





N.B.S. Inc.  
619 N. Cascade Avenue, Suite 200  
Colorado Springs, CO 80905  
Tel: 719.471.0073  
Fax: 719.471.0067  
www.nbsinc.com  
© 2012. All Rights Reserved

ASCENT  
BY WATERMARK

COLORADO SPRINGS, CO  
DATE: 11/15/19  
DRAWN BY: [Name]  
PREPARED BY: [Name]

CONDITIONAL USE  
DEVELOPMENT PLAN

DEVELOPMENT  
SITE PLAN -  
NORTH

2 OF 22  
CPC CU 19-00165

BOUNDARY CURVE DATA

NO.	DELTA	RADIUS	LENGTH
1	137.25	274.50	10.00
2	23.57	47.14	10.50
3	23.57	47.14	17.98
4	53.77	107.54	17.98
5	53.77	107.54	17.98
6	53.77	107.54	17.98
7	23.57	47.14	17.98
8	23.57	47.14	17.98
9	53.77	107.54	17.98
10	53.77	107.54	17.98
11	53.77	107.54	17.98
12	53.77	107.54	17.98
13	53.77	107.54	17.98
14	53.77	107.54	17.98
15	222.31	444.62	54.91
16	53.77	107.54	17.98
17	53.77	107.54	17.98
18	53.77	107.54	17.98
19	53.77	107.54	17.98
20	53.77	107.54	17.98
21	53.77	107.54	17.98
22	53.77	107.54	17.98

BOUNDARY LINE DATA

NO.	BEARING	DISTANCE
1	S52°17'49"W	10.50
2	S52°17'49"W	10.50
3	S50°22'06"E	11.62
4	S16°59'21"W	3.50
5	S16°59'21"W	3.50
6	S16°59'21"W	3.50
7	S16°59'21"W	3.50
8	S25°31'01"E	11.78
9	S25°31'01"E	11.78
10	S25°31'01"E	11.78
11	S25°31'01"E	11.78
12	S25°31'01"E	11.78
13	S25°31'01"E	11.78
14	S25°31'01"E	11.78
15	S25°31'01"E	11.78
16	S25°31'01"E	11.78
17	S25°31'01"E	11.78
18	S25°31'01"E	11.78
19	S25°31'01"E	11.78
20	S25°31'01"E	11.78
21	S25°31'01"E	11.78
22	S25°31'01"E	11.78

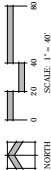
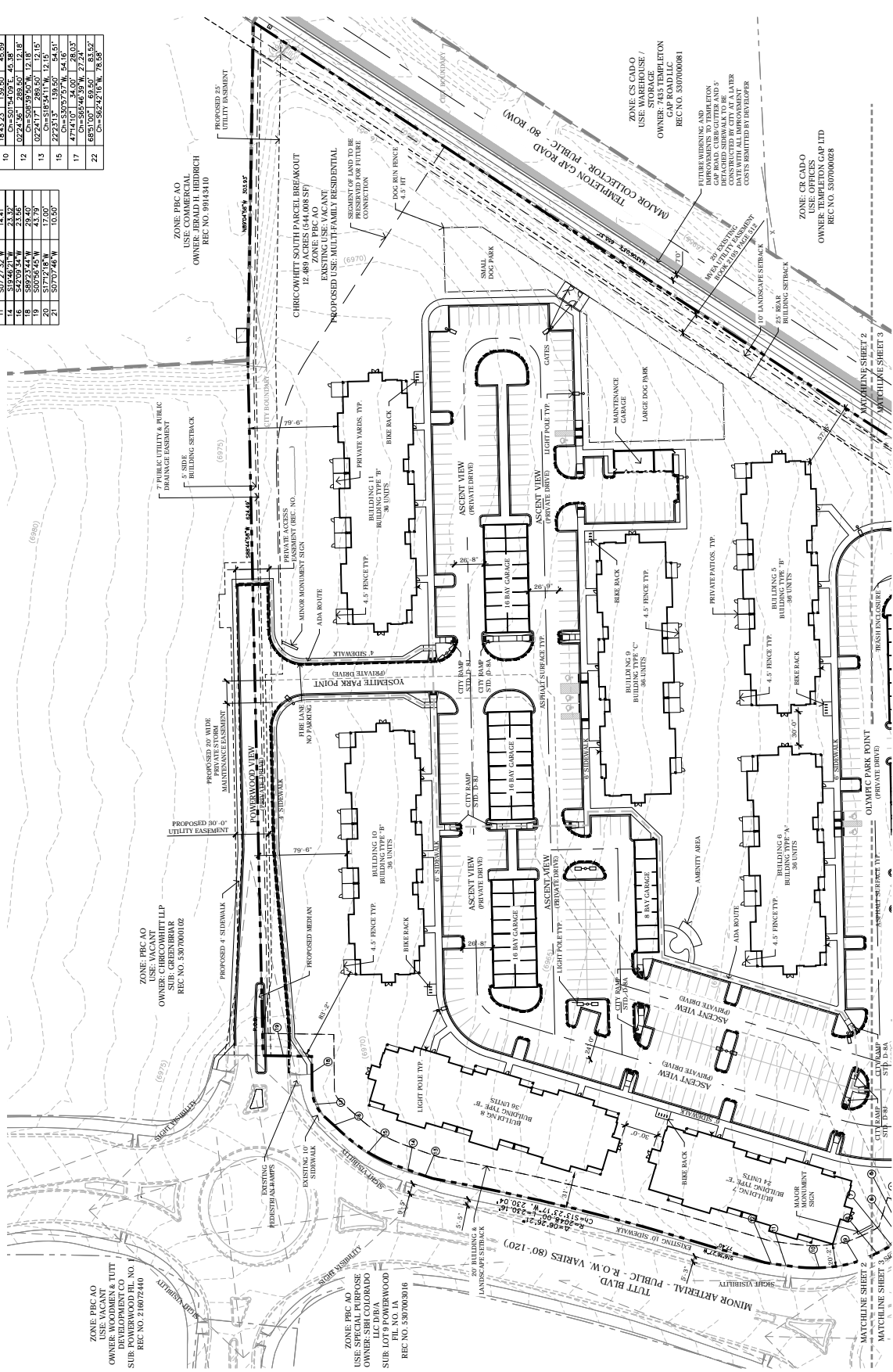


FIGURE 1



N.E.S. Inc.  
619 N. Cascade Avenue, Suite 200  
Colorado Springs, CO 80905  
Tel: 719.471.0073  
Fax: 719.471.0067  
www.nesohio.com  
© 2015. All Rights Reserved.

ASCENT  
BY WATERMARK

COLORADO SPRINGS, CO

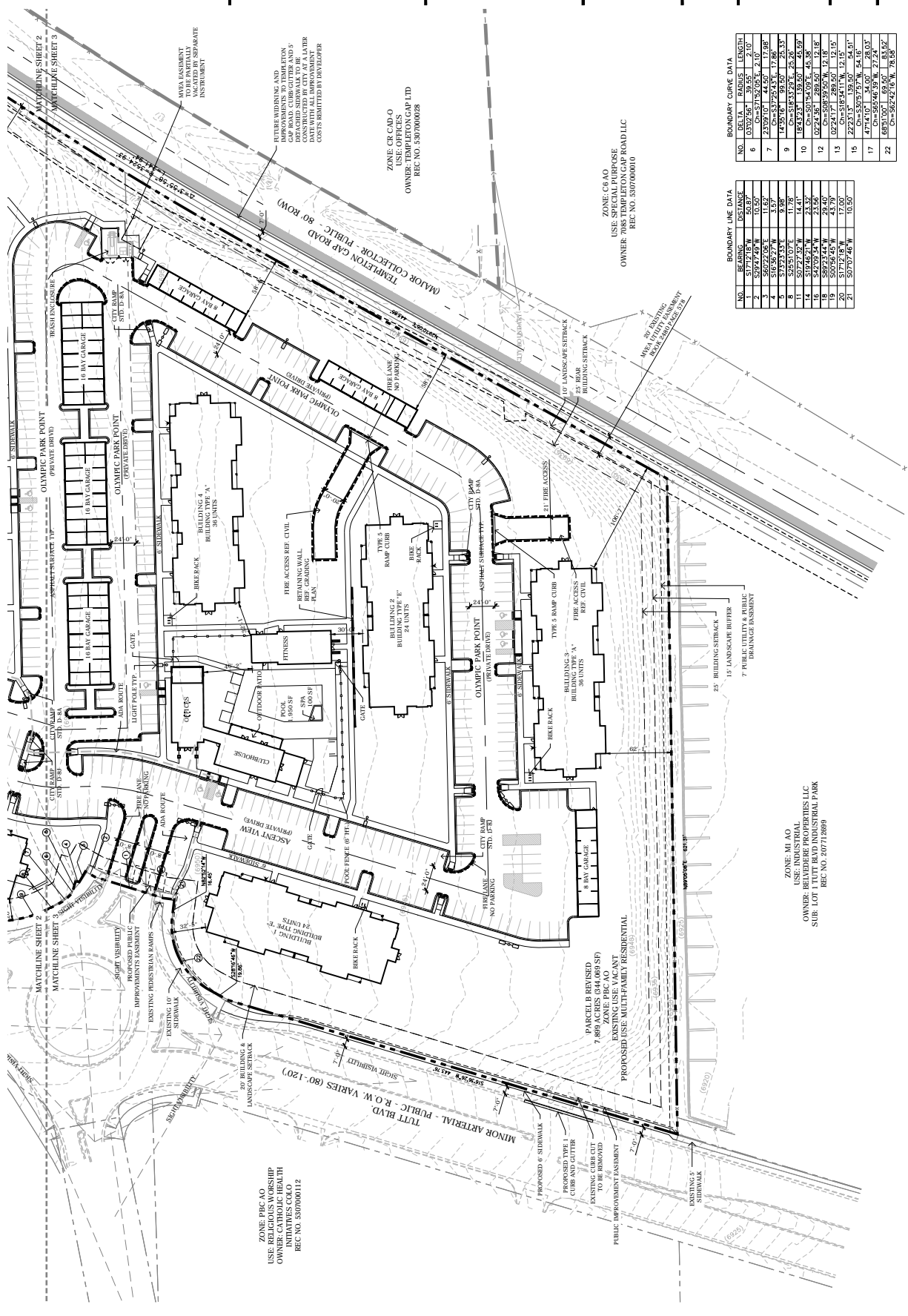
DATE: 11/15/19  
DRAWN BY: R. WATSON  
PREPARED BY: R. WATSON

CONDITIONAL USE  
DEVELOPMENT PLAN

NO.	DATE	BY	DESCRIPTION
1	09/14/19	RS	PRELIMINARY COMMENTS
2	10/15/19	RS	PRELIMINARY COMMENTS
3	11/15/19	RS	PRELIMINARY COMMENTS

DEVELOPMENT  
SITE PLAN -  
SOUTH

3 OF 22  
CPC CU 19-00165



BOUNDARY CURVE DATA

NO.	DELTA	RADIUS	LENGTH
6	0.000000°	30.0000	1.0000
7	23.0910°	44.5000	17.9800
8	0.000000°	30.0000	1.0000
9	23.0910°	44.5000	17.9800
10	0.000000°	30.0000	1.0000
11	23.0910°	44.5000	17.9800
12	0.000000°	30.0000	1.0000
13	23.0910°	44.5000	17.9800
14	0.000000°	30.0000	1.0000
15	23.0910°	44.5000	17.9800
16	0.000000°	30.0000	1.0000
17	23.0910°	44.5000	17.9800
18	0.000000°	30.0000	1.0000
19	23.0910°	44.5000	17.9800
20	0.000000°	30.0000	1.0000
21	23.0910°	44.5000	17.9800
22	0.000000°	30.0000	1.0000

BOUNDARY LINE DATA

NO.	BEARING	DISTANCE
1	S77.718°W	50.00
2	S89.222°E	11.62
3	S56.222°E	3.57
4	S16.567°W	1.79
5	S23.091°E	14.41
6	S10.000°E	46.35
7	S89.222°E	23.26
8	S89.222°E	29.40
9	S00.000°E	45.79
10	S07.000°W	10.00



ZONE: PFC AO  
USE: RESIDENTIAL  
OWNER: CATHOLIC HEALTH INITIATIVES COLO  
REC NO. 5307000112

ZONE: CR CAD O  
USE: OFFICES  
OWNER: TEMPLETON GAP LTD  
REC NO. 530700028

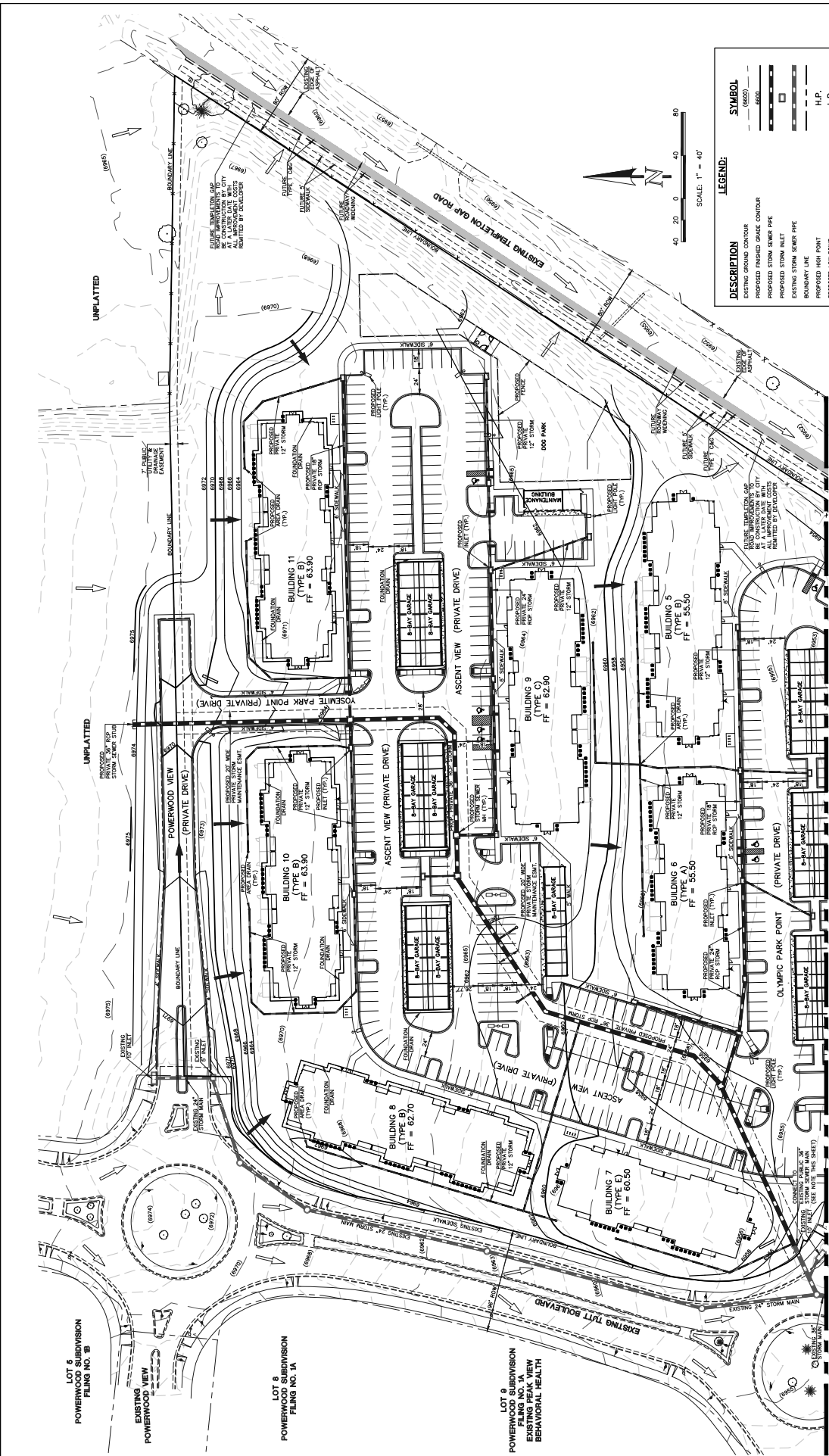
ZONE: CR CAD O  
USE: SPECIAL PURPOSE  
OWNER: TEMPLETON GAP ROAD LLC  
REC NO. 530700010

ZONE: MI AO  
USE: INDUSTRIAL  
OWNER: TTTT BLVD INDUSTRIAL PARK  
SUB: LOT 1 TTTT BLVD INDUSTRIAL PARK  
REC NO. 20712899

FIGURE 1







**LEGEND:**

DESCRIPTION	SYMBOL
EXISTING GROUND CONTOUR	(6970)
PROPOSED FINISHED GRADE CONTOUR	(6970)
PROPOSED STORM SEWER PIPE	—
EXISTING STORM SEWER PIPE	—
BOUNDARY LINE	—
PROPOSED HIGH POINT	H.P.
PROPOSED LOW POINT	L.P.
PROPOSED FLOW DIRECTION	→
EXISTING FLOW DIRECTION	→

**CLASSIC CONSULTING**  
 113 W. Ouellette Avenue, Suite 300  
 Ontario, Ontario, Canada M9S 3K3  
 (416) 945-3700  
 (416) 945-3299 (fax)

**ASCENT BY WATERMARK**  
 FILING NO. 1  
 DEVELOPMENT PLAN  
 PRELIMINARY GRADING PLAN

DESIGNED BY: MAL SCALE: 1/8" = 1'-0"  
 DRAWN BY: BB (0) 1" = 40'  
 DATE: 10/27/19  
 SHEET: 6 OF 22  
 CHECKED BY: (V) 1" = 40'  
 JOB NO.: 2130-40

CPC CU 19-00165

**STORM SEWER NOTES:**  
 ALL PROPOSED STORM SEWER SHALL BE PRIVATE TO THE DEVELOPER AND MAINTAINED BY THOMPSON CONNECTIONS MUST BE NOTIFIED BY THE DEVELOPER AT LEAST 48 HOURS BEFORE CONSTRUCTION BY CITY AT A LATER DATE. ALL WORK SHALL BE FINISHED WITH AN ADDRESS TO THE E.P.E. ALL BUILDING DOWN SPOUTS TO BE INTO THE STORM SEWER SYSTEM. DOWN SPOUTS TO BE MAINTAINED TO ALLOW FOR INLETS TO BE USED AS DRAINAGE BOWLS.

**TEMPLETON GAP NOTE:**  
 THE TEMPLETON GAP SHALL BE CONSTRUCTED BY CITY AT A LATER DATE. ALL WORK SHALL BE FINISHED WITH AN ADDRESS TO THE E.P.E. ALL BUILDING DOWN SPOUTS TO BE INTO THE STORM SEWER SYSTEM. DOWN SPOUTS TO BE MAINTAINED TO ALLOW FOR INLETS TO BE USED AS DRAINAGE BOWLS.

FIGURE 1





N.E.S. Inc.  
619 N. Cascade Avenue, Suite 200  
Colorado Springs, CO 80905  
Tel: 719.471.0073  
Fax: 719.471.0067  
www.nesobraink.com  
© 2012. All Rights Reserved

ASCENT BY WATERMARK  
COLORADO SPRINGS, CO

DATE: 11/13/2010  
DRAWN BY: J. HANSON  
PREPARED BY: B. HANSON

DATE:	NO.	DESCRIPTION
11/13/2010	01	PRELIMINARY
11/13/2010	02	PRELIMINARY
11/13/2010	03	PRELIMINARY
11/13/2010	04	PRELIMINARY
11/13/2010	05	PRELIMINARY
11/13/2010	06	PRELIMINARY
11/13/2010	07	PRELIMINARY
11/13/2010	08	PRELIMINARY
11/13/2010	09	PRELIMINARY
11/13/2010	10	PRELIMINARY

PRELIMINARY LANDSCAPE PLAN

8 OF 23  
CPC 19-00165

**CONCEPT PLANT SCHEDULE**

1" DBL. SP. PINE	121
1" DBL. SP. PINE	80
1" DBL. SP. PINE	101
1" DBL. SP. PINE	17
2" DBL. SP. PINE	18,320 sf
3" DBL. SP. PINE	54,055 sf
4" DBL. SP. PINE	6,403 sf
5" DBL. SP. PINE	108,098 sf
6" DBL. SP. PINE	65,103 sf
7" DBL. SP. PINE	8,291 sf

ZONE: PBC AO  
USE: COMMERCIAL  
OWNER: CHIRCOMBITT LLP  
REC NO. 1914310

ZONE: PBC AO  
USE: VACANT  
OWNER: CHIRCOMBITT LLP  
REC NO. 1914310

ZONE: PBC AO  
USE: SPECIAL PURPOSE  
OWNER: SRI COLORADO  
SUB: LLC D/B/A  
SUB: POWERWOOD  
FIL NO. LA  
REC NO. 1914310

ZONE: PBC AO  
USE: VACANT  
OWNER: CHIRCOMBITT LLP  
REC NO. 1914310

ZONE: CS CADO  
USE: WAREHOUSE/  
STORAGE  
OWNER: TEMPLETON  
CAP ROAD LLC  
REC NO. 1914310

ZONE: CR CADO  
OWNER: TEMPLETON CAP LTD  
REC NO. 1914310

OTHER WAREHOUSING AND STORAGE CAP ROAD CLEAR CUT AND 5 CONSTRUCTION BY CITY AT A LATER DATE WITH ALL IMPROVEMENT COSTS BIDDING BY DEVELOPER

7" PUBLIC UTILITY & BULK DRAINAGE EASEMENT  
5' SIDE BUILDING SETBACK  
PROPOSED 25' UTILITY EASEMENT

PROPOSED 4' SIDEWALK  
PROPOSED 20' WALKWAY  
PRIVATE STREET  
MAINTENANCE EASEMENT

PROPOSED 4' SIDEWALK  
PROPOSED 20' WALKWAY  
PRIVATE STREET  
MAINTENANCE EASEMENT

PROPOSED 4' SIDEWALK  
PROPOSED 20' WALKWAY  
PRIVATE STREET  
MAINTENANCE EASEMENT

PROPOSED 4' SIDEWALK  
PROPOSED 20' WALKWAY  
PRIVATE STREET  
MAINTENANCE EASEMENT

PROPOSED 4' SIDEWALK  
PROPOSED 20' WALKWAY  
PRIVATE STREET  
MAINTENANCE EASEMENT

PROPOSED 4' SIDEWALK  
PROPOSED 20' WALKWAY  
PRIVATE STREET  
MAINTENANCE EASEMENT

PROPOSED 4' SIDEWALK  
PROPOSED 20' WALKWAY  
PRIVATE STREET  
MAINTENANCE EASEMENT

PROPOSED 4' SIDEWALK  
PROPOSED 20' WALKWAY  
PRIVATE STREET  
MAINTENANCE EASEMENT

PROPOSED 4' SIDEWALK  
PROPOSED 20' WALKWAY  
PRIVATE STREET  
MAINTENANCE EASEMENT

PROPOSED 4' SIDEWALK  
PROPOSED 20' WALKWAY  
PRIVATE STREET  
MAINTENANCE EASEMENT

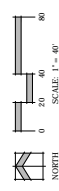
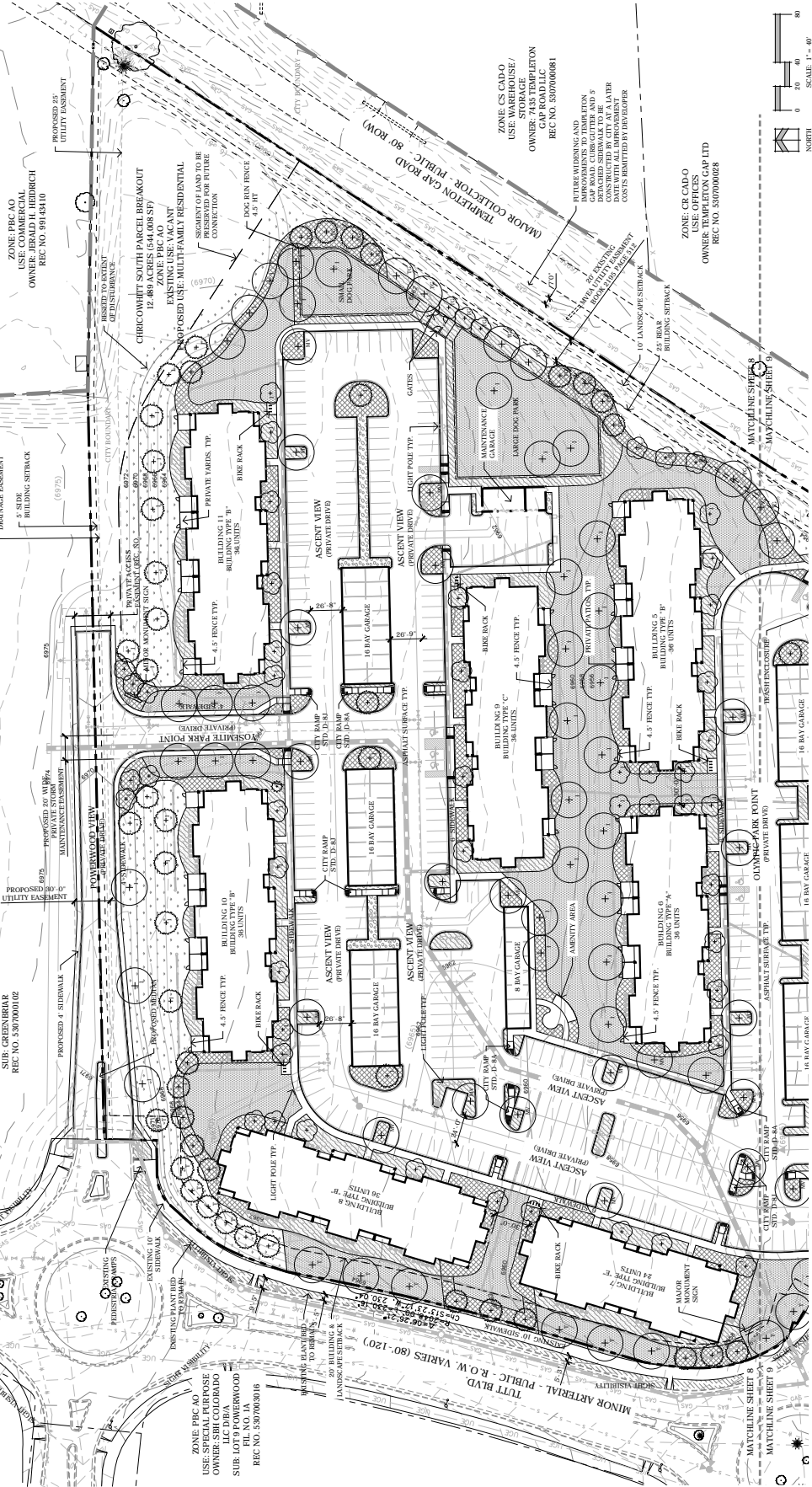


FIGURE 1



ASCENT BY  
WATERMARK

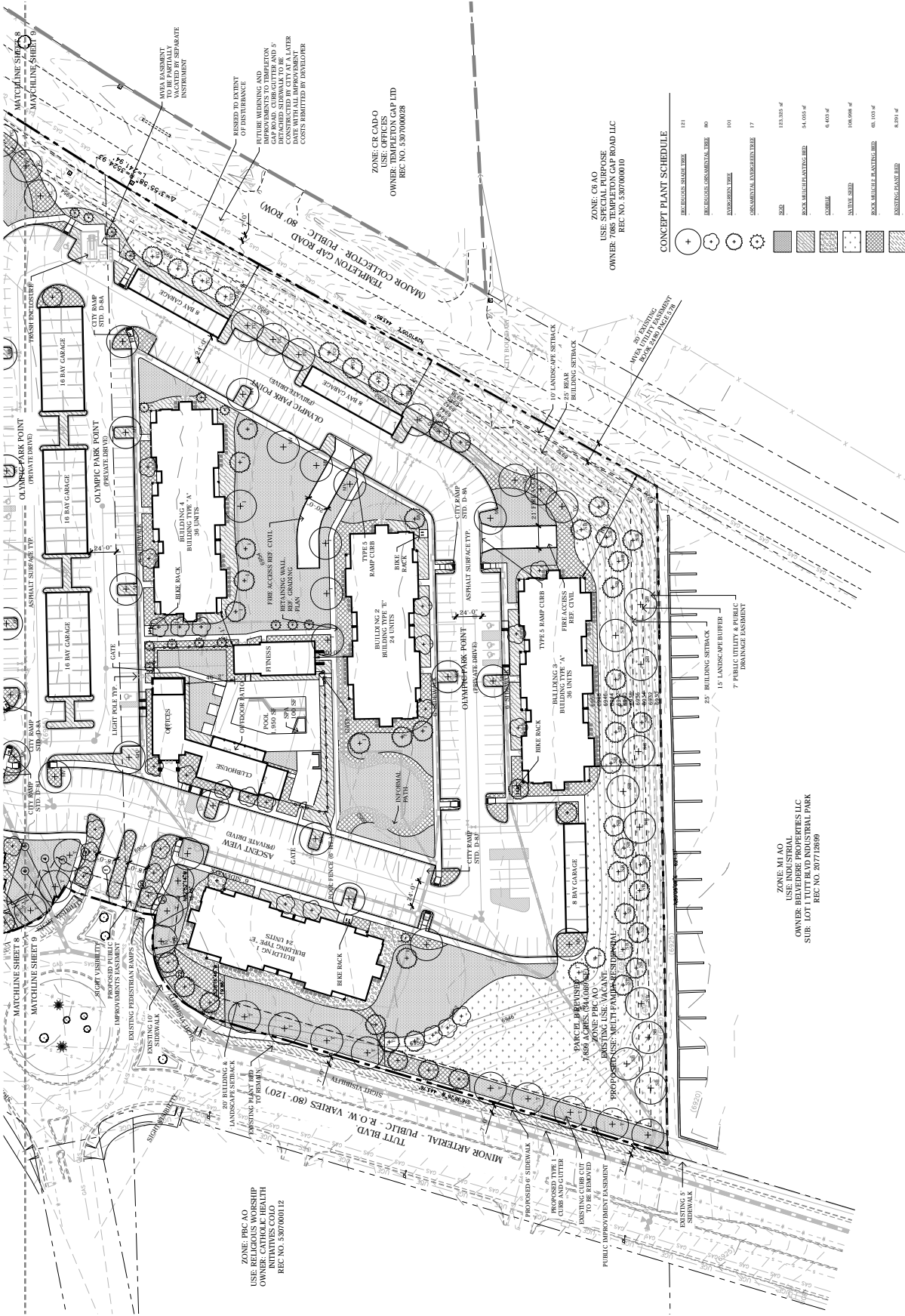
COLORADO SPRINGS, CO

DATE: 11/15/2010  
DRAWN BY: J. HANCOCK  
PREPARED BY: B. HANCOCK

DATE:	11/15/2010
DRAWN BY:	J. HANCOCK
PREPARED BY:	B. HANCOCK
PROJECT NO.:	101
DATE:	11/15/2010
DRAWN BY:	J. HANCOCK
PREPARED BY:	B. HANCOCK

PRELIMINARY  
LANDSCAPE PLAN

9 OF 23  
CPC CU 19-00165



ZONE: M1 AO  
USE: RELIGIOUS WORSHIP  
OWNER: CATHOLIC HEALTH  
INITIATIVES COLO  
REC NO. 330700012

ZONE: CR CADO  
USE: OFFICES  
OWNER: TEMPLETON GAP LTD  
REC NO. 530700028

ZONE: CR AO  
USE: SPECIAL PURPOSE  
OWNER: 7885 TEMPLETON GAP ROAD LLC  
REC NO. 530700010

CONCEPT PLANT SCHEDULE

+	121	121
○	80	80
●	101	101
⊙	17	17
■	153,325 sf	
■	54,055 sf	
■	6,803 sf	
■	108,098 sf	
■	45,105 sf	
■	8,291 sf	



ZONE: M1 AO  
USE: MULTI-FAMILY RESIDENTIAL  
OWNER: BEAVERDE PROPERTIES LLC  
SUB: LOT 1 TUTT BLVD INDUSTRIAL PARK  
REC NO. 207718999

FIGURE 1



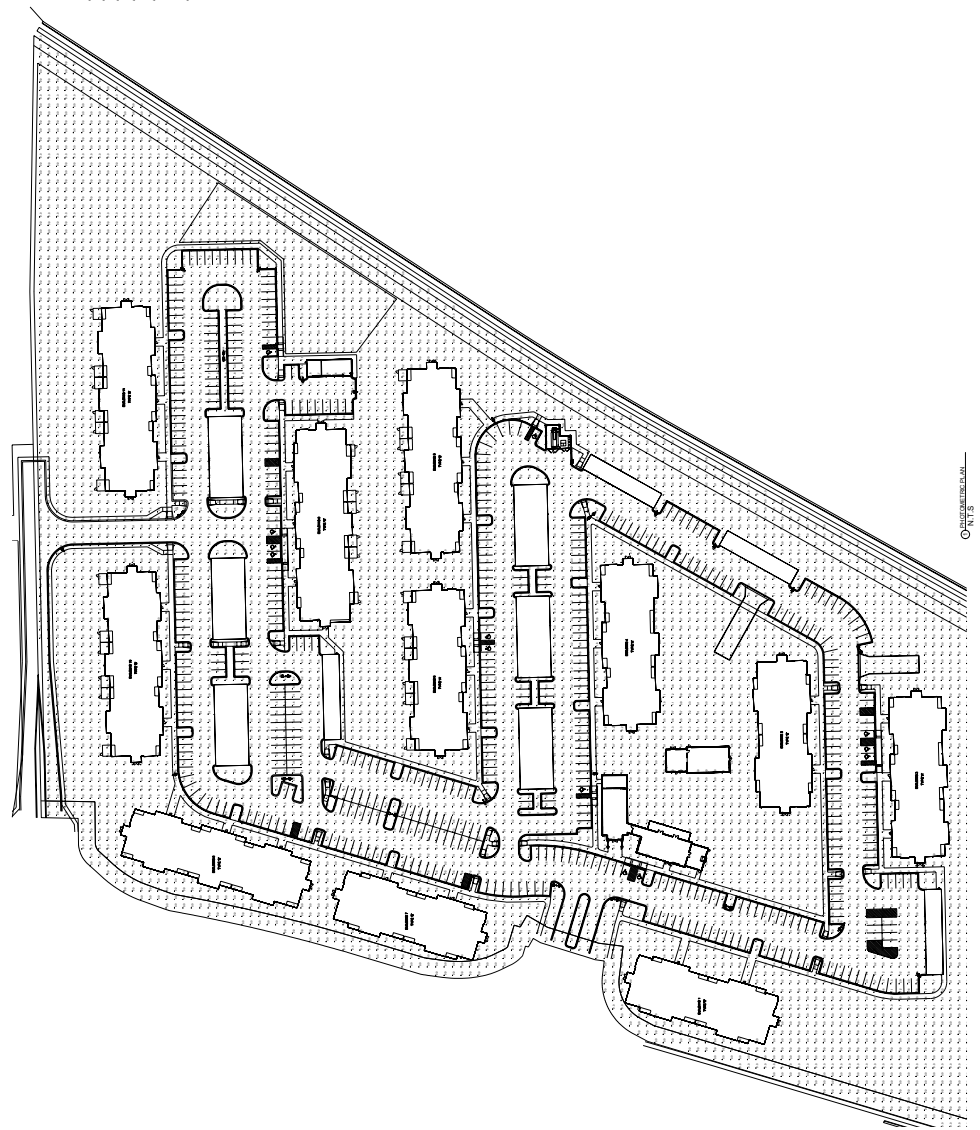
PROJECT NAME  
WATERMARK ON TUITT

PHOTOMETRIC PLAN

WATERMARK RESIDENTIAL  
COLORADO SPRINGS, CO

NO.	DATE	BY/CHG'D
102719	PEM	
101420	PEM	
ISSUE FOR REVIEW		
PER CITY COMMENTS		
DATE		
2/14/2020		

**DEVTA**  
ATLANTA • GREENVILLE • RICHMOND  
877-4DEVTA • CORP@DEVTA.COM  
10000 WILSON BLVD, SUITE 100  
DUBLIN, OH 43017



**WLS LIGHTING SYSTEMS**

**CLXM SERIES** IESNA

**CLXM SERIES** IESNA

**DESCRIPTION:**

**PHOTOMETRIC DATA:**

Beam Angle	Beam Diameter (ft)	Beam Diameter (m)	Beam Area (sq ft)	Beam Area (sq m)	Footcandle (fc)	Footcandle (lm/ft²)
15°	1.0	0.30	0.79	0.07	120	12000
30°	2.0	0.61	3.14	0.28	30	3000
45°	3.0	0.91	7.07	0.65	13	1300
60°	4.0	1.22	12.57	1.15	8	800
75°	5.0	1.52	19.63	1.81	6	600
90°	6.0	1.83	28.27	2.60	5	500
105°	7.0	2.13	38.48	3.53	4	400
120°	8.0	2.44	50.27	4.62	3	300
135°	9.0	2.74	63.62	5.86	3	300
150°	10.0	3.05	78.54	7.25	3	300

**WLS LIGHTING SYSTEMS**

**WLS LIGHTING SYSTEMS**

**CLXM SERIES** IESNA

**CLXM SERIES** IESNA

**DESCRIPTION:**

**PHOTOMETRIC DATA:**

Beam Angle	Beam Diameter (ft)	Beam Diameter (m)	Beam Area (sq ft)	Beam Area (sq m)	Footcandle (fc)	Footcandle (lm/ft²)
15°	1.0	0.30	0.79	0.07	120	12000
30°	2.0	0.61	3.14	0.28	30	3000
45°	3.0	0.91	7.07	0.65	13	1300
60°	4.0	1.22	12.57	1.15	8	800
75°	5.0	1.52	19.63	1.81	6	600
90°	6.0	1.83	28.27	2.60	5	500
105°	7.0	2.13	38.48	3.53	4	400
120°	8.0	2.44	50.27	4.62	3	300
135°	9.0	2.74	63.62	5.86	3	300
150°	10.0	3.05	78.54	7.25	3	300

**WLS LIGHTING SYSTEMS**

**WLS LIGHTING SYSTEMS**

**XSP SERIES** IESNA

**XSP SERIES** IESNA

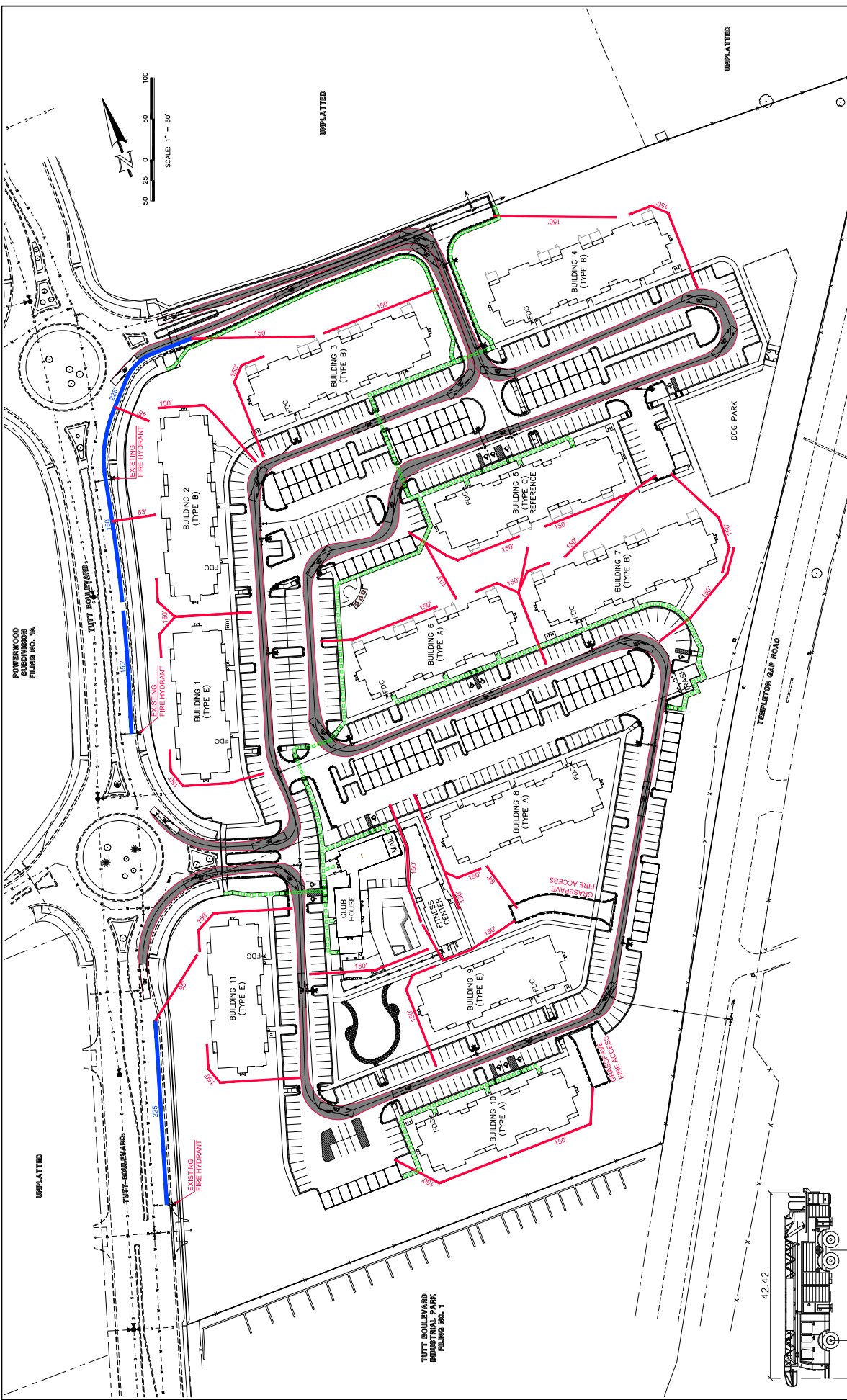
**DESCRIPTION:**

**PHOTOMETRIC DATA:**

Beam Angle	Beam Diameter (ft)	Beam Diameter (m)	Beam Area (sq ft)	Beam Area (sq m)	Footcandle (fc)	Footcandle (lm/ft²)
15°	1.0	0.30	0.79	0.07	120	12000
30°	2.0	0.61	3.14	0.28	30	3000
45°	3.0	0.91	7.07	0.65	13	1300
60°	4.0	1.22	12.57	1.15	8	800
75°	5.0	1.52	19.63	1.81	6	600
90°	6.0	1.83	28.27	2.60	5	500
105°	7.0	2.13	38.48	3.53	4	400
120°	8.0	2.44	50.27	4.62	3	300
135°	9.0	2.74	63.62	5.86	3	300
150°	10.0	3.05	78.54	7.25	3	300

**WLS LIGHTING SYSTEMS**

FIGURE 1

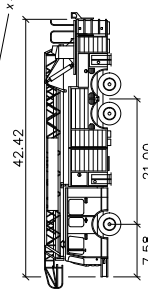


THE ASCENT BY WATERMARK FILING NO. 1  
FIRE COVERAGE EXHIBIT

**CLASSIC CONSULTING**

10115 S. Highway 101, Suite 200  
Colorado Springs, Colorado 80903  
(719) 582-0999 (Fax)

DESIGNED BY	SCALE	DATE	SHEET
DRAWN BY	MES (H) 1" = 50'	01/16/20	12 OF 22
CHECKED BY	(V) 1" = N/A		JOB NO. 2100-00



CSFD	feet
Width	: 42.42
Track	: 21.00
Lock to Lock	: 7.58
Steering Angle	: 44.0

TULLY BOULEVARD INDUSTRIAL PARK FILING NO. 1

UNPLATTED

UNPLATTED

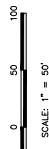
UNPLATTED

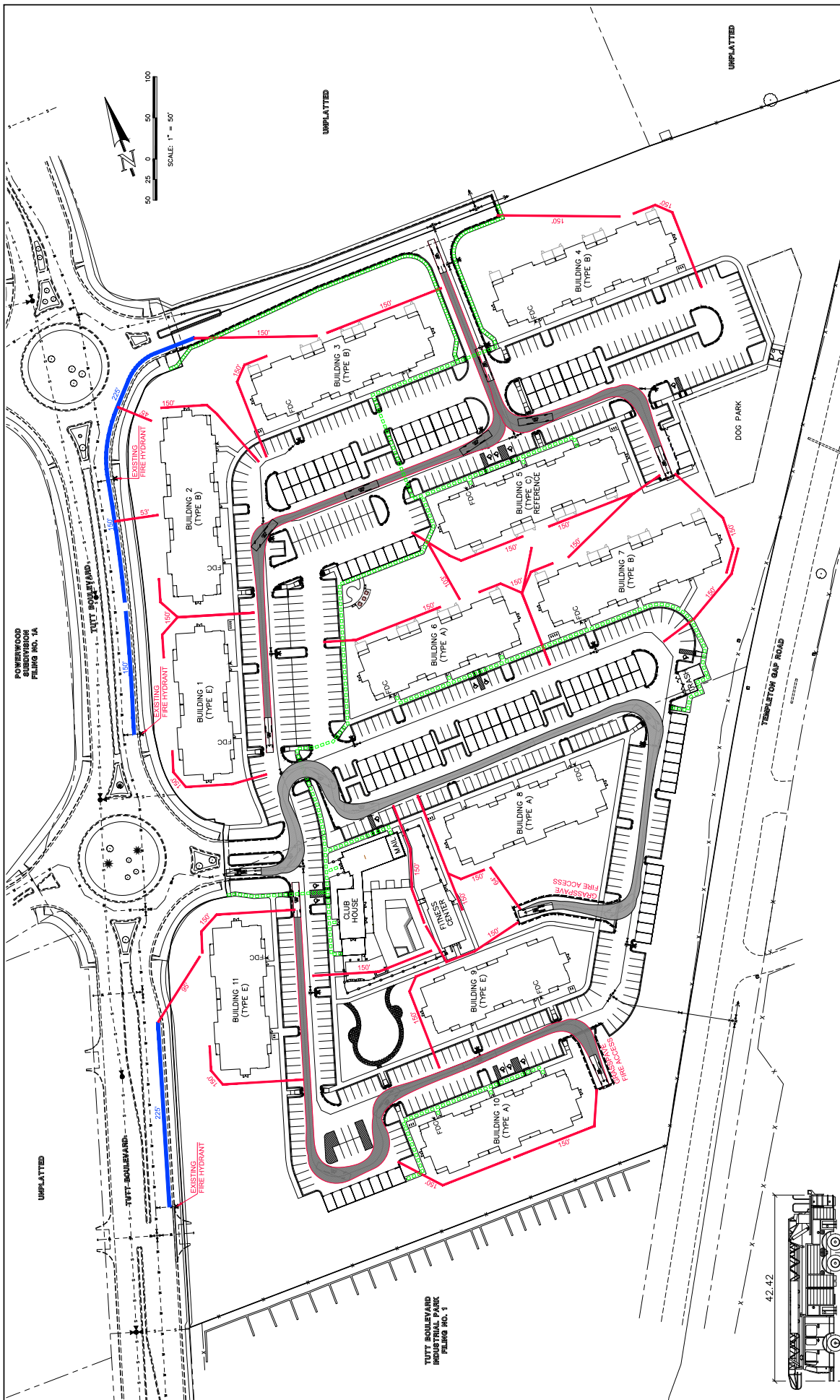
POWERWOOD SUBDIVISION PHASE 2A, 1A

TULLY BOULEVARD

TEMPLETON GAP ROAD

DOG PARK





THE ASCENT BY WATERMARK FILING NO. 1  
FIRE COVERAGE EXHIBIT

**CLASSIC CONSULTING**  
10155 E. Highway 130, Suite 200  
Colorado Springs, Colorado 80903  
(719) 592-0799 (Fax)

DESIGNED BY	SCALE	DATE
DRAWN BY	(H) 1" = 50'	01/16/20
CHECKED BY	(V) 1" = N/A	01/16/20
		SHEET 13 OF 22
		JOB NO. 2100-00

**LEGEND:**

DESCRIPTION	SYMBOL
BOUNDARY LINE	---
"NO PARKING" FIRE LINE SIGNS AND/OR PAINTED CURB	---
PROPOSED DIRECT ADA ROUTING	---

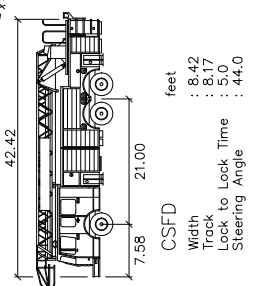
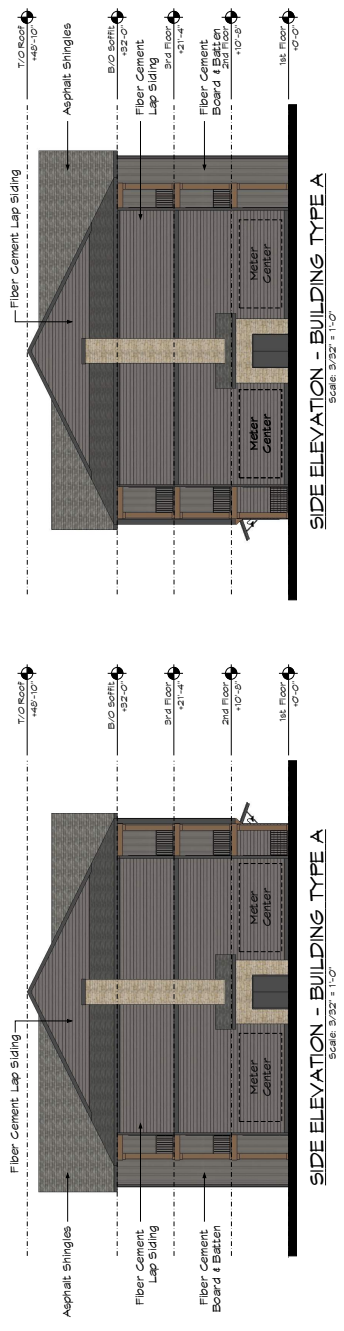


FIGURE 1



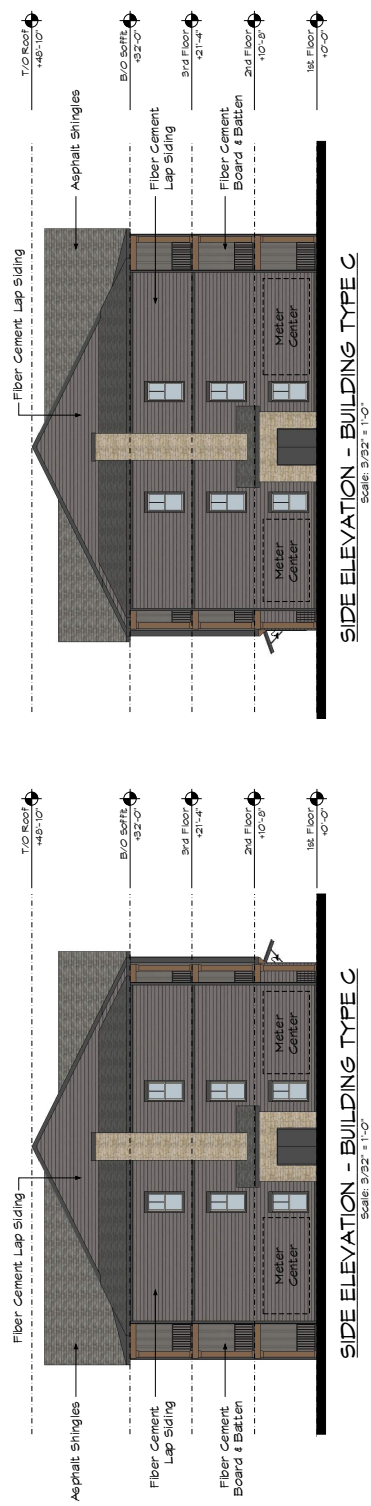
CONCEPTUAL BUILDING ELEVATION SCHEME B

FIGURE 1



CONCEPTUAL BUILDING ELEVATION SCHEME B

FIGURE 1



CONCEPTUAL BUILDING ELEVATION SCHEME B





CONCEPTUAL BUILDING ELEVATION SCHEME B



FIGURE 1

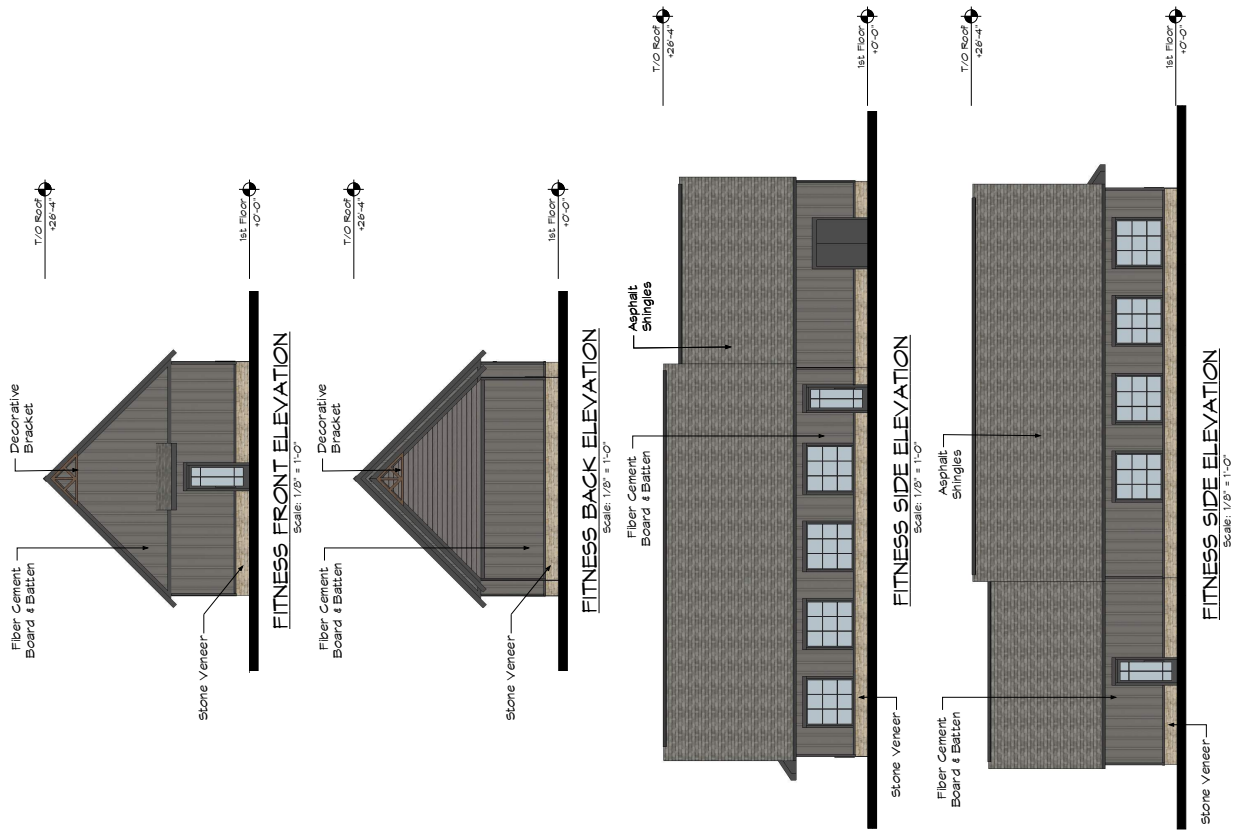


FIGURE 1

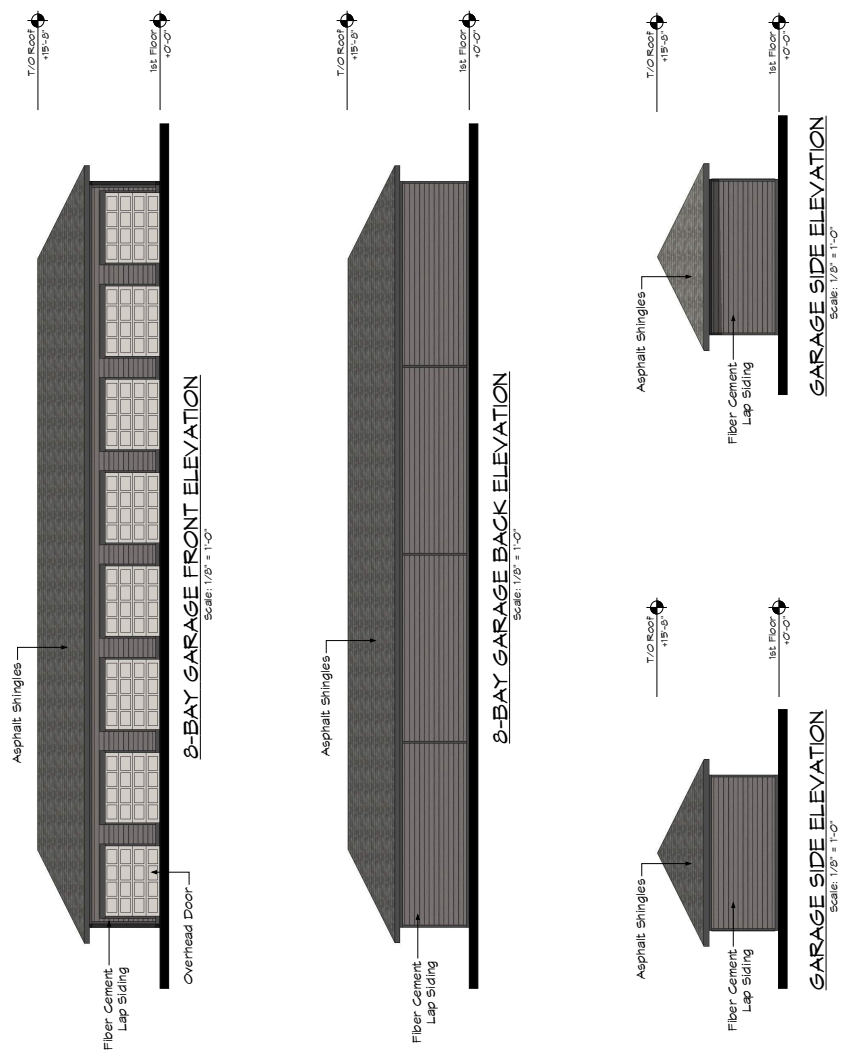
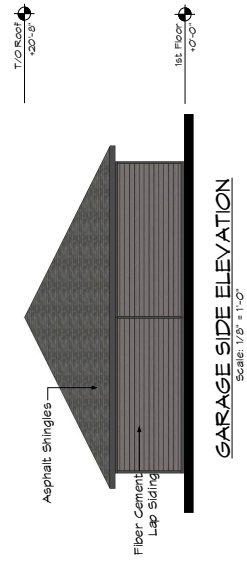
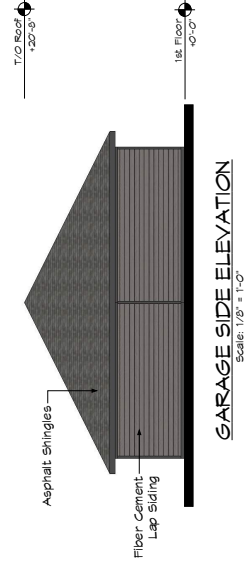
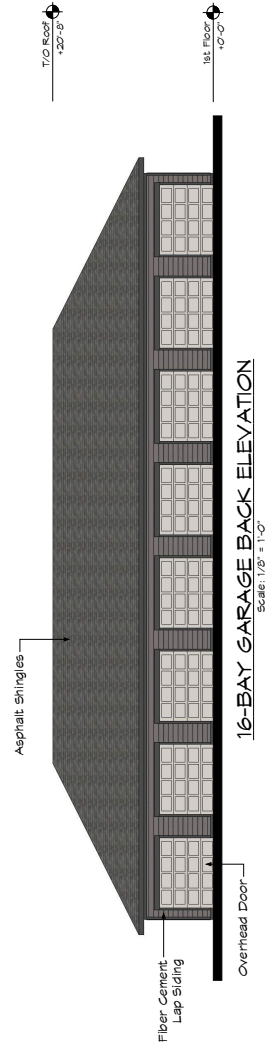
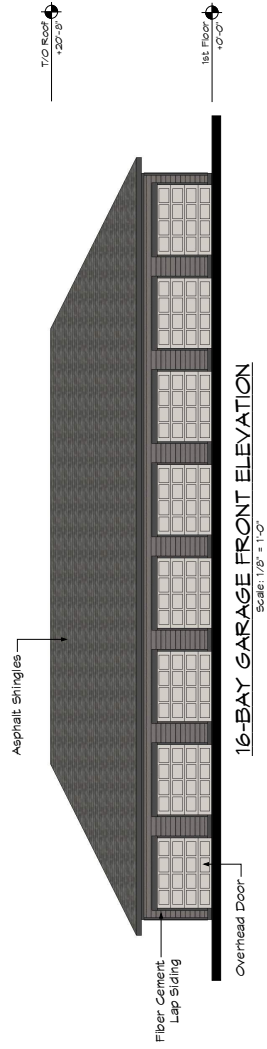


FIGURE 1



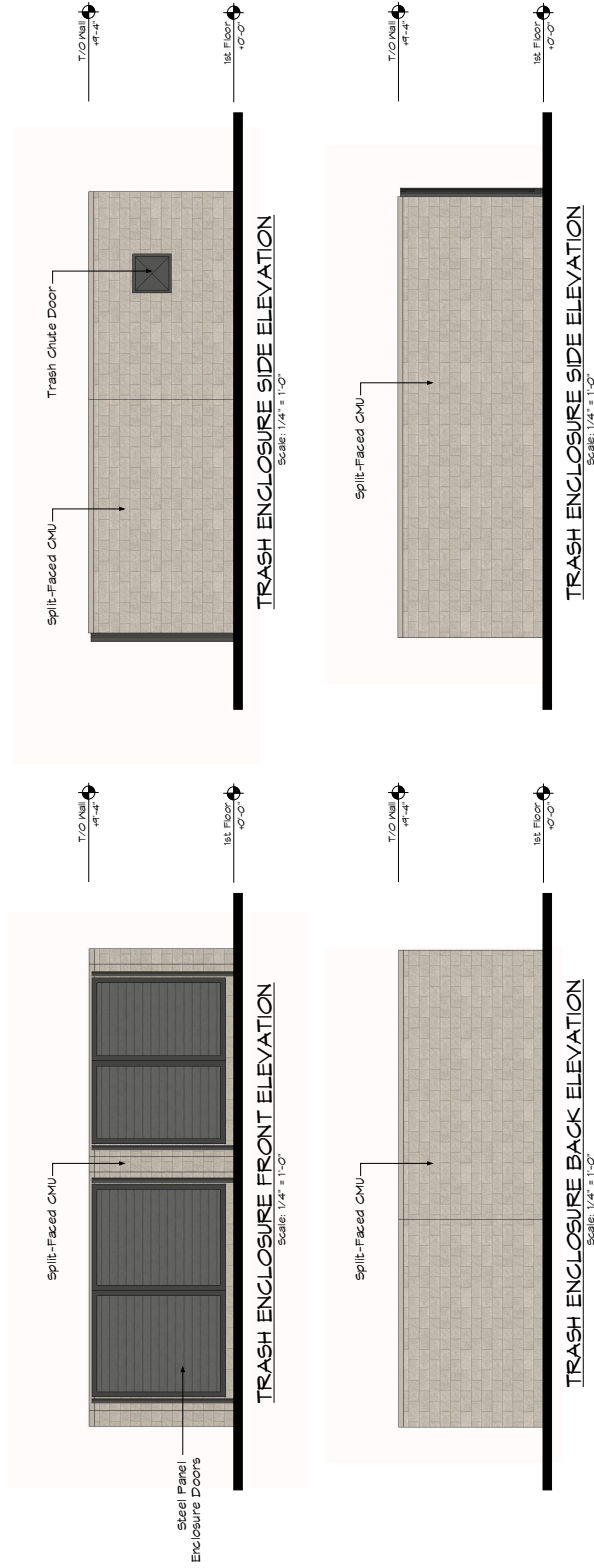


FIGURE 1