

## Thelen, Lonna

---

**From:** ANTHONY <puppy406@comcast.net>  
**Sent:** Thursday, December 22, 2016 11:07 AM  
**To:** Thelen, Lonna; Shayne Hall  
**Subject:** fle # cpc mpa00-00103-a1mj16 Van Buran and Centinal

Lina. ( City panning review )

I have done my research and working in support of the zone change for this development within they home owners at Indian Hills Townhouses.

In my support and relationship with they HOA I have confirmed with them that its in our interest to work together in improving this development in incorporating into a residential neighborhood.

With the city willingness to work together in supporting these concerns that I have and I know many of they other homeowners have I believe this would help support this development and give many others the support your looking for..

My experience in working with the city in owning and part of other developments throughout the city.I have worked hard in shaping projects that would have been approved with issue if not had the city looked deeper and made the changes that were beneficial to both the developer and the city and Nabobs .

Thank you for your support in your concerns. And with understanding how a little up front cost to the developer in some minor changes would make his project long lasting for both his and the neighbor's values.

A) Pines and decorative trees ,Ever ever greens to give some winter green are placed within and throughout the building along centennial plus the long strip of landscape separating those building from the ware house and office that there is also the continued landscape give some buffer to the warehouse.

b.) That they architect of the building are upscale and compliment they surrounding buildings. Stone added to the frontage with a compliment designed. added value to a consistence of centennial and not Fillmore

c) That a solid block or plastic fence be around the commercial parking of there trucks. Not cedar fencing. Lina this is a important point. Its not fare that on weekend and summer nights that everyone living and investing in the aria have to see a commercial parking lot of trucks in there back yards. This will put a limit on values, improved tax base and growth. I thought they owner was excepting the concern and willing to address it. this aria in known for there views. We need to preserve all we can .Something this minor would have a tremendous impact

d.) That signs on Van Buran and valley rd.be posted on a limitation on truck weight so the big commercial supply trucks do not use the side roads .

e.) That two of the four buildings in front of the warehouse that are set as a buffer zone are in affect and built prior or at the same time. the warehouse is set to be built. It would defeat the purpose of a buffer zone if they were not build at that time .and allowing the builder to build years latter . so again that those building have a purpose other than there use and that is for the Nabobs and the surrounding neighborhood values and development. If you allow then to be built at a latter time.MY experience is that it could be years before we see them built. plus they will encourage other commercial development north and south of continual.

f) that they ware house be limited to 30 feet allowing for two story .Being on a hillside will bring that height higher than the project height for that aria.

G.) That van Buran and Valley RD not be open until centennial goes through to fontinaro.

H.) that the over night lighting within the ware house is a lower voltage blending in with the evening .

I.) That there is a 4 year term to have the other buildings in front built out as they are part of the buffering of they industrial commercial building.

J.) That no tall sign over 10 feet identifying the warehouse or company.

k.) That there be requirements that the landscape be sprinkle system or drip in up keeping of landscape. that there be some portion of the front building having sod. giving a warmth to the Neighborhood.

Thank you Lina .ITs the small things that bring a great project together and make for future great projects and brings everyone together. This project will open up to the continued quality that other projects in the aria. Its so important that we bring the residential neighborhood and commercial together making Colorado the great city it continues to invasion.

thanks Anthony Vacca 719-310-1699 owner and residence in Indian hills Development town homes.

P.S. please let me know you have received this and IF you could support these items.

## MVS DEVELOPMENT LLC

P. O. Box 27560, Albuquerque, NM 87125

December 9, 2016

### Land Use Review Division

City of Colorado Springs

30 South Nevada Avenue, Suite 105

Colorado Springs, CO 80901

Attn: Lonna Thelen

Subject: Letter of support for the Concept Plan, Zone Change to an Office/Commercial PUD, and Master Plan Amendment to change from a multi-family residential to Office/Industrial/Light Commercial as submitted by James Nakai/JWNA Architects as agent for the contract purchaser of the subject property.

Ms. Thelen,

The managers of MVS Development LLC have reviewed the concept plan produced by JWNA Architects related to the 13-acre parcel which is located directly north of the unimproved Van Buren St. right of way and directly west of Centennial Blvd in Colorado Springs otherwise known as the Olson Site Concept dated November 8, 2016 (a copy of which is attached). This proposed development is located directly north of the portion of the MVS Development LLC property which is west of the unimproved Centennial Blvd right of way. To provide you with the benefit of our email communication regarding the proposed concept plan, below are questions posed with answers given from such email messages:

Here are initial questions and comments regarding the concept plan for the Pueblo Bank & Trust property which is north of the MVS property on the west side of Centennial Blvd: **ANSWERS FROM JAMES NAKAI ARE UNDERLINED**

- **What zoning/density/maximum height will be requested for the office area that fronts Centennial Blvd?** Office/Personal Service Commercial PUD/ FAR of 20 / 35'-0" max.
- **What zoning/maximum height will be requested for the office/warehouse facility which is behind and east of the office area?** Office Light Industrial PUD / 35'0" max.
- **What is the nature of the business that will be located in the office/warehouse facility?** Contractor's Office with outside storage on the north side of the building fully screened with a 6'-0" high wall.
- **What is the proposed pad grade of the office/warehouse parcel in relation to the pad grade of the office area adjacent to Centennial Blvd?** TBD, we are still waiting on our Topographic/Boundary Survey.
- **What size vehicles are operated by the business that will occupy the office/warehouse area?** Pick-up Trucks, Service Vans and (1) Dump Truck.

- Is the contract purchaser of the Pueblo Bank & Trust property also the owner of the business that will occupy the office/warehouse portion of the concept plan? Yes
- Will any of the proposed office buildings be constructed/owned by the contract purchaser or will the new office pads be marketed and sold to other developers in the future? TBD
- What will the 7500 SF Out Building be used for? Equipment Storage, only
- What operations will be conducted in the 35,000 SF warehouse facility? Storage of mechanical equipment & supplies/Light assembly/Fabrication of pipe
- Which entity will be responsible for the construction cost of the west portion of the Centennial Blvd Extension across the frontage of the property (Pueblo Bank & Trust or the New Purchaser)? Purchaser with cost recoveries to the parcels that are adjacent and are served by the extension of Van Buren to the west
- How will the No Build 2.43-acre area of the site be finished after the grading of the site and how will this area be maintained into the future? Open Space with a trail for the neighbors/native vegetation. Who will be responsible for the future maintenance of the No Build area of the site? Purchaser
- In our experience, the proposed parking ratio for the office area of 2.5 spaces per 1000 SF of office will not be adequate for most general office users. If a more generous parking ratio is required, how will this be accommodated? Will the requested zoning allow the height of the office buildings to increase in order to maintain rentable space and increase the available area for surface parking or will the office buildings remain two-stories and the leasable area of the buildings reduced? Parking will be 4 spaces/1,000 sq. ft. for General Office and 6 spaces/1,000 sq. ft. for Medical Office.

Additionally, from an email sent from James Nakai to Ted Waterman on November 14, 2016, below are the contents of the message which make certain representations regarding the nature and operation of the proposed development:

Ted:

Thanks for taking my call last week, and as promised I am attaching my client's proposed Office/Commercial site plan as proposed for re-zoning the 13-acre parcel to the north of your site.

My client's operation will be screened by the 1 and 2-story Class 'A' General Offices & Medical Offices with possibly some Personal Service Type Commercial Neighborhood Uses.

The Office/Warehouse building will be limited to 1-story, with all outside equipment in the yard totally enclosed with opaque screen walls and a maximum of 30 vehicles will be stored during the night within the confines of the fenced-in yard around the perimeter.

Their hours of operation will be from 7:00 – 6:00, five days a week. No weekend or night operations.

Please do not hesitate to call or email me with any questions.

Thanks,

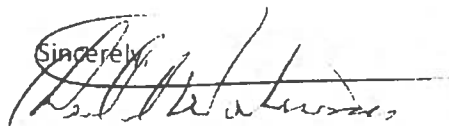
Jim Nakai, Architect

MVS Development LLC as a primary adjacent neighbor would expect the City of Colorado Springs to formalize the voluntary representations and declarations contained in the above referenced message related to any zoning or other approval given to allow this development to proceed.

As referenced in the questions/answers above, if two-story office buildings are constructed with surface parking ratios of 4/1000 SF to 6/1000 SF, the size of the building floor plates will be subject to these declared parking ratios and it may not be possible to construct the 80,000 SF of office space (in four separate structures) using an average of 5/1000 SF parking ratio. It has been represented to MVS Development that the average parking ratio of 5/1000 SF will be used and that the size of the two-story buildings (maximum height of 35 ft.) will be adjusted accordingly.

In a meeting of property owners on Thursday December 1, 2016 at Room 403 of 30 S. Nevada, which was attended by James Nakai of JWNA Architects and Ted Waterman of MVS Development, regional drainage issues related to the completion of the Centennial Blvd Extension were discussed. In that meeting Ted Waterman informed Aaron Egbert (Senior Engineer), Ryan Weaver of Aecom (the City's Engineering consultant) and James Nakai that all drainage coming from the properties north of the Van Buren St. right of way must either be handled on their site(s) or any drainage leaving its boundaries must be directed into a municipal storm sewer system which would extend south in the Centennial Blvd Extension to a basin which will be constructed by the City in the Sonderman Park area. No drainage from the subject parcel can encroach on the property owned by MVS Development LLC either before the proposed development or after the completion of the proposed development. As of this date, MVS Development does not have sufficient information from JWNA Architects or Aecom to understand how drainage from this site will be formally managed.

Based upon the representations made by JWNA Architects/James Nakai as referenced herein and pending the receipt of more detailed or missing information, MVS Development is supportive of the proposed development concept for the subject property.

Sincerely,  


Ted Waterman, Operations Manager of MVS Development LLC

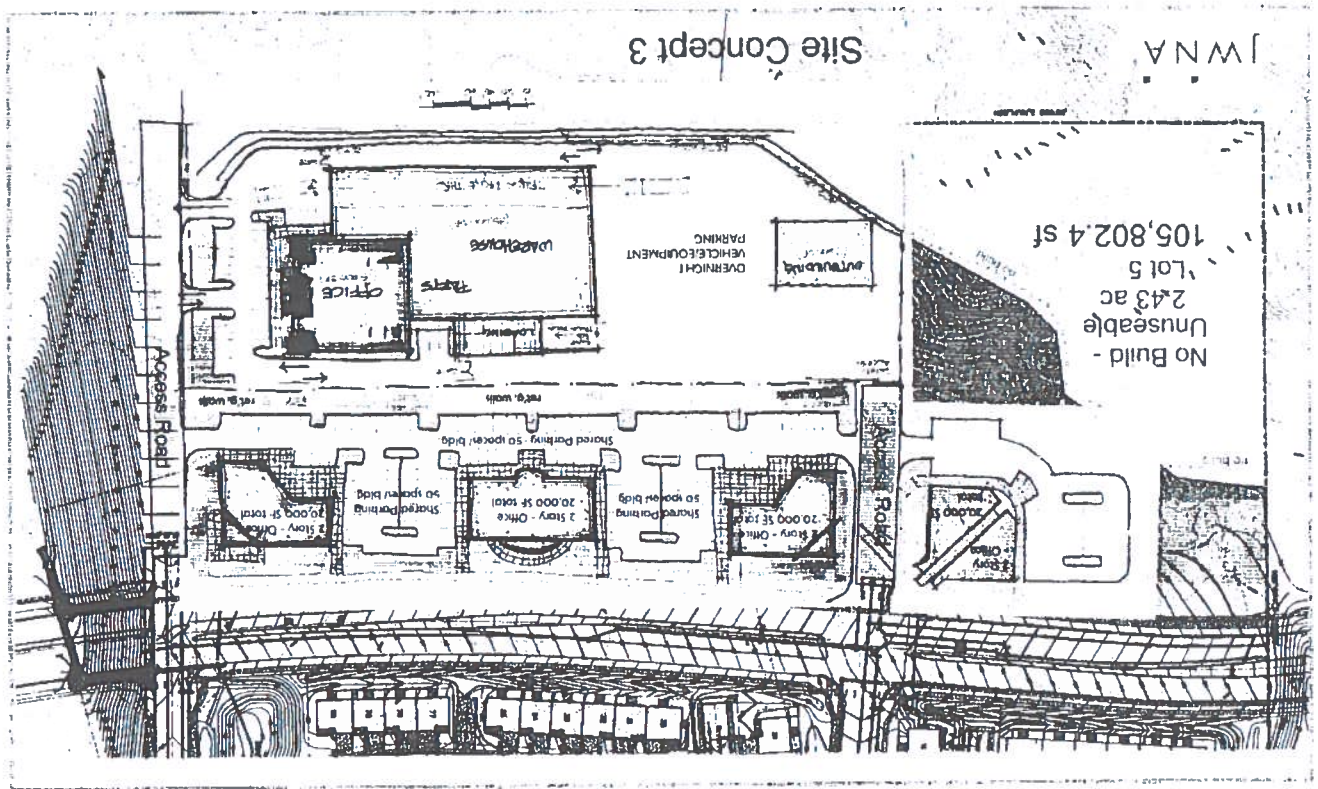


FIGURE 3 - Neighborhood comments

## Thelen, Lonna

---

**From:** Jim Easton <jpeaston97@hotmail.com>  
**Sent:** Wednesday, December 14, 2016 11:05 AM  
**To:** Thelen, Lonna  
**Cc:** Jim Easton  
**Subject:** Planning Department notice regarding a 12/19 public meeting

Ms. Thelen-

It is my understanding that the Planning Department meeting on 12/19 is set to discuss a zone change request, a concept plan for a commercial complex on the Centennial Blvd. extension, and amendments to the Mesa Springs Master Plan.

I am sorry I cannot attend but I would like to provide comments to the discussion.

As a resident of one of the Mesa neighborhoods, I have a keen interest in the process and outcomes of planning for development that affect our neighborhood. In the past we have not been notified of proposed developments because the City relies on the rule of 1000 feet. The history of the Mesa has allowed properties to be larger than some of the more recent urban developments, thus the land areas of individual parcels are larger. The 1000 foot notice for existing undeveloped areas typically does not extend to the residential areas nearest those proposals. Historically our input has not been heard.

As one of the authors of a past City Comprehensive Plan, I am intimately familiar with the concept and detail of such plans. While I am a supporter of the concept of infilling, I also believe that the City must look at projects on the Westside with a focus on consistency with the character of the area and a consideration for the interface with the existing neighborhoods. The Comprehensive Plan should always be considered a significant component in development review.

Our neighborhood association has heard reports from previous meetings with City Planning staff that suggest that the Comprehensive Plan is given little attention. The concepts of "compatible use" and "development consistent with the existing character" are sound principles that were designed to protect the unique and historic neighborhoods that make Colorado Springs different than anywhere else. Failing to consider these principles fails the community on many levels.

I urge City Planning to consider the "softer" component of planning when addressing this current project. Filling the empty land space and following basic zoning rules may be bureaucratically correct, however depending how it is done may not be in the best interest of the adjoining neighborhoods or the community at large. Please consider the "how" as well as the "what".

Thanks for your consideration.

Jim Easton  
31 Friendship Lane  
CS/CO 80904

Sent from [Mail](#) for Windows 10



December 18, 2016

Ms. Lonna Thelen  
Colorado Springs City Planning  
30 South Nevada Avenue, Suite 105  
P.O. Box 1575, Mail Code 310  
Colorado Springs, CO 80901

**Re: Indian Hills Village/Olson Plumbing & Heating Proposed Rezoning on Centennial Boulevard Property**

Dear Lonna:


As a real estate land broker in Colorado Springs for the past 20 years and the listing broker on the Indian Hills property for the owner, Pueblo Bank & Trust, I am writing to support the proposed rezoning from residential to commercial use for Olson Plumbing & Heating on the approximate 13.0 acre property located on the west side of the future southern extension of Centennial Boulevard from Fillmore Street.

The property is better suited for commercial use because of the future plans of the extension and expansion of Centennial Boulevard, which will become a heavily utilized thoroughfare on the west side of I-25. The proposed use is more consistent with future proposed and existing development on Centennial Boulevard north of Fillmore Street to 30<sup>th</sup> Street. The width of Centennial Boulevard offers an excellent break from residential uses on the east to proposed commercial uses on the west. Additionally, because of the development challenges, i.e. hillside overlay, soils, non-usable land, a commercial use can more easily mitigate these challenges and create a higher quality development that will have less impact in the immediate area.

I am in full support of the Mike Trapp's proposed development of his company's headquarters and future commercial use because I believe the overall use is better suited to this location and Mike Trapp's desire to work with the neighbors and City on creating a quality development.

Thank you for your consideration. Please call me if you have questions or if you would like to have me involved on behalf of the project at some point in the City process.

Best regards,

  
Jack Mason

cc: Mike Trapp,  
Kim Bennet, Pueblo Bank & Trust  
Jim Nakai  
Lisa Czelatdtko



## Thelen, Lonna

---

**From:** Jim Easton <jpeaston97@hotmail.com>  
**Sent:** Wednesday, December 14, 2016 11:05 AM  
**To:** Thelen, Lonna  
**Cc:** Jim Easton  
**Subject:** Planning Department notice regarding a 12/19 public meeting

Ms. Thelen-

It is my understanding that the Planning Department meeting on 12/19 is set to discuss a zone change request, a concept plan for a commercial complex on the Centennial Blvd. extension, and amendments to the Mesa Springs Master Plan.

I am sorry I cannot attend but I would like to provide comments to the discussion.

As a resident of one of the Mesa neighborhoods, I have a keen interest in the process and outcomes of planning for development that affect our neighborhood. In the past we have not been notified of proposed developments because the City relies on the rule of 1000 feet. The history of the Mesa has allowed properties to be larger than some of the more recent urban developments, thus the land areas of individual parcels are larger. The 1000 foot notice for existing undeveloped areas typically does not extend to the residential areas nearest those proposals. Historically our input has not been heard.

As one of the authors of a past City Comprehensive Plan, I am intimately familiar with the concept and detail of such plans. While I am a supporter of the concept of infilling, I also believe that the City must look at projects on the Westside with a focus on consistency with the character of the area and a consideration for the interface with the existing neighborhoods. The Comprehensive Plan should always be considered a significant component in development review.

Our neighborhood association has heard reports from previous meetings with City Planning staff that suggest that the Comprehensive Plan is given little attention. The concepts of "compatible use" and "development consistent with the existing character" are sound principles that were designed to protect the unique and historic neighborhoods that make Colorado Springs different than anywhere else. Failing to consider these principles fails the community on many levels.

I urge City Planning to consider the "softer" component of planning when addressing this current project. Filling the empty land space and following basic zoning rules may be bureaucratically correct, however depending how it is done may not be in the best interest of the adjoining neighborhoods or the community at large. Please consider the "how" as well as the "what".

Thanks for your consideration.

Jim Easton  
31 Friendship Lane  
CS/CO 80904

Sent from [Mail](#) for Windows 10

## Thelen, Lonna

---

**From:** George Maentz <mesaroad@comcast.net>  
**Sent:** Monday, December 19, 2016 10:41 AM  
**To:** Thelen, Lonna  
**Subject:** CPC PUZ 16-00144, CPC PUZ 16-00144, CPC MPA 00-00103-A1MJ16

Lonna,

Stepping back from the immediate details of these proposals, what I see is another example of project based city planning. Last February, about 100 residents of neighborhoods affected by development on the Mesa gathered to discuss the lack of guiding principles and the dismissal when convenient of Hillside or Comprehensive Plan directives when considering individual proposals. The rezoning of the Sentinel Ridge property, the Penrose Hospital tower, and the SLQC Senior Center were cited as examples. What we have is an outdated Mesa Springs Community Plan, a 2020 Master Plan that projects commercial use at the Centennial/Fillmore intersection only, and improvisation through the use of PUDs everywhere else.

This piecemeal approach invariably surprises and distresses neighborhoods. With demonstrated neighborhood interest in discussing compatible development on the Mesa and working with CONO, Planning, and commercial interests to fashion an updated framework for land use along Fillmore and the Centennial extension, these proposals elevate the concern that individual projects rather than community planning guide development. Adding a "Rapid Response" review label to these proposals further erodes confidence in the process and underscores a widely held belief that Planning represents commercial rather than community interests.

A zone change now allowing for office/retail/light industrial uses along the Centennial extension, without a community based review of the Mesa Springs Community Plan, could shape how the entire Mesa Valley area develops. This approach is neither responsive to neighborhood requests for a comprehensive review of Mesa development, nor is it responsible planning.

George Maentz  
1815 Mesa Road  
475-7624

**Thelen, Lonna**

---

**From:** Jan <janbaron1@aol.com>  
**Sent:** Thursday, December 29, 2016 5:26 PM  
**To:** Thelen, Lonna  
**Subject:** Indians Hills Business Park

Greg Baron and I (Janet Baron) support your plans for the business park. My sister lives I near this area and feels this plan would be very workable in their neighborhood. We agree with her after hearing about it. Thank you for your consideration.

Sincerely,  
Janet and Greg Baron

Sent from my iPad

**Thelen, Lonna**

---

**From:** Akjwill@aol.com  
**Sent:** Wednesday, December 28, 2016 12:33 PM  
**To:** Thelen, Lonna  
**Subject:** I STRONGLY SUPPORT this change in zoning File No: "CPC PUP 16-00145"

I STRONGLY SUPPORT this change in zoning --File No: "CPC PUP 16-00145"

Dear Lonna,

I appreciated the well run meeting regarding changing the zoning for the Olson Plumbing project which would be called "Indian Hills Business Park".

I STRONGLY SUPPORT this change in zoning if it will allow Olson Plumbing to develop the business park as shown in the plans presented at the December 19, 2016.

It looks to be a quality project where the buildings will blend into the area.

Thank you for your work to make this happen.

I have talked to several of the 20 homeowners here and many are in favor of the Indian Hills Business Park project rather than having high density apartment buildings and/or government work force apartment buildings in this area.

Thank you for taking my input. Please contact me if you have any questions or I can assist you in making this happen.

Sincerely,  
Joan Williams  
2576 Indian Hills Grove  
Colorado Springs, CO 80907

719-632-0532

## Thelen, Lonna

---

**From:** George Maentz <mesaroad@comcast.net>  
**Sent:** Monday, December 19, 2016 10:41 AM  
**To:** Thelen, Lonna  
**Subject:** CPC PUZ 16-00144, CPC PUZ 16-00144, CPC MPA 00-00103-A1MJ16

Lonna,

Stepping back from the immediate details of these proposals, what I see is another example of project based city planning. Last February, about 100 residents of neighborhoods affected by development on the Mesa gathered to discuss the lack of guiding principles and the dismissal when convenient of Hillside or Comprehensive Plan directives when considering individual proposals. The rezoning of the Sentinel Ridge property, the Penrose Hospital tower, and the SLQC Senior Center were cited as examples. What we have is an outdated Mesa Springs Community Plan, a 2020 Master Plan that projects commercial use at the Centennial/Fillmore intersection only, and improvisation through the use of PUDs everywhere else.

This piecemeal approach invariably surprises and distresses neighborhoods. With demonstrated neighborhood interest in discussing compatible development on the Mesa and working with CONO, Planning, and commercial interests to fashion an updated framework for land use along Fillmore and the Centennial extension, these proposals elevate the concern that individual projects rather than community planning guide development. Adding a "Rapid Response" review label to these proposals further erodes confidence in the process and underscores a widely held belief that Planning represents commercial rather than community interests.

A zone change now allowing for office/retail/light industrial uses along the Centennial extension, without a community based review of the Mesa Springs Community Plan, could shape how the entire Mesa Valley area develops. This approach is neither responsive to neighborhood requests for a comprehensive review of Mesa development, nor is it responsible planning.

George Maentz  
1815 Mesa Road  
475-7624

## Thelen, Lonna

---

**From:** Jim Easton <jpeaston97@hotmail.com>  
**Sent:** Wednesday, December 14, 2016 11:05 AM  
**To:** Thelen, Lonna  
**Cc:** Jim Easton  
**Subject:** Planning Department notice regarding a 12/19 public meeting

Ms. Thelen-

It is my understanding that the Planning Department meeting on 12/19 is set to discuss a zone change request, a concept plan for a commercial complex on the Centennial Blvd. extension, and amendments to the Mesa Springs Master Plan.

I am sorry I cannot attend but I would like to provide comments to the discussion.

As a resident of one of the Mesa neighborhoods, I have a keen interest in the process and outcomes of planning for development that affect our neighborhood. In the past we have not been notified of proposed developments because the City relies on the rule of 1000 feet. The history of the Mesa has allowed properties to be larger than some of the more recent urban developments, thus the land areas of individual parcels are larger. The 1000 foot notice for existing undeveloped areas typically does not extend to the residential areas nearest those proposals. Historically our input has not been heard.

As one of the authors of a past City Comprehensive Plan, I am intimately familiar with the concept and detail of such plans. While I am a supporter of the concept of infilling, I also believe that the City must look at projects on the Westside with a focus on consistency with the character of the area and a consideration for the interface with the existing neighborhoods. The Comprehensive Plan should always be considered a significant component in development review.

Our neighborhood association has heard reports from previous meetings with City Planning staff that suggest that the Comprehensive Plan is given little attention. The concepts of "compatible use" and "development consistent with the existing character" are sound principles that were designed to protect the unique and historic neighborhoods that make Colorado Springs different than anywhere else. Failing to consider these principles fails the community on many levels.

I urge City Planning to consider the "softer" component of planning when addressing this current project. Filling the empty land space and following basic zoning rules may be bureaucratically correct, however depending how it is done may not be in the best interest of the adjoining neighborhoods or the community at large. Please consider the "how" as well as the "what".

Thanks for your consideration.

Jim Easton  
31 Friendship Lane  
CS/CO 80904

Sent from [Mail](#) for Windows 10