PROJECT INFO  | DATE: 7.21.16<br>PROJECT MGR: T. Sebert<br>PREPARED BY: J. Romero |
| DEVELOPMENT PLAN AMENDMENT                            | SCALE   |
| DATE: 11.15.16<br>BY: JR<br>DESCRIPTION: CITY COMMENT |   |
| DATE: 12.16.16<br>BY: JR<br>DESCRIPTION: CITY COMMENT |   |
| DATE: 2.27.17<br>BY: JR<br>DESCRIPTION: CITY COMMENT  |   |
| DATE: 3.14.17<br>BY: JR<br>DESCRIPTION: CITY COMMENT  |   |
| DEVELOPMENT PLAN                                      |   |
| SECTION   | 1   |
| SECTION NUMBER  | 1 of 6  |
| PLANS/FIGURES   | AR DP 16-00474<br>AR NV 16-00475/476<br>AR WR 16-00477            |





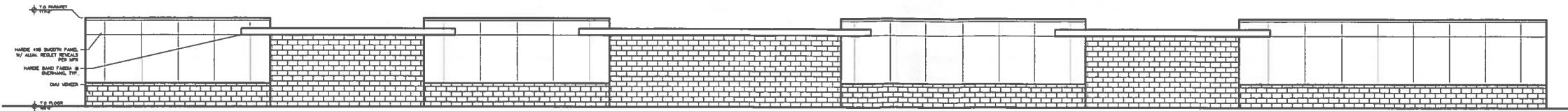




WEBER ST. ARTISTS  
NEW CONSTRUCTION  
2126 N. WEBER ST.  
COLORADO SPRINGS, CO 80901

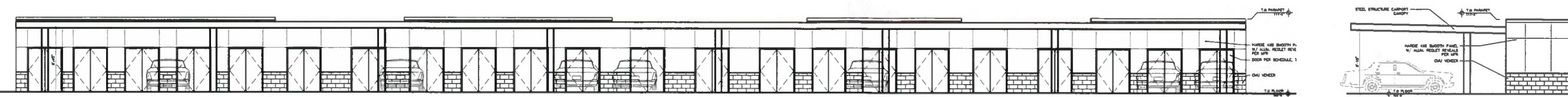
2126 N. WEBER ST.  
COLORADO SPRINGS, CO 80901

815 S. 25TH ST. #203  
COLORADO SPRINGS, CO 80904  
719.505.6835  
[WWW.308LLC.COM](http://WWW.308LLC.COM)  
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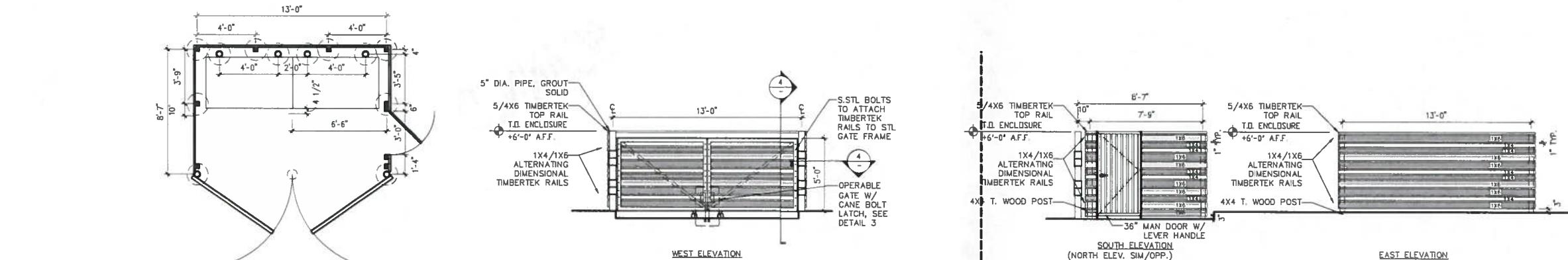
**1A EXTERIOR ELEVATIONS: STORAGE / CARPORT (WEST, FACING ALLEY)**

SCALE: 1/8"=1'-0"



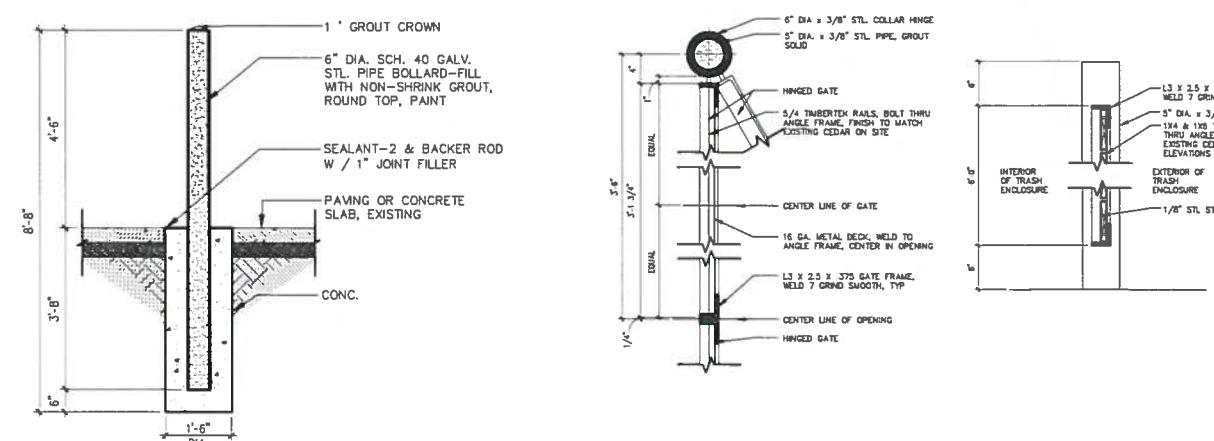
**1B EXTERIOR ELEVATIONS: STORAGE / CARPORT (EAST, FACING BUILDING)**

SCALE: 1/8" = 1'-0"



**3 TRASH ENCLOSURE DETAILS**

3 SCALE: 1/4"=1'-0"



#### 4 BOLLARD DETAIL

4 SCALE: 10"



SCALE: 1"=1' 0"

# APPROVED

## CITY OF COLO SPRINGS

APR 24 2017

## BY CITY PLANNING

AR DP 16-00474  
R NV 16-00475/476  
AR WD 16-00477

# WEBER ST. APARTMENTS

## NEW CONSTRUCTION