

Vicinity Map
NOT TO SCALE



- LEGEND
- EXISTING CONTOURS
 - VEHICLE TRUCKING PNO
 - PROPOSED 1' CONTOURS
 - PROPOSED 4' CONTOURS
 - FRESH GRADE AT TOP OF WALL
 - EXISTING WALL ELEVATIONS
 - PROPOSED WALL ELEVATIONS
 - STRUCTURAL WALL ELEVATIONS

CPC-DP 20-000893

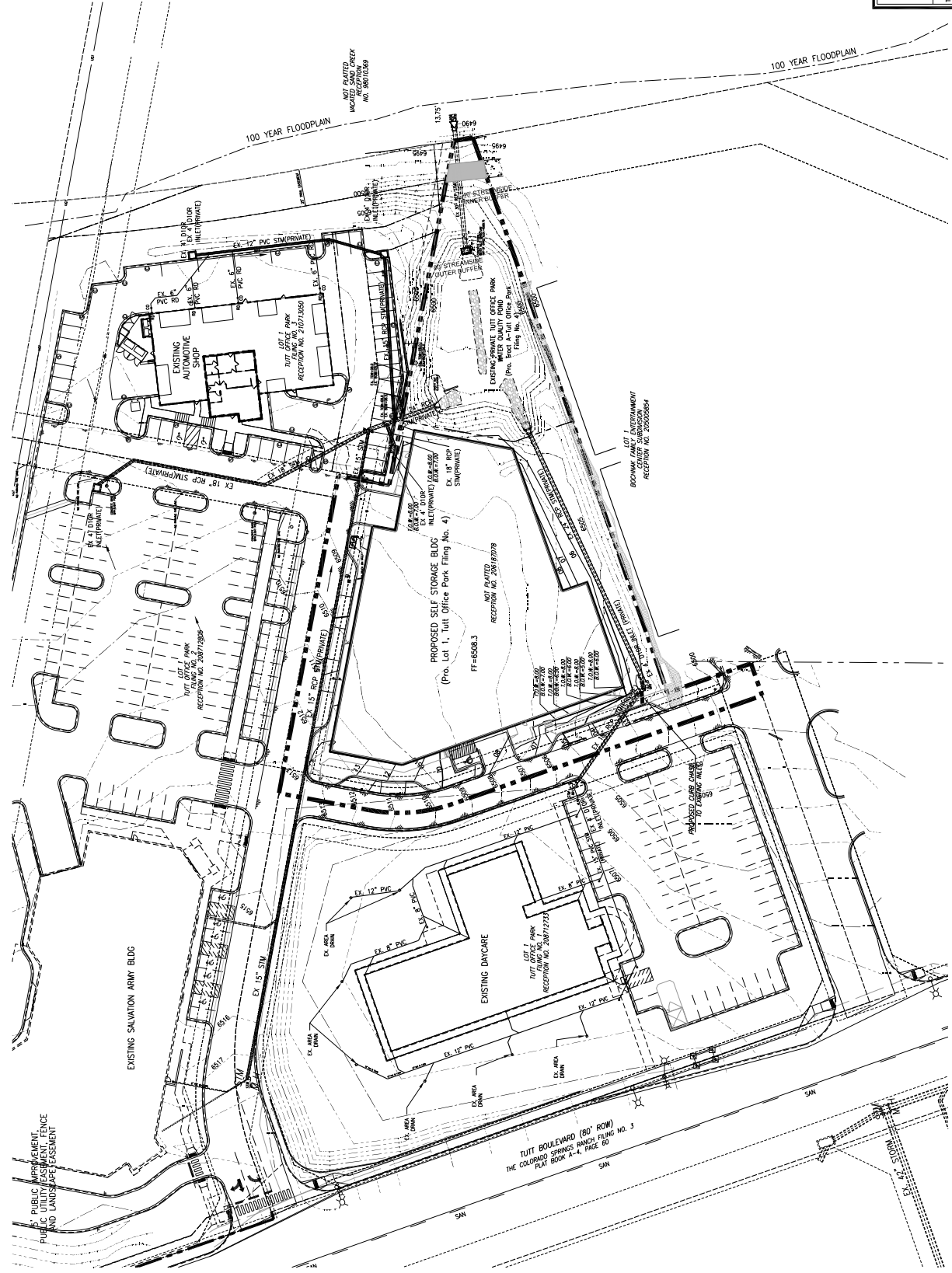
SHEET 2 OF 7

FILE: 100102008_50003

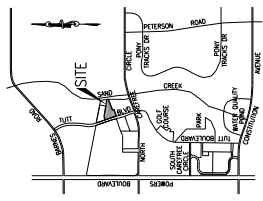
TRUCKWELL CONSULTING, INC.
100 S. WILSON AVENUE, SUITE 200
DENVER, CO 80202 (303) 733-1100

TUTTLE OFFICE PARK FILING NO. 4
PRELIMINARY GRADING PLAN

DATE: 5/29/20 DRAWN BY: JUB JOB NO.: 19-031
CHECKED BY: KCR



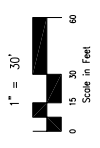
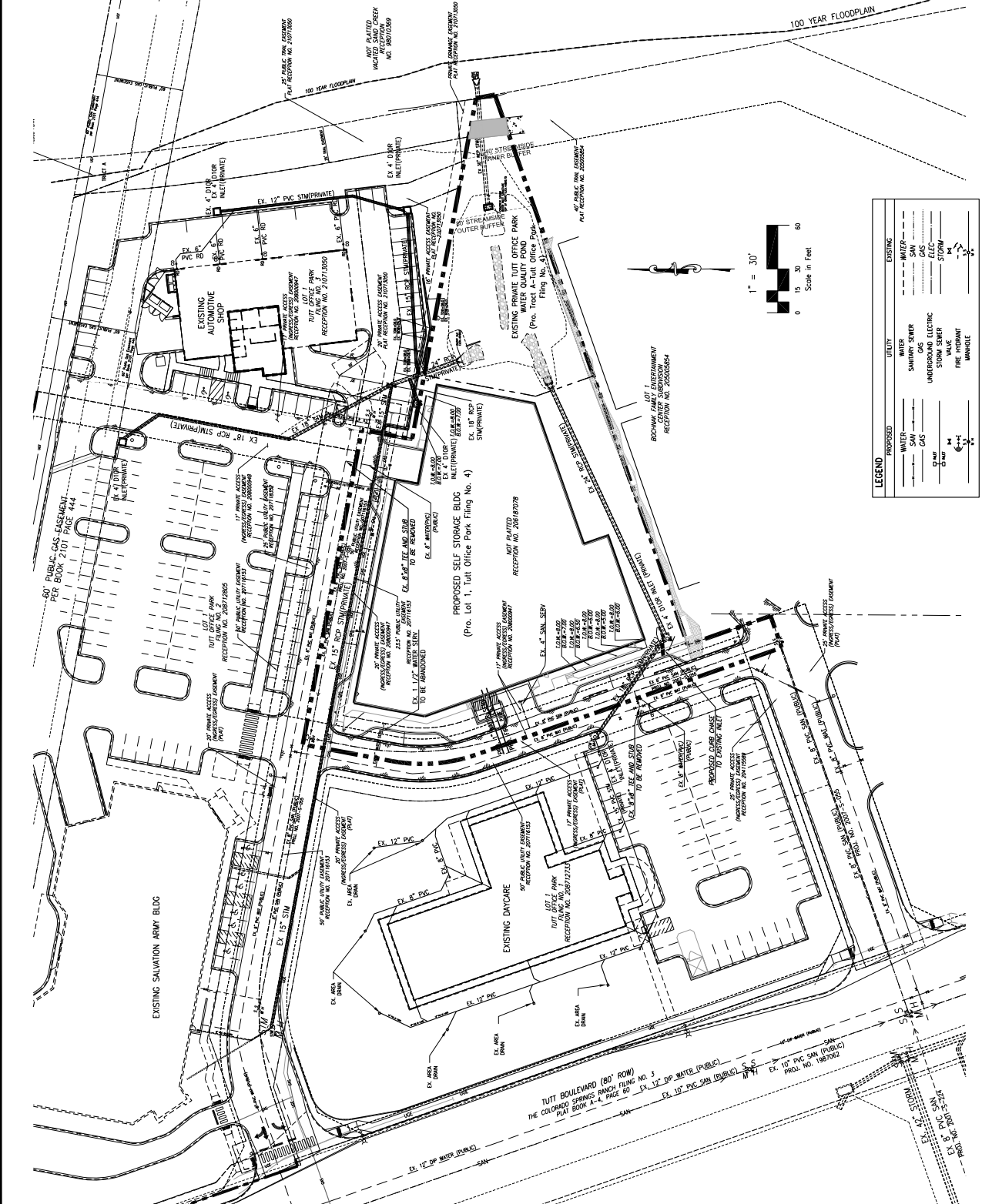
DEVELOPMENT PLAN



Vicinity Map
Map No. 20-00093

General Notes for Preliminary Utility Plans
 Property Owner(s) acknowledge and agree to the following upon approval of Preliminary Utility Plans:

1. Colorado Springs Utilities (CSU) shall make the final determination of the location of all water, wastewater, electric and gas facilities, which may not be the same as the location of the proposed buildings.
2. Property Owner(s) ("Owner") acknowledge that the connection and/or extension of any utility services to the proposed buildings is the responsibility of the Owner. CSU reserves the right to require the Owner to provide a cost recovery agreement for the extension of utility services to the proposed buildings.
3. Owner acknowledges responsibility for the costs of extensions or utility system to the property or to ensure timely environment of integrated utility systems serving the property and areas outside the property boundary and the cost of extending to and from the property. CSU may be eligible for a cost recovery agreement as a condition of service.
4. Springs Utilities utility services are available on the following streets: Peterson Road, Powers Boulevard, Tut Boulevard, and various creeks. CSU reserves the right to require the Owner to provide a cost recovery agreement for the extension of utility services to the proposed buildings.
5. The reaction or alteration of any existing utility facilities within the Property will be the responsibility of the Owner. CSU reserves the right to require the Owner to provide a cost recovery agreement for the extension of utility services to the proposed buildings.
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9. CSU reserves the right to require the Owner to provide a cost recovery agreement for the extension of utility services to the proposed buildings.



LEGEND

PROPOSED	UTILITY	EXISTING
Water	Water	Water
San	San	San
Gas	Gas	Gas
Electric	Electric	Electric
Storm Sewer	Storm Sewer	Storm Sewer
Fire Hydrant	Fire Hydrant	Fire Hydrant
Manhole	Manhole	Manhole

CFC DP 20-00093 SHEET 3 OF 7
 FILE NUMBER: 20-00093
 PROJECT: TUT OFFICE PARK FILING NO. 4
 PRELIMINARY UTILITY PLAN AND PUBLIC FACILITY PLAN
 DATE: 5/8/70
 DRAWN BY: KDR
 CHECKED BY: KDR
 JOB NO.: 19-031



YOW ARCHITECTS PC
ARCHITECTURE & PLANNING
115 S. Weber
Colorado Springs, Colorado 475-8133

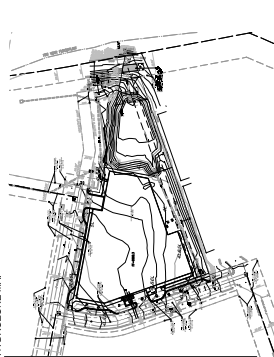
Structure:
Elevation:
Mechanical:
Lighting:

TUTT OFFICE PARK
3855 TUTT SPRINGS,
Colorado Springs, Colorado 80923

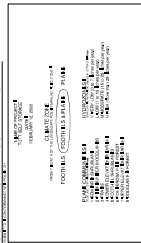
FILED NO. 4
3855 TUTT SPRINGS,
Colorado Springs, Colorado 80923

5 of 7
LANDSCAPE DETAILS

HYDROZONE MAP



SCHEMATIC LANDSCAPE DIAGRAM



GENERAL LANDSCAPE NOTES:

1. PLANT QUANTITY AND SUBSTITUTIONS OF EQUIVALENTS: All quantities shown on this plan are to be substituted with equivalent quantities of plants of similar size and habit, unless otherwise noted. All substitutions shall be approved by the landscape architect in writing.
2. ACCEPTABLE PLANT MATERIAL: All plants must be received from a reputable nursery and must be of the highest quality. All plants must be received from a nursery that is a member of the Colorado Nursery and Floriculture Council (CNFC) and must be grown in Colorado. All plants must be received from a nursery that is a member of the Colorado Nursery and Floriculture Council (CNFC) and must be grown in Colorado. All plants must be received from a nursery that is a member of the Colorado Nursery and Floriculture Council (CNFC) and must be grown in Colorado.
3. ALL PLANTS MUST BE RECEIVED FROM A REPUTABLE NURSERY AND MUST BE OF THE HIGHEST QUALITY. ALL PLANTS MUST BE RECEIVED FROM A NURSERY THAT IS A MEMBER OF THE COLORADO NURSERY AND FLORICULTURE COUNCIL (CNFC) AND MUST BE GROWN IN COLORADO. ALL PLANTS MUST BE RECEIVED FROM A NURSERY THAT IS A MEMBER OF THE COLORADO NURSERY AND FLORICULTURE COUNCIL (CNFC) AND MUST BE GROWN IN COLORADO.

PLANT	QUANTITY	REMARKS
...

RECOMMENDED SOIL AMENDMENT:
1. 1/2" COARSE SAND (100% SAND)
2. 1/2" COARSE COBBLE (100% COBBLE)

ALL AMENDED AREAS SHALL BE TIED TO DEPTH OF FINISH TO PLANTING.
CORRECT DEPTHES SHALL BE INCLUDED WITH THE SOIL AMENDMENT RECIPE PER TO EXHIBIT 1.

1. PLANTING: All plants shall be planted in accordance with the planting schedule and specifications.
2. IRRIGATION: All irrigation systems shall be installed in accordance with the irrigation schedule and specifications.
3. MAINTENANCE: All plants shall be maintained in accordance with the maintenance schedule and specifications.

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4. SOIL AMENDMENT: All soil amendment areas shall be installed in accordance with the soil amendment schedule and specifications.

5. MULCH: All mulch areas shall be installed in accordance with the mulch schedule and specifications.

6. COBBLE: All cobble areas shall be installed in accordance with the cobble schedule and specifications.

7. STEEL EDGE: All steel edge areas shall be installed in accordance with the steel edge schedule and specifications.

8. LANDSCAPE BOULDER: All landscape boulder areas shall be installed in accordance with the landscape boulder schedule and specifications.

9. EVERGREEN TREE: All evergreen tree areas shall be installed in accordance with the evergreen tree schedule and specifications.

10. PERENNIAL GROUND COVER: All perennial ground cover areas shall be installed in accordance with the perennial ground cover schedule and specifications.

11. SHRUB: All shrub areas shall be installed in accordance with the shrub schedule and specifications.

12. DECIDUOUS TREE: All deciduous tree areas shall be installed in accordance with the deciduous tree schedule and specifications.

13. PAVING: All paving areas shall be installed in accordance with the paving schedule and specifications.

14. CONCRETE: All concrete areas shall be installed in accordance with the concrete schedule and specifications.

NOTES:

- 1. DO NOT REMOVE OR CUT LEAVES.
- 2. REMOVE ANY DOUBLE LEAVES, UNLESS OTHERWISE DIRECTED BY OWNERS.
- 3. KEEP PLANTS TIED AND SHAVED UNTIL PLANTING.
- 4. MATERIAL, PREFERENTIALLY CANADA OR PEAT MOSS.

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OWNER INFO: First Presbyterian Church, 210 E. Biko St., Colorado Springs, CO 80903, phone no. 475-8133, city file no. CPC DP 20-00093



YOW ARCHITECTS
A PROFESSIONAL CORPORATION ARCHITECTURE & PLANNING
115 S. Weber Colorado Springs, Colorado 475-8133

Structure: _____
Elevation: _____
Mechanical: _____
Interior: _____
Site: _____

TUTT OFFICE PARK
3855 TUTT BOULEVARD
COLORADO SPRINGS, COLORADO 80923

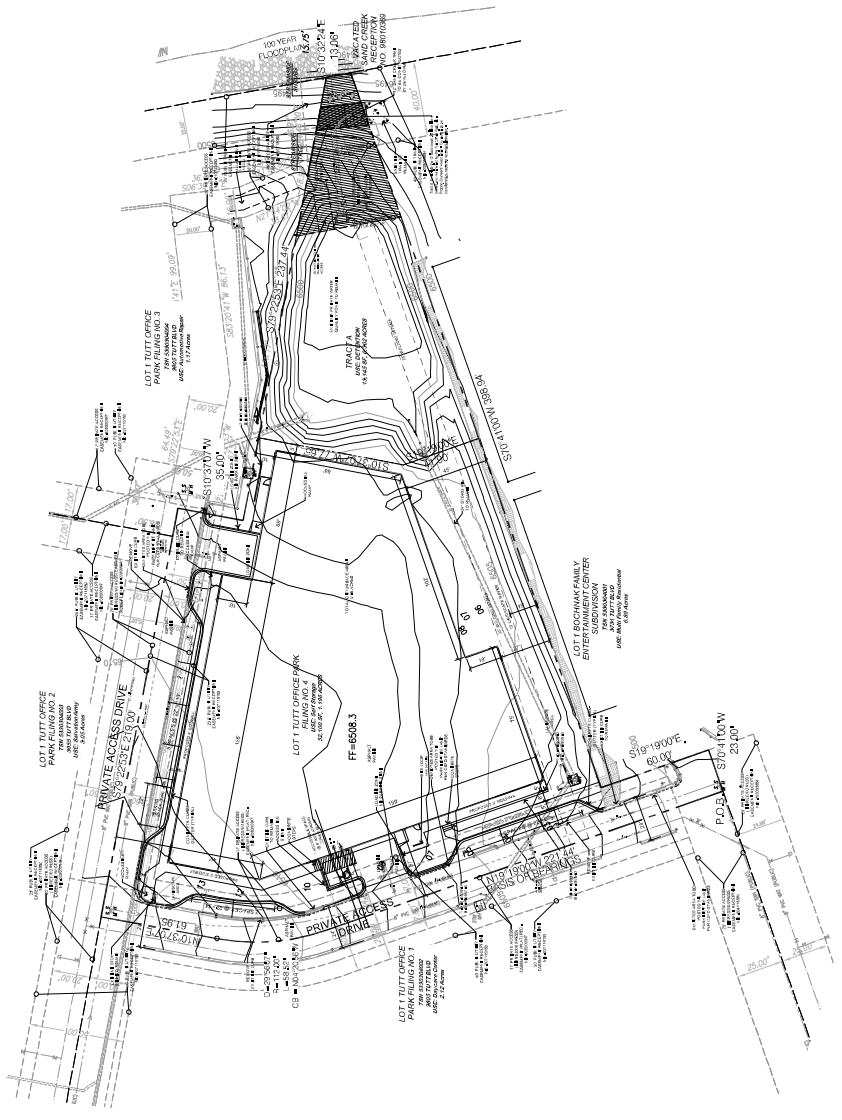
FILING NO. 4
CITY OF COLORADO SPRINGS
PLANNING DEPARTMENT
100 S. WASHINGTON ST.
COLORADO SPRINGS, CO 80902

FORM NO. 6
6 OF 7
STREAMSIDE
DEVELOPMENT PLAN

TUTT OFFICE PARK FILING NO. 4

A SUBDIVISION OF A PORTION OF THE SOUTHWEST 1/4 OF SECTION 30, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE 6TH MERIDIAN, COLORADO SPRINGS, COLORADO
1.488 ACRES

STREAMSIDE DEVELOPMENT PLAN



STREAMSIDE BUFFER TREE REQUIREMENT

total height of 13' streamside buffer
 calculation for 1 tree per 20' linear buffer
 required number 1 tree per 30' outer buffer
 trees required 1
 trees provided 4 Common Hackberry, 5 Woods Rose

STREAMSIDE

channel width 20'
 channel bank Type 3
 streamside slope 2:1 (60%) of
 imp. stream (60%) (60:20:80) (v=8)
 big area 0
 riparian tree area 230
 total riparian forest 290 sf (11%)

Impervious bus cover with outer buffer

NOTES:

1. The stream and riparian forest area shown on this plan are based on the existing conditions and are subject to change based on the results of a field survey.
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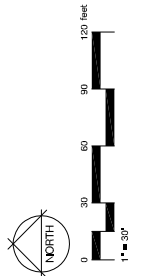
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OWNER INFO

company: First Presbyterian Church
 name: _____
 address: 219 E. BBou. St.
 city: Colorado Springs, CO 80903
 phone no: _____
 email: _____
 CPC-DFP-20-00063



DEVELOPMENT PLAN



YOW ARCHITECTS PC
 ARCHITECTURE & PLANNING
 115 S. Weber Colorado Springs, Colorado 475-8133

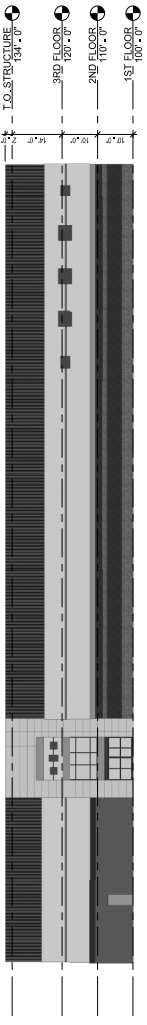
Structural:
 Electrical:
 Mechanical:
 Plumbing:

TUTT OFFICE PARK
 FILING NO. 4
 TUTT BOULEVARD
 Colorado Springs, Colorado 80923

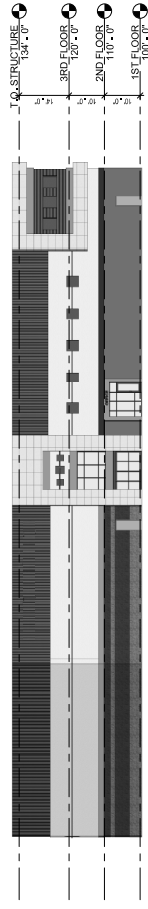
DATE: 02.29
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT NO: 15-12000

7 OF 7
 Elevations

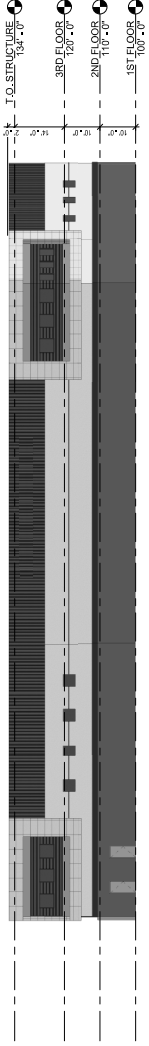
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 company name: First Presbyterian Church
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 city/county: CPC DP 20-00089



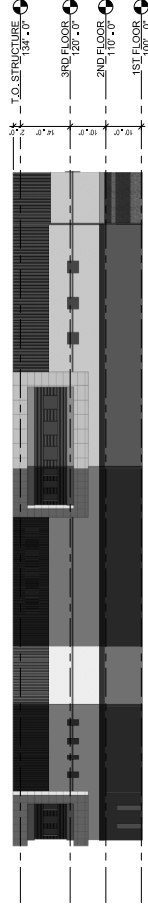
1 NORTHEAST ELEVATION
1/8" = 1'-0"



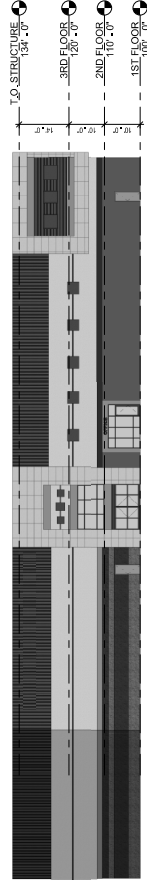
2 NORTHWEST ELEVATION
1/8" = 1'-0"



3 SOUTH ELEVATION
1/8" = 1'-0"



4 SOUTHEAST ELEVATION
1/8" = 1'-0"



5 WEST ELEVATION
1/8" = 1'-0"