

# BURGERWORKS EAST FILLMORE STREET LOT 1 CPRE REPLAT CITY OF COLORADO SPRINGS, COLORADO DEVELOPMENT PLAN



NES, Inc.  
619 N. Cascade Avenue, Suite 200  
Colorado Springs, CO 80903  
Tel. 719.471.0073  
Fax 719.471.0267  
www.nesincolorado.com

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## BURGERWORKS LOT 1 CPRE REPLAT 706 EAST FILLMORE STREET

04/29/2022  
A. BARGOYEN  
B. HENNING

### ENTITLEMENT

DATE	BY	REVISION
07/27/2022	BP	FINAL PERMITS
09/06/2023	BP	RECALL REVIEW
12/19/2023	BP	RECALL REVIEW
01/04/2024	BP	RECALL REVIEW
		COMMENTS

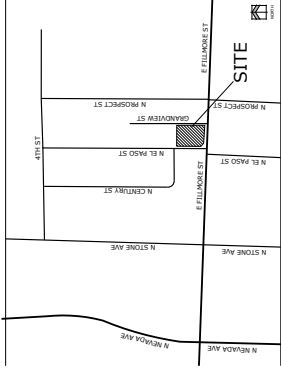
### COVER SHEET

1

1 OF 14

DEPN 22-0074

### VICINITY MAP



### SITE DATA

Site ID Number: 613227008 / 613227007 / 613227021 / 613227031  
 Development Schedule: Spring 2023  
 Current Zoning: C-17 (M) (Intermediate Business / Light Industrial)  
 Current Use: Restaurant  
 Building Area (Total Building Footprint): 13,167 sq. ft. (Total Restaurant Building Area) / 4,299 sq. ft. (Total Retail Area)  
 Maximum Height (at corner): 17' - 0"  
 Building Setback (Front Street): 20'  
 Area (Total Boundary): 20'  
 Landscaping: 20'  
 Site Elevation: 5175'±  
 Parking: 1,500+ SPOTS  
 20' (Front) / 20' (Side) / 20' (Rear)  
 ADA Compliant: Yes  
 Prohibited: No

### PROJECT TEAM

**OWNER:** Burgerworks East Fillmore LLC  
 601 N. Colorado Ave., Suite 200  
 Colorado Springs, CO 80903  
**DEVELOPER:** Burgerworks Commercial LLC  
 601 N. Colorado Ave., Suite 200  
 Colorado Springs, CO 80903  
**ARCHITECT/PLANNER:** NES, Inc.  
 619 N. Cascade Avenue, Suite 200  
 Colorado Springs, CO 80903

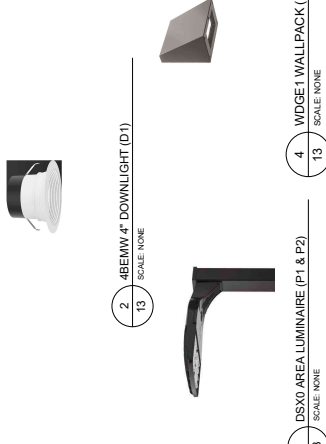
### SHEET INDEX

- Sheet 1 of 14: Cover Sheet
- Sheet 2 of 14: Development Plan
- Sheet 3 of 14: Preliminary Utility & Public Facilities Plan
- Sheet 4 of 14: Preliminary Utility & Public Facilities Plan
- Sheet 5 of 14: Civil Details
- Sheet 6 of 14: Civil Details
- Sheet 7 of 14: Final Landscape Plan
- Sheet 8 of 14: Final Landscape Plan Details
- Sheet 9 of 14: Final Landscape Plan Details
- Sheet 10 of 14: Final Landscape Plan Details
- Sheet 11 of 14: Final Landscape Plan Details
- Sheet 12 of 14: Architectural Elevation
- Sheet 13 of 14: Architectural Elevation
- Sheet 14 of 14: Architectural Elevation

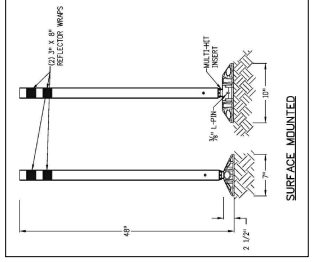
### GENERAL NOTES

- ALL SIGNAGE SHALL HAVE A MINIMUM 5/8" HIGH LETTERING OR DIMENSIONS FOR SIGNAGE TO BE LEGIBLE. LIGHTING IMPACTS, SIGNAGE IS NOT APPROVED FOR THIS PLAN. SEPARATE SIGN PERMIT IS REQUIRED. CONTACT DEVELOPMENT REVIEW ENTERPRISE AT 719.575.1000 FOR MORE INFORMATION.
- ALL SIGNS SHALL BE MANUFACTURED BY THE CITY OF COLORADO SPRINGS AND SHALL BE SUBJECT TO THE CITY OF COLORADO SPRINGS SIGNAGE REGULATIONS.
- ALL SIGNS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF COLORADO SPRINGS SIGNAGE REGULATIONS. SIGNAGE SHALL BE MAINTAINED AND REPAIRED AT ALL TIMES TO MAINTAIN THE CITY OF COLORADO SPRINGS SIGNAGE REGULATIONS.
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### LIGHTING DETAIL TYPICAL



### DELINEATOR POST TYPICAL

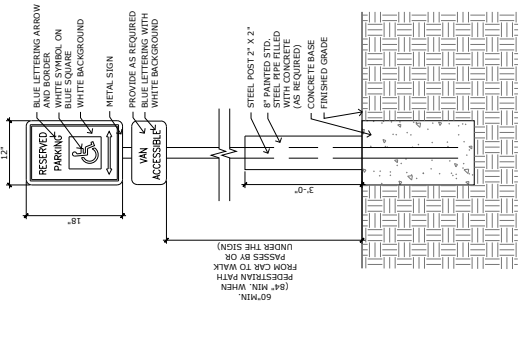


### LEGAL DESCRIPTION

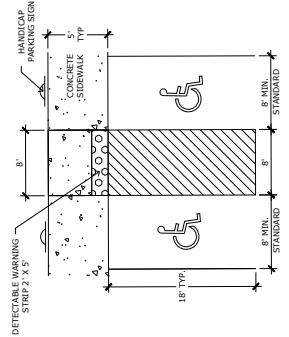
Block 6, in the Colorado State Cemetery, Subdivision of a part of the Southwest Quarter of Section 22 and the Southeast Quarter of Section 31, Township 13 South, Range 66 West of the 6th P.M., County of El Paso, State of Colorado, except those portions thereof conveyed to the City of Colorado Springs by a deed recorded June 13, 2008 and recorded map No. 156 (066) 23, as supplemented by 15 (2014) Public Improvement No. 0261 (0261).

Containing a calculated area of 94,228 square feet (1.7,263.5 acres), more or less.

### ADA PARKING SIGN TYPICAL



### ADA PARKING STALL TYPICAL



Project: 22-0074 (BurWork) | 04/29/2022 | 4:49:58 PM | Version: 1.0 | Sheet: 14 of 14 | Drawing: 22-0074-14 | Scale: 1"=10'-0"

# BURGERWORKS EAST FILLMORE STREET CITY OF COLORADO SPRINGS, COLORADO DEVELOPMENT PLAN



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PLANNING / LANDSCAPE ARCHITECT

## BURGERWORKS LOT 1 CPRE REPLAT 706 EAST FILLMORE STREET

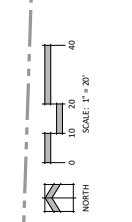
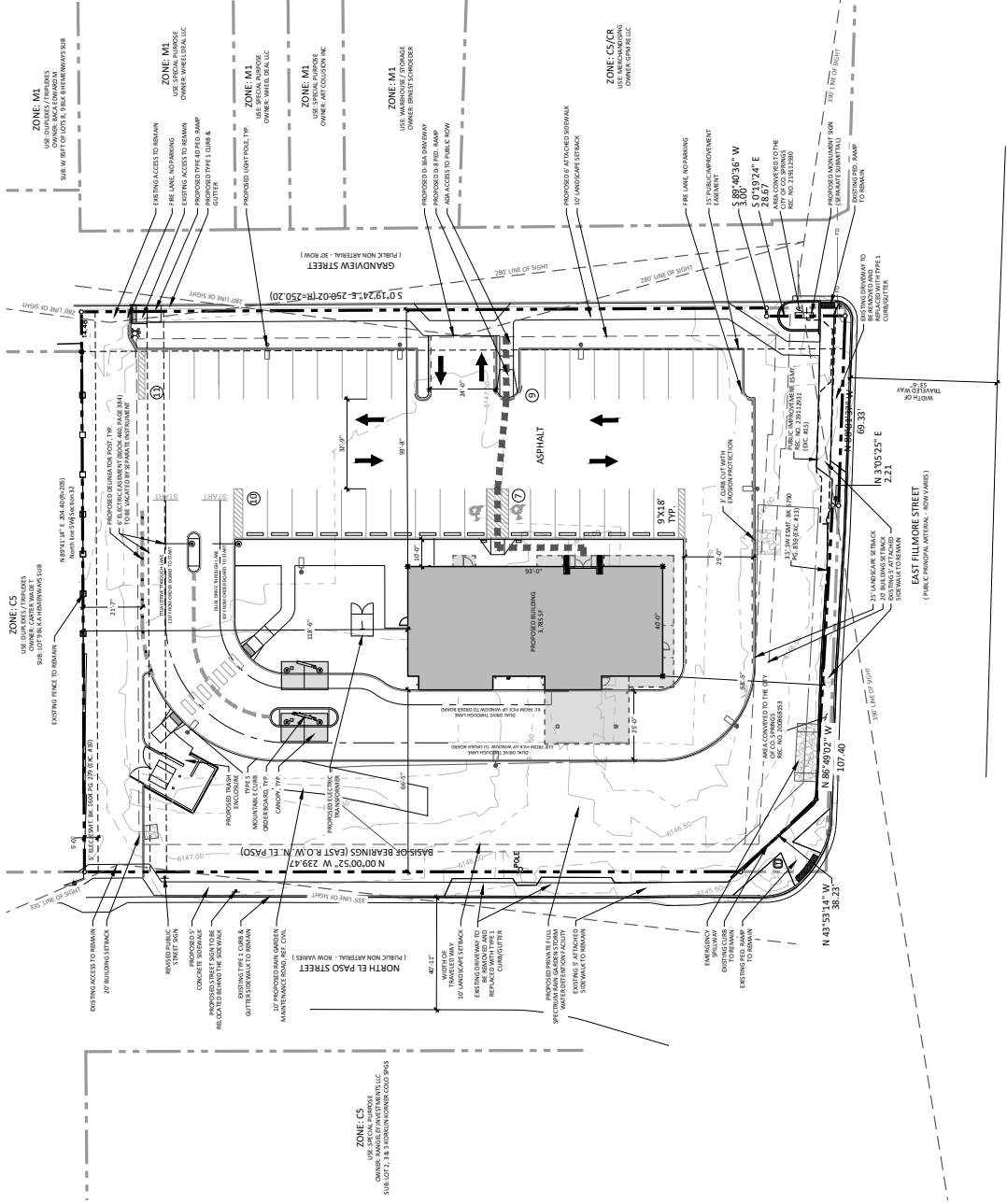
DATE: 04/29/2022  
PROJECT NO: A. BAKKOF  
PROPOSED BY: B. BAKKOF

### ENTITLEMENT

DATE	BY	REVISION
07/27/2022	BP	PREL. CPT REVIEW
09/02/2022	BP	PREL. CPT REVIEW
10/07/2022	BP	PREL. CPT REVIEW
01/24/2023	BP	PREL. CPT REVIEW
01/24/2023	BP	PREL. CPT REVIEW
		COMMENTS

### DEVELOPMENT PLAN

2 OF 14  
DEPN 22-0074



**ZONE M1 CU**  
USE: MEDIUM DENSITY RESIDENTIAL - CORNER  
OWNER: WHEELER REALTY LLC  
SUB LOT 2, 3 & 4 A REPAIR OF A PORTION OF LOT 1 & 2 AND DRIVE THROUGH ACCESS

**ZONE M1**  
USE: MEDIUM DENSITY RESIDENTIAL  
OWNER: WHEELER REALTY LLC  
SUB LOT 1 & 2 A REPAIR OF A PORTION OF LOT 1 & 2 AND DRIVE THROUGH ACCESS

**ZONE C5**  
USE: SPECIAL PURPOSE - COMMERCIAL  
OWNER: WHEELER REALTY LLC  
SUB LOT 2, 3 & 4 COMMERCIAL CORP. P&S





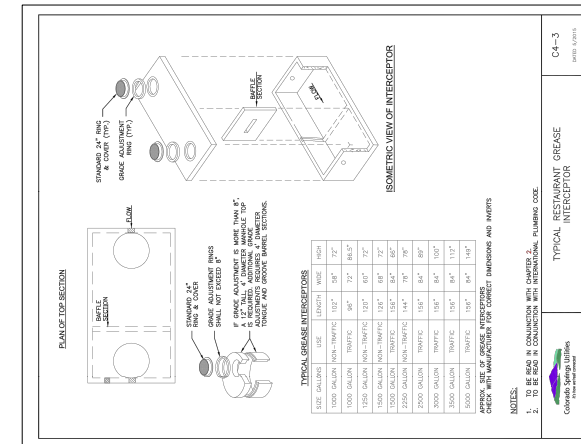
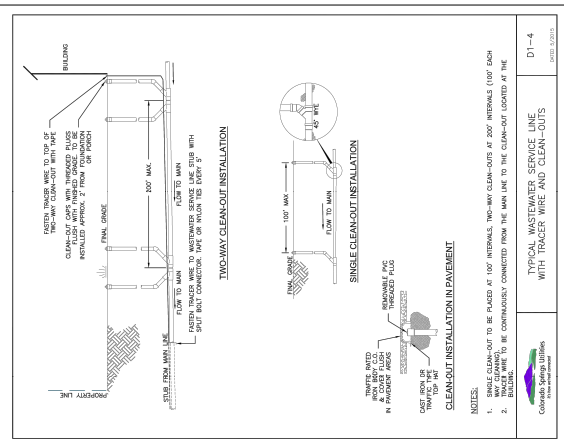
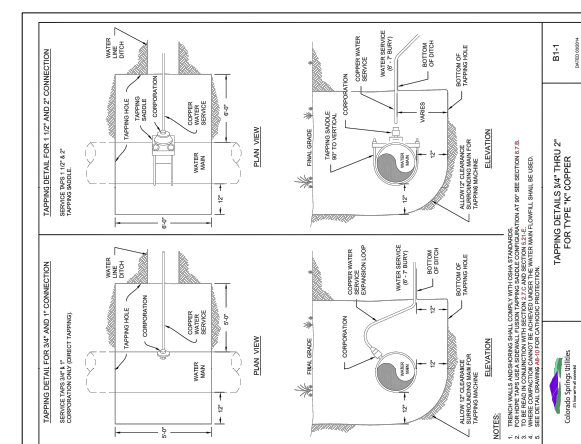
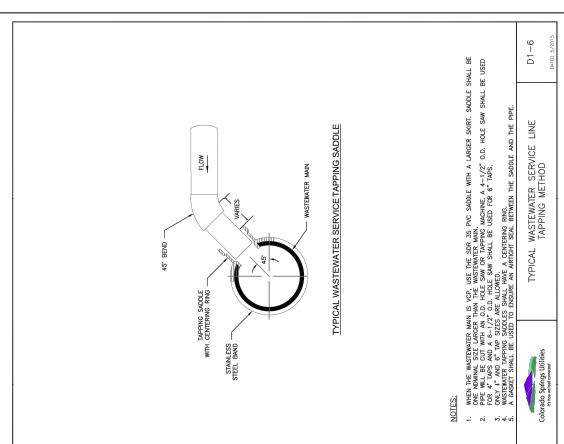
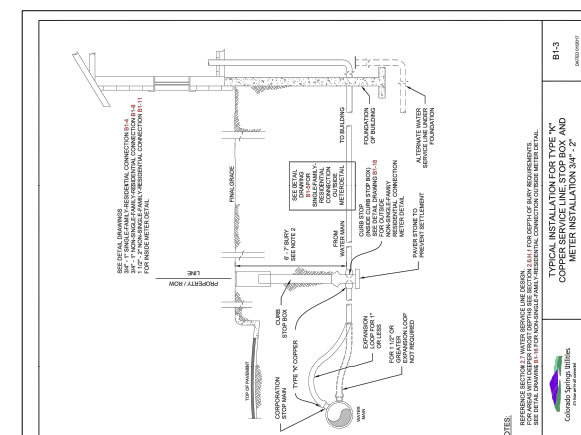
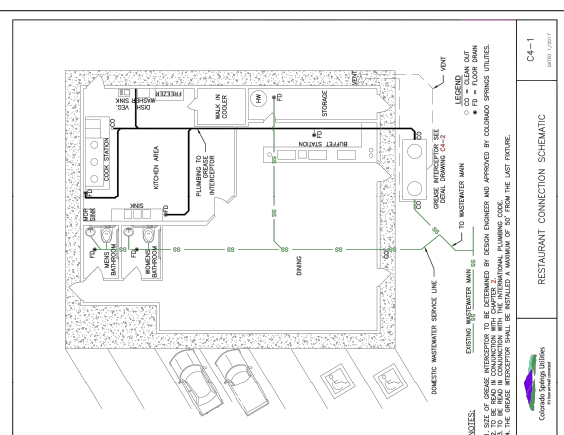
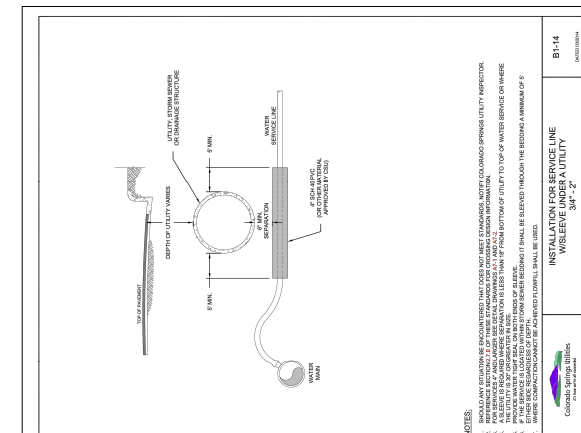
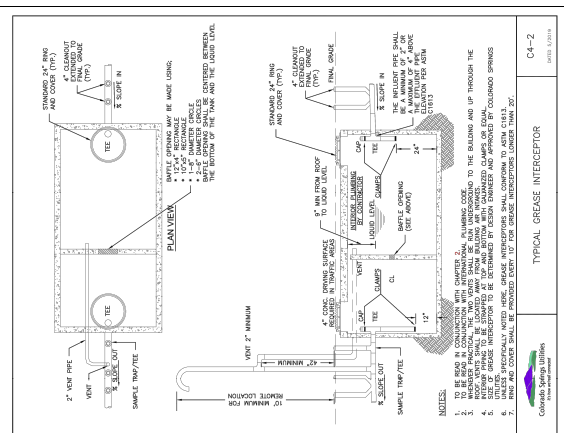




MULLICE ENGINEERING &  
STRUCTURAL AND CIVIL CONSULTANTS  
1610 W. 11TH STREET, SUITE 100  
DALLAS, TEXAS 75203  
(214) 352-1000

# WHATABURGER EL PASO & FILLMORE

706 E FILLMORE ST		DATE	
PROJECT NO.	12773023	DESCRIPTION	DATE
SHEET NAME	277503	INSTALLATION FOR SERVICE LINE ROULETTE UTILITY 36" x 2"	DATE
CIVIL DETAILS		SHEET NO. 5 OF 14	



DEPN 22-0074





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PLANNING / LANDSCAPE ARCHITECT

**BURGERWORKS**  
 LOT 1 C/PRE REPLAT  
 706 EAST FILLMORE STREET

DATE: 04/29/2022  
 PROJECT FOR: A. BAKIYEV  
 PREPARED BY: B. BONDYVA

**ENTITLEMENT**

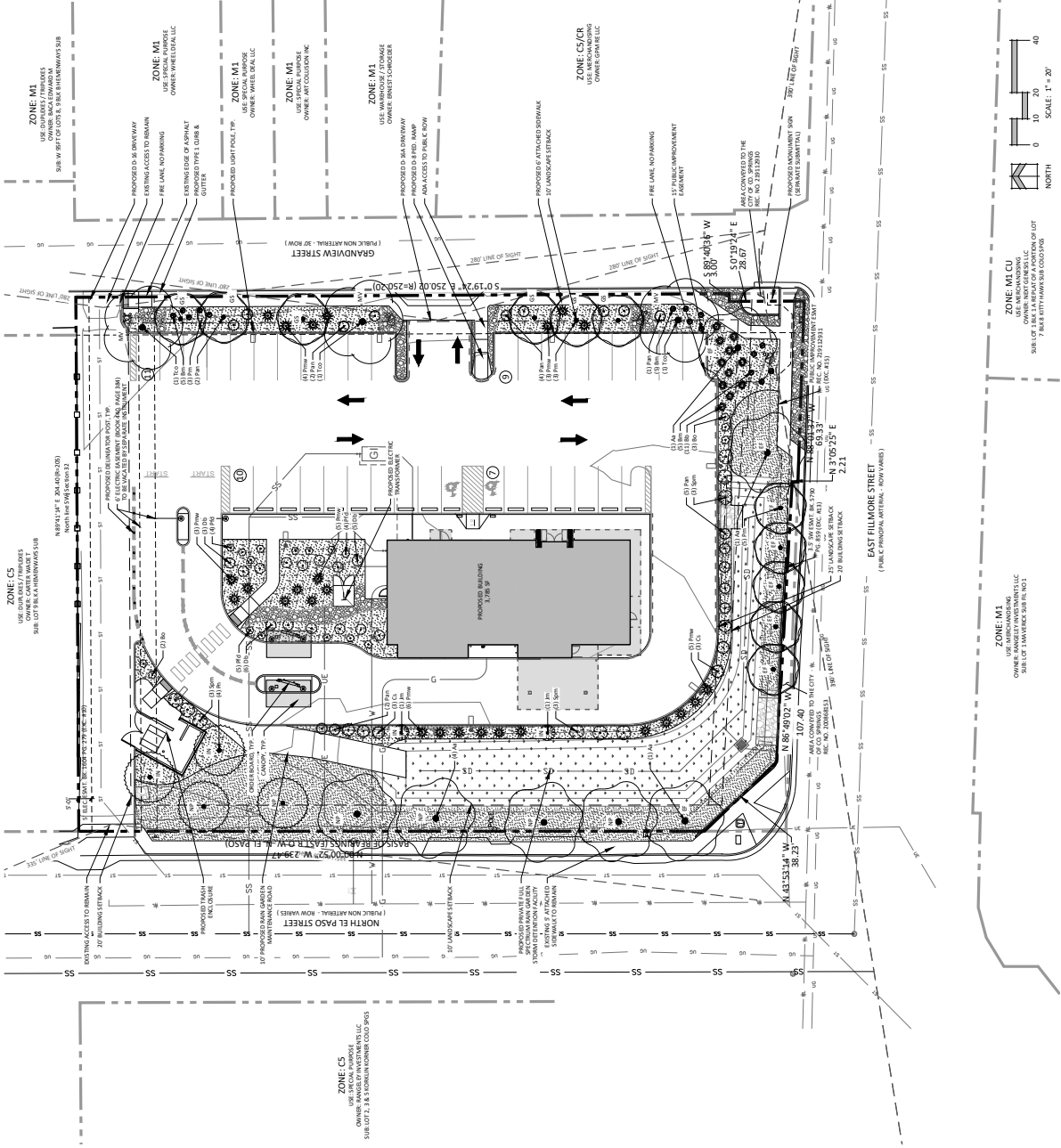
DATE	BY	DESCRIPTION
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09/08/2022	BP	PREL C/PRE REVIEW
10/03/2023	BP	PREL C/PRE REVIEW
01/26/2023	BP	PREL C/PRE REVIEW
		COMMENTS

**FINAL LANDSCAPE PLAN**

7

7 OF 14

DEPN-22-0074



**ZONE M1**  
 USE: MEDIUM DENSITY RESIDENTIAL  
 OWNER: MACK EMBRYMAN  
 SUB LOT 2, 3 & 4 PART OF A PORTION OF LOT 1, 7 & 8 EAST FILLMORE STREET, COLORADO SPRINGS, CO 80903

**ZONE M1**  
 USE: MEDIUM DENSITY RESIDENTIAL  
 OWNER: WHELETT, LLC  
 SUB LOT 2, 3 & 4 PART OF A PORTION OF LOT 1, 7 & 8 EAST FILLMORE STREET, COLORADO SPRINGS, CO 80903

**ZONE M1**  
 USE: MEDIUM DENSITY RESIDENTIAL  
 OWNER: WHELETT, LLC  
 SUB LOT 2, 3 & 4 PART OF A PORTION OF LOT 1, 7 & 8 EAST FILLMORE STREET, COLORADO SPRINGS, CO 80903

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 OWNER: WHELETT, LLC  
 SUB LOT 2, 3 & 4 PART OF A PORTION OF LOT 1, 7 & 8 EAST FILLMORE STREET, COLORADO SPRINGS, CO 80903

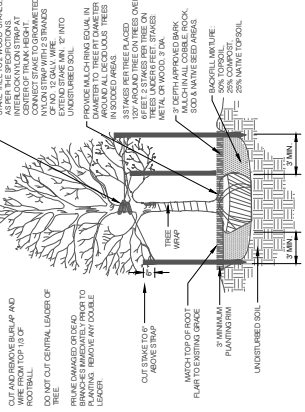
**ZONE CS/CR**  
 USE: COMMUNITY SERVICES / COMMERCIAL RESIDENTIAL  
 OWNER: GINA BELLE  
 SUB LOT 2, 3 & 4 PART OF A PORTION OF LOT 1, 7 & 8 EAST FILLMORE STREET, COLORADO SPRINGS, CO 80903

**ZONE M1 CU**  
 USE: MEDIUM DENSITY RESIDENTIAL  
 OWNER: WHELETT, LLC  
 SUB LOT 2, 3 & 4 PART OF A PORTION OF LOT 1, 7 & 8 EAST FILLMORE STREET, COLORADO SPRINGS, CO 80903

**ZONE CS**  
 USE: COMMUNITY SERVICES  
 OWNER: MACK EMBRYMAN  
 SUB LOT 2, 3 & 4 PART OF A PORTION OF LOT 1, 7 & 8 EAST FILLMORE STREET, COLORADO SPRINGS, CO 80903

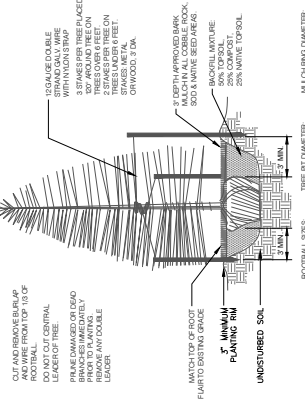
**ZONE M1**  
 USE: MEDIUM DENSITY RESIDENTIAL  
 OWNER: WHELETT, LLC  
 SUB LOT 2, 3 & 4 PART OF A PORTION OF LOT 1, 7 & 8 EAST FILLMORE STREET, COLORADO SPRINGS, CO 80903

**ZONE M1 CU**  
 USE: MEDIUM DENSITY RESIDENTIAL  
 OWNER: WHELETT, LLC  
 SUB LOT 2, 3 & 4 PART OF A PORTION OF LOT 1, 7 & 8 EAST FILLMORE STREET, COLORADO SPRINGS, CO 80903



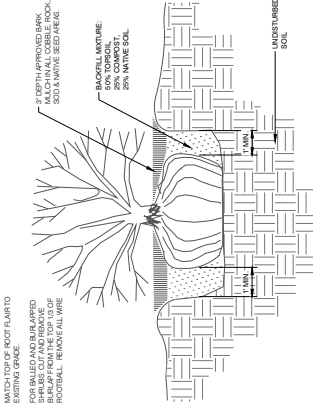
**1** DECIDUOUS TREE PLANTING DETAIL  
N.T.S.

N.T.S.



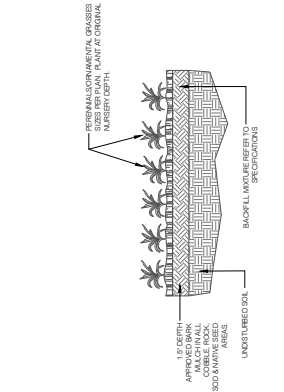
**2** CONIFEROUS TREE PLANTING DETAIL  
N.T.S.

N.T.S.



**3** SHRUB PLANTING DETAIL  
N.T.S.

N.T.S.

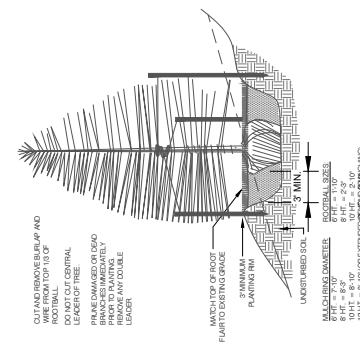


**4** PERENNIAL / ORNAMENTAL GRASS PLANTING  
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N.T.S.

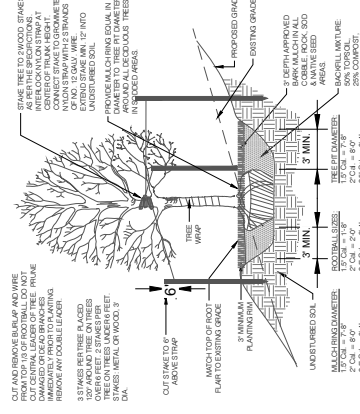
**BURGERWORKS**  
**LOT 1 CPRE REPLAT**  
706 EAST FILLMORE STREET

DATE: 04/29/2022  
PROJECT NO: A BAYVIEW  
DRAWN BY: J. BURGER



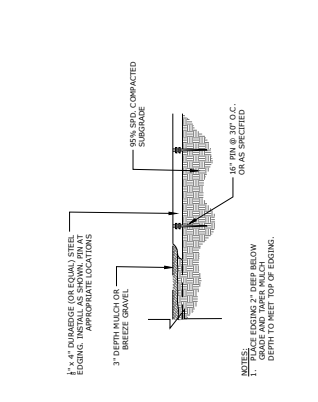
**5** CONIFEROUS TREE PLACEMENT ON SLOPE  
N.T.S.

N.T.S.



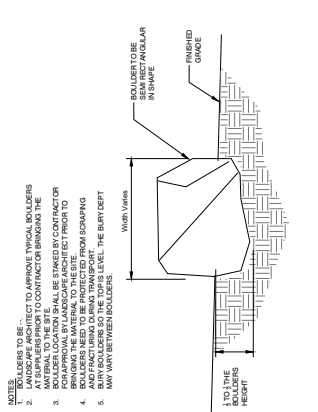
**6** DECIDUOUS TREE PLACEMENT ON SLOPE  
N.T.S.

N.T.S.



**7** STEEL EDGING  
N.T.S.

N.T.S.



**8** LANDSCAPE BOULDER  
N.T.S.

N.T.S.

**ENTITLEMENT**

DATE	BY	REVISION
07/27/2022	BP	PLS. CDT REVIEW
09/09/2022	BP	PLS. CDT REVIEW
10/19/2022	BP	PLS. CDT REVIEW
07/04/2023	BP	PLS. CDT REVIEW
		COMMENTS

**FINAL LANDSCAPE PLAN DETAILS**



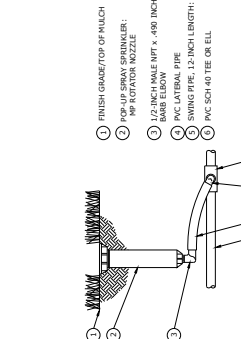


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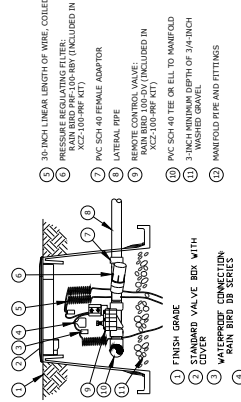
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### IRRIGATION NOTES

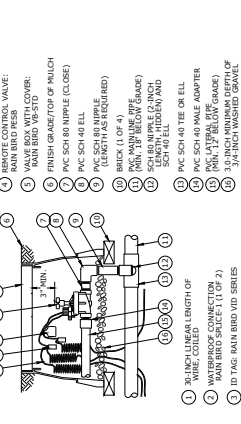
- CONTRACTOR TO CONNECT 1" MAINLINE PIPE TO 1" COPPER STUB-OUT AT METER.
- CONTRACTOR TO INSTALL MAINLINE STUB-OUT AND PERIODICALLY BACK FLOW PREVENTER OR APPROVED EQUAL.
- CONTRACTORS TO COORDINATE THE CONNECTION TO THE MAINLINE STUB, EXTEND COPPER PIPE TO IRRIGATION MAINLINE DEPTH IF BELOW FINISH GRADE.
- ALL VALVE BODIES SHALL BE SUPPORTED BY CONCRETE BLOCK (MIN. 4" PER SIDE). INSTALL BLOCKS IN A MANNER THAT WILL PREVENT CONTACT WITH PIPING, UNITS, AND VALVES.
- CONTRACTOR TO UTILIZE 1/2" POP-UP SPRAY ROOFS FOR ALL VALVES AND SHALL HAVE REMOVAL SLEEVE WERE CROSSING ALL HARD CONSTRUCTION.
- CONTRACTOR SHALL ADJUST ALL VALVES AND SPRAY ROZETTES FOR OPTIMUM COVERAGE.
- CONTRACTOR SHALL TYPE CLOSED ALL SLEEVE PIPE OPENINGS TO PREVENT DEBRIS FROM ENTERING SLEEVES.
- CONTRACTOR SHALL EXTEND 120-VOLT A.C. FROM EXISTING POWER TO PROPOSED CONTROLLER LOCATION. ALL ELECTRICAL WORK SHALL BE PER CODE AND N.E.C. STANDARDS.
- INSTALL IRRIGATION CONTROLLER INSIDE WATER CLOSET/MECHANICAL ROOM. COORDINATE FINAL CONTROLLER TO EXTERIOR OF BUILDING IN CONDUIT. COORDINATE INSTALLATION OF CONDUIT AND WALL PENETRATION WITH OWNERS REPRESENTATIVE.
- CONTRACTOR SHALL VERIFY ALL PRESSURE PIPES ARE AS SHOWN. THE CONTRACTOR SHALL VERIFY THE ACTUAL STATIC WATER PRESSURE PRIOR TO CONSTRUCTION AND INFORM THE LANDSCAPE ARCHITECT OF RESULTS IF MODIFICATIONS MUST BE MADE PRIOR TO CONSTRUCTION.
- DRAWINGS ARE DIAGNOSTIC. IRRIGATION COMPONENTS MAY BE SHOWN OUTSIDE OF PLANTING AREAS. FEATURES ALL PIPING AND WIRING SHALL BE INSTALLED IN PLANTING AREA OR IN SLEEVES. NO PIPING UNDER TREES OR SHRUBS WILL BE ACCEPTED.
- MINIMUM PIPE SLEEVING SHALL BE 3" FOR ALL LATERAL AND MAIN IRRIGATION LINES.
- THE CITY HAS ADOPTED PERMANENT WATER-WISE REGULATORS AT THE START OF 2020 WHICH WILL AFFECT THE OVERALL OPERATION OF THE IRRIGATION SYSTEM THIS SPRING.
  - ESTABLISHMENT PERMITS ARE REQUIRED FROM COLORADO SPRINGS UTILITIES FOR CUSTOMERS WHO WANT TO INSTALL WATER-WISE REGULATORS.
  - FROM MAY 1 TO OCTOBER 15, SPRINKLERS CAN BE OPERATED BEFORE 10 A.M. AND AFTER 6 P.M.
  - PERMITS ARE AVAILABLE FOR CUSTOMERS WHO WANT TO INSTALL WATER-WISE REGULATORS.
  - ALLOCATION PLANS ARE AVAILABLE FOR CUSTOMERS WHO NEED AN IRRIGATION SCHEDULE.
  - FLEXIBILITY FROM COLORADO SPRINGS UTILITIES.



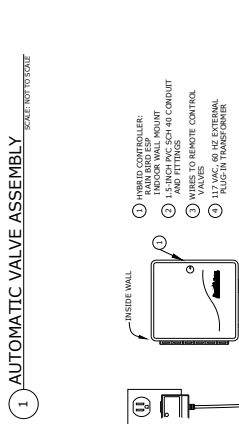
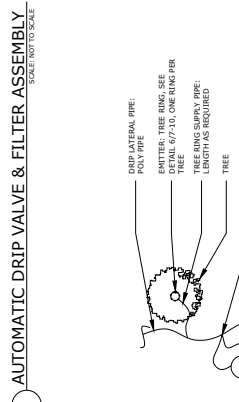
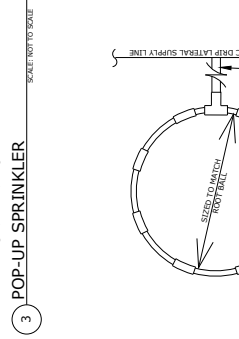
1 AUTOMATIC VALVE ASSEMBLY  
SCALE: NOT TO SCALE



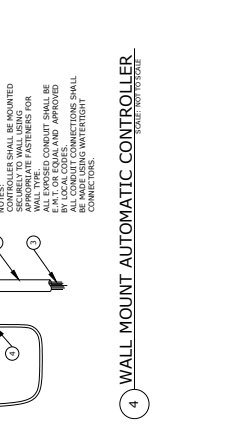
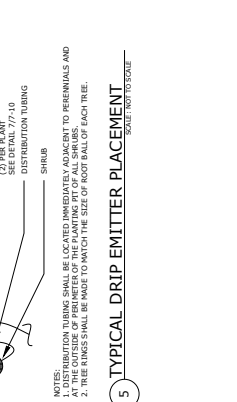
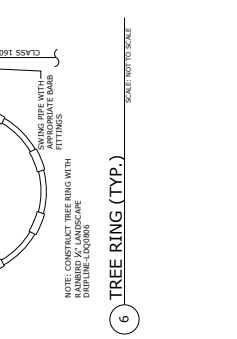
2 AUTOMATIC DRIP VALVE & FILTER ASSEMBLY  
SCALE: NOT TO SCALE



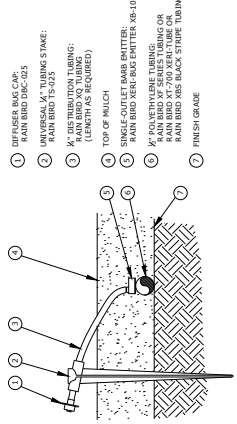
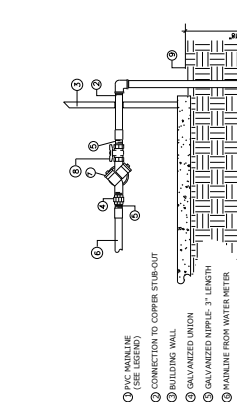
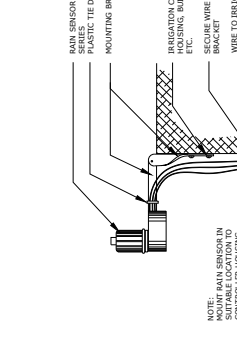
3 WALL MOUNT AUTOMATIC CONTROLLER  
SCALE: NOT TO SCALE



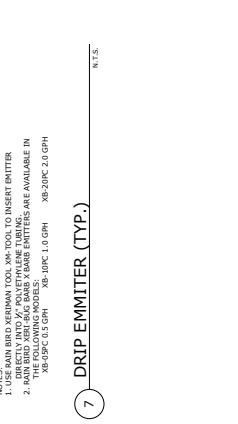
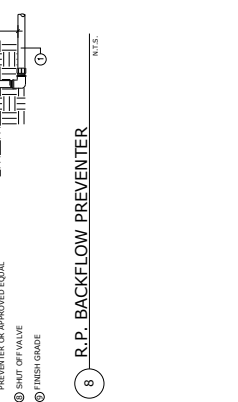
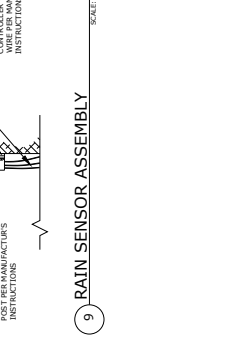
6 RAIN SENSOR ASSEMBLY  
SCALE: NOT TO SCALE



9 WALL MOUNT AUTOMATIC CONTROLLER  
SCALE: NOT TO SCALE



12 RAIN SENSOR ASSEMBLY  
SCALE: NOT TO SCALE



15 WALL MOUNT AUTOMATIC CONTROLLER  
SCALE: NOT TO SCALE

# BURGERWORKS EAST FILLMORE STREET

706 E FILLMORE ST  
 BLOCK K, THE COLORADO SPRINGS COMPANYS SUBDIVISION OF A PART OF THE SOUTHWEST  
 QUARTER OF THE SECTION 32, AND SOUTHEAST QUARTER SECTION 31, TOWNSHIP 13 SOUTH, RANGE  
 66 WEST OF THE 6TH P.M., COUNTY OF EL PASO, CITY OF COLORADO SPRINGS, STATE OF COLORADO



WALLACE ENGINEERING  
 STRUCTURAL CONSULTANTS, INC.  
 1800 W. HAMMILL BLVD., SUITE 300  
 DENVER, CO 80202

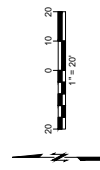
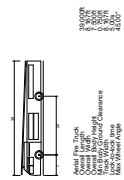
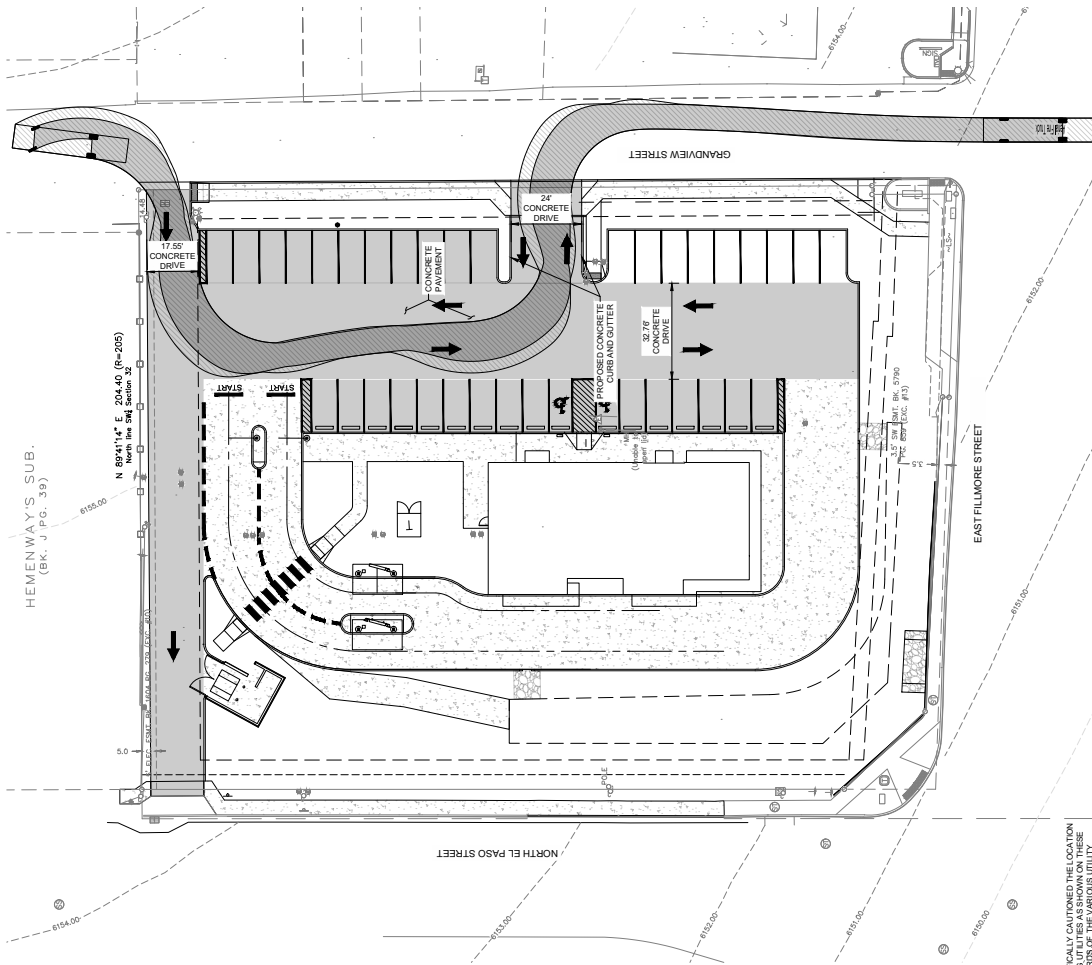
## WHATABURGER EL PASO & FILLMORE

706 E FILLMORE ST

DATE	DESCRIPTION

DATE: 1/22/2022  
 PROJECT NO.: Z279013  
 SHEET NAME: Z279013

FIRE TRUCK  
 TURN EXHIBIT  
 SHEET NO.: 11 OF 14



**CAUTION**  
 NOTICE TO CONTRACTOR  
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THE LOCATION AND ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS NOT TO BE RELIED ON AS BEING EXACT OR ACCURATE. THE CONTRACTOR SHALL VERIFY THE LOCATION, CENTER AND DEPTH OF ALL UTILITIES IN THE FIELD. THE LOCATION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES.



DEPN 22-0074





115 S. Weber Colorado Springs, Colorado 715-475-8133  
 Architecture & Planning  
 YOW Architects, PC

710 E FILLMORE ST  
 COLORADO SPRINGS, CO 80907

WHATABURGER  
 Project Number  
 21.119  
 Date  
 08/01/2022  
 Drawn by  
 MKG  
 Checked by  
 YOW

A2.1  
 Scale  
 As indicated  
 EXTERIOR ELEVATIONS

NO.	DATE	DESCRIPTION

**KEYNOTES**

- K1 OPEN GLASS PANEL SHEET, LEMMA BRONZE, POLYURETHANE FINISH, BE EGRESS.
- K2 2" X 2" CORRUGATED METAL PANEL.
- K3 1/2" BRICK GLAZE.
- K4 1/2" BRICK GLAZE.
- K5 1/2" BRICK GLAZE.
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- K100 1/2" BRICK GLAZE.

**CODE TO EXT. MATERIALS**

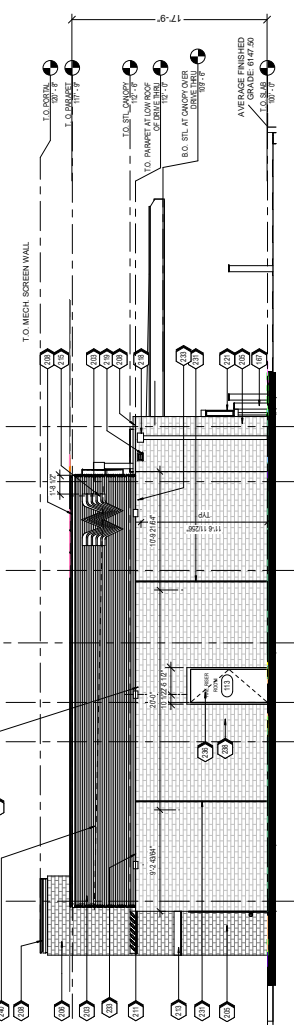
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- SE-01 STOREFRONT SYSTEM
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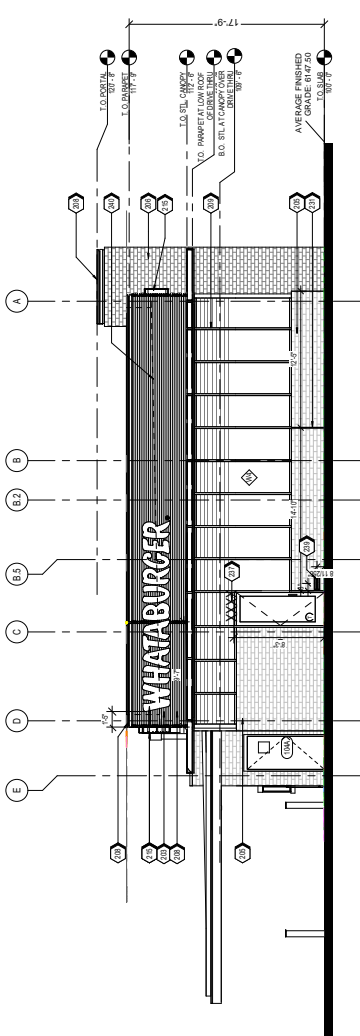
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A2 NORTH ELEVATION  
 3/16" = 1'-0"



A1 SOUTH ELEVATION  
 3/16" = 1'-0"

NOTES  
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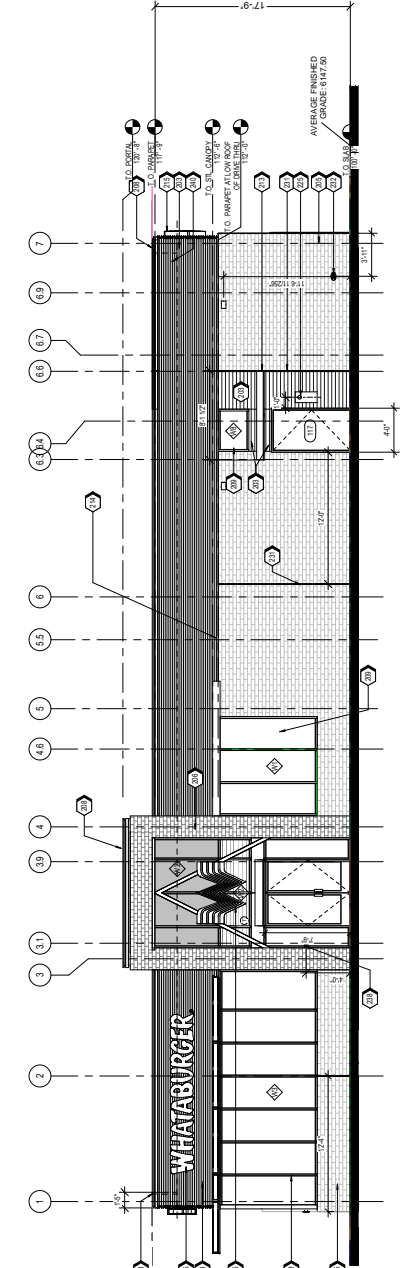


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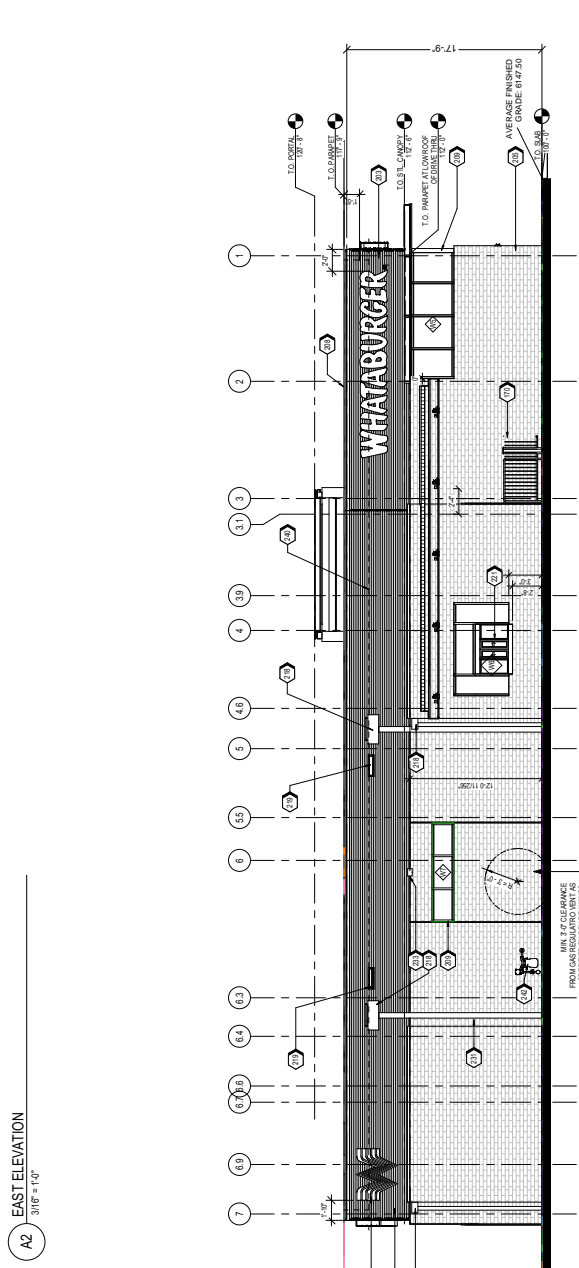
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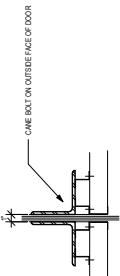
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01-99		REVISIONS
01-100		REVISIONS



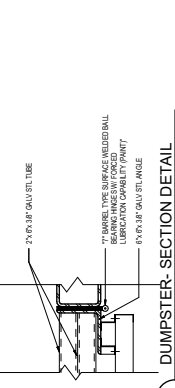
**A2**  
 EAST ELEVATION  
 3/16" = 1'-0"



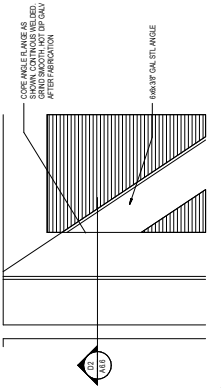
**A1**  
 WEST ELEVATION  
 3/16" = 1'-0"



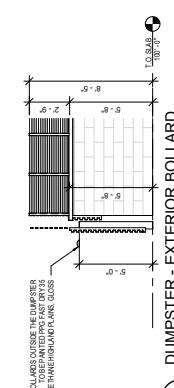
D1 DUMPSTER - GATE PLAN DETAIL. SCALE 1 1/2" = 1'-0"



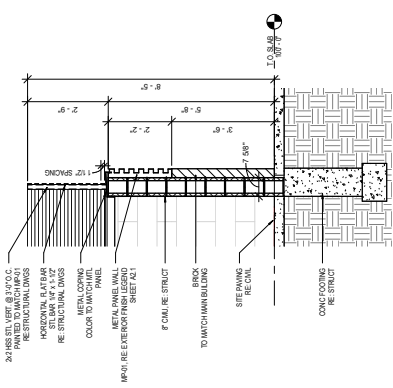
D2 DUMPSTER - SECTION DETAIL. SCALE 1 1/2" = 1'-0"



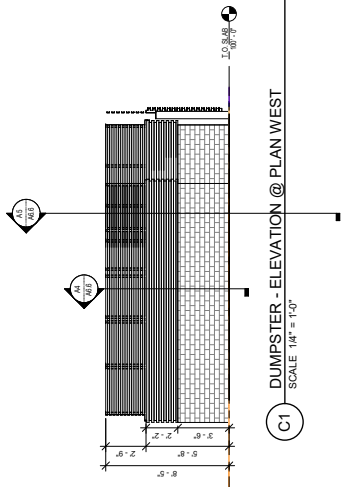
D3 DUMPSTER - GATE CORNER DETAIL. SCALE 1 1/2" = 1'-0"



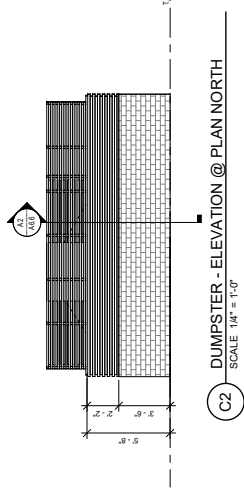
A2 DUMPSTER - EXTERIOR BOLLARD. SCALE 1/4" = 1'-0"



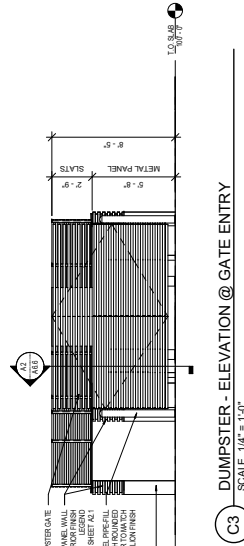
A4 DUMPSTER - WALL SECTION. SCALE 1/2" = 1'-0"



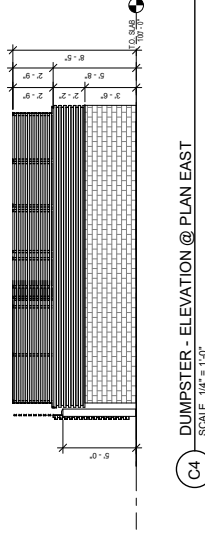
C1 DUMPSTER - ELEVATION @ PLAN WEST. SCALE 1/4" = 1'-0"



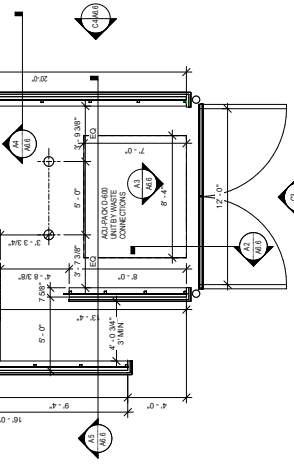
C2 DUMPSTER - ELEVATION @ PLAN NORTH. SCALE 1/4" = 1'-0"



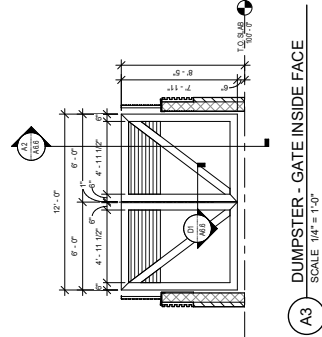
C3 DUMPSTER - ELEVATION @ GATE ENTRY. SCALE 1/4" = 1'-0"



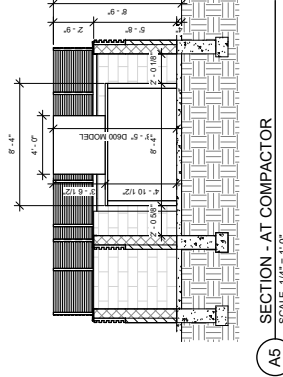
C4 DUMPSTER - ELEVATION @ PLAN EAST. SCALE 1/4" = 1'-0"



A1 DUMPSTER - ENLARGED. SCALE 1/4" = 1'-0"



A3 DUMPSTER - GATE INSIDE FACE. SCALE 1/4" = 1'-0"



A5 SECTION - AT COMPACTOR. SCALE 1/4" = 1'-0"

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Project Number	21.119
Date	08/01/2022
Drawn by	MKG
Checked by	YOW
Scale	As indicated
A6.6	DUMPSTER

WHATABURGER

710 E FILLMORE ST  
 COLORADO SPRINGS, CO 80907

NO.	DATE	DESCRIPTION

YOW Architects, PC

Architecture & Planning

115 S. Weber Colorado Springs, Colorado 715-475-8133

