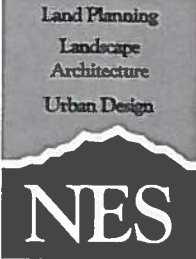
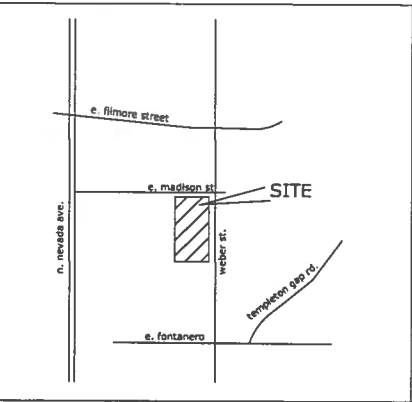


WEBER STREET APARTMENTS
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO
DEVELOPMENT PLAN

VICINITY MAP



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903

Tel. 719.471.0073
Fax 719.471.0267

www.nescolorado.com

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LEGAL DESCRIPTION:

LOTS 11, 12, 13, 14, 15, 16 BLK 513 NORTH END ADD 2 COLO SPGS
CONTAINING AN AREA OF 1.31 ACRES, MORE OR LESS.

SITE DATA

OWNER:	M&M 03 LLC C/O Charles Murphy 2245 Broadway Street Colorado Springs, CO 80904
Tax ID Number:	846117001
Master Plan:	North End Neighborhood
Current Zoning:	OR
Development Schedule:	TBD
Lot Size:	1.31 ac
Building Use:	Office/Residential
Building Size:	16,301sf
Building Height:	35'
Setbacks:	Front: 25' Side: 5' Rear: 20'
Units:	1-bedroom: 27 units 2-bedroom: 17 units TOTAL: 44 units
Gross Density:	34 units/ac
Parking:	required: 73 spaces 4 spaces @ 1/400 Office Space 40 spaces @ 1.5 spaces/bdrm 29 spaces @ 1.7 spaces/2bdrm provided: 56 On-Site Spaces 3 accessible spaces 21 covered spaces 32 standard spaces 15 Off-Site Spaces 8 Spaces - Weber Street (Westside only) 7 spaces - Madison Street (Northside only)
Lot Coverage:	-22,620sf (39%) building -11,668sf (20%) impervious

PROJECT DESCRIPTION:

Proposed Development Plan addresses the development of a 17,638sf Mixed Use Building in an existing OR Zone.

*VARIANCE TABLE

Request	Code Section	Description
Reduction in Parking (AR NV 16-00475)	7.4.203a	Reduction in parking exceeding 25% allowance. Use of on-street parking to meet parking needs.

Reduced Bldg Setback (AR NV 16-00475)	7.3.204	Reduced setback at Weber Frontage.
--	---------	------------------------------------

NOTES:

- Per FEMA Flood Insurance Rate Map No: 08041C027 F, this parcel is located in Zone X areas determined to be outside of the 500-year flood plain.
- Signage is not approved with this plan. A separate sign permit is required. Contact development review enterprise at 2680 International circle for sign plan applications.
- A 3-foot clear space shall be maintained around the circumference of all fire hydrants (2003 IFC §508.5.5).
- The mixed use of the building must consist of a minimum of 1,500 sq. ft. and the office use be independent from and not related to the management of the apartment building.
- All curbs, gutters, pedestrian ramps and sidewalks posing a safety hazard, damaged, exhibiting excessive deterioration, or does not meet current City Engineering standards along Weber Street and Madison Street adjacent to the site will need to be removed and replaced. An on-site meeting can be set up with the Engineering Department. Review Inspector to determine what, if any improvements are required. The Inspector can be reached at 385-5877.
- All lighting to be full cut-off shielded LED lights.
- The 20' Easement/Grant of R.O.W. (Book 2008, Page 124) at the south property line is an easement for the purposes of public access. The 20' Easement is to be owned, operated and maintained as a public alley with this development. A separate license agreement for the purposes of utility services lines is to be recorded with CSU.

WEBER ST. APTS.

MIXED USE

2126 N. Weber Street

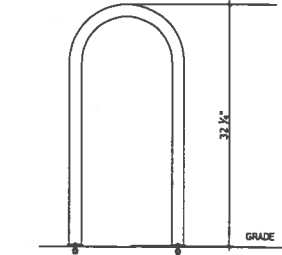
DEVELOPMENT
PLAN AMENDMENT

DATE:	BY:	DESCRIPTION:
11.15.16	JR	CITY COMMENT
12.16.16	JR	CITY COMMENT
2.27.17	JR	CITY COMMENT
3.14.17	JR	CITY COMMENT

DEVELOPMENT PLAN

1
1 OF 6

AR DP 16-00474
AR NV 16-00475/476
AR WR 16-00477



NOTES:
1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
2. POWDER COATED (COLOR BY OWNER). SEE MANUFACTURER'S SPECIFICATIONS.



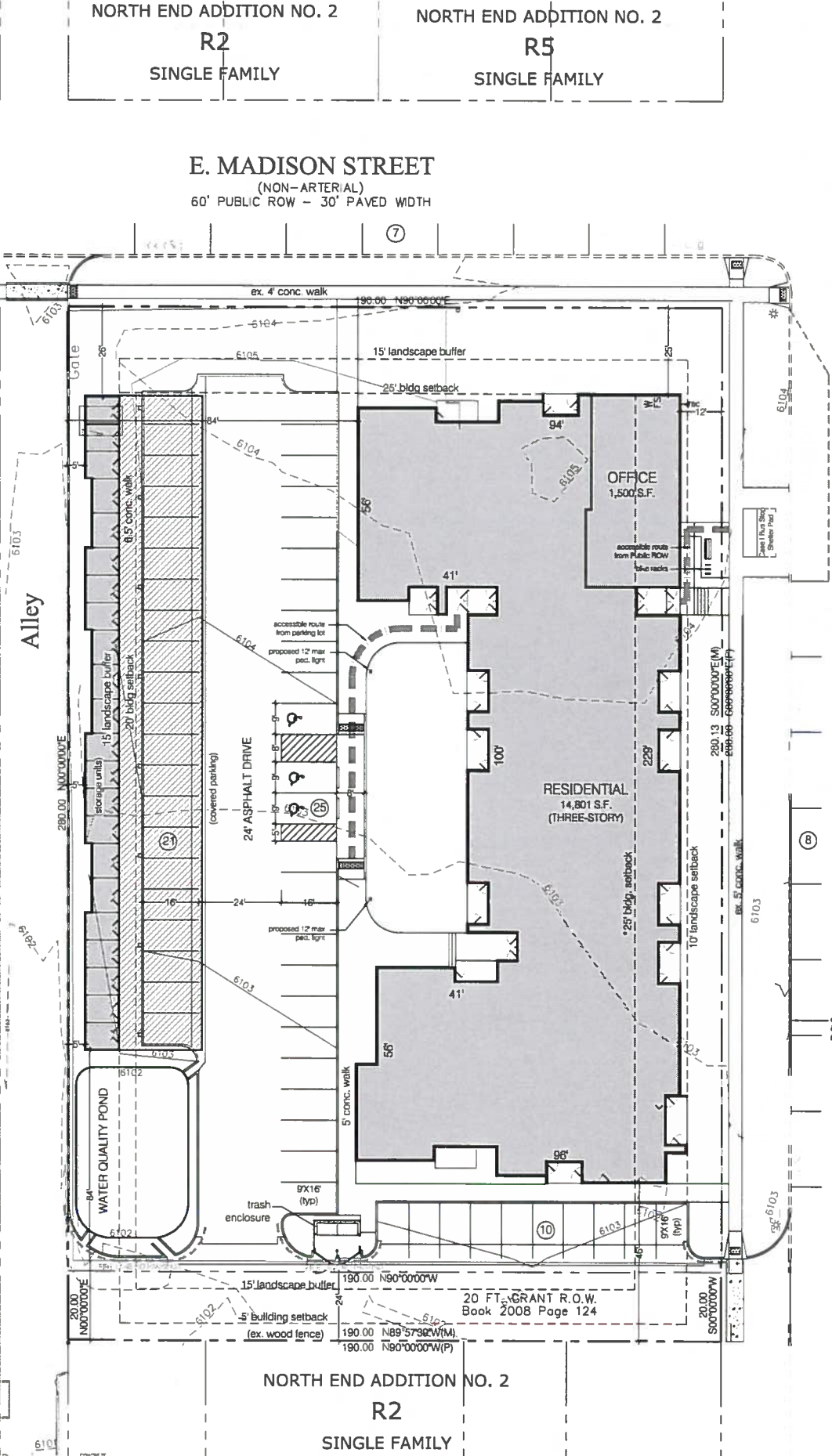
APPROVED
CITY OF COLO SPRINGS

APR 24 2017

BY CITY PLANNING

SHEET INDEX

Sheet 1 of 6:	Development Plan
Sheet 2 of 6:	Preliminary Landscape Plan
Sheet 3 of 6:	Grading and Erosion Control
Sheet 4 of 6:	Preliminary Utilities
Sheet 5 of 6:	Elevations
Sheet 6 of 6:	Elevations

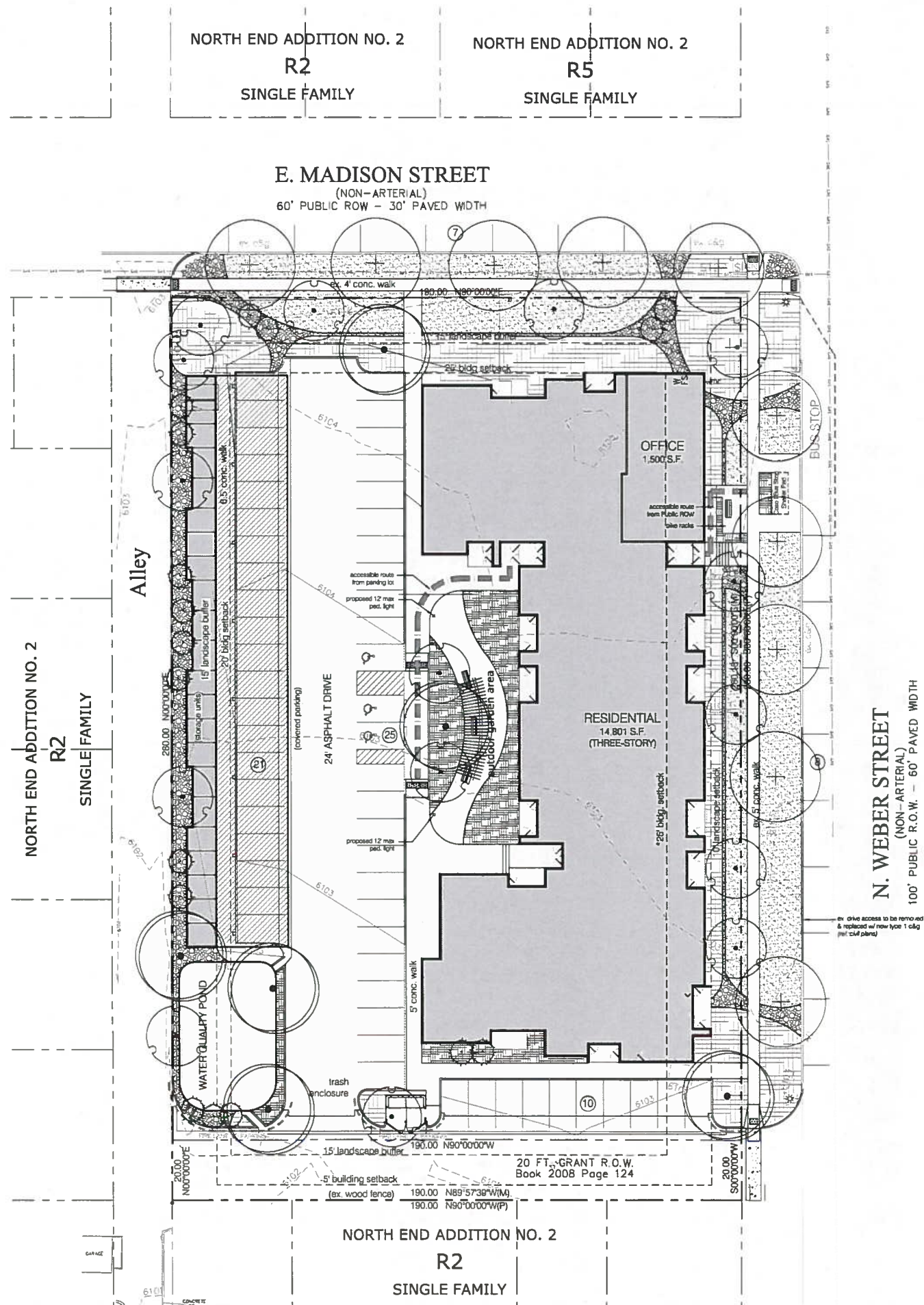


N. WEBER STREET
(NON-ARTERIAL)
100' PUBLIC R.O.W. - 60' PAVED WIDTH

NORTH END ADDITION NO. 2
R2
SINGLE FAMILY

NORTH END ADDITION NO. 2
PBC
COMMERCIAL

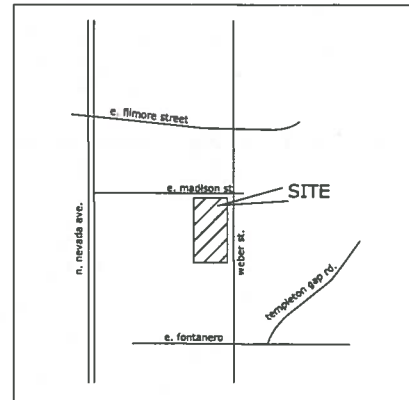
P:\Utility\Weber Street\Drawings\Planning\Weber Land\Weber Land.mxd [P:\E\LM_L5] 4/21/2017 3:54:38 PM Jramona



CONCEPT PLANT SCHEDULE

	DECIDUOUS Utilized for City Setback, Internal and Parking tree requirements.	6
	EX. TREE Existing trees on site to remain. To be utilized for required setback tree plantings.	10
	ORNAMENTAL Utilized for City Setback and Internal tree requirements.	16
	EVERGREEN 2 Utilized for City Buffer requirements	16
	PLANTER BEDS Utilized for ground plane planting & parking lot screening	6,571 sf
	COBBLE	2,763 sf
	TURF/SOD	7,350 sf

VICINITY MAP



LANDSCAPE NOTES

- SOIL AMENDMENT - INCORPORATE 3 CUBIC YARDS/1000 SF AREA OF PREMIUM 3 ORGANIC COMPOST (TYPE II) ON BLUEGRASS TURF AREAS. INCORPORATE 2 CUBIC YARDS/1000 SF AREA OF ORGANIC COMPOST (DECOMPOSED MANURE) TO ALL NATIVE SEED AREAS. TILL INTO TOP 6" OF SOIL. AMENDMENTS ARE BASED ON SOIL ANALYSIS.
- CONTRACTOR TO UTILIZE STOCKPILED TOPSOIL FROM GRADING OPERATION AS AVAILABLE. TILL INTO TOP 6" OF SOIL.
- FOR GRADING PLAN, REFER TO CIVIL ENGINEER'S DRAWINGS.
- FOR STANDARD LIGHTING AND LOCATIONS, REFER TO PHOTOMETRIC PLAN.
- A FULLY AUTOMATED SPRINKLER IRRIGATION SYSTEM WILL DRIP IRRIGATE ALL TREE, SHRUB, AND GROUND COVER PLANTING AREAS AND SPRAY ANY TURF. IRRIGATION PLAN WILL INCLUDE AN IRRIGATION SCHEDULE THAT NOTES APPLICATION RATES BASED ON TURF TYPE, AND NOTES RATES FOR NEWLY PLANTED PLANTS VS. ESTABLISHED PLANTS AND GENERAL RECOMMENDATIONS REGARDING SEASONAL ADJUSTMENTS (SPRING AND FALL).
- NATIVE SEED AREAS TO USE SEED MIX SPECIFIED ON THIS SHEET. ALL SEED AREAS SHALL BE IRRIGATED UNTIL ESTABLISHMENT. SUBMIT SEED MIX PRODUCT INFORMATION TO L.A. FOR APPROVAL PRIOR TO INSTALLATION.
- EROSION CONTROL BLANKET TO BE APPLIED ON ALL SEED AREAS WITH GREATER THAN 3:1 SLOPES.
- ALL PLANTS AND TREES NOT INSTALLED IN PLANTING BEDS TO RECEIVE 3 INCH DEPTH WOOD MULCH RING UNLESS OTHERWISE SPECIFIED. MULCH RINGS TO BE SIZED PER PLANTING DETAILS.
- SOD SHALL BE KENTUCKY BLUEGRASS BLEND.
- SE: SOLID STEEL EDGING TO BE: "DURAEDGE" (1/8" THICK x 4" WIDE) STEEL LANDSCAPE EDGING, GREEN COLOR, WITH ROLLED EDGE AND STEEL STAKES. USE SOLID STEEL EDGING EXCEPT WHERE NOTED ON THE PLANS.
- COBBLE: 2-4" BLUE GREY, AT 3-4" DEPTH, AT ALL INTERSECTION CORNERS BETWEEN HANDICAP RAMPS. INSTALL GEOTEXTILE FABRIC UNDER ALL COBBLE AREAS.
- ROCK MULCH: 3/4" BLUE GREY. INSTALL GEOTEXTILE FABRIC UNDER ALL ROCK AREAS.
- ALL PLANTS NOT LABELED AS FULFILLING A CITY LANDSCAPE REQUIREMENT ARE "EXTRA" PER CITY STANDARDS, AND WILL BE INSTALLED AT THE OWNER'S DISCRETION.
- A FINAL LANDSCAPE AND IRRIGATION PLAN MUST BE SUBMITTED FOR REVIEW WITHIN 90 DAYS SUBSEQUENT TO RECEIVING BUILDING PERMIT. THE PLAN MUST BE APPROVED PRIOR TO THE INSTALLATION OF ANY LANDSCAPE AND IRRIGATION COMPONENTS AND/OR ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- INSPECTION AND APPROVAL: NOTIFICATION FOR IRRIGATION INSPECTION AFFIDAVIT SHALL BE GIVEN DURING CONSTRUCTION WHILE TRENCH IS OPEN AND AFTER COMPLETION OF SYSTEM INSTALLATION PRIOR TO SEEDING OR SODDING. THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO CLIENT SEEKING CERTIFICATE OF OCCUPANCY FOR FINAL LANDSCAPE INSPECTION AFFIDAVIT.
- ANY FIELD CHANGES OR DEVIATIONS TO THESE PLANS WITHOUT PRIOR CITY APPROVAL OF AN AMENDED DEVELOPMENT PLAN MAY RESULT IN A DELAY OF FINAL APPROVAL AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- THESE PLANS ARE FOR CITY APPROVALS ONLY AND ARE NOT TO BE UTILIZED FOR CONSTRUCTION.

Landscape Setbacks

See Code Section/Policy 320 & 317

Street Name or Zone Boundary	Street Classification	Width (In Ft.) Reg./Prov.	Linear Footage	Tree/Feet Required	No. of Trees Reg./ Prov.
Weber Street	Principal Arterial	25' / 10'	300'	1 / 20'	15 / 11
Shrub Substitutes Required / Provided	Ornamental Grass Sub. Required / Provided	Setback Plant Abbr. Denoted on Plan	Percent Ground Plane Veg. Req. / Provided		
40 / 40	x/x	--	75% / 75%		

Internal Landscaping

See Code Section/Policy 322 & 317

Net Site Area (SF)	Percent Minimum Internal Area (%)	Internal Area (SF) Required / Provided	Internal Trees (1/500 SF) Required / Provided
57,064 F.	15%	8,560sf / 8,610sf	17 / 0
Shrub Substitutes Required / Provided	Ornamental Grass Sub. Required / Provided	Setback Plant Abbr. Denoted on Plan	Percent Ground Plane Veg. Req. / Provided
170 / 120	100 / 100	--	75% / 75%

Motor Vehicle Lots

See Code Section/Policy 321 & 317

No. of Vehicles Spaces Provided	Shade Trees (1/15 spaces) Required / Provided	Vehicle Lot Frontages	Length of Frontage (excluding driveways)	2/3 Length of Frontage (ft.)
58	4 / 4 (N/V)	Weber Street	280'	186'
Min. 3' Screening Plants Req. / Prov.	Evergreen Plants Req. (50%) / Prov.	Length of Screening Wall or Berm Provided	Vehicle Lot Plant Abbr. on Plan	Percent Ground Plane Veg. Req. / Prov.
-- / --	-- / --	--	--	75% / 75%

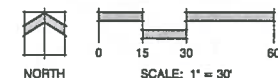
Landscape Buffer & Screens

Street Name or Property Line	Width (In Ft.) Req. Prov.	Linear Footage	Buffer Trees (1/20') Required / Provided	Evergreen Trees Req. (50%) / Prov.
West Property	15' / 15'	280'	14 / 14	7 / 7
North Property	15' / 15'	166'	8 / 8	4 / 4
South Property	15' / 15'	166'	8 / 8	4 / 8
Length of 6' Opaque Structure Req./Prov.	Buffer Tree Abbr. Denoted on Plan	Percent Ground Plane Veg. Req. / Prov.		
0 / 100	--	75% / 75%		

Any trees labeled as Extra (EX) are in addition to the City Requirements and are at the owners discretion.
* Alternative Compliance Requested.

APR 24 2017

BY CITY PLANNING



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903

Tel. 719.471.0073
Fax 719.471.0267

www.nescolorado.com

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WEBER ST. APTS

MIXED USE

2126 N. Weber Street

DATE: 7.21.16
PROJECT MGR: T. Seibert
PREPARED BY: J. Ramona

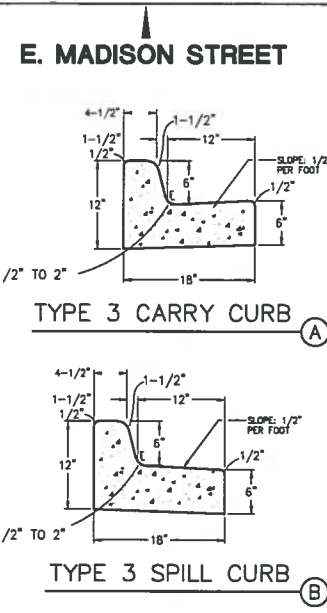
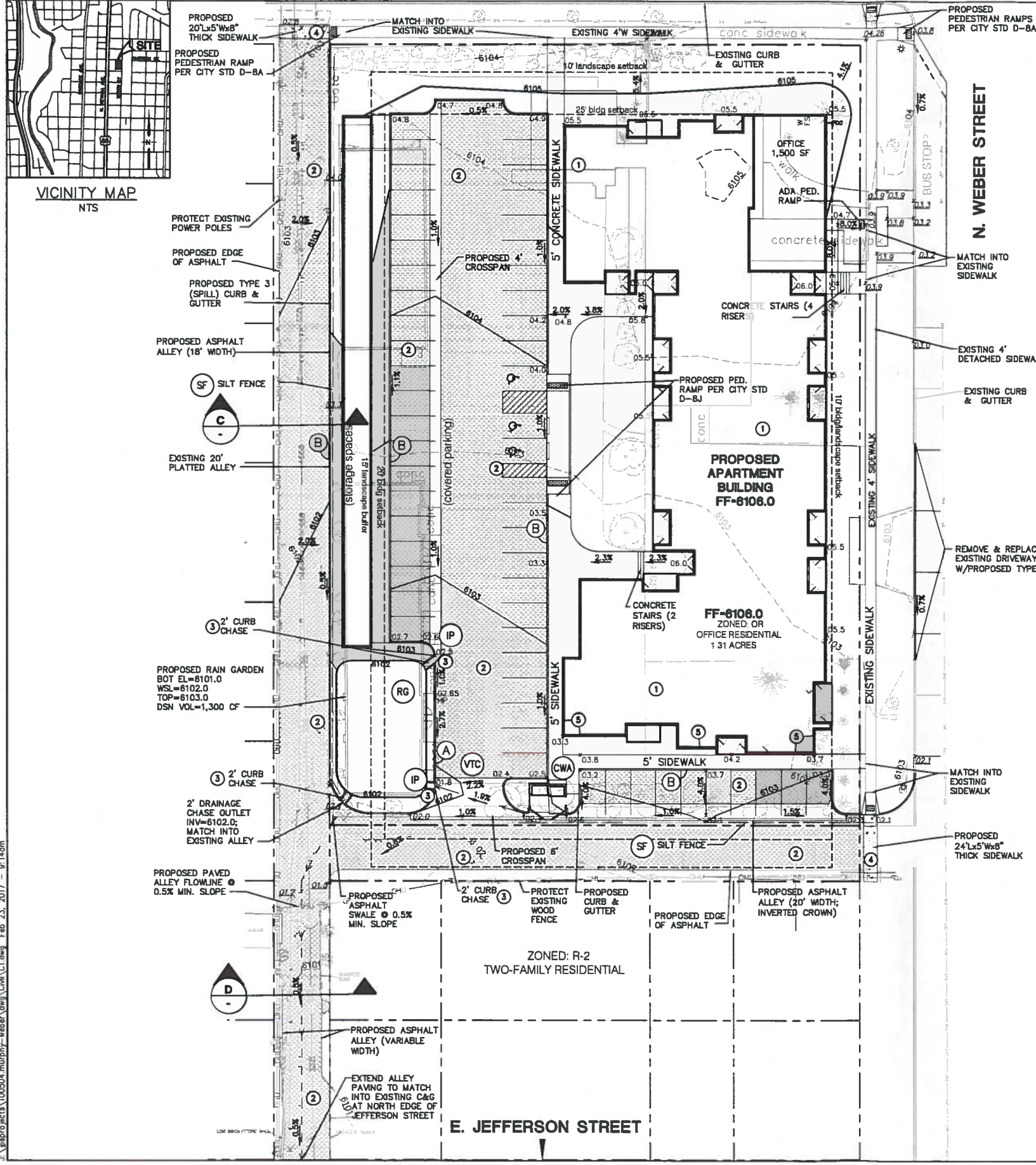
ENTITLEMENT

DATE	BY	DESCRIPTION
11.15.16	JR	CITY COMMENT
12.16.16	JR	CITY COMMENT
2.27.17	JR	CITY COMMENT
3.14.17	JR	CITY COMMENT

PRELIMINARY LANDSCAPE PLAN

2
OF 6

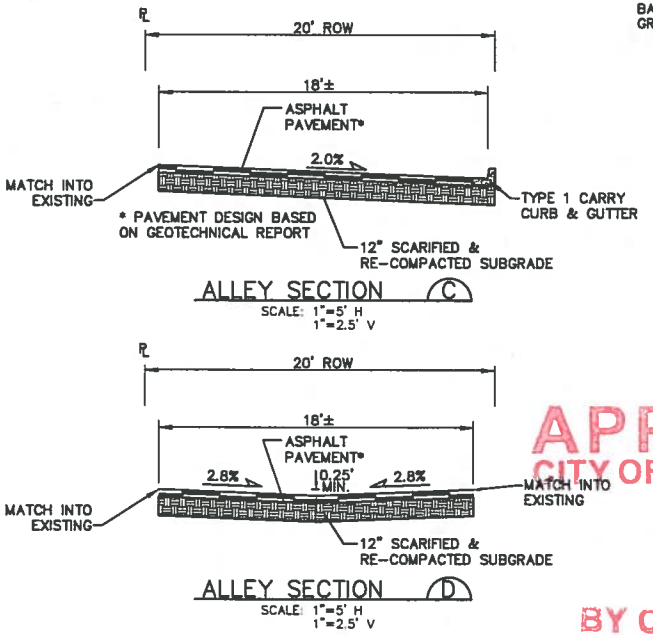
AR DP 16-00474
AR NV 16-00475/476
AR WR 16-00477



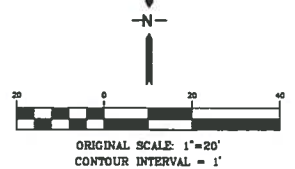
- LEGEND**
- PROPERTY LINES
 - SILT FENCE
 - EXISTING CONTOURS
 - PROPOSED CONTOURS
 - X 99.00 PROPOSED SPOT ELEVATION (FLOWLINE)
 - X 99.00 EXISTING SPOT ELEVATION
 - TW TOP OF WALL
 - BW BOTTOM FACE OF WALL AT FINISHED GRADE

- EROSION CONTROL LEGEND:**
- SF SILT FENCE
 - VTC VEHICLE TRACKING PAD (1-1/2" ROCK)
 - IP INLET PROTECTION
 - CWA CONCRETE WASHOUT AREA
 - RG RAIN GARDEN

- KEYED NOTES:**
- 1 PREPARE & COMPACT FOUNDATION & SLABS PER GEOTECHNICAL REPORT
 - 2 SITE PAVING (MIN. 4" FULL-DEPTH ASPHALT)
 - 3 2" CURB CHASE
 - 4 8" CONCRETE PAVEMENT
 - 5 ADJUST (LOWER) BOTTOM OF FOUNDATION WALL BASED ON FINISHED GRADE OUTSIDE BUILDING



NOTE: ALL CURB, GUTTER & PEDESTRIAN RAMPS & SIDEWALK POSING A SAFETY HAZARD OR EXHIBITING EXCESSIVE DETERIORATION ALONG THE STREETS ADJACENT TO THE SITE SHALL BE REMOVED & REPLACED. CONTRACTOR SHALL SCHEDULE AN ON-SITE MEETING WITH CITY ENGINEERING INSPECTOR TO DETERMINE WHAT, IF ANY, IMPROVEMENTS ARE REQUIRED.



AR DP 16-00474

WEBER STREET APARTMENTS
2126 WEBER STREET N., COLORADO SPRINGS, COLORADO

SITE GRADING & EROSION CONTROL PLAN



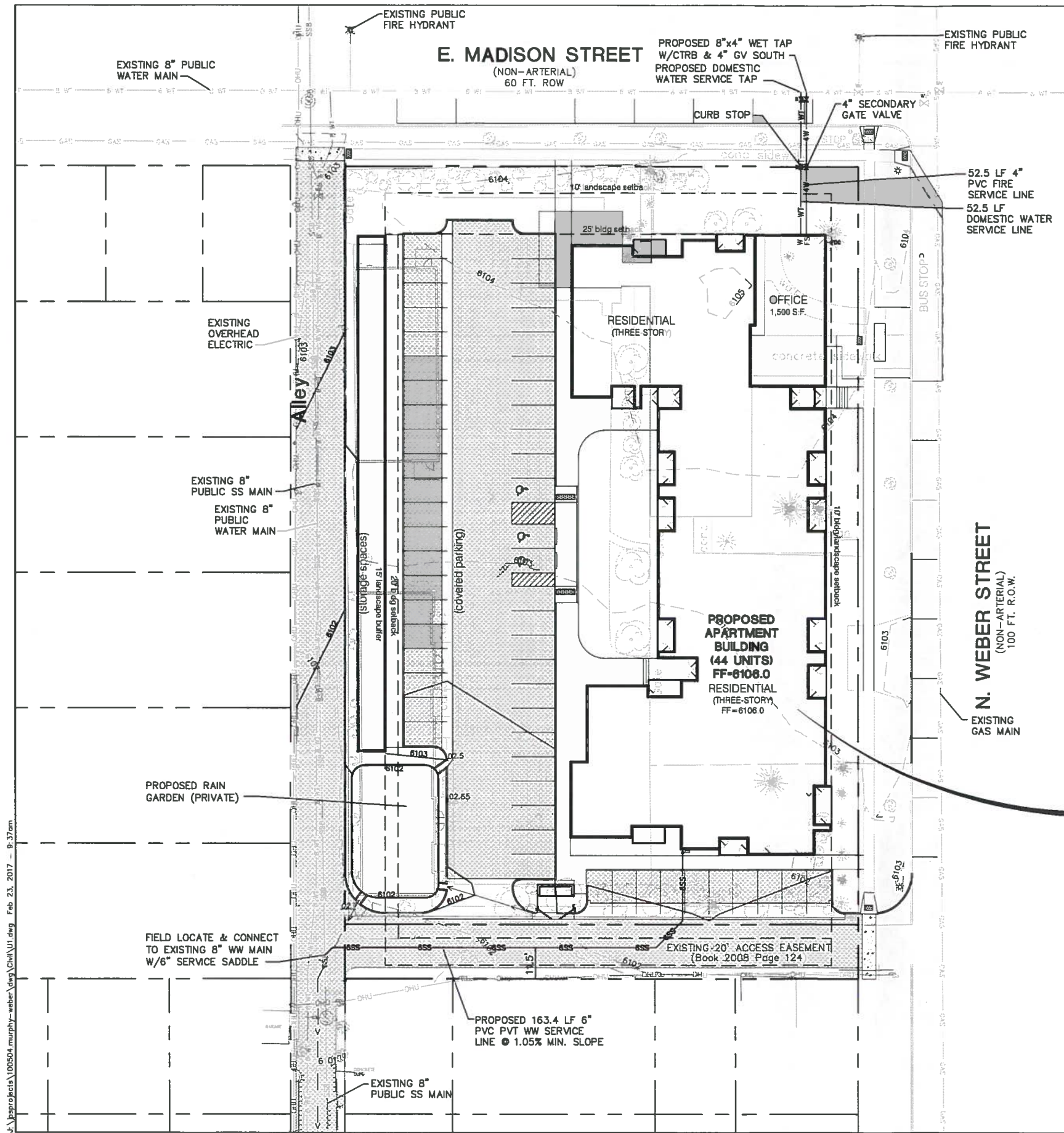
19 E. Wilamette Ave.
Colorado Springs, CO 80903
PH: 719-477-9428
FAX: 719-471-0766
www.jpsengr.com



CALL UTILITY NOTIFICATION
CENTER OF COLORADO
1-800-922-1987
CALL 2-BUSINESS DAYS IN ADVANCE
FOR THE MARKING OF UNDERGROUND
MEMBER UTILITIES.

HORIZ. SCALE: 1"=20'	DRAWN: BJW
VERT. SCALE: N/A	DESIGNED: JPS
SURVEYED: RML	CHECKED: JPS
CREATED: 11/03/16	LAST MODIFIED: 2/23/17
PROJECT NO: 100504	MODIFIED BY: BJW
SHEET: C1	

J:\projects\100504_murphy-weber\dwg\civil\U1.dwg Feb 23, 2017 - 9:37am



- General Notes for all Preliminary Utility Plans**
(required for all Development Plan submittals)
- Property Owner(s) acknowledge and agree to the following upon approval of Preliminary Utility Plan:
1. This drawing is a Preliminary Utility Plan and therefore, Colorado Springs Utilities shall make the final determination of the location of all water, wastewater, electric, and gas facilities, which may not be the same location as shown on this Preliminary Utility Plan.
 2. Property Owner(s) ("Owner") acknowledge that the connection and/or extension of utility services to the property identified in this Preliminary Utility Plan ("Property") shall be in accordance with all applicable codes and regulations, Springs Utilities' Line Extension and Service Standards ("Standards"), tariffs, rules, regulations, and policies, City ordinances, resolutions, and policies, and Pikes Peak Regional Building Department codes, in effect at the time of utility service connection and/or extension.
 3. Owner acknowledges responsibility for the costs of extensions or utility system improvements that Springs Utilities determines necessary to provide utility services to the Property or to ensure timely development of integrated utility systems serving the Property and areas outside the Property (including the costs to design and install all potable and non-potable water system facilities and appurtenances, and all wastewater collection system facilities and appurtenances, and any water or wastewater service lines to and within the Property). Owner may be eligible for a cost Recovery Agreement as provided in Utilities' Rules and Regulations.
 4. Springs Utilities' utility services are available on a "first-come, first-served" basis, and therefore no specific allocations or amounts of utility services, facilities, capacities or supplies are reserved for the Owner, and Springs Utilities makes no commitment as to the availability of any utility service until such time as permanent service is initiated.
 5. Only with the prior written approval by Springs Utilities, Owner may cause the relocation or alteration of any existing utility facilities within the Property at the Owner's sole cost and expense. If Springs Utilities determines that Owner's relocation or alteration requires new or updated easements, Owner shall convey those easements prior to relocating or altering the existing utility facilities.
 6. Owner, at its sole cost and expense, shall dedicate by plat and/or convey by recorded document, all property and easements that Springs Utilities determines are required for all utility system facilities necessary to serve the Property or to ensure development of an integrated utility system. All easements granted by separate instrument shall utilize Springs Utilities' then-current Permanent Easement Agreement form (or Executive Agreement form) without modification unless approved by Springs Utilities.
 7. The water distribution system facilities must meet Springs Utilities' criteria for water quality, reliability and pressure, including looping requirements (see Section 4.08 of Springs Utilities' Water Standards).
 8. Owner recognizes that the extension of water system facilities may affect the quality of water in Springs Utilities' water system. When water quality is affected, Owner acknowledge responsibility for any costs that Springs Utilities determines necessary to incur in order to maintain water quality in its system as a result of Owner's water system extensions (Water-quality Maintenance Costs). Owner shall reimburse Springs Utilities for such Water-quality Maintenance Costs within thirty (30) days of receipt of an invoice for such costs.
 9. Owner must contact Springs Utilities Field Engineering to secure approval of gas-service-line pressures in excess of Springs Utilities' standard gas-system pressure, and the location of all meters and transformers. (Contact North Work Center 688-4985 or South Work Center 688-5564).
 10. It shall not be permissible for any person to modify the grade of the earth on any Springs Utilities easement or rights of way without the written approval of Springs Utilities (City Code 12.2.540).
 11. Springs Utilities' approval of this Preliminary Utility Plan shall not be construed as a limitation upon the authority of Springs Utilities to apply its Standards, and if there are any conflicts between any approved drawings and any provision of Standards or the City Code, then the Standards shall apply. Springs Utilities' approval of this Preliminary Utility Plan shall not be construed as a limitation upon the authority of the City or the Springs Utilities to adopt different ordinances, rules, regulations, resolutions, policies or codes which change any of the provisions of the Standards so long as these apply to the City generally and are in accordance with the then-current tariffs, rates, rules, regulations and policies of Springs Utilities.

EXISTING 8" PUBLIC WATER MAIN

APARTMENT BUILDING
2126 WEBER STREET N.
COLORADO SPRINGS, CO

52,180 SQ. FT.
TYPE V-B
6,250 GPM
REDUCED 50% FOR SPRINKLER

3,250 GPM
3 HYDRANTS
400' MAX. SPACING
BETWEEN HYDRANTS
225' MAX. HOSE LAY

SPRINKLED BUILDING (N)
AREA SEPARATION WALLS (N)

APR 24 2017

BY CITY PLANNING

AR DP 16-00474

WEBER STREET APARTMENTS
2126 WEBER STREET N., COLORADO SPRINGS, COLORADO

**PRELIMINARY UTILITY AND
PUBLIC FACILITIES PLAN**



19 E. Wilametta Ave.
Colorado Springs, CO
80903
PH: 719-477-9429
FAX: 719-471-0766
www.jpsengr.com



CALL UTILITY NOTIFICATION
CENTER OF COLORADO
1-800-922-1987
CALL 2-BUSINESS DAYS IN ADVANCE
FOR THE MARKING OF UNDERGROUND
UTILITIES.

NO.	REVISION	DATE	BY
1	DP SUBMITTAL	7/20/16	JPS
2	SITE REVISIONS	2/23/17	JPS

HORIZ. SCALE: 1"=20'	DRAWN: RMD
VERT. SCALE: N/A	DESIGNED: JPS
SURVEYED: RMLS	CHECKED: JPS
CREATED: 10/12/05	LAST MODIFIED: 2/23/17
PROJECT NO: 100504	MODIFIED BY: B&J

SHEET: **U1**
4 OF 6



1 EXTERIOR ELEVATION: NORTH
SCALE: 1/8"=1'-0"



2 EXTERIOR ELEVATION: SOUTH
SCALE: 1/8"=1'-0"



3 EXTERIOR ELEVATION: EAST
SCALE: 1/8"=1'-0"



4 EXTERIOR ELEVATION: WEST
SCALE: 1/8"=1'-0"

SEAL

DATE
12.12.2016

ISSUE:

DEVELOPMENT PLAN

REVISIONS:

05.03.2015
07.13.2015
09.04.2015
01.06.2016
03.18.2016
04.15.2016
07.13.2016
10.17.2016
11.04.2016
12.12.2016

PROJECT NUMBER: 15.150

OWNERSHIP OF INSTRUMENTS OF SERVICE

All Drawings, Reports, Plans, Specifications, Computer Files (including CAD Files), field information, notes, sketches, and other design materials prepared by the Architect and his/her consultants as instruments of service shall remain the property of the Architect. The Architect shall retain all common law, statutory and other reserved rights, including the Copyright therein.

APPROVED
CITY OF COLO SPRINGS

APR 24 2017

BY CITY PLANNING

WEBER ST. APARTMENTS

NEW CONSTRUCTION

2126 N. WEBER ST.

COLORADO SPRINGS, CO 80901

3038-11C

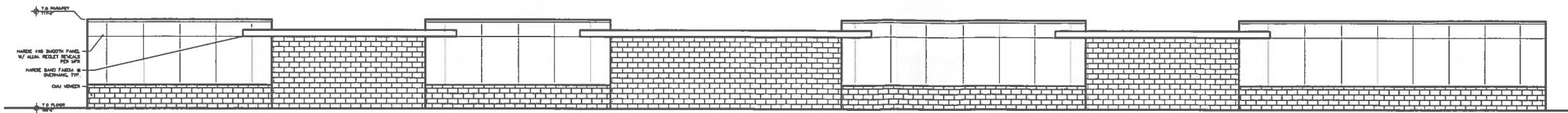
815 S. 25TH ST. #203
COLORADO SPRINGS, CO 80904

719.505.6835
WWW.SOBLLC.COM

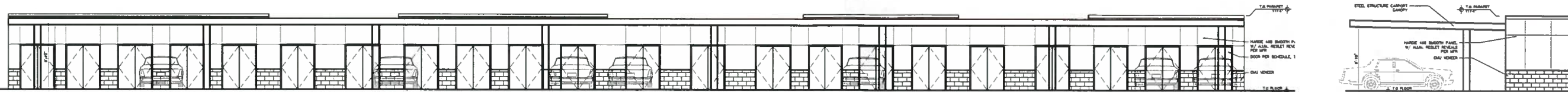
ALL WORK COPYRIGHT 2017

SHEET

AR DP 16-00474
AR NV 16-00475/476
AR WR 16-00477

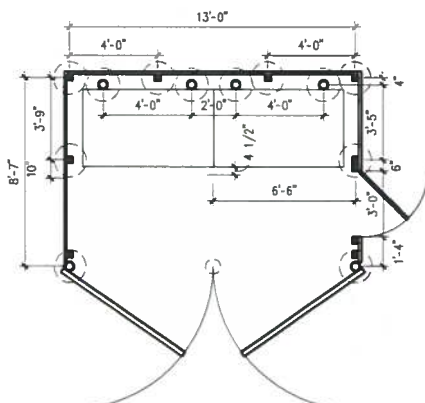


1A EXTERIOR ELEVATIONS: STORAGE / CARPORT (WEST, FACING ALLEY)
SCALE: 1/8"=1'-0"

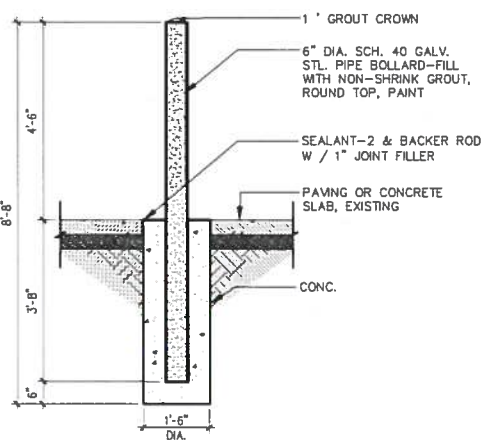
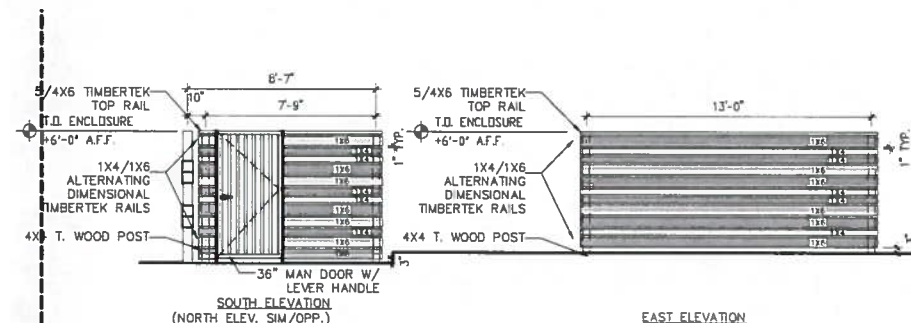
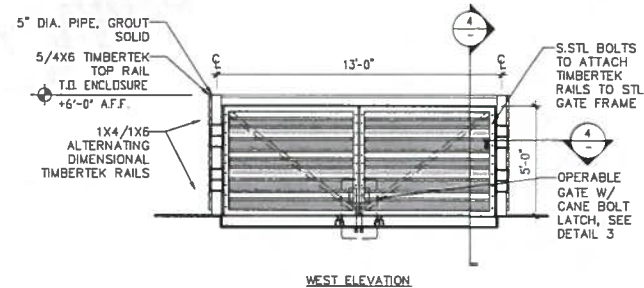


1B EXTERIOR ELEVATIONS: STORAGE / CARPORT (EAST, FACING BUILDING)
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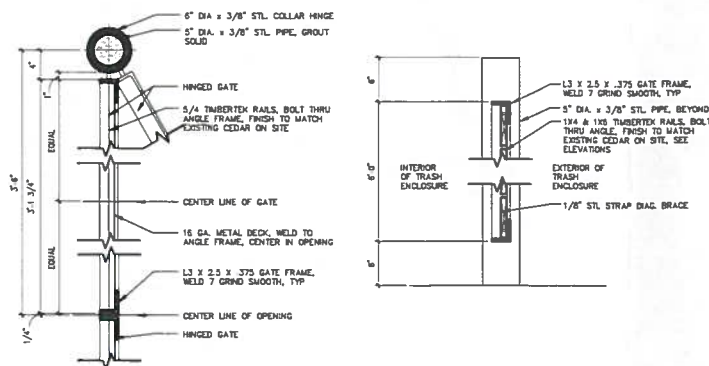
1C EXTERIOR ELEVATIONS: STORAGE / CARPORT (N/S SIM)
SCALE: 1/8"=1'-0"



3 TRASH ENCLOSURE DETAILS
SCALE: 1/4"=1'-0"



4 BOLLARD DETAIL
SCALE: 1/2"=1'-0"



5 GATE/SCREEN WALL DETAILS
SCALE: 1"=1'-0"

APPROVED
CITY OF COLO SPRINGS

APR 24 2017

BY CITY PLANNING

SEAL

DATE
12.12.2016

ISSUE:

DEVELOPMENT PLAN

REVISIONS:
06.03.2015
07.13.2015
08.04.2015
01.08.2016
03.18.2016
04.15.2016
07.13.2016
10.17.2016
11.04.2016
12.12.2016

PROJECT NUMBER: 15.150

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WEBER ST. APARTMENTS
NEW CONSTRUCTION
2126 N. WEBER ST.
COLORADO SPRINGS, CO 80901

3033-11c

815 S. 25TH ST. #203
COLORADO SPRINGS, CO 80904
719.595.6635
WWW.303LLC.COM
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SHEET

AR DP 16-00474
AR NV 16-00475/476
AR WR 16-00477