

WARE MALCOMB  
Leading Design for Commercial Real Estate

1600 Champa Street Suite 350  
Denver, CO 80202  
P 720.488.2626  
civil engineering  
interiors  
graphics  
planning  
architecture

BIO365  
875 VAPOR TRAIL ROAD  
COLORADO SPRINGS, CO

COVER SHEET table with columns: REMARKS, DATE, PLANNING SUBMITTAL, JOB NO.

PAP: B.WEISS, DRAWN BY: MS, JOB NO.: DEN20-0005-00

LOT 2, TF SUBDIVISION FILING NO. 1

A PORTION OF THE N.E. 1/4th OF SECTION 24, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE SIXTH P.M., CITY OF COLORADO SPRINGS, EL PASO COUNTY, COLORADO

FINAL PD SITE PLAN FOR

CONTACTS

OWNER: LCP ACQUISITIONS c/o CTK... CIVIL ENGINEER: WARE MALCOMB... ARCHITECT: WARE MALCOMB... ELECTRICAL: AE DESIGN...

NOTES:

PRIOR TO ANY DEVELOPMENT, INCLUDING GRADING, VEGETATION REMOVAL, OR ANY OTHER IMPROVEMENTS... SIGNAGE IS NOT APPROVED PER THIS PLAN... RESTRICTIVE COVENANTS, WHICH DO NOT CONTAIN A FOREFEITURE OR REVERTER CLAUSE...



SHEET INDEX table listing sheets 001-012 and their titles like COVER SHEET, SITE PLAN, PRELIMINARY GRADING PLAN, etc.

BUILDING DATA - PARCEL B LOT 2

Table with columns: TOTAL GROSS BUILDING AREA, OFFICE, WAREHOUSE, BUILDING HEIGHT, PROPOSED, MAX. ALLOWED.

PARKING COUNTS

Table with columns: WAREHOUSE PARKING RATIO AT 1/1000 FOR 45,100 sf = 9 SPACES REQUIRED, OFFICE PARKING RATIO AT 1/400 FOR 3,500 sf = 84 SPACES (4 HANDICAP SPACES INCLUDED)

LAND AREA: 347,555 SF (7.979 ACRES +/-)

BASIS OF BEARING:

SOUTH LINE OF LOT 2, TF SUBDIVISION NO. 1, CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO, MONUMENTED AT THE EAST END BY A NO. 4 REBAR WITH A BROKEN/ILLEGIBLE RED PLASTIC CAP, 0.2 FEET BELOW GRADE, AND AT THE WEST END BY A NO. 5 REBAR WITH NO CAP, FLUSH WITH GRADE AND MEASURED TO BEAR S89°38'34"W A MEASURED DISTANCE OF 647.13 FEET.

BENCHMARK:

MAG NAIL IN ASPHALT, ELEVATION: 6125.27 (NGVD29)

LEGAL DESCRIPTION:

LOT 2, TF SUBDIVISION FILING NO. 1, CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

FEMA CLASSIFICATION:

FEDERAL EMERGENCY MANAGEMENT AGENCY FEMA FIRMETTE PUBLISHED FEBRUARY 14, 2020. REFERENCE FLOOD INSURANCE RATE MAP, MAP NUMBER 08041C0753G EFFECTIVE DATE DECEMBER 7th, 2018. INDICATES THIS PARCEL OF LAND IS LOCATED IN ZONE X (AREA OF MINIMAL FLOOD HAZARD), ZONE Y (2% ANNUAL CHANCE FLOOD HAZARD, AND ZONE AE (REGULATORY FLOODWAY)

SCHEDULE B-2 EXCEPTIONS:

- TERMS, CONDITIONS AND PROVISIONS OF AGREEMENTS RECORDED MARCH 29, 1971 IN BOOK 2398 AT PAGES 30 & 31, MAY 27, 1971 IN BOOK 2411 AT PAGE 296 AND OCTOBER 19, 1971 IN BOOK 2443 AT PAGE 960- IS LOCATED ON SUBJECT PARCEL, BLANKET IN NATURE
- THE AREA WITHIN THIS SUBDIVISION IS SUBJECT TO AN AVIGATION EASEMENT RECORDED IN BOOK 2443 AT PAGE 975 OF THE RECORDS OF EL PASO COUNTY, COLORADO.
- EASEMENTS, CONDITIONS, COVENANTS, RESTRICTIONS, RESERVATIONS AND NOTES ON THE RECORDED PLAT OF NEWPORT SUBDIVISION FILING NO. 19 RECORDED MARCH 31, 2005 UNDER RECEPTION NO. 2050945363, RATIFIED BY INSTRUMENT RECORDED JUNE 6, 2005, UNDER RECEPTION NO. 20549195- IS LOCATED ON SUBJECT PARCEL, BLANKET IN NATURE AND SHOWN HEREON.
- RIGHT OF WAY EASEMENT AS GRANTED TO THE CITY OF COLORADO SPRINGS IN INSTRUMENT RECORDED AUGUST 3, 2005, UNDER RECEPTION NO. 205118760- IS NOT LOCATED ON SUBJECT PARCEL.
- RIGHT OF WAY EASEMENT AS GRANTED TO THE UNITED STATES OF AMERICA IN INSTRUMENT RECORDED DECEMBER 29, 1943, IN BOOK 1041 AT PAGE 44- IS LOCATED ON SUBJECT PARCEL, APPROXIMATE LOCATION SHOWN HEREON.
- RIGHT OF WAY EASEMENT GRANTED TO MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY IN INSTRUMENT RECORDED JULY 14, 1980, IN BOOK 3329 AT PAGE 538- IS LOCATED ON SUBJECT PARCEL, APPROXIMATE LOCATION SHOWN HEREIN.
- EASEMENTS, CONDITIONS, COVENANTS, RESTRICTIONS, RESERVATIONS AND NOTES ON THE RECORDED PLAT OF TF SUBDIVISION FILING NO. 1 RECORDED DECEMBER 13, 2012 UNDER RECEPTION NO. 212713278- IS LOCATED ON THE SUBJECT PARCEL, BLANKET IN NATURE AND SHOWN HEREIN.

SITE DATA - PARCEL B LOT 2

ZONING CLASSIFICATION: PLANNED INDUSTRIAL PARK AIRPORT OVERLAY PIP 2(a) AO SS
LAND USE: DISTRIBUTION / WAREHOUSE / OFFICE
JURISDICTION: CITY OF COLORADO SPRINGS
SITE ADDRESS: 875 VAPOR TRAIL ROAD, COLORADO SPRINGS, CO
TAX SCHEDULE NO: 6424-104-042

BUILDING SETBACKS: 25' FRONT SETBACK, 10' SIDE SETBACK, 25' REAR SETBACK

LOT COVERAGE: PAVEMENT 96,376 sf (28%), BUILDING 45,100 sf (13%), LANDSCAPE / OPEN SPACE 206,079 sf (59%)

DATE OF PREPARATION: JUNE 8th, 2020, REVISED JULY 15th, 2020
APPROX. SCHEDULE OF DEVELOPMENT: FALL 2020 THROUGH FALL 2021

# LOT 2, TF SUBDIVISION FILING NO. 1

A PORTION OF THE N.E. 1/4TH OF SECTION 24, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE SIXTH P.M., CITY OF COLORADO SPRINGS, EL PASO COUNTY, COLORADO

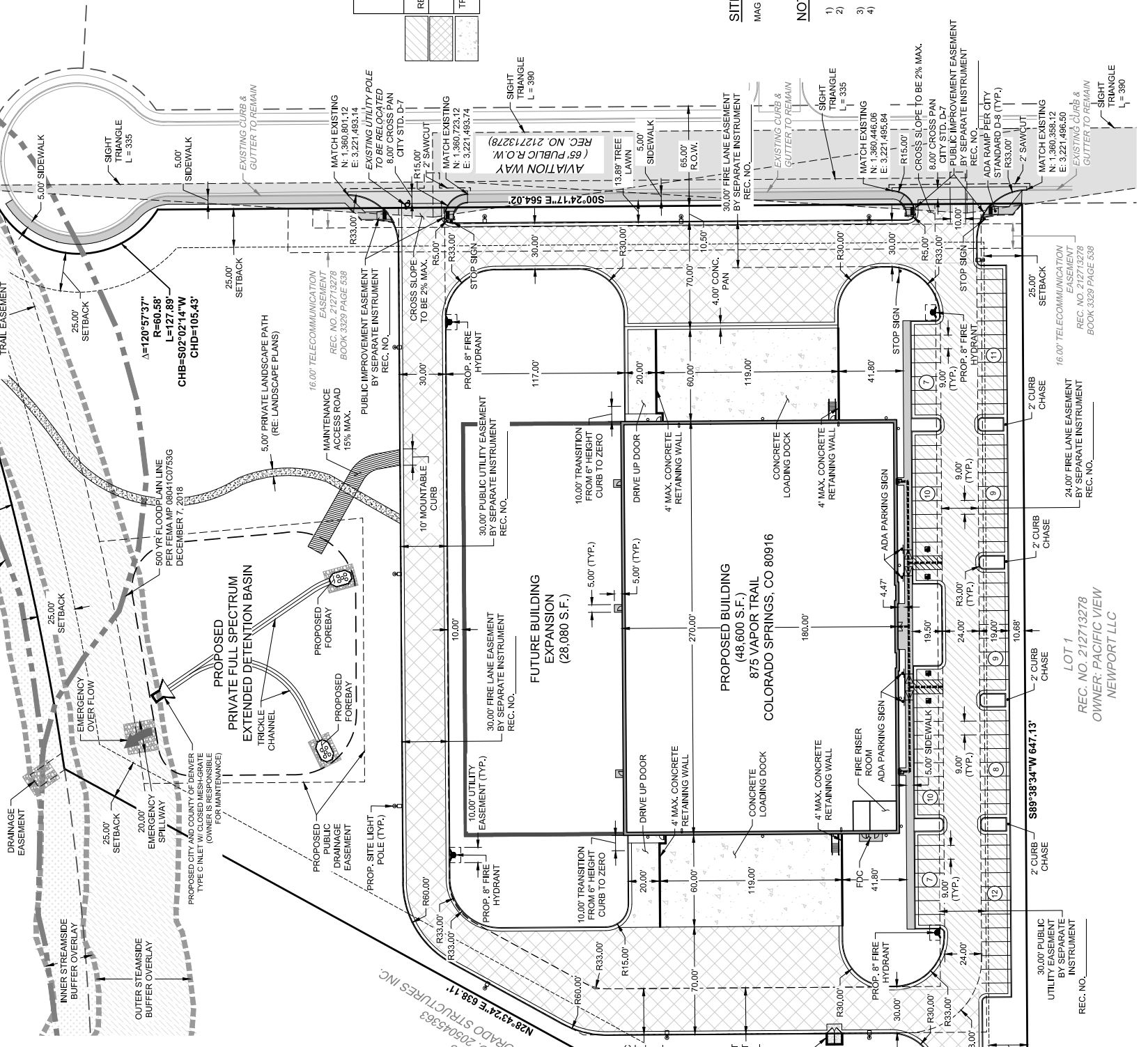
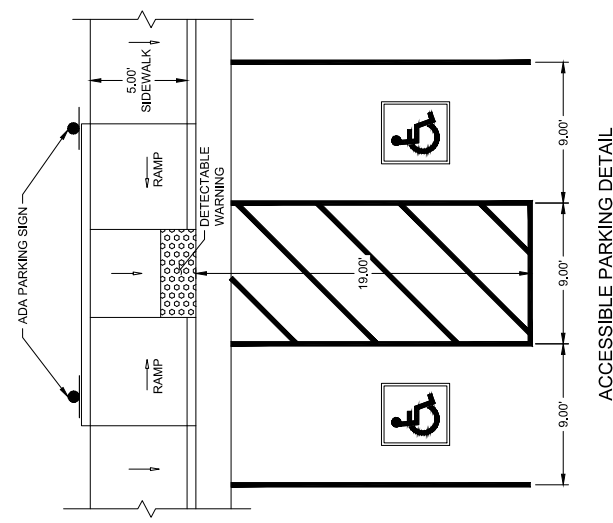
FINAL PD SITE PLAN FOR

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- STANDARD ACCESSIBILITY NOTES:**
- THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE, APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT CONSTITUTE AN ENDORSEMENT OF THE PROJECT OR A GUARANTEE OF THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. THE CITY OF COLORADO SPRINGS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS, SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.
  - ACCESSIBLE PARKING SPACES, ACCESSIBLE ASILES, AND SIGNAGE SHALL MEET ALL APPLICABLE CITY CODE REQUIREMENTS INCLUDING:
    - PARKING SPACES AND ACCESSIBLE ASILES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING ONE TO FIFTY (1:50) (2 PERCENT) IN ALL DIRECTIONS.
    - ACCESSIBLE PARKING SPACES SHALL BE MARKED WITH FOUR INCH (4") LINES.
    - ACCESSIBLE ASILES SHALL BE OUTLINED AND DIAGONALLY STRIPED AT FORTY FIVE DEGREE (45°) ANGLES IN A CONTRASTING COLOR SUCH AS YELLOW, WHITE, OR BLUE.



- LEGEND:**
- PROPERTY LINE
  - EXISTING CURB & GUTTER
  - PROPOSED CATCH CURB & GUTTER
  - PROPOSED SPILL CURB & GUTTER
  - PROPOSED SAWCUT
  - ADA-ACCESSIBLE ROUTE
  - PROPOSED LIGHT DUTY FULL DEPTH ASPHALT (PER GEOTECH REPORT)
  - PROPOSED HEAVY DUTY FULL DEPTH ASPHALT (PER GEOTECH REPORT)
  - PROPOSED CONCRETE (PER GEOTECH REPORT)
  - PROPOSED CONCRETE SIDEWALK
  - PARKING COUNT
  - PROPOSED HANDICAP PARKING
  - PROPOSED SIGN
  - PROPOSED FIRE HYDRANT
  - SITE LIGHT POLE
  - OUTER STREAMSIDE BUFFER OVERLAY
  - INNER STREAMSIDE BUFFER OVERLAY

TRAFFIC	PAVEMENT SECTION THICKNESS (IN.)
LIGHT DUTY (AREAS RESTRICTED TO AUTOS)	COMPOSITE ASPHALT OVER BASE COURSE 4 OVER 6
HEAVY DUTY (DRIVEWAYS) TRASH PICKUP OR TRUCK LOADING AREAS	PORTLAND CEMENT CONCRETE OVER BASE 5.5 OVER 6
	6.5 OVER 4

**PARKING INFORMATION**

REGULAR PARKING STALLS PROVIDED 79 STALLS  
 ADA PARKING STALLS PROVIDED 4 STALLS  
 TOTAL STANDARD AUTO PROVIDED 83 STALLS  
 BUILDING S.F. 48,600  
 EXPANSION S.F. 28,080  
 TOTAL 76,680  
 PROVIDED PARKING RATIO 1.07/1000 S.F.

**SITE BENCHMARK:**  
MAG NAIL IN ASPHALT, AS SHOWN. ELEVATION: 6125.27 (NGVD29).

- NOTES:**
- ALL DIMENSIONS ARE TO FLOWLINE AND BUILDING FACE UNLESS OTHERWISE NOTED.
  - CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION, NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES FROM PLANS.
  - PAVEMENT THICKNESS PER GEOTECH REPORT.
  - ALL ENTRANCES ARE PRIVATE UNLESS OTHERWISE NOTED.

CITY FILE NUMBER: CPC CU 20-00101

**CITY APPROVAL**

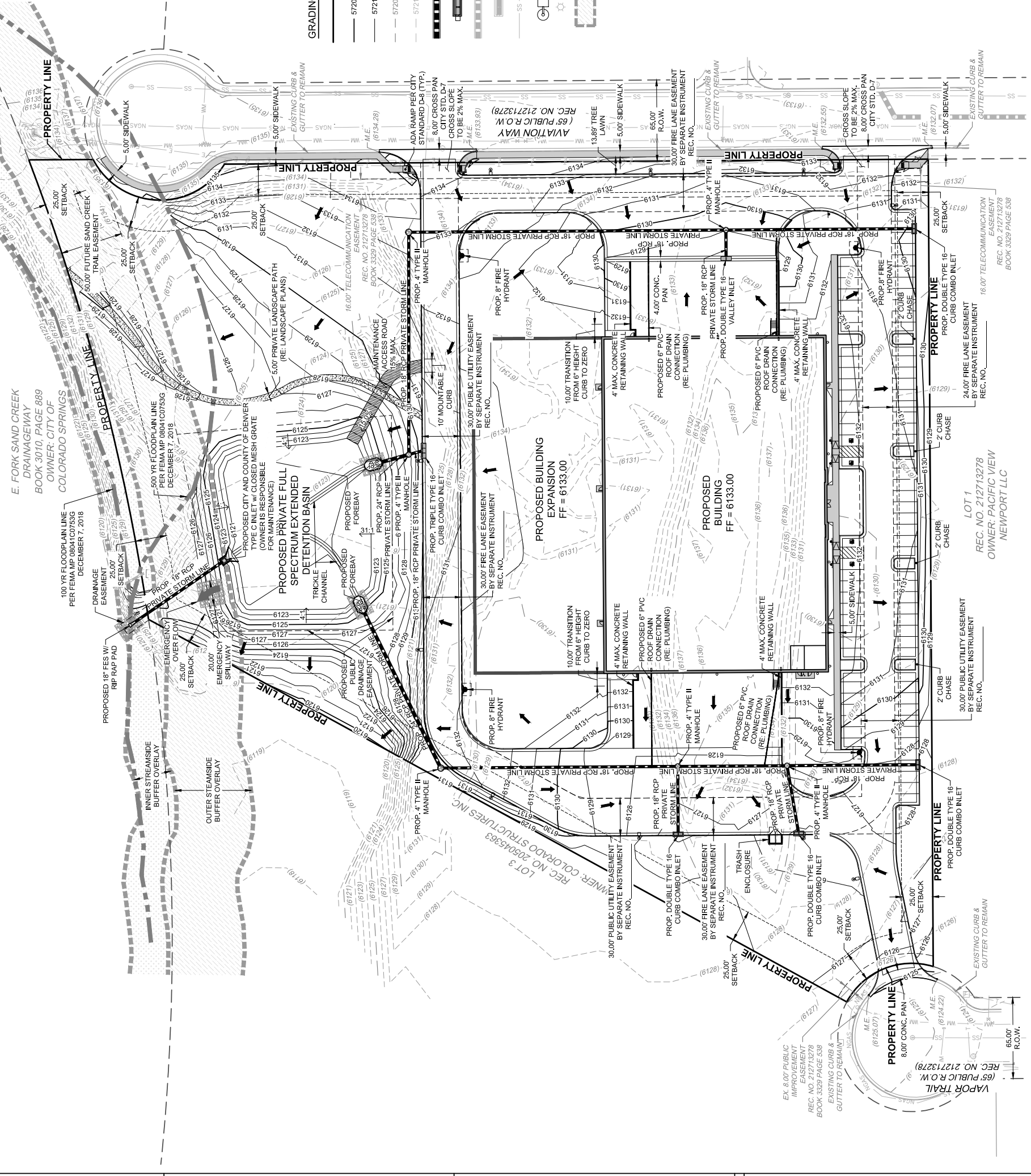
PAIR: T. SWAN  
 DRAWN BY: J. PENA  
 JOB NO.: DEN20-005-00

SHEET **002** OF 012

# LOT 2, TF SUBDIVISION FILING NO. 1

A PORTION OF THE N.E. 1/4th OF SECTION 24, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE SIXTH P.M., CITY OF COLORADO SPRINGS, EL PASO COUNTY, COLORADO

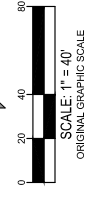
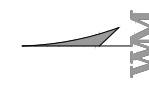
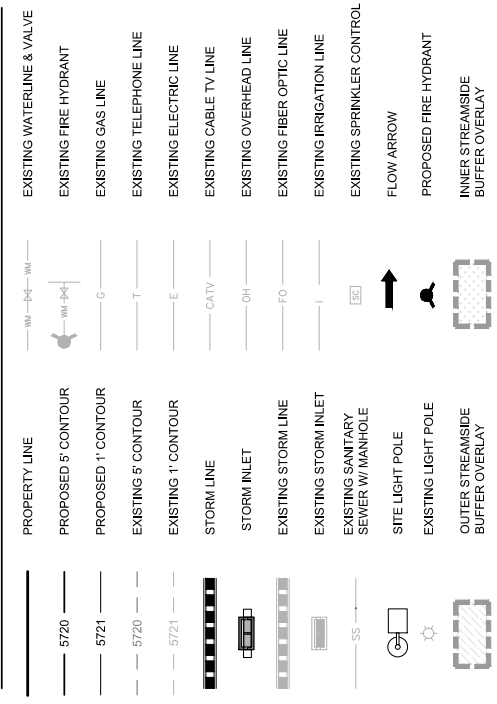
FINAL PD SITE PLAN FOR



**NOTES:**

1. ALL PROPOSED WALKS TO BE ACCESSIBLE (2.0% MAX CROSS SLOPE, 5.0% MAX LONGITUDINAL SLOPE).
2. DRAINAGE FACILITIES ARE PRIVATE AND TO BE MAINTAINED BY THE OWNER.
3. ALL ENTRANCES ARE PRIVATE UNLESS OTHERWISE NOTED.
4. MAX 2% SLOPE IN ANY DIRECTION AT HANDICAP PARKING SPACES.
5. MINIMUM SLOPE AWAY FROM THE BUILDING IS 5% FOR 10' FOR LANDSCAPE AREAS, MIN 2% FOR IMPERVIOUS AREAS.
6. MINIMUM PAVEMENT SLOPES: 1% FOR ASPHALT, 0.5% FOR CONCRETE.
7. ANY PRIVATE STORM SEWER CONNECTION OR DISCHARGE INTO THE PUBLIC SYSTEM MUST BE INSPECTED BY ENGINEERING DEVELOPMENT REVIEWER INSPECTOR.
8. DEVELOPER IS RESPONSIBLE FOR ANY NECESSARY CHANNEL IMPROVEMENTS ADJACENT TO THIS SITE PER THE DBPS (AND/OR CURRENT OPEN CHANNEL ENGINEERING ANALYSIS, WHICH MAY BE REQUIRED PER STEP 3 OF THE FOUR STEP PROCESS). THE SCOPE OF WHICH ARE TO BE DETERMINED IN COORDINATION WITH SWENT AND IDENTIFIED IN THE DRAINAGE REPORT.
9. ALL REQUIRED SAND CREEK CHANNEL IMPROVEMENTS MUST BE FULLY CONSTRUCTED, OR ASSURANCES POSTED FOR 100% OF THE IMPROVEMENTS, PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS WITHIN THE B0365 DEVELOPMENT PROJECT.
10. ANY EASEMENTS NECESSARY FOR THE REQUIRED SAND CREEK CHANNEL IMPROVEMENTS MUST BE GRANTED PRIOR TO APPROVAL OF THE CONSTRUCTION DRAWINGS.

**GRADING LEGEND:**



CITY FILE NUMBER: CPC CU 20-00101

**CITY APPROVAL**

DATE	08/08/2020
PLANNING SUBMITTAL	
REMARKS	
PAPER:	T. SWAN
DRAWN BY:	J. PENA
JOB NO.:	DEN20-005-00
SHEET	003
OF 012	

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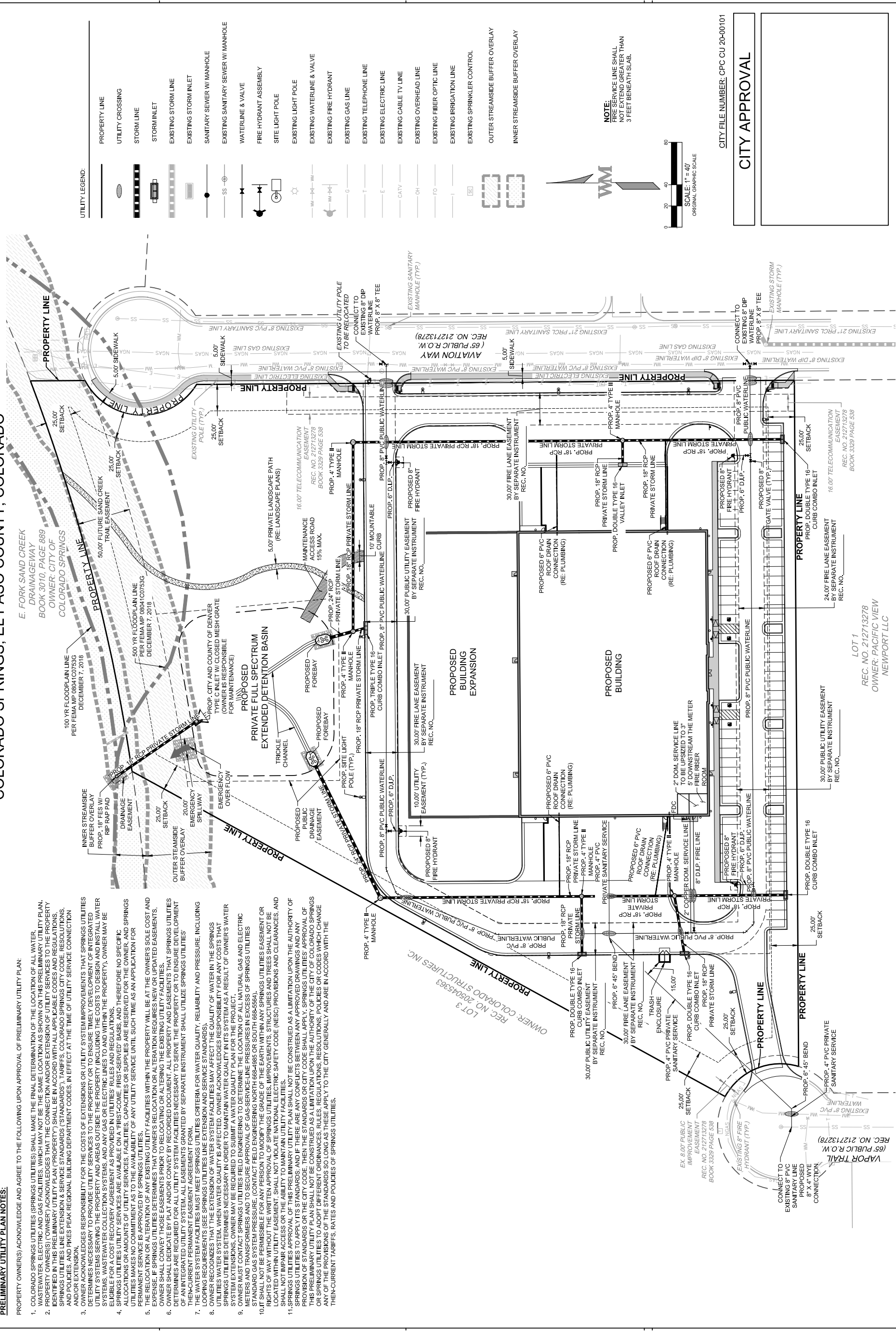
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COLORADO SPRINGS, CO

PRELIMINARY UTILITIES & PUBLIC FACILITIES PLAN	
DATE	06/08/2020
REMARKS	PLANNING SUBMITTAL

PAIR: T. SWAN
DRAWN BY: J. PENA
JOB NO.: DEN20-005-00

SHEET  
**004**  
OF 012

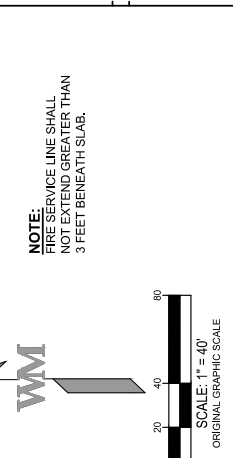
NOT FOR CONSTRUCTION



- PRELIMINARY UTILITY PLAN NOTES:**
- PROPERTY OWNER(S) ACKNOWLEDGE AND AGREE TO THE FOLLOWING UPON APPROVAL OF PRELIMINARY UTILITY PLAN:
  - COLORADO SPRINGS UTILITIES (SPRINGS UTILITIES) SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION OF ALL WATER, WASTEWATER, ELECTRIC AND GAS FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THIS PRELIMINARY UTILITY PLAN. PROPERTY OWNER(S) (OWNER) ACKNOWLEDGES THAT THE CONNECTION AND/OR EXTENSION OF UTILITY SERVICES TO THE PROPERTY IDENTIFIED IN THIS PRELIMINARY UTILITY PLAN ("PROPERTY") SHALL BE IN ACCORD WITH ALL APPLICABLE CODES AND REGULATIONS. SPRINGS UTILITIES LINE EXTENSION & SERVICE STANDARDS ("STANDARDS"), TARIFFS, COLORADO SPRINGS CITY CODE, REGULATIONS, ORDINANCES, AND PIPES PEAK REGIONAL BUILDING DEPARTMENT CODES, IN EFFECT AT THE TIME OF UTILITY SERVICE CONNECTION AND/OR SERVICE, SHALL APPLY TO THE PROPERTY.
  - OWNER ACKNOWLEDGES RESPONSIBILITY FOR THE COSTS OF EXTENSIONS OR UTILITY SYSTEM IMPROVEMENTS THAT SPRINGS UTILITIES DETERMINES NECESSARY TO PROVIDE UTILITY SERVICES TO THE PROPERTY OR TO ENSURE TIMELY DEVELOPMENT OF INTEGRATED UTILITY SYSTEMS SERVING THE PROPERTY AND AREAS OUTSIDE THE PROPERTY (INCLUDING THE COSTS TO DESIGN AND INSTALL WATER SYSTEMS, WASTEWATER COLLECTION SYSTEMS, AND ANY GAS OR ELECTRIC LINES TO AND WITHIN THE PROPERTY). OWNER MAY BE ELIGIBLE FOR A COST RECOVERY AGREEMENT AS PROVIDED IN UTILITIES' RULES AND REGULATIONS.
  - SPRINGS UTILITIES UTILITY SERVICES ARE AVAILABLE ON A "FIRST-COME, FIRST-SERVED" BASIS, AND THEREFORE NO SPECIFIC ALLICATIONS OR AMOUNTS OF UTILITY SERVICES, CAPACITIES OR SUPPLIES ARE RESERVED FOR THE OWNER, AND SPRINGS UTILITIES WILL ACCEPT ANY APPLICATION FOR UTILITY SERVICE UNTIL SUCH TIME AS AN APPLICATION FOR PERMANENT SERVICE IS APPROVED BY SPRINGS UTILITIES.
  - THE RELOCATION OR ALTERATION OF ANY EXISTING UTILITY FACILITIES WITHIN THE PROPERTY WILL BE AT THE OWNER'S SOLE COST AND EXPENSE. IF SPRINGS UTILITIES DETERMINES THAT OWNER'S RELOCATION OR ALTERATION REQUIRES NEW OR UPDATED EASEMENTS, OWNER SHALL CONVEY THOSE EASEMENTS PRIOR TO RECORDING DOCUMENT. ALL PROPERTY AND EASEMENTS THAT SPRINGS UTILITIES DETERMINES ARE REQUIRED FOR ALL UTILITY SYSTEM FACILITIES NECESSARY TO SERVE THE PROPERTY OR TO ENSURE DEVELOPMENT OF AN INTEGRATED UTILITY SYSTEM. ALL EASEMENTS GRANTED BY SEPARATE INSTRUMENT SHALL UTILIZE SPRINGS UTILITIES' THEN-CURRENT STANDARD EASEMENT AGREEMENT FORMS. CRITERIA FOR WATER QUALITY, RELIABILITY AND PRESSURE, INCLUDING LOOPING REQUIREMENTS (SEE SPRINGS UTILITIES LINE EXTENSION AND SERVICE STANDARDS).
  - OWNER RECOGNIZES THAT THE EXTENSION OF WATER SYSTEM FACILITIES MAY AFFECT THE QUALITY OF WATER IN THE SPRINGS UTILITIES WATER SYSTEM. WHEN WATER QUALITY IS AFFECTED, OWNER ACKNOWLEDGES RESPONSIBILITY FOR ANY COSTS THAT SPRINGS UTILITIES DETERMINES NECESSARY IN ORDER TO MAINTAIN WATER QUALITY IN ITS SYSTEM AS A RESULT OF OWNER'S WATER SYSTEM EXTENSIONS. OWNER MAY BE REQUIRED TO SUBMIT A WATER QUALITY PLAN FOR THE PROJECT.
  - OWNER MUST CONTACT SPRINGS UTILITIES FIELD ENGINEERING TO DETERMINE THE LOCATION OF ALL NATURAL GAS AND ELECTRIC METERS AND TRANSFORMERS AND TO SECURE APPROVAL OF GAS-SERVICE-LINE PRESSURES IN EXCESS OF SPRINGS UTILITIES STANDARDS. OWNER SHALL BE RESPONSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH WITHIN ANY SPRINGS UTILITIES EASEMENT OR RIGHTS OF WAY WITHOUT THE WRITTEN APPROVAL OF SPRINGS UTILITIES. IMPROVEMENTS, STRUCTURES AND TREES SHALL NOT BE LOCATED WITHIN UTILITY EASEMENT. SHALL NOT VIOLATE NATIONAL ELECTRIC SAFETY CODE (NEC) PROVISIONS AND CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.
  - SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF SPRINGS UTILITIES TO APPLY ITS STANDARDS, AND IF THERE ARE ANY CONFLICTS BETWEEN ANY APPROVED DRAWINGS AND ANY PROVISION OF STANDARDS OR THE CITY CODE, THEN THE STANDARDS OR CITY CODE SHALL APPLY. OF THE CITY OF COLORADO SPRINGS THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF THE CITY OF COLORADO SPRINGS TO ENFORCE ANY OF THE PROVISIONS OF THE STANDARDS SO LONG AS THESE APPLY TO THE CITY GENERALLY AND ARE IN ACCORD WITH THE THEN-CURRENT TARIFFS, RATES AND POLICIES OF SPRINGS UTILITIES.

**UTILITY LEGEND:**

PROPERTY LINE	---
UTILITY CROSSING	---
STORM LINE	---
STORM INLET	---
EXISTING STORM LINE	---
EXISTING STORM INLET	---
SANITARY SEWER W/ MANHOLE	---
EXISTING SANITARY SEWER W/ MANHOLE	---
WATERLINE & VALVE	---
FIRE HYDRANT ASSEMBLY	---
SITE LIGHT POLE	---
EXISTING LIGHT POLE	---
EXISTING WATERLINE & VALVE	---
EXISTING FIRE HYDRANT	---
EXISTING GAS LINE	---
EXISTING TELEPHONE LINE	---
EXISTING ELECTRIC LINE	---
EXISTING CABLE TV LINE	---
EXISTING OVERHEAD LINE	---
EXISTING FIBER OPTIC LINE	---
EXISTING IRRIGATION LINE	---
EXISTING SPRINKLER CONTROL	---
OUTER STREAMSIDE BUFFER OVERLAY	---
INNER STREAMSIDE BUFFER OVERLAY	---



CITY FILE NUMBER: CPC CU 20-00101

**CITY APPROVAL**

LOT 1  
REC. NO. 212713278  
OWNER: PACIFIC VIEW  
NEWPORT LLC

CAUTION: IF THIS SHEET IS NOT 24"x36" IT IS A REDUCED PRINT

FINAL PD SITE PLAN FOR

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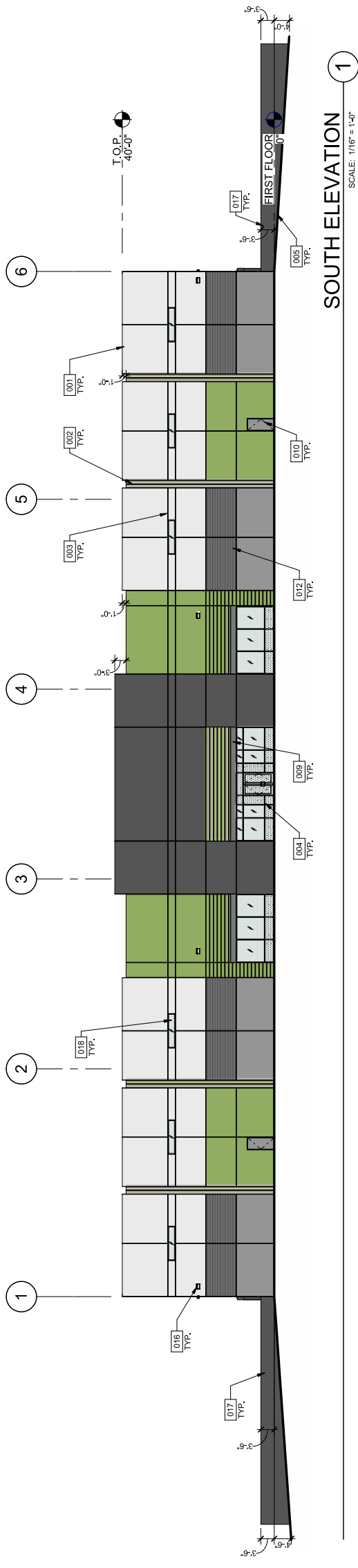
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EXTERIOR ELEVATIONS	
DATE	08/09/2020
PLANNING SUBMITTAL	08/14/2020
REMARKS	

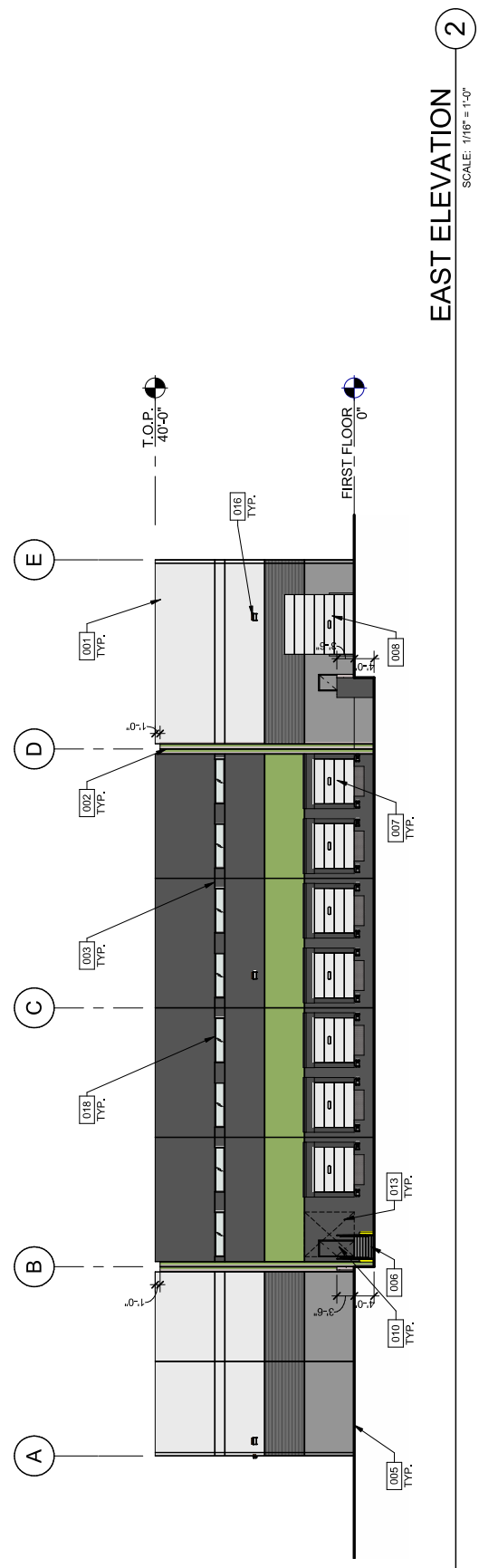
PAPERM:	B-WISSIS
DRAWN BY:	MS
JOB NO.:	DEN20-0005-00

SHEET  
**005**  
OF 012

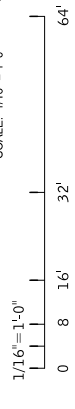
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**SOUTH ELEVATION**  
SCALE: 1/16" = 1'-0"



**EAST ELEVATION**  
SCALE: 1/16" = 1'-0"



CITY FILE NUMBER: CPC CU 20-00101

**CITY APPROVAL**

### COLOR LEGEND

[Color swatch]	SHERWIN WILLIAMS HIGH REFLECTIVE WHITE - SW 7757
[Color swatch]	SHERWIN WILLIAMS POLISHED CONCRETE - SW 9167
[Color swatch]	SHERWIN WILLIAMS POLISHED CONCRETE - SW 9167 W/ CONCRETE FORMLINER
[Color swatch]	SHERWIN WILLIAMS FOLKSTONE - SW 6005
[Color swatch]	SHERWIN WILLIAMS OVERT GREEN - SW 6718

- NOTES:**
- 001 TILT-UP CONCRETE PANEL, PAINTED
  - 002 TILT-UP CONCRETE PANEL JOINT
  - 003 3/4" V-REVEAL
  - 004 ALUMINUM STOREFRONT SYSTEM WITH INSULATED GLAZING
  - 005 FINISH GRADE, VARIES RE. CIVIL
  - 006 EXTERIOR STEEL STAIRS
  - 007 9'X10' DOCK DOOR
  - 008 12'X14' DRIVE IN DOOR AT GRADE
  - 009 STEEL CANOPY, PAINTED
  - 010 8'X10' WALK IN DOOR
  - 011 CONCRETE FORMLINER
  - 012 KNOCKOUT PANEL FOR FUTURE DOOR OR WINDOW
  - 013 WALL PACK LIGHT FIXTURE, RE. PHOTOMETRIC
  - 016 WALL LIGHT FIXTURE, RE. PHOTOMETRIC
  - 017 TILT-UP CONCRETE RETAINING WALL, PAINTED
  - 018 ALUMINUM STOREFRONT SYSTEM CLERESTORY WINDOW WITH INSULATED GLAZING

FINAL PD SITE PLAN FOR

# LOT 2, TF SUBDIVISION FILING NO. 1

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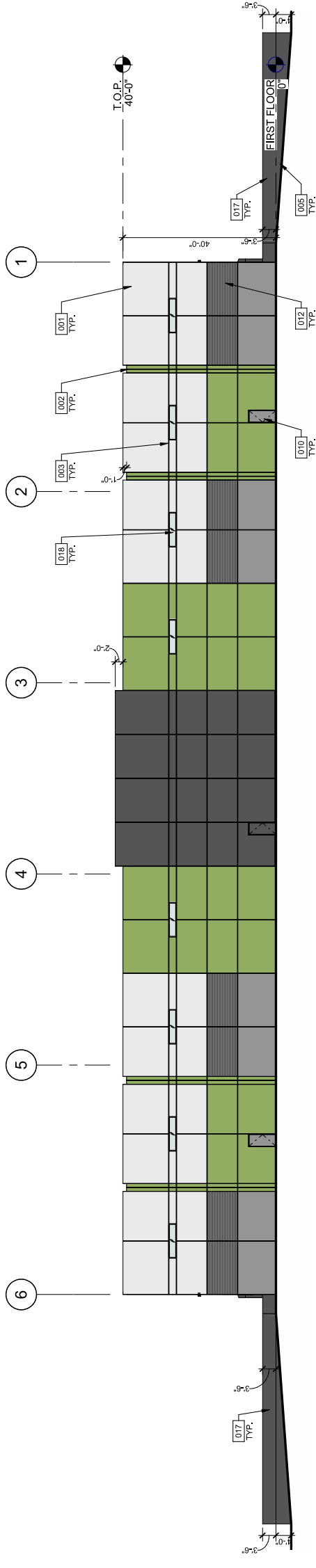
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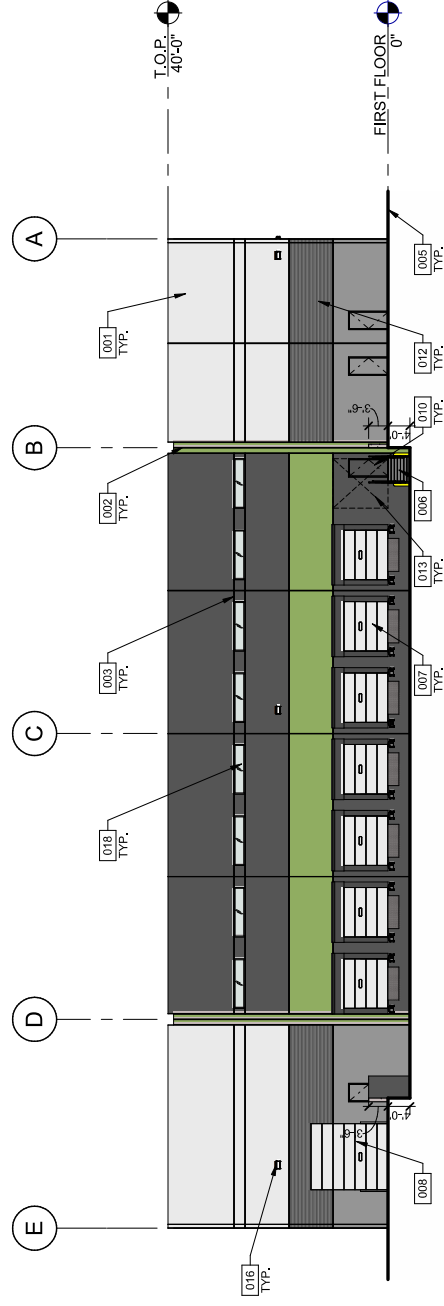
EXTERIOR ELEVATIONS	
DATE	08/09/2020
PLANNING SUBMITTAL	08/14/2020
REMARKS	

PAP/PM:	B.WEISS
DRAWN BY:	MS
JOB NO.:	DEN20-0005-00

SHEET  
**006**  
OF 012



**1**  
NORTH ELEVATION  
SCALE: 1/16" = 1'-0"



**2**  
WEST ELEVATION  
SCALE: 1/16" = 1'-0"

CITY FILE NUMBER: CPC CU 20-00101

**CITY APPROVAL**

**COLOR LEGEND**

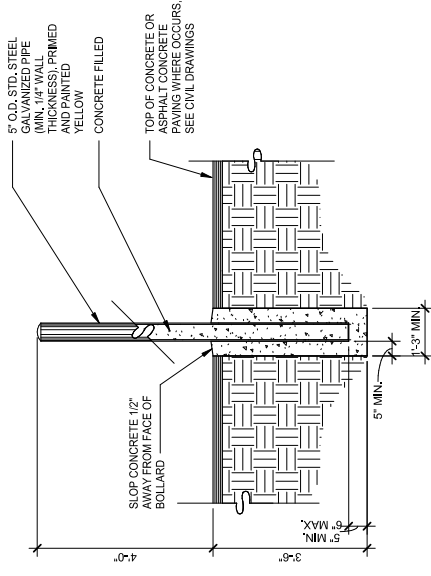
[Light Grey Box]	SHERWIN WILLIAMS HIGH REFLECTIVE WHITE - SW 7757
[Dark Grey Box]	SHERWIN WILLIAMS POLISHED CONCRETE - SW 9167
[Green Box]	SHERWIN WILLIAMS POLISHED CONCRETE - SW 9167 W/ CONCRETE FORMLINER
[Dark Green Box]	SHERWIN WILLIAMS FOLIAGESTONE - SW 6005
[Olive Green Box]	SHERWIN WILLIAMS OVERT GREEN - SW 6718

**NOTES:**

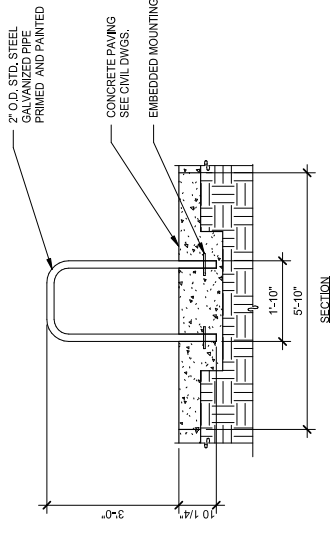
- 001 TILT-UP CONCRETE PANEL, PAINTED
- 002 TILT-UP CONCRETE PANEL JOINT
- 003 3/4" V-REVEAL
- 005 FINISH GRADE, VARIES RE. CIVIL
- 006 EXTERIOR STEEL STAIRS
- 007 9'X10' DOCK DOOR
- 008 12'X14' DRIVE IN DOOR AT GRADE
- 010 2'X7' HOLLOW METAL MAN DOOR
- 012 KNOCKOUT PANEL FOR FUTURE DOOR OR WINDOW
- 016 WALL PACK LIGHT FIXTURE, RE. PHOTOMETRIC
- 017 TILT-UP CONCRETE RETAINING WALL, PAINTED
- 018 ALUMINUM STOREFRONT SYSTEM CLERESTORY WINDOW WITH INSULATED GLAZING

# LOT 2, TF SUBDIVISION FILING NO. 1

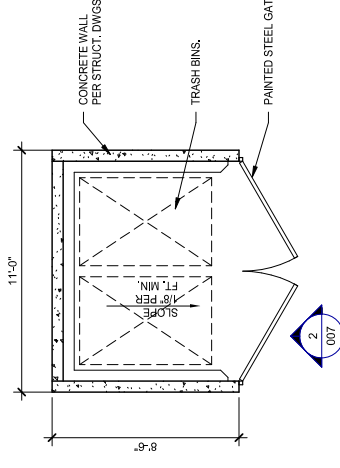
A PORTION OF THE N.E. 1/4th OF SECTION 24, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE SIXTH P.M., CITY OF COLORADO SPRINGS, EL PASO COUNTY, COLORADO



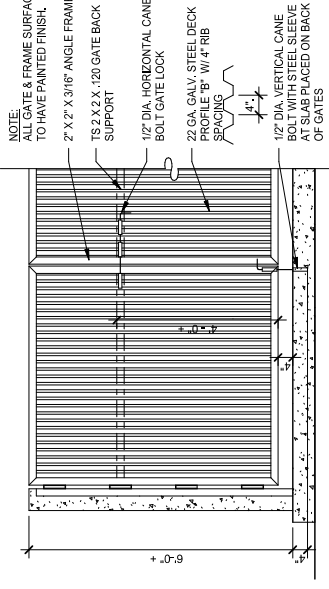
**BOLLARD** SCALE: 1/2" = 1'-0"



**BIKE RACK** SCALE: 1/2" = 1'-0"



**TRASH ENCLOSURE PLAN** SCALE: 1/4" = 1'-0"



**TRASH ENCLOSURE GATE** SCALE: 1/2" = 1'-0"

CITY FILE NUMBER: CPC CU 20-00101

**CITY APPROVAL**

**WARE MALCOMB**  
Leading Design for Commercial Real Estate

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graphics  
civil engineering  
Denver, CO 80202  
P 720.488.2626

**BIO365**  
875 VAPOR TRAIL ROAD  
COLORADO SPRINGS, CO

**SITE DETAILS**

REMARKS  
DATE  
08/09/2020  
PLANNING SUBMITTAL  
08/14/2020  
PLANNING SUBMITTAL

PAPM: B.WEISS  
DRAWN BY: MS  
JOB NO.: DEN20-0005-00

SHEET  
**007**  
OF 012

**SITE CATEGORY CALCULATIONS:**  
REQUIRED BY POLICY 312  
LANDSCAPE SETBACKS (See Double Frontage Lot Setbacks)

STREET NAME ZONED BOUNDARY (ELEV.)	CLASSIFICATION	WIDTH (FT)	REQUIRED	PROVIDED	LINEAR FOOTAGE	TREE/FEET	REQUIRED	PROVIDED	NUMBER OF TREES
AVIATION WAY	NON ARTERIAL	10'	102'		653 LF	1 PER 30 LF	22	22	16 NEW/5 EXISTING
SHRUB SUBSTITUTES	ORNAMENTAL	SETBACK PLANT ABBR. DENOTED ON PLAN			PERCENT GROUND	PERCENT GROUND			
REQUIRED	PROVIDED				75%	100%			
STREET NAME ZONED BOUNDARY (ELEV.)	CLASSIFICATION	WIDTH (FT)	REQUIRED	PROVIDED	LINEAR FOOTAGE	TREE/FEET	REQUIRED	PROVIDED	NUMBER OF TREES
VAPOR TRAIL	NON ARTERIAL	10'	25'		79 LF	1 PER 30 LF	3	3	3
SHRUB SUBSTITUTES	ORNAMENTAL	SETBACK PLANT ABBR. DENOTED ON PLAN			PERCENT GROUND	PERCENT GROUND			
REQUIRED	PROVIDED				75%	100%			
<b>MOTOR VEHICLE LOTS (see code section/Policy 321 &amp; 317)</b>									
NUMBER OF PARKING SPACES PROVIDED	REQUIRED	PROVIDED			VEHICLE LOT FRONTAGES (EXC. DRIVEWAYS)	LENGTH OF SHREED FRONTAGE (FT.)	VEHICLE LOT PLANT ABBR. ON PLAN	VEG. PERCENT GROUND PLANE	9/3 LENGTH OF FRONTAGE (FT.)
83	6	6			NONE - INTERNAL	482'	(V)	100%	318'
MINIMUM 3' HT. SCREENING PLANTS	EVERGREEN PLANTS	LENGTH OF SCREEN WALL OR BERM	INTERNAL AREA (S-F)	INTERNAL TREES (L/SUB S.F.)					
REQUIRED	PROVIDED	48	17,378	197,598	35	53			
96	48	0							
<b>INTERNAL LANDSCAPING (see code section/Policy 322 &amp; 317)</b>									
NET SITE AREA (LESS PUBLIC R.O.W.)	PERCENT MINIMUM INTERNAL AREA (%)	REQUIRED	PROVIDED	INTERNAL PLANT ABBR. ON PLAN	PERCENT GROUND PLANE				
347,555	5%	17,378	197,598	35	53				
SHRUB SUBSTITUTES	ORNAMENTAL GRASSES	INTERNAL PLANT ABBR. ON PLAN	PERCENT GROUND PLANE						
0	156	0	164	(I)	75%	74.5%			

# LOT 2, TF SUBDIVISION FILING NO. 1

A PORTION OF THE N.E. 1/4th OF SECTION 24, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE SIXTH P.M., CITY OF COLORADO SPRINGS, EL PASO COUNTY, COLORADO

FINAL PD SITE PLAN FOR

**WARE MALCOMB**  
Leading Design for Commercial Real Estate

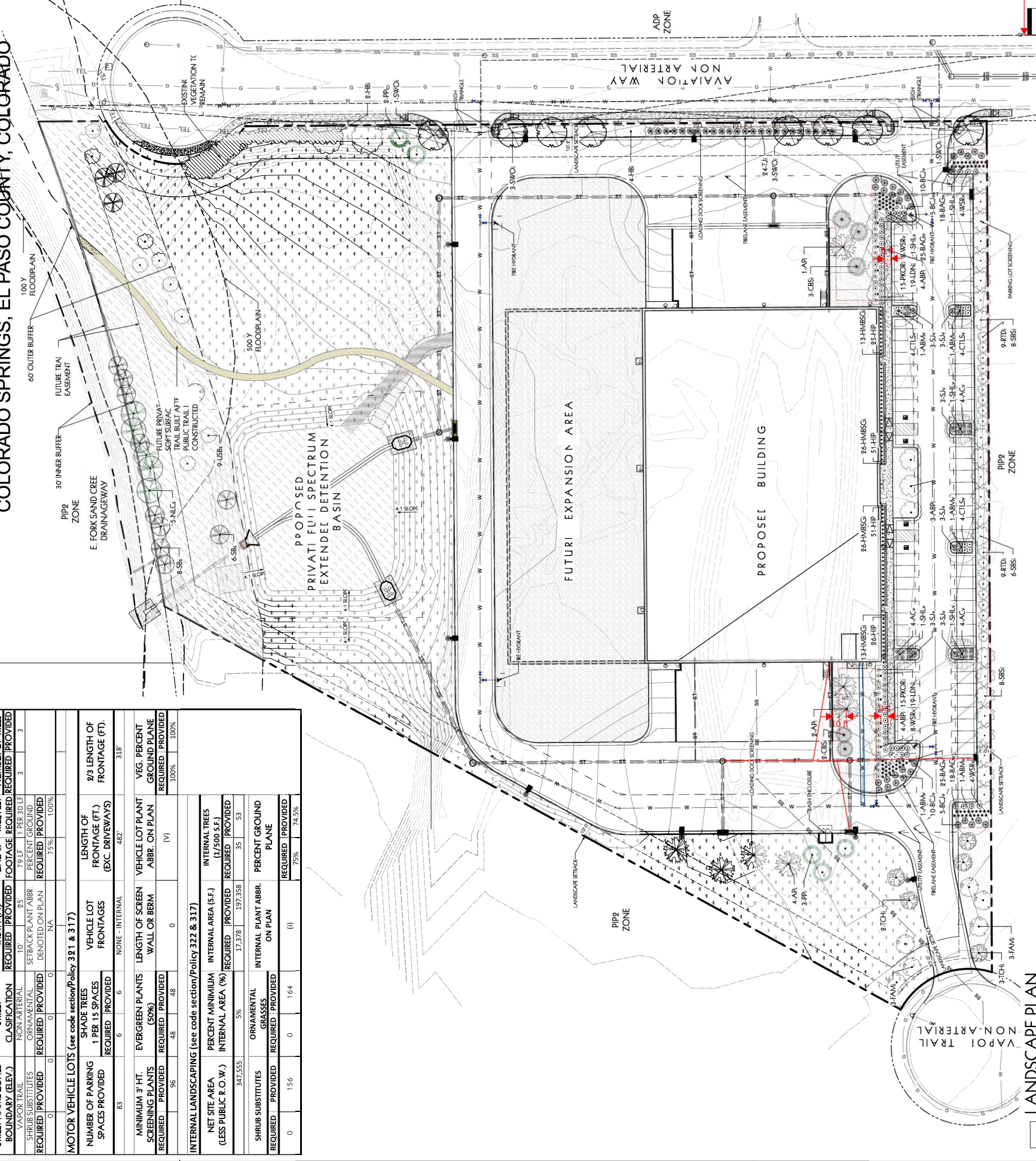


1600 Champa Street Suite 350  
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**LEGEND:**

- PROPOSED SHADE TREES
- PROPOSED ORNAMENTAL TREES
- PROPOSED EVERGREEN TREES
- PROPOSED SHRUBS
- PROPOSED ORNAMENTAL GRASSES
- IRRIGATED SOI 18" 4" 1" 1/2"
- TEXAS HYBRID THERMAL BUI
- IRRIGATED SEED MIX: 85,735 sf
- HIGH PLAINS / FLOORHILLS GRASS MIX (Western Native Seed)
- IRRIGATED RIPARIAN SEED MIX: 35,335 sf
- HIGH PLAINS / FLOORHILLS WET MEADOW MIX (Western Native Seed)
- CRUSHED ROCK (1:1 grey crushed rock) 59,311 sf
- ROCK MULCH (3/4" Mountain Granite Mix) 11,813 sf
- CRUSHER FINE TRAIL 1,618 SF
- STEEL EDGER (green, 14 gauge, 4" x 1/8")

- A FINAL LANDSCAPE AND IRRIGATION PLAN SHALL BE SUBMITTED AND REVIEWED CONCURRENT WITH BUILDING PERMIT SUBMITTAL AND APPROVED PRIOR TO ISSUANCE OF A BUILDING PERMIT
- IRRIGATION: AN IRRIGATION PLAN MUST BE SUBMITTED FOR REVIEW WITHIN 90 DAYS SUBSEQUENT TO RECEIVING A BUILDING PERMIT. THE PLAN MUST BE APPROVED PRIOR TO THE INSTALLATION OF ANY IRRIGATION COMPONENTS AND/OISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF OWNER, AND/OR THEIR ASSIGNS.
- SOIL ANALYSIS: AT THE COMPLETION OF LANDSCAPE WORK, A SIGNED AFFIDAVIT OF ATTESTING TO THE SOIL AMENITIES INCORPORATED TO CORRECT DEFICIENCIES SHALL BE INCLUDED WITH THE SOIL ANALYSIS PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- EROSION CONTROL: 1. ALL SLOPED SLOPES EXCEEDING 4:1 SHALL BE PROTECTED WITH EROSION CONTROL BLANKETS INSTALLED AND STAPLED ACCORDING TO MANUFACTURER RECOMMENDATIONS. 2. EROSION CONTROL BLANKETS SHALL BE BIODEGRADABLE WOOD EXCELSCO ENCLOSED IN A PHOTO DEGRADABLE PLASTIC MESH. INCLUDE MANUFACTURER RECOMMENDED STEEL WIRE STAPLES, (150 MM) LONG MINIMUM.



CITY FILE NUMBER: CPC CU 20-00101

**CITY APPROVAL**

**BIO365**  
875 VAPOR TRAIL ROAD  
COLORADO SPRINGS, CO

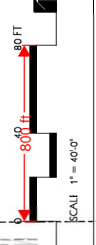
PRELIMINARY LANDSCAPE PLAN

DATE: 08/13/2020  
DRAWN BY: SG  
JOB NO.: DEN20-0005-00

REMARKS: 08/13/2020 PLANNING SUBMITTAL  
08/13/2020 PLANNING SUBMITTAL

PAPER: 0888  
DRAWN BY: SG  
JOB NO.: DEN20-0005-00

SHEET 008 OF 012





# LOT 2, TF SUBDIVISION FILING NO. 1

A PORTION OF THE N.E. 1/4th OF SECTION 24, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE SIXTH P.M., CITY OF COLORADO SPRINGS, EL PASO COUNTY, COLORADO

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**PLANT LIST: 08/13/2020**

KEY	QTY	COMMON NAME	SCIENTIFIC NAME	KEY FROM APPENDIX B	MATURE WIDTH	SIZE	REMARKS
<b>SHADE TREES:</b>							
AB	5	American Blue Oak	<i>Quercus macrocarpa</i>	S	10'	8' x 6'	Specimens quality, full crown, BBR, rated
HB	6	Chopwood Hackberry	<i>Celtis occidentalis</i>	3457DA	35'	8' x 5'	Specimens quality, full crown, BBR, rated
NLC	5	Northern Red Oak	<i>Quercus rubra</i>	4578A	35'	8' x 5'	as shown
SHL	14	Shadblow	<i>Platanus occidentalis</i>	3457DA	35'	8' x 5'	as shown
SWO	8	Swamp White Oak	<i>Quercus bicolor</i>	45	10'	8' x 5'	Specimens quality, full crown, BBR, rated
<b>TOTAL:</b>	<b>48</b>						as shown
<b>ORNAMENTAL TREES:</b>							
ABP	11	American Blue Oak	<i>Quercus macrocarpa</i>	A	15'	9' x 6'	Specimens quality, full crown, BBR, rated
FAM	6	Basswood	<i>Fraxinus americana</i>	4578A	25'	9' x 6'	Specimens quality, full crown, BBR, rated
LCR	5	London Plane Tree	<i>Platanus occidentalis</i>	3457DA	35'	8' x 5'	Specimens quality, full crown, BBR, rated
PLC	5	Prickly Pear Cholla	<i>Cylindropuntia cholla</i>	4785	3'	3' x 3'	Specimens quality, full crown, BBR, rated
<b>TOTAL:</b>	<b>31</b>						
<b>EVERGREEN TREES:</b>							
ADP	7	American Pine	<i>Pinus strobus</i>	9567BA	25'	8' x 6'	as shown
BS	5	Balsam Poplar	<i>Liquidambar styraciflua</i>	9567BA	25'	8' x 6'	as shown
SP	5	Scots Pine	<i>Pinus sylvestris</i>	9567BA	25'	8' x 6'	as shown
<b>TOTAL:</b>	<b>17</b>						
<b>DECIDUOUS SHRUBS:</b>							
AC	12	Algaean Currant	<i>Ribes algaeanum</i>	9567BA	3'	5' x 6'	containers, 5 stems min. plants 3' x 6"
CLS	18	Cornus	<i>Cornus florida</i>	21456DA	3'	5' x 6'	containers, 5 stems min. plants 3' x 6"
LBN	38	Little Leaf Nettle	<i>Phytolacca americana</i>	5858A	4'	5' x 6'	containers, 5 stems min. plants 3' x 6"
LD	18	Large Dogwood	<i>Cornus florida</i>	4578A	3'	5' x 6'	containers, 5 stems min. plants 3' x 6"
RID	18	Red Dogwood	<i>Cornus florida</i>	4578A	3'	5' x 6'	containers, 5 stems min. plants 3' x 6"
SBS	22	Shadblow	<i>Platanus occidentalis</i>	4578A	3'	5' x 6'	containers, 5 stems min. plants 3' x 6"
WSP	24	White Mulberry	<i>Morus nigra</i>	4578A	5'	5' x 6'	containers, 5 stems min. plants 4' x 6"
<b>TOTAL:</b>	<b>186</b>						
<b>EVERGREEN SHRUBS:</b>							
BCJ	30	Blue Chip Juniper	<i>Juniperus horizontalis</i>	2568A	8'	5' x 6'	containers, 18' x 24' spread, plant 4' x 6"
SJ	18	Scotch Juniper	<i>Juniperus sibirica</i>	5858A	6'	5' x 6'	containers, 18' x 24' spread, plant 4' x 6"
YJ	18	Yew	<i>Taxus canadensis</i>	5858A	8'	5' x 6'	containers, 18' x 24' spread, plant 4' x 6"
<b>TOTAL:</b>	<b>66</b>						
<b>ORNAMENTAL GRASSES:</b>							
HMSG	78	Heavenly Bamboo	<i>Phyllospora diandra</i>	1833D	3'	1' x 6'	containers, plant 18" x 6"
HMSSG	78	Heavenly Bamboo	<i>Phyllospora diandra</i>	1833D	3'	1' x 6'	containers, plant 18" x 6"
<b>TOTAL:</b>	<b>156</b>						
<b>PERENNIALS:</b>							
HP	133	Heavenly Bamboo	<i>Phyllospora diandra</i>	D	18"	1' x 6'	containers, plant 18" x 6"
<b>TOTAL:</b>	<b>133</b>						

**HIGH PLAINS/FOOTHILLS GRASS MIX (Western Native Seed)**

Side Oak Grass	30%
Western Wheatgrass	20%
Stender Wheatgrass	10%
Indian Ricegrass	5%
Big Bluestem	5%
Blue Grama	5%
Bouteloua Spikes	5%
Green Needlegrass	5%
Switchgrass	5%
Little Bluestem	5%
Yellow Indiangrass	5%

**HIGH PLAINS/FOOTHILLS WET MEADOW MIX (Western Native Seed)**

Alkali Bulrush	15%
Canada Wildrice	15%
Swampgrass	15%
Prairie Cordgrass	19%
Nebraska Sedge	6%
Spikerush	6%
Hard Stem Bulrush	6%
Olney's Three-Square Bulrush	6%
Baldic Rush	4%
Woolly Sedge	2%

**LOT COVERAGE**

TOTAL AREA:	347,555
PERVIOUS AREA:	195,675
LANDSCAPE:	1,683
SOFT SURFACE TRAIL:	197,358
TOTAL PERVIOUS:	197,358
IMPERVIOUS AREA:	148,730
BUILDING:	91,917
ASPHALT:	7,080
CONCRETE:	2,470
TOTAL IMPERVIOUS:	150,197
TOTAL PERCENT IMPERVIOUS COVERAGE:	43%

**SCHEMATIC LANDSCAPE DIAGRAM**

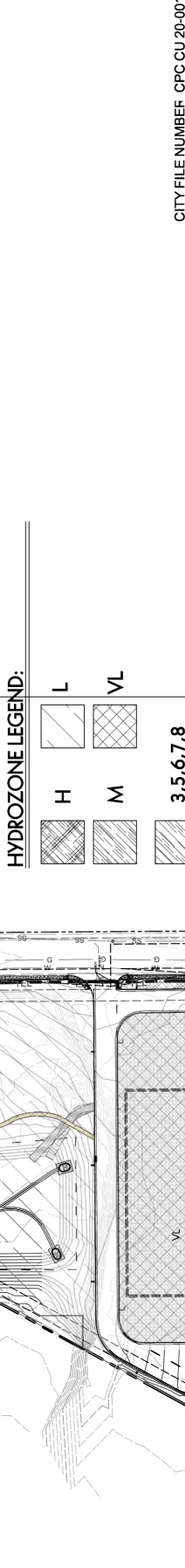
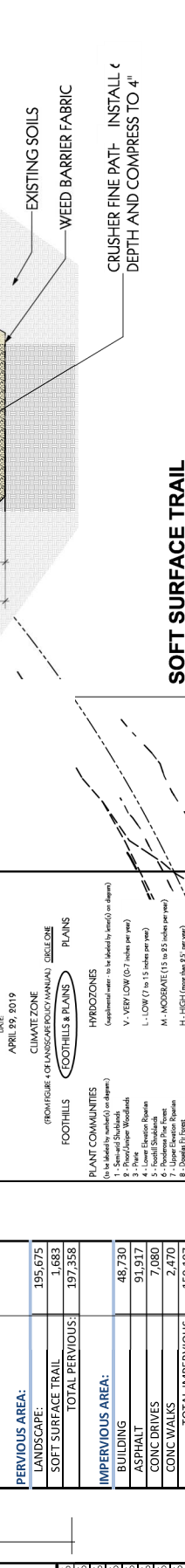
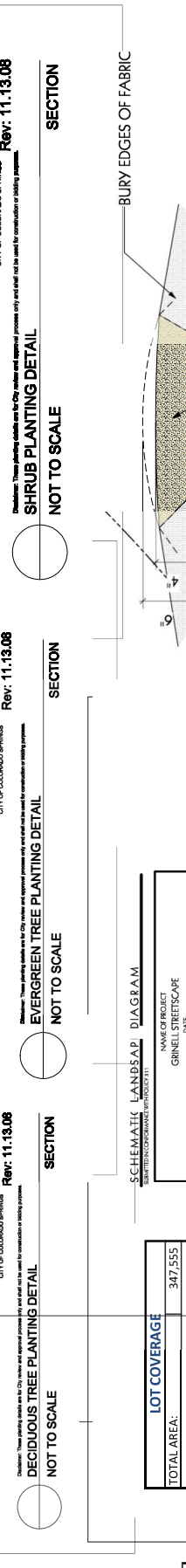
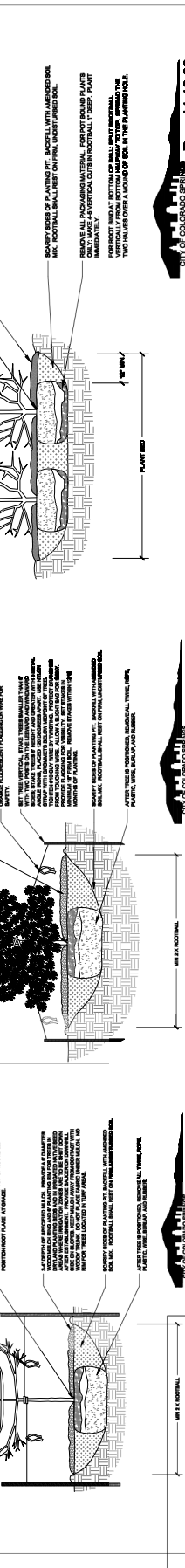
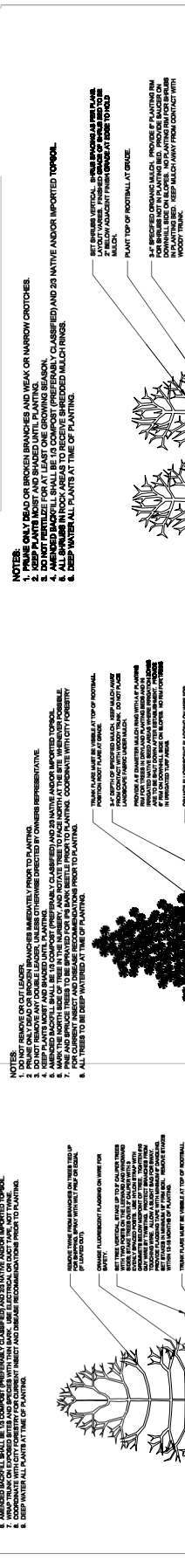
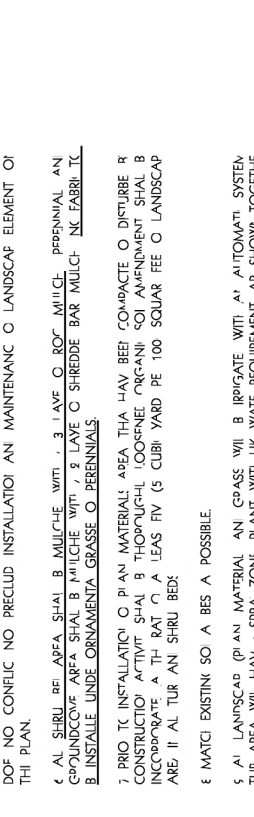
DATE: APRIL 29, 2019  
GENERAL LAYOUT: GLENDA GARDNER  
PLANS: PLAINS  
HYDROZONES: (FOOTHILLS & PLAINS)  
PLANT COMMUNITIES: (FOOTHILLS & PLAINS)  
HYDROZONES: (FOOTHILLS & PLAINS)  
PLANT COMMUNITIES: (FOOTHILLS & PLAINS)

**PLANT NOTES:**

- ALL PLANT MATERIAL SHALL BE SPECIFIC TO THE AMERICAN ASSOCIATION OF NURSERYMEN (AAO) OR NUMBER ON GRADE AT TREE SHED OR BULKY MATERIAL EQUIVALENT. ALL PLANT MATERIAL SHALL HAVE A WRITTEN PROOF OF THE CONTAINMENT MATERIAL EXCEPT FOR BURLA REMOVE FROM TRUNK AND ROOT BALL AT THE PLAN PROTECT PLANTING.
- TRFEE SHALL BE PLANTED WITHIN 14 DAYS OF THE DATE OF THE CONTRACT. IF THE TREE IS TO BE PLANTED AT A LOCATION OTHER THAN THAT SHOWN ON THE PLAN, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLORADO SPRINGS.
- ALL SHRUB SHALL BE PLANTED WITHIN 14 DAYS OF THE DATE OF THE CONTRACT.
- GRADE SHALL BE SET TO ALLOW FOR PROPER DRAINAGE AWAY FROM STRUCTURES. GRADE SHALL MAINTAIN SMOOTH PROFILE AND BE FREE OF SURFACE DRAINAGE BUMP AND DEPRESSIONS.
- DEVELOPER SHALL ENSURE THAT THE LANDSCAPE PLAN IS COORDINATED WITH THE PLAN FOR THE OTHER CONSULTANT SUCH THAT THE PROPOSED GRADING, STORM DRAINAGE, AND OTHER CONSTRUCTION DOES NOT CONFLICT OR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS ON THE PLAN.
- ALL SHRUBS SHALL BE PLANTED WITHIN 14 DAYS OF THE DATE OF THE CONTRACT. ALL PERENNIALS AND BIENNIALS SHALL BE PLANTED WITHIN 14 DAYS OF THE DATE OF THE CONTRACT.
- PERENNIALS SHALL BE PLANTED WITHIN 14 DAYS OF THE DATE OF THE CONTRACT.
- ALL PLANT MATERIAL SHALL BE PLANTED WITHIN 14 DAYS OF THE DATE OF THE CONTRACT.

**HYDROZONE LEGEND:**

L	VL
H	M
3, 5, 6, 7, 8	



CITY FILE NUMBER: CPC CU 20-00101

SHEET 009 OF 012

PRELIMINARY LANDSCAPE NOTES & DETAILS

DATE: 08/13/2020  
PLANNING SUBMITTAL  
REMARKS

PAPER: 0888  
DRAWN BY: SG  
JOB NO.: DEN20-0005-00

# LOT 2, TF SUBDIVISION FILING NO. 1

A PORTION OF THE N.E. 1/4th OF SECTION 24, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE SIXTH P.M., CITY OF COLORADO SPRINGS, EL PASO COUNTY, COLORADO

## STREAMSIDE REVIEW CRITERIA

1. HAS THE NATURAL LANDFORM BEEN MAINTAINED WITHIN THE OVERLAY AREA AND DOES GRADING CONFORM TO THE SPECIFIC GRADING LIMITATIONS OF THIS SECTION AS WELL AS ALL OTHER CITY GRADING AND FILING REGULATIONS?

*The project will maintain the natural landform of the streamside since the grading plan meets and terminates at slope of the outer buffer.*

2. DOES THE DEVELOPMENT INCORPORATE THE STREAM ECOSYSTEM INTO THE PROJECT DESIGN AND COMPLEMENT THE NATURAL STREAMSIDE SETTING? HAS THE PROJECT DESIGNING TO LINEARLY ADJACENT PROPERTIES WITH THE STREAM ECOSYSTEM TO PROVIDE RECREATION OPPORTUNITIES WITH THE RECREATIONAL AREAS OR OTHER SITE PLANNING AND LANDSCAPING TECHNIQUES WHICH INCLUDE THE STREAM CORRIDOR AS AN AMENITY?

*The project will provide a soft surface trail so employees can connect to the future proposed Sand Creek Trail.*

3. HAS THE PROJECT BEEN DESIGNED TO MINIMIZE IMPACT UPON WILDLIFE HABITAT AND THE RIPARIAN ECOSYSTEM WHICH EXISTS ON OR ADJACENT TO THE SITE? DOES THE PROJECT DESIGN PROTECT ESTABLISHED HABITAT OR ANY KNOWN POPULATIONS OF ANY THREATENED OR ENDANGERED SPECIES OR SPECIES OF SPECIAL CONCERN?

*The project contains 0% impervious surfaces within the overall buffer areas due to the proposed building footprint placed well outside of the outer buffer of Sand Creek. Visible vegetation will be preserved, and no regeneration other than native seedling is proposed. There are no impacts on endangered species.*

4. HAVE EXISTING OR POTENTIAL COMMUNITY TRAIL NETWORKS AND OTHER RECREATION OPPORTUNITIES BEEN IDENTIFIED AND INCORPORATED INTO THE PROJECT DESIGN?

*The project will incorporate a soft surface trail into the design. The proposed Sand Creek Trail has not been identified on this property, and is a planned future trail proposed by the City.*

5. HAS THE PROJECT BEEN DESIGNED TO PROTECT THE SUBJECT PROPERTY FROM POTENTIAL FLOOD DAMAGE AND TO ACCOMMODATE FLOOD STORAGE AND CONVEYANCE NEEDS?

*The proposed building is well outside of the floodplain for Sand Creek. The project provides a Private Full Spectrum Detention Pond.*

6. HAVE ALL SIGNIFICANT NATURAL FEATURES WITHIN THE PROJECT STREAMSIDE AREA BEEN IDENTIFIED AND HAS THE PROJECT BEEN DESIGNED TO MINIMIZE THE IMPACT ON THESE FEATURES?

*There does not appear to have any significant natural features within the streamside area other than the floodplain and there are no proposed impacts on the stream. This project has 0% impervious surfaces within the buffer and proposed to revegetate/seed the buffer of the streamside per City Standards and Streamside Design Guidelines.*

7. DOES THE PROJECT IDENTIFY AND IMPLEMENT THE RECOMMENDATIONS OF AN APPROVED SUBAREA PLANS (SUCH AS THE CITY GREENWAY MASTER PLAN, CITY OPEN SPACE PLAN OR A SPECIFIC DRAINAGE BASIN PLANNING STUDY) AND OF ANY APPROVED PUBLIC WORKS PROJECTS AND HABITAT CONSERVATION PLANS?

*The project is within the East Sand Creek Drainage Basin. We are not proposing to construct any improvements as part of this project other than the detention pond.*

8. DOES THE PROJECT DESIGN:

A. IMPLEMENT A RIPARIAN BUFFER OF SPECIFIED WIDTH BETWEEN THE DEVELOPMENTS OF THE SITE AND THE ADJACENT WATERWAY TO ASSIST IN PREVENTING POINT AND NONPOINT SOURCE POLLUTANTS AND SEDIMENT FROM ENTERING THE WATERWAY?

*The building is well outside of the buffers - the area will remain in its natural vegetation.*

B. EXCLUDE IMPERVIOUS SURFACES FROM THE INNER BUFFER ZONE AND MEET IMPERVIOUSNESS RESTRICTIONS ACROSS THE ENTIRE OVERLAY?

*There are no impervious surfaces in the inner or outer buffer zones.*

C. INCORPORATE ALL STORMWATER BMP'S REQUIRED BY CITY ENGINEERING THROUGHOUT THE DEVELOPMENT AND ADJACENT TO THE BUFFER TO ENCOURAGE ON SITE FILTRATION OF STORMWATER AND PROTECT WATER QUALITY?

*A full spectrum detention pond is to be constructed on the NW corner of the site meeting all BMP's required by City Engineering.*

D. INCORPORATE VISUAL BUFFER OPPORTUNITIES OF THE STREAM BETWEEN IDENTIFIED EXISTING AND/OR PROPOSED PROJECTS ON OPPOSING SIDE OF THE STREAM?

*There are existing properties across the creek to the north, all are well screened with the existing natural vegetation within the stream. We are proposing the required trees within our buffers.*

9. ARE INNER AND OUTER BUFFER ZONE LANDSCAPING STANDARDS MET? HAVE DISTURBED AREAS BEEN REVEGETATED TO MINIMIZE EROSION AND STABILIZE LANDSCAPE AREAS AND DOES THE PROJECT LANDSCAPING DESIGN SPECIFY PLANTS SELECTED FROM THE RIPARIAN PLANT COMMUNITIES AS SET FORTH IN APPENDIX A OF THE LANDSCAPE POLICY MANUAL? DOES THE PROPOSAL MEET ALL OTHER REQUIREMENTS OF THE CITY'S LANDSCAPE CODE?

*There is no disturbance in the inner and outer buffers except for the future soft surface trail and the private Full Spectrum Detention Pond which will be revegetated according to City standards. Inner and outer buffer zone standards are being met with trees selected from Appendix A. All other landscape code requirements are met.*

10. HAVE STREAM BANK AND SLOPE AREAS BEEN IDENTIFIED (PARTICULARLY THOSE OVER 15 PERCENT SLOPE)? HAS THE DISTURBANCE TO THESE AREAS AND ANY PROTECTIVE OR STABILIZING VEGETATIVE COVER BEEN MINIMIZED? DOES THE PLAN PROVIDE FOR THE SUITABLE REVEGETATION AND STABILIZATION OF ANY DISTURBED AREAS?

*The Development Plan does not disturb any slope areas over 15% and revegetation measures will be implemented as needed within the buffer areas.*

11. HAVE OPPORTUNITIES TO RECLAIM THE DRAINAGE WAY BEEN IDENTIFIED AND IMPLEMENTED WHERE PRACTICAL? FOR THIS CRITERION, RECLAMATION CONSTITUTES ANY ACTION THAT IMPROVES THE QUALITY OF THAT DRAINAGEWAY VISUALLY, FUNCTIONALLY OR RECREATIONALLY, AND BRINGS THAT DRAINAGEWAY INTO A MORE NATURAL CONDITION.



**WARE MALCOMB**  
Leading Design for Commercial Real Estate

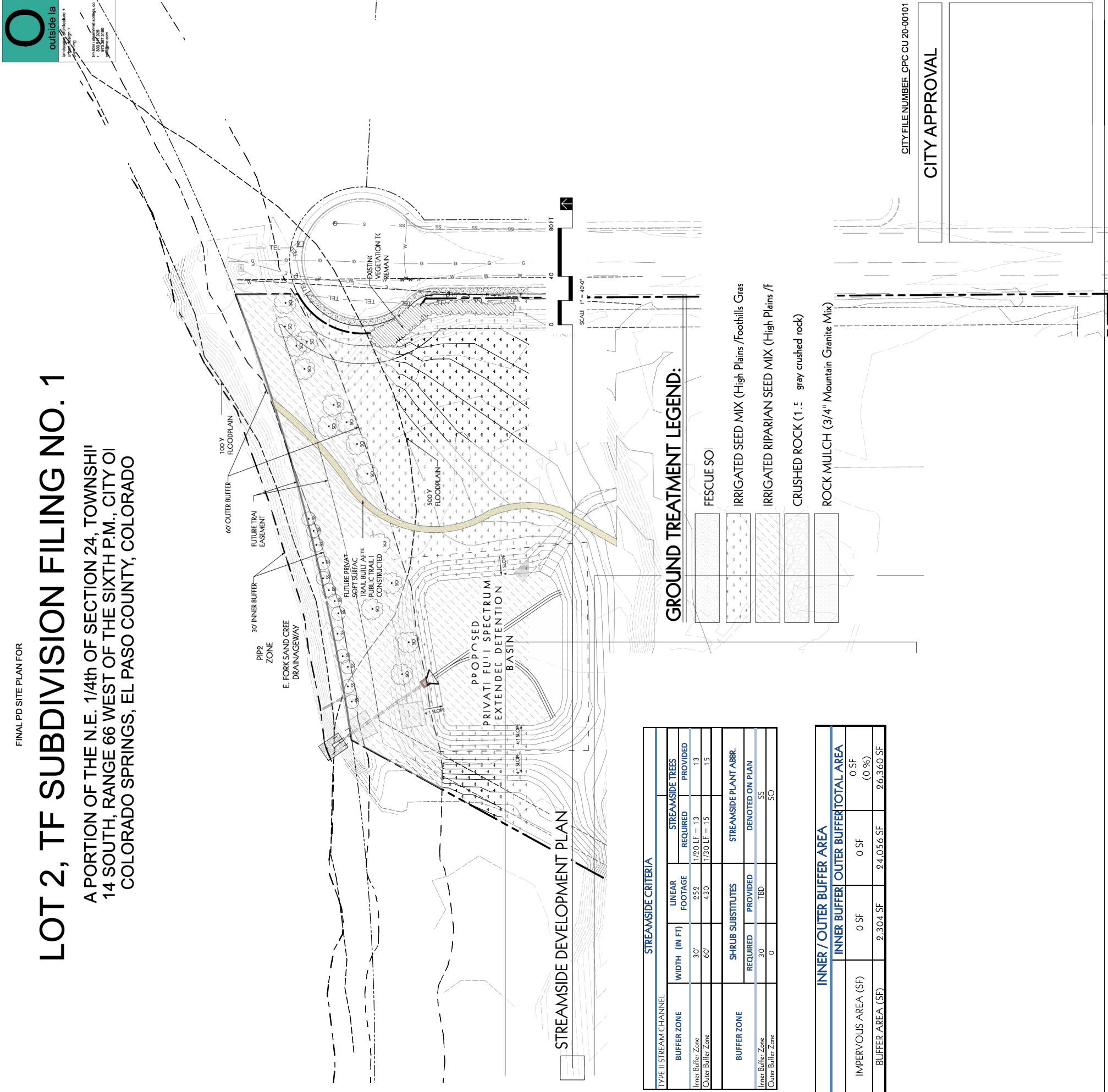
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**BIO365**  
875 VAPOR TRAIL ROAD  
COLORADO SPRINGS, CO

**STREAMSIDE DEVELOPMENT PLAN**  
REMARKS  
DATE 08/13/2020  
PLANNING SUBMITTAL  
08/13/2020  
PLANNING SUBMITTAL

PAPER: 0884  
DRAWN BY: RG  
JOB NO.: DEN20-0005-00

SHEET  
**010**  
OF 012



### GROUND TREATMENT LEGEND:

- FESCUE SOI
- IRRIGATED SEED MIX (High Plains /Foothills Grass)
- IRRIGATED RIPARIAN SEED MIX (High Plains /F)
- CRUSHED ROCK (1.5" gray crushed rock)
- ROCK MULCH (3/4" Mountain Granite Mix)

STREAMSIDE CRITERIA					
TYPE II STREAM CHANNEL	BUFFER ZONE	WIDTH (IN FT)	LINEAR FOOTAGE	STREAMSIDE TREES	
				REQUIRED	PROVIDED
Inner Buffer Zone	Outer Buffer Zone	30'	952	1/20 LF = 13	13
		60'	430	1/30 LF = 15	15
BUFFER ZONE	SH-RUB SUBSTITUTES	REQUIRED	PROVIDED	STREAMSIDE PLANT ABBR.	
		Inner Buffer Zone	0	TBD	SS
Outer Buffer Zone	0				

INNER / OUTER BUFFER AREA			
IMPERVIOUS AREA (SF)	INNER BUFFER	OUTER BUFFER	TOTAL AREA
0 SF	0 SF	0 SF	0 SF
0.00%	0.00%	0.00%	0.00%
24,056 SF	2,304 SF	24,056 SF	26,360 SF

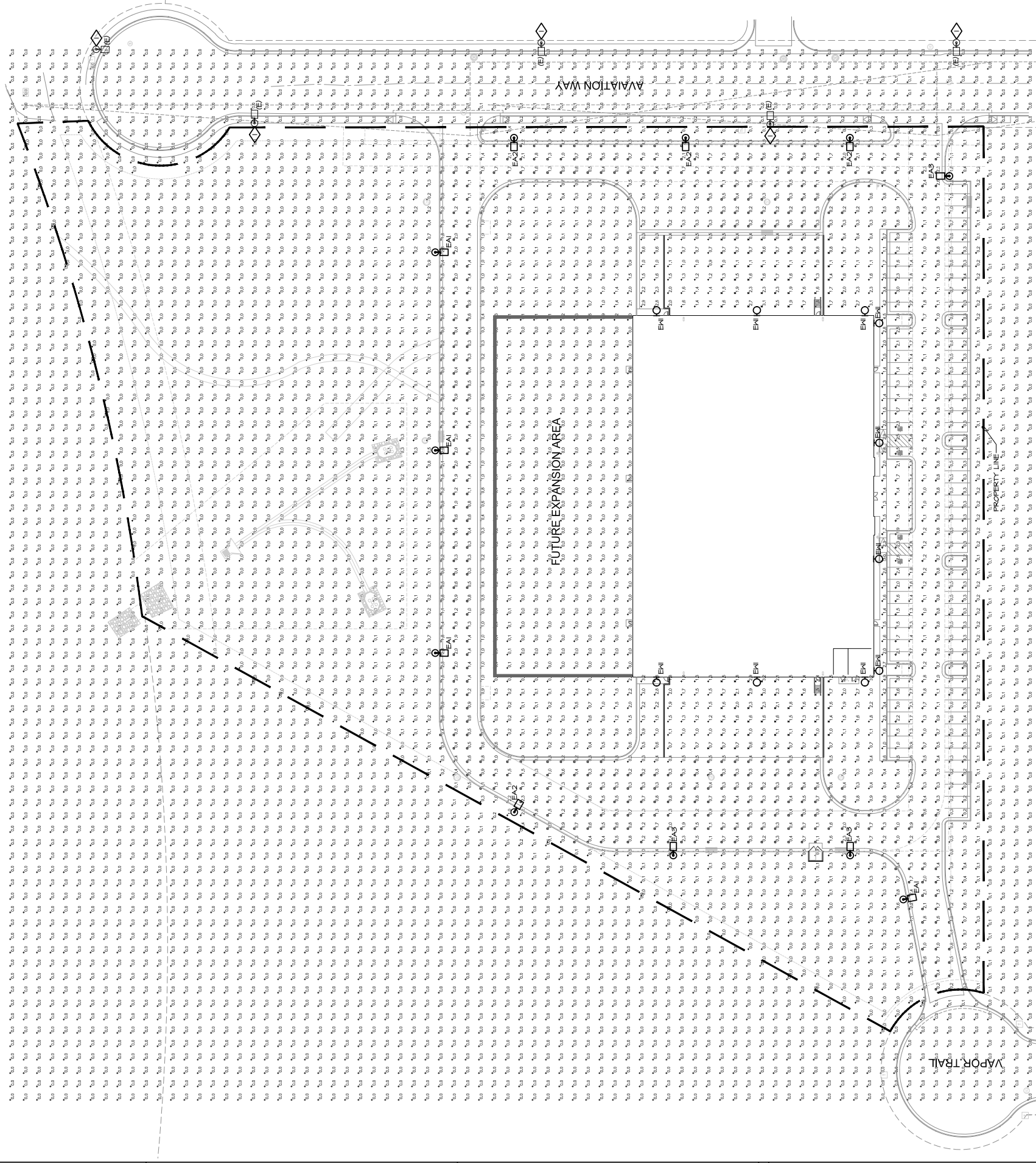
CITY FILE NUMBER: CPC CU 20-00101

**CITY APPROVAL**

FINAL PD SITE PLAN FOR

# LOT 2, TF SUBDIVISION FILING NO. 1

A PORTION OF THE N.E. 1/4th OF SECTION 24, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE SIXTH P.M., CITY OF COLORADO SPRINGS, EL PASO COUNTY, COLORADO



**GENERAL NOTES**

- ALL SITE LIGHTING RELATED TO WORK AND MATERIALS SHALL COMPLY WITH THE CITY, GOVERNING AUTHORITY REQUIREMENTS.
- LIGHT FIXTURES SHALL BE FULL CUTOFF.
- MAXIMUM LIGHT LEVELS ON SITE SHALL NOT EXCEED 10 FC EXCEPT FOR LOADING AND UNLOADING AREAS. LIGHT LEVELS SHALL NOT EXCEED 20 FC.
- LIGHT LEVELS MEASURED AT THE PROPERTY LINE OF THE DEVELOPMENT SITE SHALL NOT EXCEED 0.1 FC WHERE ADJACENT TO RESIDENTIAL PROPERTY.
- PARKING LOT LIGHT POLES SHALL NOT EXCEED A MAXIMUM HEIGHT OF GREATER THAN 20 FEET.
- ALL LIGHT POLES SHALL BE ANCHORED OR COATED TO MINIMIZE GLARE FROM THE LIGHT SOURCE.

**KEYNOTE LEGEND**

KEY VALUE	DESCRIPTION
◇	EXISTING COBRA-HEAD POLE LIGHT FIXTURE, NOT INCLUDED IN PHOTOMETRIC CALCULATION.

**LIGHTING FIXTURES**

○	LUMINAIRE TYPE, REFERENCING LUMINAIRE SCHEDULE, TYPICAL, ALL FIXTURES, SUBSCRIPT, IF SHOWN, REFERENCES MALL SIGNAGE.
○	MALL MOUNTED LUMINAIRE
○	DOWNLIGHT LUMINAIRE
□	SURFACE CEILING LUMINAIRE
◼	EMERGENCY LUMINAIRE - SHARED PROVIDE WITH INTEGRAL BATTERY BACKUP
◻	EXTERIOR AREA LIGHT

**ABBREVIATIONS AND SYMBOLS**

A	APPROXIMATE
AF	ABOVE FINISHED FLOOR
AFG	ABOVE FINISHED GRADE
AHJ	AUTHORITY HAVING JURISDICTION
C	CONDUIT
(E)	EXISTING TO REMAIN
EC	ELECTRICAL CONTRACTOR
(ER)	EXISTING TO BE RELOCATED
EM	EMERGENCY
GC	GENERAL CONTRACTOR
KH	KILOHARTS
LTS	LIGHTING
NL	NIGHT LIGHT - SEE GENERAL NOTES
OAE	OR APPROVED EQUAL
P	POLE
PH	PHASE
PHL	PANEL
(R)	REMOVED EXISTING TO BE REMOVED
(RL)	RELOCATED LOCATION
US	UNDERGROUND
UN	UNLESS OTHERWISE NOTED
V	VOLTS
K	KVA(TS) OR KVAH
XFMR	TRANSFORMER
◇	DETAIL NOTE
△	DELTA REVISION NOTE

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**PHOTOMETRIC SITE PLAN**

REMARKS	
PLANNING SUBMITTAL	08/14/2020
DATE	06/08/2020

PAPIR:	EDR
DRAWN BY:	ENM
JOB NO.:	DEN20-0005-00

SHEET  
**011**  
OF 012

CITY FILE NUMBER: CPC CU 20-00101

**CITY APPROVAL**

**1 | PHOTOMETRIC SITE PLAN**  
010 | SCALE: 1" = 40'-0"



NORTH

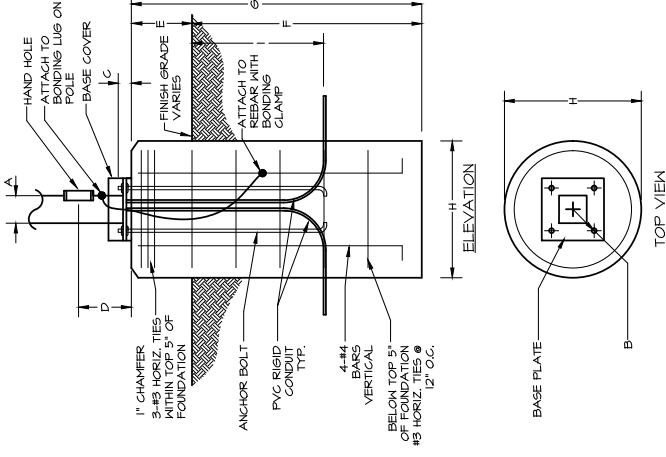
LOT 2, TF SUBDIVISION FILING NO. 1

A PORTION OF THE N.E. 1/4th OF SECTION 24, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE SIXTH P.M., CITY OF COLORADO SPRINGS, EL PASO COUNTY, COLORADO

Statistics table with columns: Description, Symbol, Avg, Min, Max, Max/Min, Avg/Min

LIGHTING FIXTURE SCHEDULE table with columns: TYPE, DESCRIPTION, MANUFACTURER, CATALOG NUMBER, VOLTAGE, QTY, MOUNT, LAMP, CUT/CR, MATS, OUTPUT, FINISH, LOCATION, ELEVATION, NOTES

GENERAL NOTES: A. ALL FLUORESCENT AND LED LAMPS TO BE 3500K COLOR TEMPERATURE AND A MINIMUM OF 80CRI, UNLESS NOTED OTHERWISE.



POLE BASE DETAIL table with columns: POLE OVERALL KEY HEIGHT, ANCHOR BOLT DATA, PER MANUFACTURER



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PHOTOMETRIC DETAILS table with columns: DATE, PLANNING SUBMITTAL, REMARKS

PAPRIE, EDR, DRAWN BY, ENMI, JOB NO., DEN20-0005-00

012 OF 012 SHEET