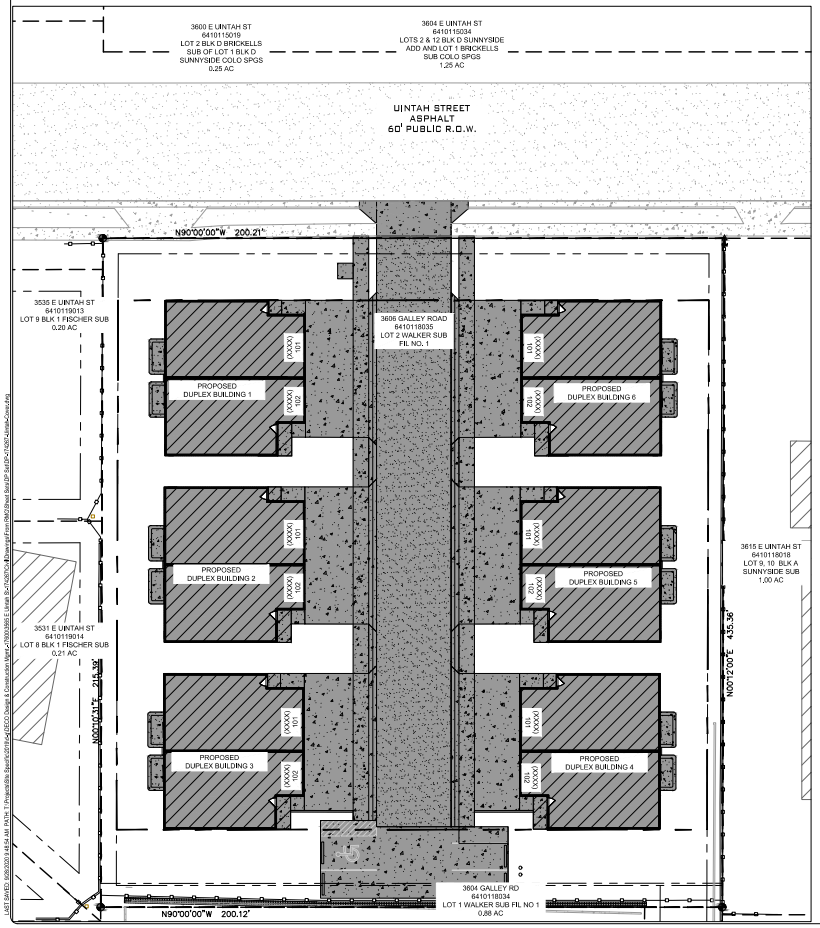
VILLAGE ON UINTAH SUBDIVISION FILING NO. 1

MULTIFAMILY DUPLEX DEVELOPMENT PLAN

3606 GALLEY ROAD
COLORADO SPRINGS, CO

FEMA FLOODPLAIN STATEMENT:
FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP 08041C0732G, EFFECTIVE DATE DECEMBER 7, 2018, INDICATES THE AREA IN THE VICINITY OF THIS PARCEL OF LAND TO NOT BE WITHIN A FLOOD ZONE (AREAS TO BE DETERMINED OUTSIDE 500 YEAR FLOODPLAIN.)



PROJECT CONTACTS:

CLIENTS:

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MSDESIGN@HOTMAIL.COM

RMG-ENGINEERS

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719-434-5638

GEOTECHINICAL ENGINEER CONTACT:
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719-203-3339

LANDSCAPE ARCHITECT:

ASLA
KRISTIN HEGGEM, KHLA
KWHEGGEM@ICLOUD.COM
719-339-9393

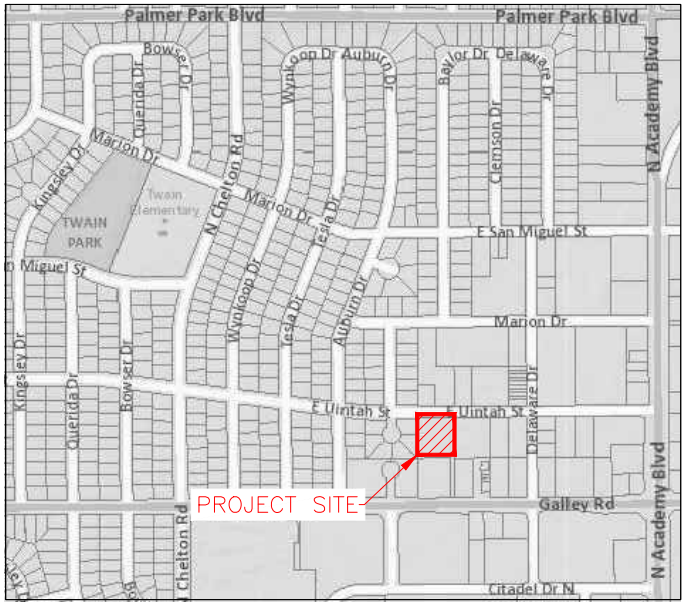
SURVEYOR:

LWA LAND SURVEYING, INC.
KEVIN O'LEARY, P.L.S.
719-636-5179

NORTH

VICINITY MAP

SCALE: N.T.S.



DEVELOPMENT DETAILS:
EXISTING LAND USE: VACANT (OFFICE RESIDENTIAL)
PROPOSED LAND USE: RESIDENTIAL (MULTI-FAMILY ATTACHED HOMES)

PROPERTY DESCRIPTION:
LOTS 1 AND 2, WALKER SUBDIVISION FILING NO. 1, IN THE CITY OF COLORADO SPRINGS, EL PASO COUNTY, COLORADO, ACCORDING TO THE SUBDIVISION PLAT THEREOF RECORDED UNDER RECEPTION NO. 208712844 OF THE EL PASO COUNTY RECORDS TO BE PLATTED AS "VILLAGE ON UINTAH SUBDIVISION FILING NO. 1"

THE DESCRIBED TRACT CONTAINS 87,129 SQUARE FEET, BEING 2.00 ACRES, MORE OR LESS.

EXISTING ZONING:OR (R5 STANDARDS)
SITE AREA: 43,113 SF (0.99 AC.)
PROPOSED BUILDING HEIGHT: VARIES, MAX HEIGHT = 20.5 FEET
PROPOSED BUILDING FOOTPRINT: 2,124 SQUARE FEET
PERCENT LOT COVERAGE BY BUILDING: 29.55%
PERCENT LOT COVERAGE BY IMPERVIOUS SURFACES (LESS BUILDING): 0.33 ACRE / 0.99 LOT ACREAGE = 33.36%
APPROXIMATE SCHEDULE OF DEVELOPMENT: SEPTEMBER 2020 – NOVEMBER 2020

SITE NOTES:
1. THE DEVELOPER SHALL INSTALL ALL ON-SITE TRAFFIC CONTROL MEASURES SHOWN ON THE DEVELOPMENT PLAN TO MEET MUTCD STANDARDS.
2. PER CITY CODE SECTION 7.4.102.D, ALL LIGHTING FIXTURES SHALL HAVE FULL CUT-OFF OR HAVE SHIELDING TO REDUCE OFF-SITE LIGHTING IMPACTS ONTO ADJACENT PROPERTIES AND ROADWAYS. ALL EXTERIOR LIGHTING SHALL BE ARRANGED TO MITIGATE LIGHT DIRECTED AWAY FROM ADJACENT PROPERTIES AND ANY PUBLIC RIGHT-OF-WAY. AN AMENDMENT TO THIS PLAN MAY BE REQUIRED IF THE LIGHTING TYPE IS CHANGED.
3. SEE ARCHITECTURAL PLANS FOR ADDITIONAL SITE DETAILS AND BUILDING DIMENSIONS.
4. ALL EXISTING CURB, GUTTER, SIDEWALK, PEDESTRIAN RAMPS OR CROSSPANS POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATION OR NOT MEETING CURRENT CITY ENGINEERING STANDARDS ALONG UINTAH STREET ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED PRIOR TO ISSUING THE CERTIFICATE OF OCCUPANCY (C.O.). AN ON-SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW INSPECTOR TO DETERMINE WHAT, IF ANY, IMPROVEMENTS ARE REQUIRED. THE INSPECTOR CAN BE REACHED AT 719-385-5977.
5. THE LAND SURVEY PLAT/PROPERTY BOUNDARY DEPICTED REPRESENTS THE REPLAT MAP DEVELOPED BY LWA LAND SURVEYING, INC. DATED APRIL 9, 2020, ENTITLED "VILLAGE ON UINTAH SUBDIVISION FILING NO. 1, A REPLAT OF LOTS 1 AND 2, WALKER SUBDIVISION FILING NO. 1, A PORTION OF THE NORTHEAST QUARTER OF SECTION 10, T14S, R66W, 6TH P.M. IN THE CITY OF COLORADO SPRINGS, EL PASO COUNTY, COLORADO.
6. LANDSCAPE IMPROVEMENTS AND MAINTENANCE OF ALL LANDSCAPE AREAS, FENCES AND WALL SHALL BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION OR CURRENT OWNER.
7. THE DRIVE ACCESS WILL BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION OR CURRENT OWNER.
8. NO INDIVIDUAL DIRECT VEHICULAR ACCESS WILL BE ALLOWED TO/FROM LOT 2 VIA UINTAH STREET, EXCEPT VIA THE DRIVE ACCESS LOCATED OFF GALLEY ROAD.
9. NO PARKING ON THE ACCESS DRIVE IS PERMITTED.

SIGN INSTALLATION NOTES:
1. SIGNS SHALL BE LOCATED AND INSTALLED PER CITY OF COLORADO SPRINGS ENGINEERING STANDARDS AND REFERENCES.
2. BOTTOM OF ALL SIGNS SHALL BE INSTALLED AT LEAST 7' ABOVE THE ADJACENT FINISHED GRADE OR TOP BACK OF CURB, AS APPLICABLE.
3. ALL "STOP SIGNS" WILL BE INSTALLED BY THE DEVELOPER AT THE LOCATIONS SHOWN ON THE DEVELOPMENT PLAN TO MEET MUTCD STANDARDS. CONTACT TRAFFIC ENGINEERING, SIGNS & MARKINGS AT 719-385-6720 FOR ASSITANCE.
4. SIGNAGE IS NOT APPROVED PER THIS PLAN. A SEPARATE SIGN PERMIT IS REQUIRED. CONTACT THE DEVELOPMENT REVIEW ENTERPRISE AT 719-385-5982 TO BEGIN A SIGN PERMIT APPLICATION.

SHEET LIST TABLE

Sheet Number	Sheet Title
C-01	COVER SHEET
C-02	SITE LAYOUT
C-03	UITLITIES PLAN
C-04	GRADING & DRAINAGE PLAN
C-05	CONSTRUCTION DETAILS-1
C-06	CONSTRUCTION DETAILS-2
S-01	STRUCTURAL WALL PLAN
L-01	LANDSCAPE PLAN
E-01	PHOTOMETRIC PLAN
A-01	ARCHITECTURAL SECTION 1
A-02	ARCHITECTURAL SECTION 2

PARKING CALCULATION
BUILDING USE TYPE: ATTACHED DWELLING UNIT
BEDROOMS PER UNIT: 3
BEDROOMS PER BUILDING: 6
PARKING SPACES REQUIRED: 2 SPACES PER DWELLING UNIT
TOTAL PARKING SPACES REQUIRED: 24

PARKING PER BUILDING: 3
ADA PARKING: 1 – 11' x 9' STALL (VAN ACCESSIBLE)
REAR PARKING LOT: 3
TOTAL AVAILABLE PARKING ON LOT: 22
ADDITIONAL STREET PARKING IS AVAILABLE VIA UNITAH STREET.
NOTE: NO PARKING IS PERMITTED WITHIN ACCESS DRIVE.

CONDITIONAL USE
DEVELOPMENT PLAN

ROCKY MOUNTAIN GROUP
Geotechnical Materials Testing Oil & Mining
Architectural Structural Forensic
RMG ENGINEERING
CIVIL ENGINEERING
19375 BEACON LITE RD., MONUMENT, CO. 80132
719-481-4925 Colorado Springs, Pueblo, Monument
Southern Colorado Counties: Alamosa, Huerfano, Las Animas

VILLAGE ON UINTAH SUBDIVISION FILING NO. 1
3606 GALLEY ROAD
COLORADO SPRINGS, CO
DECO DESIGN & CONSTRUCTION MGMT

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SHEET NAME: COVER
PROJECT DRAWING: DEVELOPMENT PLAN

ENG:	RDL
DRAWN:	AMC
CHECKED:	RDL
DATE	09/28/2020

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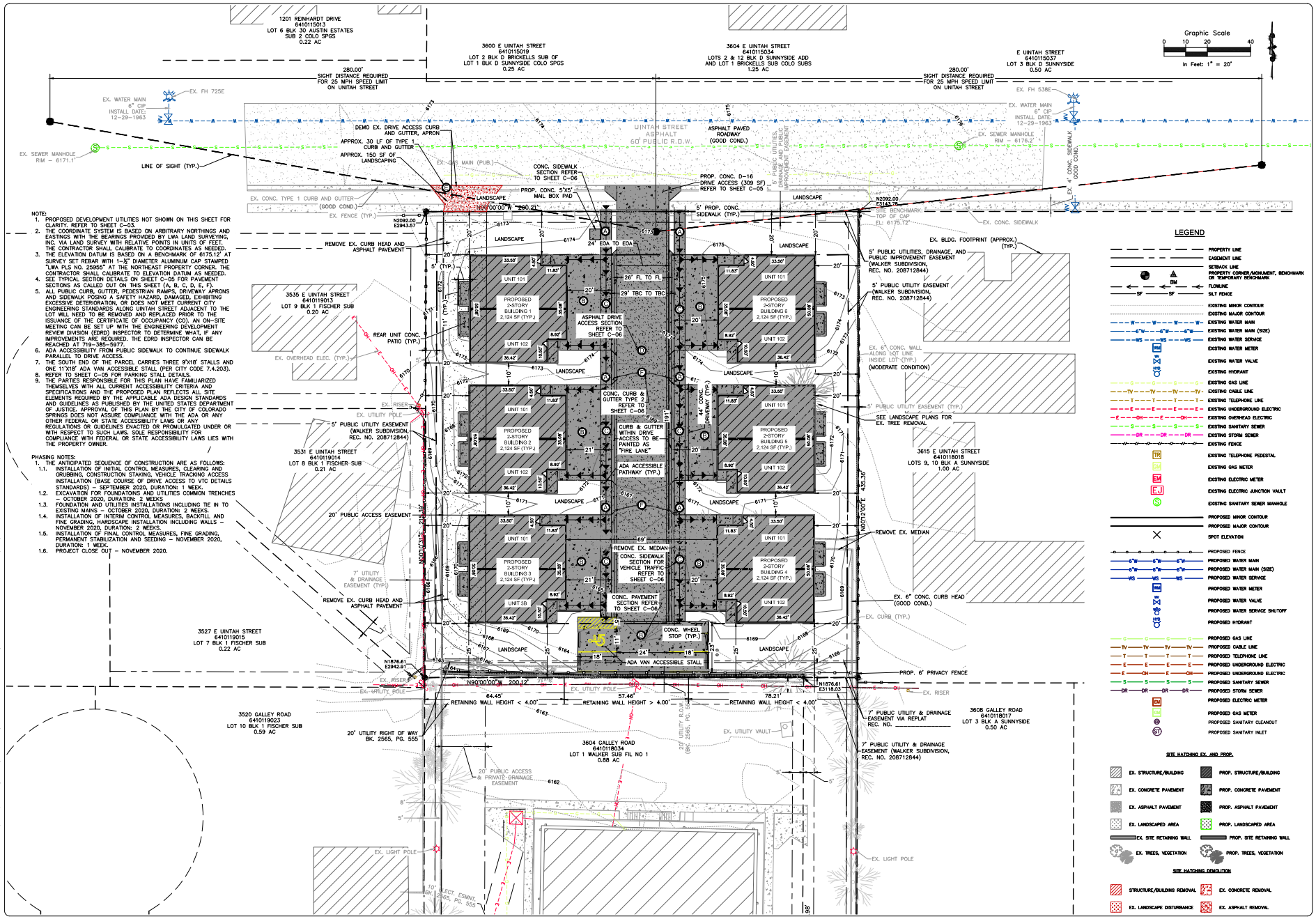
JOB NO. 174267

SHEET NO. C-01

SHEET 01 OF 11

CPC CU 20-00073



NOTE:

1. PROPOSED DEVELOPMENT UTILITIES NOT SHOWN ON THIS SHEET FOR CLARITY. REFER TO SHEET C-03.
2. THE COORDINATE SYSTEM IS BASED ON ARBITRARY NORTHINGS AND EASTINGS WITH THE BEARINGS PROVIDED BY LWA LAND SURVEYING, INC. VIA LAND SURVEY WITH RELATIVE POINTS IN UNITS OF FEET. THE CONTRACTOR SHALL CALIBRATE TO COORDINATES AS NEEDED.
3. THE ELEVATION DATUM IS BASED ON A BENCHMARK OF 6175.12' AT SURVEY SET REBAR WITH 1-3/8" DIAMETER ALUMINUM CAP STAMPED "LWA PLS NO. 25955" AT THE NORTHEAST PROPERTY CORNER. THE CONTRACTOR SHALL CALIBRATE TO ELEVATION DATUM AS NEEDED.
4. SEE TYPICAL SECTION DETAILS ON SHEET C-05 FOR PAVEMENT SECTIONS AS CALLED OUT ON THIS SHEET (A, B, C, D, E, F).
5. ALL PUBLIC CURB, GUTTER, PEDESTRIAN RAMPS, DRIVEWAY APRONS AND SIDEWALK POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATION, OR DOES NOT MEET CURRENT CITY ENGINEERING STANDARDS ALONG UINTAH STREET ADJACENT TO THE LOT WILL NEED TO BE REMOVED AND REPLACED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY (CO). AN ON-SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW DIVISION (EDRD) INSPECTOR TO DETERMINE WHAT, IF ANY IMPROVEMENTS ARE REQUIRED. THE EDRD INSPECTOR CAN BE REACHED AT 719-385-5977.
6. ADA ACCESSIBILITY FROM PUBLIC SIDEWALK TO CONTINUE SIDEWALK PARALLEL TO DRIVE ACCESS.
7. THE SOUTH END OF THE PARCEL CARRIES THREE 9'X18' STALLS AND ONE 11'X18' ADA VAN ACCESSIBLE STALL (PER CITY CODE 7.4.203).
8. REFER TO SHEET C-05 FOR PARKING STALL DETAILS.
9. THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL OR STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.

PHASING NOTES:

1. THE ANTICIPATED SEQUENCE OF CONSTRUCTION ARE AS FOLLOWS:
   - 1.1. INSTALLATION OF INITIAL CONTROL MEASURES, CLEARING AND GRUBBING, CONSTRUCTION STAKING, VEHICLE TRACKING ACCESS INSTALLATION (BASE COURSE OF DRIVE ACCESS TO VTC DETAILS STANDARDS) – SEPTEMBER 2020, DURATION: 1 WEEK.
   - 1.2. EXCAVATION FOR FOUNDATONS AND UTILITIES COMMON TRENCHES – OCTOBER 2020, DURATION: 2 WEEKS
   - 1.3. FOUNDATION AND UTILITIES INSTALLATIONS INCLUDING TIE IN TO EXISTING MAINS – OCTOBER 2020, DURATION: 2 WEEKS.
   - 1.4. INSTALLATION OF INTERIM CONTROL MEASURES, BACKFILL AND FINE GRADING, HARDSCAPE INSTALLATION INCLUDING WALLS – NOVEMBER 2020, DURATION: 2 WEEKS.
   - 1.5. INSTALLATION OF FINAL CONTROL MEASURES, FINE GRADING, PERMANENT STABILIZATION AND SEEDING – NOVEMBER 2020, DURATION: 1 WEEK.
   - 1.6. PROJECT CLOSE OUT – NOVEMBER 2020.

CONDITIONAL USE
DEVELOPMENT PLAN

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ROCKY MOUNTAIN GROUP

Geotechnical
Materials Testing
Oil & Mining

Architectural
Structural
Forensic

RMG ENGINEERING
ENGINEERING CONSULTANTS
19375 BEACON HILL RD., MONUMENT, CO 80132
719-481-2022 Colorado Springs, Pueblo, Monument
970-241-2022 Grand Junction, Rifle, Montrose, Durango
Southern Nevada Office: 702-240-0100 Las Vegas, Henderson

VILLAGE ON UINTAH SUBDIVISION FILING NO. 1
3606 GALLEY ROAD
COLORADO SPRINGS, CO

DECO DESIGN & CONSTRUCTION MGMT

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SHEET NAME: SITE LAYOUT

PROJECT STATUS: DEVELOPMENT PLAN

ENG:	RDL
DRAWN:	AMC
CHECKED:	RDL
DATE	09/28/2020

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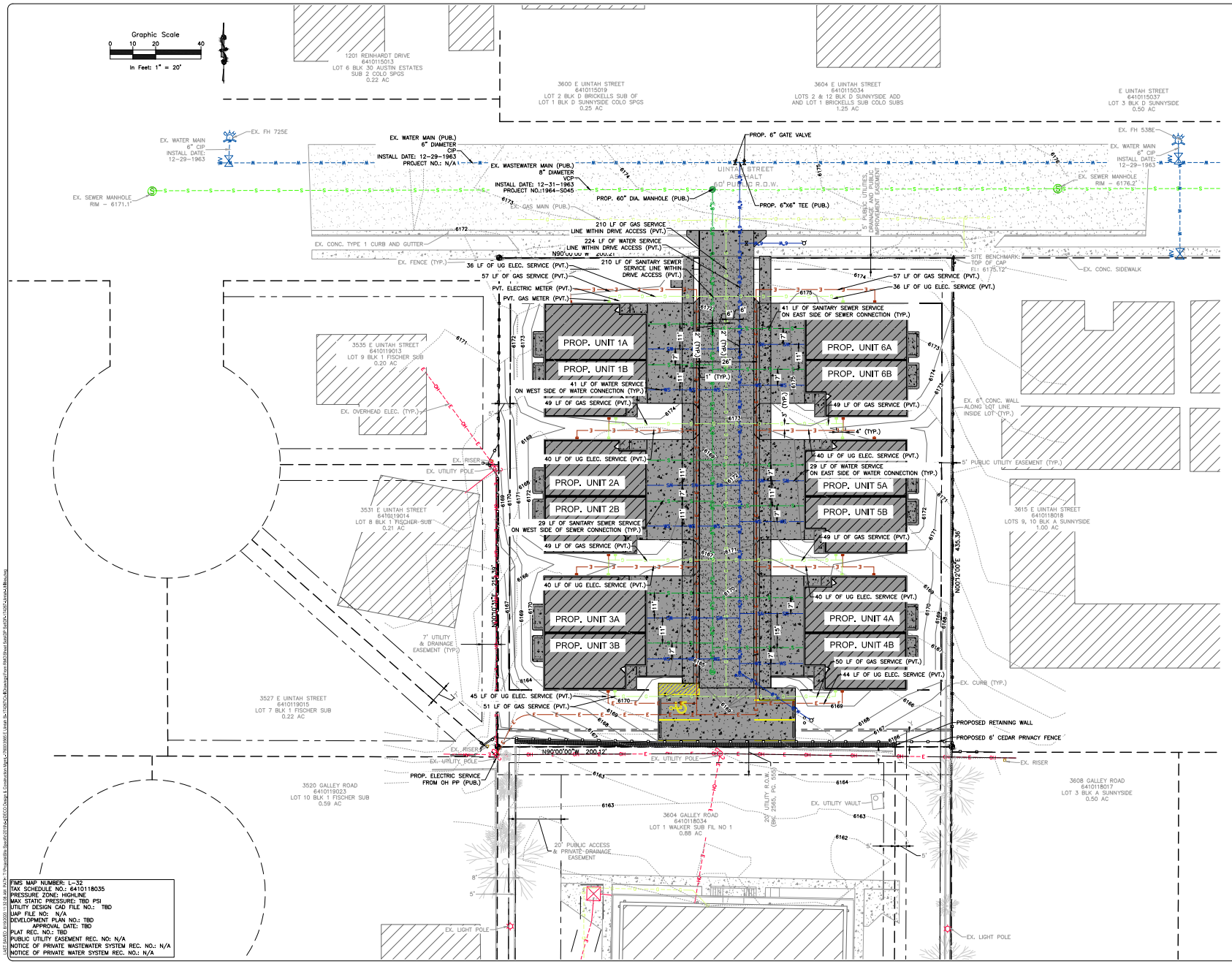
JOB NO. 174267

SHEET NO. C-02

SHEET 02 OF 11

CPC CU 20-00073



FIMS MAP NUMBER: L-32
TAX SCHEDULE NO.: 6410118035
PRESSURE ZONE: HIGHLINE
MAX STATIC PRESSURE: TBD PSI
UTILITY DESIGN CAD FILE NO.: TBD
UAP FILE NO: N/A
DEVELOPMENT PLAN NO.: TBD
APPROVAL DATE: TBD
PLAT REC. NO.: TBD
PUBLIC UTILITY EASEMENT REC. NO: N/A
NOTICE OF PRIVATE WASTEWATER SYSTEM REC. NO.: N/A
NOTICE OF PRIVATE WATER SYSTEM REC. NO.: N/A

NOTE:

1. THE COORDINATE SYSTEM IS BASED ON ARBITRARY NOTHINGS AND EASTINGS WITH RELATIVE POINTS IN UNITS OF FEET. THE CONTRACTOR SHALL CALIBRATE TO COORDINATES AS NEEDED.
2. 2. THE ELEVATION DATUM IS BASED ON A BENCHMARK OF 6175.12' AT SURVEY SET REBAR WITH 1-¼" DIAMETER ALUMINUM CAP STAMPED "LWA PLS NO. 25955" AT THE NORTHEAST PROPERTY CORNER. THE CONTRACTOR SHALL CALIBRATE TO ELEVATION DATUM AS NEEDED.
3. UTILITY PLAN IS BASED ON DETAIL C1-13 TOWNHOUSE PUD UTILITIES PLAN VIEW FROM THE "WASTEWATER LINE EXTENSION AND SERVICE STANDARDS".
4. EXISTING UTILITIES DISPLAYED ARE BASED ON COLORADO SPRINGS UTILITIES GIS MAPPING SERVICES AND ARE APPROXIMATE. CONTRACTOR SHALL VERIFY LOCATIONS AND DEPTHS OF UTILITIES TO ENSURE INSTALLATION OF PROPOSED UTILITY SERVICES ARE IN CONFORMANCE WITH COLORADO SPRINGS UTILITIES AND CITY OF COLORADO SPRINGS ENGINEERING AND PUBLIC WORKS STANDARDS, RULES, AND REGULATIONS.

UTILITY SERVICE PLAN NOTES

THE CONTRACTOR SHALL NOTIFY COLORADO SPRINGS UTILITIES' INSPECTIONS OFFICE 719-668-4658 A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

GENERAL:

1. ALL CONSTRUCTION METHODS AND MATERIALS SHALL MEET *COLORADO SPRINGS UTILITIES' WASTEWATER AND WATER LINE EXTENSION AND SERVICE STANDARDS (WATER/WASTEWATER LESS).*
2. COLORADO SPRINGS UTILITIES DOES NOT GUARANTEE THE ACCURACY OF LOCATIONS OF EXISTING PIPELINES, MANHOLES, HYDRANTS, VALVES AND SERVICE LINES. IF FIELD CONDITIONS ARE FOUND TO BE DIFFERENT THAN SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE INSPECTOR AND THE DESIGN ENGINEER IMMEDIATELY.
3. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO ANY UTILITY FACILITIES AS A RESULT OF HIS ACTIONS. THE CONTRACTOR SHALL MAKE ALL THE REQUIRED REPAIRS IMMEDIATELY TO THE SATISFACTION OF COLORADO SPRINGS UTILITIES.
4. ALL FIELD STAKING SHALL COMPLY WITH THE *WATER/WASTEWATER LESS.*
5. CORROSION PROTECTION MEASURES SHALL COMPLY WITH THE *WATER/WASTEWATER LESS.*
6. FINAL LOCATION OF ALL WASTEWATER AND WATER SERVICES SHALL BE APPROVED IN THE FIELD BY THE COLORADO SPRINGS UTILITIES INSPECTOR.
7. ALL TRENCH BACKFILL AND COMPACTION SHALL BE IN ACCORDANCE WITH SECTION 206 OF THE *CITY OF COLORADO SPRINGS STANDARD SPECIFICATIONS MANUAL AND SECTION 5.18 OF THE WATER LESS.*

WASTEWATER:

1. SERVICE STUBS SHALL BE INSTALLED A MINIMUM OF SEVEN FEET (7') INTO THE PROPERTY, UNLESS OTHERWISE SHOWN, AND THE END OF THE STUB SHALL BE MARKED WITH A 2"X4"X12' STEEL OR WOODEN POST.
2. SERVICES SHALL BE CONNECTED A MINIMUM OF FIVE FEET (5') FROM THE OUTSIDE EDGE OF ANY MANHOLE ON THE MAIN LINE AND SHALL MAINTAIN TWO FEET (2') OF SEPARATION BETWEEN TAPS CENTER TO CENTER.
3. ALL CLEANOUTS SHALL BE THE SAME SIZE AS THE SERVICE LINE.

WATER:

1. SERVICE STUBS SHALL BE INSTALLED WITH THE CURB STOP AT OR NEAR PROPERTY LINE AND SHALL NOT BE INSTALLED WITHIN DRIVEWAYS OR SIDEWALKS (SEE DETAIL DRAWING W2-3).
2. SERVICE TAPS SHALL BE MADE A MINIMUM OF THREE FEET (3') FROM THE BELL OR APPURTENANCE ON THE WATER MAIN. TAPS SHALL BE A MINIMUM OF THREE FEET (3') APART ON THE SAME SIDE OF THE WATER MAIN AND A MINIMUM OF ONE-AND-A-HALF FEET (1.5') WHEN TAPS ARE MADE ON OPPOSITE SIDES OF THE WATER MAIN.
3. ALL SERVICES FOR COMMERCIAL USE AND SOME RESIDENTIAL USES REQUIRE INSTALLATION OF A BACKFLOW PREVENTION ASSEMBLY IMMEDIATELY AFTER THE METER. THE BACKFLOW PREVENTION ASSEMBLY SHALL BE APPROVED BY THE FOUNDATION FOR CROSS-CONNECTION CONTROL AND HYDRAULIC RESEARCH OF THE UNIVERSITY OF SOUTHERN CALIFORNIA (USC-FCCCHR) AND INSTALLED IN ACCORDANCE WITH THIS LISTING. PLEASE REFERENCE THE WATER LINE EXTENSION STANDARDS FOR ADDITIONAL REQUIREMENTS.
4. ALL TAPS ON COLORADO SPRINGS UTILITIES WATER MAINS SHALL BE PERFORMED BY COLORADO SPRINGS UTILITIES. ALL OTHER TAPS SHALL BE PERFORMED BY THE CONTRACTOR.
5. ANY ABANDONED SERVICES MUST BE PHYSICALLY DISCONNECTED AT THE MAIN. ANY NECESSARY REPAIRS TO THE MAIN AND/OR SHUT DOWN OF THE TAPPING VALVE SHALL BE AS DIRECTED BY COLORADO SPRINGS UTILITIES.
6. ALL WATER SERVICE LINES SHOULD ENTER THE BUILDING WITHIN 3 FEET OF AN EXTERIOR WALL. EXPOSED WATER PLUMBING SHALL BE MINIMIZED INSIDE THE BUILDING PRIOR TO THE WATER METER AND/OR APPROVED BACKFLOW PREVENTION ASSEMBLY OR METHOD.
7. ALL HDPE WATER SERVICE LINES MUST EXTEND A MINIMUM OF 6 INCHES ABOVE THE FLOOR AND BE 90 DEGREES FROM THE FLOOR PLAN TO ALLOW FOR BRACING AND TRANSITION TO THE METER LOOP ASSEMBLY.

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719-481-4926 Denver, Aurora, Northeast Colorado

VILLAGE ON UINTAH SUBDIVISION FILING NO. 1
3606 GALLEY ROAD
COLORADO SPRINGS, CO

DECO DESIGN & CONSTRUCTION MGMT

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SHEET NAME: UTILITIES PLAN
PROJECT STATUS: DEVELOPMENT PLAN

ENG:	RDL
DRAWN:	AMC
CHECKED:	RDL
DATE	09/28/2020

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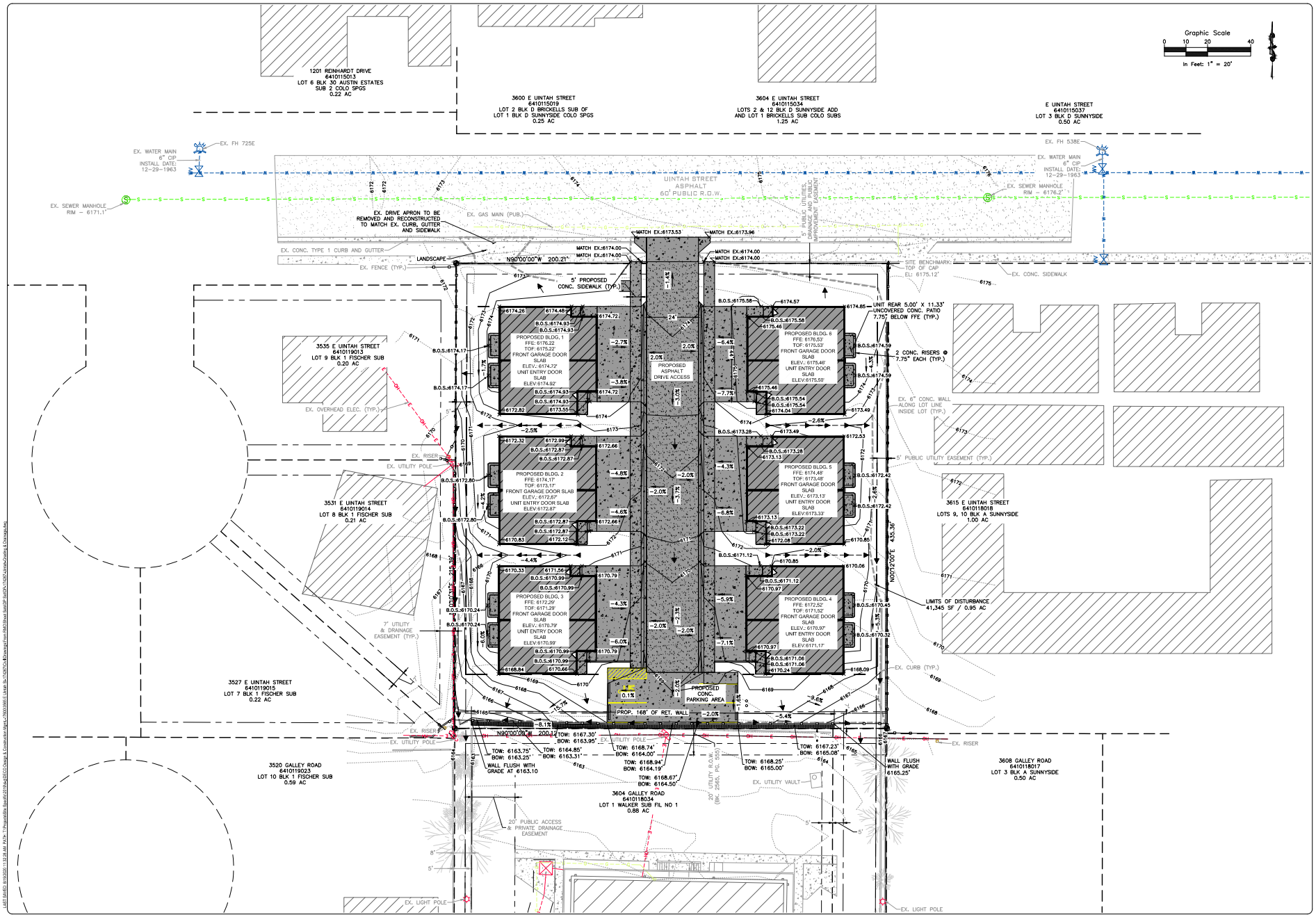
JOB NO. 174267

SHEET NO. C-03

SHEET 03 OF 11

CPC CU 20-00073

CONDITIONAL USE
DEVELOPMENT PLAN



CONDITIONAL USE
DEVELOPMENT PLAN

ROCKY MOUNTAIN GROUP

Geotechnical
Materials Testing
Civil & Mining

Architectural
Structural
Forensic

RMG
ENGINEERING
GEOTECHNICAL
19375 BEACH LATE RD., MONUMENT, CO 80132
Phone: 719-488-2115 Fax: 719-488-2116
Southern Colorado Owned and Managed Business

VILLAGE ON UINTAH SUBDIVISION FILING NO. 1

3606 GALLEY ROAD
COLORADO SPRINGS, CO

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SHEET NAME: GRADING & DRAINAGE PLAN

PROJECT TITLE: DEVELOPMENT PLAN

ENG:	RDL
DRAWN:	AMC
CHECKED:	RDL
DATE	09/28/2020

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JOB NO. 174267

SHEET NO. C-04

SHEET 04 OF 11

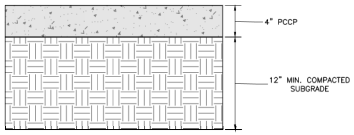
CPC CU 20-00073

PAVEMENT MATERIALS

PAVEMENT MATERIALS SHOULD BE SELECTED, PREPARED, AND PLACED IN ACCORDANCE WITH THE GEOTEHCNICAL REPORT PREPARED BY RMG–ROCKY MOUNTAIN GROUP DATED MARCH, 2020 AS WELL AS THE CITY OF COLORADO SPRINGS ENGINEERING DEPARTMENT AND THE PIKE'S PEAK REGION ASPHALT PAVING SPECIFICATIONS. TESTS SHOULD BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE PROCEDURES PRESENTED IN THE REPORT AND SPECIFICATIONS.

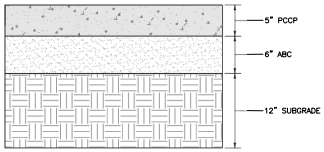
SUBGRADE PREPARATION

EXISTING ASPHALT AND CONCRETE DESIGNATED FOR REMOVAL SHOULD BE REMOVED AND DISPOSED OFF–SITE. THE EXPOSED SUBGRADE SOIL SHOULD BE SCARIFIED TO A DEPTH OF 12 INCHES, ADJUSTED TO WITHIN 2 PERCENT OF THE OPTIMUM MOISTURE CONTENT AND COMPACTED TO 95 PERCENT OF MODIFIED PROCTOR (ASTM D1557) AS DETERMINED BY LABORATORY TESTING. THE SUBGRADE SHOULD THEN BE PROOF–ROLLED WITH A HEAVY PNEUMATIC TIRED VEHICLE TO A FIRM AND UNYIELDING CONDITION. SOFT SPOTS OR AREAS WHICH DEFORM UNDER WHEEL LOADS SHOULD BE REMOVED AND REPLACED WITH NON–EXPANSIVE GRANULAR SOIL AND COMPACTED AS ABOVE. A 12–INCH THICK LAYER OF PREPARED SUBGRADE SHOULD RESULT.



A TYPICAL SIDEWALK PAVEMENT SECTION

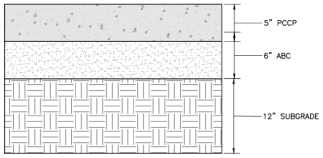
NOT TO SCALE



*CONTRACTOR SHALL ADHERE TO AND BE FAMILIAR WITH ACI 330R–08 (LATEST REVISION) STANDARDS FOR CONCRETE JOINTING AND PLACEMENT (INCLUDING BUT NOT LIMITED TO SECTIONS 3.7, 3.8, 3.9).

B TYPICAL CONCRETE PAVEMENT SECTION

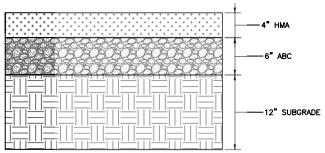
NOT TO SCALE



*CONTRACTOR SHALL ADHERE TO AND BE FAMILIAR WITH ACI 330R–08 (LATEST REVISION) STANDARDS FOR CONCRETE JOINTING AND PLACEMENT (INCLUDING BUT NOT LIMITED TO SECTIONS 3.7, 3.8, 3.9).

C TYPICAL SIDEWALK WITHIN DRIVEWAY PAVEMENT SECTION

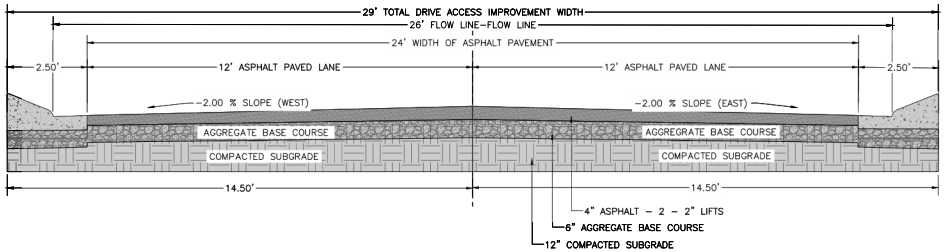
NOT TO SCALE



*RECOMMENDED PAVEMENT SECTION FOR MODERATE TRAFFIC LOADING OF MIXED USE AND SOME TRUCKS, I.E. PARKING STALLS.

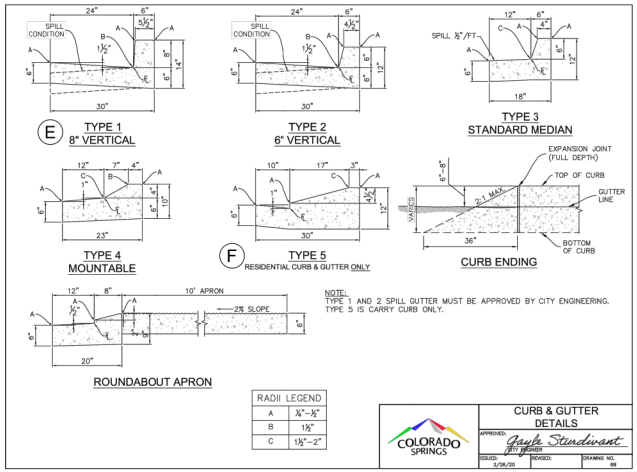
D TYPICAL ASPHALT PAVEMENT SECTION

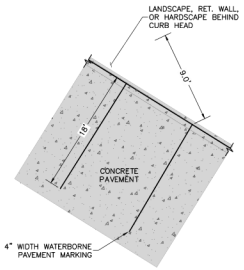
NOT TO SCALE



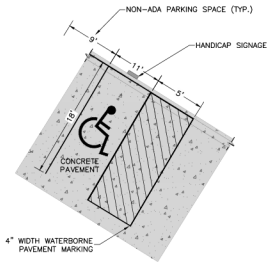
D TYPICAL DRIVE ACCESS CROSS SECTION

NOT TO SCALE





TYPICAL NON-HANDICAP PARKING STALL



TYPICAL VAN ACCESSIBLE HANDICAP PARKING STALL

*REFER TO CITY OF COLORADO SPRINGS CODE OF ORDINANCES SECTION 7.4.205 F FOR DIMENSIONAL REQUIREMENTS.

ROCKY MOUNTAIN GROUP

Geotechnical Materials Testing Oil & Mining

Architectural Structural Forensic

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719-488-2115 FAX 719-488-2116 www.rmg-eng.com
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VILLAGE ON UINTAH SUBDIVISION FILING NO. 1
3606 GALLEY ROAD
COLORADO SPRINGS, CO

DECO DESIGN & CONSTRUCTION MGMT

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SHEET NAME: CONSTRUCTION DETAILS-1

PROJECT STATUS: DEVELOPMENT PLAN

ENG: RDL
DRAWN: AMC
CHECKED: RDL
DATE: 09/28/2020

#	REVISION	DATE
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	–	–
	–	–
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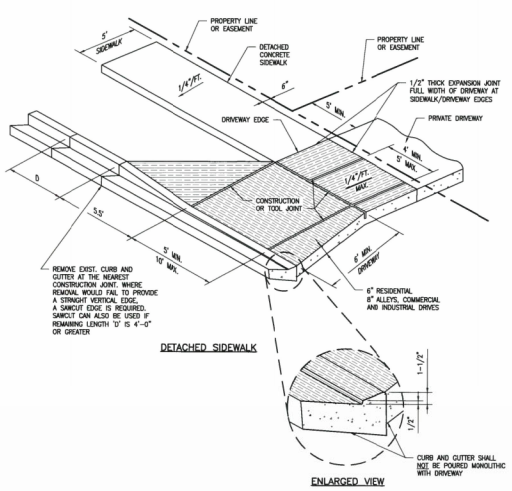
JOB NO. 174267

SHEET NO. C-05

SHEET 05 OF 11

CONDITIONAL USE DEVELOPMENT PLAN

LAST SAVED: 9/10/2020 10:17:57 AM PATH: \\Projects\Rocky Mountain Group\174267\Design & Construction Mgmt\-CONDITIONAL USE\Site Dev\174267-Construction Details.dwg

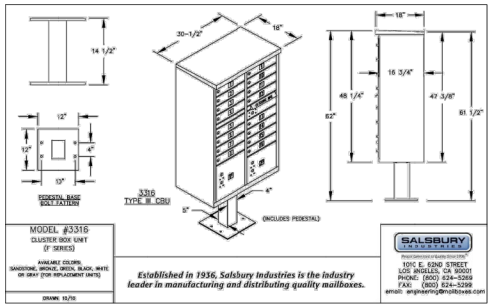


NOTES:

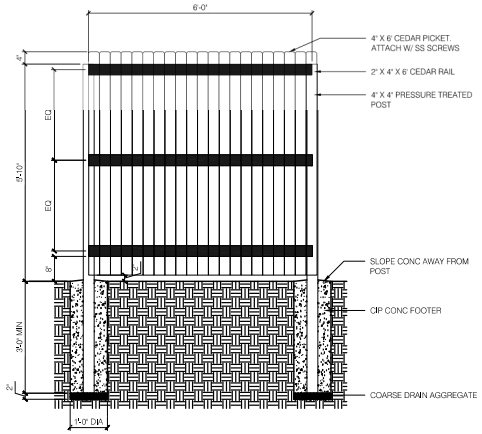
1. ALL ALLEYS, COMMERCIAL, OR INDUSTRIAL DRIVE ENTRANCES REQUIRE 8" REINFORCED CONRETE TO INCLUDE CURB AND GUTTER, WITH #4 REBAR 18" O.C.E.W.
2. ALL TOOL JOINTS SHALL BE A MINIMUM OF 1-1/2" DEEP.
3. WHEN REPLACING EXISTING CURB AND GUTTER WITH NEW DRIVEWAY, ENTIRE CURB AND GUTTER SECTION SHALL BE REMOVED AND REPLACED WITH CURB AND GUTTER (VARIABLE-CURB-HEIGHT) AS SHOWN. DO NOT BREAK CURB FROM GUTTER SECTION. MACHINE SAWCUT IS ALLOWABLE.
4. FLARED PORTION OF DRIVEWAY SHALL BE POURED MONOLITHIC WITH MAIN RECTANGULAR PORTION OF DRIVEWAY.
5. WHERE THERE IS MORE THAN ONE DRIVEWAY ON A LOT, A MINIMUM OF 30' FULL CURB SHALL BE PROVIDED BETWEEN DRIVEWAYS.
6. WHERE EXISTING SIDEWALK IS IN PLACE, AND ITS THICKNESS IS LESS THAN 6" (RESIDENTIAL) OR 8"(COMMERCIAL, INDUSTRIAL, OR ALLEY), THE SIDEWALK THROUGH THE DRIVEWAY SHALL BE REMOVED AND REPLACED WITH PORTLAND CEMENT CONCRETE, 6" (RESIDENTIAL) OR 8" (COMMERCIAL, INDUSTRIAL, ALLEY) IN THICKNESS.
7. ALL EXCAVATION, EMBANKMENT AND CONCRETE SHALL BE IN ACCORDANCE WITH CITY STANDARD SPECIFICATIONS.
8. ALL PROVISIONS OF THE CITY TRAFFIC CRITERIA MANUAL SHALL BE MET, WITH REGARD TO MINIMUM SETBACK FROM INTERSECTION AND SIDE PROPERTY LINES, MINIMUM SPACING, MAXIMUM WIDTH, ETC.
9. WHEN A DRIVEWAY IS TO BE TAKEN OUT OF SERVICE, THE ENTIRE LENGTH OF CURB AND GUTTER (VARIABLE-CURB-HEIGHT) SHALL BE REMOVED AND REPLACED WITH NEW CURB AND GUTTER. DO NOT PLACE NEW CURB HEAD ON EXISTING VARIABLE-CURB-HEIGHT CURB AND GUTTER.
10. IN RETROFIT SITUATIONS, MATCH EXISTING SIDEWALK WIDTHS.
11. A MINIMUM 2' PAVEMENT SAWCUT/PATCHBACK IS REQUIRED IN RETROFIT SITUATIONS.
12. DRIVEWAY AND WALL SHALL BE PLACED ON 6" OF SUITABLE SUBGRADE

COLORADO SPRINGS

STANDARD DRIVEWAY WITH DETACHED WALK DETAIL	ISSUED: 10/2017
	REVISED: –
APPROVED BY: CITY ENGINEER	DRAWING NO. D-16B

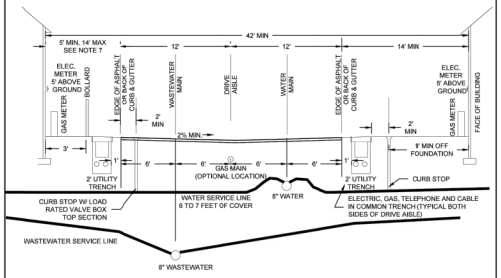


MAILBOX DETAIL



CEDAR FENCE PANEL DETAIL

DESIGN GUIDELINES FOR UTILITY CROSS SECTION FOR A TOWNHOUSE PUD



NOTES:

THE DRIVE AISLE RESTRICTIONS:

1. NO STORM DRAIN FACILITIES
2. NO SIDEWALKS
3. NO STREET LIGHTS
4. NO TRANSFORMERS
5. NO PARKING
6. NO EDIFICE (BUILDING) PROJECTIONS IN THE UTILITY EASEMENT, (i.e. DECKS) WITH THE EXCEPTION FOR THE ROOF SOFFITT.
7. THE CURB STOP SHALL BE LOCATED WITHIN THE ASPHALT, A MINIMUM OF 2 FEET FROM THE EDGE OF ASPHALT.
8. THE CURB STOP MAY BE LOCATED BEHIND THE CURB AND GUTTER OR EDGE OF ASPHALT WHERE THERE IS A MINIMUM OF 9 FEET FROM THE FURTHERMOST BUILDING FOUNDATION WALL AND A MINIMUM OF 2 FEET FROM THE BACK OF CURB, EDGE OF ASPHALT AND CLOSEST EDGE OF THE JOINT TRENCH.

TO BE READ IN CONJUNCTION WITH NOTES ON SHEET C1-11 AND C1-13

Colorado Springs Utilities It's how we're all connected	TOWNHOUSE PUD UTILITIES CROSS SECTION	C1-12 DATED 5/2015

ROCKY MOUNTAIN GROUP

Architecture Structural Forensics

RMG ENGINEERS

Geotechnical Materials Testing Civil Drawing

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SHEET NAME: CONSTRUCTION DETAILS-2

PROJECT DRAWING: DEVELOPMENT PLAN

ENG: RDL
DRAWN: AMC
CHECKED: RDL
DATE: 09/28/2020

#	REVISION	DATE
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	–	–
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JOB NO. 174267

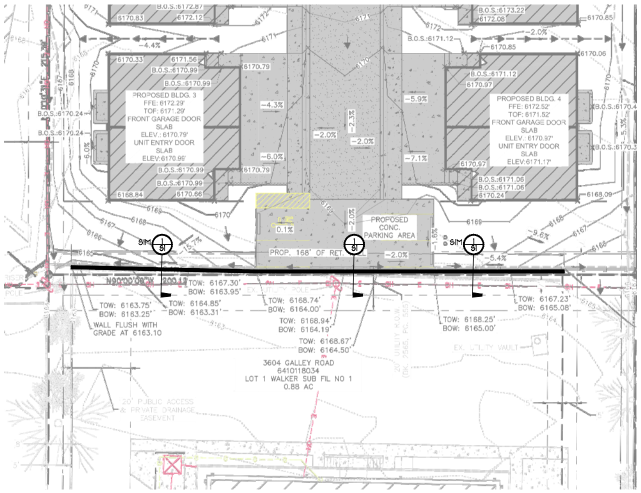
SHEET NO. C-06

SHEET 06 OF 11

CPC CU 20-00073

CONDITIONAL USE
DEVELOPMENT PLAN

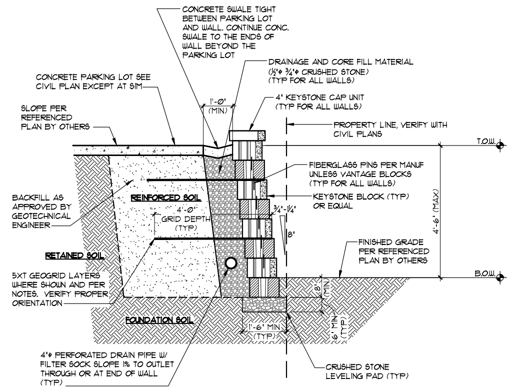
LAST SAVED: 8/10/2020 10:27:51 AM PATH: \\Rmgroup\Rmg Share\Projects\2018\174267\Drawings\Plans\RMG\Road Base\DP Base\CU\174267-Base-Cond Dev Plan.dwg



KEY PLAN

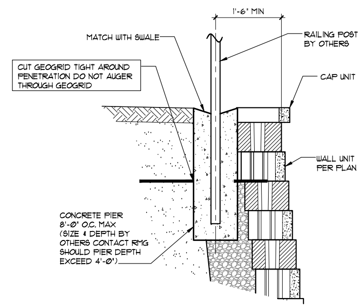
SCALE: 1/20" = 1'-0"

KEY PLAN ON BASED ON GRADING & DRAINAGE PLAN BY RMG ENGINEERS, PROJECT NUMBER #174267, SHEET C-04, LAST DATED 04-09-20. THE INTENT OF THIS SITE PLAN IS TO DEPICT THE APPROXIMATE LAYOUT OF THE PROPOSED RETAINING WALLS. T.O.W. AND B.O.W. ELEVATIONS ARE GIVEN BY THE CLIENT. THIS IS NOT A SURVEYED DOCUMENT AND SHOULD NOT BE CONSIDERED AS SUCH.



1 / S1 **WALL SECTION**

SCALE: = 1/2" = 1'-0"



TYPICAL WALL CONDITION AT RAILING POST

SCALE: 3/4" = 1'-0"

MECHANICALLY STABILIZED EARTH (MSE) BLOCK WALL SPECIFICATIONS:

GENERAL:
- These general notes apply to all structural drawings. This project is designed in accordance with the international building code (IBC), 2015 edition, and the 'minimum design loads for buildings and other structures" (ASCE 7-10).
- All material and workmanship shall be in accordance with applicable provisions of the codes specified above.
- Contractor shall obtain a copy of, and understand all applicable manufacturer's specifications.
- Installation shall conform to manufacturers specifications. If discrepancies occurs between manufacturer's specifications and those shown on details, contact rocky mountain group immediately.
- Retaining wall design is based on soil parameters provided by RMG-Rocky Mountain Group in Geothecincal Report , Project No. #174267 dated February 18, 2020.

- Existing soil consists of Silty Sand.
- Wall design parameters for retained and foundation soil include the following:
  1) unit weight = 120 pcf
  2) friction angle = 30°

A MINIMUM ALLOWABLE BEARING CAPACITY OF 2,000 PSF IS REQUIRED

Do not use Claystone for foundation or reinforced soil

MSE walls are not designed as a rigid structure. This design is based on an "active condition". movement up to 2% of the wall height can be expected.

WALL LOCATION AND DRAINAGE:
- The precast concrete block wall details shown are to be located per key plan only. Specific layout dimensions by others. Other uses of these details shall be approved by RMG-Rocky Mountain Group.
- Detailed grading and site plans are provided by others as referenced on the key plan. General site surface drainage provisions by others. Specific drainage and slope provision shown on these plans shall be incorporated into the site drainage and grading design by others. Backfill areas shall be sloped to avoid ponding water and to allow for surface drainage to flow adequately away from the walls. Irrigation devices (other than controlled "dripped") shall be kept a minimum of 5 feet away from all walls.

BLOCK UNITS:
- All units shall be subject to final acceptance on site by contractor. It shall be the contractor's responsibility to ensure that all units are erected in undamaged condition. Units with cracks or other imperfections which, in the opinion of the project engineer or contractor, are unacceptable shall not be placed in the wall. Rejected units shall be removed from the site.
- The contractor may carry out such test or measures as deemed necessary to be satisfied that the units delivered to the site are equal in quality to the approved specification and design. RMG-Rocky Mountain Group may be requested to perform required testing. Units which do not satisfy the material requirements of the dimensions and tolerances of this specification will be liable to rejection.

WALL LAYOUT AND BASE PREPARATION:
- A base excavation to sound soil material shall be made at the base of the wall. Unless shown otherwise, the benches shall be horizontal in the line of the wall.
- Contractor shall provide 24 hour notice to RMG-Rocky Mountain Group for observations, testing and approval of the base excavation prior to placing the granular bedding. If structural fill is used to obtain base elevation the base soil shall be compacted to a minimum 95% of standard proctor dry density 'ASTM' D-698.
- Finished base excavation shall be within 0.5 inches of the base elevation and shall include vertical steps in 8 inch increments where base of wall is to step.
- Over excavate clay soil below leveling pad may be required. replace soil with structural fill at the direction of these specifications and of the Geotechnical engineer of record.

CRUSHED STONE LEVELING PAD:
- After verification by RMG of base soil, a granular bed shall be placed below the first course of the concrete block to be used as a leveling pad. This bedding material shall consist of a minimum of 6 inch deep, 3/4 inch crushed stone (do not use pea gravel). The wall is initiated by placing the first course of concrete block directly onto leveling pad.

WALL UNITS INSTALLATION:
- The units in the base course shall be checked for level alignment.
- When capstones are used on the top course of the wall, they shall be attached with epoxy on a clean dry surface, or as otherwise specified by manufacturer.

DRAINAGE AND CORE FILL PLACEMENT:
- Place and compact drainage and core fill within and behind wall units. Material shall be as specified on details.
- Maximum stacked vertical height of wall units prior to fill placement shall not exceed 2 courses.

GEOSYNTHETIC REINFORCEMENT:
- Use mirafi 3XT, or approved equivalent except where shown differently on detail
- Geosynthetic reinforcement shall be laid horizontally on compacted fill at the specified elevations (locate at the joints shown). Proper orientation of the geosynthetic reinforcement shall be per the manufacturer's specifications and verified by the contractor.
- Attach reinforcement to wall units per manufacturer's specifications
- Contractor shall provide min 24 hour notice to Rocky Mountain Group to provide observation of each geogrid layer.

BACKFILL MATERIAL (REINFORCED SOIL):
- Backfill materials used behind the wall shall consist of a low-expansive, granular fill approved by rocky mountain group. The amount of fines shall not exceed 30%.

FILL PLACEMENT FOR GEOSYNTHETIC REINFORCEMENT:
- Fill placed in areas reinforced with geosynthetic reinforcement shall be placed in 8 inch lifts and compacted to 92% of standard proctor dry density 'ASTM' D-698. Compaction tests shall be located no less than 24 inches from the back of the block and performed at maximum 24 inch deep intervals. Contractor shall provide minimum 24 hour notice to RMG-Rocky Mountain Group for testing and approvals as noted.
- Backfill shall be placed from the block backwards to insure tautness and shall be placed in such a manner as to minimize both the development of wrinkles in the reinforcement and the movement of the reinforcement.
- Care should be taken not to disturb the alignment of the units during backfilling and compaction operations. Only hand operated compaction equipment shall be allowed within 3 feet of the wall face. Special care should be taken when operating heavy equipment on fill over the geosynthetic reinforcement. No equipment shall be operated directly on the reinforcement (minimum of 6 inch layer of fill required).

CONSTRUCTION PRECAUTIONS:
- During construction, contractor shall slope last backfill lift of each day away from wall units and shall not allow runoff from adjacent areas to enter construction area. Temporary exposed excavation cut / fill slopes shall be stabilized and shored per appropriate codes and osha standards at direction of contractor.

ROCKY MOUNTAIN GROUP
RMG ENGINEERS ARCHITECTS EMPLOYEE OWNED
Architectural, Structural, Forensics
Geotechnical, Materials Testing, Civil, Planning
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SOUTHERN COLORADO, DENVER METRO, NORTHERN COLORADO

COLORADO LICENSED PROFESSIONAL ENGINEER — 8-14-2020

MSE RETAINING WALL
3565 EAST UNITAH
COLORADO SPRINGS, COLORADO

DECO DESIGN & CONSTRUCTION MGMT

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SHEET NAME: GENERAL NOTES, KEY PLAN & DETAIL

PROJECT STATUS: SUBMITTAL SET

ARCH/ENG: CXM
DRAWN: CXM
CHECKED: GGW
DATE: 8-14-2020

#	REVISION	DATE

JOB NO. 174267

SHEET NO. S-01

SHEET 07 OF 11

CPC CU 20-00073

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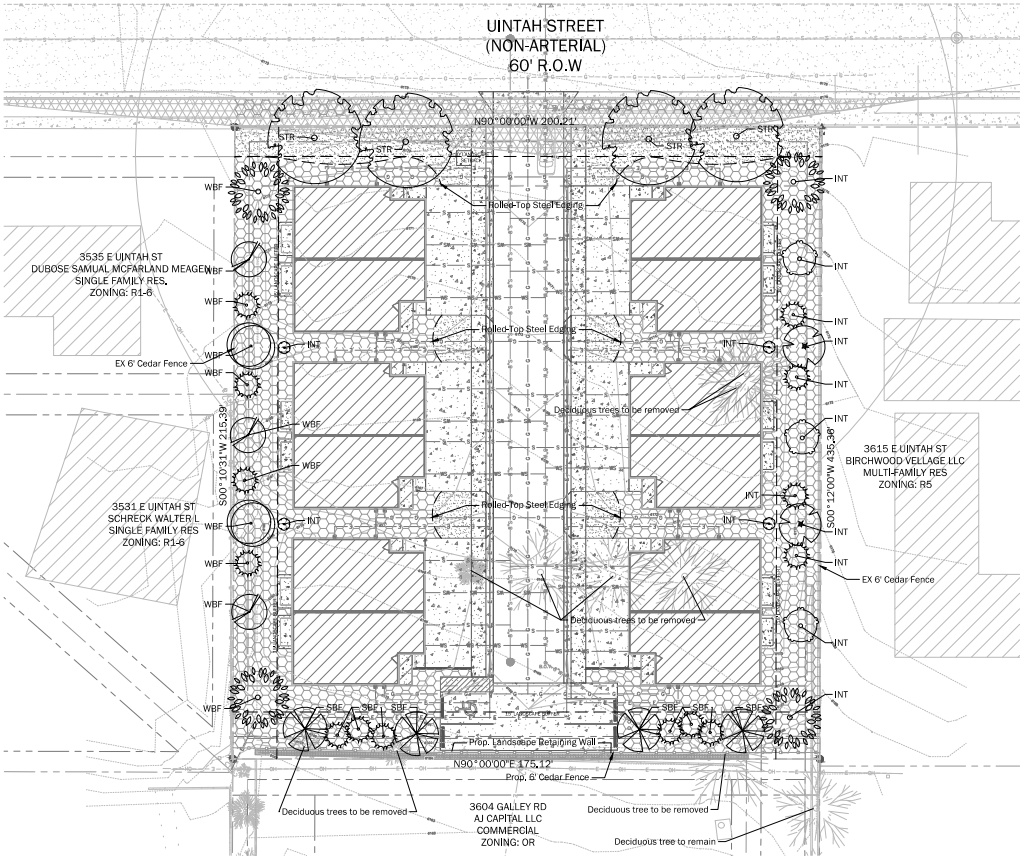
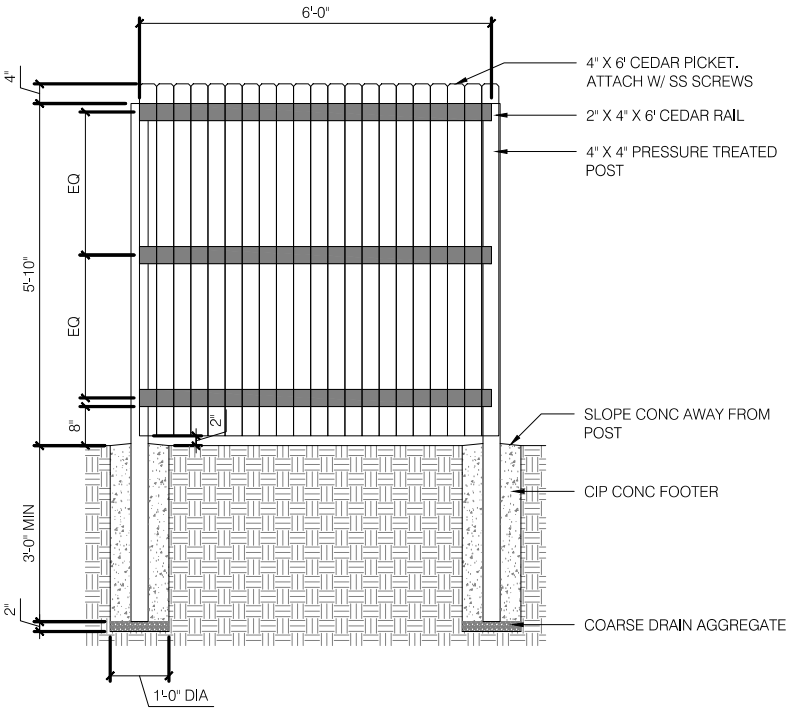
CONDITIONAL USE DEVELOPMENT PLAN





6' Cedar Fence Detail

Not to scale

KHLA
KRISTIN HEGGEM
LANDSCAPE ARCHITECT · ASLA
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KWHEGGEM@ICLOUD.COM
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719.339.9393

VILLAGE ON UNITAH

CONTEXTUAL SITE PLAN

3606 GALLEY RD. COLORADO SPRINGS CO 80909

RECORD

PRE- APP 01/10/20

REVISION

DP Review 2 06-11-2020
DP Review 3 08-18-2020

DRAWING TITLE

PRELIMINARY
LANDSCAPE PLAN
NOTES AND SCHEDULE

MARCH 27, 2020

DRAWN : RLB

CHECKED : KWH

SHEET NO.

L-01

SHEET 08 OF 11

CPC CU 20-00073

UNIT FOUR — A P P E N D I X E

Appendix E: Schematic Landscape Diagram

To be submitted in conformance with Policy 311. (See reverse side for example.)

Name of project: Village on Unitah Date: June 11, 2020

Climate zone (from Figure 4 of Landscape Policy Manual) - circle one

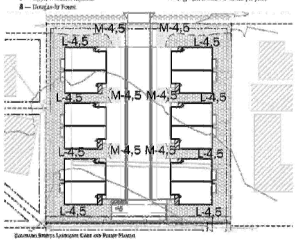
Semi-Dry — Semi-Arid — Plains

Plant Communities
- (to be labeled by number(s) on diagram)

1 — Sagebrush Shrublands
2 — Ponderosa Pine Woodlands
3 — Prairie
4 — Lower Elevation Riparian
5 — Foothill Shrublands
6 — Ponderosa Pine Forest
7 — Upper Montane Riparian
8 — Douglas-fir Forest

Hydrozones (supplemental water)
- (to be labeled by number(s) on diagram)

V - Very Low (0 to 7 inches per year)
L - Low (7 to 15 inches per year)
M - Moderate (15 to 23 inches per year)
H - High (more than 23 inches per year)



Illustrative Irrigation Layout and Water Planner

CONDITIONAL USE
DEVELOPMENT PLAN

PLANT SCHEDULE

EVERGREEN TREES	QTY	BOTANICAL NAME / COMMON NAME	PLANTING SIZE	MATURE SIZE	PLANT SCHEDULE KEY
	4	Juniperus scopulorum 'Blue Arrow' / Blue Arrow Juniper	6'H	4' X 15'H	125678D
	14	Pinus nigra 'Frank' / Columnar Austrian Pine	6' H	6' X 20' H	25678A
	4	Pinus flexilis / Limber Pine	6' H	20' X 40' H	568DA
DECIDUOUS TREES	**QTY**	**BOTANICAL NAME / COMMON NAME**	**PLANTING SIZE**	**MATURE SIZE**	**PLANT SCHEDULE KEY**
	3	Amelanchier x grandiflora 'Robin Hill' / Robin Hill Serviceberry	2" Cal.	12' X 25'H	4578S
	3	Ginkgo biloba 'Princeton Sentry' / Princeton Sentry Ginkgo	2" Cal.	12' X 35'H	S
	4	Gleditsia triacanthos inermis 'Northern Acclaim / Northern Acclaim Honeylocust	2" Cal.	30' X 40'H	4SA
	2	Malus 'Prairiefire' / Prairifire Crabapple	2" Cal.	15' X 15' H	467S
	2	Quercus robur 'Skyrocket' / Skyrocket English	2" Cal.	12' X 35' H	S
	4	Syringa reticulata / Japanese Tree Lilac	2" Cal.	15' X 20'H	4S
Total Trees :		40			
Signature Trees and Percent :		35 (87%)			

GROUND COVER SCHEDULE

GROUND COVERS	QTY	BOTANICAL NAME / COMMON NAME	CONT
	13,850 sf	1-1/2" River Rock - Shrubs and Perennials to meet 75% coverage requirement	3" Depth
	2,830 sf	Festuca arundinacea 'Rhizomatous RTF' / RTF Tall Fescue	Sod

Landscape Buffers & Screens See Code Section/ Policy 323 & 317

Property Line	Linear Footage	Width (In Feet)		Buffer Trees		Evergreen Trees (50% Min.)		Plant Abbrev.	Length of 6 Ft. Opaque Structure		Percent Ground Plane Veg (Sq Ft)	
		Req.	Prov.	Req.	Prov.	Req.	Prov.		Req.	Prov.	Req.	Prov.
Southern	200	15	15	10	10	5	6	SBF	200	200	75%	75%
Western	215	15	15	11	11	6	6	WBF	215	215	75%	75%

Internal Landscaping See Code Section/ Policy 322 & 317

Net Site Area (Sq. Ft.) (Less Public R.O.W.)	Percent Minimum Internal Area (%)	Internal Area (Sq		Internal Trees		Internal Shrubs		Plant Abbrev.	Percent Ground		Internal Ornamenta	
		Req.	Prov.	Req.	Prov.	Req.	Prov.		Req.	Prov.	Req.	Prov.
48787	15%	7319	16992	15	15	0	0	INT	75%	75%	0	0

*Will be provided on Final Landscape Plan

Landscape Setbacks (or Double Frontage Lot Streetscapes) See Code Section/ Policy 320 & 317

Street Name or Zone Boundary	Street Classification	Width (In Feet)		Linear Footage	Feet Per Tree	No. of Trees		Plant Abbrev.	Shrub Substitutes		Ornamental Grass Sub.		Percent Ground Plane	
		Req.	Prov.			Req.	Prov.		Req.	Prov.	Req.	Prov.	Req.	Prov.
Uintah Street	Non-Arterial	10	10	200	30	7	4	STR	30	*30	0	0	75%	75%

*Will be provided on Final Landscape Plan

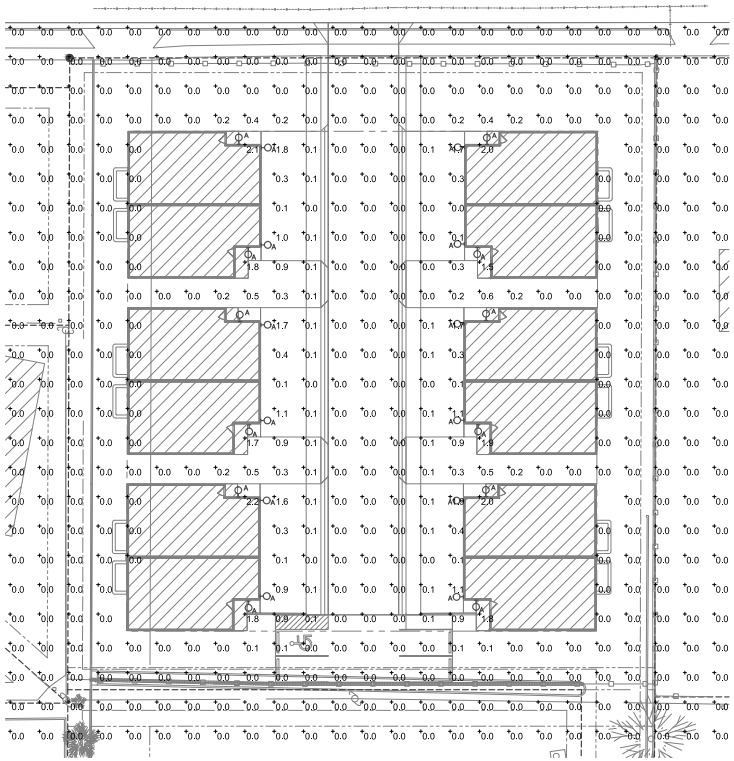
Drawing Scale & North Arrow

0' 10' 20' 40' 60'

N

Landscape Notes:

1. The maintenance responsibility for all landscape areas, fences and wall shall be the HOA or current Owner.
2. The soil type for this site is Blakeland Loamy Sand, per the USDA map.
3. Soil prep amendments, tilling and any necessary de-compaction or excavation will be based on a soil sample test to be done at a later date
4. Irrigation for turf areas shall be spray sprinklers; irrigation for all trees, shrubs and ground covers in mulched areas shall be drip emitters.
5. A FINAL LANDSCAPE AND IRRIGATION PLAN SHALL BE SUBMITTED AND REVIEWED CONCURRENT WITH BUILDING PERMIT SUBMITTAL AND APPROVED PRIOR TO ISSUANCE OF A BUILDING PERMIT
6. All existing trees are to be removed.
7. A separate irrigation tap and meter will be provided for the proposed landscaping.



SITE PHOTOMETRIC PLAN

Scale: 1"=20'

0 20 40
FEET

SITE PHOTOMETRIC SUMMARY
AVERAGE = 0.1 FT. CANDLE
MAXIMUM = 2.2 FT. CANDLE
MINIMUM = 0.0 FT. CANDLE

LIGHTING FIXTURE SCHEDULE

ITEM	MANUFACTURER	CAT. NO.	LAMPS	MOUNTING	DESCRIPTION
A	PROGRESS LIGHTING	P560073-031-30	9 WATT 3000K LED 624 LUMENS	WALL +8 FT	OUTDOOR DOWN CAST LED WALL LIGHT

PROGRESS LIGHTING

Project:
Fixture Type: FIXTURE "A"
Location:
Contact:

Wall Lantern

Wall mounted • Wet location listed PROGRESS LED

Description:

Z-1060 presents a functional design with a modern sensibility. Architectural style housing is die-cast for added durability. The glass diffuser is secured without visible fasteners for an overall clean appearance. LED source delivers both energy efficiency and maintenance-free operation.

Specifications:

- Black (-031) (painted)
- Aluminum construction
- Clear Seeded Glass diffuser
- One light LED wall lantern
- One 9W LED module
- Features 3000K and warm white color, 90 CRI
- 624 lumens; 66 lumens per watt (source)
- A functional design with a modern sensibility
- Architectural style housing is die-cast for added durability
- The glass diffuser is secured without visible fasteners for an overall clean appearance
- LED source delivers both energy efficiency and maintenance-free operation
- Dimmable to 10% brightness (See Dimming Notes)
- Back plate covers a standard 4" octagonal recessed outlet box
- Mounting strap for outlet box included
- 6" of wire supplied
- ENERGY STAR® qualified
- Meets California Title 24 JA8-2016

Performance:

Number of Modules	1
Input Power	9w
Input Voltage	120 V
Input Frequency	60 Hz
Lumens/LPW (Source)	624/66 (LM-82)
Lumens/LPW (Delivered)	346/36.8 (LM-79)
CCT	3000 K
CRI	90 CRI
Life (hours)	60,000 (L70/TM-21)
FCC	Meets FCC Title 47, Part 15 Class B
Min. Start Temp	-30°C
Max. Operating Temp	30°C
Warranty	5 year limited warranty
Labels	cCSAus Wet location listed ENERGY STAR® qualified Meets California Title 24 JA8-2016

P560073-031-30

Images:

Dimensions:

Width: 4-1/2"
Depth: 4-3/4"
Height: 4-1/2"
H/CTR: 2-1/4"

Glass
Width: 3-1/2"
Height: 3-1/4"

For more information visit our website: www.progresslighting.com

Progress Lighting • 701 Millennium Boulevard • Greenville, SC 29607

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e-mail: mddesign@hotmail.com
23831 E. Euclid Cir.
Aurora, CO 80016

VILLAGE ON UNITAH
CONTEXTUAL SITE PLAN
3606 GALLEY RD. COLORADO SPRINGS CO 80906

RECORD
CSU 04-03-2020

REVISION
△ –

DRAWING TITLE
SITE PHOTOMETRIC PLAN

N

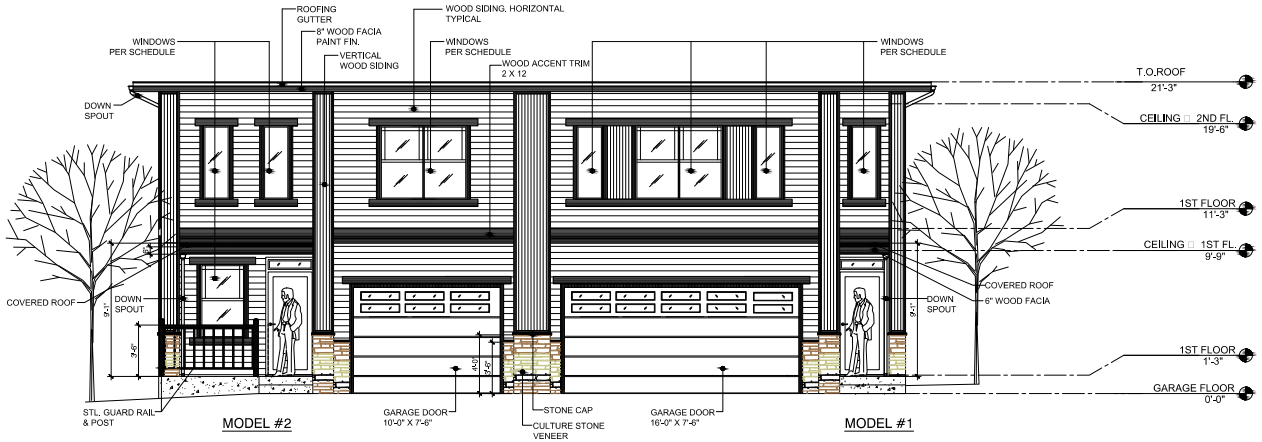
DRAWN : SG
CHECKED : SG

SHEET NO.
E-01
SHEET 09 OF 11

RG ENGINEERING CONSULTANTS INCORPORATED ELECTRICAL ENGINEERS
8811 E Hampden Ave, Ste 200, Denver, CO 80231
(303) 355-5534 (tel) walter@rgecinc.com

CONDITIONAL USE DEVELOPMENT PLAN

GPC CU 20-00073



1 FRONT ELEVATION

1/4" = 1'-0"

2 REAR ELEVATION

1/4" = 1'-0"

CONDITIONAL USE DEVELOPMENT PLAN

DE CO
Architectural / Interior Design
Engineering, Construction Mgmt
PH. 303.876.6150
e-mail: msdeco@netmail.com
22831 E. Euclid Cir.
Aurora CO 80016

VILLAGE ON UNITAH

CONTEXTUAL SITE PLAN

3606 GALLEY RD. COLORADO SPRINGS CO 80909

RECORD

CSU DP	04/03/20
CSU DP REVISION	08/10/20

REVISION

△ –

DRAWING TITLE

FRONT ELEVATION
REAR ELEVATION

DRAWN : MSA

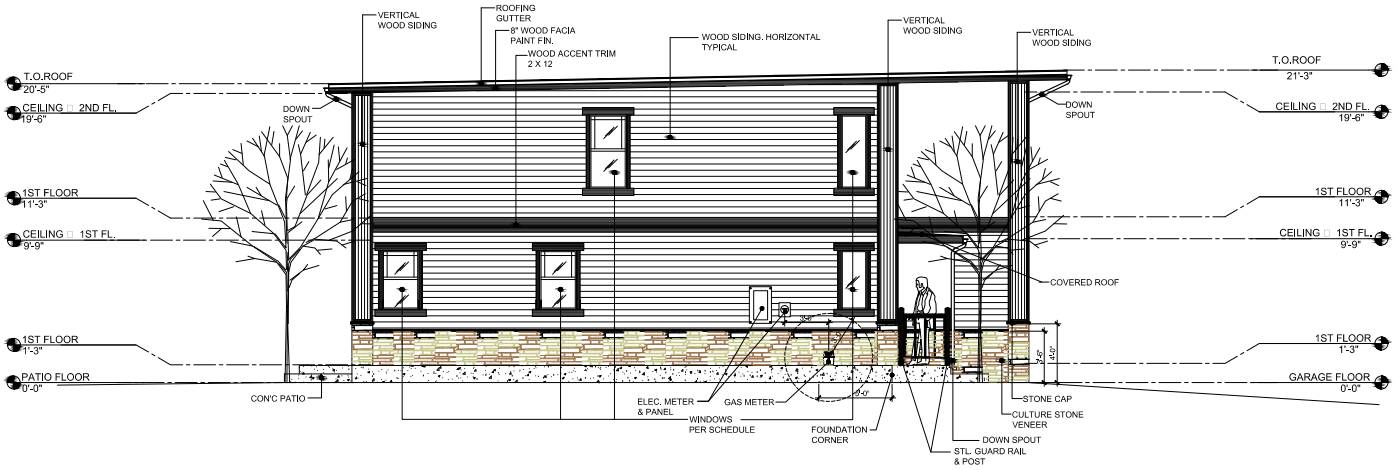
CHECKED :

SHEET NO.

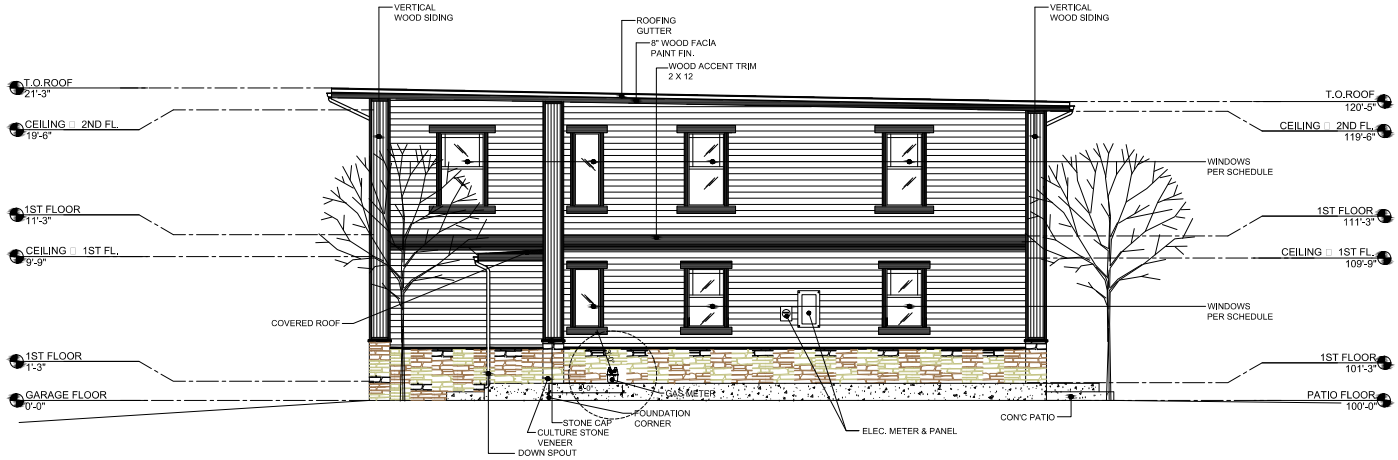
A-01

SHEET 10 OF 11

CPC CU 20-00073



1 SIDE ELEVATION
NORTH VIEW 1/4" = 1'-0"



2 SIDE ELEVATION
SOUTH VIEW 1/4" = 1'-0"

CONDITIONAL USE DEVELOPMENT PLAN

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VILLAGE ON UNITAH
CONTEXTUAL SITE PLAN
3606 GALLEY RD. COLORADO SPRINGS CO 80909

RECORD

CSU DP	04/03/20
CSU DP REVISION	08/10/20

REVISION

△ –

DRAWING TITLE

SIDE ELEVATIONS

DRAWN : MSA

CHECKED :

SHEET NO.

A-02

SHEET 11 OF 11

CPC CU 20-00073