

PODS STORAGE AT MARK DABLING CONDITIONAL USE DEVELOPMENT PLAN

6015 MARK DABLING BLVD.

SITUATED IN A THE EAST 1/2 OF SECTION 18, TOWNSHIP 13 SOUTH, RANGE 66 WEST, 6TH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO

LAND AREA:
176,589 SQ. FT. OR 4.05 ACRES MORE OR LESS

BASIS OF BEARING:
MONUMENTED TO WEST PROPERTY LINE, MONUMENTED AS SHOWN AND ASSUMED TO BEAR NORTH 12 DEGREES 35 MINUTES 57 SECONDS EAST.

BENCHMARK:
NO. 2 REBAR WITH A CONCRETE PLASTIC CAP INSCRIBED "CSJM LLC FLS 3249" AT THE NORTHERLY PROPERTY CORNER.

LEGAL DESCRIPTION:
A PORTION OF SUBDIVISION OF ROCKRIMMON BLVD. SUBDIVISION PLING NO. 1, RECORDED IN PLAT BOOK 1-4, PAGE 41, EL PASO COUNTY, COLORADO, CONTAINING A CALCULATED AREA OF 846,171 SQUARE FEET (14.83424 ACRES), MORE OR LESS, TO BE PLATED AS LOT 1, DABLING PROPERTIES FLING NO. 1, CITY OF COLORADO SPRINGS, EL PASO COUNTY, COLORADO

GENERAL NOTES:

- THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND ANY OTHER FEDERAL, STATE, OR LOCAL REGULATIONS. THE PARTIES DO NOT ASSUME LIABILITY FOR ANY VIOLATIONS OF THE ADA OR ANY OTHER FEDERAL, STATE, OR LOCAL REGULATIONS OR CODES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH ALL ADA AND OTHER POSING A SAFETY HAZARD, DAMAGED EXHIBING EXCESSIVE DETERIORATION OR NOT MEETING CURRENT CITY ENGINEERING STANDARDS ALONG MARK DABLING BLVD. ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED PRIOR TO CONSTRUCTION. THE PARTIES SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF COLORADO SPRINGS. A REVIEW INSPECTOR TO DETERMINE WHAT, IF ANY, IMPROVEMENTS ARE REQUIRED. THE INSPECTOR CAN BE REACHED AT 719-385-9977.
- ALL "STOP SIGNS" WILL BE INSTALLED BY THE DEVELOPER AT THE LOCATIONS SHOWN ON THE DEVELOPMENT PLAN TO MEET MUTCO STANDARDS. CONTACT TRAFFIC ENGINEERING SIGNS & MARKINGS AT 719-385-4720 FOR ASSISTANCE.
- IF A PERMIT IS REQUIRED, CONTACT THE DEVELOPMENT REVIEW ENTERPRISE AT 2860 INTERNATIONAL CIRCLE FOR SIGN PLAN APPLICATION.
- ALL LIGHTING FIXTURES SHALL BE FULL OUT-OFF OR HAZE SHIELDING TO REDUCE OFF-SITE LIGHTING IMPACTS ONTO ADJACENT DETENTION AND WATER QUALITY TREATMENT WILL BE PROVIDED ON-SITE.
- IT IS PROHIBITED TO STORE ANY CUSTOMER GOODS AND/OR MATERIALS IN CONTAINERS LOCATED OUTSIDE OF THE BUILDING.
- LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER, AND/OR THEIR ASSIGNS.
- THIS DEVELOPMENT IS SUBJECT TO THE REQUIREMENTS OF A STREAMSIDE DEVELOPMENT PLAN, PRIOR TO ANY DEVELOPMENT, INCLUDING ANY IMPROVEMENTS TO THE STREAM CORRIDOR, THE PROPERTY OWNER OR DEVELOPER TO DENOTE THE STREAM CORRIDOR, APPROPRIATELY FLAGGED BY THE PROPERTY OWNER OR DEVELOPER, TO DENOTE THE STREAM CORRIDOR. NO HEAVY EQUIPMENT OR CONSTRUCTION ACTIVITIES ARE PERMITTED IN THE PROTECTED AREA. THE FLAGS ARE TO REMAIN IN PLACE UNTIL CONSTRUCTION ACTIVITIES ARE COMPLETE.

FEMA CLASSIFICATION:

THIS PROPERTY IS LOCATED WITHIN ZONE X (AREAS OF 0.2% ANNUAL CHANCE FLOOD, AREAS OF 1% ANNUAL CHANCE FLOOD, AND AREAS OF 1% ANNUAL CHANCE FLOOD WITH AN ADDITIONAL 1% ANNUAL CHANCE FLOOD ZONE) AS ESTABLISHED BY FEMA PER PANEL 084105012 G, EFFECTIVE DATE DECEMBER 7, 2018.

APPROXIMATE SCHEDULE OF DEVELOPMENT:

NOVEMBER 2020 THROUGH AUGUST 2021

GEOLOGICAL HAZARD STUDY DISCLOSURE

THIS PROPERTY IS SUBJECT TO THE FINDINGS, SUMMARY AND CONCLUSIONS OF A GEOLOGICAL HAZARD REPORT PREPARED BY GEOTECHNICAL COLLABORATIVE, P.L.C. ON BEHALF OF THE DEVELOPER. THE GEOLOGICAL HAZARD REPORT IS ATTACHED TO THIS DEVELOPMENT PLAN AS APPROPRIATELY FLAGGED BY THE PROPERTY OWNER OR DEVELOPER, TO DENOTE THE GEOLOGICAL HAZARD REPORT. NO HEAVY EQUIPMENT OR CONSTRUCTION ACTIVITIES ARE PERMITTED IN THE PROTECTED AREA.

A COPY OF SAID REPORT HAS BEEN PLACED WITHIN FILE # 2020-10162020 SPRINGS PLANNING AND DEVELOPMENT TEAM, 30 SOUTH NEVADA AVENUE, SUITE 105, COLORADO SPRINGS, CO, IF YOU WOULD LIKE TO REVIEW SAID REPORT.

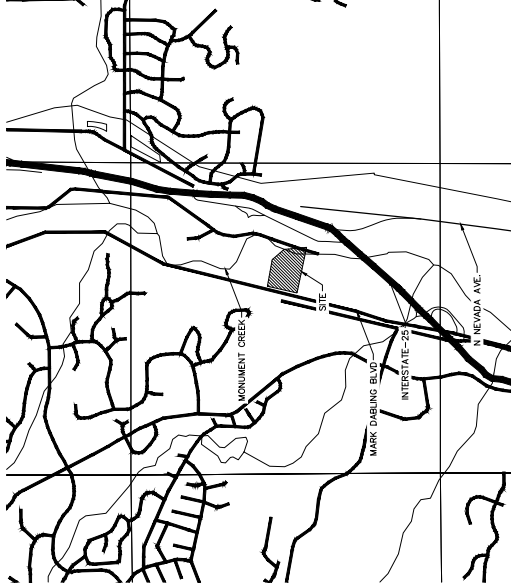
PREPARED: 10/16/2020

CITY APPROVAL:



DEVELOPMENT SPECIFIC NOTES:

- ALL PODS CONTAINERS STORED OUTSIDE OF THE BUILDING MUST BE STORED WITHIN THE DESIGNATED STORAGE AREA.
- LOCATED ON THE EAST SIDE OF THE BUILDING CAN ONLY BE STACKED 2 HIGH FOR A TOTAL HEIGHT OF 16-FEET.
- LOCATED ON THE NORTH SIDE OF THE BUILDING CAN BE STACKED 3 HIGH FOR A TOTAL HEIGHT OF 24-FEET.
- THIS DEVELOPMENT IS THE CLOSEST DEVELOPABLE PROPERTY ADJACENT TO AN UNNAMED CREEK NORTH OF THE PROPERTY. AN EROSION CONTROL PLAN, INCLUDING EROSION CONTROL MEASURES NECESSARY BY THE ANALYSIS, IMPROVEMENTS TO THE UNNAMED CREEK MUST BE COMPLETED, OR 100% ASSURANCES PAID PRIOR TO CONSTRUCTION. THE GEOLOGICAL HAZARD REPORT FOR THIS DEVELOPMENT MUST BE REVIEWED PRIOR TO THE PLANNING DEPARTMENT APPROVING THE FINAL PLAN.
- A SHARED PARKING AGREEMENT BETWEEN LOTS 1 AND 2 OF THIS DEVELOPMENT AND LOTS 1 AND 2 OF THE DEVELOPMENT ADJACENT TO THIS DEVELOPMENT IS BEING FILED IN FILE NO. 2020-10162020 AND RECORDED (REC# 2020-10162020).



VICINITY MAP (N15)

SITE DATA:

SITE AREA: 4.05± AC (176,589 SF)

ZONING CLASSIFICATION: PFI1 - PLANNED INDUSTRIAL PARK (CITY OF COLORADO SPRINGS) SS (STREAMSIDE OVERLAY) HS (HILLSIDE OVERLAY)

(1988 CODE §814-40, 14-42.7; ORD. 80-131; ORD. 91-30; ORD. 94-107; ORD. 01-42)

CITY FILE # CPC P-82-317

LAND USE: MINI-WAREHOUSE

JURISDICTION: CITY OF COLORADO SPRINGS

SITE ADDRESS: 6019 MARK DABLING BLVD., COLORADO SPRINGS, CO 80919

TAX SCHEDULE NO.: 63184-02-009

BUILDING SETBACKS: 50' FRONT SETBACK, 20' SIDE SETBACK, 50' REAR SETBACK, 115.2' PROVIDED, VARIANCE REQUIRED

MAXIMUM LOT COVERAGE: N/A

PROPOSED EASEMENTS: 1) 45' PUBLIC UTILITY EASEMENT FOR EXISTING WATER LINE AND PROPOSED GAS MAIN RELOCATION (OFF-SITE) 2) 6' PUBLIC IMPROVEMENT EASEMENT FOR A PROPOSED DETACHED PUBLIC SIDEWALK.

LANDSCAPE SETBACKS: N/A

PROPOSED VARIANCES: SIDE SETBACK ALONG SOUTH PROPERTY LINE, 30' REQUIRED/20' PROVIDED

SITE COVERAGE: BUILDING - 28,524

PAVEMENT - 38,524

LANDSCAPING - 33,524

DRAINAGE BASIN: ROCKRIMMON NORTH AND DRY CREEK

MASTER PLAN: ROCKRIMMON

BUILDING DATA:

TOTAL OFFICE AREA: 1,000 SF

WAREHOUSE AREA: 48,472 SF

UTILITY ROOM: 600 SF

BUILDING HEIGHT: 45'

MAXIMUM BY CODE: 45'

PROPOSED LOT COVERAGE: 428.5%

PARKING COUNTS:

BUILDING TYPE	PARKING RATIO	BUILDING AREA (SF)	PARKING REQUIRED	PARKING PROVIDED
MINI-WAREHOUSE	N/A	50,120	0	14
OFFICE (ACCESSORY USE)	1/400 SF	1,000	3	3
TOTAL PARKING			3	17
ACCESSIBLE (INCLUDED IN TOTAL COUNT)			1 (1 VAN)	1 (1 VAN)

PARKING NOTES:

1) 130 PARKING SPACES ARE TO BE REMOVED FROM THE EXISTING PARKING LOT THAT CURRENTLY SERVES THE EXISTING BUILDING TO THE SOUTH.

PLAN AMENDMENT HISTORY:

CITY FILE NUMBER	CHANGES TO PLANS	DATE OF APPROVAL
CPC-01 20-1010		

CONTACTS:

DEVELOPER:
DABLING PROPERTIES, LLC
657 OLD WILLETTS PATH
HAUPPAUGE, NY 11788
CONTACT: RICHARD S. KENT, R.A.

ENGINEER:
KIMLEY-HORN AND ASSOCIATES, INC.
2 NEVADA NORTH AVE., SUITE 300
COLORADO SPRINGS, CO 80903
TEL: (719) 284-7271
CONTACT: MITCHELL HESS, P.E.

LANDSCAPE ARCHITECT:
KIMLEY-HORN AND ASSOCIATES, INC.
2 NEVADA NORTH AVE., SUITE 300
COLORADO SPRINGS, CO 80903
TEL: (720) 636-8068
CONTACT: SEAN POWELL, P.L.A.

LIGHTING:
KIMLEY-HORN AND ASSOCIATES, INC.
2 NEVADA NORTH AVE., SUITE 300
PHOENIX, AZ 85020
CONTACT: PETER SYNTAX, P.E.

SHEET NUMBER	SHEET LIST TITLE
1	COVER SHEET
2	SITE PLAN
3	PRELIMINARY UTILITY AND FLOODING PLAN
4	PRELIMINARY GRADING PLAN
5	FINAL LANDSCAPE PLAN (WEST)
6	FINAL LANDSCAPE PLAN (EAST)
7	LANDSCAPE DETAILS
8	LANDSCAPE NOTES
9	STREAM-SIDE PLAN
10	LAND SUITABILITY ANALYSIS & NOTES
11	PHOTOMETRIC PLAN
12	BUILDING ELEVATIONS
13	TRASH ENCLOSURE DETAILS
14	ARCHITECTURAL DETAILS
15	

ARCHITECT:

GEOTECHNICAL COLLABORATIVE, P.L.C.
657 OLD WILLETTS PATH
HAUPPAUGE, NY 11788
CONTACT: RICHARD S. KENT, R.A.

SURVEYOR:
KIMLEY-HORN AND ASSOCIATES, INC.
2 NEVADA NORTH AVE., SUITE 300
COLORADO SPRINGS, CO 80903
TEL: (719) 284-7271
CONTACT: MITCHELL HESS, P.E.

OWNER:
DABLING PROPERTIES, LLC
657 OLD WILLETTS PATH
HAUPPAUGE, NY 11788
CONTACT: DON R. HULSEY, P.L.S.

CONTRACTOR:
KIMLEY-HORN AND ASSOCIATES, INC.
2 NEVADA NORTH AVE., SUITE 300
PHOENIX, AZ 85020
CONTACT: PETER SYNTAX, P.E.

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2 NORTH NEVADA AVENUE, SUITE 300
COLORADO SPRINGS, COLORADO 80903 (719) 453-0180

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6015 MARK DABLING BLVD.

SITUATED IN A THE EAST 1/2 OF SECTION 18, TOWNSHIP 13 SOUTH, RANGE 66 WEST, 6TH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO

DEVELOPMENT SPECIFIC NOTES:

1. ALL PODS STORED OUTSIDE OF THE BUILDING MUST BE STORED WITHIN THE DESIGNATED STORAGE AREA.
2. ALL PODS STORED OUTSIDE OF THE BUILDING CAN ONLY BE LOCATED ON THE EAST SIDE OF THE BUILDING.
3. ALL PODS STORED OUTSIDE OF THE BUILDING AND LOCATED ON THE NORTH SIDE OF THE BUILDING CAN BE STACKED 3 HIGH FOR A TOTAL HEIGHT OF 24'-0" (E.T.).



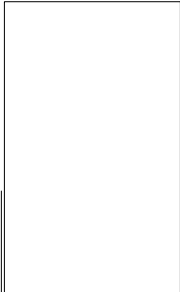
LEGEND

- PROPERTY LINE
- PROPOSED EASEMENT
- EXISTING EASEMENT
- SETBACK
- AR
- ACCESSIBLE ROUTE
- PROPOSED FENCE
- PROPOSED HIGHWAY GUARDRAIL
- PROPOSED FIRE LANE STRIPING
- PROPOSED VERTICAL CURB AND GUTTER
- PROPOSED LANDSCAPE AREAS
- CONCRETE SIDEWALK
- ASPHALT PAVEMENT
- HEATED CONCRETE APRON
- PROPOSED RETAINING WALL
- DRIVEWAY ACCESS SIGHT DISTANCE TRIANGLE

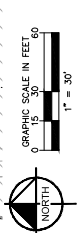
KEYNOTE LEGEND

1. PROPOSED CURB RAMP PER COLORADO SPRINGS STANDARD DRAWINGS D-8A AND D-8B
2. PROPOSED SIDEWALK RAMP
3. PROPOSED CONCRETE SIDEWALK, WIDTH PER PLAN, PER COLORADO SPRINGS STANDARD DRAWING D-2
4. PROPOSED 6" TYPE 1 CURB AND GUTTER PER COLORADO SPRINGS STANDARD DRAWING D-9
5. PROPOSED 4" TALL BLACK VINYL CHAIN-LINK FENCE, REFERENCE ARCH. DETAILS
6. PROPOSED TRASH ENCLOSURE, REFERENCE ARCHITECTURAL DETAILS
7. PROPOSED LANDSCAPE AREA, REFERENCE LANDSCAPE SHEETS
8. EXISTING VERTICAL CURB AND GUTTER
9. PROPOSED SITE LIGHTING, REFERENCE PHOTOMETRIC PLAN (SHEETS 12-13)
10. PROPOSED 4" WIDE PARKING STRIPE
11. PROPOSED 4" WIDE DIAGONAL PAVEMENT MARKINGS AT 36" ON CENTER
12. PROPOSED ADA PARKING, MARKING, AND SIGN
13. PROPOSED STOP SIGN PER MUTCD STD R1-1
14. PROPOSED HEATED CONCRETE APRON
15. PROPOSED MONUMENT SIGN
16. PROPOSED ACCESSIBLE PARKING SIGN
17. OUTDOOR PODS STORAGE LOCATION
18. PROPOSED CROSS PAV PER COLORADO SPRINGS STANDARD DRAWING D-7
19. PROPOSED BOLLARD
20. PROPOSED 18" VERTICAL CURB
21. EXISTING SIDEWALK, WIDTH PER PLAN
22. PROPOSED 200' M-604-15 TIMBER GUARDRAIL REFERENCE SITE DETAILS
23. PROPOSED CURB RAMP PER COLORADO SPRINGS STANDARD DRAWING D-8A AND D-8B
24. BUILDING SETBACK
25. PROPOSED NO LEFT TURN SIGN PER MUTCD STD R3-2
26. PROPOSED RETAINING WALL, REFERENCE SITE DETAILS
27. PROPOSED "DO NOT ENTER" SIGN PER MUTCD STD R6-1
28. PROPOSED 25" TALL SCREEN WALL, REFERENCE ARCHITECTURAL DETAILS
29. PROPOSED HANDRAIL
30. PROPOSED TRAIL SIGNAGE AREA, TREE ARRANGEMENT OF BENCHES TO MEET CITY OF COLORADO SPRINGS TRAILS AND PARKS REQUIREMENTS
31. PROPOSED "TRUCK RECEIVING" SIGN
32. PROPOSED "NO TRUCK ENTRY, CARS ONLY" SIGN

CITY APPROVAL:



Kimley-Horn
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2 NORTH NEVADA AVENUE, SUITE 300
COLORADO SPRINGS, COLORADO 80903 (719) 445-0180



SITE PLAN
SHEET 2 OF 15

NOTES:
1. ALL EXISTING UTILITIES AND ACCESS ABLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 2% IN ALL DIRECTIONS.

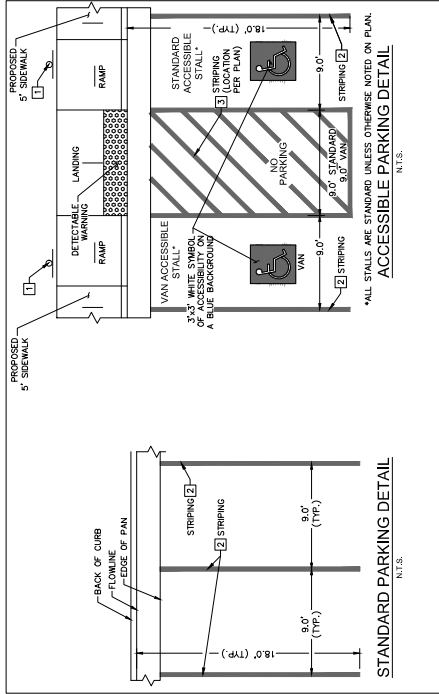
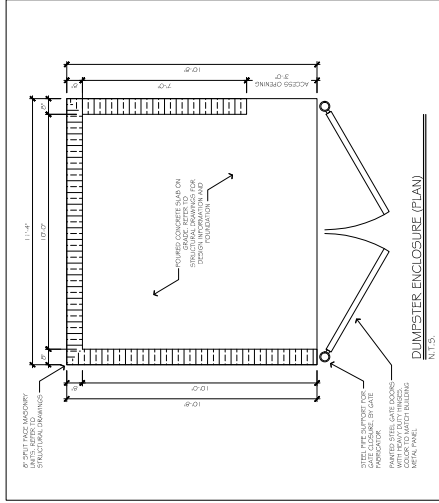
PODS STORAGE AT MARK DABLING DEVELOPMENT PLAN - CITY FILE NO. CPC CU 20-00110

DEVELOPMENT PLAN

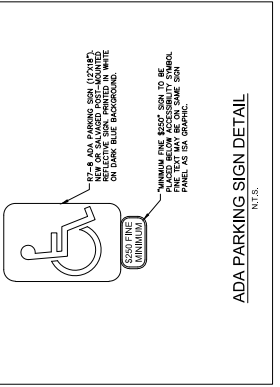
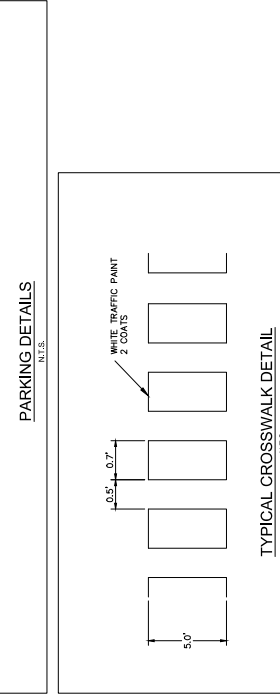
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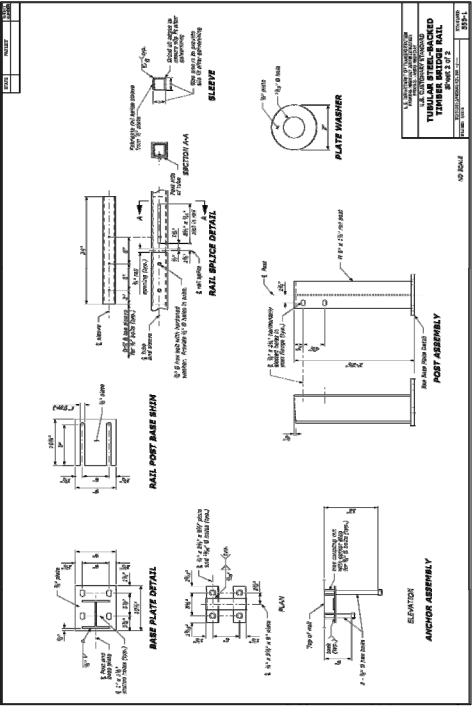
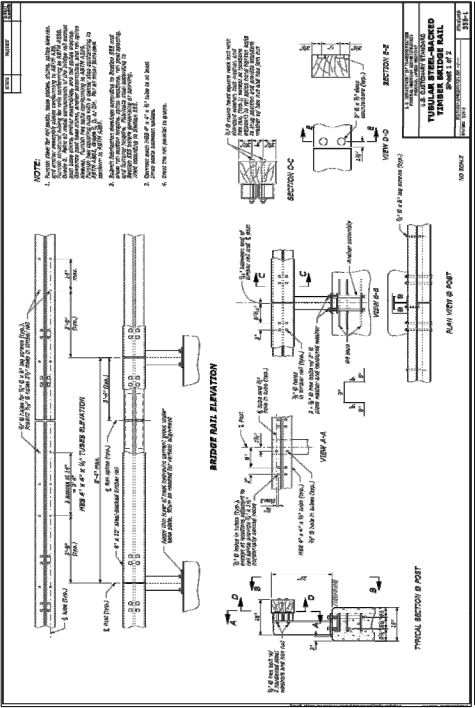


- 1 PROPOSED ADA SIGNAGE, BOTTOM OF SIGN TO BE MOUNTED 5' ABOVE FINISHED GRADE.
- 2 PROPOSED 4" WIDE PARKING STRIPE
- 3 PROPOSED 4" WIDE DIAGONAL PAVEMENT MARKINGS AT 36" ON CENTER



CITY APPROVAL:

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WEST, 6TH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO

LEGEND

---	PROPERTY LINE
---	EASEMENT
---	PROPOSED EASEMENT
---	EXISTING WATER LINE AND VALVE
---	PROPOSED WATER LINE AND VALVE
---	EXISTING SANITARY SEWER LINE AND MANHOLE
---	PROPOSED SANITARY SEWER LINE AND MANHOLE
---	EXISTING STORM LINE AND MANHOLE
---	PROPOSED STORM LINE
---	EXISTING COMMUNICATION LINE
---	PROPOSED COMMUNICATION LINE
---	EXISTING UNDERGROUND GAS LINE
---	PROPOSED UNDERGROUND GAS LINE
---	EXISTING UNDERGROUND POWER LINE
---	PROPOSED UNDERGROUND POWER LINE
---	PROPOSED INLET
---	PROPOSED FDC
---	PROPOSED FIRE HYDRANT
---	PROPOSED TRANSFORMER
---	PROPOSED CONDENSER UNIT
---	EXISTING SANITARY SEWER MANHOLE
---	PROPOSED SANITARY SEWER MANHOLE
---	PROPOSED RETAINING WALL

PRELIMINARY UTILITY NOTES

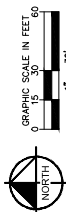
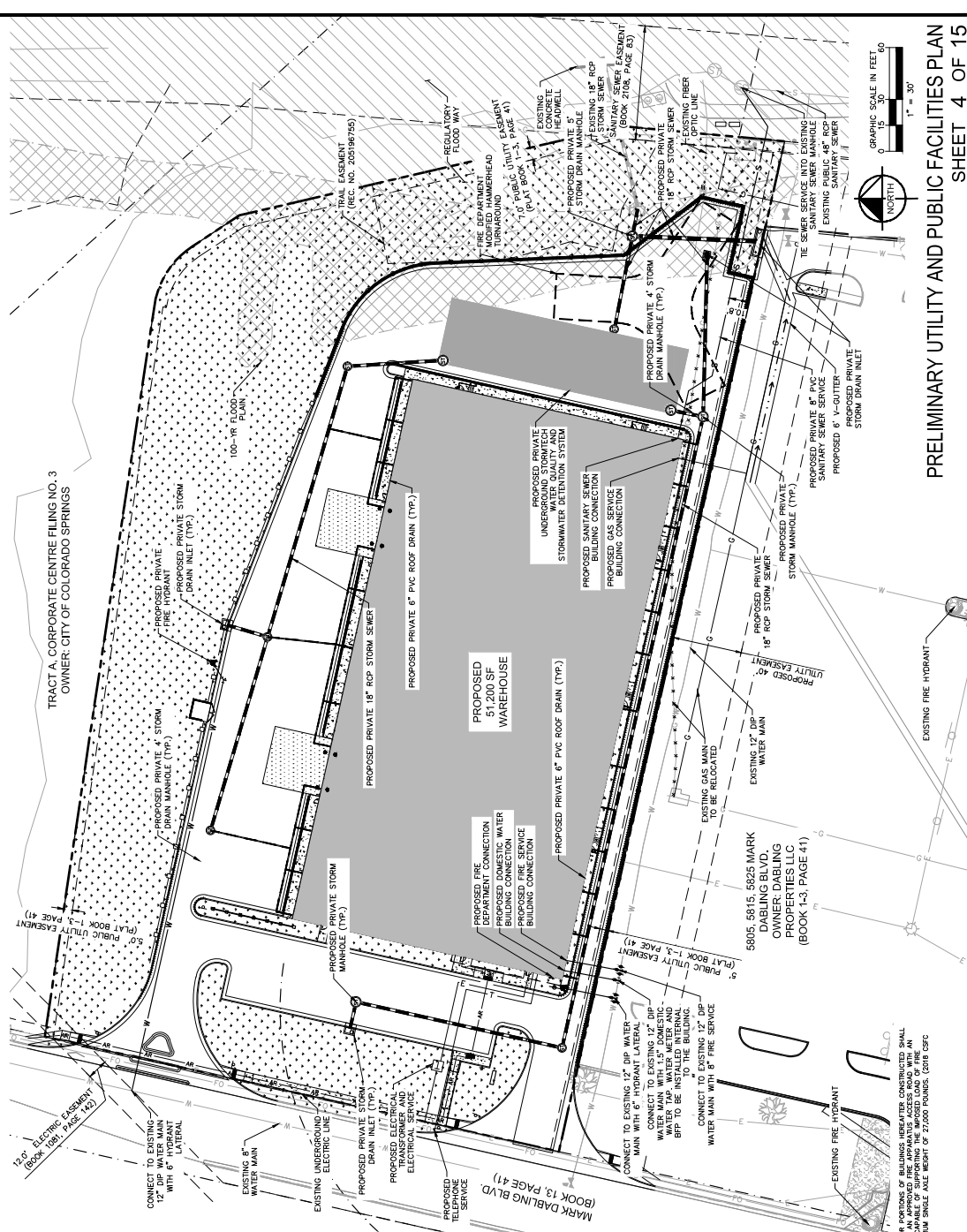
- PROPERTY OWNERS ACKNOWLEDGE AND AGREE TO THE FOLLOWING UPON APPROVAL OF PRELIMINARY UTILITY PLAN: COLORADO SPRINGS UTILITIES (SPRINGS UTILITIES) SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION OF THIS WATER, WASTEWATER, ELECTRIC AND GAS FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THIS PRELIMINARY UTILITY PLAN.
- PROPERTY OWNERS (OWNER) ACKNOWLEDGES THAT THE CONNECTION AND/OR EXTENSION OF UTILITY SERVICES TO THE PROPERTY IDENTIFIED IN THIS PRELIMINARY UTILITY PLAN (PROPERTY) SHALL BE IN ACCORD WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS AND STANDARDS, INCLUDING THE COLORADO SANITARY SEWER DEPARTMENT CODES, IN EFFECT AT THE TIME OF UTILITY SERVICE CONNECTION AND/OR EXTENSION.
- OWNER ACKNOWLEDGES RESPONSIBILITY FOR THE COSTS OF EXTENSIONS OR UTILITY SYSTEM IMPROVEMENTS THAT ARE NECESSARY TO SERVE THE PROPERTY AND AREAS OUTSIDE THE PROPERTY, INCLUDING THE COSTS TO DESIGN AND INSTALL WATER SYSTEMS, WASTEWATER COLLECTION SYSTEMS, AND ANY AGREEMENT AS PROVIDED IN UTILITIES RULES AND REGULATIONS.
- SPRINGS UTILITIES UTILITY SERVICES ARE AVAILABLE ON A FIRST-COME, FIRST-SERVED BASIS, AND THEREFORE NO GUARANTEE IS MADE THAT SPRINGS UTILITIES WILL BE AVAILABLE TO SERVE THE PROPERTY AT ANY TIME. UNTIL SUCH TIME AS AN APPLICATION FOR PERMANENT SERVICE IS APPROVED BY SPRINGS UTILITIES FOR THE PROPERTY, SPRINGS UTILITIES MAKES NO COMMITMENT AS TO THE AVAILABILITY OF ANY UTILITY SERVICE.
- OWNER SHALL OBTAIN AND MAINTAIN ALL NECESSARY PERMITS FROM ALL APPLICABLE AGENCIES, INCLUDING SPRINGS UTILITIES, AND SHALL CONVEY THOSE EASEMENTS PRIOR TO RELOCATING OR ALTERING THE EXISTING UTILITY FACILITIES.
- OWNER SHALL OBTAIN AND MAINTAIN ALL NECESSARY PERMITS FROM ALL APPLICABLE AGENCIES, INCLUDING SPRINGS UTILITIES, AND SHALL CONVEY THOSE EASEMENTS PRIOR TO RELOCATING OR ALTERING THE EXISTING UTILITY FACILITIES.
- OTHER THAN THE EASEMENTS AND EXPENSES OF SPRINGS UTILITIES DETERMINES THAT OWNERS RELOCATION OR ALTERATION OF UTILITY SERVICES SHALL BE AT OWNERS RISK AND SHALL BE AT OWNERS RISK.
- THE WATER SYSTEM FACILITIES MUST MEET SPRINGS UTILITIES CRITERIA FOR WATER QUALITY, RELIABILITY AND PRESSURE, INCLUDING LOOPING REQUIREMENTS (SEE SPRINGS UTILITIES LINE EXTENSION AND SERVICE STANDARDS).
- OWNER RECOGNIZES THAT THE EXTENSION OF WATER SYSTEM FACILITIES MAY AFFECT THE QUALITY OF WATER IN THE PROPERTY AND THAT SPRINGS UTILITIES DETERMINES NECESSARY IN ORDER TO MAINTAIN WATER QUALITY IN ITS SYSTEMS.
- OWNER MUST CONTACT SPRINGS UTILITIES FIELD ENGINEERING TO DETERMINE THE LOCATION OF ALL NATURAL GAS EXISTING WATER AND TRANSDUCERS AND TO SECURE REMOVAL OF GAS SERVICE-LINE PRESSURES IN EXCESS OF 90 PSI (SEE SPRINGS UTILITIES STANDARDS AND SYSTEM PRESSURE, CONTACT FIELD ENGINEERING AGENCY 688-9888 OR SOUTH 688-5584).
- IT SHALL NOT BE PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH WITHIN ANY SPRINGS UTILITIES UTILITY SERVICE AREAS, INCLUDING BUT NOT LIMITED TO ANY UTILITY EASEMENTS, SHALL NOT VIOLATE NATIONAL ELECTRICAL SAFETY CODE (NEC) PROVISIONS AND CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN OR REPAIR SPRINGS UTILITIES UTILITY SERVICES.
- SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF SPRINGS UTILITIES TO APPLY ITS STANDARDS, AND IF THERE ARE ANY CONFLICTS BETWEEN THIS PRELIMINARY UTILITY PLAN AND SPRINGS UTILITIES STANDARDS OR CITY CODE SHALL APPLY SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF THE CITY OF COLORADO SPRINGS OR SPRINGS UTILITIES TO CHANGE ANY OF THE PROVISIONS OF THE STANDARDS SO LONG AS THESE APPLY TO THE CITY GENERALLY AND ARE IN ACCORD WITH THE THEN-CURRENT TARIFFS, RATES AND FEES OF SPRINGS UTILITIES.
- ACCESS UNITS TO MAINTENANCE AREAS ARE TO BE ACCESSIBLE BY COLORADO SPRINGS UTILITIES VIA AN AID BOX.

ADDITIONAL NOTES

- NOTE THAT THE LAYOUT FOR DRY UTILITIES IS PRELIMINARY AND FOR CONCEPTUAL USE ONLY. ALL DRY UTILITY CONNECTIONS TO THE PROPERTY SHALL BE MADE BY SPRINGS UTILITIES.
- DETENTION FOR THIS SITE WILL BE PROVIDED BY A PROPOSED UNDERGROUND DETENTION SYSTEM.
- MINIMUM CLEARANCES BETWEEN STORM SEWER MANHOLE VENTILATION SEPARATION OF AT LEAST 18" SHALL BE MAINTAINED BETWEEN THE BUILDING PERIMETER TO THE OUTSIDE WALL, WHENEVER POSSIBLE, AND SHOULD NEVER BE PENETRATED BY ANYTHING MORE THAN 3 FEET INSIDE THE BUILDING.

FIRE DEPARTMENT NOTES

THE FIRE DEPARTMENT HAS CONDUCTED VISUAL SURVEYS OF THE PROPERTY AND HAS DETERMINED THAT ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS AND STANDARDS, INCLUDING THE COLORADO SANITARY SEWER DEPARTMENT CODES, IN EFFECT AT THE TIME OF UTILITY SERVICE CONNECTION AND/OR EXTENSION.



PRELIMINARY UTILITY AND PUBLIC FACILITIES PLAN
SHEET 4 OF 15
PODS STORAGE AT MARK DABLING DEVELOPMENT PLAN - CITY FILE NO. CPC CU 20-00110

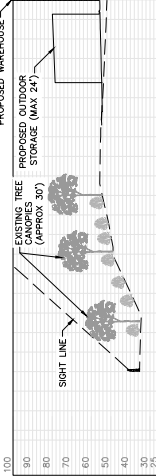
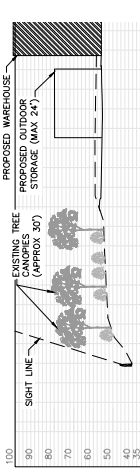
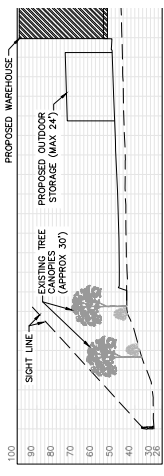
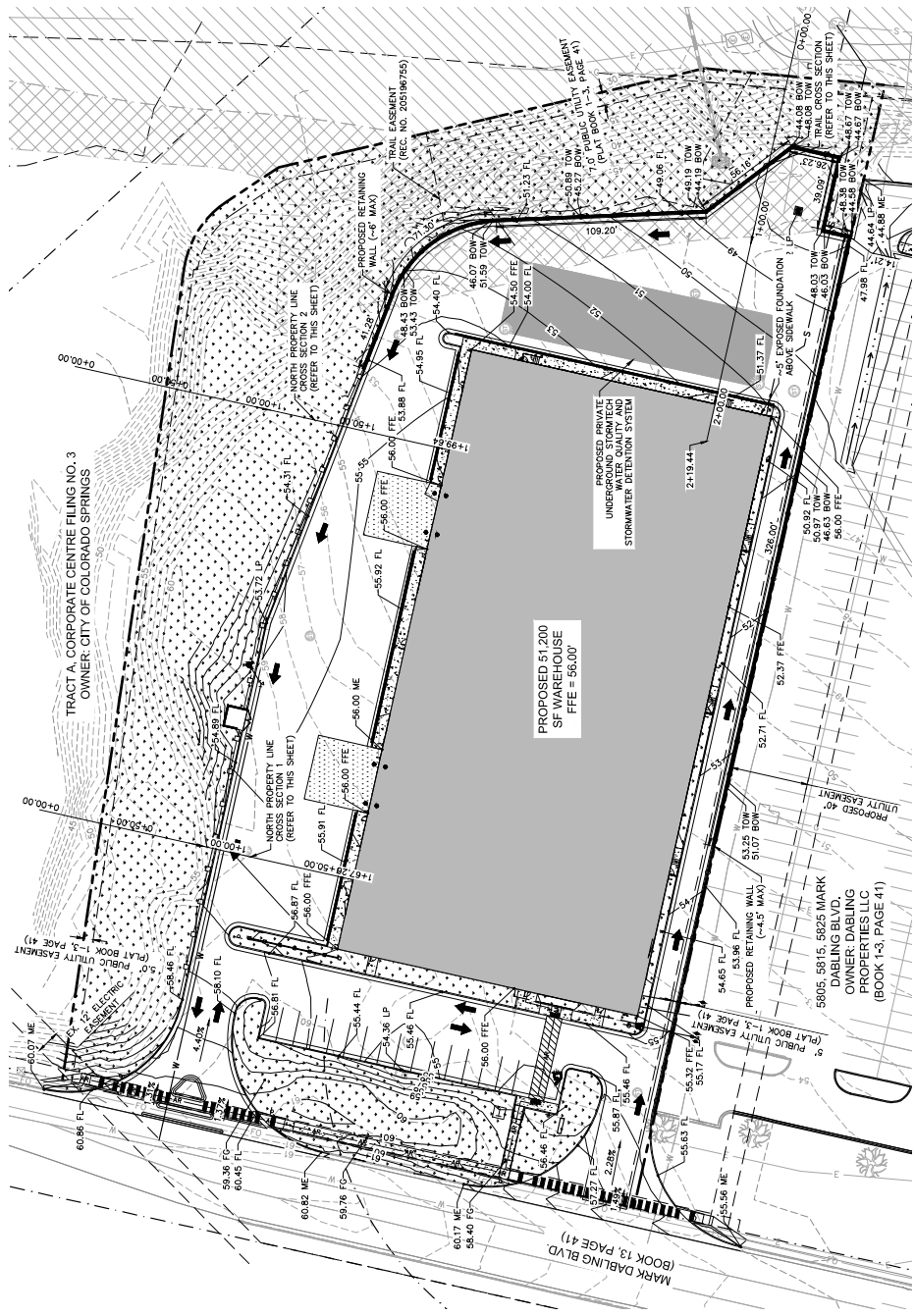
DEVELOPMENT PLAN

PODS STORAGE AT MARK DABLING CONDITIONAL USE DEVELOPMENT PLAN

6015 MARK DABLING BLVD.

SITUATED IN A THE EAST 1/2 OF SECTION 18, TOWNSHIP 13 SOUTH, RANGE 66 WEST, 6TH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO

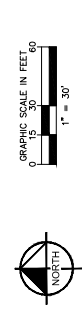
- LEGEND**
- PROPERTY LINE
 - EXISTING EASEMENT
 - PROPOSED EASEMENT
 - PROPOSED RETAINING WALL
 - PROPOSED 4" WIDE CONCRETE PAVEMENT
 - PROPOSED 4" WIDE CONCRETE PAVEMENT
 - PROPOSED SLOTTED CURB
 - PROPOSED CATCH BASIN
 - PROPOSED ACCESSIBLE ROUTE
 - PROPOSED MAJOR CONTOUR
 - PROPOSED MINOR CONTOUR
 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - LANDSCAPE
 - SIDEWALK
 - FINISHED GRADE
 - FTE FINISH FLOOR ELEVATION
 - LOW POINT
 - MEAN EXISTING
 - FLOW LINE
 - TOP OF WALL AT FINISHED GRADE
 - TW BOTTOM OF WALL AT FINISHED GRADE
 - HP HIGH POINT



CITY APPROVAL:

- GENERAL NOTES:**
- FOR ALL SPOT ELEVATIONS AND CONTOURS, ADD 6200' TO BRING TO PROPOSED GRADE.
 7. SITE USE BLOCK WALLS SHALL BE DESIGN/BUILD BY CONTRACTOR. WALLS SHALL BE COLORED TO MATCH THE FINISHES SHALL BE USED. WALL DESIGN SHALL BE SUBMITTED TO THE ENGINEER OF RECORD AND ARCHITECT OF RECORD BY CONTRACTOR FOR REVIEW.

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PRELIMINARY GRADING PLAN
SHEET 5 OF 15

PODS STORAGE AT MARK DABLING DEVELOPMENT PLAN - CITY FILE NO. CPC CU 20-00110

DEVELOPMENT PLAN

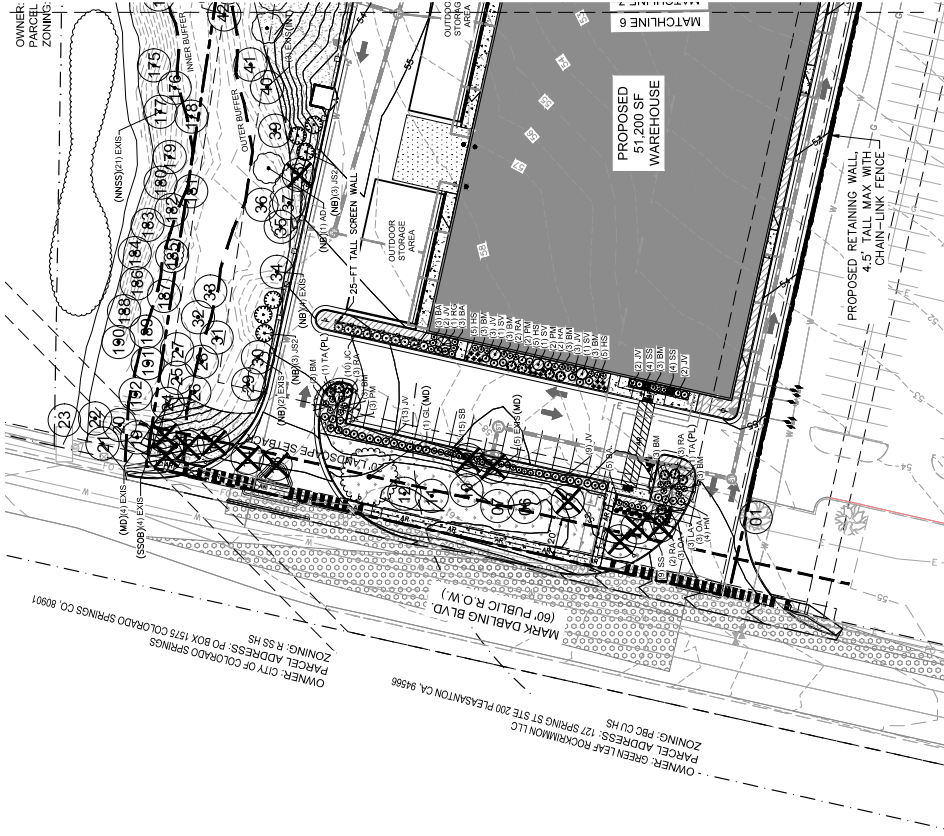
PODS STORAGE AT MARK DABLING CONDITIONAL USE DEVELOPMENT PLAN

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SITUATED IN A THE EAST 1/2 OF SECTION 18, TOWNSHIP 13 SOUTH, RANGE 66 WEST, 6TH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO

LEGEND
PROPERTY LINE
280 FT. DRIVEWAY ACCESS SIGHT DISTANCE TRIANGLE
EXISTING UN-SURVEYED TREES TO REMAIN UNDISTURBED IN PLACE

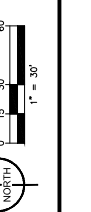
132



MARK DABLING FROM	NORTH PROPERTY LINE	EAST PROPERTY LINE	MARK DABLING TO	MARK DABLING FROM	NORTH PROPERTY LINE	EAST PROPERTY LINE	MARK DABLING TO
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FINAL LANDSCAPE PLAN (WEST)
SHEET 6 OF 15

PODS STORAGE AT MARK DABLING DEVELOPMENT PLAN - CITY FILE NO. CPC CU 20-00110



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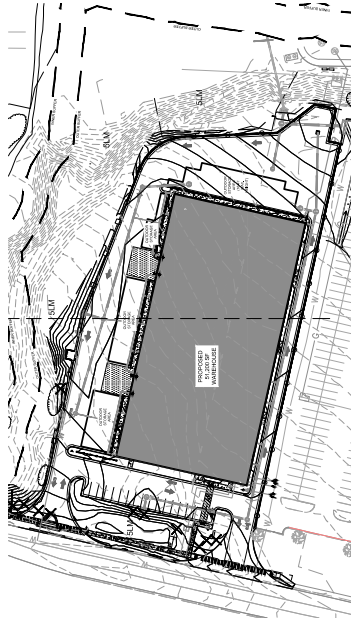
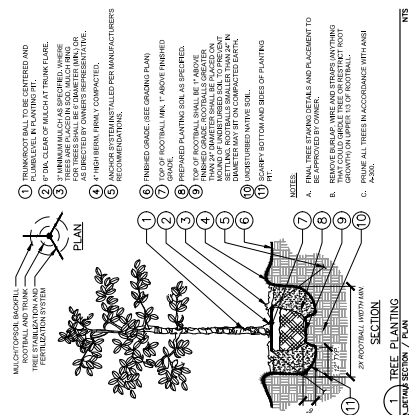
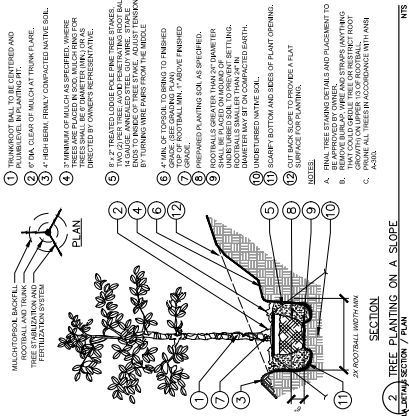
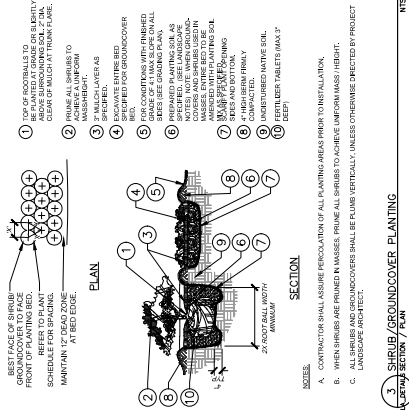
CITY APPROVAL:

DEVELOPMENT PLAN

PODS STORAGE AT MARK DABLING CONDITIONAL USE DEVELOPMENT PLAN

6015 MARK DABLING BLVD.

SITUATED IN A THE EAST 1/2 OF SECTION 18, TOWNSHIP 13 SOUTH, RANGE 66
WEST, 6TH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO



Schematic Landscape Diagram

Climate Zone: Warm (From Figure 4 of Landscape Plants Manual)

Scale: 1" = 10'-0"

Plant Communities

- 1 - 10' to 15' tall by 10' to 15' wide
- 2 - 15' to 20' tall by 10' to 15' wide
- 3 - 20' to 25' tall by 10' to 15' wide
- 4 - 25' to 30' tall by 10' to 15' wide
- 5 - 30' to 35' tall by 10' to 15' wide
- 6 - 35' to 40' tall by 10' to 15' wide
- 7 - 40' to 45' tall by 10' to 15' wide
- 8 - 45' to 50' tall by 10' to 15' wide

Hydrozone (soil moisture)

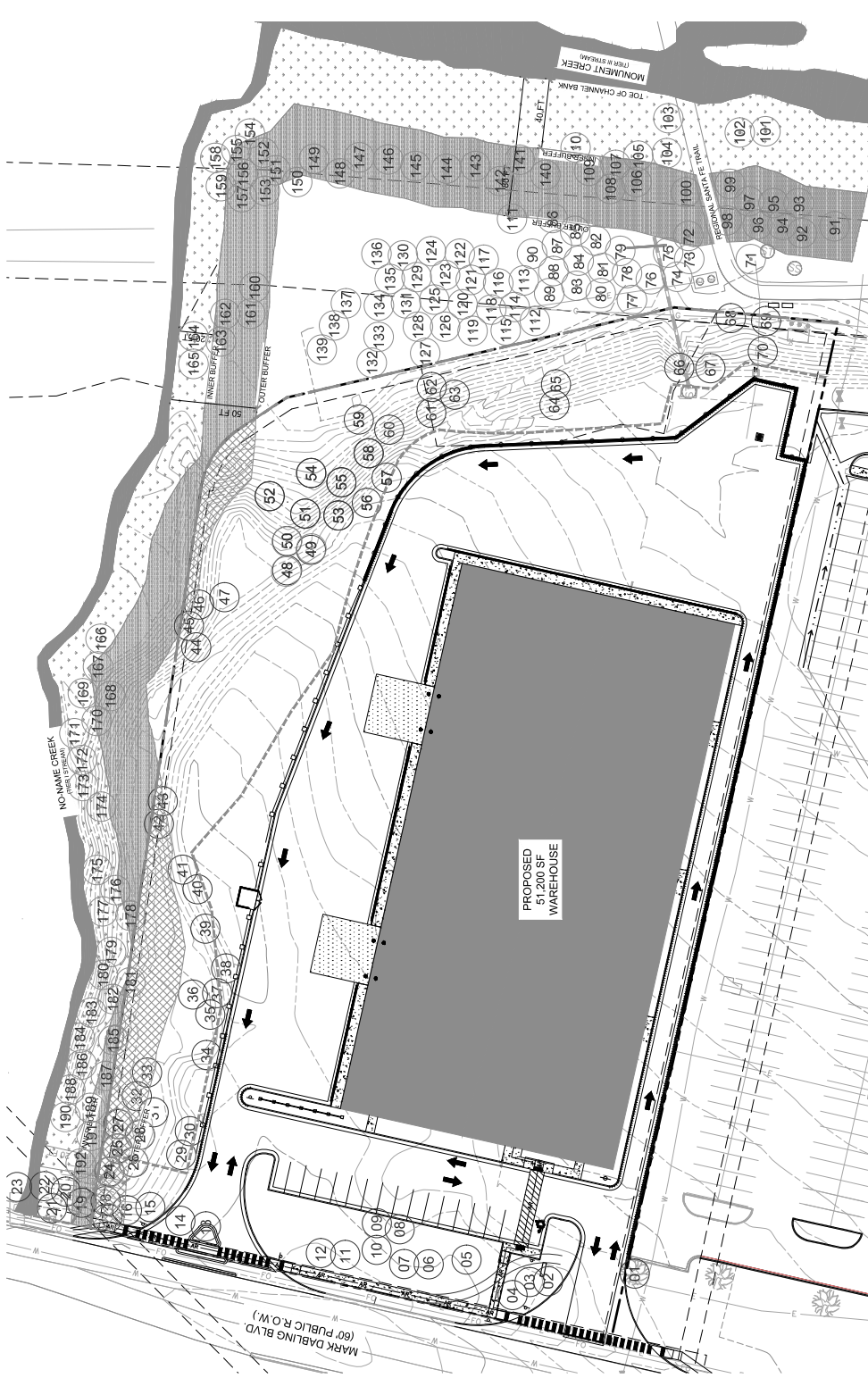
- L - Low (2 to 15 inches per year)
- M - Moderate (15 to 25 inches per year)
- H - High (more than 25 inches per year)

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PODS STORAGE AT MARK DABLING CONDITIONAL USE DEVELOPMENT PLAN

6015 MARK DABLING BLVD.
SITUATED IN A THE EAST 1/2 OF SECTION 18, TOWNSHIP 13 SOUTH, RANGE 66
WEST, 6TH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO



- STREAMSIDE LEGEND:**
- PROPERTY LINE
 - - - LIMITS OF DISTURBANCE
 - STREAM AREA
 - ▨ INNER BUFFER, (OUTSIDE OF PROPERTY LINE)
 - ▩ OUTER BUFFER, (OUTSIDE OF PROPERTY LINE)
 - ▧ OUTER BUFFER, (INSIDE OF PROPERTY LINE)
 - (132) EXISTING UNSURVEYED TREES TO REMAIN UNDISTURBED IN PLACE

* EXISTING TREES IS PROPOSED TO FULFILL THE REQUIRED TREE COUNT FOR THE STREAMSIDE BUFFERS
** SEE STREAM SIDE DATA TABLE ON NEXT SHEET

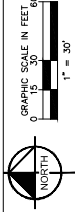
- STREAMSIDE NOTES:**
1. THIS STREAMSIDE CONCEPT PLAN IS BEING COMPLETED FOR THE PORTION OF MONUMENT CREEK, A TYPE 1 SIZED CREEK, WHICH IS LOCATED ON THE NORTH SIDE OF THE SITE, A BUFFER OF 50 FT. IS NOT TO BE DISTURBED FOR MONUMENT CREEK, A BUFFER OF 50 FT FROM THE TOP OF THE CREEK IS NOT TO BE DISTURBED FOR THE NO-NAME CREEK, OUTSIDE OF THE PROPERTY BOUNDARIES AND IS NOT TO BE DISTURBED FOR THE NO-NAME CREEK.
 2. THE STREAMS OUTER BUFFER, AS SPECIFIED ON THE PLAN, SHALL BE 50 FT WIDE FOR MONUMENT CREEK AND 50 FT WIDE FOR NO-NAME CREEK AND SHALL NOT BE DISTURBED.
 3. THE STREAMS INNER BUFFER, AS SPECIFIED ON THE PLAN, SHALL BE 50 FT WIDE FOR MONUMENT CREEK AND 20 FT WIDE FOR NO-NAME CREEK AND SHALL NOT BE DISTURBED.
 4. NO IMPERVIOUS SURFACES SHALL BE PROVIDED WITHIN THE INNER OR OUTER BUFFER.
 5. ALL EXISTING VEGETATION ALONG BOTH CREEKS SHALL REMAIN IN PLACE AND SHALL NOT BE DISTURBED. VEGETATION SHALL BE MAINTAINED AND RECONSTRUCTED SIDEWALK AND CURB RAMP TO BE CONSTRUCTED ON THE SITE.
 6. ALL REQUIRED TREES SHALL BE FINISHED USING EXISTING VEGETATION ALONG THE CREEK.
 7. A FINAL LANDSCAPE AND IRRIGATION PLAN SHALL BE SUBMITTED AND REVIEWED CONCURRENT WITH THE BUILDING PERMIT SUBMITTAL AND APPROVED PRIOR TO ISSUANCE OF A BUILDING PERMIT.

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1 STREAMSIDE OVERLAY PLAN
PLAN



PODS STORAGE AT MARK DABLING CONDITIONAL USE DEVELOPMENT PLAN

6015 MARK DABLING BLVD.

SITUATED IN A THE EAST 1/2 OF SECTION 18, TOWNSHIP 13 SOUTH, RANGE 66 WEST, 6TH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO

LUMINAIRE SCHEDULE							
LEGEND	QTY	WATTS	LUMENS	COLOR TEMP. (K)	LIGHTING FACTOR (L.F.)	CATALOG NUMBER	MOUNTING HEIGHT
A	4	225	23,844	4000K	0.95	GLEON-AF-04-LED-277-TW-BZ-WM-F	38'-0"
B	8	33.4	4,145	4000K	0.90	IST-AF-600-LED-277-TFT-BZ-MS/DML20-CWB	8'-0"
C	7	33.4	3,874	4000K	0.90	IST-AF-600-LED-277-SL3-BZ-MS/DML20-CWB	8'-0"
D	2	225	24,013	4000K	0.95	GLEON-AF-04-LED-277-SL3-BZ-WM-F	25'-0"

*LF IS BASED ON THE 60,000 HOUR TM-21 LUMEN MAINTENANCE DATA PROVIDED IN THE MANUFACTURER OUT SHEET

GENERAL NOTES

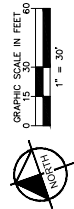
- PHOTOMETRIC PLANS ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY.
- PHOTOMETRIC PLANS ARE THE PROPERTY OF THE DESIGNER. THE DESIGNER ASSUMES RESPONSIBILITY FOR THE DESIGN, INCLUDING JUNCTION BOXES, CONDUITS, AND CONDUIT SIZE.
- SOURCE OF POWER FOR LIGHTING TO BE CONFIRMED BY MEP CONTRACTOR TO COORDINATE WITH LOCAL POWER COMPANY FOR SERVICE.

LIGHTING NOTES

- SEE SHEET 13 FOR FIXTURE DETAILS.
- REFER TO ARCHITECTURAL PLANS FOR SITE LIGHTING AND ELECTRICAL CONTINUATION.

LIGHTING CALCULATIONS				
AREA	AVG. ILLUMINANCE (fc)	MAX (Fc)	MIN (Fc)	MAX./MIN.
DRIVE AISLES	2.54	7.40	0.10	74.00
PROPERTY LINE	0.18	0.60	0.00	-
PARKING	2.54	7.00	1.10	6.36

CRITERIA TABLE		
AREA	MINIMUM (Fc)	MAX./MIN.
PARKING	0.5	15.0



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5125 MARK DABLING BLVD.
OWNER: COLORADO
STORAGE SOLUTIONS, LLC

PROPERTY LINE

NEW LIGHT POLE
FIXTURE AT 25FT

NEW LIGHT POLE
FIXTURE AT 25FT

NEW LIGHT POLE
FIXTURE AT 25FT

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FIXTURE AT 25FT

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NEW LIGHT POLE
FIXTURE AT 25FT

PODS AT THIS LOCATION
MODEL #1000 SE
OBSTRUCTION AT 25FT HIGH

PROPOSED
51,200 SQ.
WAREHOUSE

BUILDING MOUNTED SITE
LIGHT AT 38' (TYP. OF 5)

BUILDING MOUNTED DOOR LIGHT
AT 8' MODEL TYPE VARIES.
SEE LEGEND (TYP. OF 15)

5805, 5815, 5825 MARK
DABLING BLVD.
OWNER: DABLING
PROPERTIES LLC

PODS STORAGE AT MARK DABLING CONDITIONAL USE DEVELOPMENT PLAN

6015 MARK DABLING BLVD.

SITUATED IN A THE EAST 1/2 OF SECTION 18, TOWNSHIP 13 SOUTH, RANGE 66
WEST, 6TH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO

McGraw-Edison

SB-WALL

PODS Storage at Mark Dabling

City File No. 20-00110

City of El Paso

Submitted On: Feb 22, 2018

100% Page

DESCRIPTION: The McGraw-Edison SB-WALL is a modular storage unit designed for efficient use of space. It features a sturdy metal frame and a durable exterior finish. The unit is available in various sizes and configurations to meet different storage needs. The technical drawings show the unit from multiple perspectives, including front, side, and top views, along with detailed dimensions and assembly instructions.

FEATURES:

- Modular design for easy expansion and reconfiguration.
- Sturdy metal construction for long-lasting durability.
- Secure locking mechanism to protect stored items.
- Weather-resistant exterior finish.
- Easy-to-use interior shelving and compartments.

INSTALLATION: The McGraw-Edison SB-WALL is designed for quick and easy installation. It can be assembled by one person and does not require any special tools or equipment. The unit is suitable for both indoor and outdoor use, making it a versatile storage solution for a wide range of applications.

McGraw-Edison

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CITY APPROVAL:



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PROJECT NAME / LOCATION:
PROPOSED NEW BUILDING
COS DABLING DISTR LLC

PODS STORAGE FACILITY
 MARK DABLING BOULEVARD
 COLORADO SPRINGS, CO 80907
 CITY OF COLORADO SPRINGS

ARCHITECT:
KENT
 ARCHITECTURAL COLLABORATIVE, P.L.L.C.
 887 OLD WILLETTS PATH
 HAUPPAUGE • NEW YORK • 11788
 631.793.9884
 rent.kent@gmail.com

DEVELOPER / BUILDER / APPLICANT:

West Rac
 Contracting Corp.
 CONSTRUCTION MANAGEMENT & GENERAL CONTRACTING
 1000 W. WYOMING AVE. SUITE 100
 HARTFORD, CONNECTICUT 06103
 TEL: 861.431.3488
 FAX: 861.237.7893

SITE / CIVIL ENGINEER:
KIMLEY-HORN
 1000 W. WYOMING AVE. SUITE 100
 HARTFORD, CONNECTICUT 06103
 TEL: 861.431.3488
 FAX: 861.237.7893

STRUCTURAL ENGINEER:
NUCOR BUILDING SYSTEMS
 200 Westshore Road
 P.O. Box 1006
 Waukegan, IL 60087
 TEL: 847.938.2100
 FAX: 847.938.2121

ENGINEERING DESIGN:
reiuhers+bowen
 Engineering, Design, Construction Services
 308 WARE ST.
 SCRANTON, PA 18512-2424
 PHONE: (570) 496-7100
 FAX: (570) 496-7021

TRANSFERS COURSE REFERENCE
 AND SCREEN WALL DETAILS

2020.09.01

REVISION: _____ DATE: _____

SEAL: _____

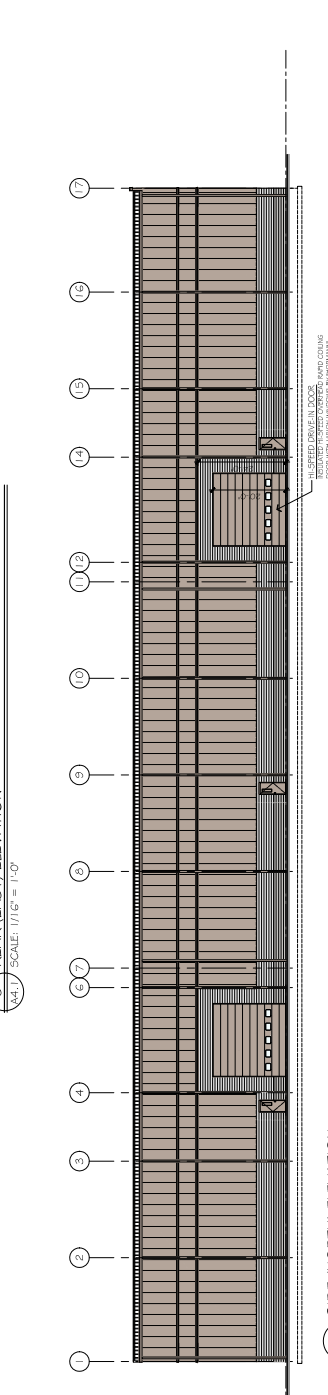
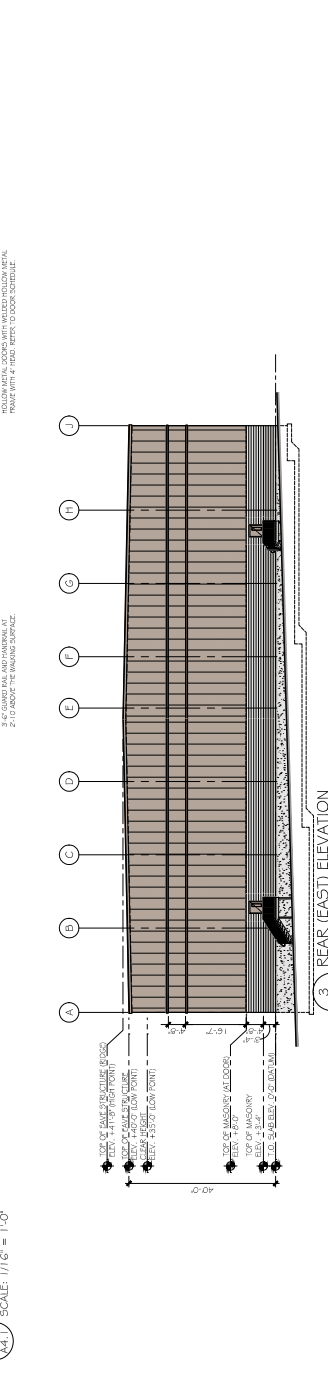
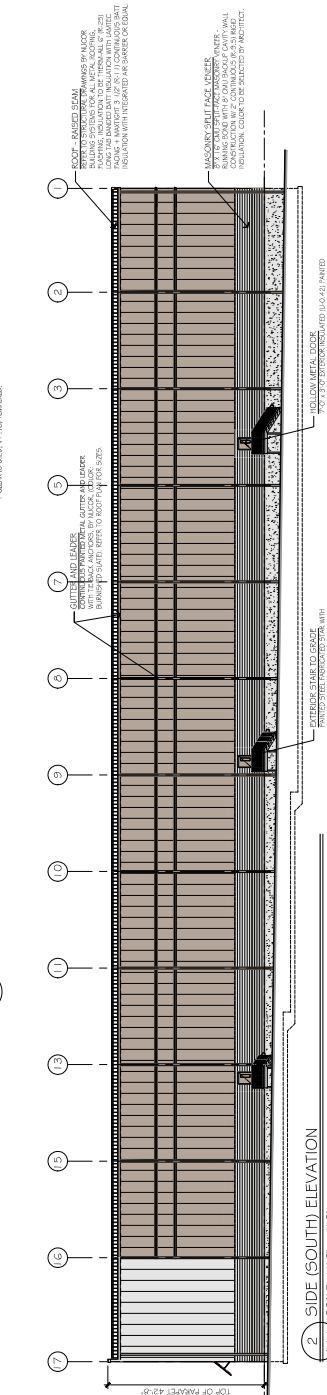
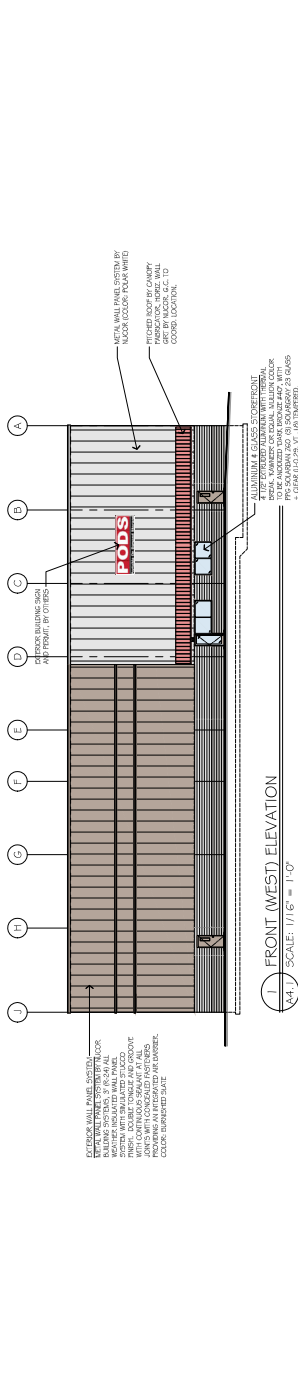
DRAWING TITLE:
BUILDING ELEVATIONS

DATE:
 03/28/20

DRAWN BY:
 RB/MBF

PROJECT NO.:
 19379

DRAWING NO.:
14



PODS STORAGE AT MARK DABLING DEVELOPMENT PLAN - CITY FILE NO. CPC CU 20-00110

PROJECT NAME / LOCATION:
PROPOSED NEW BUILDING
COS DABLING DISTR LLC
 PODS STORAGE FACILITY
 MARK DABLING BOULEVARD
 COLORADO SPRINGS, CO 80907
 CITY OF COLORADO SPRINGS

ARCHITECT:
KENT
 ARCHITECTURAL COLLABORATIVE, P.L.L.C.
 887 OLD WILLET'S PATH
 HAUPPAUGE • NEW YORK • 11788
 631.793.9884
 rent.kent@gmail.com

DEVELOPER / BUILDER / APPLICANT:
West Rac
 Contracting Corp.
 CONSTRUCTION MANAGEMENT & GENERAL CONTRACTING
 1000 W. WYOMING ST. SUITE 100
 FORT WASHINGTON, PA 19043
 TEL: 610.435.3488
 FAX: 610.277.7873

SITE / CIVIL ENGINEER:
KIMLEY-HORN
 1000 W. WYOMING ST. SUITE 100
 FORT WASHINGTON, PA 19043
 TEL: 718.453.0180

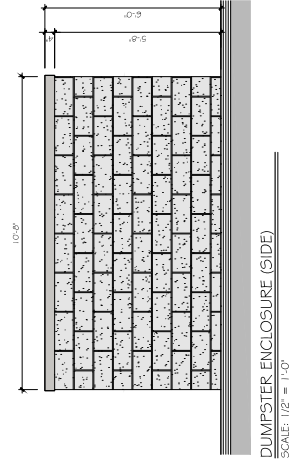
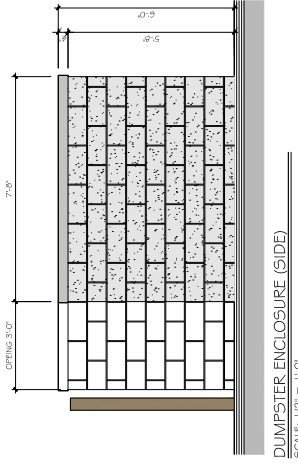
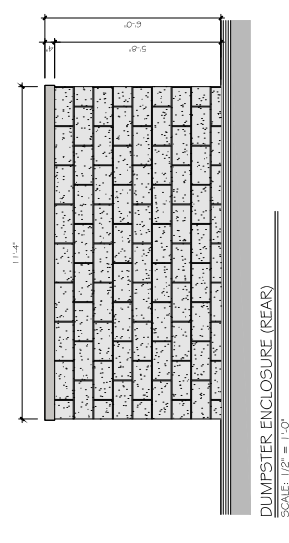
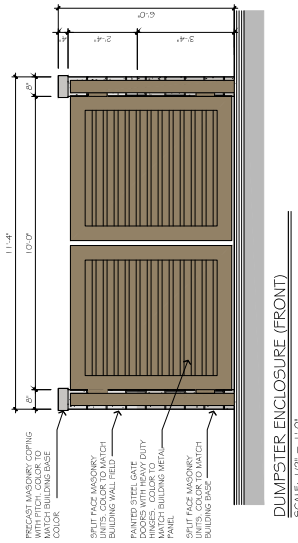
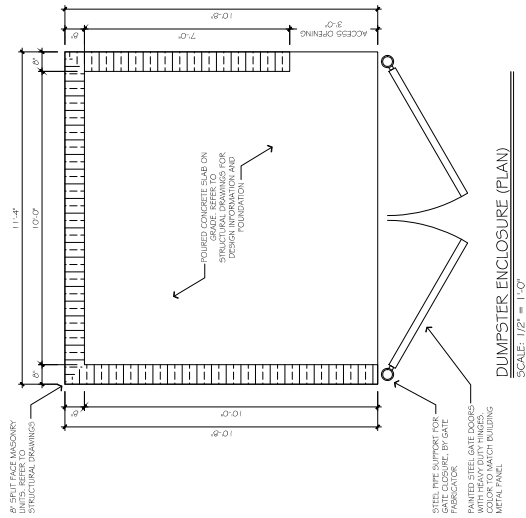
STRUCTURAL ENGINEER:
NUCOR BUILDING SYSTEMS
 200 W. WYOMING ST.
 FORT WASHINGTON, PA 19043
 TEL: 800.588.2100
 FAX: 800.588.2121

STRUCTURAL ENGINEER:
reuther&bawen
 Engineering, Design, Construction Services
 328 W. WYOMING ST.
 SCRANTON, PA 18512-2424
 PHONE: 610.496-7100
 FAX: 610.496-7021

TRANSFERRING CHARGE, SITE FENCE
 AND SCREEN WALL DETAILS 2/20/20/01
 REVISION: _____ DATE: _____
 SEAL: _____

DRAWING TITLE:
**DUMPSTER ENCLOSURE
 PLAN AND ELEVATIONS**

DRAWING NO.: _____
 DATE: 03/28/20
 DRAWN BY: RMB/RF
 PROJECT NO.: 19379
15



PODS STORAGE AT MARK DABLING DEVELOPMENT PLAN - CITY FILE NO. CPC CU 20-00110

DEVELOPMENT PLAN

PROJECT NAME / LOCATION:
 PROPOSED NEW BUILDING
 COS DABLING DISTR LLC

PODS STORAGE FACILITY
 MARK DABLING BOULEVARD
 COLORADO SPRINGS, CO 80907
 CITY OF COLORADO SPRINGS

ARCHITECT:
KENT
 ARCHITECTURAL COLLABORATIVE, P.L.L.C.
 887 OLD WILLET'S PATH
 HAUPPAUGE • NEW YORK • 11788
 631.793.9884
 kent.kap@gmail.com

DEVELOPER / BUILDER / APPLICANT:
West Rac
 Contracting Corp.
 CONSTRUCTION MANAGEMENT & GENERAL CONTRACTING
 1000 W. 10TH AVE., SUITE 100
 BATHINGEN, NEW YORK 11708
 TEL: 631-435-9888
 FAX: 631-737-7873

SITE / CIVIL ENGINEER:
KIMLEY-HORN
 400 W. 10TH AVE., SUITE 100
 COLORADO SPRINGS, CO 80902
 TEL: 719-450-0180

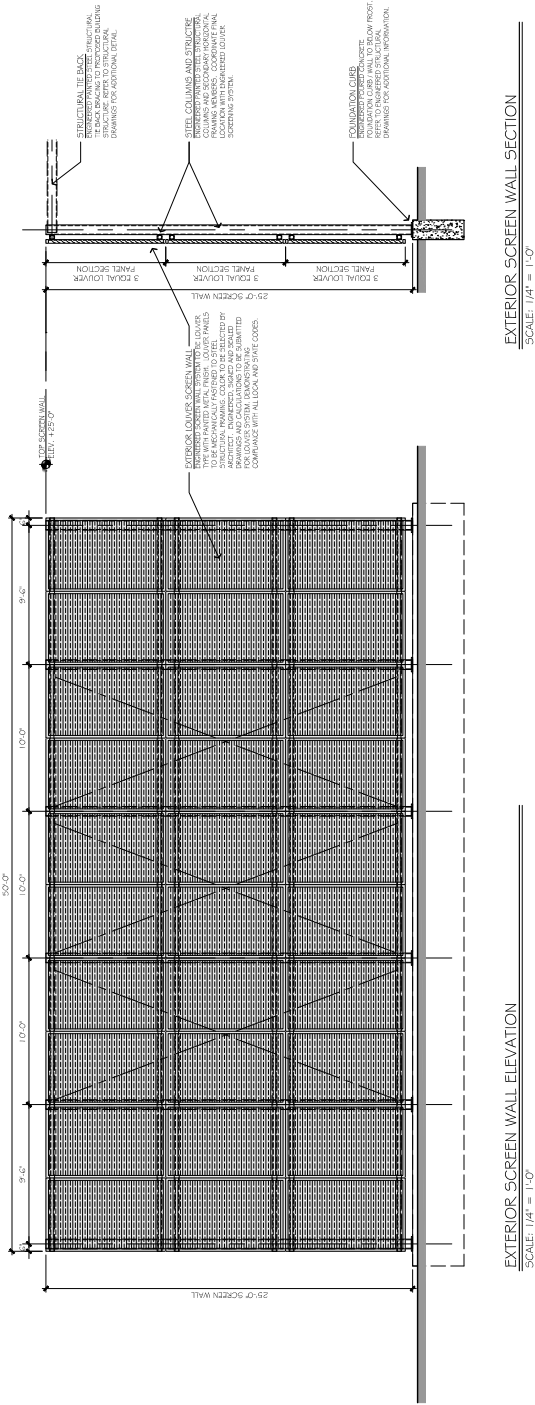
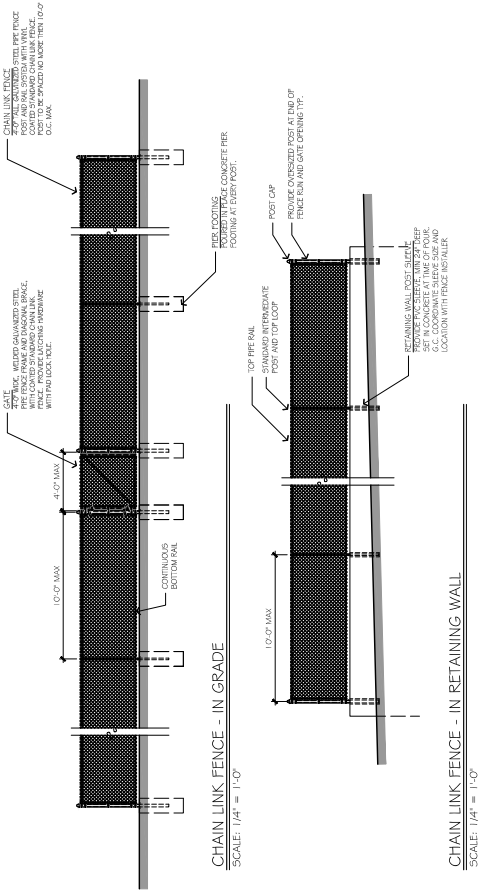
STRUCTURAL ENGINEER:
NUCOR BUILDING SYSTEMS
 200 W. 10TH AVE., SUITE 100
 COLORADO SPRINGS, CO 80902
 TEL: 719-450-0180
 FAX: 719-450-0180

STRUCTURAL ENGINEER:
reuhers&bowen
 Engineering, Design, Construction Services
 328 W. 10TH ST. SCRANTON, PA 18520-2424
 PHONE: 610-496-7100 FAX: 610-496-7021

TRANSMISSIONS ENGINEER:
 2020.09.01
 REVISION: DATE:
 SEAL:

DRAWING TITLE:
 SITE DETAILS
 SCREEN WALL AND FENCE DETAILS

DATE: 03/28/20
 DRAWING NO.: 16
 DRAWN BY: RKB/EF
 PROJECT NO.: 19379



PODS STORAGE AT MARK DABLING DEVELOPMENT PLAN - CITY FILE NO. CPC CU 20-00110