

# COLORADO SPRINGS HISTORIC PRESERVATION BOARD NOTICE TO PROCEED

1232 N NEVADA AVENUE

On June 5, 2014, staff to the Colorado Springs Historic Preservation Board issued a Notice to Proceed for the following work to be done at the property addressed as 1232 N Nevada Avenue (El Paso County Assessor Number 6407107001):

1. Demolish the existing deck and fire escape on the southwest corner of the home and replace the deck and fire escape in the same location. The deck will be built of composite decking material.

This property is located in a district that is zoned Historic Preservation Overlay (HP), and is thus subject to the provisions of the City of Colorado Springs' Zoning Code (Chapter 7, Article 5, Part 16 Section 1603:C).

The location of the proposed work was found not to be visible from any public right-of-way. Accordingly, the proposed work shall not be further delayed by reason of Historic Preservation (HP) overlay zone classification.



*Donna Thelen*  
Donna Thelen, AICP, CED AP BD+C  
Secretary of the Historic Preservation Board

Date

6/5/2014

c: Historic Preservation Board  
File HPB 14-42

COMMERCIAL

2011 PPRBC

Resubmittal: \_\_\_\_\_ 2nd \_\_\_\_\_ 3rd \_\_\_\_\_  
Address: 1232 N NEVADA AVE, COLORADO SPRINGS



Parcel: 6407107001

Plan Track #: 78419 Received: 15-Oct-2014 (REBECCA)

Description: DECK  
Required PPRBD Departments (3)

Contractor: \_\_\_\_\_  
Permit #: \_\_\_\_\_  
Zone: R2 HP COLORADO SPRINGS

APPROVED FOR CONSTRUCTION

Required Outside Departments (1)

CO Springs DRE

1 1 1 1 1

10/20/14

Release of this plan does not preclude compliance with all applicable codes, ordinances and other performance requirements. This plan set must be present on the job site for every inspection.

*4440-16-14  
See 91  
Replacement of Deck. Same location / no change to size / location. HP approved ok per LST*

Date: \_\_\_\_\_ By: \_\_\_\_\_  
Plan-check Fee: \$14.00 (0)

Code: 01B3 / 11 R3C

Occupancy Class: R-2

Type of Construction: IV-B

Floor or # of stories: 3

Occupancy Load: existing, no change

Fire Sprinkled for:

Area  Height  Bsm't

1-Hr Sub  Occ/Use  Other  N/A

Mixed Use:  Acc.  Separate  N/Separate

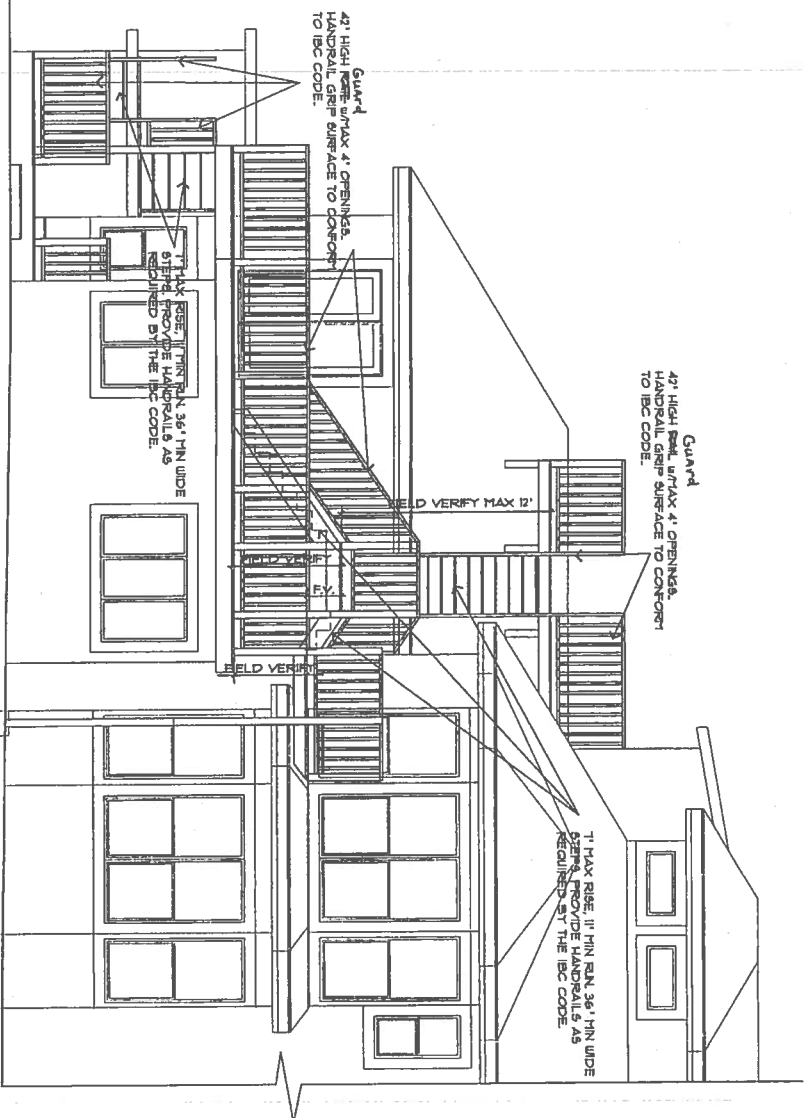
Fire Wall:  N/A  Combined

Yes  No Largest Area \_\_\_\_\_

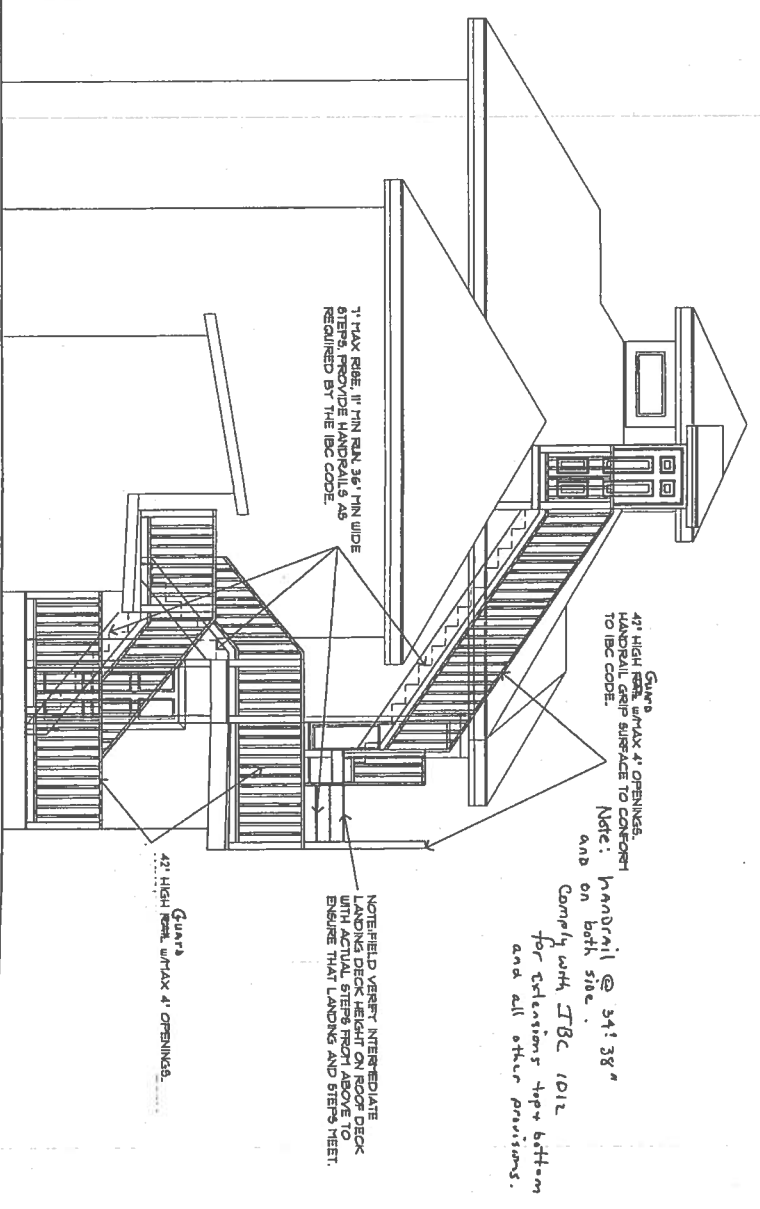
Horizontal Assembly:  Structure  Drop Clg  N/A

Alt. Fire Hazm/HP \_\_\_\_\_

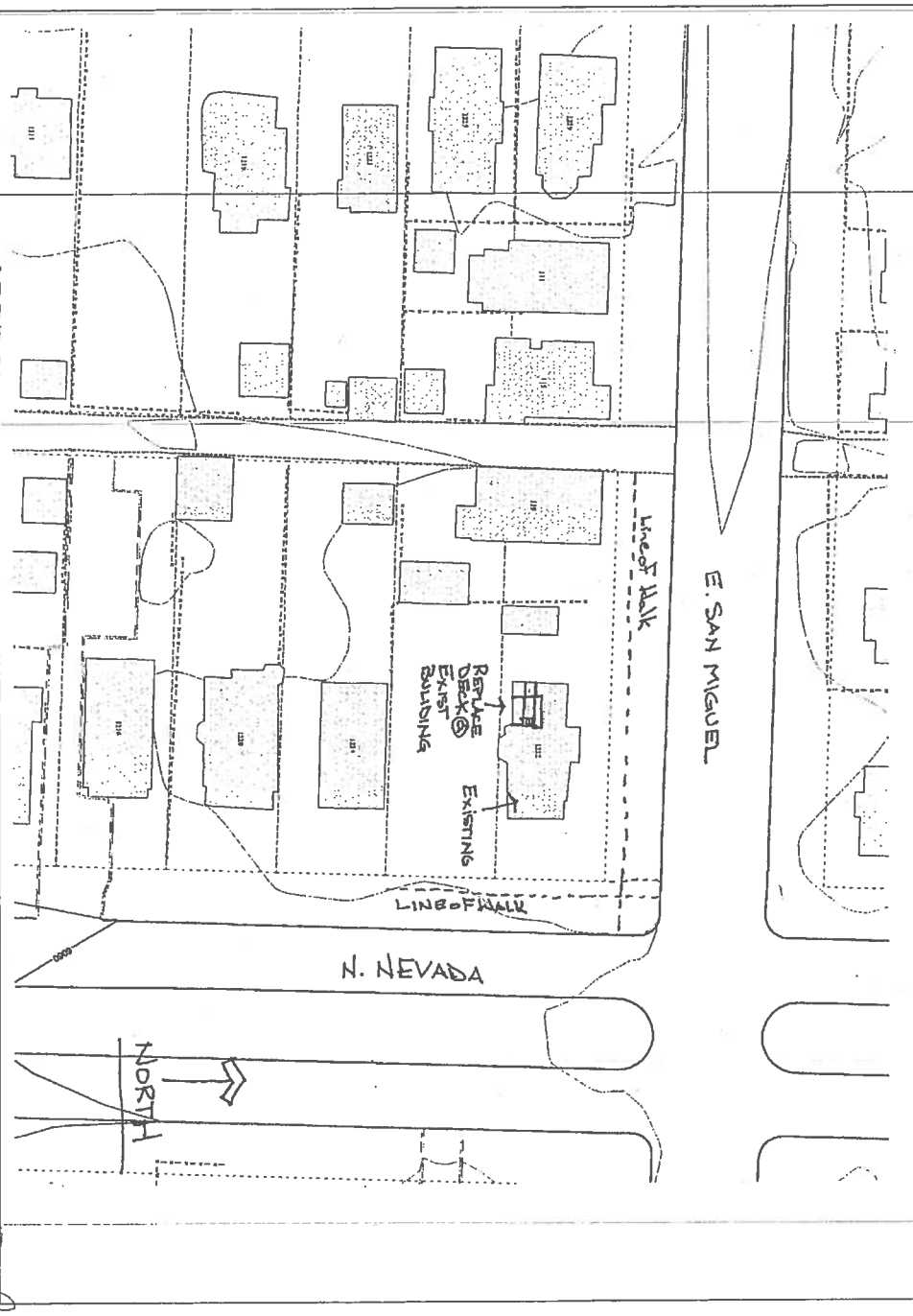
Fire: \_\_\_\_\_



**ELEVATION 1**



**ELEVATION 2**



**SITE PLAN**

**SITE INFO:**  
**ADDRESS:** 1232 N. NEVADA AVE  
**LEGAL:** E. 88 FT LOTS B, 16 RICHARD C BRIGGS & SUE BLK 216, ADD 1 IN THE CITY OF COLORADO SPRING, EL PASO COUNTY, COLORADO.  
**SITE DATA:**  
 Lot Size = 0.2660  
 Lot Area = 11,310  
 Lot Code = 216-000  
 Zoning = R2 HP  
 Tax Schedule = 64(01)-01-001  
 Building Height = EXISTING TO REBUILT

**NOTES**  
 1. NOTE: ALL ENGINEERING FOR BEAMS, HEADERS, & STRUCTURAL MATERIALS SHALL BE DESIGNED BY A COLORADO PROFESSIONAL ENGINEER. ALL MATERIALS AS NOTED SHALL BE PROVIDED BY AN ENGINEER. SHALL BE EDITED AS NECESSARY.  
 2. PROVIDE 1-1/2\"/>

**CODE COMPLIANCE**

2011	(F) FBC	PEAK REGIONAL BUILDING CODE
2009	(R) IBC	INTERNATIONAL RESIDENTIAL CODE
2009	(R) IBC	INTERNATIONAL BUILDING CODE
2009	(R) IBC	INTERNATIONAL MECHANICAL CODE
2009	(R) IBC	INTERNATIONAL PLUMBING CODE
2011	(R) NEC	NATIONAL ELECTRICAL CODE

**CODE INFORMATION:**

2011 Edition of the Peak Regional Building Code (2011 F) FBC

**LOADING**

UND. LOAD:	160 HPF
EXPOSURE:	C
ROOF LOADS:	LIVE LOAD: 30' PSF
	DEAD LOAD: 15' PSF
DECK LOADS:	LIVE LOAD: 40' PSF
	DEAD LOAD: 15' PSF
	LEDGER: 6.6' PSF

**NOTES**

(\*) As amended by 2011 project.  
 (\*\*) Or the latest edition adopted by the state or co.  
 Note: 2011 F) FBC can be viewed at [www.fbc.org](http://www.fbc.org)

Size pier w/required open hole insp. Assumed 1500# bearing ok

**APPROVED**

CITY DEVELOPMENT REVIEW ENTERPRISE  
 DATE: 10/20/14  
 BY: [Signature]  
 No Change to 8/22/14 action.

**ELEVATION PLANS and SITE PLAN**

SCALE: 1/4" = 1'-0"

**CONTRACTOR**  
**JACKSON HOMES**  
 COLORADO SPRINGS, CO.  
 PHONE: 719.481.0047  
 FAX: 719.693.0035  
 email: [w@jacksonhouserepairs.com](mailto:w@jacksonhouserepairs.com)

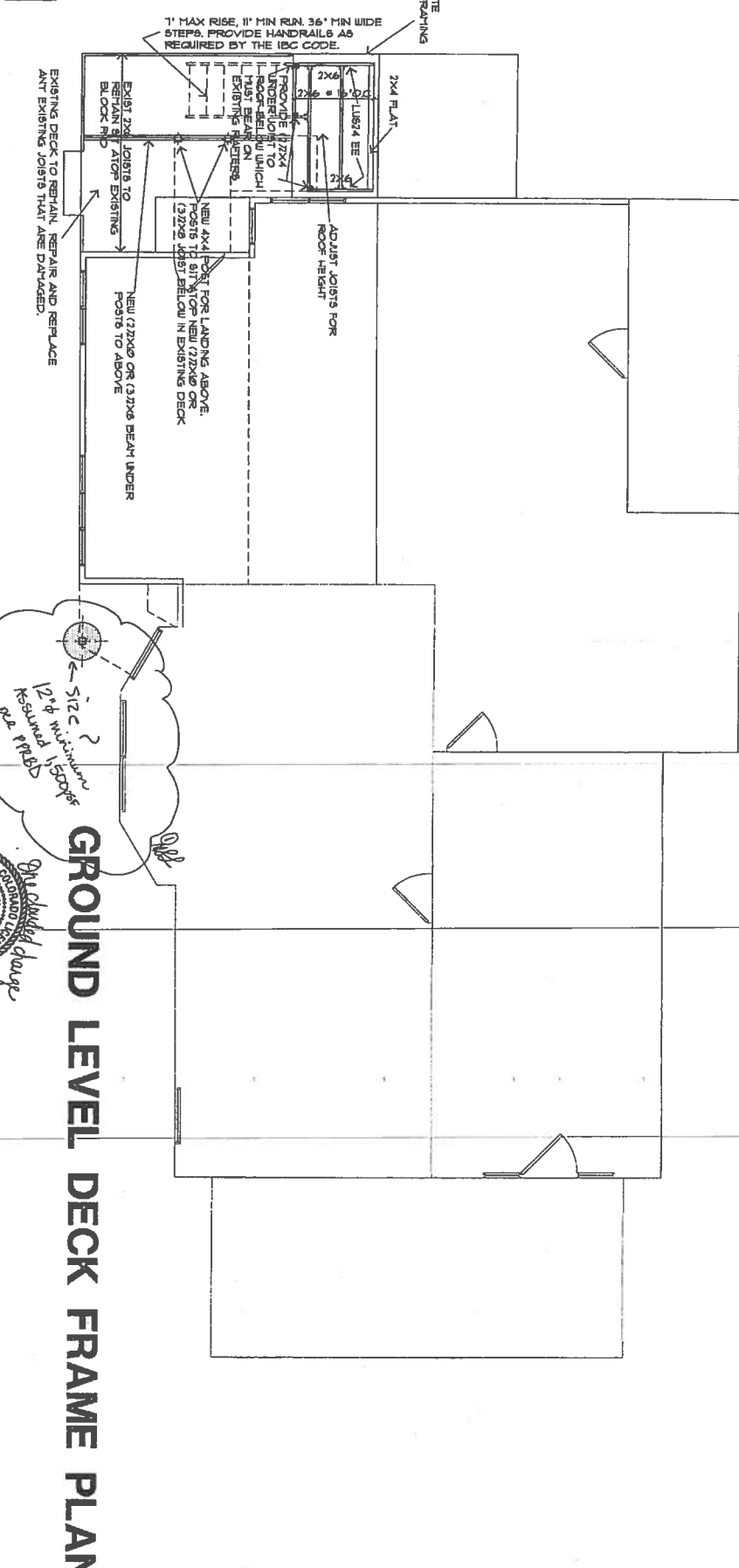
**THE**  
**EGRESS DECKS FOR**  
**1232 N. NEVADA AVE**

Released for Permit  
 OCT 24 2014  
 DIM  
 RFD Construction

Sheet # **A1**  
 OF 4 Sheets

**FIGURE 2**

NOTE: FIELD VERIFY ALL DIMS PRIOR TO CONSTRUCTION. ADJUST AS NEEDED



**CODE COMPLIANCE:**

2011 (IFB) Pikes Peak Regional Building Code  
 2009 (IRC) International Residential Code  
 2009 (IBC) International Building Code  
 2009 (IECC) International Energy Conservation Code  
 2009 (IFC) International Fire Code  
 2009 (IFPB) International Plumbing Code  
 2011 (NEC) National Electrical Code

**CODE INFORMATION:**

2011 Edition of the Pikes Peak Regional Building Code  
 2009 IRC (1) (2011 IFB/C)

**LOADING**

UNFD LOAD: 100 PSF  
 EXPOSURE: 'C'  
 ROOF LOADS: LIVE LOAD: 30' PSF  
 DEAD LOAD: 5' PSF  
 DECK LOADS: LIVE LOAD: 40' PSF  
 DEAD LOAD: 5' PSF  
 LEDGERS: 66' PSF

**NOTES**

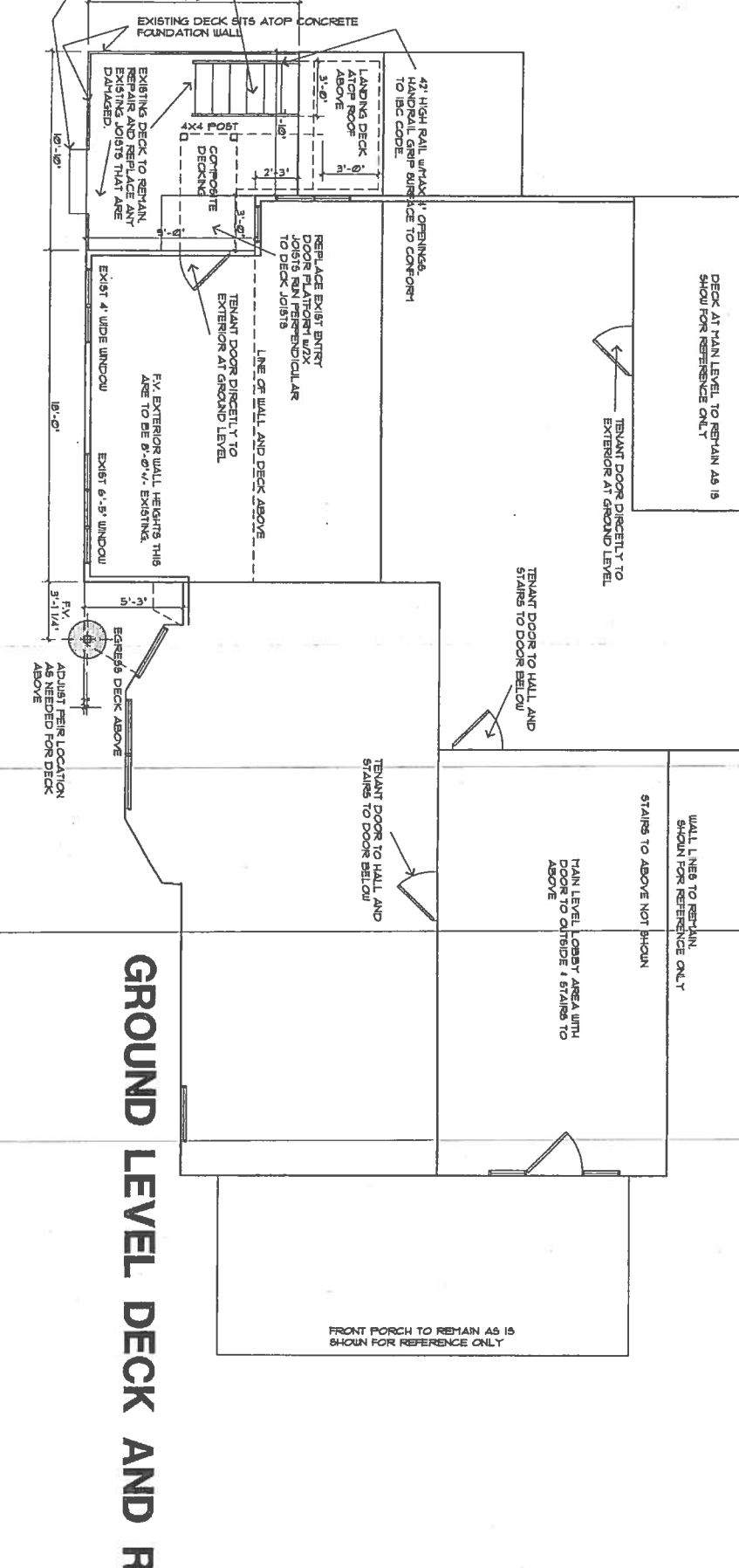
1. NOTE: ALL ENGINEERING FOR BEAMS, HEADERS, & STRUCTURAL MATERIALS SHALL BE DESIGNED BY A COLORADO PROFESSIONAL ENGINEER. ALL MATERIALS AS NOTED SHALL BE REVIEWED BY AN ENGINEER & SHALL BE EDITED AS NECESSARY.  
 2. PROVIDE 1-1/2" CLIP PER RAFTER END POINT • EACH END OF RAFTER NOT UTILIZING OTHER ANCHORS-JUNC.  
 3. UNLESS OTHERWISE NOTED.  
 ROOF OVERLAPS: AT EAVES 'D'  
 AT GABLES 'D'

**GROUND LEVEL DECK FRAME PLAN**

*12' 8" minimum required height per IBC*

*On field change*

NOTE: FIELD VERIFY ALL DIMS PRIOR TO CONSTRUCTION. ADJUST AS NEEDED



**GROUND LEVEL DECK AND ROOF FRAME**

FRONT PORCH TO REMAIN AS IS SHOWN FOR REFERENCE ONLY

MAIN LEVEL LOBBY AREA WITH STAIRS TO OUTSIDE & STAIRS TO ABOVE NOT SHOWN

WALL LINES TO REMAIN. SHOWN FOR REFERENCE ONLY

STAIRS TO ABOVE NOT SHOWN

TENANT DOOR TO HALL AND STAIRS TO DOOR BELOW

TENANT DOOR TO HALL AND STAIRS TO DOOR BELOW

EXIST 4' WIDE WINDOW

EXIST 6'-5" WINDOW

F.V. EXTERIOR WALL HEIGHTS THIS ARE TO BE 8'-0" V. EXISTING

LINE OF WALL AND DECK ABOVE

TENANT DOOR DIRECTLY TO EXTERIOR AT GROUND LEVEL

REPLACE EXIST ENTRY DOOR PLATFORM W/2 JOISTS RUN PERPENDICULAR TO DECK JOISTS

EXISTING DECK TO REMAIN. REPAIR AND REPLACE ANY EXISTING JOISTS THAT ARE DAMAGED.

EXISTING DECK SITS ATOP CONCRETE FOUNDATION WALL

1" MAX RISE, 11" MIN RUN, 36" MIN WIDE STEPS, PROVIDE HANDRAILS AS REQUIRED BY THE IBC CODE.

11'-3"

EXISTING DECK TO REMAIN. REPAIR AND REPLACE ANY EXISTING JOISTS THAT ARE DAMAGED.

4" HIGH RAIL WITH 3" OPENINGS. HANDRAIL GRIP SURFACE TO CONFORM TO IBC CODE

LANDING DECK ATOP ROOF ABOVE

3'-0"

EXISTING DECK TO REMAIN. REPAIR AND REPLACE ANY EXISTING JOISTS THAT ARE DAMAGED.

EXIST 2x4 JOISTS TO REMAIN ATOP EXISTING BLOCK FLD

EXIST 2x4 JOISTS TO REMAIN ATOP EXISTING BLOCK FLD

1" MAX RISE, 11" MIN RUN, 36" MIN WIDE STEPS, PROVIDE HANDRAILS AS REQUIRED BY THE IBC CODE.

2x4 FLAT

ADJUST JOISTS FOR ROOF HEIGHT

NEW 4x4 POST FOR LANDING ABOVE. POSTS TO BE MINOR NEW (2x4x8 OR 2x6x8) BELOW IN EXISTING DECK

NEW 2x2x8 OR 2x2x8 BEAM UNDER POSTS TO ABOVE

DECK AT MAIN LEVEL TO REMAIN AS IS SHOWN FOR REFERENCE ONLY

TENANT DOOR DIRECTLY TO EXTERIOR AT GROUND LEVEL

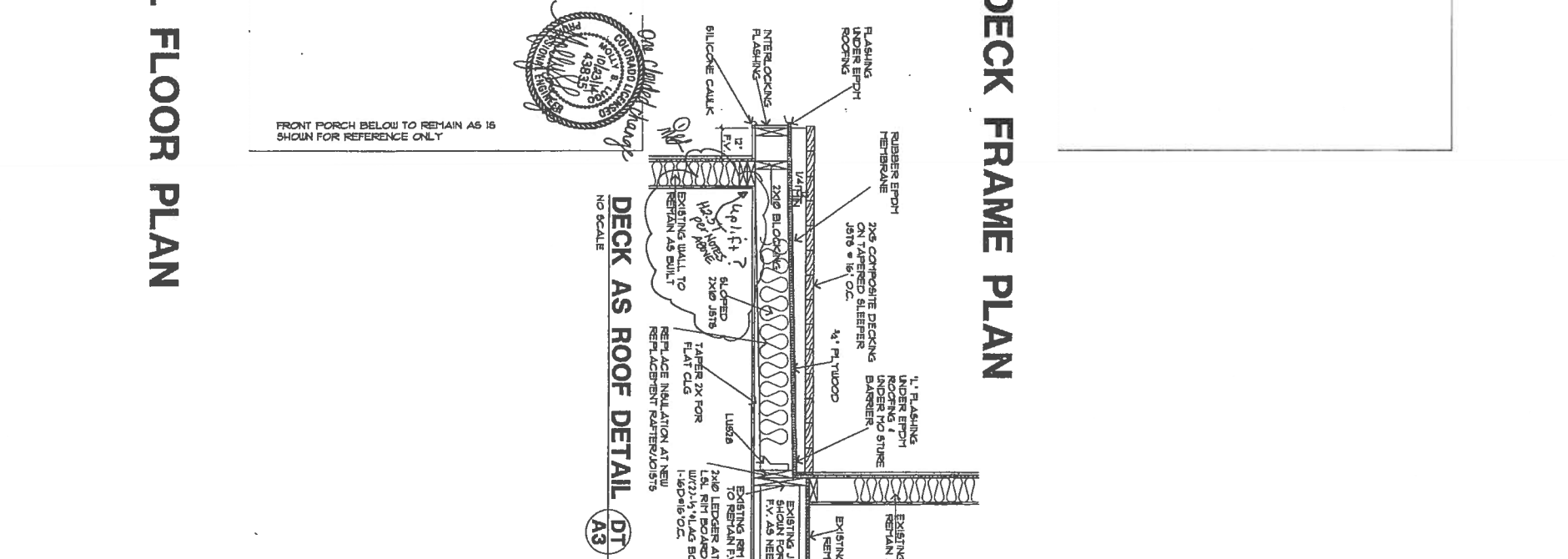
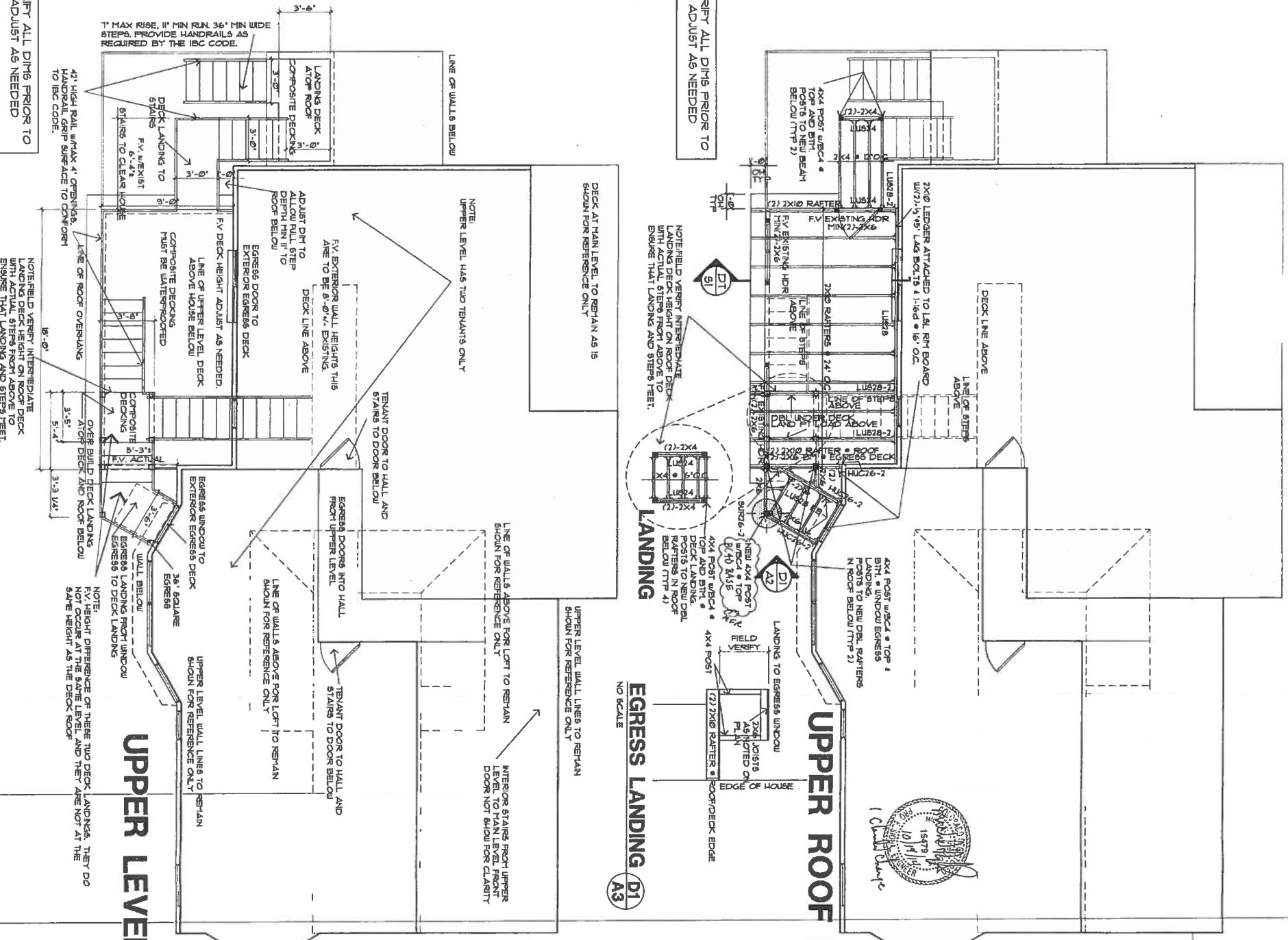
**DECK AND STAIR PLAN VIEWS & EGRESS LAYOUTS & FRAMING PLANS**

Sheet # <b>A2</b> OF 4 Sheets	<b>ENGINEER</b> <b>MIBAR ENGINEERING</b> 6825 SILVER PONDS HEIGHT SUITE 101 COLORADO SPRINGS, CO. 80906 PHONE: 719.487.0812 FAX: 719.4819206	<b>THE</b> <b>EGRESS DECKS FOR</b> <b>1232 N. NEVADA AVE</b>	<b>CONTRACTOR</b> <b>JACKSON HOMES</b> COLORADO SPRINGS, CO. PHONE: 719.401.9047 FAX: 719.598.6035 email: wlf@jacksonhomedevco.com
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**FIGURE 2**

NOTE: FIELD VERIFY ALL DIMS PRIOR TO CONSTRUCTION. ADJUST AS NEEDED

NOTE: FIELD VERIFY ALL DIMS PRIOR TO CONSTRUCTION. ADJUST AS NEEDED



CODE COMPLIANCE:	
2011	(F) IRC (F) PEAK REGIONAL BUILDING CODE
2009	(R) IRC (R) INTERNATIONAL RESIDENTIAL CODE
2009	(R) IRC (R) INTERNATIONAL BUILDING CODE
2009	(R) IRC (R) INTERNATIONAL MECHANICAL CODE
2009	(R) IRC (R) INTERNATIONAL PLUMBING CODE
2011	(R) NEC (R) NATIONAL ELECTRICAL CODE

CODE INFORMATION:	
2011	Edition of the Peak Regional Building Code (R) (F) (R) (R) (R) (R)
2009	IBC (F)
2009	IBC (R)
2009	IBC (R)
2009	IBC (R)
2011	NEC (R)
2009	IBC (R)

LOADING	
WIND LOAD:	160 MPH EXPOSURE 'C'
ROOF LOADS:	LIVE LOAD - 20# PSF DEAD LOAD - 10# PSF
DECK LOADS:	LIVE LOAD - 40# PSF DEAD LOAD - 10# PSF LEADER - 85# PSF

NOTES	
1.	NOTE: ALL ENGINEERING FOR BEAMS, HEADERS, & STRUCTURAL MEMBERS SHALL BE DESIGNED BY A COLORADO PROFESSIONAL ENGINEER. ALL DIMENSIONS SHALL BE REVERSED BY AN ENGINEER. 1 SHALL BE EDITED AS NECESSARY.
2.	PROVIDE 1/2\"/>

DECK AND STAIR PLAN VIEWS & EGRESS LAYOUTS & FRAMING PLANS

STRUCTURAL ONLY  
Released for Permit  
OCT 24 2014  
DIN  
RBD Construction  
SCALE 1/4"=1'-0"

**ENGINEER**  
**MIBAR ENGINEERING**  
6825 SILVER POND HEIGHT QUITE 101  
COLORADO SPRINGS, CO. 80908  
PHONE: 719.487.0812  
FAX: 719.481.9204

**THE**  
**EGRESS DECKS FOR**  
**1232 N. NEVADA AVE**

**CONTRACTOR**  
**JACKSON HOMES**  
COLORADO SPRINGS, CO.  
PHONE: 719.481.1047  
FAX: 719.660.0025  
email: wib@jacksonhomesazendo.com

FIGURE 2

NOTE: FIELD VERIFY ALL DIMS PRIOR TO CONSTRUCTION. ADJUST AS NEEDED

DECK AND STAIR PLAN VIEWS & EGRESS LAYOUTS & FRAMING PLANS

Scale 1/4" = 1'-0"



STRUCTURAL ONLY

Released for Perm  
OCT 24 2014

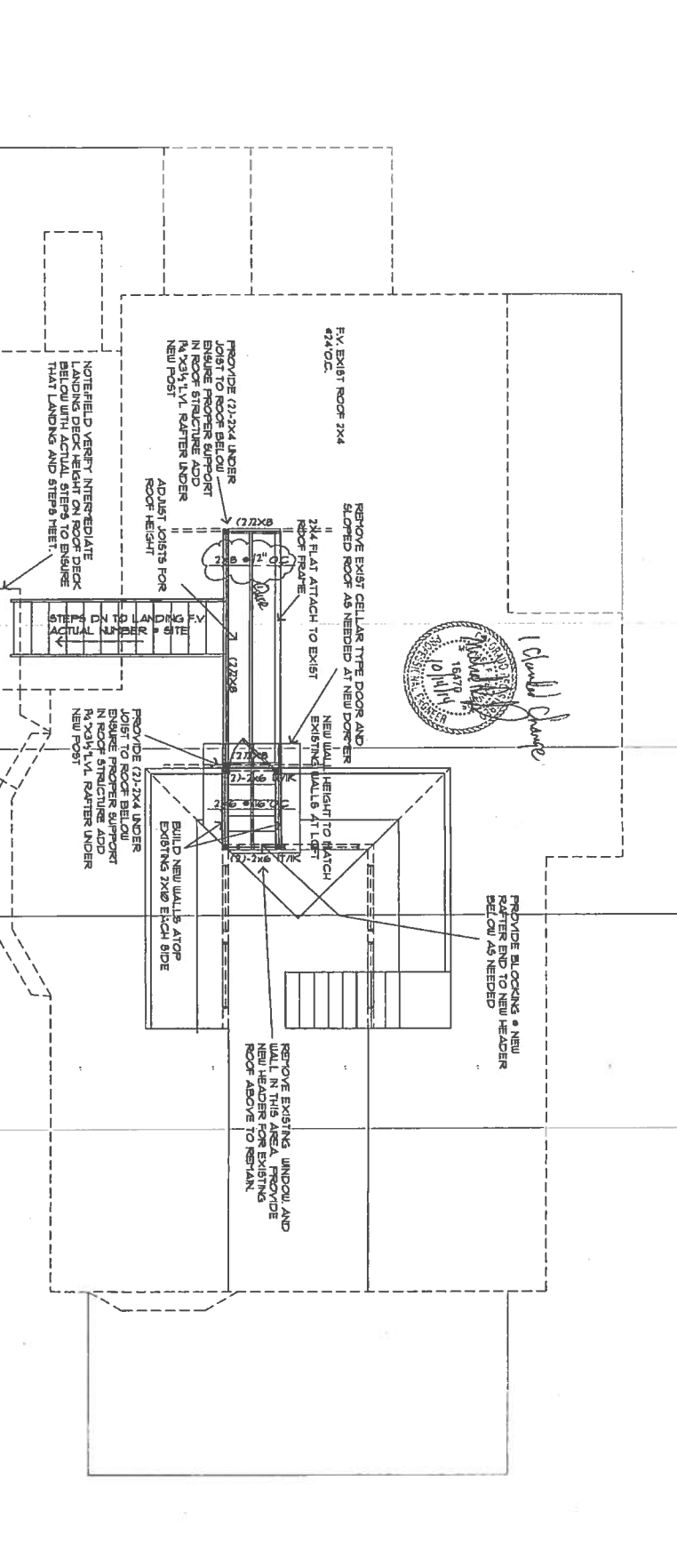
ENGINEER  
**MIBAR ENGINEERING**  
6825 SILVER POND HEIGHT SUITE 101  
COLORADO SPRINGS, CO. 80906  
PHONE: 719.457.0012  
FAX: 719.481.9204

THE  
**EGRESS DECKS FOR  
1232 N. NEVADA AVE**

CONTRACTOR  
**JACKSON HOMES**  
COLORADO SPRINGS, CO.  
PHONE: 719.481.0047  
FAX: 719.593.0035  
EMAIL: wj@jacksonhomeresc.com

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LOFT DECK AND EGRESS DORMER FRAME



**CODE COMPLIANCE:**

2009	(FRC) 2009 PEAK REGIONAL BUILDING CODE
2009	(FRC) 2009 INTERNATIONAL BUILDING CODE
2009	(IBC) 2009 INTERNATIONAL BUILDING CODE
2009	(IECC) 2009 INTERNATIONAL ENERGY CONSERVATION CODE
2009	(IRC) 2009 INTERNATIONAL RESIDENTIAL CODE
2009	(IMC) 2009 INTERNATIONAL MECHANICAL CODE
2009	(IFC) 2009 INTERNATIONAL FIRE CODE
2009	(NEC) 2009 NATIONAL ELECTRICAL CODE

**CODE INFORMATION:**

2011 Edition of The Pikes Peak Regional Building Code (2011 FPRBC)

2009 Edition of The International Building Code (2009 IBC)

2009 Edition of The International Energy Conservation Code (2009 IECC)

2009 Edition of The International Residential Code (2009 IRC)

2009 Edition of The International Mechanical Code (2009 IMC)

2009 Edition of The International Fire Code (2009 IFC)

2009 Edition of The National Electrical Code (2009 NEC)

(1) As amended by 2011 FPRBC  
(2) Or the latest edition adopted by the State of CO  
(3) Or the latest edition adopted by the State of CO  
(4) Or the latest edition adopted by the State of CO

**LOADING**

UND LOAD: 120 PSF  
EXPOSURE: C

ROOF LOADS:  
LIVE LOAD: 30' PSF  
DEAD LOAD: 15' PSF

DECK LOADS:  
LIVE LOAD: 40' PSF  
DEAD LOAD: 15' PSF  
LEADER: 6.5' PSF

**NOTES**

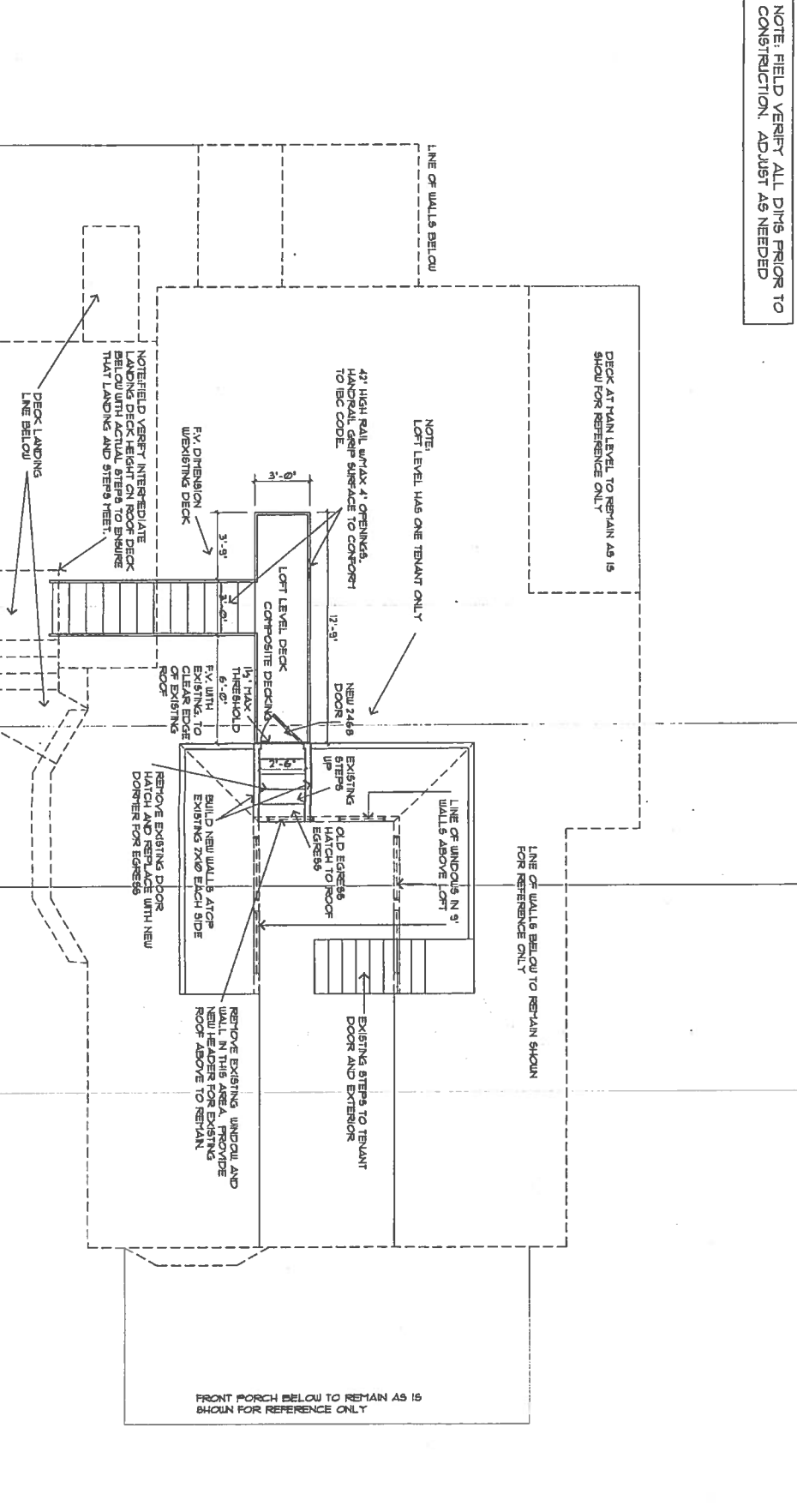
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2. PROVIDE 1/2" CLIP PER RAPTER BRS POINT & EACH END OF RAPTER NOT UTILIZING OTHER ANCHORS/JOINTS.

3. UNLESS OTHERWISE NOTED:  
ROOF OVERLAP: AT EAVES 12"  
AT GABLES 18"

4. ALL JOISTS AND RAPTERS ARE AS NOTED ON PLANS

LOFT DECK AND EGRESS DORMER



**CODE COMPLIANCE:**

2009	(FRC) 2009 PEAK REGIONAL BUILDING CODE
2009	(FRC) 2009 INTERNATIONAL BUILDING CODE
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2009 Edition of The International Fire Code (2009 IFC)

2009 Edition of The National Electrical Code (2009 NEC)

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(3) Or the latest edition adopted by the State of CO  
(4) Or the latest edition adopted by the State of CO

**LOADING**

UND LOAD: 120 PSF  
EXPOSURE: C

ROOF LOADS:  
LIVE LOAD: 30' PSF  
DEAD LOAD: 15' PSF

DECK LOADS:  
LIVE LOAD: 40' PSF  
DEAD LOAD: 15' PSF  
LEADER: 6.5' PSF

**NOTES**

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3. UNLESS OTHERWISE NOTED:  
ROOF OVERLAP: AT EAVES 12"  
AT GABLES 18"

4. ALL JOISTS AND RAPTERS ARE AS NOTED ON PLANS

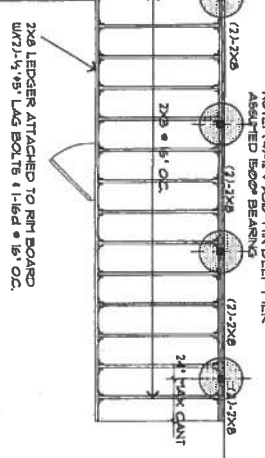
NOTE: FIELD VERIFY ALL DIMS PRIOR TO CONSTRUCTION. ADJUST AS NEEDED

FIGURE 2

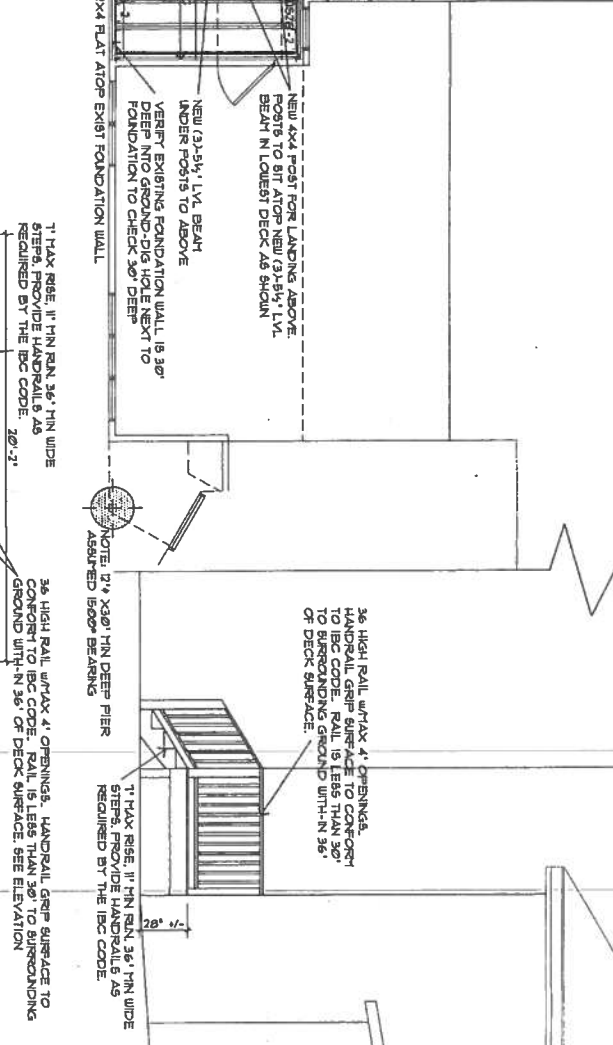
# GROUND LEVEL DECK FRAME PLAN

SEE DECK PIER AND PIER LOCATIONS ON FLOOR PLAN BELOW

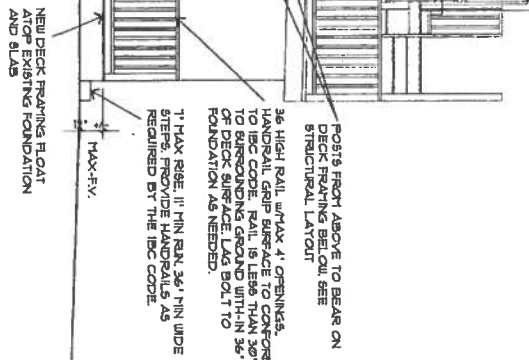
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NOTE: FIELD VERIFY ALL DIMS PRIOR TO CONSTRUCTION. ADJUST AS NEEDED



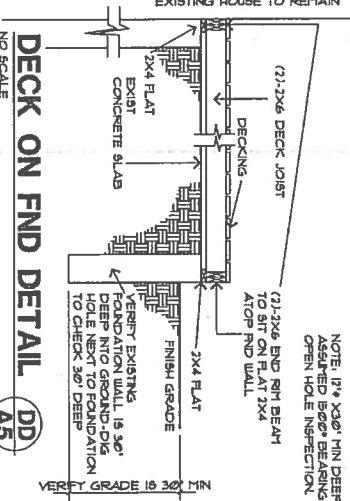
## ELEVATION 3



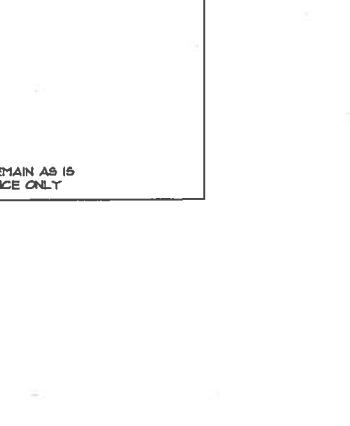
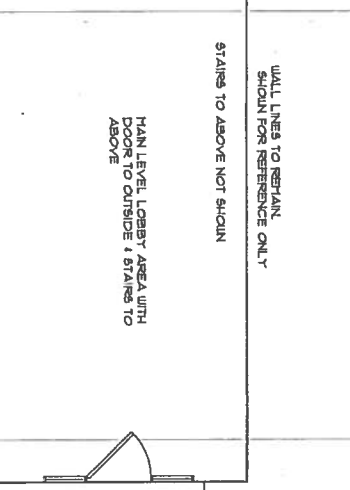
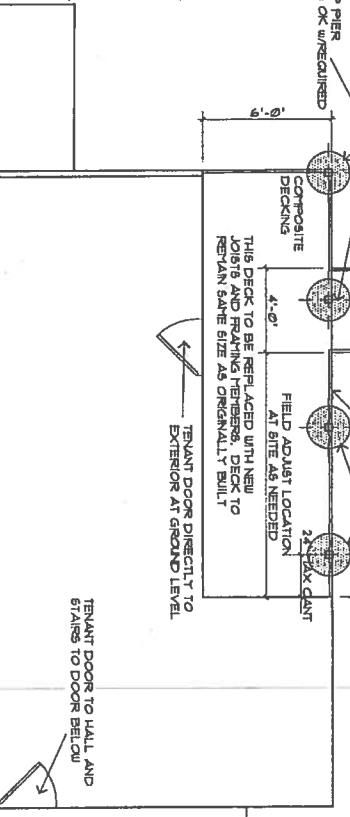
LOADING	
WIND LOAD:	150 MPH EXPOSURE 'C'
ROOF LOADS:	LIVE LOAD - 30' PSF DEAD LOAD - 10' PSF
DECK LOADS:	LIVE LOAD - 40' PSF DEAD LOAD - 10' PSF LEADERS - 60' PSF

**NOTES**

- NOTE: ALL ENGINEERING FOR BEAMS, HEADERS, & STRUCTURAL PATTERNS SHALL BE DESIGNED BY A LICENSED PROFESSIONAL ENGINEER REVIEWED BY AN ENGINEER. IT SHALL BE EDITED AS NECESSARY. RATHER NOT UTILIZING OTHER ANCHORS-JOINT.
- UNLESS OTHERWISE NOTED, ROOF OVERHANGS AT EAVES 12' AT GABLES.
- ALL JOISTS AND PATTERNS ARE AS NOTED ON PLANS.



## DECK ON END DETAIL



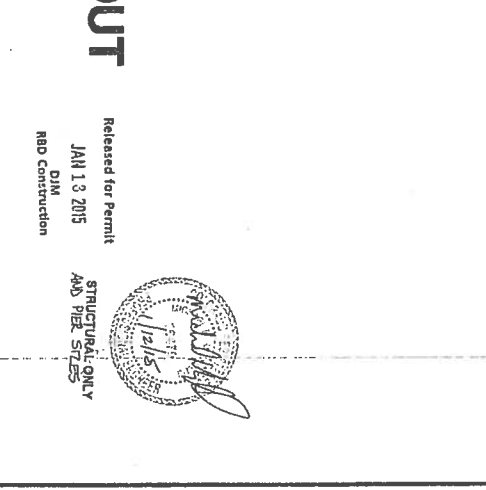
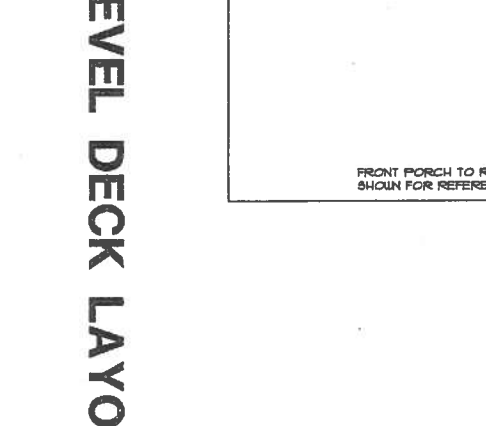
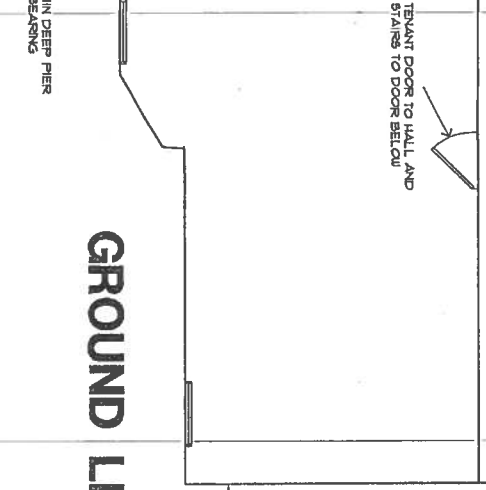
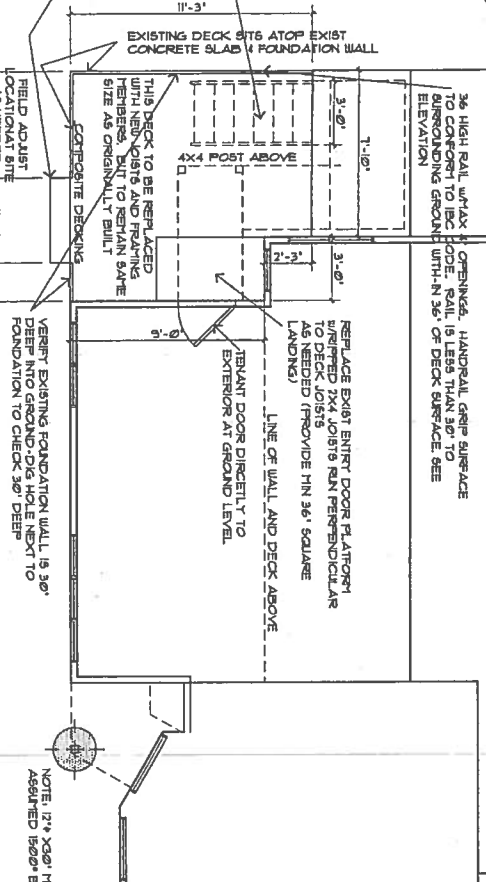
**SPlice** to Permit 12/16/07 Plan 7/1/4

Construction  
Mechanical  
Plumbing  
Electrical  
Etc

Released for Permit  
JAN 13 2015  
DMM  
RBD Construction

STRUCTURAL ONLY  
AND VIEL STILES

NOTE: FIELD VERIFY ALL DIMS PRIOR TO CONSTRUCTION. ADJUST AS NEEDED



**GROUND LEVEL DECK LAYOUT**

DECK AND STAIR PLAN VIEWS & EGRESS LAYOUTS & FRAMING PLANS

Scale 1/4"=1'-0"

REVISIONS  
01/12/15-DECKS  
ADDED

**CONTRACTOR**  
**JACKSON HOMES**  
COLORADO SPRINGS, CO.  
PHONE: 719.481.1047  
FAX: 719.693.9035  
email: w3@jacksonhomesendc.com

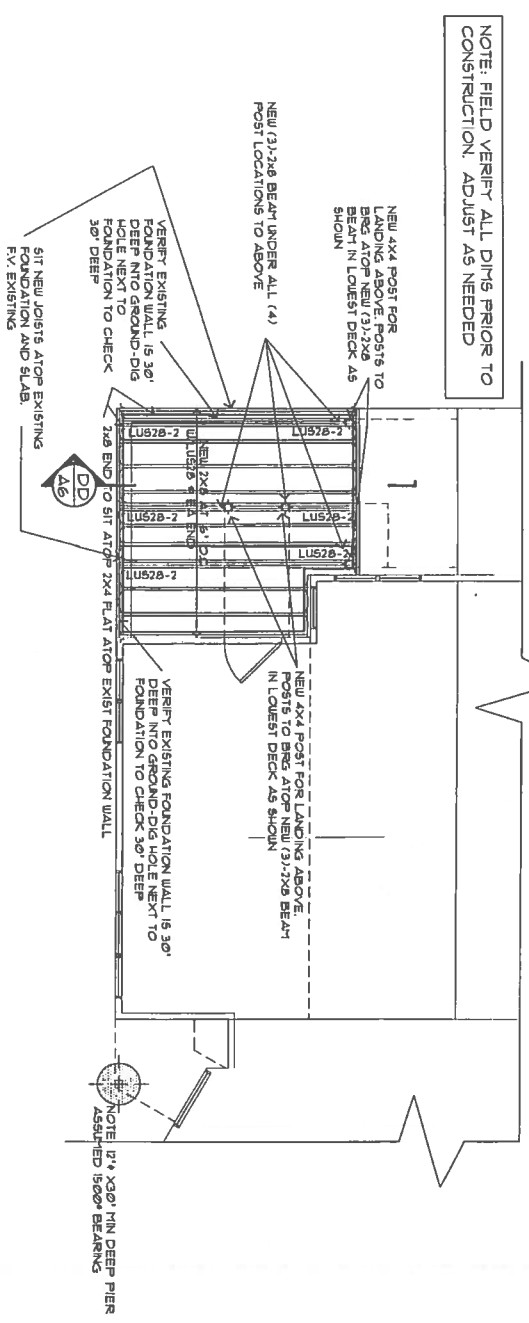
**THE LOWER DECKS FOR 1232 N. NEVADA AVE**

**ENGINEER**  
**MIBAR ENGINEERING**  
2825 SILVER POND HEIGHT SUITE 101  
COLORADO SPRINGS, CO. 80908  
PHONE: 719.487.0812  
FAX: 719.481.0204

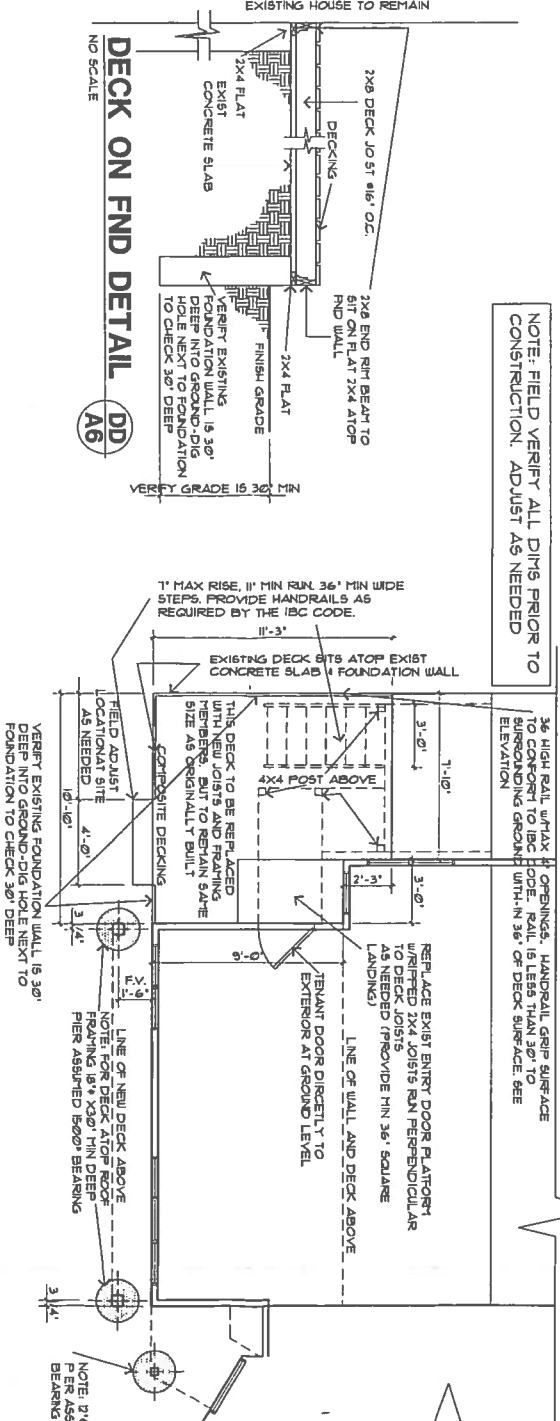
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**AS**  
OF 5  
Sheets

**FIGURE 2**

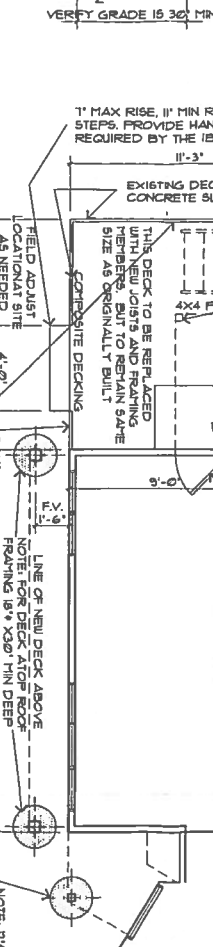
# GROUND LEVEL DECK FRAME PLAN



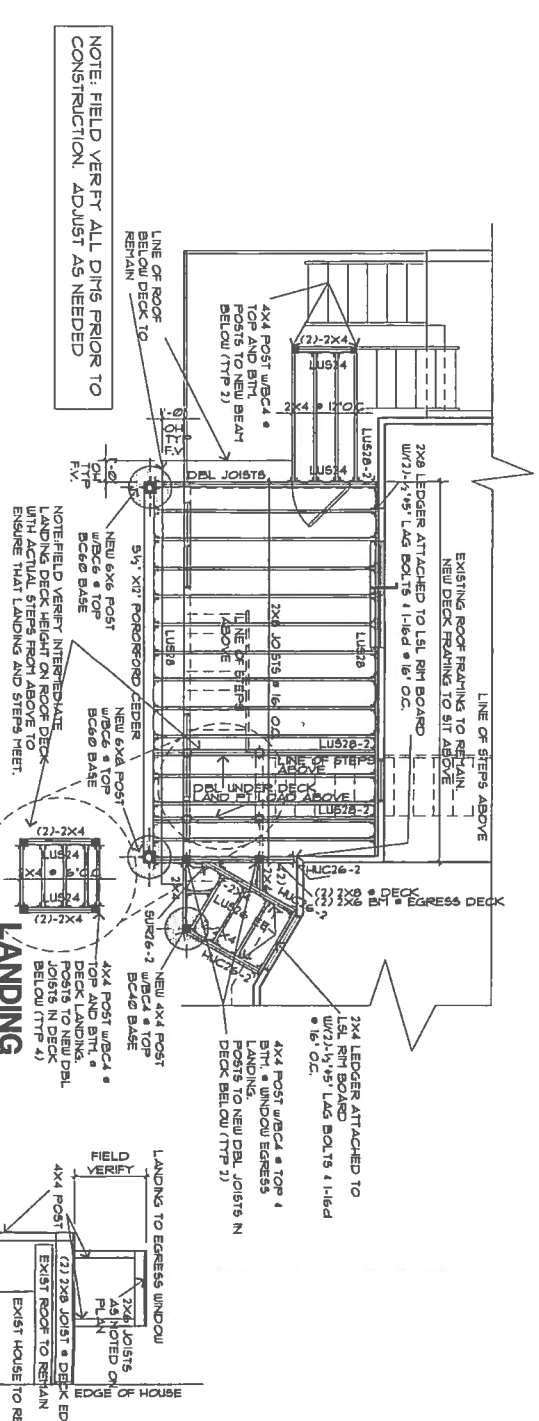
# GROUND LEVEL DECK LAYOUT



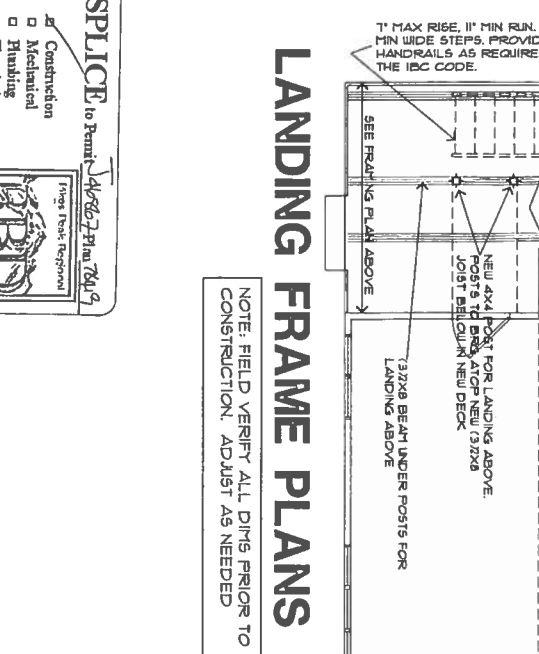
# DECK ON FND DETAIL



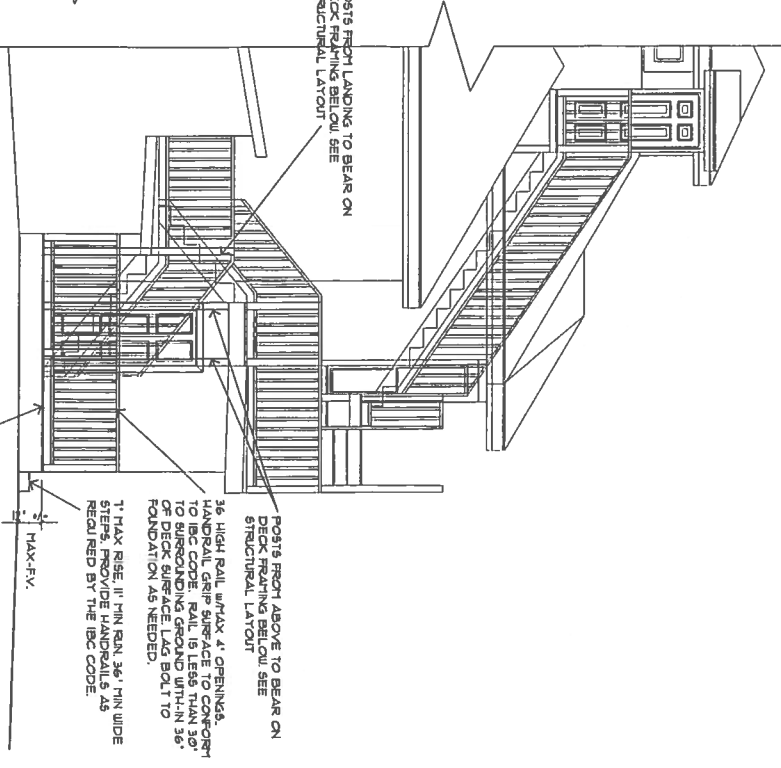
# MID-DECK ATOP ROOF FRAME PLAN



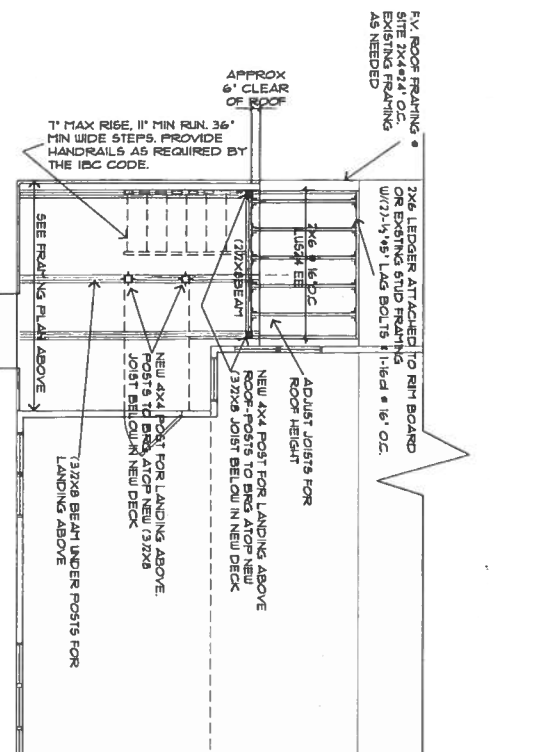
# EGRESS LANDING



# ELEVATION 3



# LANDING FRAME PLANS



CODE COMPLIANCE:	
2011	(FPRBC) Pikes Peak Regional Building Code
2009	(IRC) International Residential Code
2009	(IECC) International Energy Conservation Code
2009	(IFC) International Mechanical Code
2009	(IFC) International Plumbing Code
2011	(NEC) National Electrical Code
CODE INFORMATION:	
2011	Edition of The Pikes Peak Regional Building Code (2011 FPRBC)
2009	IBC (1)
2009	IECC (1)
2009	IFC (1)
2009	IFC (1)
2011	NEC (1)
2009	IFC (1)
(1) As amended by 2011 FPRBC (1) Or the latest edition adopted by the State of CO. Note: 2011 FPRBC can be viewed at www.pprbc.org	
LOADING	
WIND LOAD:	100 MPH EXPOSURE 'C'
ROOF LOADS:	LIVE LOAD: 30 psf DEAD LOAD: 15 psf
DECK LOADS:	LIVE LOAD: 40 psf DEAD LOAD: 15 psf LEADER: 60 psf
NOTES	
1. NOTE: ALL ENGINEERING FOR BEAMS, HEADERS, & STRUCTURAL MATERIALS SHALL BE DESIGNED BY A COLORADO REGISTERED PROFESSIONAL ENGINEER AND SHALL BE REVIEWED BY AN ENGINEER. IT SHALL BE EDITED AS NECESSARY, PARTER NOT UTILIZING OTHER PARTERS POINT. EACH END OF RAFTER NOT UTILIZING OTHER PARTERS UNDO.	
2. PROVIDE 1/2\"/>	
3. UNLESS OTHERWISE NOTED, 1\"/>	
4. ALL JOISTS AND PARTERS ARE AS NOTED ON PLANS	

# DECK, STAIR, AND FRAME PLAN MODIFICATIONS

DECK FRAMING IS INDEPENDENT OF EXISTING ROOF FRAMING

**SPLICE** to Permit **APR 27 2015**

Construction  
 Mechanical  
 Plumbing  
 Electrical  
 Fire

Released for Permit  
FEB 13 2015  
RBD Construction

**MIBAR ENGINEERING**  
6825 SILVER PONDS HEIGHT SUITE 101  
COLORADO SPRINGS, CO. 80908  
PHONE: 719.487.0512  
FAX: 719.481.0204

**THE DECK CORRECTIONS FOR 1232 N. NEVADA AVE**

**CONTRACTOR JACKSON HOMES**  
COLORADO SPRINGS, CO.  
PHONE: 719.481.1047  
FAX: 719.696.0936  
email: w@jacksonhomedesign.com

FIGURE 2



## PIKES PEAK REGIONAL BUILDING DEPARTMENT

Permit Notes: J46867

Address: 1232 N NEVADA AVE

### NOTES

Username	Modified	Note
MINDY	04/02/2015	Received call from Katie C with Historic Preservation Board, OK to proceed with ground floor deck only at this time. I have unlocked permit and temporarily modified job description.
MINDY	04/02/2015	HANSON & HANSON, INC. attachment unlocked by MINDY on 4/2/2015
MINDY	03/17/2015	HANSON & HANSON, INC. attachment locked by MINDY on 3/17/2015 because: approval letter received from Historic Preservation Group is for re-roof only, Permit should not have been unlocked previously on 2/5/15. My error. Still need approval for full scope of work from all parties.
MINDY	02/05/2015	HANSON & HANSON, INC. attachment unlocked by MINDY on 2/5/2015
MINDY	02/05/2015	Historical approval letter received and scanned
JOHN	12/17/2014	HANSON & HANSON, INC. attachment locked by JOHN on 12/17/2014 because: Project has gone outside scope of work approved by RBD and Historic approval. will need plans revisited by RBD and Historic department of DRE per JW

# J46867

**COLORADO SPRINGS  
HISTORIC PRESERVATION BOARD  
REPORT OF ACCEPTABILITY**

1232 N Nevada Av

On 11/12/2014, staff to the Colorado Springs Historic Preservation Board issued a Report of Acceptability for the following work to be done at the property addressed as 1232 N Nevada Av (El Paso County Assessor Number 0407107001):

1. Reroof main house only, existing asphalt shingle in gray blend; replacement to be Asphalt shingle in Pristine Dove gray color.

This property is located in a district that is zoned Historic Preservation Overlay (HPO), and is thus subject to the provisions of the City of Colorado Springs' Zoning Code (Chapter 7, Article 5, Part 16 Section 1603:C).

The plans were found to be in accordance with adopted design standards and were stamped with the Historic Preservation Board seal. Accordingly, the proposed work shall not be further delayed by reason of Historic Preservation (HPO) overlay zone classification.



*Catherine Carleo*  
 Catherine Carleo, M.A., MURP  
 Secretary of the Historic Preservation Board

*11-12-14*  
 Date

cc: Historic Preservation Board  
 File No. HPB-14-332

Per request I am confirming this approval is still valid for scope of work stated above.

Catherine Carleo, 1/23/2015

*Catherine Carleo*

*(Faint, mostly illegible text, possibly a stamp or official notice)*



# CITY OF COLORADO SPRINGS

## NOTICE OF ZONING ORDINANCE VIOLATION

Mar 23, 2015

Benjamin N Gilbert  
139 Pawnee Ave  
Manitou Springs, CO 80929

KATIE CARLEO  
KCARLEO@SPRINGSGOV.COM

RE: WORK BEYOND HISTORIC PREVERVATION BOARD AUTHORIZATION – ADDITION OF DOORMER AND DOOR – RE-ROOF OF STRUCTURE APPROVAL ONLY – 1232 N NAVADA AVE, COLORADO SPRINGS, CO 80903

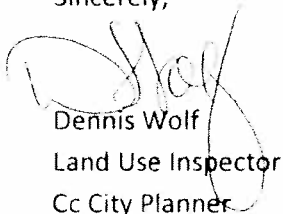
Dear Property Owner,

A complaint was received and a field inspection confirmed that the extent of work on the above noted property exceeds that which was approved through the City Historic Preservation Board. As you are aware, your property at 1232 N Nevada Ave is in the North End Historic Preservation area and as such, approval is required for exterior maintenance and remodeling activity. As such a request for re-roofing of your property was submitted and a review of that approval authorized the installation of a new roof (HPB-14-332). In addition, a request was made for a Notice to Proceed from the Historic Preservation Board. This request was approved (HPB – 14- 42) for the replacement of the existing decks and fire escape. No additional work was approved. It is my understanding that Pikes Peak Regional Building department has issued a Stop Work Order on this project until this matter can be resolved.

The purpose of this letter is to ask for your voluntary cooperation in resolving this zoning violation. Compliance can be achieved by submitting a new request for this additional work to the Historic Preservation Board. We would ask that this occur by Apr 6, 2015 to insure that this matter is not advanced to the next level of enforcement which can include fees, fines and possible court appearance.

If you have questions, please feel free to contact me at 719-385-5353 or by e-mail at [dwolf@springsgov.com](mailto:dwolf@springsgov.com) or contact Katie Carleo at 719-385-5369 or at [kcarleo@springsgov.com](mailto:kcarleo@springsgov.com). She deals directly with the Historic Preservation Board.

Sincerely,

  
Dennis Wolf  
Land Use Inspector  
Cc City Planner



1515 Snowpeak Court • Colorado Springs, CO 80921 • Phone: 719-495-6291  
E-Mail: ContactUs@ACEConstructionExteriors.com

Date: May 4, 2015

Katie Carleo  
Planning & Development  
Colorado Springs Historic Preservation  
30 S. Nevada, Suite 105  
Colorado Springs, CO 80901

Dear Ms. Carelo:

I am writing you today to appeal the decision made during the Minor Works Committee hearing held on Tuesday, April 28<sup>th</sup>, 2015 concerning the 1232 N Nevada Project.

Our decision to move forward with the appeal on the decision is due to safety concerns for the tenants living at the property in question.

We would like to appear before the overall Historic Preservation Board during their next board meeting scheduled for Monday, June 1<sup>st</sup>, 2015.

Sincerely,

Robert Pond  
General Manager