

# Renew North Nevada Avenue

[www.coloradosprings.gov/renewnnave](http://www.coloradosprings.gov/renewnnave)

Nina Vetter  
nvetter@springsgov.com



# Intent of the Plan



- Analyze what uses would be appropriate for the area
- Identify incentives to attract and to expand existing businesses and jobs
- Study roads, utilities, land use and zoning to determine what's needed to support the corridor's renewal
- Build on existing opportunities

# Community Participation



- ❖ Stakeholder interviewees and Steering Committee members - **27**
- ❖ Neighborhood, mobile home park and business roundtable participants – **40**
- ❖ Online survey respondents - **578**
- ❖ Community workshop participants - **249**

Thank you to the **894**  
unduplicated participants in  
this planning process.

We could not have done it  
without you!



# Vision Priorities



- ❖ A creative mix of business types and uses that supports and employs our residents and serves as a regional economic magnet.
- ❖ Connections within the area and to the community are strengthened by improved roadways and expanded transit services.
- ❖ Our vibrant community is strengthened by housing that serves the needs of existing and new residents and offers options for all ages and levels of income.
- ❖ Our corridor's streets, sidewalks, drainage, streetscape, other infrastructure function well.

# Alignment with the Strategic Plan



- ❖ Strategic Plan Goals:
  - Promoting Job Creation
  - Investing in Infrastructure
  - Building Community & Collaborative Relationships
- ❖ Strategic Plan Initiatives:
  - 1B-03: "Engage City Council, City Planning Commission, and neighborhood groups on key land development issues, including implementing priorities of the Infill & Revitalization Steering Committee and educating the public on the benefits of infill"
  - 1B-04: "Facilitate increased private sector investment in Economic Opportunity Zones through improving infrastructure, updating planning efforts, and changing related City policies"
  - 2C-01: "Improve safety for all modes of travel include vehicular, pedestrian and bicycles throughout the City"
  - 3A-06: "Develop a neighborhood planning template as part of the Comprehensive Plan efforts and empower neighborhoods, in conjunction with CONO and other entities, to undertake neighborhood planning efforts"



# Project Area



# Decision Process



## NORTH NEVADA AVENUE PLAN DECISION PROCESS



July – August 3, 2016 Workshop #1  
Community: Identify challenges, opportunities, vision elements

August-September 2016  
Project Team: Study and analyze project area

September 13, 2016 Workshop #2  
Community: Receive analysis results and set Vision priorities

September-October 2016  
Project Team: Develop Plan concepts

October 27, 2016 Workshop #3  
Community: Review and respond to Plan concepts

November 2016  
Project Team: Develop Plan alternatives

December 8, 2016 Workshop #4  
Community: Review and respond to Plan alternatives

December 2016-January 2017  
Project Team: Develop Draft Plan

January 17, 2017 Open House  
Community: Review and respond to Draft Plan

February 2017  
Project Team: Develop Recommended Plan

February-March 2017  
City Planning Commission and City Council review/consideration of Plan approval



We are  
here!

# Project Vision



## ❖ How we move:

- Connections within the area and to the community are strengthened by improved roadways and expanded transit service.
- Pedestrians and cyclists are encouraged and are safe from vehicular traffic.
- Access within the corridor is easy and serves resident, business and visitor needs.
- Trail connections link us to local and regional trails as well as to the waterways near us.



# Project Vision



## ❖ How we live:

- Our vibrant community is strengthened by housing that serves the needs of existing and new residents and offers options for all ages and levels of income.
- We can conveniently access restaurants, shops, stores, and entertainment activities which also draw people from all over the community.
- Our corridor's streets, sidewalks, drainage, streetscape, and other infrastructure function well.
- Parks, public spaces and community gathering places increase our sense of community and pride in our corridor.

# Project Vision



## ❖ How we work:

- A creative mix of business types and uses supports and employs our residents and serves as a regional economic magnet.
- Historic and existing businesses are valued and new businesses and employment generators are welcomed.
- Services and facilities support the needs of UCCS and its students

# Project Vision



## ❖ How we look and feel:

- Our corridor is clean and it is safe.
- Our residents enjoy public green spaces, amenities, trees and landscaped areas.
- The history of our area is celebrated and incorporated into the fabric of our community.
- Our corridor is a destination because its appealing character is unlike any other in Colorado Springs.

# Plan Contents



- Section 1 Introduction
- Section 2 Planning Area Composition
- Section 3 Market Analysis
- Section 4 Community Involvement Process
- Section 5 The Recommended Plan
- Section 6 Specific Implementation Strategies
- Section 7 Implementation Recommendations

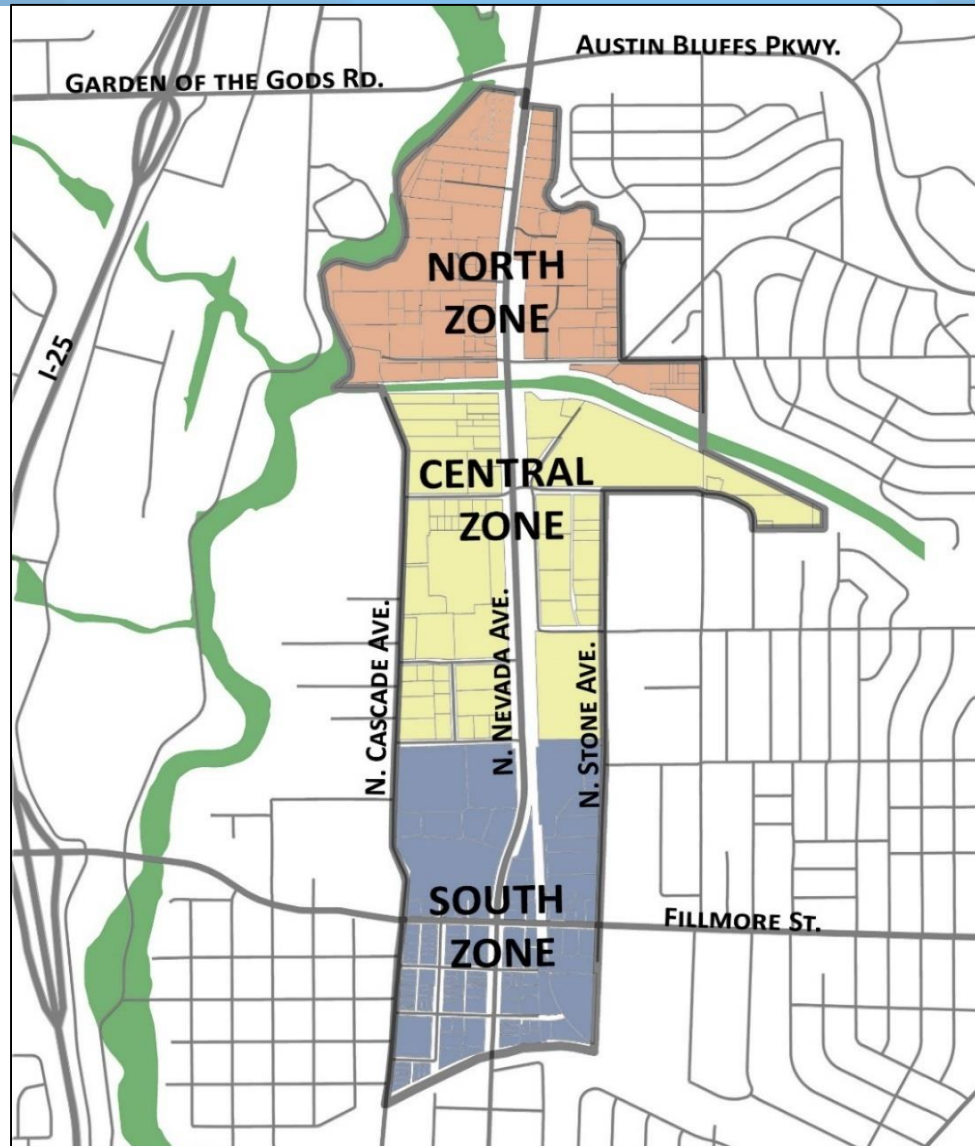
# Market Analysis



<b>Summary Demand</b>	<b>Low</b>	<b>High</b>
Multifamily (units)	1,160 units	2,160 units
Employment (sf) - includes office and industrial	650,000	2,780,000
Lodging (1-2 hotels) (sf)	425,000	425,000
Retail / Restaurants (sf) - includes grocery	115,000	130,000
Entertainment	Theater, bowling, etc.	

Source: ArLand

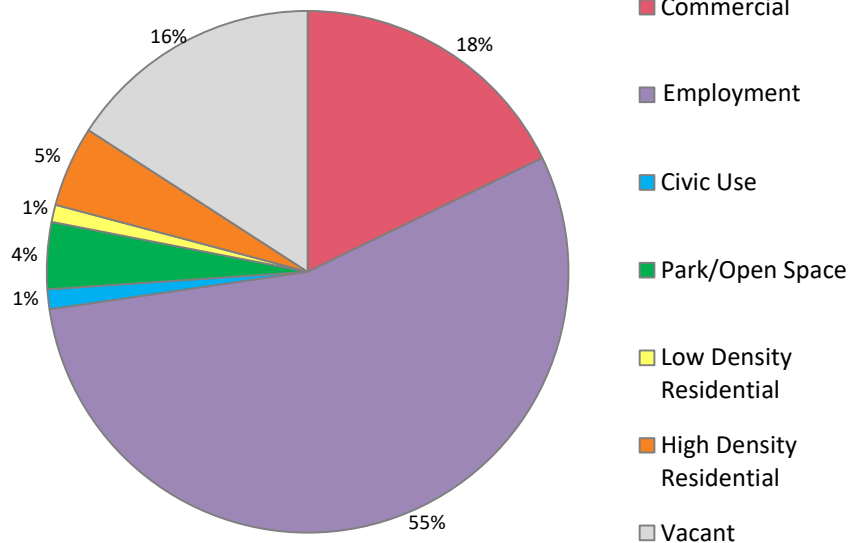
# Master Plan Zones



# North Zone Land Use

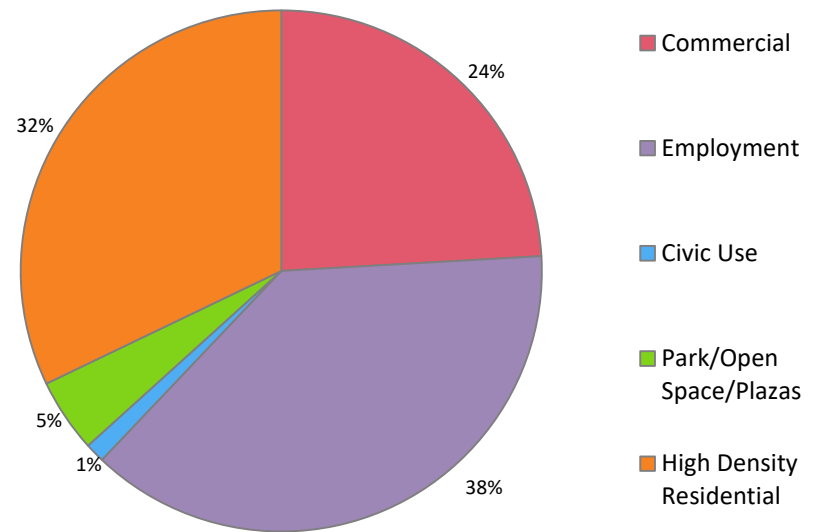


## Existing Land Use



**Total Acreage = 109.65**

## Preferred Land Use



**Total Acreage = 110.15**  
**% Land Use Change = 52%**

# North Zone Goals



## Opportunity Areas:

1. Build upon existing retail center to create a mixed use hub with urban plaza & student housing
2. New hotel to serve university & area needs with small scale commercial services (restaurants/retail)
3. Take advantage of mountain views with market rate multi-family residential

## Preferred Uses:

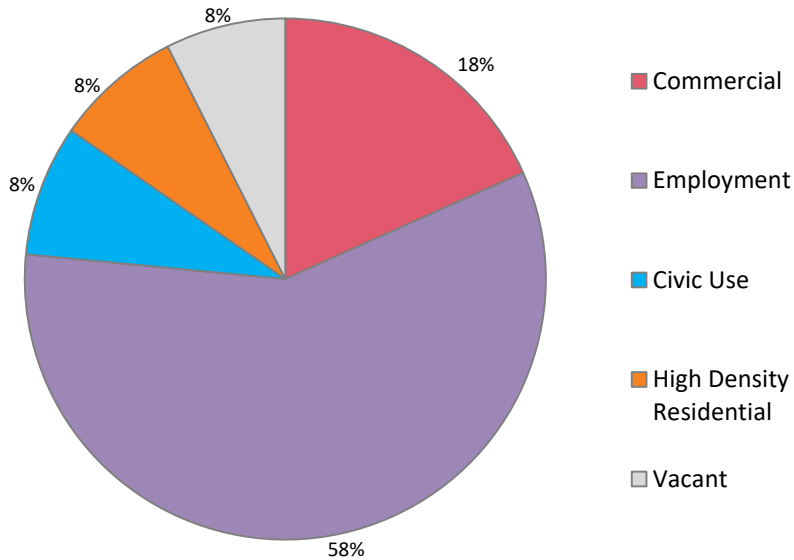
- ❖ Hotel
- ❖ Independent retail/restaurants
- ❖ Student housing
- ❖ Medical Office/Research & Innovation
- ❖ Local employment
- ❖ Market rate multi-family residential



# Central Zone Land Uses

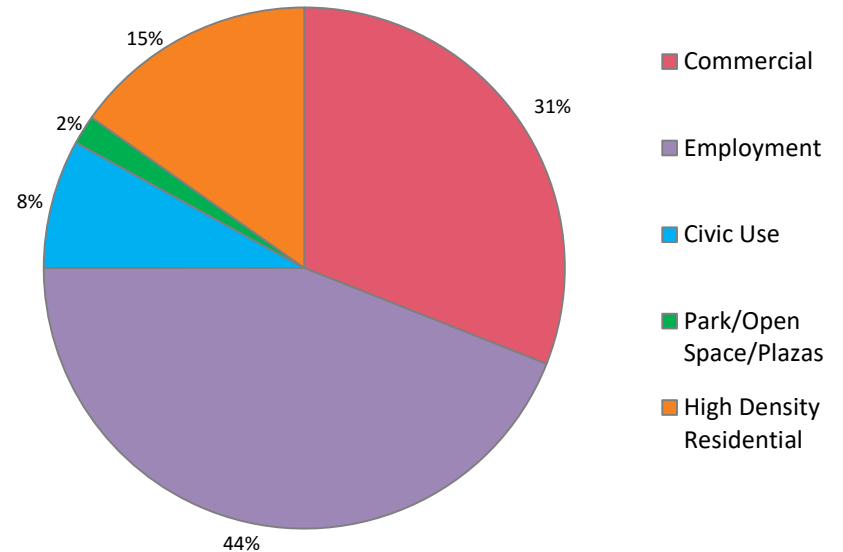


### Existing Land Use



**Total Acreage = 135.69**

### Preferred Land Use



**Total Acreage = 138.19**  
**% Land Use Change = 45%**

# Central Zone Goals



## Opportunity Areas:

1. Encourage high density housing
2. Corridor destination to include retail, restaurants, entertainment, high density residential, and urban plazas
3. Encourage employment uses to support the National Cybersecurity Center

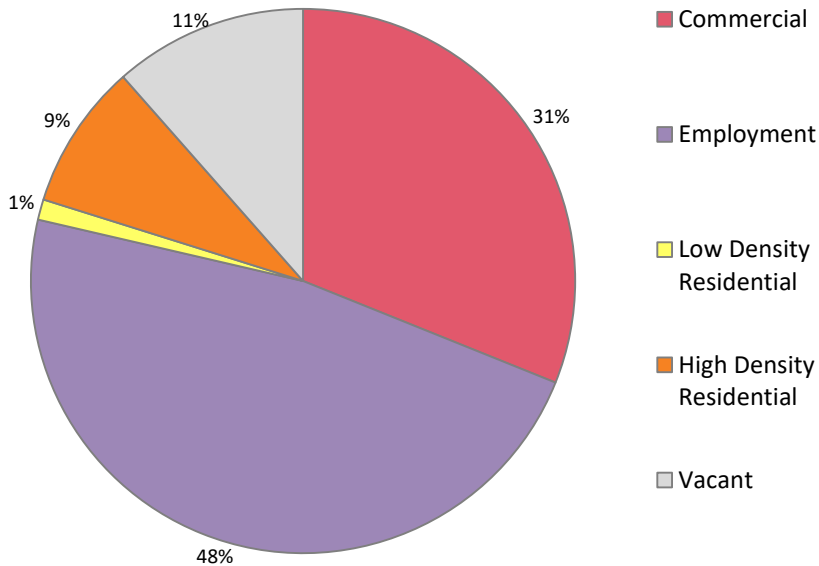
## Preferred Uses:

- ❖ Cybersecurity related employment
- ❖ Medical Office/Research & Innovation
- ❖ Local Employment
- ❖ Retail/restaurants/entertainment
- ❖ Market Rate Multifamily Residential
- ❖ Affordable Housing
- ❖ Student Housing
- ❖ Hotel

# South Zone Land Uses

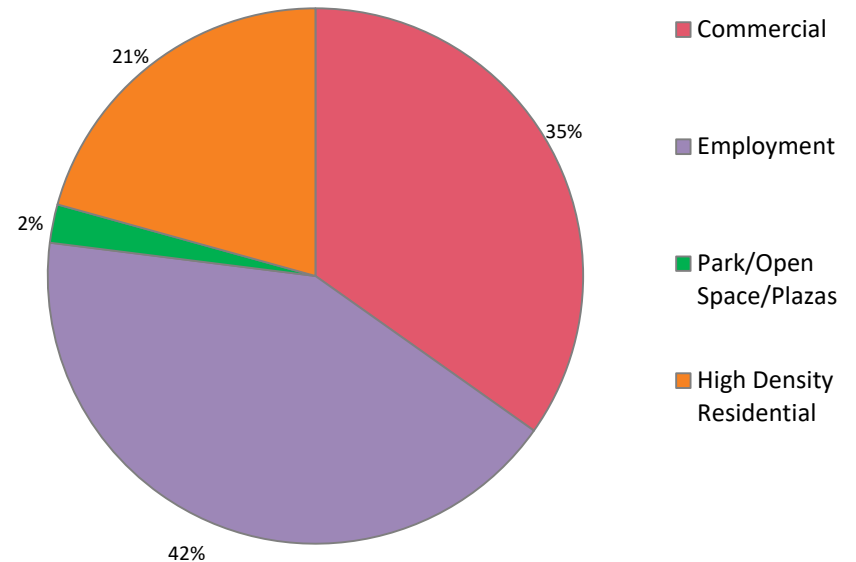


### Existing Land Use



**Total Acreage = 105.31**

### Preferred Land Use



**Total Acreage = 107.81**  
**% Land Use Change = 43%**

# South Zone



## Opportunity Areas:

1. Encourage adaptive reuse of the historic Alexander Film buildings for a variety of creative uses, such as local restaurants, craft breweries/distilleries, art galleries.
2. Encourage redevelopment of the K-Mart site and adjacent properties with a mix of retail, restaurants, office and high-density residential
3. Encourage redevelopment of the Lumber Yard for more compatible employment uses
4. Encourage development of vacant sites for high density residential with retail adjacent, to include a pocket park
5. Create new transit hub with opportunity for high density development
6. Strengthen historic uses and character of south section of North Nevada Avenue.

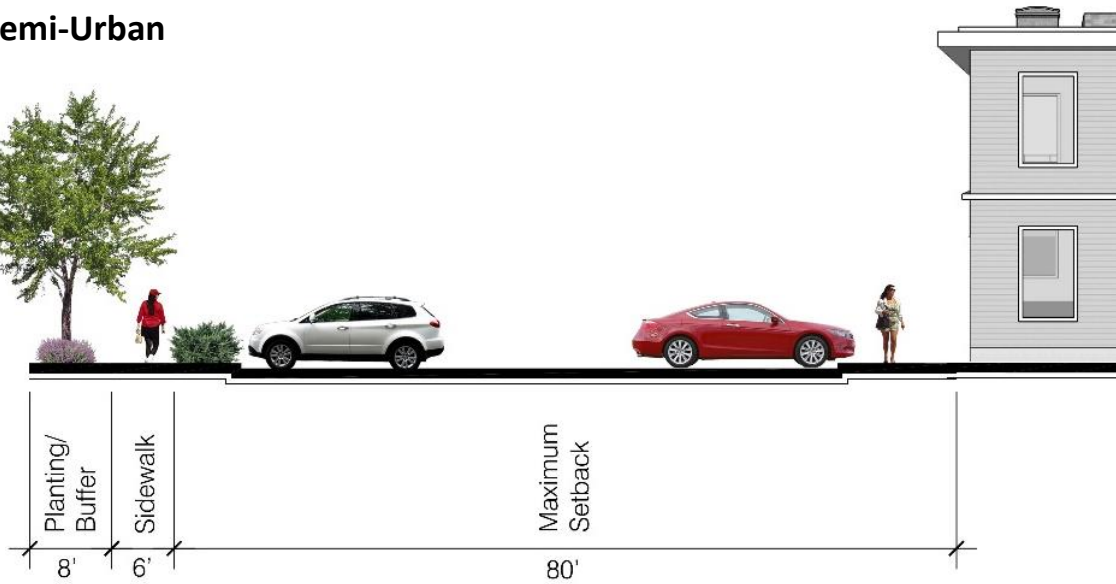
## Preferred Uses:

- ❖ Retail/restaurants
- ❖ Breweries/Distilleries
- ❖ Art galleries/civic uses
- ❖ Market rate multifamily housing
- ❖ Employment

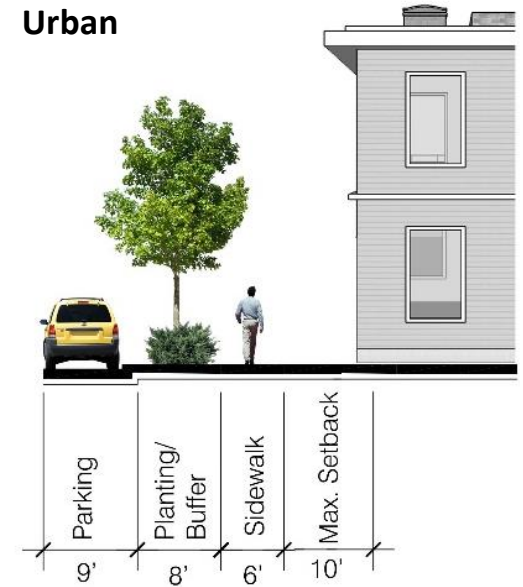
# Streetscape



## Semi-Urban



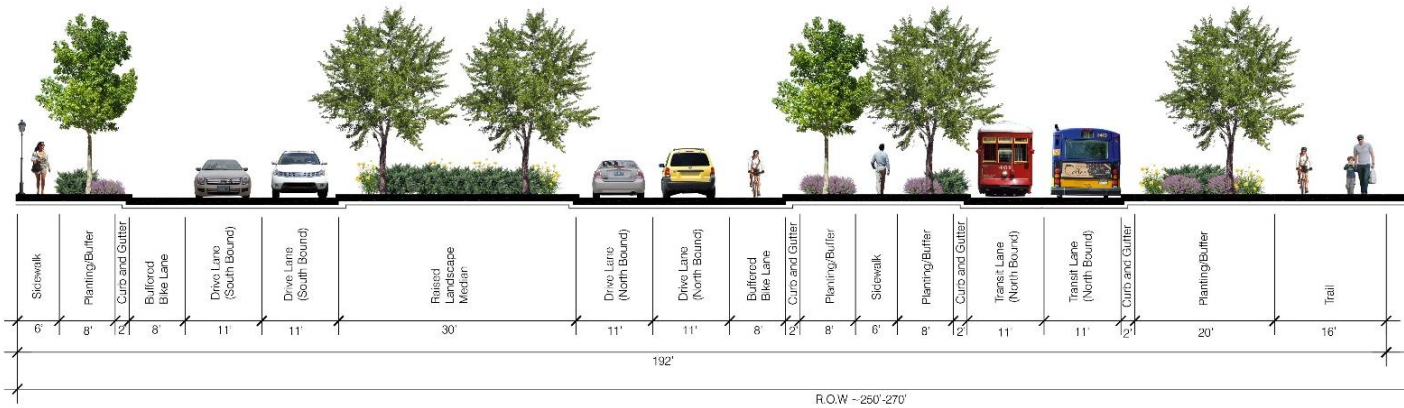
## Urban



# Street Cross-Sections



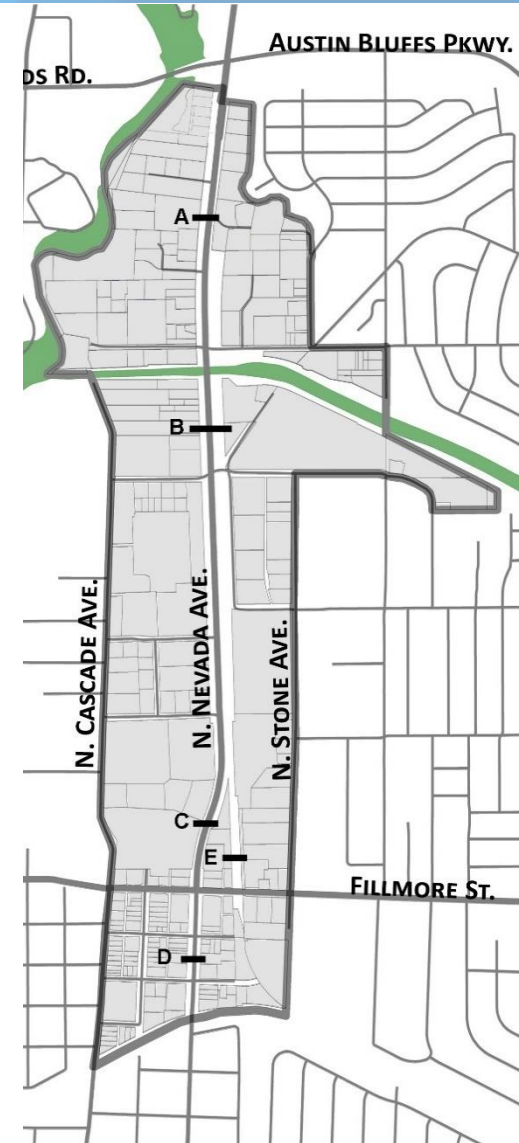
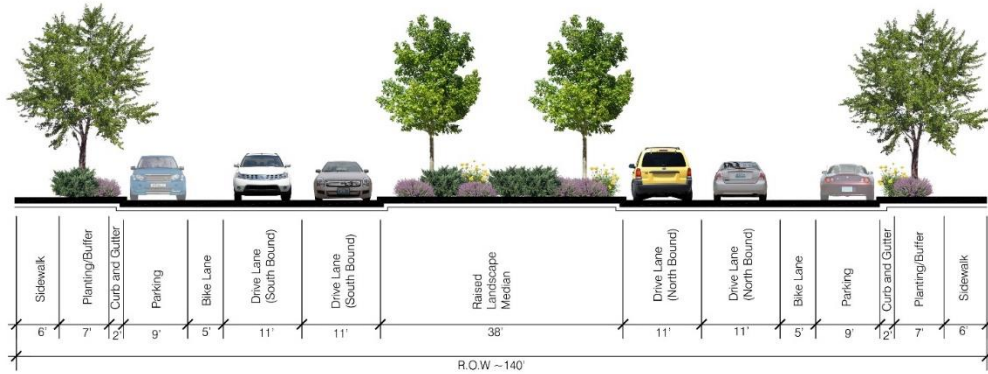
## Section B



# Street Cross-Sections



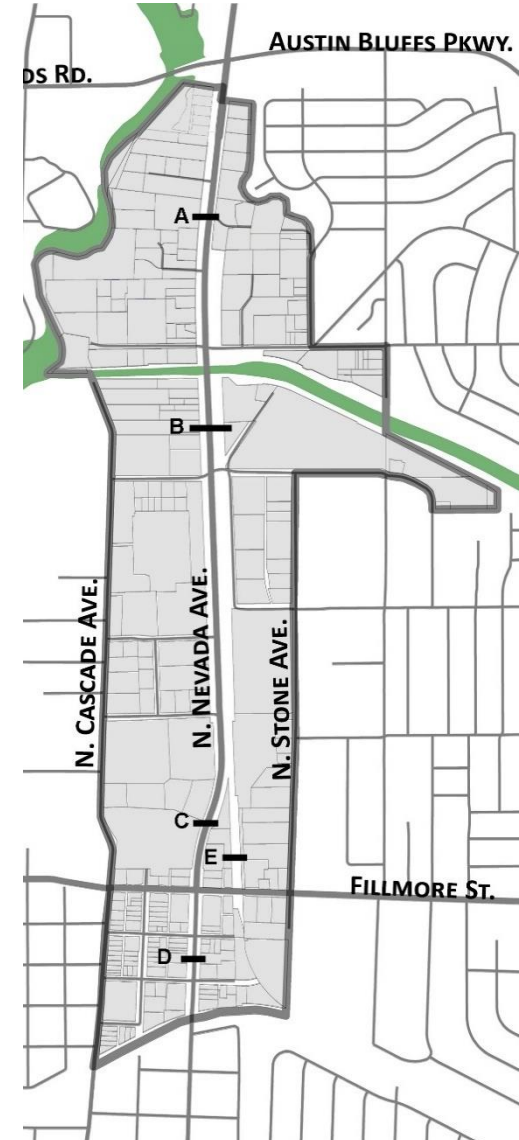
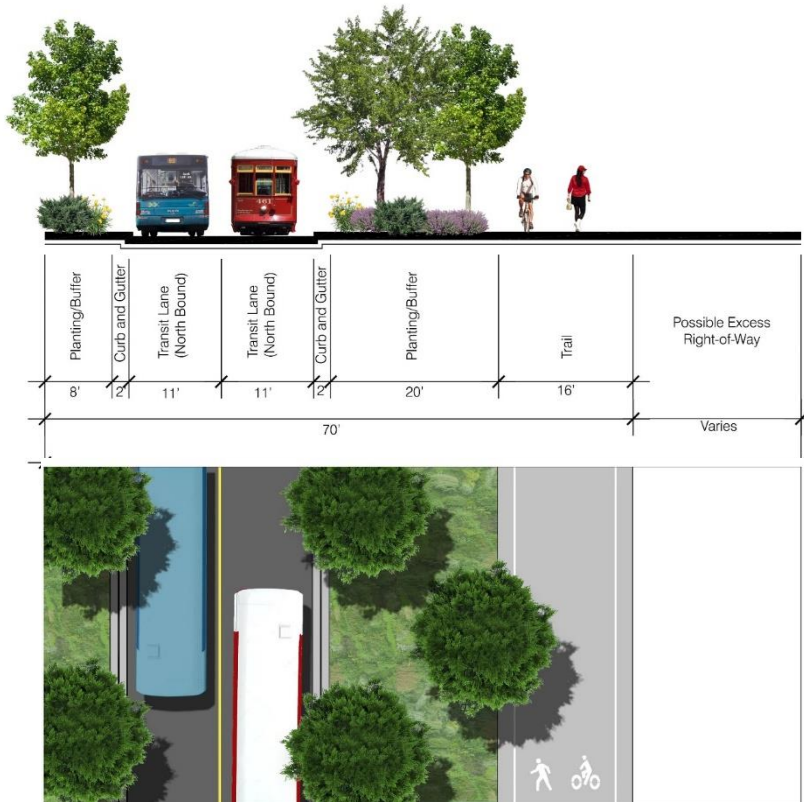
## Section D



# Street Cross-Sections



Section E





# Realizing the Vision



**North Zone:** Northwest corner of North Nevada Avenue and Mount View Lane



# Realizing the Vision



**Central Zone:** In front of the Birdsall Power Plant looking southwest across the disused railroad



# Realizing the Vision



**South Zone:** In the central median looking north along North Nevada Avenue



# Implementation Strategies



- Zoning
- Affordable Housing
- Funding
- ComCor

# Zoning



- 57% of area is Zoned M1 or M2.
- Overlay Zoning applies an additional layer of restriction or flexibility to the base zone.
- Restrict incompatible uses making them legal non-conforming use.
- Maximum setbacks – 80’ for majority of the area and, where appropriate, buildings adjacent to street ROW.
- Use additional lot coverage and building height as incentives.

ZONE	ACREAGE	MEDICAL/GENERAL OFFICE	MULTIFAMILY RESIDENTIAL	GROCERY	RETAIL/RESTAURANTS	LODGING	ENTERTAINMENT
M-1	245.7	P	C	C	C	C	C
M-2	5.14	P	X	X	X	C	C
C-5	29.44	P	C	P	P	P	P
C-6	70.05	P	P	P	P	P	P
PBC	22.18	P	C	P	P	P	P
R-5	7.07	P	P	X	X	X	X
R-4	3.43	X	P	X	X	X	X
R-2	4.38	X	X	X	X	X	X
R-1 6000	4.34	X	X	X	X	X	X
PUD	13.67	X	X	X	X	X	X
PF	31.32	X	X	X	X	X	X

P = Permitted  
 C = Conditional  
 X = Not Permitted

# Zoning



- 57% of area is Zoned M1 or M2.
- Overlay Zoning applies an additional layer of restriction or flexibility to the base zone.
- Restrict incompatible uses making them legal non-conforming use.
- Maximum setbacks – 80' for majority of the area and, where appropriate, buildings adjacent to street ROW.
- Use additional lot coverage and building height as incentives.

	M-1	M-2
Truck Terminal	P	P
Car/Equipment Repair/Storage	P	P
Kennels	P	P
Medical Marijuana cultivation	P	P
Construction yards	P	P
Batch Plant		P
Vehicle Dismantling Yard	C	P
Waste Transfer Station	C	P
Junk Yard	C	P
Garbage Services	C	C
Recycling Center	C	P
Heavy Industry		P

# Implementation Strategies



- Zoning
- Affordable Housing
- Funding
- ComCor

# Recommendations



- **Recommendation 1:** Prepare a zoning overlay ordinance
- **Recommendation 2:** Prepare an Implementation Plan
- **Recommendation 3:** Develop a package of funding options/incentives.
- **Recommendation 4:** Develop a package of non-monetary incentive options.
- **Recommendation 5:** Prepare a corridor Transportation Plan



# Recommendations



- **Recommendation 6:** Study corridor transit options.
- **Recommendation 7:** Implement streetscape improvements
- **Recommendation 8:** Acquire railroad right of way
- **Recommendation 9:** Secure land for regional detention facilities
- **Recommendation 10:** develop affordable housing incentives

# Recommendations



- **Recommendation 11:** Encourage use of affordable housing funding options
- **Recommendation 12:** Work with County toward ComCor relocation
- **Recommendation 13:** Encourage redevelopment of former dog track
- **Recommendation 14:** Encourage relocation of Transit Mix and AmeriGas
- **Recommendation 15:** Encourage redevelopment of Kmart

# Master Plan Review Criteria



## Comprehensive Plan:

- Nevada Ave is identified as mature auto-oriented commercial corridor with potential for mixed-use redevelopment.

## Land Use Relationships:

- The Plan includes a mix of mutually supportive and integrated residential and nonresidential land uses with a network of interconnected streets and good pedestrian and bicycle connections.
- Proposed activity centers vary in size and are accessible from and serve as a benefit to the surrounding neighborhood or business area.
- The land use pattern is compatible with existing and proposed adjacent land uses.
- Housing types are distributed so as to provide a choice of densities, types and affordability.
- Land uses are buffered by transitions in land use intensity, with less intense uses to the south of Fillmore Street.

## Public Facilities:

- The proposed trail along the east side of North Nevada Avenue conforms to the adopted Park Systems Master Plan.
- Preparation of the Plan has been coordinated with Colorado Springs Utilities to address their ongoing needs in the area.
- The Plan makes recommendations for improving the drainage infrastructure and utilities in the area to support the Plan goals.
- New recreational opportunities are provided to service the expanded population proposed by the Plan.

# Master Plan Review Criteria



## Transportation:

- The Plan supersedes the previous 2009 corridor study and the Intermodal Transportation Plan, which proposed a 6-lane road, as takes into account the changed circumstances in the area and is based upon community input.
- The Plan has a logical hierarchy of arterial and collector streets and improves connectivity, mobility choices and access to jobs, shopping and recreation by proposing addition street connections.
- The Plan accommodates the extension of existing transit routes via the proposed transit corridor on the east side of North Nevada Avenue and recommends that the City undertake a more detailed assessment of the transit needs for the corridor and its integration with adjacent areas.
- The Plan has been vetted by the City Traffic Engineer to ensure that the increase in land use density proposed by the Plan can be supported by the proposed 4-lane street cross-section. The Plan recommends that the City undertake a more detailed assessment of the transportation infrastructure design and how it transitions to adjacent areas.

## Environment:

- The Plan preserves and seeks to take advantage of the view corridors toward the mountains.
- The Plan utilizes floodplains and drainageways as greenways for multiple uses.
- The Plan proposed to increase parks and trails in the area.

## Fiscal:

- The FIA shows that the Master Plan will have a positive fiscal impact for the City.

# Next Steps



- March 14 City Council public hearing