

MAVERIK - COLORADO SPRINGS

DEVELOPMENT PLAN

LOTS 3-7, BLOCK 9, KITTY HAWK SUBDIVISION
 LOCATED IN THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 31,
 ALSO IN THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 13 SOUTH,
 RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF COLORADO SPRINGS
 COUNTY OF EL PASO STATE OF COLORADO
 2.75 ACRES - FILE NO. CPC CU 16-00117

LEGAL DESCRIPTION

PARCEL A:
 ALL OF LOTS 3, 4, 5, 6 AND 7 IN BLOCK 9 IN KITTY HAWK SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 2, 1955 AT RECEPTION NO. 9570895, EXCEPT THE WESTERLY 1 FOOT THEREOF CONVEYED TO THE CITY OF COLORADO SPRINGS BY DEED RECORDED JUNE 10, 1957 IN BOOK 1633 AT PAGE 428 AND EXCEPT PORTION CONVEYED TO THE CITY OF COLORADO SPRINGS BY WARRANTY DEED RECORDED OCTOBER 2, 2008 AT RECEPTION NO. 208108209, COUNTY OF EL PASO, STATE OF COLORADO

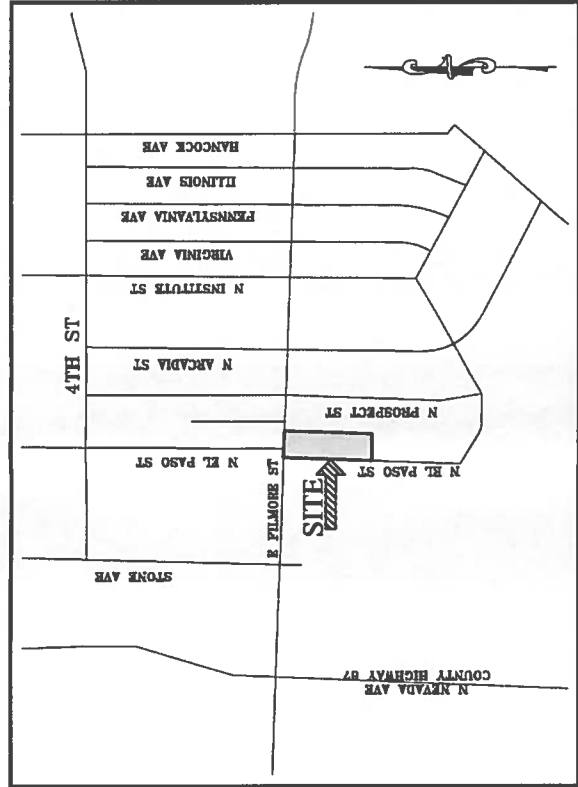
PARCEL B:
 A 15' LUSINE EASEMENT FOR ACCESS AND EGRESS OVER AND ACROSS THE WEST 15 FEET OF LOT 7, BLOCK 9, KITTY HAWK SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED FEBRUARY 17, 1978 AT RECEPTION NO. 405783 AND IN PLAT BOOK F3 AT PAGE 68 AS SET FORTH AND DESCRIBED IN RECIPROCAL EASEMENT CONVEYANCE RECORDED SEPTEMBER 23, 1994 IN BOOK 6531 AT PAGE 1068, EL PASO COUNTY, COLORADO

GENERAL NOTES FOR PRELIMINARY UTILITY PLANS

- COLORADO SPRINGS UTILITIES (SPRINGS UTILITIES) SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION OF ALL WATER, WASTEWATER, ELECTRIC AND GAS FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THIS PRELIMINARY UTILITY PLAN.
- PROPERTY OWNER(S) (OWNER) ACKNOWLEDGES THAT THE CONNECTION AND/OR EXTENSION OF UTILITY SERVICES TO THE PROPERTY IDENTIFIED IN THIS PRELIMINARY UTILITY PLAN (PROPERTY) SHALL BE IN ACCORD WITH ALL APPLICABLE CODES AND REGULATIONS, SPRINGS UTILITIES LINE EXTENSION & SERVICE STANDARDS ("STANDARDS"), TARIFFS, COLORADO SPRINGS CITY CODE, RESOLUTIONS, AND POLICIES, AND Pikes Peak REGIONAL BUILDING DEPARTMENT CODES. IN EFFECT AT THE TIME OF UTILITY SERVICE CONNECTION AND/OR EXTENSION.
- OWNER ACKNOWLEDGES RESPONSIBILITY FOR THE COSTS OF EXTENSIONS OR UTILITY SYSTEM IMPROVEMENTS THAT SPRINGS UTILITIES DETERMINES NECESSARY TO PROVIDE UTILITY SERVICES TO THE PROPERTY OR TO ENSURE TIMELY DEVELOPMENT OF INTEGRATED UTILITY SYSTEMS SERVING THE PROPERTY AND AREAS OUTSIDE THE PROPERTY (INCLUDING THE COSTS TO DESIGN AND INSTALL WATER SYSTEMS, WASTEWATER COLLECTION SYSTEMS, AND ANY GAS OR ELECTRIC LINES TO AND WITHIN THE PROPERTY). OWNER MAY BE ELIGIBLE FOR A COST RECOVERY AGREEMENT WITH SPRINGS UTILITIES.
- SPRINGS UTILITIES SHALL BE PROVIDED WITH ALL NECESSARY INFORMATION, INCLUDING BUT NOT LIMITED TO, SPECIFIC LOCATIONS OR AMOUNTS OF UTILITY SERVICES, FACILITIES, CAPACITIES OR SUPPLIES ARE RESERVED FOR THE OWNER, AND SPRINGS UTILITIES MAKES NO COMMITMENT AS TO THE AVAILABILITY OF ANY UTILITY SERVICE UNTIL SUCH TIME AS AN APPLICATION FOR PERMANENT SERVICE IS APPROVED BY SPRINGS UTILITIES.
- THE RELOCATION OR ALTERATION OF ANY EXISTING UTILITY FACILITIES WITHIN THE PROPERTY WILL BE AT THE OWNER'S SOLE COST AND EXPENSE. IF SPRINGS UTILITIES DETERMINES THAT OWNER'S RELOCATION OR ALTERATION REQUIRES NEW OR UPDATED EASEMENTS, OWNER SHALL CONVEY THOSE EASEMENTS PRIOR TO RELOCATING OR ALTERING THE EXISTING UTILITY FACILITIES.
- OWNER SHALL DEDICATE BY PLAT AND/OR CONVEY BY RECORDED DOCUMENT, ALL PROPERTY INTERESTS NECESSARY TO SERVE THE PROPERTY AND TO SECURE UTILITY SYSTEMS. SPRINGS UTILITIES SHALL BE PROVIDED WITH ALL NECESSARY INFORMATION, INCLUDING BUT NOT LIMITED TO, SPECIFIC LOCATIONS OR AMOUNTS OF UTILITY SERVICES, FACILITIES, CAPACITIES OR SUPPLIES ARE RESERVED FOR THE OWNER, AND SPRINGS UTILITIES MAKES NO COMMITMENT AS TO THE AVAILABILITY OF ANY UTILITY SERVICE UNTIL SUCH TIME AS AN APPLICATION FOR PERMANENT SERVICE IS APPROVED BY SPRINGS UTILITIES.
- THE WATER SYSTEM FACILITIES MUST MEET SPRINGS UTILITIES CRITERIA FOR WATER QUALITY, RELIABILITY AND PRESSURE, INCLUDING LOOPING REQUIREMENTS (SEE SPRINGS UTILITIES LINE EXTENSION AND SERVICE STANDARDS).
- OWNER RECOGNIZES THAT THE EXTENSION OF WATER SYSTEM FACILITIES MAY AFFECT THE QUALITY OF WATER IN THE SPRINGS UTILITIES WATER SYSTEM. WHEN WATER QUALITY IS AFFECTED, OWNER ACKNOWLEDGES RESPONSIBILITY FOR ANY COSTS THAT SPRINGS UTILITIES DETERMINES NECESSARY IN ORDER TO MAINTAIN WATER QUALITY IN ITS SYSTEM AS A RESULT OF OWNER'S WATER SYSTEM EXTENSIONS. OWNER MAY BE REQUIRED TO SUBMIT A WATER QUALITY IMPROVEMENT PLAN TO SPRINGS UTILITIES FOR REVIEW AND APPROVAL.
- OWNER MUST CONTACT SPRINGS UTILITIES FIELD ENGINEERING TO DETERMINE THE LOCATION OF ALL NATURAL GAS AND ELECTRIC INTERFERS AND TRANSFORMERS AND TO SECURE APPROVAL OF GAS-SERVICE-LINE PRESSURES IN EXCESS OF SPRINGS UTILITIES STANDARD GAS SYSTEM PRESSURE. (CONTACT FIELD ENGINEERING NORTH 668-4985 OR SOUTH 668-5564).
- IT SHALL NOT BE PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH WITHIN ANY SPRINGS UTILITIES EASEMENT OR RIGHTS OF WAY WITHOUT THE WRITTEN APPROVAL OF SPRINGS UTILITIES. IMPROVEMENTS, STRUCTURES AND TREES SHALL NOT BE LOCATED WITHIN UTILITY EASEMENT, SHALL NOT VIOLATE NATIONAL ELECTRIC SAFETY CODE (NEC) PROVISIONS AND CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.
- SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A GUARANTEE OF THE ACCURACY OF THE UTILITY PLAN OR AS A GUARANTEE OF THE ABILITY OF SPRINGS UTILITIES TO CONVEY ANY EASEMENTS BETWEEN ANY APPROVED EASEMENTS AND ANY PROVISION OF STANDARDS OR THE CITY CODE. THEN THE STANDARDS OR CITY CODE SHALL APPLY. SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF THE CITY OF COLORADO SPRINGS OR SPRINGS UTILITIES TO ADOPT DIFFERENT ORDINANCES, RULES, REGULATIONS, RESOLUTIONS, POLICIES OR CODES WHICH CHANGE ANY OF THE PROVISIONS OF THE STANDARDS SO LONG AS THESE APPLY TO THE CITY GENERALLY AND ARE IN ACCORD WITH THE THEN-CURRENT TARIFFS, RATES AND POLICIES OF SPRINGS UTILITIES

GENERAL ADA NOTES

- THE DESIGN PROFESSIONAL, RESPONSIBLE FOR THIS PLAN HAS FAMILIARIZED THEMSELVES WITH ALL CURRENT ADA CRITERIA AND SPECIFICATIONS, AND THE PROPOSED PLAN REFLECTS REQUIRED SITE ELEMENTS. SEE "2010 ADA STANDARDS FOR ACCESSIBLE DESIGN", AS PUBLISHED BY THE DEPARTMENT OF JUSTICE (DOJ)



VICINITY MAP
 SCALE: 1" = 250'

PROPOSED DEVELOPMENT SUMMARY TABLE	
SITE ADDRESS	E. FILLMORE ST. & N. EL PASO ST.
TAX SCHEDULE NUMBER	TSN SUBJECT TO CHANGE DUE TO PLATTING
CONCEPT PLAN	X
ZONING DISTRICT	M-1 (LIGHT INDUSTRIAL)
TOTAL ACERAGE	2.75 ACRES
EXISTING USES/BUILDINGS	NO EXISTING STRUCTURES TO REMAIN
PROPOSED USES	CONVENIENCE STORE WITH FUEL (2.75 ACRES, 5,602 SF BUILDING)
BUILDING SETBACKS	25' (MINIMUM)
LANDSCAPE SETBACK	25' (ADJACENT E. FILLMORE ST.) 25' (ADJACENT N. EL PASO ST.)
MAXIMUM BUILDING HEIGHT	40 FT
HEIGHT	RETAIL BUILDING - 31'-1 1/2" CANOPY - 22'-9" CANOPY - 22'-9"
PERCENT OF LOT COVERAGE	13.33% (STRUCTURES) 23.27% (IMPERVIOUS SURFACES) 63.32% (PERVIOUS SURFACES)
PARKING	X SPACES (REQUIRED) 42 SPACES (PROVIDED) INCLUDED IN THE SPACES PROVIDED: 2 SPACES (ADA ACCESSIBLE PROVIDED)
PARKING RATIO	RETAIL 1 CAR/300 SF (REQUIRED) 7.5 CARS/1000 SF (PROVIDED)
DEVELOPMENT SCHEDULE	WINTER 2016

A 15' LANDSCAPE SETBACK ALONG EAST FILLMORE STREET IS PERMITTED PER THE PALMER HOUSE REDEVELOPMENT CONCEPT PLAN-FILE CPC 16-00117

SHEET NO.	SHEET TITLE	SHEET INDEX
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3	DEMOLITION PLAN	
4	GRADING PLAN	
5	PRELIMINARY UTILITY AND PUBLIC FACILITY PLAN	
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A2.2	ARCHITECTURAL ELEVATIONS	
A2.3	ARCHITECTURAL ELEVATIONS	
A2.4	ARCHITECTURAL ELEVATIONS	
10	LANDSCAPE PLANS	
11	LANDSCAPE PLANS	
12	LANDSCAPE PLANS	



MAVERIK - COLORADO SPRINGS
 N EL PASO ST & FILLMORE ST
 COLORADO SPRINGS, CO 80907
 DEVELOPMENT PLAN

OWNER/DEVELOPER:
 MAVERIK INC
 880 WEST CENTER ST
 NORTH SALT LAKE, UT 84054
 (801) 335-3668
 CONTACT: DON LAYOUST

ENGINEER:
 ATWELL LLC
 143 UNION BLVD., SUITE 700
 LAKEWOOD, CO 80228
 (303) 928-6751
 (303) 825-7100 fax
 CONTACT: KEVIN ROHRBOUGH

SURVEYOR:
 ATWELL LLC
 143 UNION BLVD., SUITE 700
 LAKEWOOD, CO 80228
 (720) 541-6602
 (303) 825-7100 fax
 CONTACT: JIM RICHARDS

DATE	REVISION	DESCRIPTION
11/08/18	PRELIMINARY	
	RESUBMITTAL	

PROJECT NUMBER: 16000043
 DRAWN BY: [blank]
 CHECKED BY: [blank]
 SCALE: 1" = 20'
 COVER SHEET

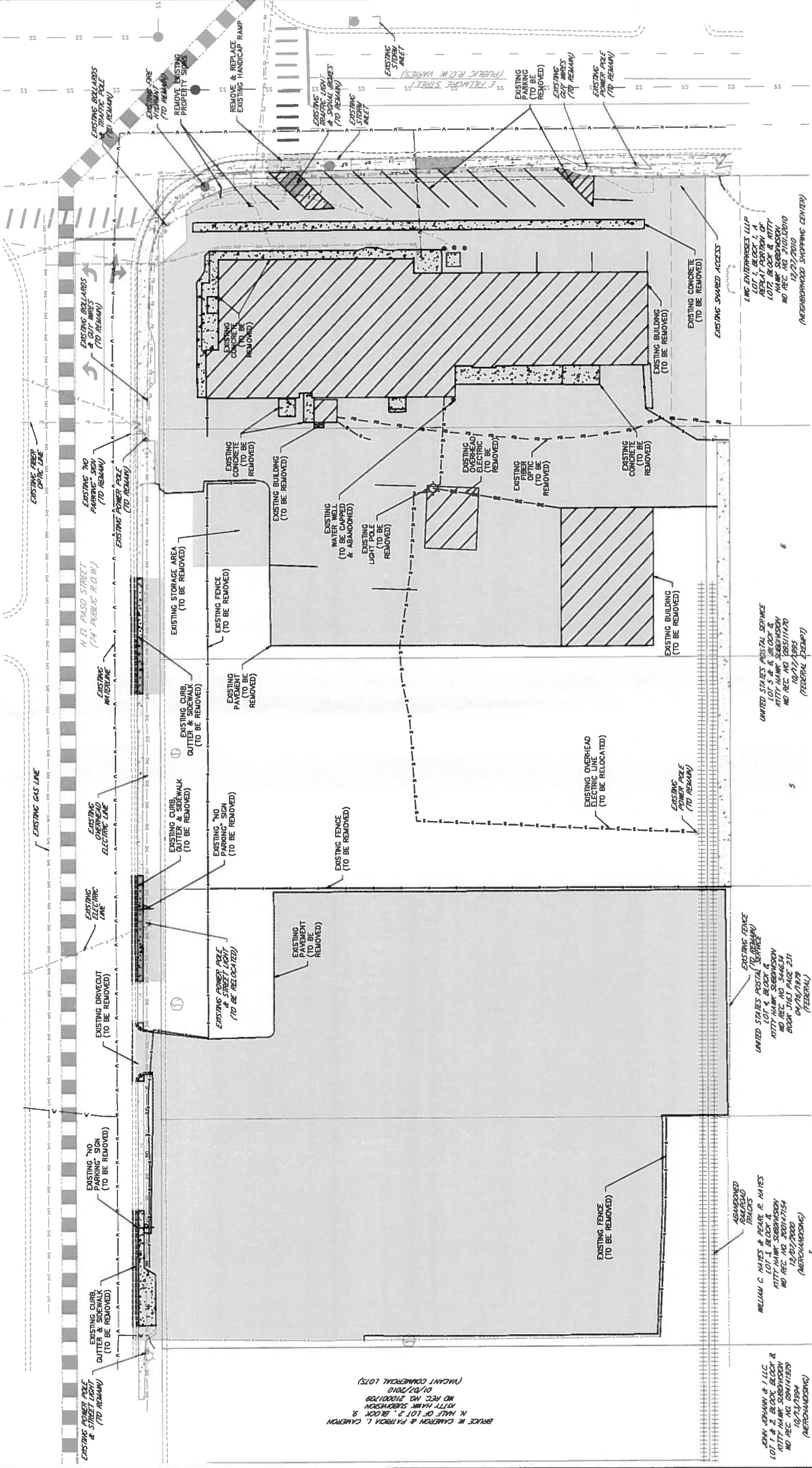
FILE NO: CPC CU 16-00117

GENERAL NOTES

APPROVALS

FIGURE 2

DATE	DESCRIPTION
08/19/18	PRELIMINARY
11/09/18	REUBURN/ITALY
DATE	DESCRIPTION
11/09/18	REUBURN/ITALY
DATE	DESCRIPTION
11/09/18	REUBURN/ITALY
PROJECT NUMBER	18000043
FILE NUMBER	18000043
DRAWN BY	
CHECKED BY	
SCALE	1" = 20'

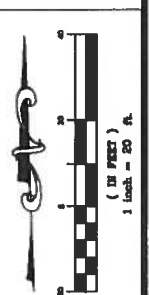


FILE NO: CFC CU 18-00117

APPROVALS

GENERAL NOTES

DEMOLITION AREAS.
 ALL EXISTING ASPHALT,
 CONCRETE & STRUCTURES
 TO BE REMOVED.



APPROVALS

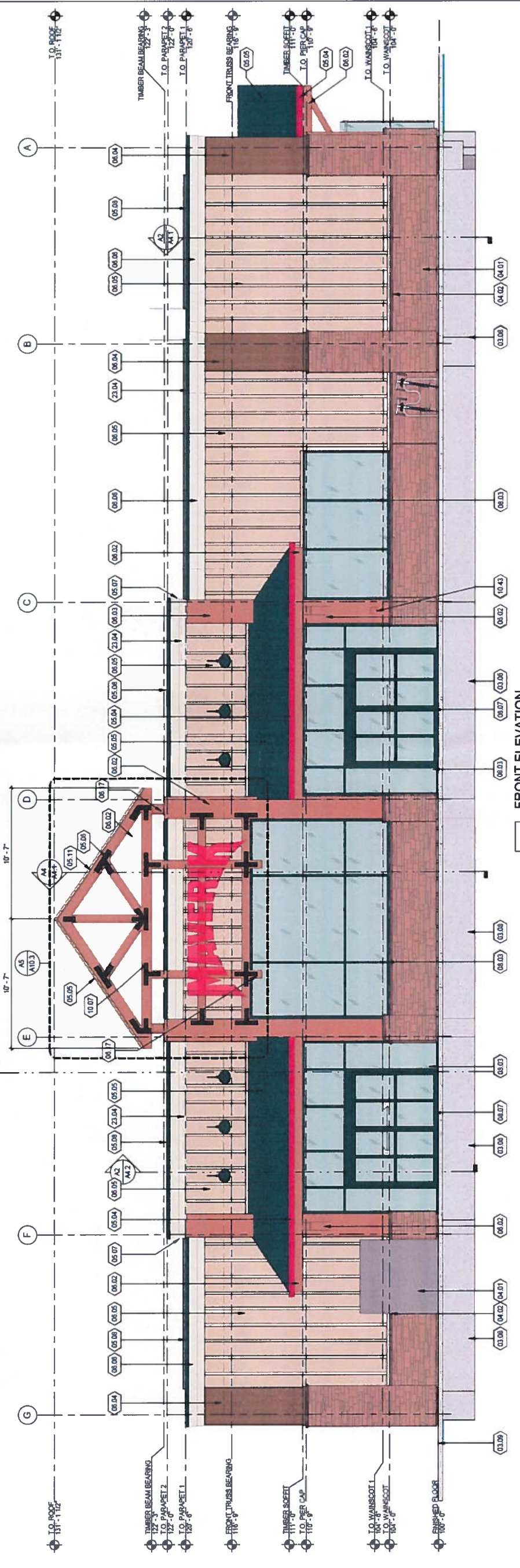
GENERAL NOTES

DEMOLITION AREAS.
 ALL EXISTING ASPHALT,
 CONCRETE & STRUCTURES
 TO BE REMOVED.

FIGURE 2

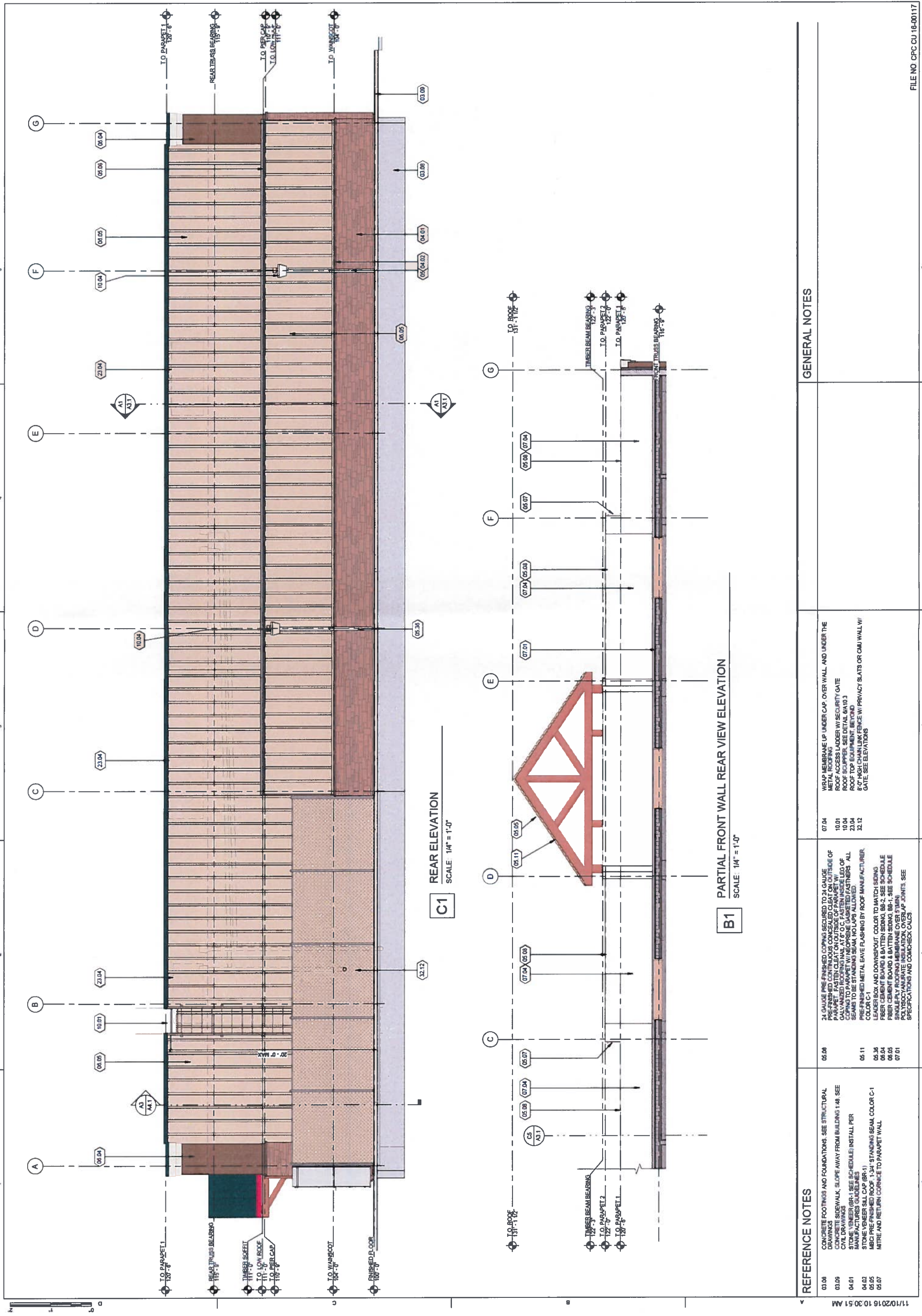
- REFERENCE NOTES**
- 03.08 CONCRETE FOOTINGS AND FOUNDATIONS SEE STRUCTURAL DRAWINGS
 - 03.09 CONCRETE SIDEWALK, SLOPE AWAY FROM BUILDING 1/4" SEE CIVIL DRAWINGS
 - 04.01 STONE VENEER (BR-1) SEE SCHEDULE
 - 04.02 STONE VENEER SILL CAP (BR-1)
 - 05.04 PRE-FINISHED GUTTER (COLOR C-2)
 - 05.05 ABCI PRE-FINISHED ROOF, 1-3/4" STANDING SEAM, COLOR C-1
 - 05.06 STEEL GUSSET PLATES AND BOLTS, 1/2" SEE SCHEDULE
 - 05.07 MITRE AND RETURN CORNICE TO PARAPET WALL
 - 05.08 24 GAUGE PRE-FINISHED COPING SECURED TO 2X GAUGE PRE-FINISHED ROOFING WITH 1/4" GALVANIZED OUTSIDE OF PARAPET, FASTEN CLEAN ON ROOFING NAIL AT 9" O.C. FASTEN INSIDE ROOFING NAIL AT 12" O.C. FASTENERS NEOPRENE GASKETED FASTENERS, ALL SEAMS TO BE STANDING SEAM, NO LAPS ALLOWED.
 - 05.11 PRE-FINISHED METAL LEAVE FLASHING BY TOOR MANUFACTURE, COLOR C-1 TOOR MANUFACTURE (NOT ON SITE) CONTROLLED ENVIRONMENT (NOT ON SITE) SEE STRUCTURAL DRAWINGS
 - 06.03 2X ROUGH SAWN TIMBER CLADDING
 - 06.04 FIBER CEMENT BOARD & BATTEN SIDING, BS-2, SEE SCHEDULE
 - 06.05 FIBER CEMENT BOARD & BATTEN SIDING, BS-1, SEE SCHEDULE
 - 06.06 FIBER CEMENT TRIM BS-3, SEE SCHEDULE
 - 06.17 1" CHAMFER AT EDGE OF ALL TIMBER END CUTS
 - 08.03 ALUMINUM STOREFRONT SYSTEM (AST-1), SEE SCHEDULES
 - 08.07 ROOF, SEE SCHEDULE
 - 10.07 ROOFING, SEE SCHEDULE
 - 10.43 KNOX BOX, VERIFY LOCATION W/ FIRE DEPT.
 - 21.04 ROOF TOP EQUIPMENT BEYOND

C1 BUILDING PERSPECTIVE
 SCALE 1/4" = 1'-0"



A1 FRONT ELEVATION
 SCALE 1/4" = 1'-0"

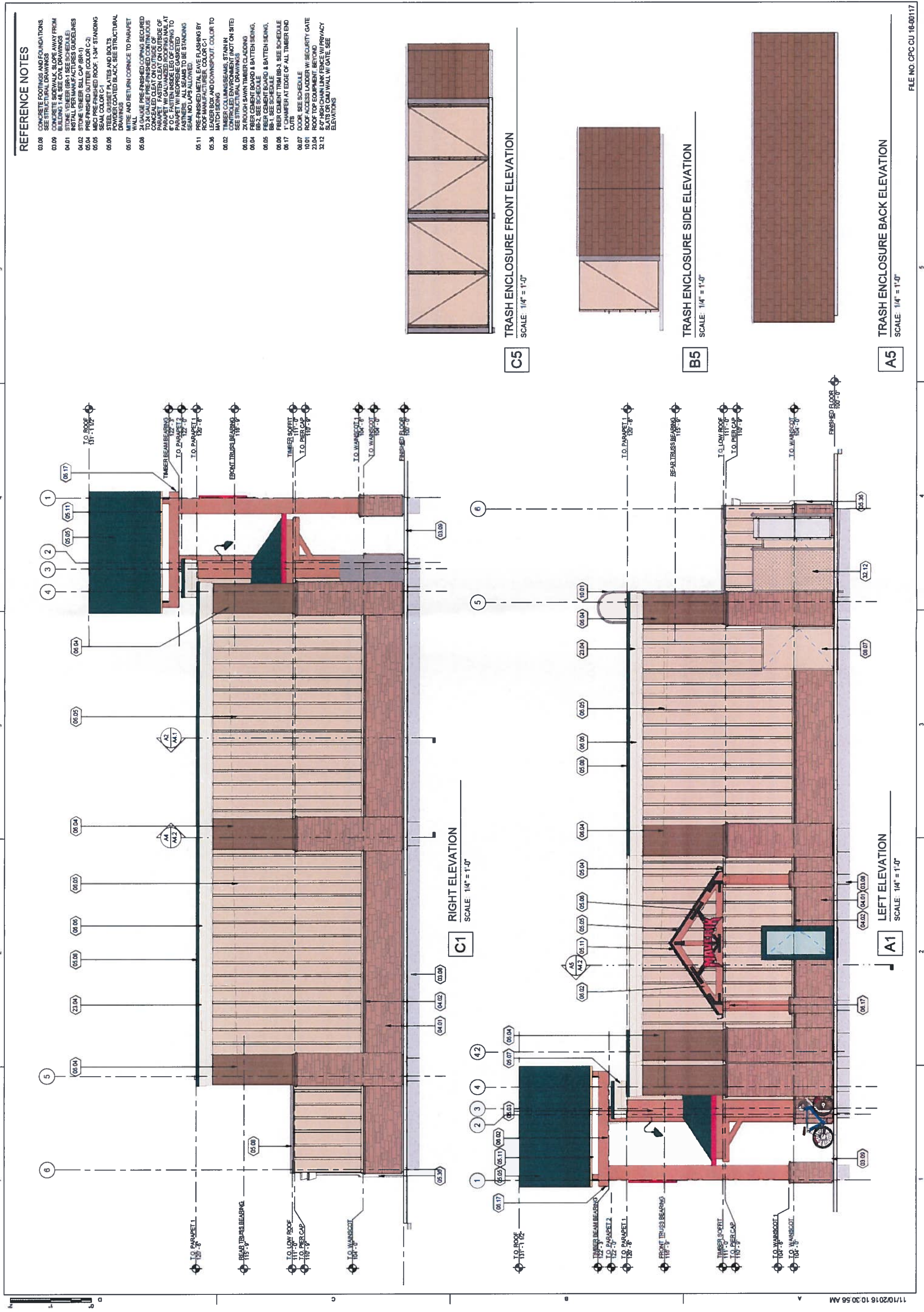
FIGURE 2



REFERENCE NOTES	GENERAL NOTES
03.08 CONCRETE FOOTINGS AND FOUNDATIONS SEE STRUCTURAL DRAWINGS	07.04 WRAP MEMBRANE UP UNDER CAP, OVER WALL AND UNDER THE METAL ROOFING
03.09 CONCRETE SIDEWALK, SLOPE AWAY FROM BUILDING 1:48 SEE CIVIL DRAWINGS	10.01 ROOF ACCESS LADDER W/ SECURITY GATE
04.01 STONE VENEER (S1) SEE SCHEDULE INSTALL PER MANUFACTURER'S GUIDELINES	10.04 ROOF TOP EQUIPMENT BEYOND 8'-0" HEIGHT OR LINK FENCE W/ PRIVACY SLATS OR CMU WALL W/ GATE. SEE ELEVATIONS
04.02 STONE VENEER SILL CAP (SR-1)	
05.05 MRCI PRE-FINISHED ROOF 1:3/4" STANDING SEAM, COLOR C-1	
05.07 METRE AND RETURN CORNICE TO PARAPET WALL	
05.08 24 GAUGE PRE-FINISHED COPINGS SECURED TO 24 GAUGE PRE-FINISHED CONTINUOUS CONCEALED CLEAT ON OUTSIDE OF PARAPET. FASTENERS TO BE STANDING SEAM, NO LAP ALLOWED. COPIES TO PARAPET W/ CONCEALED GASKETED FASTENERS. ALL SEAMS TO BE STANDING SEAM, NO LAP ALLOWED.	
05.11 PRE-FINISHED METAL EAVE FLASHING BY ROOF MANUFACTURER, COLOR C-1	
05.36 LEADER BOX AND DOWNSPOUT COLOR TO MATCH SIDING	
06.04 FRIBER CEMENT BOARD, 5/8" SEE SCHEDULE	
06.05 SINGLEPLY ROOFING MEMBRANE OVER FRIBER POLYISOCYANURATE INSULATION, OVERLAP JOINTS. SEE SPECIFICATIONS AND COMCHECK CALLS.	
07.01	

FIGURE 2

FIGURE 2



REFERENCE NOTES

- 03.08 CONCRETE FOOTINGS AND FOUNDATIONS SEE STRUCTURAL DRAWINGS
- 03.09 CONCRETE SIDEWALK, SLOPE AWAY FROM BUILDING 1% SEE CIVIL DRAWINGS
- 04.01 INSTALL PERMANENTLY SET STONE VENEER SILL CAP (BR-1)
- 04.02 INSTALL PERMANENTLY SET STONE VENEER SILL CAP (BR-1)
- 05.04 PRE-FINISHED GUTTER (COLOR C-2)
- 05.05 MSCI PRE-FINISHED ROOF: 1-3/4" STANDING SEAM, COLOR C-1
- 05.06 STEEL GUSSET PLATES AND BOLTS FINISHED COATED BLACK, SEE STRUCTURAL DRAWINGS
- 05.07 MITRE AND RETURN CORNICE TO PARAPET WALL
- 05.08 24 GAUGE PRE-FINISHED COPING SECURED TO PARAPET WITH GALVANIZED ROOFING NAIL AT PARAPET. FASTEN CLEAR ON OUTSIDE OF PARAPET WITH GALVANIZED ROOFING NAIL AT PARAPET WITH GALVANIZED ROOFING TO FASTENERS. ALL SEAMS TO BE STANDING SEAM, NO LAPS ALLOWED
- 05.11 PRE-FINISHED METAL LEAVE FLASHING BY ROOF MANUFACTURER, COLOR C-1
- 05.36 LADDER BOX AND DOWNPOUT, COLOR TO MATCH ROOF
- 06.02 TIMBER COLUMNS/BEAMS, STAIN IN CONTROLLED ENVIRONMENT (NOT ON SITE) SEE STRUCTURAL DRAWINGS
- 06.03 2X ROUGH SAWN TIMBER CLADDING
- 06.04 FIBER CEMENT BOARD & BATTEN SIDING, SEE SCHEDULE
- 06.05 FIBER CEMENT BOARD & BATTEN SIDING, BR-1 SEE SCHEDULE
- 06.06 FIBER CEMENT TRIM BR-3, SEE SCHEDULE
- 06.17 1" CHAMFER AT EDGE OF ALL TIMBER END CUTS
- 06.07 DOOR, SEE SCHEDULE
- 10.01 ROOF ACCESS LADDER W/ SECURITY GATE
- 22.04 ROOF TOP EQUIPMENT BEHIND PRIVACY SCREENING
- 32.12 SLATS OR OAK WALL W/ GATE, SEE ELEVATIONS

FFKR ARCHITECTS
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 O 801.421.6166 • FFKR.COM



MAVERIK COLORADO SPRINGS
 COLORADO SPRINGS, CO
 RESUBMITTAL 11/19/16

DATE: _____
 REVISION: _____

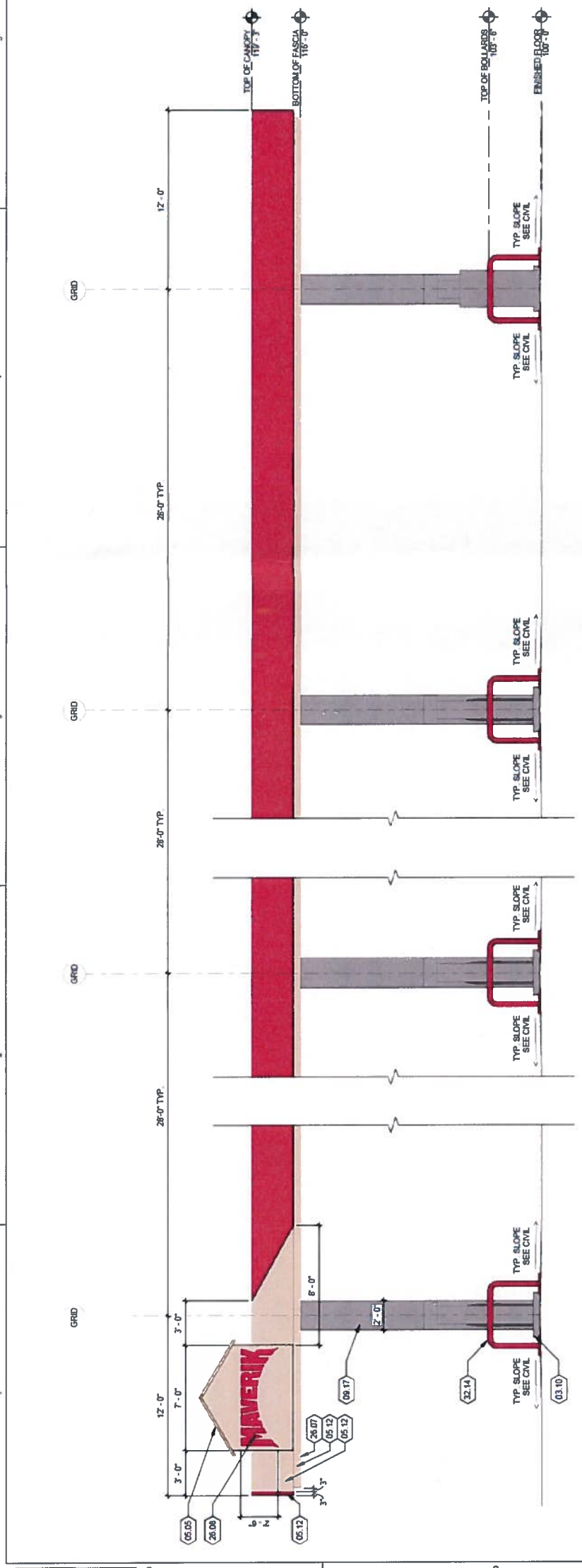
PROJECT NUMBER: 16009

EXTERIOR ELEVATIONS

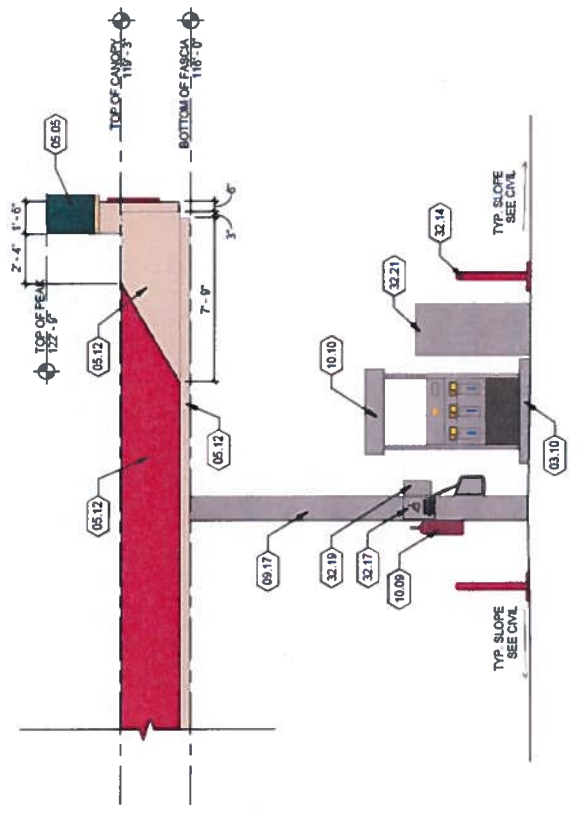
A2.3
 SHEET 8 OF 12

FILE NO. CPC-CU 16-00117

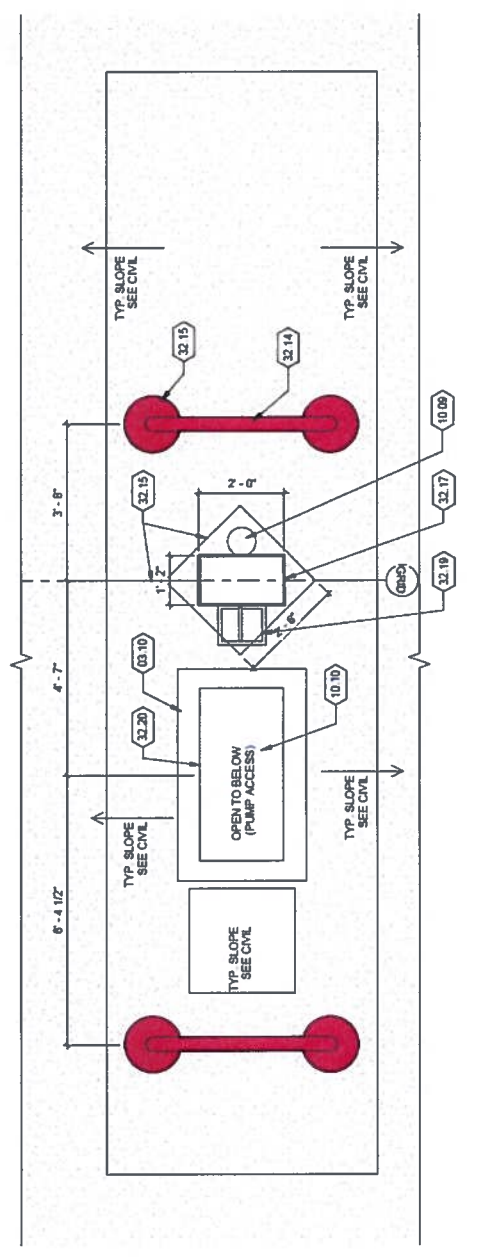
- REFERENCE NOTES**
- 03.10 6" RAISED CONCRETE ISLAND W/ TOOLED EDGES AND CORNERS. VERIFY SIZE W/ SUPPLIER. SUPPLIER: 4'-5" X 3'-0" (NO METAL REIN.)
 - 05.05 MRCI PREFINISHED ROOF, 1-3/4" STANDING SEAM, COLOR C-1
 - 05.12 ALUMINUM COMPOSITE METAL PANEL
 - 09.17 GRAPHICS PROVIDED BY OWNER OVER METAL PANEL COLUMN CLADDING
 - 10.09 4" DEEP FIRE EXTINGUISHER W/ BRACKET, DISPENSER, OR STORAGE TANK. LOCATION TO BE FINALIZED BY FIRE MARSHAL
 - 10.10 DISPENSING STATION. VERIFY SIZE WITH SUPPLIER
 - 26.07 ALL LIGHT FIXTURES (NOT SHOWN) TO BE FLUSH MOUNTED WITHIN THE DECK PANEL. SOFFIT (SOFFIT COLOR P-7) SEE ELECTRICAL DRAWINGS
 - 26.08 1) TO BE INSTALLED WITH LETTERS, FLUSH MOUNT TO CANOPY MANUFACTURER SIGN AND "DOG HOUSE" TO BE LOCATED ON CANOPY CORNER CLOSEST TO STREET. 2) SIGN MANUFACTURER TO PROVIDE PERMIT TO BE PROVIDED BY SIGNAGE SUPPLIER.
 - 32.14 4" DIAMETER "Y" BOLLARD, SET AND FILLED W/ CONCRETE
 - 32.15 EXPANSION JOINTS, TO BE FILLED W/ "JET" BRAND RESISTANT SEALANT, SEE CIVIL DRAWINGS
 - 32.17 ADA "ASSISTANCE AVAILABLE" SIGN
 - 32.19 S.S.I. WINDOW WASH/PAPER TOWEL PROVIDED BY OWNER. INSTALLED BY CONTRACTOR. MOUNTED TO COLUMN PER OWNER REQUIREMENTS (4'6" W/ 3" PAPER TOWEL FOLD)
 - 32.20 OPW DISPENSER CONTAINMENT SUMP ABOVE
 - 32.21 TRASH CONTAINER BY OWNER



C1 FUEL DISPENSING CANOPY STREET ELEVATION
 SCALE 1/4" = 1'-0"



A4 CANOPY END ELEVATION
 SCALE 1/4" = 1'-0"



A1 CANOPY COLUMN PLAN
 SCALE 1/2" = 1'-0"

FIGURE 2

